

CITY OF VISALIA
HISTORIC PRESERVATION ADVISORY COMMITTEE
Wednesday, April 9, 2025, at 5:30PM

CHAIR: Tyler Davis

VICE CHAIR: Karen Ayala

COMMITTEE MEMBERS:

Jay Hohlbauch, Jerome Melgar, Kim Lusk, Michael Tomola, Erick Arriaga

City of Visalia Administration Building
220 North Santa Fe Street, Visalia CA 93292

AGENDA

A. Citizen's Comments

B. Meeting Minutes

1. March 26, 2025, Regular Meeting

C. Projects

1. **HPAC Item No. 2025-05**: A request by Kevin Fistolera to replace 48 windows on a single-family residence in the D-MU (Downtown Mixed Use) Zone. The project site is located at 410 North Court Street (APN: 094-271-006).
2. **HPAC Item No. 2025-06**: A request by Bruce McMahon to remodel an accessory dwelling unit in the R-1-5 (Single Family Residential, 5,000 square foot minimum site area) Zone. The project site is located at 808 and 808 ½ West Myrtle Avenue (APN: 096-151-009).

D. Discussion Items

1. City of Visalia Single Family Residential Objective Design Standards
2. Historic District Survey Project Update
3. Committee and Staff Comments
 - a. Project Updates
4. Identification of Items for Future Agendas

E. Adjournment

In compliance with the Americans Disabilities Act, if you need special assistance to participate in meetings call (559) 713-4443 (Staff Representative) 48-hours in advance of the meeting. For Hearing Impaired – Call (559) 713-4900 (TTY) 48-hours in advance of the scheduled meeting time to request signing services. Visually Impaired - If enlarged print or a Braille copy is desired, please request in advance of the meeting and services will be provided as possible after the meeting. City Staff to the Committee is Cristobal Carrillo, Associate Planner, 559-713-4443, cristobal.carrillo@visalia.city.

Este Aviso es para informarle que habra una audiencia de la Ciudad de Visalia. Para más información, o por favor llame Cristobal Carrillo, Associate cristobal.carrillo@visalia.city.

Additional information about the Historic found by contacting Cristobal Carrillo, Associate cristobal.carrillo@visalia.city.



para el público ante el Comité de Preservación Histórica para dar comentario público respecto a esta solicitud, Planner, al numero (559) 713-4443 o

Preservation Advisory Committee may be Planner at 559-713-4443, or emailing

MEETING MINUTES – FEBRUARY 12, 2025

CITY OF VISALIA HISTORIC PRESERVATION ADVISORY COMMITTEE

Wednesday, March 26, 2025, at 5:30PM

CHAIR: Tyler Davis

VICE CHAIR: Karen Ayala

Ayala and Melgar
absent. All other
members present.

COMMITTEE MEMBERS:

Jay Hohlbauch, Jerome Melgar, Kim Lusk, Michael Tomola, Erick Arriaga

MEMBERS OF THE PUBLIC: None.

CITY STAFF: Cristobal Carrillo, Associate Planner, Catalina Segovia, Planning Technician

**City of Visalia Community Development Building
315 East Acequia Avenue, Visalia CA**

AGENDA

A. Citizen's Comments

None.

B. Meeting Minutes

1. March 12, 2025, Regular Meeting

A motion was made by Hohlbauch, seconded by Tomola, to approve the meeting minutes. The motion was approved 5-0.

C. Project Reviews:

1. **HPAC No. 2025-04:** A request by Feras Al Rezk to conduct exterior alterations to an existing building, located within the O-C (Office Conversion) Zone. The project site is located at 918 West Main Street (APN: 093-225-009).

Staff presented its report and recommended that the HPAC deny the request due to incapability of the proposal with the building, surrounding streetscape, and Historic District. The project applicant was not present during the meeting. Public comment in favor of the proposal was submitted by via e-mail by Bill Huott. No other public comment was received.

The Committee discussed continuing the meeting to a future date to provide the applicant with an opportunity to attend. Staff stated that the applicant gave no explanation for why they couldn't attend the meeting, and that the Committee should continue with the hearing. The HPAC then decided to proceed with the public hearing.

The Committee then discussed the proposal, noting that the proposed material did not match with the style of the building, that more appropriate materials (such as hardie

board siding) could be employed instead, and that the existing siding did not appear to be in need of replacement. After discussion, a motion was made by Hohlbauch, seconded by Lusk, to accept staffs recommendation to deny the request. The motion passed by a vote of 5-0, denying the request to replace the existing siding with stone veneer.

D. Discussion Items

1. Historic District Survey Project Update

Staff conducted an evaluation of four sites that were left out from previous evaluations. The Committee then discussed adding another area of town to the survey parameters, specifically the 26 properties located between West Main Street, South Giddings Street, West Mineral King Avenue, South Dollner Street, and West Sierra Avenue/Mill Creek. Staff stated that notices would need to be sent to all property owners and occupants affected. Staff also stated the expansion would need to discuss the expansion proposal with the Planning and Community Development Director. After discussion a motion was made by Lusk, seconded by Tomola, to expand the parameters to include the 26 properties between West Main Street, South Giddings Street, West Mineral King Avenue, South Dollner Street, and West Sierra Avenue/Mill Creek. The motion passed by a vote of 5-0.

2. Committee and Staff Comments

a. Project Updates

Staff and the Committee provided updates to various items of historic relevance.

3. Identification of Items for Future Agendas

None.

E. Adjournment

The meeting was adjourned at 6:37pm.



REPORT TO THE CITY OF VISALIA HISTORIC PRESERVATION ADVISORY COMMITTEE

HEARING DATE:

April 9, 2025

PROJECT PLANNER:

Catalina Segovia, Planning Technician

Phone: (559) 713-4449

E-mail: catalina.segovia@visalia.city

SUBJECT: **Historic Preservation Advisory Committee Item No. 2025-05:** A request by Kevin Fistolera to replace 48 windows on a single-family residence located in the DMU (Downtown Mixed Use) Zone. The project site is located at 410 North Court Street (APN: 094-271-006).

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Advisory Committee (HPAC) approve the request based on the findings and conditions within this report.

SITE DATA

The site is zoned DMU (Downtown Mixed-Use) and contains a vacant residence and a 10-stall parking lot.

The project site is located within the Historic District and is listed on the Local Register of Historic Structures with a "Focus" classification. The structure contains "Craftsman" and "Bungalow" style architectural elements.



PROJECT DESCRIPTION

Per the operational statement in Exhibit "B", the applicant is requesting approval to remove and replace all the windows of the residence, numbering 48 in total. Per the development plan in Exhibit "A", the applicant will be replacing the windows with Milgard V300 Trinsic vinyl windows, and rebuilding wood screens for use on the building.

Per the applicant, the replacement is required due to the age and deterioration of the original windows. The applicant states that the windows must be replaced to better secure the building from vandalism and break ins.

DISCUSSION

Development Standards

The footprint of the structure will not be altered as a result of the proposal. As such, the proposed improvements will comply with all development standards of the D-MU Zone.

Architectural Compatibility

Visalia Municipal Code Section 17.56.110 contains criteria for review of exterior alterations to structures listed on the Local Register. Criteria is aimed towards preserving original and distinguishing features of Local Register structures. This includes emphasis on the following:

- *The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.*
- *Distinctive stylistic features or examples of skilled craftsmanship, which characterize a building, structure or site, shall be treated with sensitivity.*
- *Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.*

Due to their design, variety, and placement, the windows are considered a distinguishing feature of the building. If they are to be replaced, the applicant must demonstrate that replacement is necessary, and that the replacement materials match the original in "...composition, design, color, texture, and other visual qualities."

In this instance, the applicant has submitted evidence that the windows are in disrepair (see site pictures in Exhibit "B"). Staff also concluded a site visit on April 4, 2025, and determined that the windows show significant damage, including rotted wood frames and broken glass panes.

The proposed window replacement would maintain the building's original character. Features such as window trim and sills would remain. New windows and wood screens will be conditioned to maintain the same features as the original windows, such as their operating mechanism and style, mullion patterns and spacing, frame dimensions and profiles, and sightlines and proportions (see Condition No. 2). The applicant will also rebuild wood window screens for use on the building (Condition No. 3). These rebuilt screens will match the original screens and will help maintain the building's original character. With the application of these conditions, the proposal will preserve the overall historical integrity of the structure.

FINDINGS AND CONDITIONS

For HPAC Item No. 2025-05 staff recommends that the Committee approve the window change out to the residence, subject to the findings and conditions listed below:

Findings

1. That the project site is listed on the Local Register of Historic Structures and is within the Historic District.
2. That the proposal will be consistent with uses onsite, the surrounding area, and the Historic District.
3. That the proposal will be consistent with the Historic Preservation Ordinance and Historic Preservation Element.
4. That the proposal will not be injurious to the character of the Historic District.

Conditions

1. That the project shall be developed in substantial compliance with the development plan in Exhibit "A" and operational statement in Exhibit "B", except as modified by the conditions below.
2. That the new windows shall match the features of the original windows, including operating mechanism and style, mullion patterns and spacing, frame dimensions and profiles, and sightlines and proportions. That the project undergoes the appropriate City permitting process for exterior alterations on the project site.
3. That the applicant shall rebuild and install wood window screens for all the windows that can support window screens. The window screens shall retain an appearance consistent with the original window screens depicted in Exhibit "A",
4. That any other exterior alterations to the site shall be brought before this Committee for review and approval prior to the issuance of any Building Permits and/or their installation or construction.
5. That all other City codes, ordinances, standards, and regulations shall be met.
6. That the approval from the Historic Preservation Advisory Committee shall lapse and become void twelve months after the date on which it became effective, unless the conditions of the approval allowed a shorter or greater time limit, or unless prior to the expiration of twelve months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site that was the subject of the approval.

ATTACHMENTS

- Exhibit "A" – Development Plan
- Exhibit "B" – Operational Statement
- Aerial Map
- Historic District and Local Register Map

APPEAL INFORMATION

According to the City of Visalia Zoning Ordinance Section 17.56.060, an appeal to the City Council may be submitted within ten days following the date of a decision by the Historic Preservation Advisory Committee (HPAC). An appeal shall be in writing and shall be filed with the City Clerk at 220 N. Santa Fe Street. The appeal shall specify errors or abuses of discretion by the HPAC, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website www.visalia.city or from the City Clerk.



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

MILGARD

WINDOWS AND DOORS



V300 Trinsic™ Series

V300 Windows \$35 ***** 64" (1654)

A contemporary vinyl window with an expansive viewable glass area and a narrow frame to help you embrace modern home design. With its aesthetic and functional options, the V300 Series window has a operating style you'll love.

See us at AIA/CES

EXTERIOR COLORS | INTERIOR COLORS

HORIZONTAL SLIDER

SINGLE-HUNG

CASHEMENT

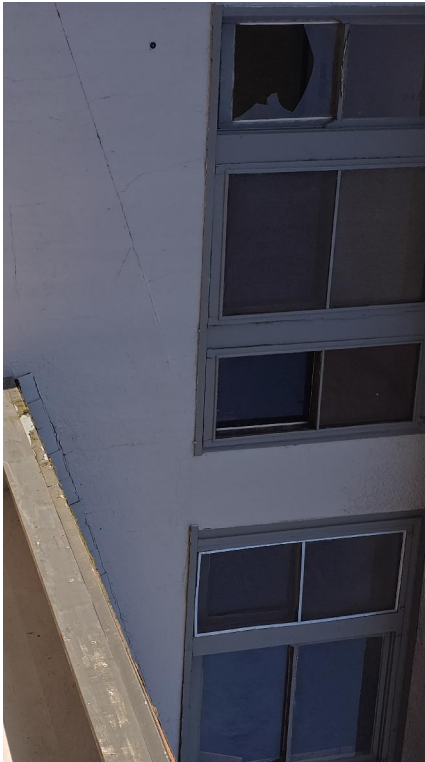
AWNING

V300 Windows & Doors

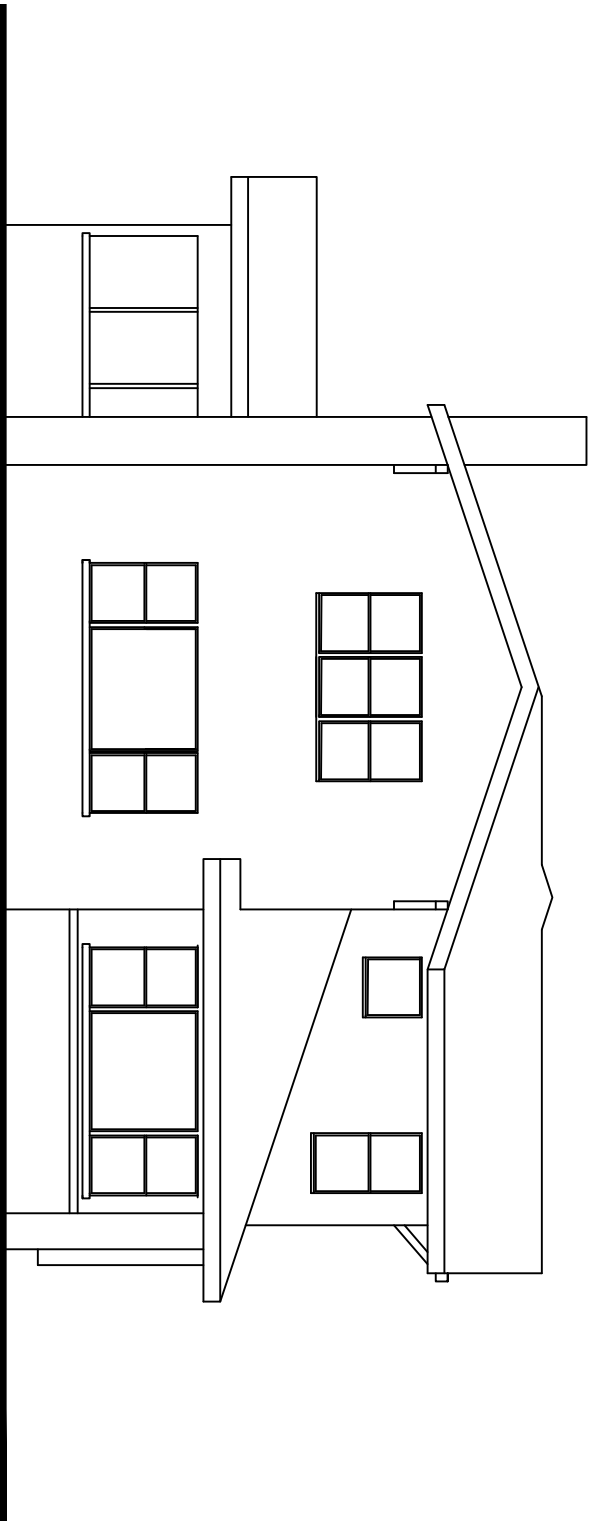
This website uses cookies to enhance user experience and to analyze performance and traffic on our website. We also share information about your use of our site with our social media, advertising and analytics partners.

Do Not Sell My Personal Information

Privacy Cookies



EXISTING WINDOWS



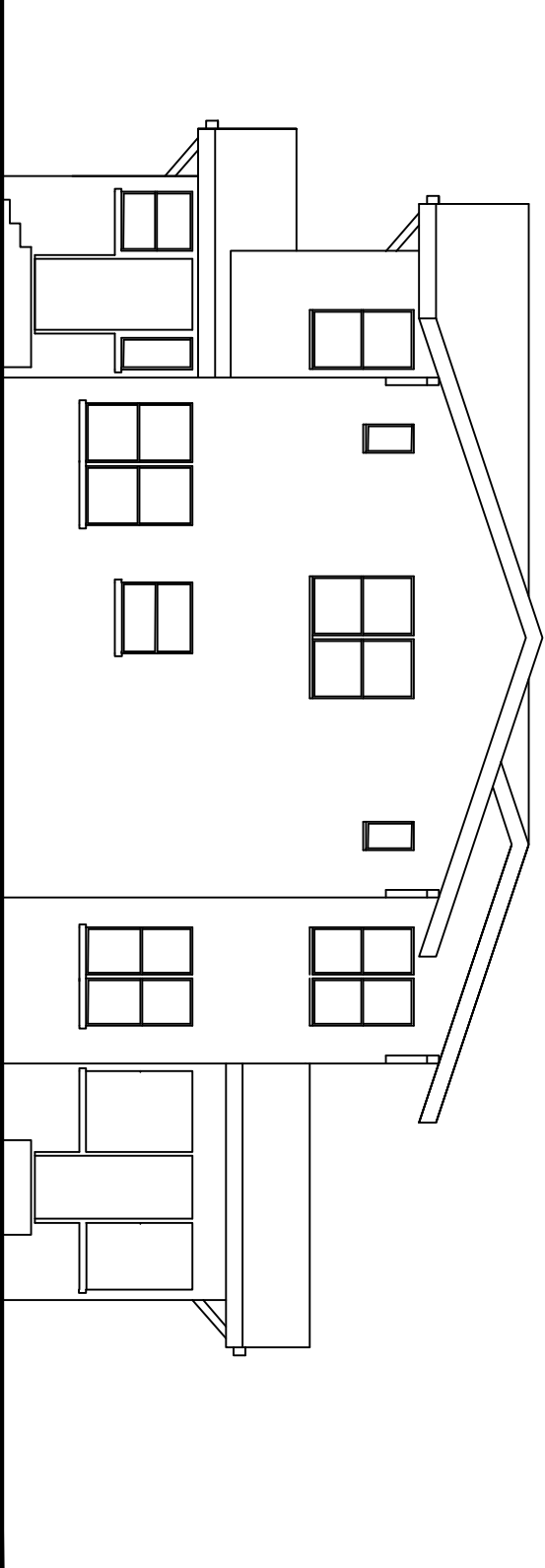
WEST ELEVATION

Scale: 1/8" = 1'-0"



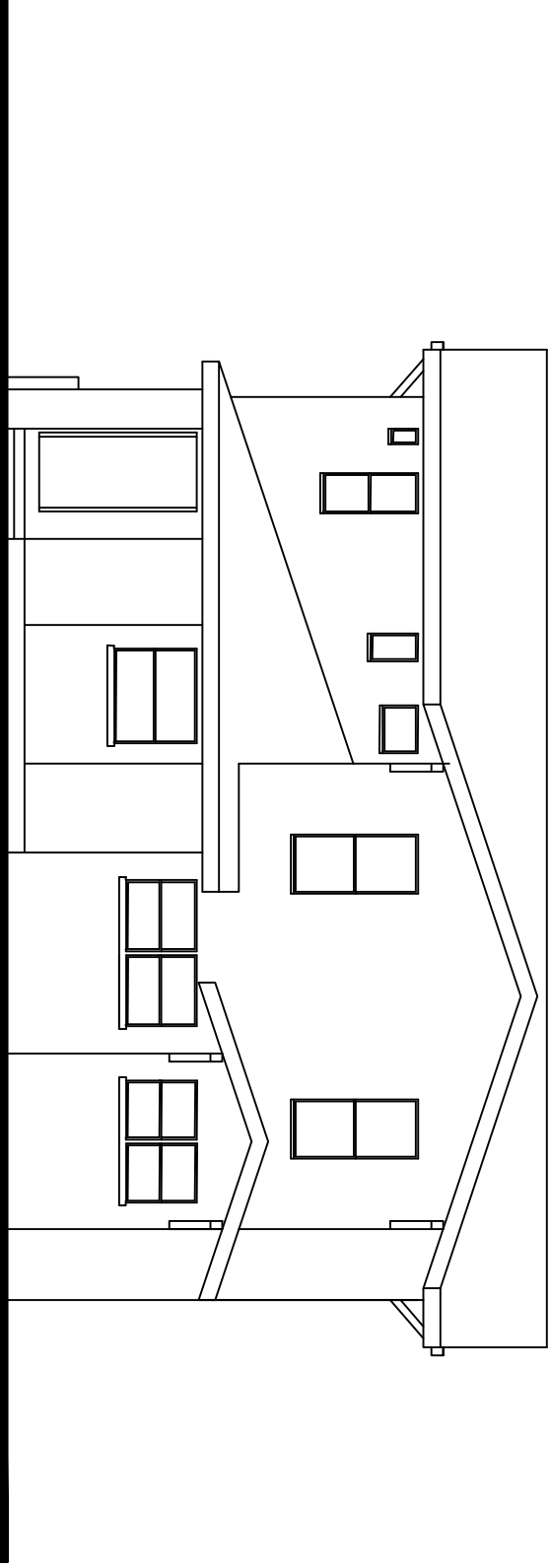
NORTH ELEVATION

Scale: 1/8" = 1'-0"



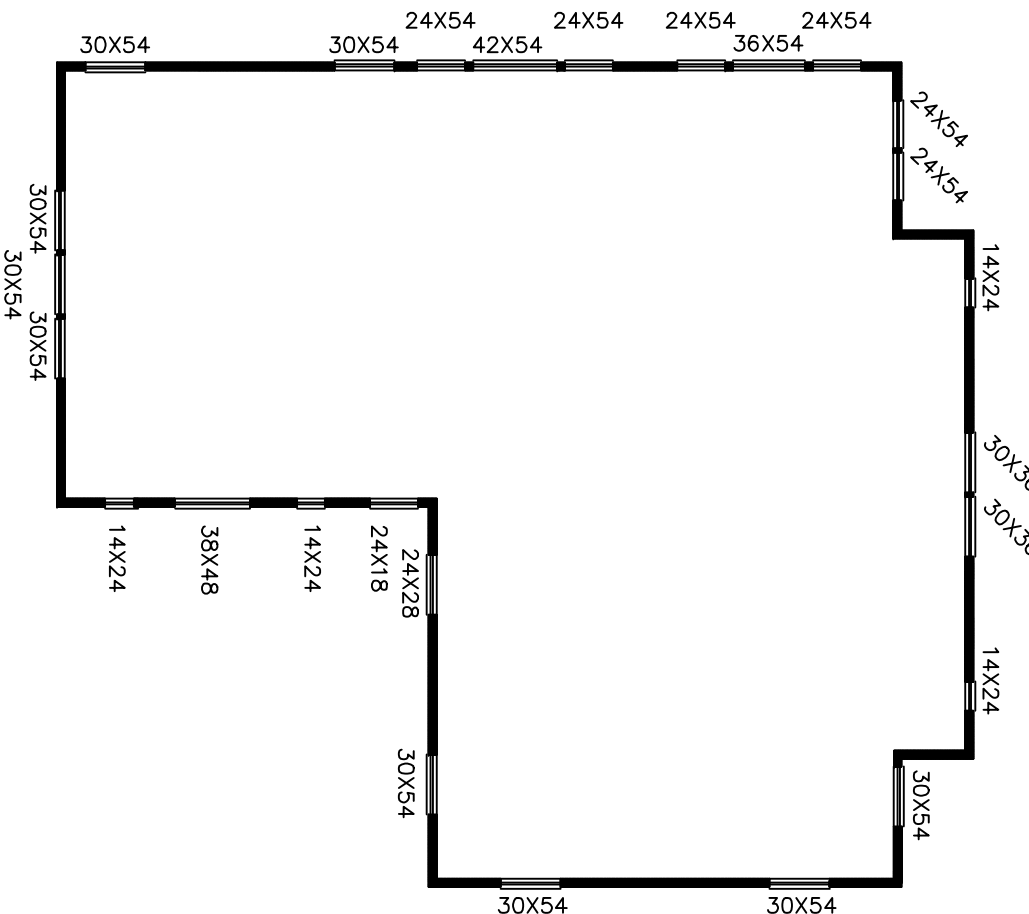
EAST ELEVATION

Scale: 1/8" = 1'-0"



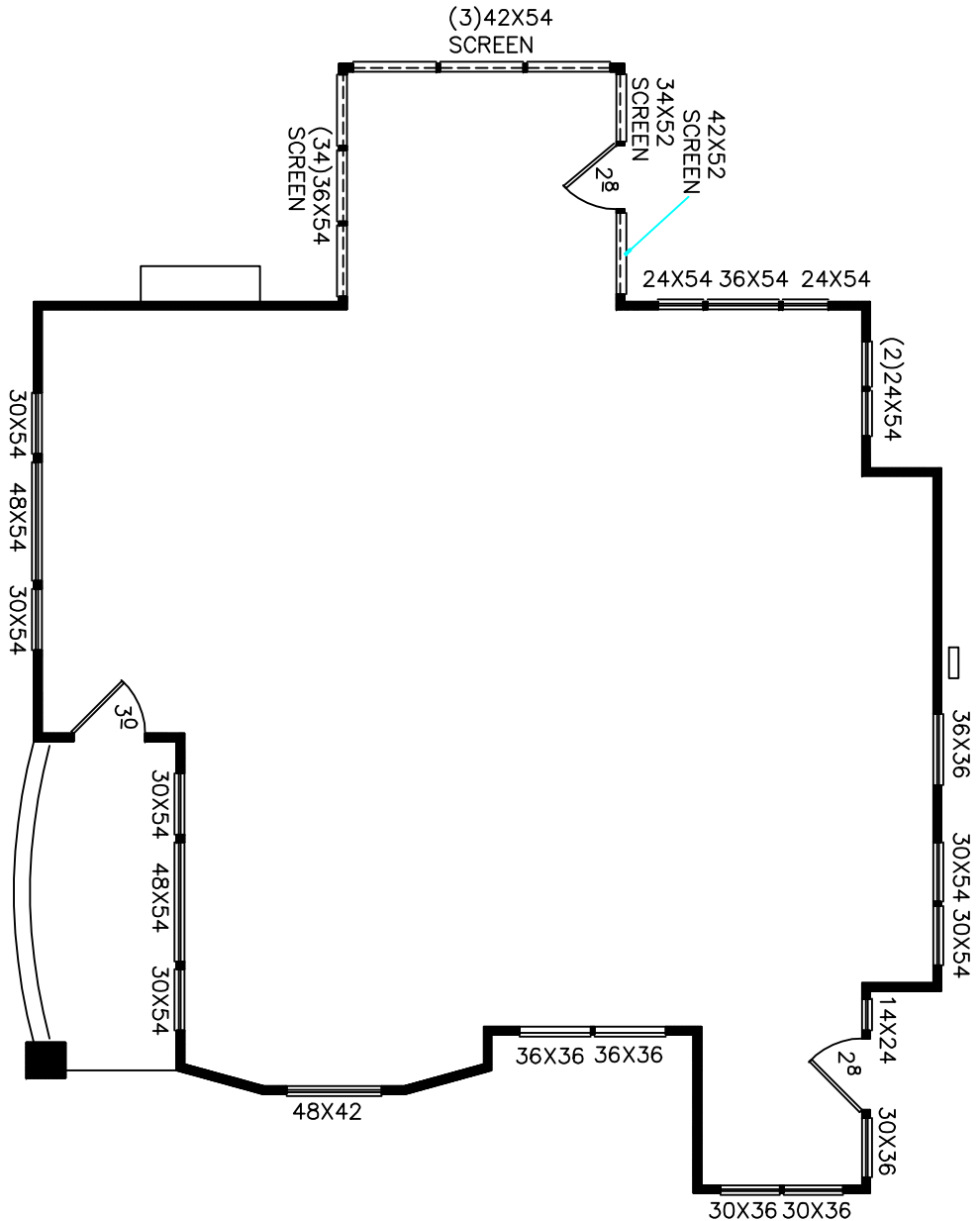
SOUTH ELEVATION

Scale: 1/8" = 1'-0"



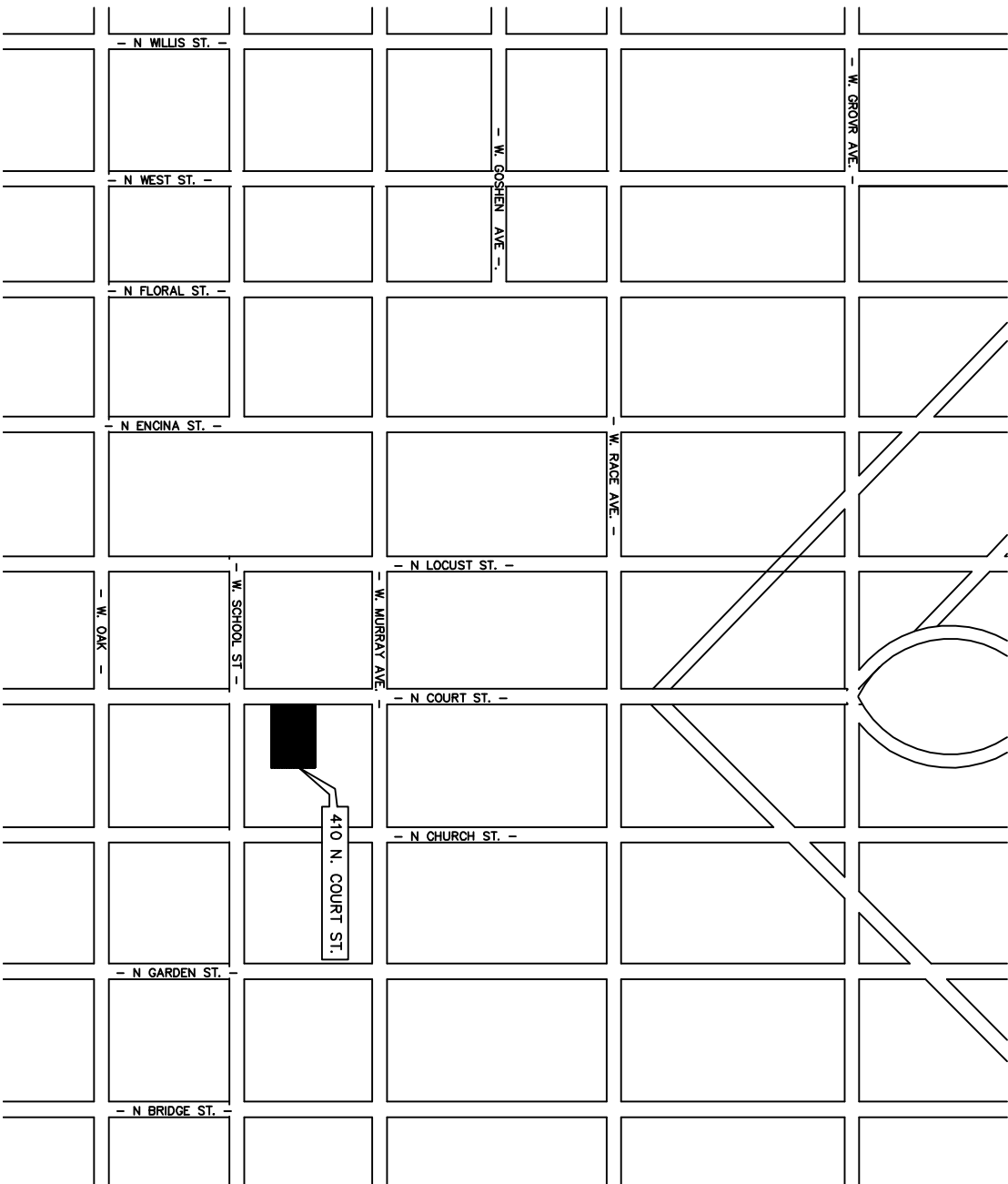
SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"



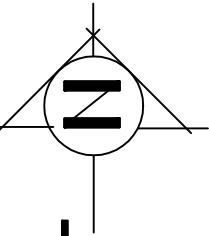
FIRST FLOOR PLAN

Scale: 1/8" = 1'-0"



VICINITY MAP

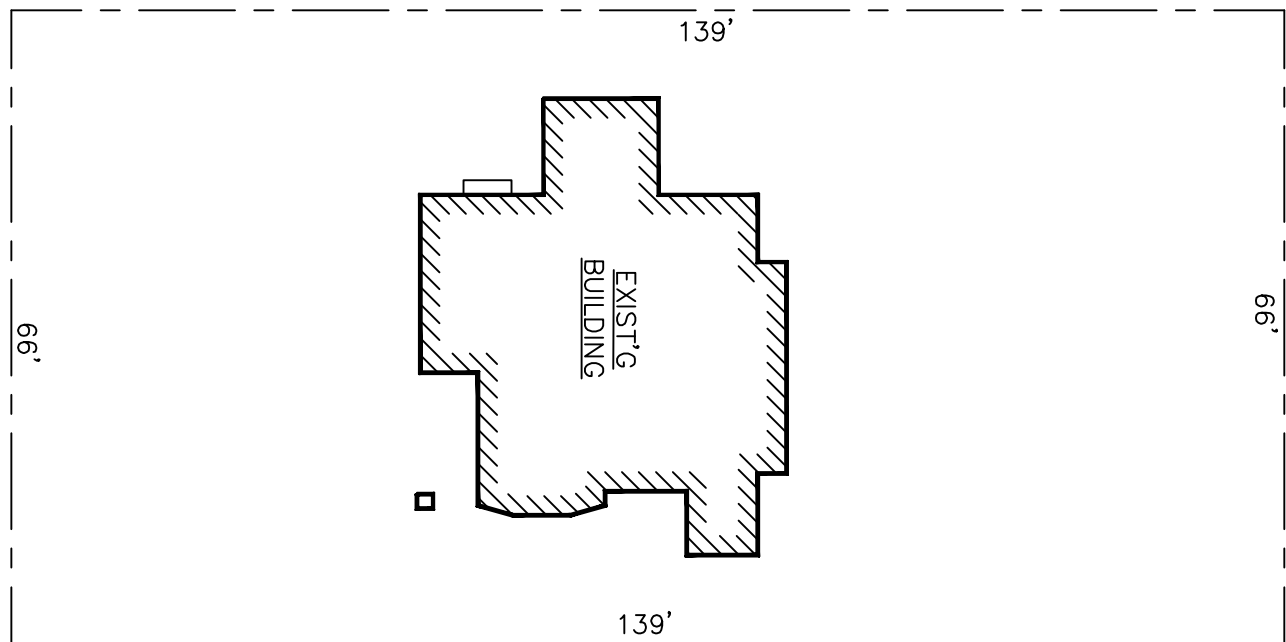
410 N. COURT ST.
APN: 094-271-006



NO SCALE

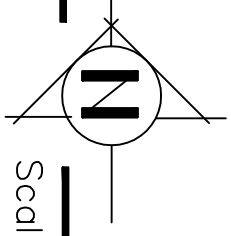
NOTE:

- RETROFIT WINDOWS TO BE FIT TO EXISTING OPENINGS 48" WINDOWS .
- WINDOWS TO BE "MILGARD" V300 TRINISIC EXTERIOR WHITE/INTERIOR WHITE NO FIN W/ SLOPED STILL ADAPTER 1/8" SUN COATMAX (LOWE) DYER 1/8" CLEAR GRAY EDGE GUARDMAX SPACER STANDARD SCREEN W/ FIBERGLAS MESH U-28SMGC .20 VT.48 STC 30, DTC 25, PG: LC-PG30
- EXISTING TRIM TO REMAIN.
- EXISTING STUCCO FINISH TO REMAIN.
- ALL EXTERIOR TREATMENTS TO REMAIN AS IS.



SITE PLAN

410 N. COURT ST.
APN: 094-271-006



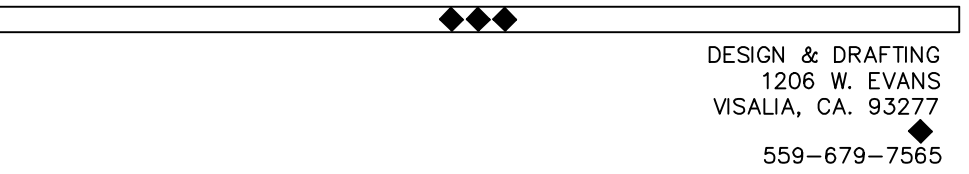
Scale: 1"=20'-0"

WINDOW REPLACEMENTS FOR:

FISTOLERA CONSTRUCTION

410 N. COURT ST. VISALIA, CA.

STEPHEN O. SPARSHOTT



DESIGN & DRAFTING
1206 W. EVANS
VISALIA, CA. 93277
559-679-7565

SHEET

OF

UPDATE SUBMIT 4-1-25

EXHIBIT B



FISTOLERA CONSTRUCTION INC

420 N. COURT ST, STE 200, VISALIA, CA. 93291

4/1/25

RE: 410 N Court St

To Whom it May Concern,

We are replacing all windows at the above-mentioned address, 410 N. Court St, Visalia, 93291. We are replacing these windows due to age, deterioration and to secure the building from the homeless who have been breaking into the property.

Sincerely,

Kevin Fistolera

Owner/Contractor

KF/sb

RE: FISTOLERA 410 N COURT ST



Sonya Beals <sonya@fistolera.com>

To ● Cristobal Carrillo; ○ Steve Sparshott

Cc ● Catalina Segovia

↩ Reply

↩ Reply All

→ Forward



Tue 04/01/2025 2:52 PM

This sender sonya@fistolera.com is from outside your organization.

You replied to this message on 04/01/2025 2:59 PM.

Hi Cristobal,

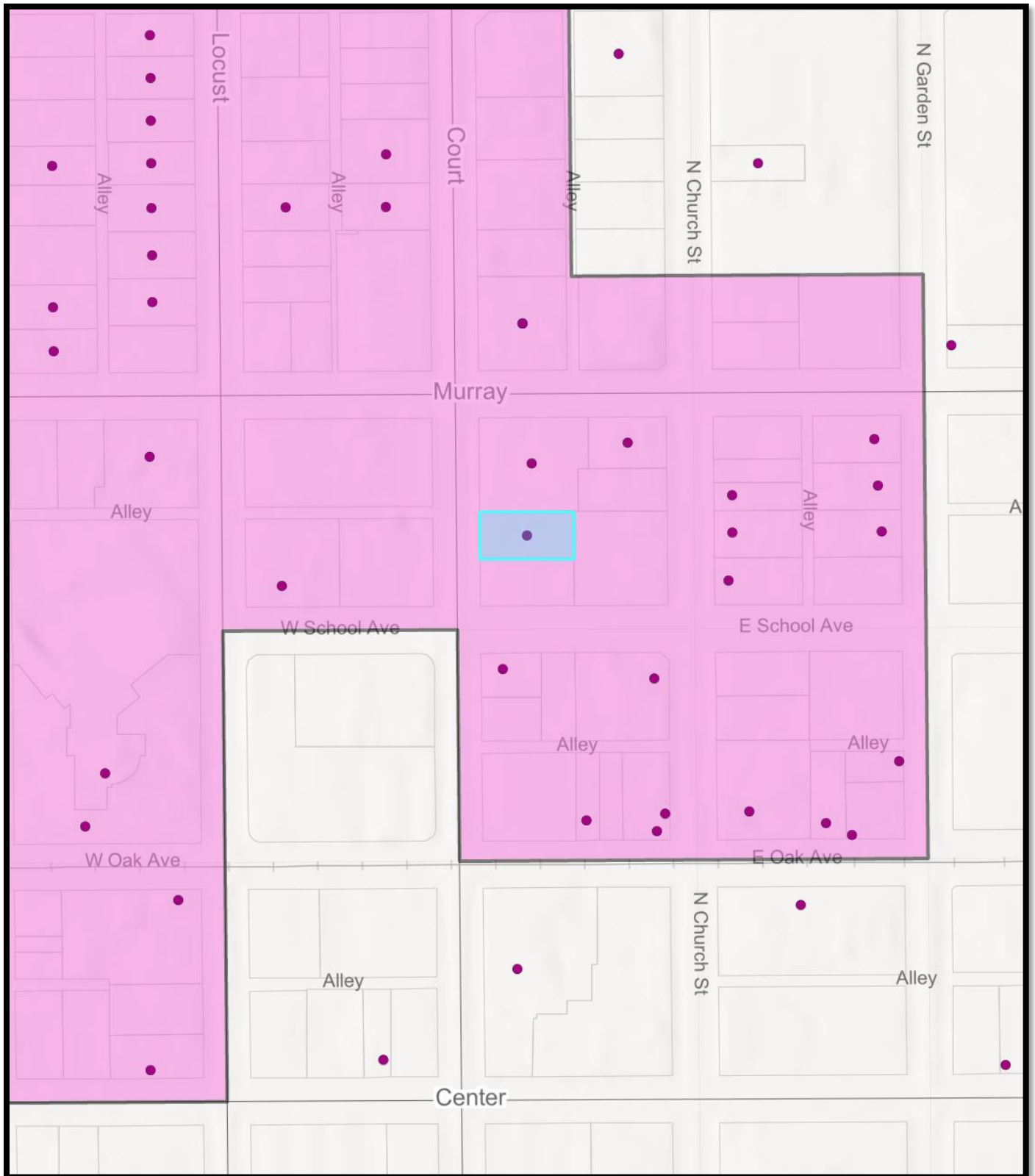
I just spoke with Kevin and he says we will rebuild the wooden screens.

*Sonya Beals
Project Coordinator
Fistolera Construction Inc.
559-625-8372*

AERIAL MAP



HISTORIC DISTRICT & LOCAL REGISTER MAP





REPORT TO THE CITY OF VISALIA HISTORIC PRESERVATION ADVISORY COMMITTEE

HEARING DATE: April 9, 2025

PROJECT PLANNER: Cristobal Carrillo, Associate Planner
Phone: (559) 713-4443
E-mail: cristobal.carrillo@visalia.city

SUBJECT: Historic Preservation Advisory Committee Item No. 2025-06: A request by Bruce McMahon to remodel an accessory dwelling unit in the R-1-5 (Single Family Residential, 5,000 square foot minimum site area) Zone. The project site is located at 808 and 808 ½ West Myrtle Avenue (APN: 096-151-009).

STAFF RECOMMENDATION

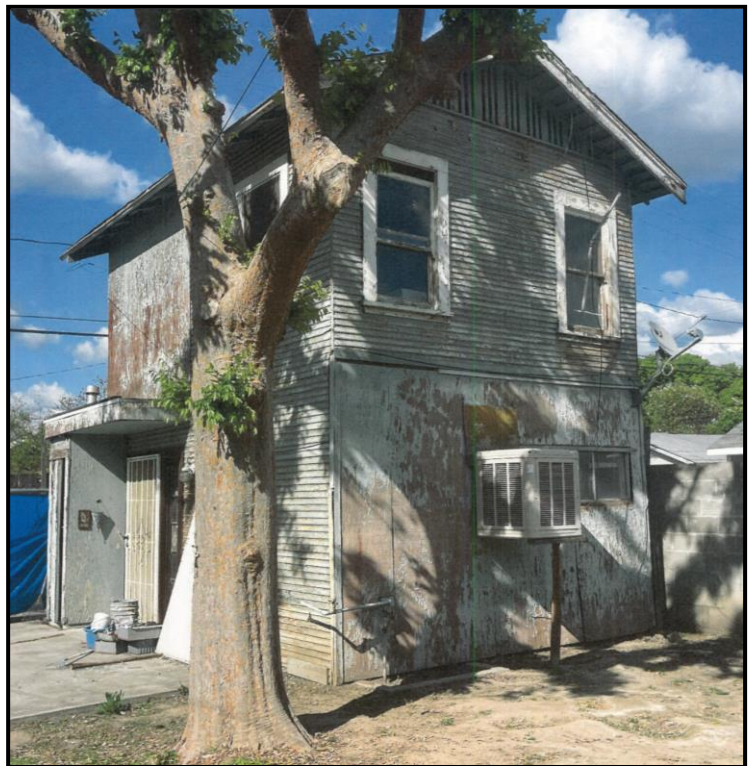
Staff recommends that the Historic Preservation Advisory Committee (HPAC) approve the proposal as modified in the findings and conditions of this report.

SITE DATA

The site is zoned R-1-5 and currently contains a single-family residence and accessory dwelling unit (ADU). The site is located within the Historic District and is not listed on the Local Register of Historic Structures.

PROJECT DESCRIPTION

Per the plans and materials in Exhibits "A", "B", and "C" the applicant is requesting approval to conduct the following exterior alterations to an existing ADU:



1. Alter the windows as follows:
 - a. Southern Elevation – Enclose three existing wood windows and add two new Milgard V300 Trinsic vinyl windows.
 - b. Western Elevation – Enclose one existing wood window and add one new Milgard V300 Trinsic vinyl window.
 - c. Northern Elevation – Add one new Milgard V300 Trinsic vinyl window.
 - d. Eastern Elevation – Enclose two existing wood windows.
2. Remove and replace the existing siding on all four building exteriors with hardie fiber cement siding.
3. Remove and replace the existing flat front porch roof with an angled roof.

4. Remove and replace the existing vent feature on the southern and northern roof gables with conventional rectangular vents and siding.
5. Replace the main ADU door with a new six paneled Mertie El & El door, and replace the water heater storage room door with a new flat door.
6. Add exposed rafter tails (with rain gutters) to the east and west edges of the ADU roof, and west edge of the front porch roof.
7. Reroof the ADU with new 30-year composition roofing material.

The applicant also proposes painting and reroofing the ADU and making additional changes to the ADU's interior, to include installation of new electrical wiring, insulation, drywall, plumbing equipment, cabinets, and flooring material. These modifications are not subject to HPAC review and are provided for informational purposes only.

The applicant states that the alterations are necessary to improve existing deteriorating conditions on the building, as well as improve its overall aesthetic appeal. New window locations are proposed due to the new interior layout of the ADU.

DISCUSSION

Development Standards

Alterations proposed to the ADU will not result in an increase to the square footage of the structure. As such, the proposal complies with all development standards of the R-1-5 Zone.

Architectural Compatibility

Historic District Building Design Compatibility Criteria

Historic Preservation Ordinance requirements for properties solely within the Historic District (VMC Sec. 17.56.100) do not prohibit or discourage exterior alterations to structures. Instead, alterations must preserve compatibility with the overall Historic District and surrounding structures. The sections of the VMC relevant to this proposal require that the HPAC consider the following:

- *Relationship of materials and textures, so that any alterations enhance neighborhood qualities such as compatibility, similarity, and continuity.*
- *Relationship of architectural details and roof shapes, so that alterations are compatible in appearance with surrounding structures.*
- *Directional Expression of Front Elevations. Structural shape, placement of openings, and architectural details should be used to give a compatible appearance with adjacent structures that may be horizontal, vertical or nondirectional in nature.*

Exterior Alterations

Alterations proposed would largely assist in improving the ADU's historic character, and neighborhood compatibility. Re-siding of the ADU will create a consistent building exterior that is compatible with both the primary residence and nearby craftsman structures. Replacement of the doors, installation of an angled front porch roof, and addition of exposed rafter tails (while obscured) will enhance the craftsman architectural elements of the structure.

Only work proposed to the windows and gable vents have potential to be detrimental to the exterior. In particular the southern building elevation, which can be viewed from West Myrtle Avenue, contains original windows and gable vents that match those of surrounding craftsman buildings in the neighborhood. Alteration of the features would have the potential to

decrease compatibility with the streetscape, and would eliminate two of the structures few original elements.

Given the above, staff recommends that the following conditions be included:

Condition No 1.a – That the original window openings and spacings on the 2nd story of the ADU's southern elevation be maintained.

Condition No. 1.b – That the window on the 1st story of the ADU's southern elevation open vertically.

Condition No. 1.c – That all new windows on the ADU's southern elevation contain trim and sills similar to the original windows.

Condition No. 1.d – That the existing design of the gable vents on the ADU's southern elevation be maintained.

Conditions proposed would maintain the structures compatibility with the surrounding streetscape, in compliance with the requirements of VMC Sec. 17.56.100.

FINDINGS AND CONDITIONS

For HPAC Item No. 2024-15 staff recommends that the Committee approve the proposal, subject to the findings and conditions listed below:

Findings

1. That the project site is within the Historic District and is not listed on the Local Register of Historic Structures.
2. That the proposal as conditioned is consistent with uses onsite, the surrounding area, and the Historic District.
3. That the proposal as conditioned is consistent with the Historic Preservation Ordinance and Historic Preservation Element.
4. That the proposal as conditioned will not be injurious site or the character of the Historic District.

Conditions

1. That the site be developed in substantial compliance with the Site Plan, Floor Plan, and Operational Statement in Exhibit "A", the Proposed Building Elevations in Exhibit "B", and Proposed Doors, Windows, and Siding Material in Exhibit "D", except as modified below:
 - a. That the original window openings and spacings on the 2nd story of the ADU's southern elevation be maintained.
 - b. That the window on the 1st story of the ADU's southern elevation open vertically.
 - c. That all new windows on the ADU's southern elevation contain trim and sills similar to the original windows.
 - d. That the existing design of the gable vents on the ADU's southern elevation be maintained.
2. That the project undergoes the appropriate City permitting process for exterior alterations and fencing on the project site.
3. That any other exterior alterations to the site shall be brought before this Committee for review and approval prior to the issuance of any Building Permits and/or their installation or construction.

4. That all other City codes, ordinances, standards, and regulations shall be met.
5. That the approval from the Historic Preservation Advisory Committee shall lapse and become void twelve months after the date on which it became effective, unless the conditions of the approval allowed a shorter or greater time limit, or unless prior to the expiration of twelve months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site that was the subject of the approval.

ATTACHMENTS

- Exhibit “A” – Site Plan, Floor Plan, and Operational Statement
- Exhibit “B” – Proposed Building Elevations
- Exhibit “C” – Proposed Doors, Windows, and Siding Material
- Exhibit “D” – Existing Building Elevations – ADU and Primary Residence
- Aerial Map
- Historic District and Local Register Map

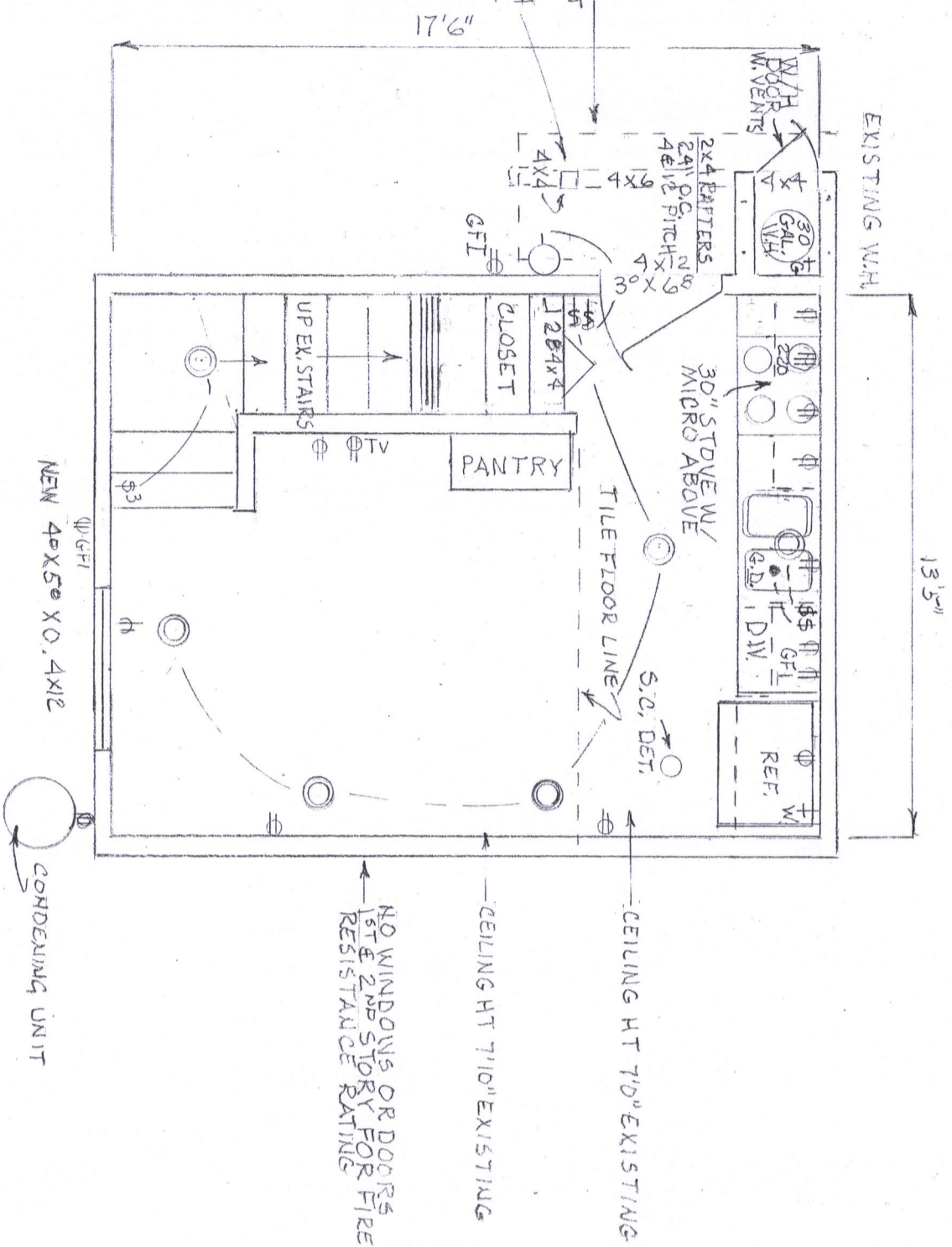
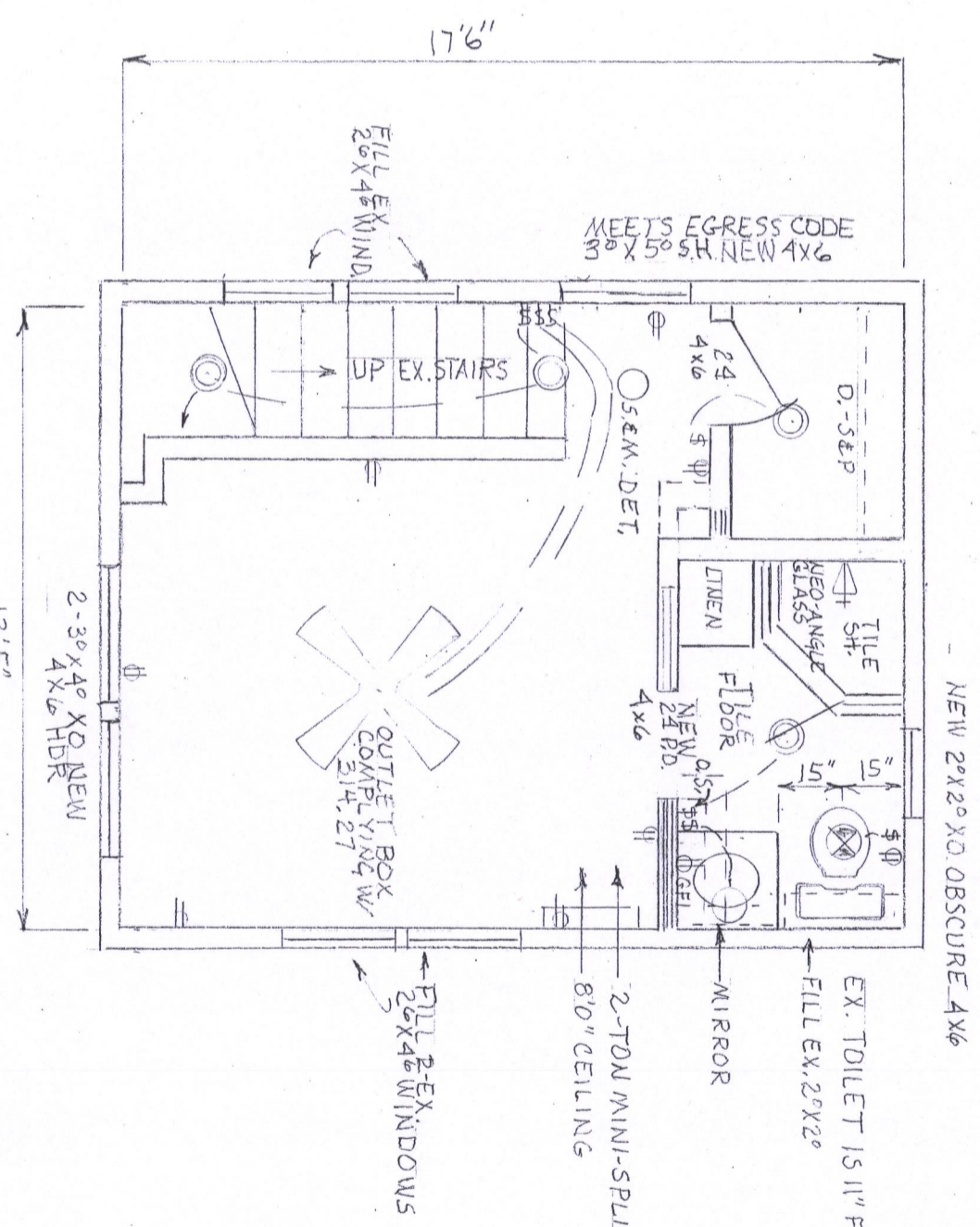
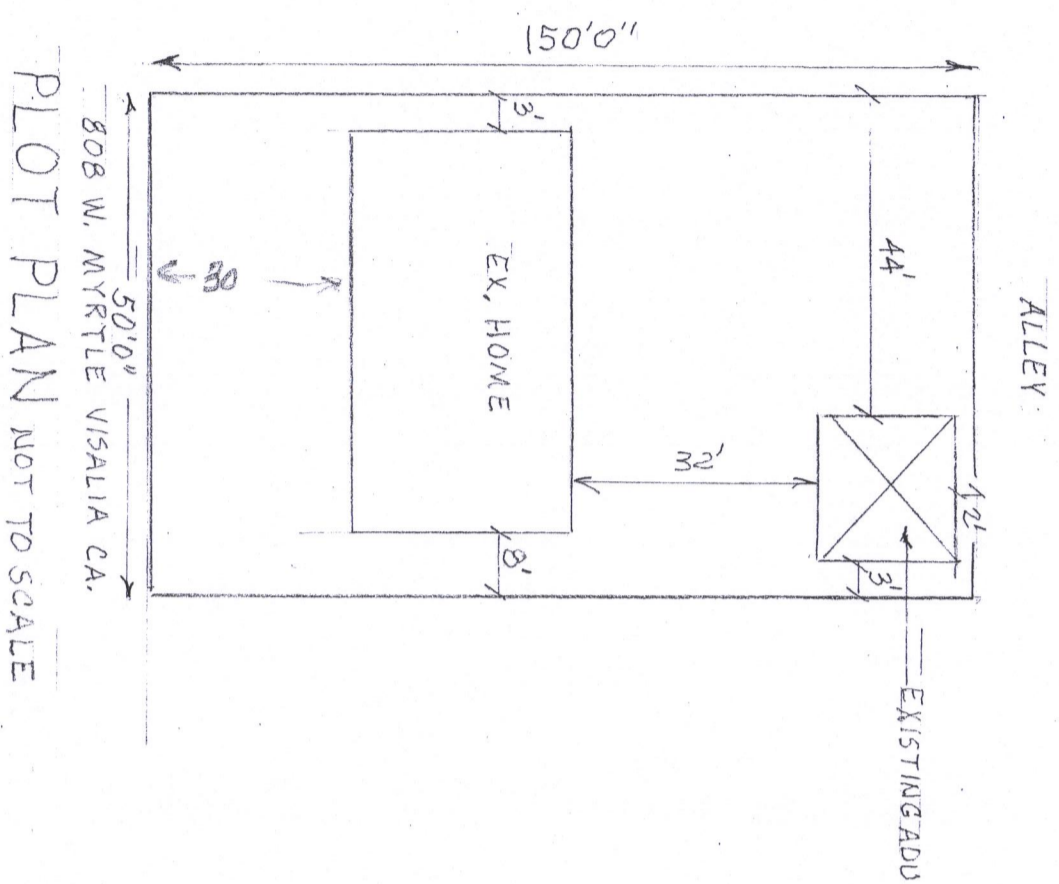
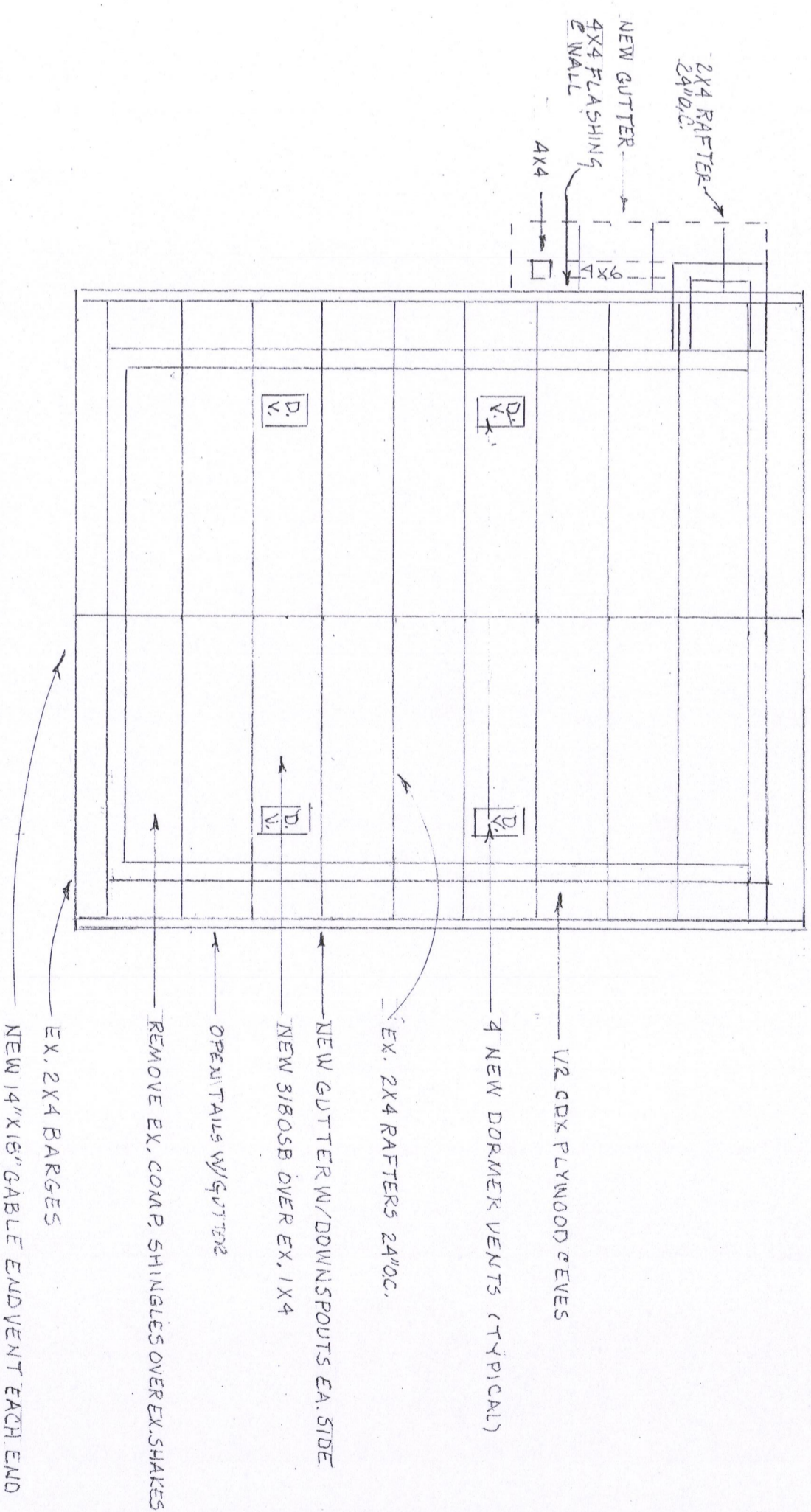
APPEAL INFORMATION

According to the City of Visalia Zoning Ordinance Section 17.56.060, an appeal to the City Council may be submitted within ten days following the date of a decision by the Historic Preservation Advisory Committee (HPAC). An appeal shall be in writing and shall be filed with the City Clerk at 220 N. Santa Fe Street, Visalia CA. The appeal shall specify errors or abuses of discretion by the HPAC, or decisions not supported by the evidence in the record. The appeal form can be found on the city’s website www.visalia.city or from the City Clerk.

[illegible]

DRAWN	
CHECKED	
DATE	
1/4" = 1' SCALE	
JOB NO.	
SHEET	

868 W. MYRTLE
ADD
DAVID MINYARD
OF
SHEETS



OPERATION STATEMENT

DIMMING CONTROLS IN HABITAT SPACES TO BE MANUALLY ADJUSTED AS PER NFPA 557A ENERGY CODE 150.0 (F)

ALL 120 VOLTS SINGLE PHASE 15 AND 20 AMP
BRANCH CIRCUITS SUPPLYING OUTLETS &
FIXTURES, INSTALLED IN DWELLING UNITS
BE PROVIDED WITH A 15 AMP 250 VOLT CIRCUIT
BREAKER (CIRCUT BREAKER) PER CIRCUIT.

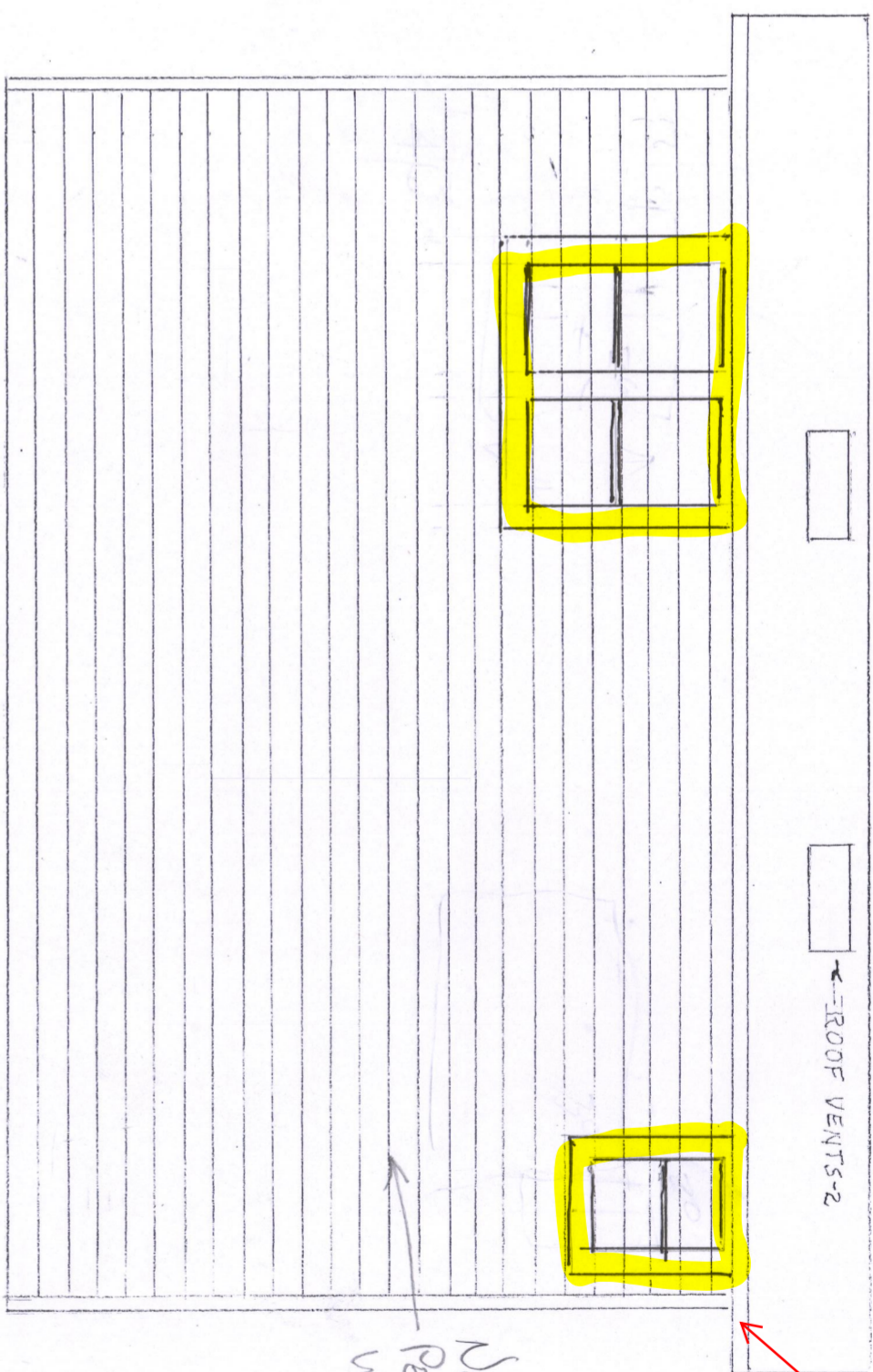
ALL ELECTRICAL OUTLETS 5 INCHES &
CONTROL SWITCHES IN CLOSETS 48" HIGHER
OF OUTLETS SHALL BE IN CLOSETS 48" HIGHER
FROM BOTTOM OF OUTLET BOX TO FLOOR.

STAIRS ARE EXISTING REQUIRE R311.7
WINDOWS COMPLY U FACTOR 3.0 & SHGC .23

1) THEN EX. FAN MINIMUM 100 CFM.
2) EXHAUST FAN MINIMUM 50 CFM.

WALLS COMPLETELY WITH
WIRE MESH SECTIONS 2014 GALV. DES. C.
DRAINS W/ MIN. SLOPE 1/4" FT.
-DRAINS 5" x 6" GREEN/CEMENT
-EXISTING WALLS
-REMOVE EX. WALL
-NEW WALL
-MOISTURE SENSING EX.
-FAN & BATHROOM
ALL NEW 8" x 14" BRD SIPSING
W/ BUILDING WRAP UNDER
NEATH
ALL NEW ELECTRICAL
REUSE EX. 100 AMP PANEL
NEW PLUMBING-DRAINS
& WATER
COUNTER TOPS TO BE
FOR KITCHEN &
BATHROOM
LIGHT SENSORS &
BATHROOM
WATER CLOSET 1.28 FLUSH
R-38" CEILING 2nd STORY
R-13" EXT. WALLS
ALL PAN LGS LED,
ALL INSTALLED LUMINARE
TO BE HIGH EFFICACY 150.
ENERGY CODE
GRADE DETECTORS IN
BEDROOM & CARPORT WALL
NOV. EXISTING RATE IN FURGIT
NOT TO EXCEED 2 GAL/MIN.
RATE @ 28 GAL/INCH PER
MIN. @ 20 PSI.
WINDOWS TO BE WHITE
VINYL-TRILL BOARD
COUNTERTOPS TO BE
FORMICA
2X4 WALLS 16" OC.

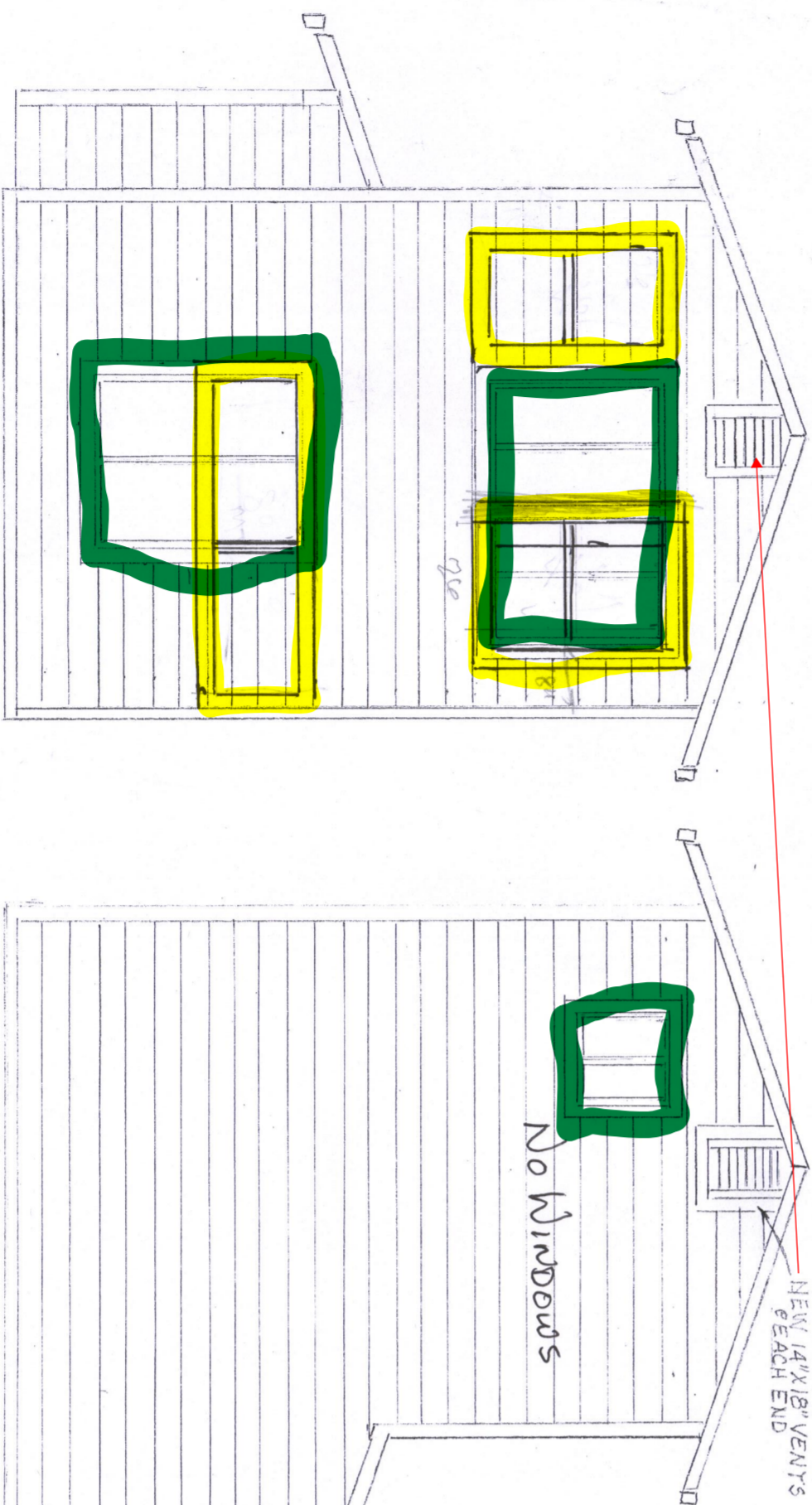
EXISTING WINDOW TO BE REMOVED AND REPLACED WITH SIDING AND/OR WINDOW. -
NEW WINDOW TO BE INSTALLED.



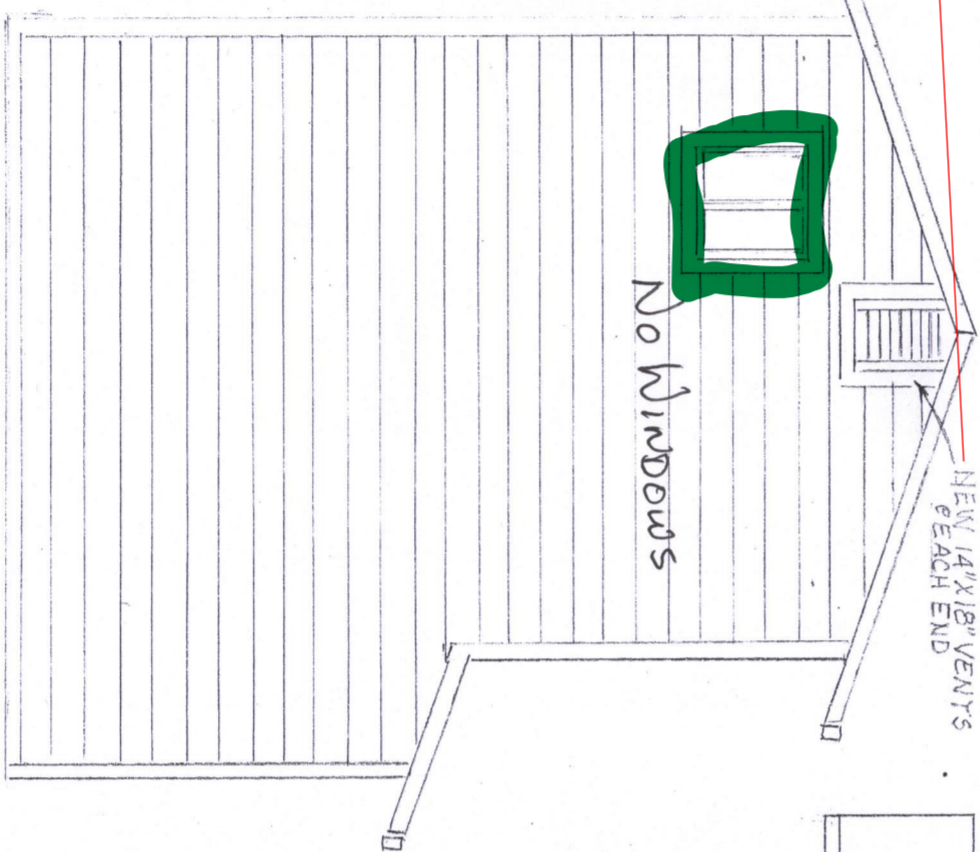
EAST ELEVATION

No windows or penetrations this wall - fire wall 1 Hr

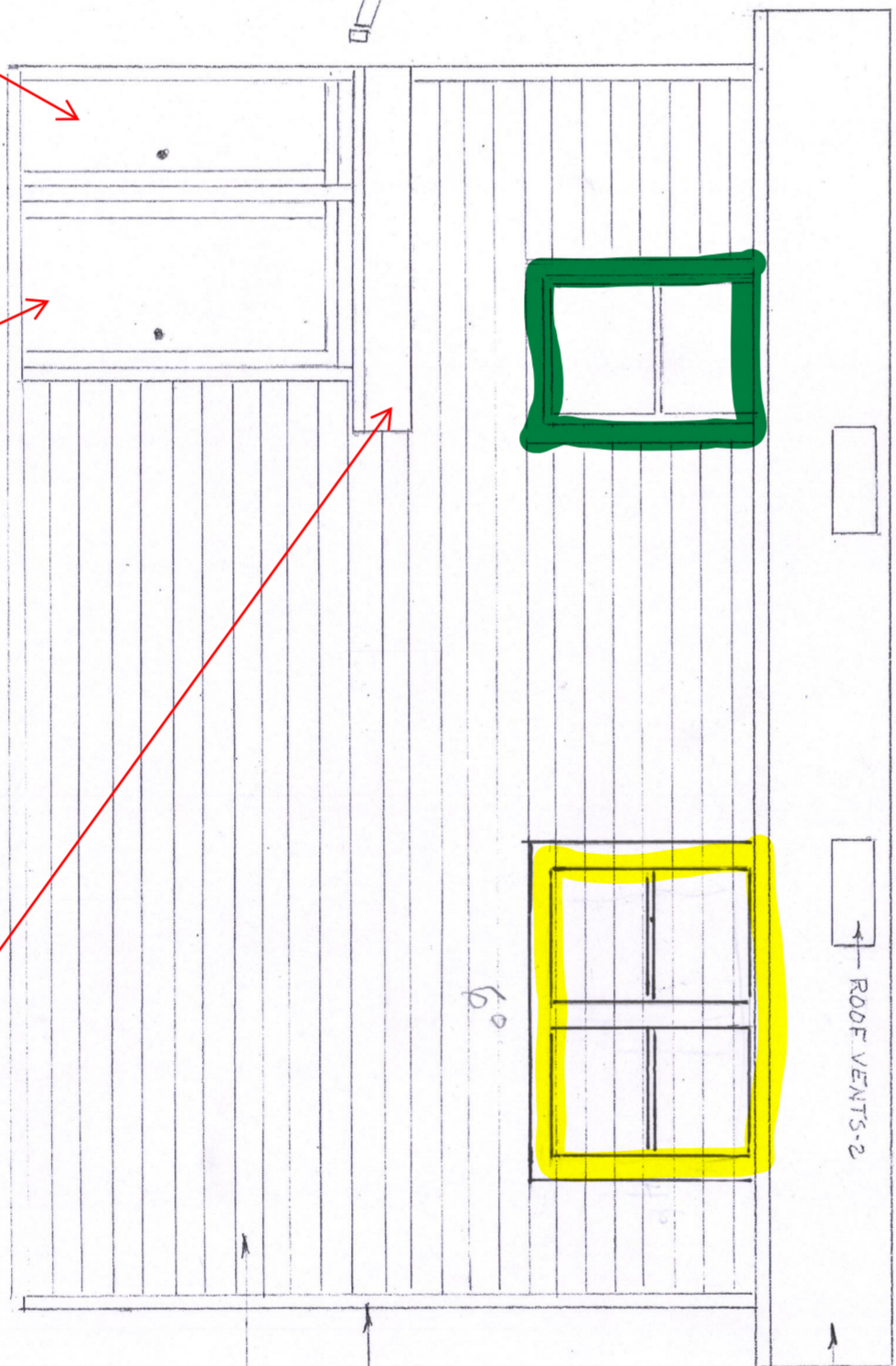
8'10 1/2"



SOUTH ELEVATION FRONT



NORTH ELEVATION REAR



WEST ELEVATION

New flat door for water heater storage room.

New six panel Merrite EI & EI Door.

New angled roof for front entrance porch.

ALL TRIM 1X4 HARD BOARD CORNERS, DOORS AND WINDOWS
1X8 HARD BOARD SIDING - TYPICAL
30 YEAR COMP. ROOF - NEW

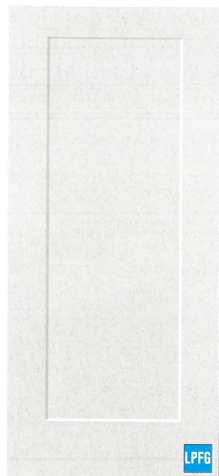
REVISIONS	BY

DRAWN	CHECKED
DATE	SCALE
JOB NO.	SHEET
808 W. MYRTLE	DAVID
MINYARD	
OF	SHEETS

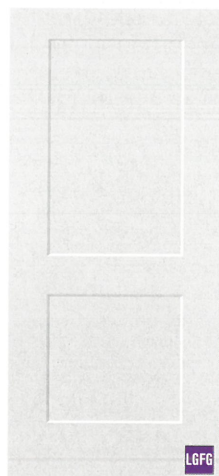
Panel Doors



LPFG-1
(2'8" 3'0")



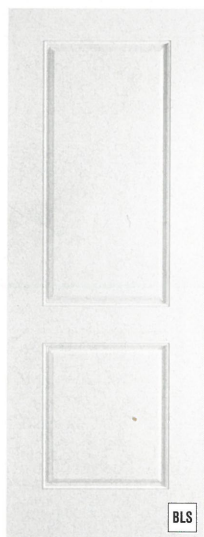
LPFG-1
(2'8" 3'0")



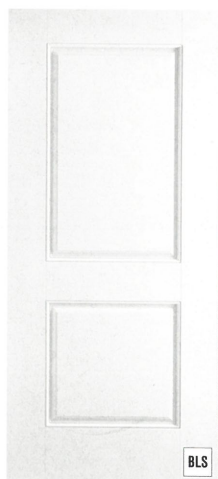
LGFG-2
(2'8" 3'0")



LGFG-2
(2'8" 3'0")



BLS-2ST
(2'8" 2'10" 3'0")



BLS-2ST
(2'8" 2'10" 3'0")



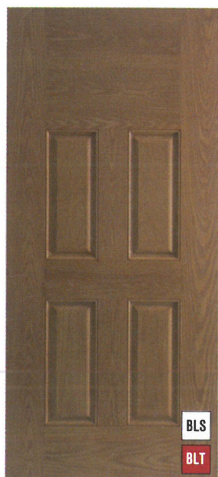
BMT-8
(3'0")



BLS-2P
(2'8" 2'10" 3'0")



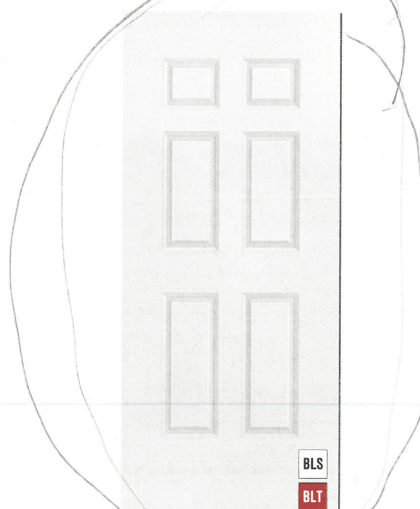
BLS-2P
(2'8" 2'10" 3'0")



BLS-4BT
(2'8" 2'10" 3'0")



BLS-6
(2'6" 2'8" 2'10" 3'0")



BLS-6
(3'0" x 7'0")



BLS-6
(2'6" 2'8" 2'10" 3'0")

BLS

Smooth

BLT

Oak Grain Textured

BMT

Mahogany Textured

Not all widths available in every texture.



VISALIA WINDOW CO.
8525 W ROOSEVELT
VISALIA, CA 93291-9458
559 651-1041

MILGARD
WINDOWS and DOORS

Quote Name: SH window Minyard res 808 W. Mertle Visalia,ca.
Customer: HERITAGE HOME BUILDERS
Payment Terms:
Sales Representative: Charles Salmon **Mobile:** 5592870061
visaliawindow@aol.com
Weighted Average: U-Factor: .28, SHGC: 0.2, VT: .48

Quote Number: SQPBVQ006665_2
Created Date: 4/4/2025
Modified Date: 4/4/2025
PO Number:
Total Windows: 5
Total Doors:
Total Sq Ft: 63.00
Total Perim Ft: 74
Est. Delivery: _____

Comments:

For warranty information please visit www.milgard.com/warranty/

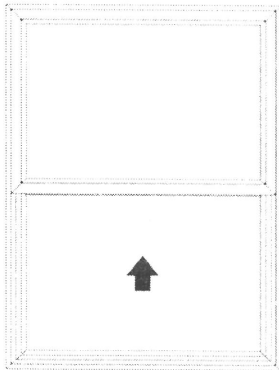
Billing Information

Name: HERITAGE HOME BUILDERS
Address: 798 N. PEPPER STREET
WOODLAKE, CA 93286
Phone: 559-564-2904
Fax:
Email:

Shipping Information

Name:
Address:
Phone:
Fax:
Email:

Line: 1 **Location:** up stairs
Quantity: 2 V300 Trinsic, 2230, SH, 1" Setback, Ext White / Int White, U-Factor: .28, SHGC: .20, VT: .48
1/8" SunCoatMAX (Low-E) over 1/8" Clear
Pull Rail Screen with Fiberglass Mesh
Argon Gas Filled
Tariff

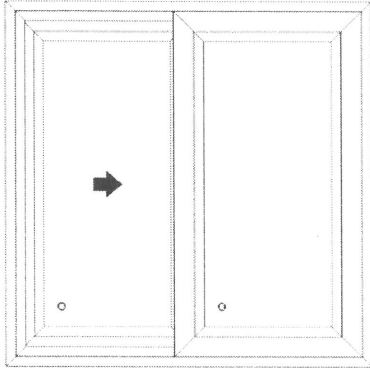


Viewed From Exterior

Model = Single Hung
Size = RO: 36" x 48"
Net Frame: 35 1/2" x 47 1/2"
Dimensions = Sash Height: One Half
Energy Star Zone(s) = South Central; Southern; Meets Title 24 2019
Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray EdgeGardMAX Spacer
Glazing = 3/4" OA Dual Glaze with Argon
Frame Accessories = Stucco Key
Hardware = SmartTouch Lock
Screen = Pull Rail with Fiberglass Mesh
Ratings = STC: 30, OITC: 25, PG: LC-PG30
Clear Opening = W 33" x H 20 1/8" Sq. Ft. 4.61
Calculations = Unit Area (Sq. Ft.): 12, Unit Perimeter (nominal in lineal ft): 15'
Other Ratings = CPD: MIL-A-295-12021-00001

Customer Approval: _____

Line: 2 **Location:** up stairs
Quantity: 1 V300 Trinsic, 2130, HV, 1" Setback, Ext White / Int White, U-Factor: .28, SHGC: .20, VT: .48
 1/8" SunCoatMAX (Low-E) over 1/8" P516 (Standard Obscure)
 Pull Rail Screen with Fiberglass Mesh
 Argon Gas Filled
 Tariff

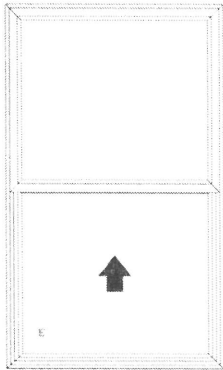


Viewed From Exterior

Model = Half Vent
 Size = RO: 24" x 24"
 Net Frame: 23 1/2" x 23 1/2"
 Handing = XO
 Energy Star Zone(s) = South Central; Southern; Meets Title 24 2019
 Glass = 1/8" SunCoatMAX (Low-E) over 1/8" P516 (Standard Obscure) with Gray EdgeGardMAX Spacer
 Glazing = 3/4" OA Dual Glaze with Argon
 Frame Accessories = Stucco Key
 Hardware = SmartTouch Lock
 Screen = Pull Rail with Fiberglass Mesh
 Ratings = STC: 29, OITC: 24, PG: LC-PG25
 Clear Opening = W 9 3/8" x H 21" Sq. Ft. 1.37
 Calculations = Unit Area (Sq. Ft.): 4, Unit Perimeter (nominal in lineal ft): 8'
 Other Ratings = CPD: MIL-A-294-12560-00001

Customer Approval: _____

Line: 3 **Location:** up stairs meets egress
Quantity: 1 V300 Trinsic, 2230, SH, 1" Setback, Ext White / Int White, U-Factor: .28, SHGC: .20, VT: .48
 1/8" SunCoatMAX (Low-E) over 1/8" Clear
 Pull Rail Screen with Fiberglass Mesh
 Argon Gas Filled
 Tariff



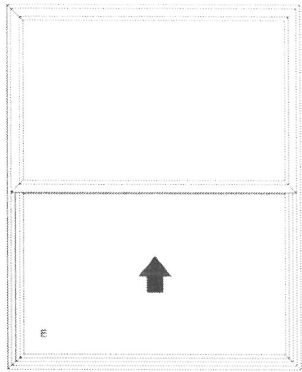
Viewed From Exterior

Model = Single Hung
 Size = RO: 36" x 60"
 Net Frame: 35 1/2" x 59 1/2"
 Dimensions = Sash Height: One Half
 Energy Star Zone(s) = South Central; Southern; Meets Title 24 2019
 Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray EdgeGardMAX Spacer
 Glazing = 3/4" OA Dual Glaze with Argon
 Frame Accessories = Stucco Key
 Hardware = SmartTouch Lock
 Screen = Pull Rail with Fiberglass Mesh
 Ratings = STC: 30, OITC: 25, PG: LC-PG30
 Clear Opening = W 33" x H 26 1/8" Sq. Ft. 5.99, Egress: Yes
 Calculations = Unit Area (Sq. Ft.): 15, Unit Perimeter (nominal in lineal ft): 17'
 Other Ratings = CPD: MIL-A-295-12021-00001

Customer Approval: _____

Line: 4
Quantity: 1

Location: down stairs
V300 Trinsic, 2230, SH, 1" Setback, Ext White / Int White, U-Factor: .28, SHGC: .20, VT: .48
1/8" SunCoatMAX (Low-E) over 1/8" Clear
Pull Rail Screen with Fiberglass Mesh
Argon Gas Filled
Tariff



Viewed From Exterior

Model = Single Hung
Size = RO: 48" x 60"
Net Frame: 47 1/2" x 59 1/2"
Dimensions = Sash Height: One Half
Energy Star Zone(s) = South Central; Southern; Meets Title 24 2019
Glass = 1/8" SunCoatMAX (Low-E) over 1/8" Clear with Gray EdgeGardMAX Spacer
Glazing = 3/4" OA Dual Glaze with Argon
Frame Accessories = Stucco Key
Hardware = SmartTouch Lock
Screen = Pull Rail with Fiberglass Mesh
Ratings = STC: 30, OITC: 25, PG: LC-PG30
Clear Opening = W 45" x H 26 1/8" Sq. Ft. 8.16, Egress: Yes
Calculations = Unit Area (Sq. Ft.): 20, Unit Perimeter (nominal in lineal ft): 19'
Other Ratings = CPD: MIL-A-295-12021-00001

Customer Approval: _____



VISALIA WINDOW CO.
8525 W ROOSEVELT
VISALIA, CA 93291-9458
559 651-1041

MILGARD
WINDOWS and DOORS

Submitted By: _____

Grand Total (USD): \$2,104.06

Accepted By: _____

Date: _____

For warranty information please visit www.milgard.com/warranty/

Please note that actual NFRC energy values may vary from those reported in CTB Quote Plus due to variations that may occur during the manufacturing process. In most cases variations will be minimal. Please contact your Milgard location with questions or concerns regarding this potential variation.

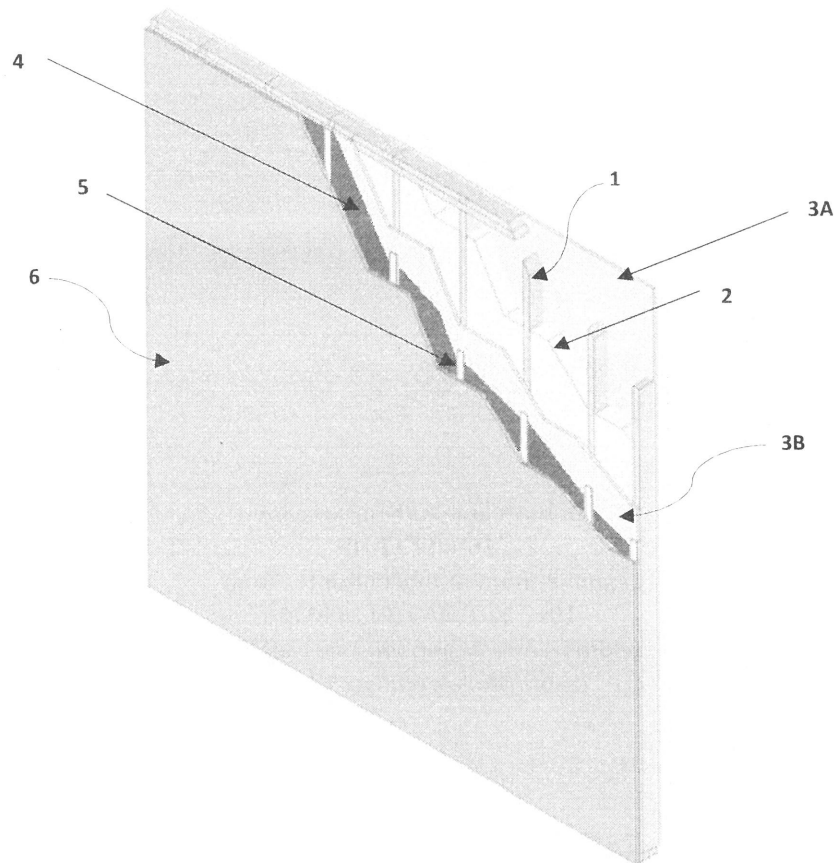
Painted Vinyl Note: For stucco applications, please follow the Milgard Stucco Tape Guidelines
https://www.milgard.com/sites/milgard/files/u/u57666/stucco_taping_guidelines_0920.pdf.

Handing is viewed from outside looking in.

ADDITIONAL INFORMATION:

If using a Credit Card, a 3.0% transaction fee will be charged.

James Hardie Building Products
JH/FCS 60-02
James Hardie Fiber Cement Siding
ASTM E119, CAN/ULC S101
Non-Symmetrical, 1 Hour Load-Bearing Wall Assembly – Full Design Load
(Rating applies to both sides)



1. **WOOD STUDS:** Nominal 2 in. × 4 in. solid sawn wood studs located 16 in. on center (oc), with two top plates and a single bottom plate.
2. **CAVITY INSULATION (Optional):** Glass fiber batt insulation, conforming to CSA A101; Glass fiber insulation min. 0.6 kg/m³.
3. **GYPSUM WALLBOARD, SIDE A:** 5/8 in. Type X gypsum wallboard, oriented vertically and fastened with 1-3/4 in. cup-head gypsum nails, spaced 7 in. oc at board edges and in field areas, or 1-1/2 in. Type S drywall screws,

spaced 8 in. oc at board edges and in field areas of boards.

GYPSUM SHEATHING, SIDE B: 5/8 in. Type X gypsum sheathing fastened with 1-3/4 in. long roofing nails spaced 7 in. oc. Sheathing edge joints shall be staggered from those on opposite side of the wall.

4. **ADDITIONAL LAYER(S) (Optional):** Any one or two of the following components can be used in any order outward of the gypsum sheathing (Item 3B):



COMPONENT 1 – EXTERIOR INSULATION: The exterior insulation may be installed up to the max. thickness and density recognized in the certification document.

- ICC-ES AC377 certified open cell, spray-applied polyurethane insulation
- ASTM C578 certified extruded polystyrene (XPS) insulation
- ASTM C1289 certified polyiso insulation
- Mineral wool batt insulation

COMPONENT 2 – WOOD STRUCTURAL PANEL SHEATHING:

- Code prescribed wood structural panel sheathing

One layer of the wood structural panel sheathing may also be installed on the interior of Item 3B.

5. FURRING (Optional):

- Min. 1-1/2 in. wide × 3/8 in. thick furring (Wood: Min. 0.42 s.g.; Metal: Corrosion Resistant min. 20 GA 33 ksi metal hat channel, z-girt or u-bar), or
- Min. 4.574 in. wide × 3/4 in. thick James Hardie Horizontal Steel Furring installed per manufacturer's installation instructions (min. 18 GA 33 ksi metal)

6. CERTIFIED MANUFACTURER: James Hardie Building Products Inc.

CERTIFIED PRODUCT: HardiePlank® smooth and textured Lap Siding (HZ5 and HZ10), CemPlank® Lap Siding, Prevail® Lap Siding, HardieShingle® smooth and textured (HZ5 and HZ10), Artisan® Shingle, HardiePanel® Vertical Siding smooth and textured (HZ5 and HZ10), CemPanel® Vertical Siding, Prevail™ Panel Siding, Artisan® Lap Siding, Artisan® V-Groove Siding, Artisan® Bevel Channel, Artisan® Square Channel, Artisan® Shiplap Lap Siding, Reveal®, and Pressed Reveal® sidings.

FIBRE-CEMENT EXTERIOR SIDING:

HardiePlank® smooth and textured Lap Siding (HZ5 and HZ10), CemPlank® Lap Siding, Prevail® Lap Siding, HardieShingle® smooth and textured (HZ5 and HZ10), Artisan® Shingle, HardiePanel® Vertical Siding smooth and textured (HZ5 and HZ10), CemPanel® Vertical Siding, Prevail™ Panel Siding, Artisan® Lap Siding, Artisan® V-Groove Siding, Artisan® Bevel Channel, Artisan® Square Channel, Artisan® Shiplap Lap Siding, Reveal®, or Pressed Reveal® sidings installed in accordance with manufacturer's installation instructions.

EXHIBIT D







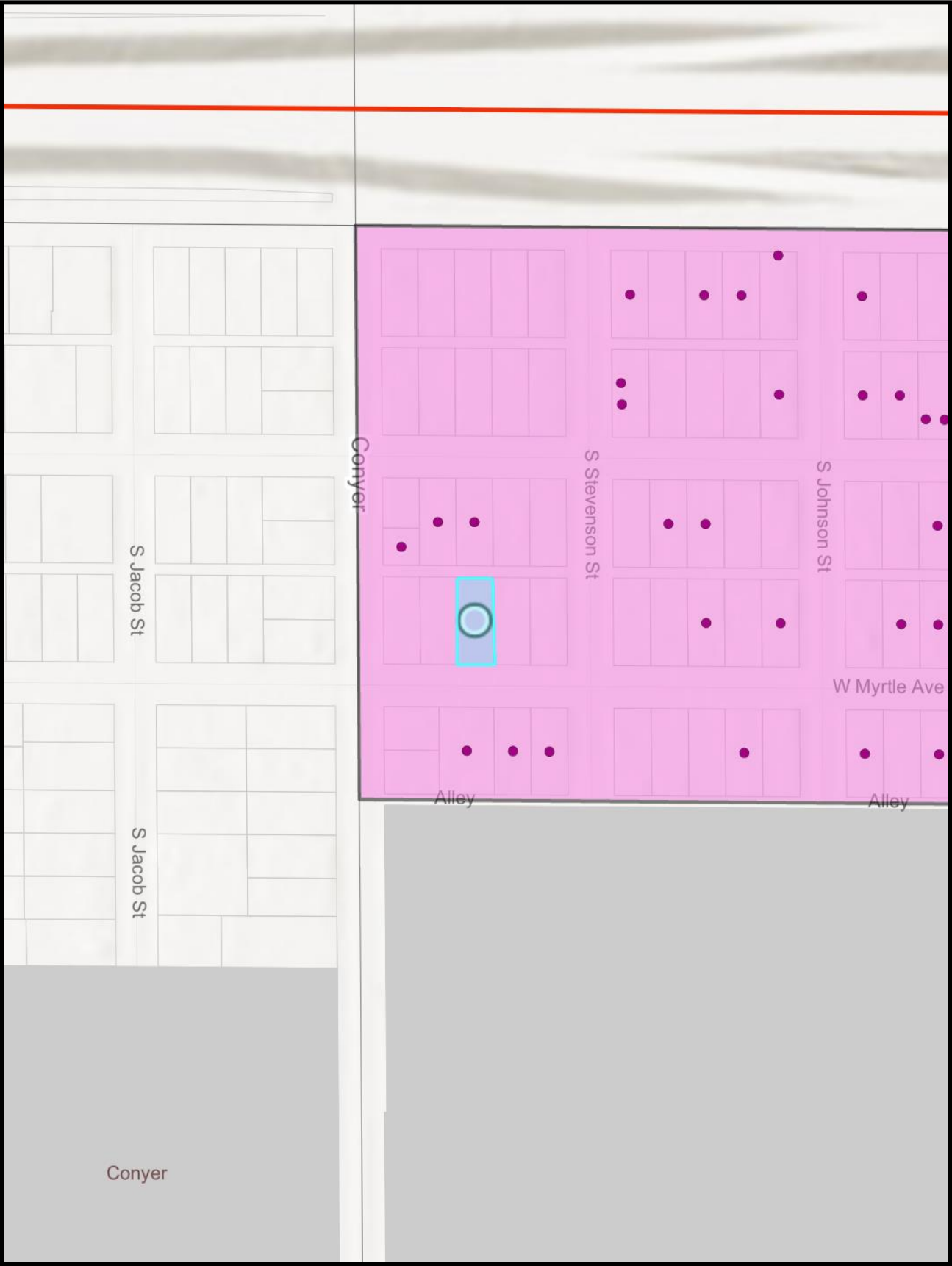




AERIAL MAP



HISTORIC DISTRICT AND LOCAL REGISTER MAP



17 – Zoning Code

Single-Family Residential

Objective Design Standards

REVISED PUBLIC REVIEW DRAFT

MARCH 2025

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Chapter 17.12 – Article 2

Single-Family Residential Objective Design Standards



Chapter 17.12 Article 2: Single-Family Residential Objective Design Standards

17.12.140 Purpose and Applicability

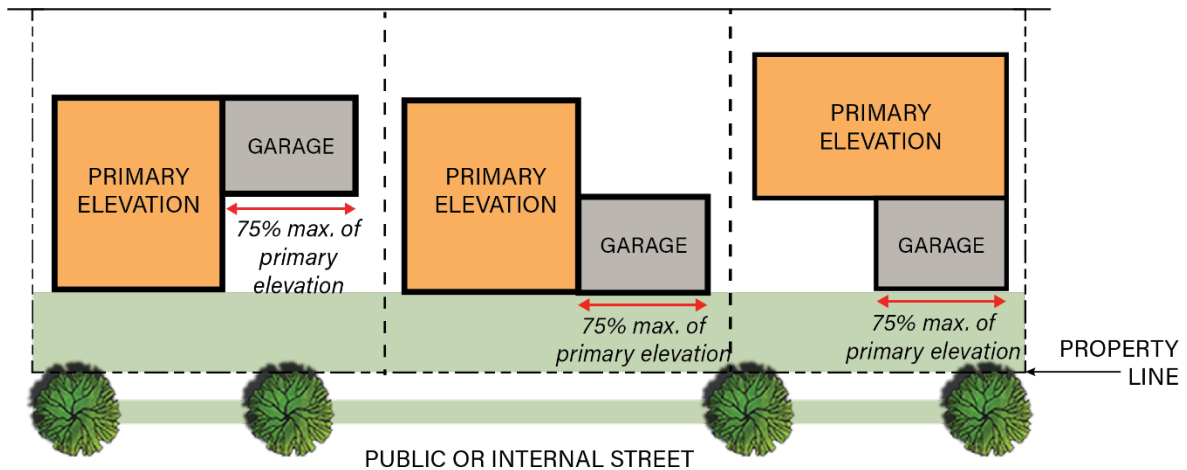
- A. Purpose. The purpose of this Chapter is to establish objective design standards that provide developers with a clear understanding of the City's expectations for all residential project design and streamline the construction of housing units by reducing subjectivity in the entitlement process. All applicable development projects are required to comply with all design standards found in this Chapter in addition to all applicable Building Permit requirements, Zoning Ordinance requirements, City Engineering Division Design and Improvement Standards, and all other applicable City, County, and State provisions.
- B. Applicability. The standards of this Chapter apply to all new single-family residential developments on lots regardless of parcel size, except as described below.
 - 1. For the purposes of this Chapter, accessory dwelling units (ADUs) are considered accessory structures to a single-family residence and are subject to all applicable design standards for accessory structures established in this Chapter except where they interfere with State law or the City's ADU Ordinance.
 - 2. Buildings and structures listed on the City's Local Register of Historic Structures are excluded from the requirements of this Chapter but are subject to committee review (see Chapter 17.56).

17.12.150 Site Planning

- A. Site Placement
 - 1. Orientation
 - a. The primary elevation of the residence shall face the primary public or private right-of-way on which the parcel is located. For the purposes of this Section the primary elevation is that in which the primary entrance is located.
 - b. On corner lots, the primary elevation is considered the elevation that is facing the street in which the residential address is associated with and front door is located. The applicant/developer/property owner may file for an address change if they would like to change what street the primary elevation is located on.
 - c. On corner lots, garages may be located on the secondary elevation and are required to include a garage setback of 22 feet.



- d. Garages (attached or detached) shall not exceed 75 percent of the width of the primary elevation. For lots less than 40 feet wide, this standard does not apply.



B. Site Development

1. **Setbacks.** Structure setbacks shall be subject to the provisions of the applicable zone of which the subject parcel is located in. For single-family provisions please see Chapter 17.12. For lots less than 5,000 square feet the setback requirements specified in Section 17.12.135 shall apply.
2. **Height.** Structure height shall be subject to the provisions of the applicable zone of which the subject parcel is located in. For single-family provisions please see Chapter 17.12. For lots less than 5,000 square feet the height requirements specified in Section 17.12.135 shall apply.
3. **Front Entryways.** Front entryways shall comply with one of the following styles:
 - a. **Front Porch**
 - i. Front porches shall be at least three feet deep and six feet wide.
 - ii. Front porches shall be covered by a roof with a similar style and material as the primary elevation.
 - iii. The front porch shall include a minimum of one window.
 - iv. Front porches may project up to six feet into the front yard setback
 - v. Front porches shall include at least one step
 - b. **Recessed Entry**
 - i. Recessed entries shall have a depth of at least one foot from the primary elevation to create a covered landing area.
 - c. **Deep Overhang**

- i. Deep overhangs shall be a minimum depth of three feet and a maximum of five feet.
- d. Front Landing
 - i. Front landings shall be at least one foot deep.
 - ii. Front landings shall include at least one step.
 - iii. Front landings shall be covered with a roof in similar style and material as the primary elevation.

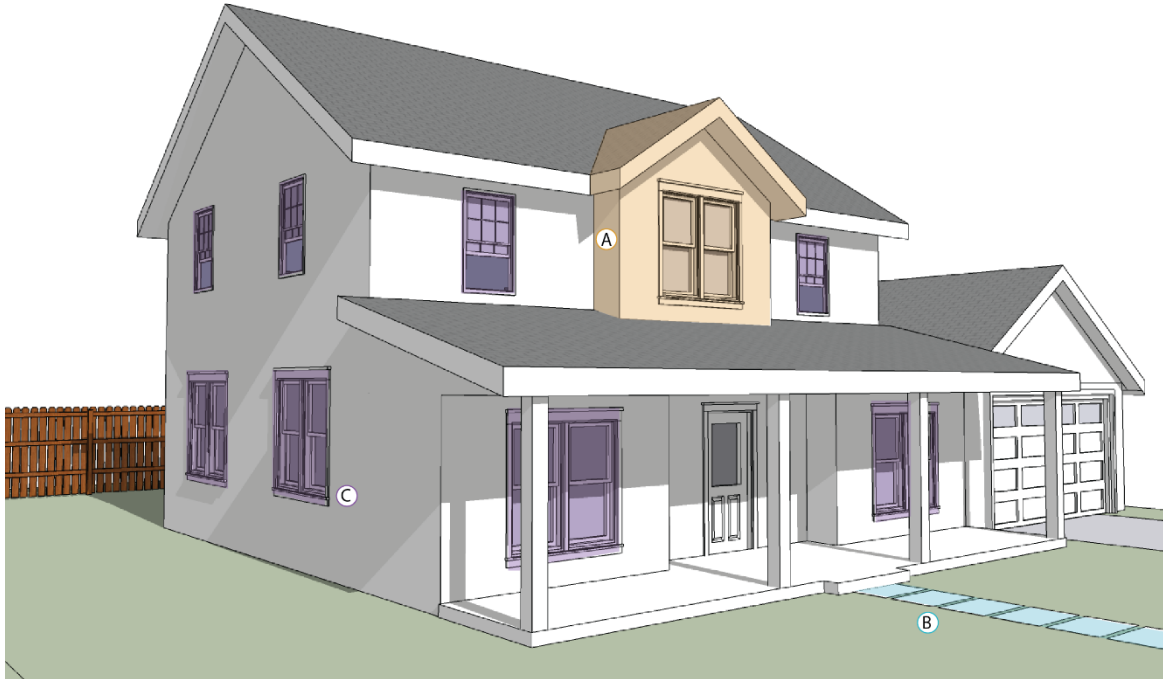
17.12.160 Structure Design Standards

- A. All developments shall include at least three of the following design elements:
- 1. A projection for every 25 feet of continuous plane on each elevation. Each projection shall be at least two feet deep and five feet wide. A projected area shall be capped with an eave or gable that matches the same materials and style as the main structure. A projection may extend into the required setback if it complies with Section 17.32.090 (Yard requirements – Exceptions) of this Title.
 - 2. A recession for every 25 feet of continuous plane. Each recession shall be at least two feet deep, but no more than six feet deep, and at least five feet wide.
 - 3. Second Floor Stepbacks. For two-story structures, the second floor shall be stepped back by at least three feet, but no more than 12 feet, from the ground floor wall plane. The stepback shall extend along at least 50 percent of the length of the wall plane. The stepback may be continuous or composed of multiple segments that together total the required length.
 - 4. A protruding window (such as a bay window) at least two feet in depth.
 - 5. A change in total height of a façade for every 15 feet of continuous plane. Change in height shall be a minimum of two feet.
 - 6. Change in roof pitch or form for, at least, every 15 feet of continuous plane.
 - 7. A gable or dormer for, at least, every 15 feet of continuous plane.
 - 8. A Juliette balcony for, at least, every 15 feet of continuous plane.
 - 9. A second story balcony at least three feet deep and five feet wide.
 - 10. A decorative trellis, at least, every 15 feet of continuous plane.
 - 11. A window for, at least, every 15 feet of continuous plane.
 - 12. A pedestrian walkway, other than the driveway, that is at least three feet wide and provides direct access to the front entryway of the residence to the primary sidewalk, or primary right-of-way if no sidewalk is present. Pedestrian walkways may be constructed with any materials (i.e., aggregate or natural stone or rock, brick, gravel, wood, poured concrete), except for dirt or topsoil. On corner lots, where the garage is



on the secondary elevation, a walkway shall provide direct access from the front entryway to the primary sidewalk.

13. A tandem garage with a maximum width of 13 feet and a minimum depth of 38 feet. This option is only allowed for lots less than 40 feet wide.



- (A) Projection or recession measuring at least two feet deep and five feet wide and capped with a gable
- (B) A pedestrian walkway measuring at least three feet wide, other than the driveway that provides direct access to the front entryway from the sidewalk
- (C) A window for, at least, every 15 feet of continuous plane.

NOTE: The rendering above is meant for illustrative purposes only to demonstrate a development in compliance with the requirements established in Section 17.12.160.A (Structure Design Standards).

B. Fenestration

1. All windows and doors shall include at least one of the following exterior design details:
 - a. A recess of at least two inches from the wall plane.
 - b. Wood, metal, stucco covered foam, or engineered wood trim around the entire window or door.
2. If used, shutters shall be sized to cover 100 to 105 percent of the window and match the exact window shape.

C. Design Details

1. Materials
 - a. No more than four materials or finishes (not including roofing, door, or window materials) shall be used on each elevation, and no more than five materials or

- finishes (not including roofing, door, or window materials) in total shall be used across all elevations.
- b. The following materials are prohibited from use as exterior finishes (excluding windows and doors):
 - i. Vinyl siding
 - ii. Plastic
 - iii. Raw, non-treated/coated metal
2. Colors
- a. Single-Family Standalone Unit. A minimum of two, but no more than five, colors (or tints, shades, or tones of the same color) shall be used on the entire exterior of the building.
 - b. Single Family Subdivisions. Single family subdivisions shall provide a minimum of three color schemes and shall not use a single color scheme on more than 40 percent of the residential units. Structures shall incorporate a color scheme that contains a maximum of four distinct colors per building. A color scheme is defined as (body one and/or body two, trim, and a contrasting accent color). Adjacent colors shall not use the same color scheme.
3. Accessory Structures. All accessory structures (i.e., accessory dwelling units, garages, workshops, storage sheds) visible from the primary street shall be constructed of the same materials, colors, and roof type as the primary structure. This standard only applies to accessory structures constructed together with the primary dwelling unit.

17.12.170 Utility and Service Areas

- A. Above ground utilities, transformers, and other mechanical equipment placed between the front or street side of a residence and a public street or vehicular or pedestrian accessway, shall be screened from view by a fence, wall, or landscaping in accordance with this Chapter.
- B. If private vehicle charging facilities are provided in the development, these facilities shall be located close to the garage's electrical panel and blend in with the house design/color to provide architectural compatibility.

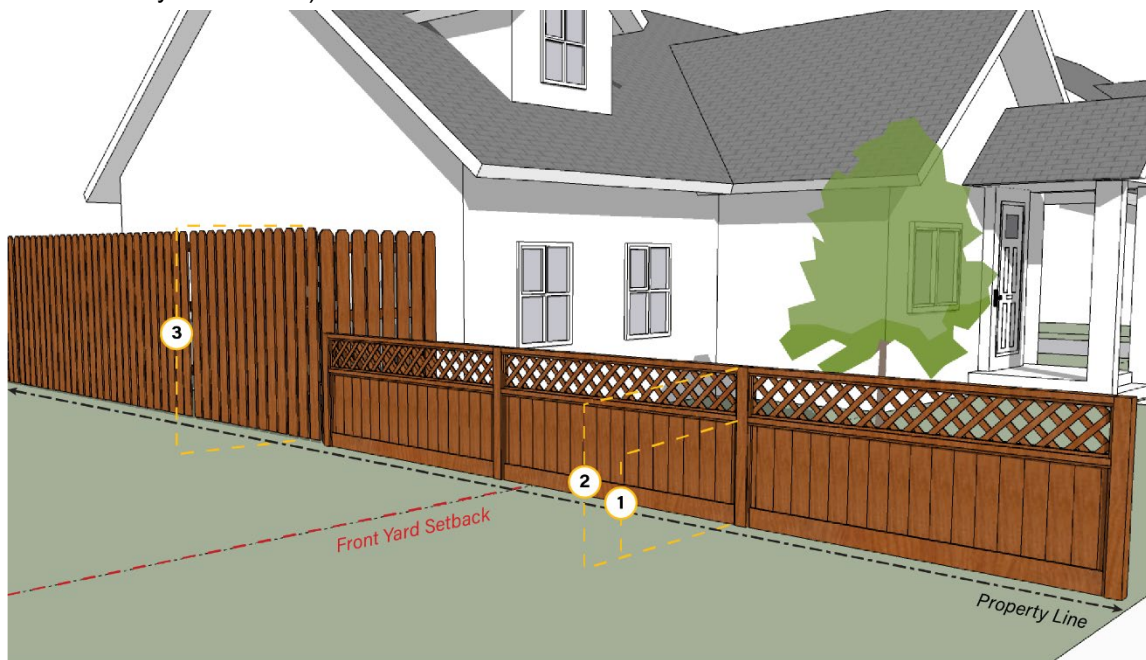
17.12.180 Landscaping

- A. All areas not occupied by structures or pavement in the front yard area shall be landscaped. Landscaped areas shall consist of plantings, turf, mulch, or bark.
- B. All landscape areas shall meet the requirements of the State Model Water Efficient Landscape Ordinance, or if applicable, the Water Efficient Landscape Ordinance of the City of Visalia. [Source: 17.30.015.C.1.a]
- C. Pavement or hardscape shall not make up more than 50 percent of the front yard, unless necessary to meet other standards required by this Chapter.



17.12.190 Fences, Walls, and Hedges.

- A. Height. Fences, walls, and hedges shall not exceed seven feet in height if on the side or rear yard setbacks, or three feet in height if in the front yard setback. A front yard fence or wall may be allowed to a height of up to four feet only if the portion exceeding three feet, at minimum, is constructed with a material that has a visibility percentage of at least 50 percent (i.e., lattice fencing). These standards also apply within five feet of the street side property line for corner lots.
- B. Materials. The following materials are prohibited from use as fencing:
1. Barbed wire
 2. Electric charged fencing
 3. Corrugated Paneling
 4. Chain link (except for three to four-foot height fences within the front yard and street side yard setback)



- 1 Maximum height of three feet in front yard setback.
- 2 Maximum height of four feet in front yard setback if top one foot of fence is at 50 percent visibility.
- 3 Maximum height of seven feet in on side and rear yard setback.

17.12.200 Exterior Lighting

- A. All entryways, porch areas, pedestrian pathways, and gates shall include lighting for safety and security. All exterior lighting fixtures shall comply with all of the following standards:
1. Be fully shielded and shall not spill onto adjacent properties;
 2. Ground-mounted light fixtures to illuminate driveways, landscaped areas, or pedestrian pathways shall be no more than three feet in height; and

3. Use light emitting diodes (LEDs) with a maximum temperature of 3000 kelvins.
- B. Permanently installed light fixtures that blink, revolve or flash are prohibited. This excludes decorative seasonal lighting.

17.12.210 Off-Street Parking Facilities

- A. The number and type of off-street parking facilities for a single-family residential development shall comply with the requirements of the underlying zoning district as established in Chapter 17.34. In addition to the provisions in Chapter 17.34, all off-street parking facilities shall comply with the following standards:
- B. Covered parking areas shall be in garages. Carports are allowed only if they do not serve as the required covered parking (e.g., porte cocheres, carports in front of garages). [Source: 17.12.135.A.7]
- C. Uncovered parking areas (i.e., driveways) shall be paved with concrete or a permeable or impermeable surface. [Source: 17.34.030.P]
- D. Off-Street Guest Parking Facilities for Planned Unit Developments. Planned unit developments with four or more dwelling units shall provide off-street guest parking spaces when on-street parking is not allowed on the streets within the development. Planned unit developments shall provide a minimum of one guest parking space per four dwelling units within the total project. If a fraction occurs based on the specified number of guest spaces, the project applicant shall round up to the next round number of guest spaces.

17.12.220 Useable Common Open Space Areas for Planned Unit Developments

- A. Useable Common Open Space. Planned unit developments shall provide usable outdoor passive/active open space with outdoor amenities as required in Table 1 (Outdoor Amenities). Useable common open space means an unobstructed area or areas, accessible to all occupants of the structure it serves, having no dimension less than 10 feet in any direction. Useable common open space excludes areas designated for parking, including surface parking, carports, or garages. A minimum of 60 percent of the common useable open space shall be provided as landscaped green area (not hardscaped).
- B. Recreational Amenities. Recreation amenities as required in Table 1 (Outdoor Amenities) can be either passive or active as described below, or a combination of the two.
 1. Passive Recreational Amenities. Passive recreation refers to recreational activities that require minimal to no facilities or development to perform such activities. Passive recreation amenities include, but are not limited to, community gardens, outdoor gathering/seating area, picnic/barbeque area, pet area/dog park, courtyard/plaza. All passive recreational amenity area shall be a minimum of 200 square feet unless otherwise stated.
 2. Active Recreational Amenities. Active recreation refers to recreational activities that require specific facilities or equipment to perform such activities. Active recreational amenities include, but are not limited to, playground/tot lot, sports court/field, fitness area, swimming pool, clubhouse w/kitchen, community room. All passive recreational amenity area shall be a minimum of 500 square feet unless otherwise stated.



- C. Seating. Seating shall be provided for all common open space areas.
- D. Playgrounds/tot lots shall be located in an area with direct visibility from a minimum of three dwelling units to allow for casual surveillance.

Table 1
Open Space and Recreational Requirements

Number of Units in Project	Minimum Number of Amenities ¹	Minimum Total Area ²
Less than 5	1	500 sq. ft.
5-10 ¹	1	500 sq. ft. plus 100 sq. ft per unit over 5 units
11-30	2	1,000 sq. ft. plus 150 sq. ft per unit over 10 units
31-60	2	4,000 sq. ft. plus 165 sq. ft per unit over 30 units
61-100	2	9,000 sq. ft. plus 200 sq. ft per unit over 60 units
101-150	3 plus 1 additional amenity for every 50 units over 200	17,000 sq. ft. plus 250 sq. ft per unit over 100 units

1 – Minimum number of amenities can be passive or active amenities as described in Subsection 17.12.220.B
2 - Minimum Total Area means the combined area of all amenities. Each amenity must still meet all applicable standards established in this Section.

17.12.230 Sidewalks for Planned Unit Developments.

Sidewalks within a Planned Unit Development shall incorporate the following standards:

- A. Shall be a minimum width of five feet; and
- B. Shall implement the concrete specifications for sidewalks and ramps as determined by the City of Visalia City Engineering Division Design and Improvement Standards.

