

**CITY OF VISALIA**  
**HISTORIC PRESERVATION ADVISORY COMMITTEE**  
**Wednesday, September 25, 2024, at 5:30PM**

CHAIR: Tyler Davis      VICE CHAIR: Karen Ayala

COMMITTEE MEMBERS:

Patty Kane, Jay Hohlbauch, Jerome Melgar, Kim Lusk, Michael Tomola

**City of Visalia Administration Building**  
**220 North Santa Fe Street, Visalia CA**

**AGENDA**

**A. Citizen's Comments**

**B. Minutes**

1. September 11, 2024, Regular Meeting

**C. Projects**

1. **HPAC Item No. 2024-27**: A request by Steven McCartha for a Conditional Use Permit to establish a single-family residence in the O-C (Office Conversion) Zone, to be utilized as a short-term rental. The project site is located at 1002 West Main Street (APN: 093-226-007).
2. **HPAC Item No. 2024-26**: A request by Denee Fiore for a Conditional Use Permit to establish three residential units, and conduct exterior alterations, on a property within the D-MU (Downtown Mixed Use) Zone. The project site is located at 405 North West Street (APN: 093-175-010).

**D. Discussion Items**

1. Review of Committee Member Applications
  - a. Isiah Farias
  - b. Kristopher Korsgaden
  - c. Erick Arriaga
  - d. Mercedes Marquez
  - e. Oscar Smith
  - f. Amanda Pichurko
2. City of Visalia Accessory Dwelling Unit Ordinance and Single Family Residential Objective Design Standards – Public Review Period
3. Identification of Items for Future Agendas
4. Committee and Staff Comments
  - a. Project Updates

## 5. Historic District Survey Project

### a. Review of Properties

#### **E. Adjournment**

In compliance with the Americans Disabilities Act, if you need special assistance to participate in meetings call (559) 713-4443 (Staff Representative) 48-hours in advance of the meeting. For Hearing Impaired – Call (559) 713-4900 (TTY) 48-hours in advance of the scheduled meeting time to request signing services. Visually Impaired - If enlarged print or a Braille copy is desired, please request in advance of the meeting and services will be provided as possible after the meeting. City Staff to the Committee is Cristobal Carrillo, Associate Planner, 559-713-4443, [cristobal.carrillo@visalia.city](mailto:cristobal.carrillo@visalia.city).

Éste Aviso es para informarle que habra una audiencia para el público ante el Comité de Preservación Histórica de la Ciudad de Visalia. Para más información, o para dar comentario público respecto a esta solicitud, por favor llame Cristobal Carrillo, Associate Planner, al numero (559) 713-4443 o [cristobal.carrillo@visalia.city](mailto:cristobal.carrillo@visalia.city). Additional information about the Historic Preservation Advisory Committee may be found by contacting Cristobal Carrillo, Associate Planner at 559-713-4443, or emailing [cristobal.carrillo@visalia.city](mailto:cristobal.carrillo@visalia.city).

#### **APPEAL PROCEDURE**

According to the City of Visalia Zoning Ordinance Section 17.56.060, an appeal to the City Council may be submitted within ten days following the date of a decision by the Historic Preservation Advisory Committee (HPAC). An appeal shall be in writing and shall be filed with the City Clerk at 220 North Santa Fe Street, Visalia CA. The appeal shall specify errors or abuses of discretion by the HPAC, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website [www.visalia.city](http://www.visalia.city) or from the City Clerk.



# MEETING MINUTES – SEPTEMBER 11, 2024

## CITY OF VISALIA HISTORIC PRESERVATION ADVISORY COMMITTEE Wednesday, September 11, 2024, at 5:30PM

CHAIR: Tyler Davis

VICE CHAIR: Karen Ayala

All members  
present.

COMMITTEE MEMBERS:

Patty Kane, Jay Hohlbauch, Jerome Melgar, Kim Lusk, Michael Tomola

MEMBERS OF THE PUBLIC: Erick Arriaga, Oscar Smith

CITY STAFF: Cristobal Carrillo, Associate Planner

**City of Visalia Administration Building  
220 North Santa Fe Street, Visalia CA**

### AGENDA

#### A. Citizen's Comments

None.

#### B. Minutes

1. August 28, 2024, Regular Meeting

A motion was made by Lusk, seconded by Melgar, to approve the meeting minutes. The motion was approved 7-0.

#### C. Discussion Items

1. September 16, 2024 Visalia City Council Meeting – Annual Report to the City Council

Staff provided an update on changes made to the annual report, noting that a work session with the City Council would be required prior to the HPAC undergoing public outreach activities for the Historic District Survey Project.

2. Identification of Items for Future Agendas

None.

3. Committee and Staff Comments

- a. Project Updates

Staff and the HPAC discussed various topics relating to the Historic District and Local Register.

#### 4. Historic District Survey Project

##### a. Review of Properties

The Committee conducted a review of Areas A25, A26, A27, A28, A34, A35, A40, B25, B26, D5, and D6.

#### D. Adjournment

The meeting adjourned at approximately 7:33pm.

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## REPORT TO THE CITY OF VISALIA HISTORIC PRESERVATION ADVISORY COMMITTEE

**HEARING DATE:** September 25, 2024

**PROJECT PLANNER:** Colleen A. Moreno, Assistant Planner  
Phone: (559) 713-4031  
E-mail: [colleen.moreno@visalia.city](mailto:colleen.moreno@visalia.city)

**SUBJECT:** Historic Preservation Advisory Committee Item No. 2024-27: A request by Steven McCartha for a Conditional Use Permit to establish a single-family residence in the O-C (Office Conversion) Zone, to be utilized as a short-term rental. The project site is located at 1002 West Main Street (APN: 093-226-007).

### STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Advisory Committee (HPAC) recommend approval of the Conditional Use Permit to the Visalia Planning Commission.

### SITE DATA

The site is zoned O-C (Office Conversion) and contains an office space. The previous occupant was Collins & Schoettler Planning Consultants, whose business has vacated the property.



The project site is located within the Historic District and is listed on the Local Register of Historic Structures with a "Focus" classification. The structure contains Craftsman Bungalow architectural elements.

### PROJECT DESCRIPTION

Per the project application, the applicant is requesting to convert the existing office space into a residence for the property owner to rent on a short-term basis. Per the Site Plan (Exhibit "A") there will be no change to the height, spacing, walls, landscaping, setbacks, or front elevations of the building. There will be no exterior alterations or signage proposed for the existing residence. The Floor Plan (Exhibit "B") provides details about the building's interior, which shows that the existing office space will be converted into bedrooms and living space if the Conditional Use Permit (CUP) is approved.

### DISCUSSION

Zoning actions such as a CUP require a recommendation from the HPAC to the Visalia Planning Commission. Per the Historic Preservation Ordinance, the HPAC may recommend

approval, conditional approval, modification, or disapproval of an application based upon the expected impact of the proposed zoning action on the historic or architectural significance of the affected structure, neighborhood, or the entire Historic District. Staff's recommendation to the HPAC is based on the considerations listed below.

### Land Use Compatibility

Residential units are "conditionally permitted" for use in the O-C Zone, requiring approval of a CUP via a public hearing with the Visalia Planning Commission. The surrounding area consists primarily of office and residential uses, with Redwood High School located 65 feet south of the project site. Multi- and Single-family residences are present northeast of the project site, along W Center Avenue as depicted in Figure 1. The surrounding offices occupy residences that have been converted into office space. Conversion of the project site into an office, with no exterior alterations proposed, would maintain the overall appearance of a residential neighborhood on West Main Street.

Use of the building for short-term rental purposes is not expected to negatively affect neighboring uses or the historic character of the home and Historic District. No physical changes are proposed. Apartments and other single-family homes that serve as rental properties within this area function harmoniously with office uses, given that offices typically do not operate in the evening or weekends.

Lastly, the change in use and lack of exterior alterations is consistent with standards within the O-C Zone that require residential conversions to maintain compatibility with surrounding historic streetscapes. As such, the residential use of the site is considered appropriate for the site and compatible with the surrounding area.

### Development Standards

No physical alterations are proposed to the structure. As such, the proposal complies with all development standards for the O-C Zone.

### Architectural Compatibility

The building's change of use will have no effect on the architectural compatibility of the site with the Historic District and surrounding streetscape. Per the property owner's HPAC Application, the property will maintain the existing wood siding and original wooden window frames (See Exhibit "C"). The applicant indicates there will be no change to the existing roof on the property. Since the appearance of the residence will remain in its current condition, the proposal is compliant with the goals of the Historic Preservation Ordinance. Condition No. 2



has been included requiring that the applicant undergoes the appropriate permitting process for each aspect of the proposal. This includes obtaining a Conditional Use Permit for residential use of the project site. Condition No. 3 has also been included, requiring additional HPAC review in instances where substantial changes to the use and/or exterior of onsite structures are proposed.

## **FINDINGS AND CONDITIONS**

Staff recommends that the Committee recommend approval of HPAC Item No. 2024-27 to the Visalia Planning Commission, based upon the following findings:

1. The site is within the Historic District and is listed on the Local Register of Historic Structures.
2. That the proposal is consistent with residential and commercial uses in the Historic District and the surrounding area.
3. That the proposal is in keeping with the purpose and intent of the Historic Preservation Element and Ordinance.
4. That the proposal will not be injurious to the surrounding properties or character of the Historic District due to its compatibility with the surrounding area.
5. That the Conditional Use Permit request to establish a single family residence in the O-C (Office Conversion) Zone is consistent with the Zoning Ordinance, Historic Preservation Element, and Historic Preservation Ordinance.

And subject to the following conditions:

1. That the project shall be developed in substantial compliance with the site plan in Exhibit "A", Floor Plan in Exhibit "B", and Building Elevations in Exhibit "C".
2. That the project undergoes the appropriate City permitting process.
3. That any significant changes in the operation of the proposed use, or any changes to the exterior of onsite structures, be brought back to the Historic Preservation Advisory Committee prior to any review by the Planning Commission and/or issuance of a Building Permit.
4. That all other City codes, ordinances, standards, and regulations shall be met.
5. That the approval from the Historic Preservation Advisory Committee shall lapse and become void twelve months after the date on which it became effective, unless the conditions of the approval allowed a shorter or greater time limit, or unless prior to the expiration of twelve months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site that was the subject of the approval.

## **ATTACHMENTS**

- Exhibit "A" – Site Plan
- Exhibit "B" – Floor Plan
- Exhibit "C" – Building Elevations
- Aerial Map
- Historic District and Local Register Map

## **APPEAL INFORMATION**

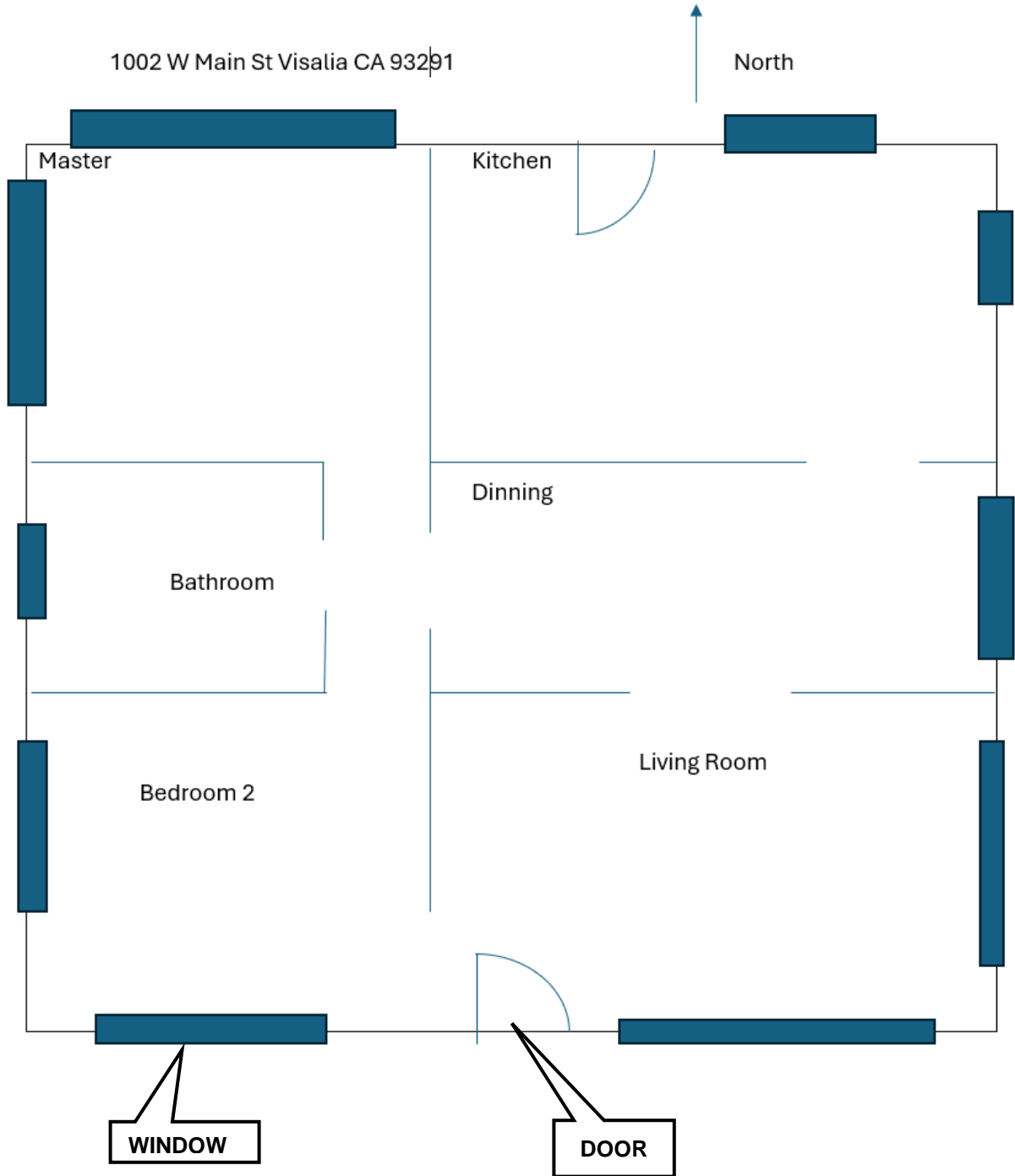
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**EXHIBIT "A"**



**EXHIBIT "B"**



**EXHIBIT "C"**

**SOUTH**



**NORTH**







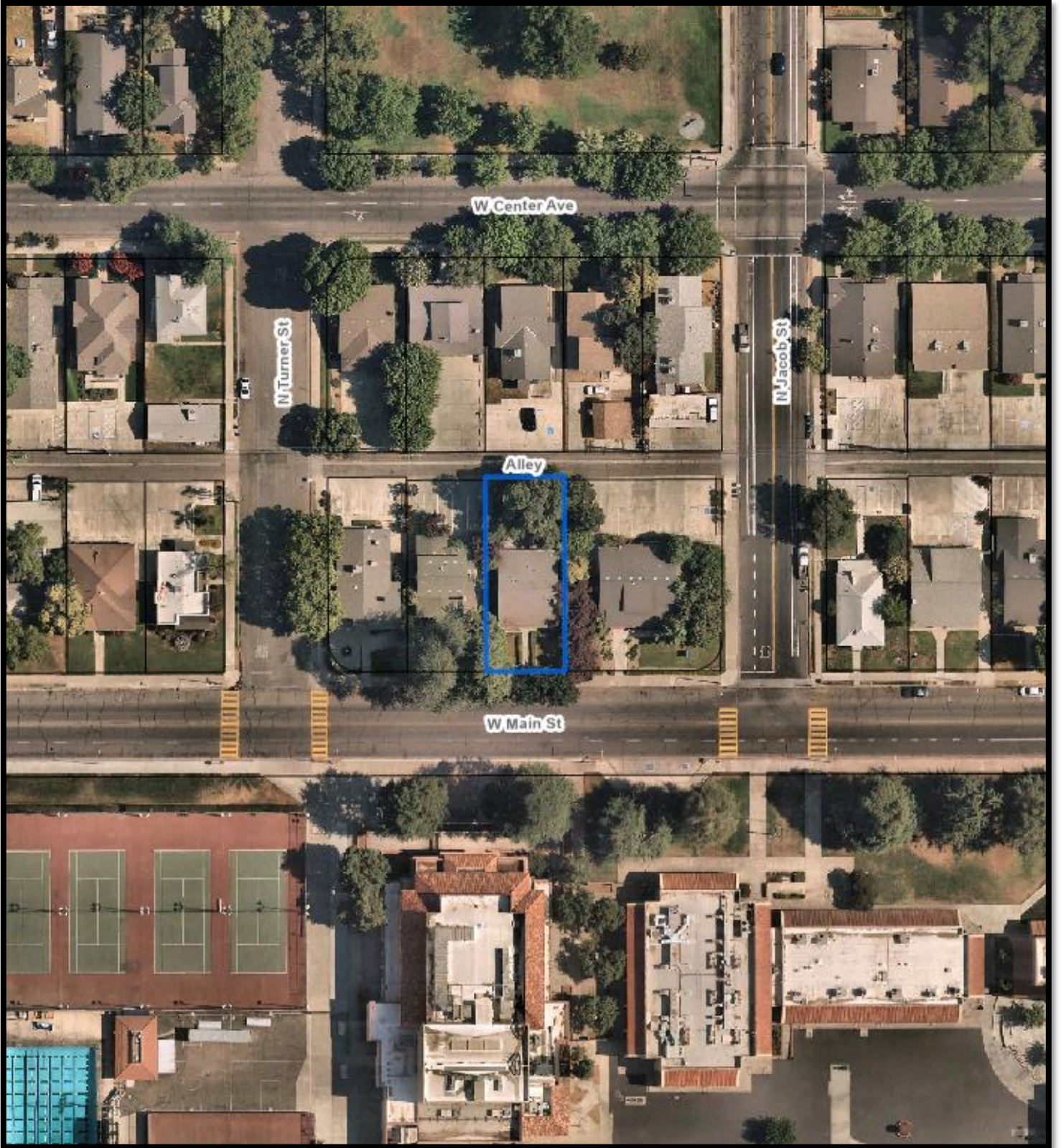
**EAST**



**WEST**

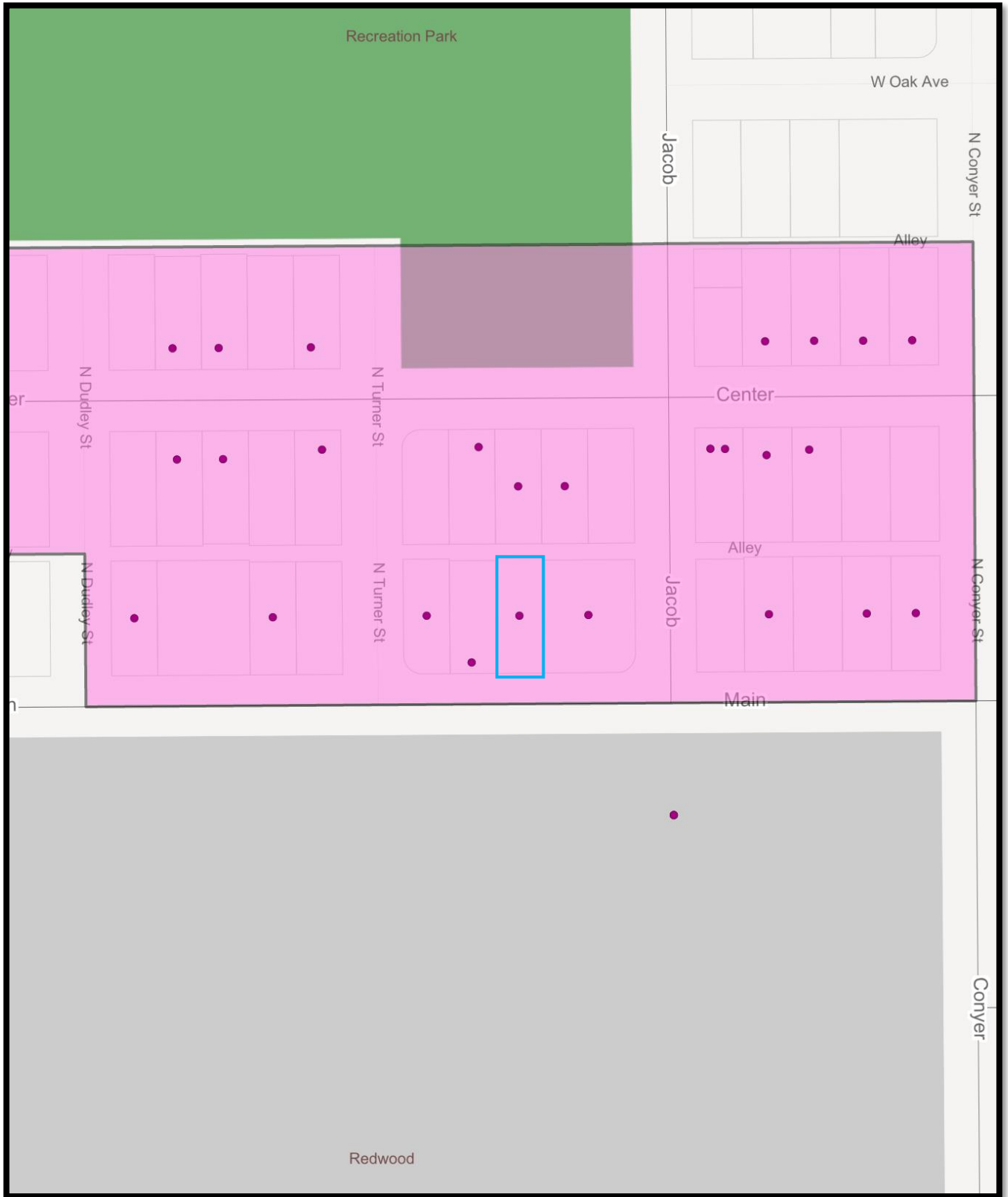


# Aerial Map





# Historic District and Local Register Map





## REPORT TO THE CITY OF VISALIA HISTORIC PRESERVATION ADVISORY COMMITTEE

**HEARING DATE:** September 25, 2024

**PROJECT PLANNER:** Cristobal Carrillo, Associate Planner  
Phone: (559) 713-4443  
E-mail: [cristobal.carrillo@visalia.city](mailto:cristobal.carrillo@visalia.city)

**SUBJECT:** Historic Preservation Advisory Committee Item No. 2024-26: A request by Denee Fiore for a Conditional Use Permit to establish three residential units, and conduct exterior alterations, on a property within the D-MU (Downtown Mixed Use) Zone. The project site is located at 405 North West Street (APN: 093-175-010).

### STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Advisory Committee (HPAC) take the following actions:

1. Approve the exterior alterations to the building.
2. Recommend approval of the Conditional Use Permit (CUP) request to the Visalia Planning Commission.
3. Recommend that the Planning Commission include a Condition of Approval requiring the reinstallation of street trees along the North West Street property frontage.



### SITE DATA

The site is zoned D-MU (Downtown Mixed Use) and contains an unpermitted residential triplex (the subject of this proposal), and two separate single-family residences.

The project site is located within the Historic District and is not listed on the Local Register of Historic Structures.

### RELATED PROJECTS

HPAC Item No. 2018-11: On October 10, 2018, the HPAC considered a request to allow a residential duplex and exterior alterations for an existing building located at 405 North West

Street. The Committee approved the request subject to approval of a Conditional Use Permit by the Visalia Planning Commission.

Conditional Use Permit No. 2018-20: On October 22, 2018, the Visalia Planning Commission considered a request to allow a residential duplex in an existing building located at 405 North West Street, within the PA (Professional Administrative/Office) Zone. The Commission approved the request subject to conditions of approval requiring compliance with HPAC conditions.

B194031: On September 4, 2019, a Building Permit request was submitted to convert the building at 405 North West Street into a duplex. A request for revisions to the construction plans was never fulfilled and the Building Permit request expired on April 27, 2021.

CE230386: On March 8, 2023, Neighborhood Preservation staff cited the property owner of 405 North West Street for conducting exterior alterations without HPAC approval or Building Permit issuance. During a site inspection staff discovered that the structure had been converted into a triplex and that the units were occupied. Further research by Planning Division staff determined that the previous CUP approval had expired due to lack of action by the property owner to obtain a Building Permit. Due to the addition of a third unit to the building, the applicant was directed by staff to submit to the Site Plan Review Committee for approval of the residential units.

Site Plan Review No. 2024-057: On March 27, 2024, a request to convert an existing building into a triplex at 405 North West Street was approved to proceed with City processes by the Site Plan Review Committee. The approval required the applicant to submit a CUP request for review by the HPAC and Planning Commission. The comments for Site Plan Review No. 2024-057 are included with this report.

## **PROJECT DESCRIPTION**

Per the project application, the applicant is requesting to conduct the following:

1. Convert the existing building into a residential triplex, with one 1,068 square foot residential unit on the first floor, and two residential units (984 square feet and 568 square feet, respectively) on the second floor (see Floor Plans in Exhibit "B"). The two largest units will contain two bedrooms, a kitchen, and bathroom. The smallest unit will contain a bedroom, bathroom, and kitchen. Three single car garages located on the first floor will remain.
2. Remove all existing window screens and replace them with conventional window screens as depicted in Exhibit "D".
3. Add HVAC piping covers to the walls, as depicted in Exhibit "D".
4. Minor modifications to the existing staircases on the southern and western building exteriors (see stairs in Exhibit "C").

Additional exterior alterations and site improvements not subject to HPAC review are also proposed as follows:

1. Relocation of two wall mounted HVAC units from the northern building exterior, to ground level (see Exhibit "C").
2. Removal of street trees along North West Street.
3. Repair of curb, gutter, and sidewalk along the North West Street frontage.

Conversion of the building into a triplex and modifications to the staircases have already been conducted.

## **DISCUSSION**

Zoning actions such as a CUP require a recommendation from the HPAC to the Visalia Planning Commission. Per the Historic Preservation Ordinance, the HPAC may recommend approval, conditional approval, modification, or disapproval of an application based upon the expected impact of the proposed zoning action on the historic or architectural significance of the affected structure, neighborhood, or the entire Historic District. Staff's recommendation to the HPAC is based on the considerations listed below.

### Land Use Compatibility

Residential units are "conditionally permitted" for use in the D-MU Zone, requiring approval of a CUP via a public hearing with the Visalia Planning Commission. The surrounding area consists primarily of single and multi-family residential uses, with an office and restaurant to the northwest and west, respectively. The project site itself contains two separate single-family residences that are currently occupied. Exterior alterations proposed would also restore the historic appearance of the structure, thereby improving compatibility with the Historic District. As such, the residential use of the site is considered compatible with the site and surrounding land uses.

### Development Standards

No physical alterations are proposed to the structure itself that would conflict with development standards for the D-MU Zone. The applicant has stated that HVAC units attached to the building will be removed and relocated to the ground. However, the new location of the HVAC units has not been identified. Condition No. 2 is recommended, requiring the applicant to comply with all setback standards for the D-MU Zone, to be verified during Building Permit review.

For parking, the Visalia Municipal Code requires 1.5 parking stalls per unit for "multifamily zones". Since three units are proposed, the multifamily parking rate is considered appropriate. This would require placement of 4.5 parking stalls onsite. The project site contains three single car garages and a driveway that, once right of way improvements are performed, will be able to accommodate approximately 3 more vehicles, for a total of 6 parking stalls onsite. As such, staff believes that the required parking ratio has been exceeded. As it stands, pursuant to California Assembly Bill No. 2097, which was signed into law January 1, 2023, public agencies are prohibited from imposing minimum parking requirements on sites that are located within a half-mile radius of a major transit stop. The City of Visalia Transit operates bus services along "Route 1", which makes bus stops along Main Street and Mooney Boulevard. Route 1 meets the definition of a "major transit stop". Since the project site is located within a half-mile of Route 1 bus stops, the site meets parking provisions per Assembly Bill No. 2097. Thus, no additional parking is required outside what is provided onsite.

### Architectural Compatibility

The building's change of use will have no effect on the architectural compatibility of the site with the Historic District and surrounding streetscape. Exterior alterations involving the removal of existing window screens will assist in restoring the buildings original appearance, as the existing screens contain thick mesh and broad wood borders that completely obstruct views of the windows. The addition of covers for HVAC piping will assist in obscuring unsightly views of pipes running along building exteriors. And modifications to stairs proposed appear to be minor and would not significantly affect its current appearance. Relocation of HVAC units, though not reviewable, will assist in removing visual impediments to the building exterior.

## Landscaping

As stated the by applicant, street trees located along the project site street frontage will be removed to allow for the repair of an existing driveway, curb, gutter, and sidewalk. It is unclear whether the repairs will leave any landscaping areas within the right of way. An examination of the surrounding sites to the north and south indicates that street trees are predominant in the area. Street trees are considered an amenity that assists in beautifying neighborhoods and emphasizing the historic nature of properties on which they reside. However, since street trees are located in the right of way, they are not strictly under the jurisdiction of the HPAC. The Planning Commission conversely is able to apply conditions in matters concerning right of way areas, when they relate to land use actions. As such, it is recommended that the HPAC include in its recommendation to the Planning Commission a request that a condition of approval be added requiring the applicant to reinstall street trees along the North West Street property frontage.

## **FINDINGS AND CONDITIONS**

Staff recommends that the Committee approve the exterior alterations proposed and recommend approval of HPAC Item No. 2024-26 to the Visalia Planning Commission, with a request to add a condition of approval requiring reinstallation of street trees, based upon the following findings:

1. The site is within the Historic District and is not listed in the Local Register of Historic Structures.
2. That the proposal is consistent with residential and commercial uses in the Historic District and the surrounding area.
3. That the proposal is in keeping with the purpose and intent of the Historic Preservation Element and Ordinance.
4. That the proposal will not be injurious to the surrounding properties or character of the Historic District due to its compatibility with the surrounding area.
5. That the Conditional Use Permit request to establish three residential units in the D-MU (Downtown Mixed Use) Zone is consistent with the Zoning Ordinance, Historic Preservation Element, and Historic Preservation Ordinance.

And subject to the following conditions:

1. That the project shall be developed in substantial compliance with the site plan in Exhibit "A", Floor Plans in Exhibit "B", Building Elevations in Exhibit "C" and "D", and HPAC Project Application in Exhibit "E".
2. That the project shall be developed in compliance with all development standards of the D-MU Zone.
3. That the applicant shall comply with all requirements of Site Plan Review No. 2024-057.
4. That the project undergoes the appropriate City permitting process.
5. That any significant changes to the proposed use, or any changes to the exterior of onsite structures, be brought back to the Historic Preservation Advisory Committee prior to any review by the Planning Commission and/or issuance of a Building Permit.
6. That all other City codes, ordinances, standards, and regulations shall be met.
7. That the approval from the Historic Preservation Advisory Committee shall lapse and become void twelve months after the date on which it became effective, unless the conditions of the approval allowed a shorter or greater time limit, or unless prior to the

expiration of twelve months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site that was the subject of the approval.

## **ATTACHMENTS**

- Exhibit “A” – Site Plan
- Exhibit “B” – Floor Plans
- Exhibit “C” – Building Elevations
- Exhibit “D” – Proposed Window Screens and HVAC Piping Covers
- Exhibit “E” – HPAC Project Application
- Site Plan Review No. 2024-057 Revise & Proceed Comments
- Aerial Map
- Historic District and Local Register Map

### **APPEAL INFORMATION**

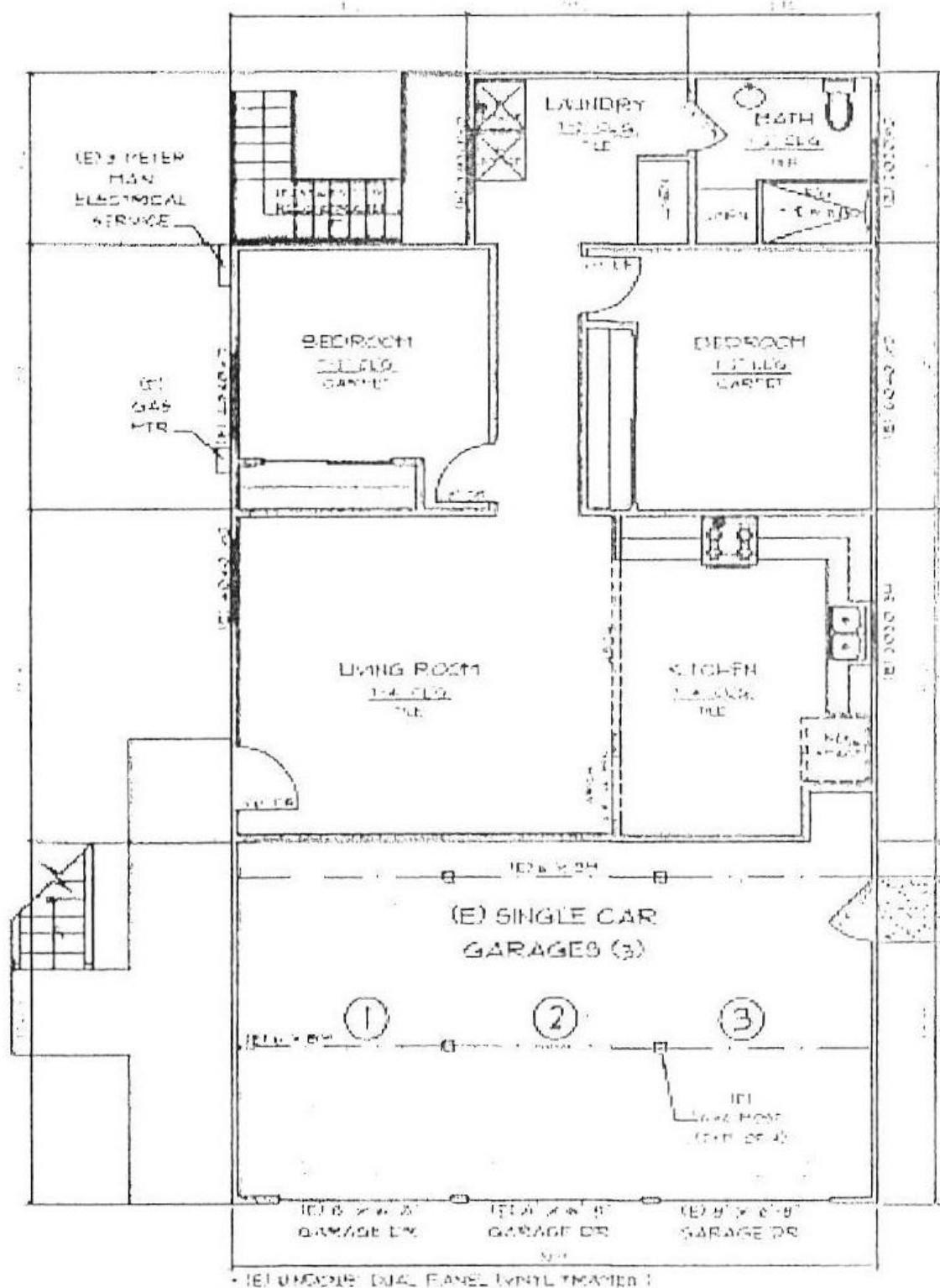
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**EXHIBIT "A"**





**EXHIBIT "B"**

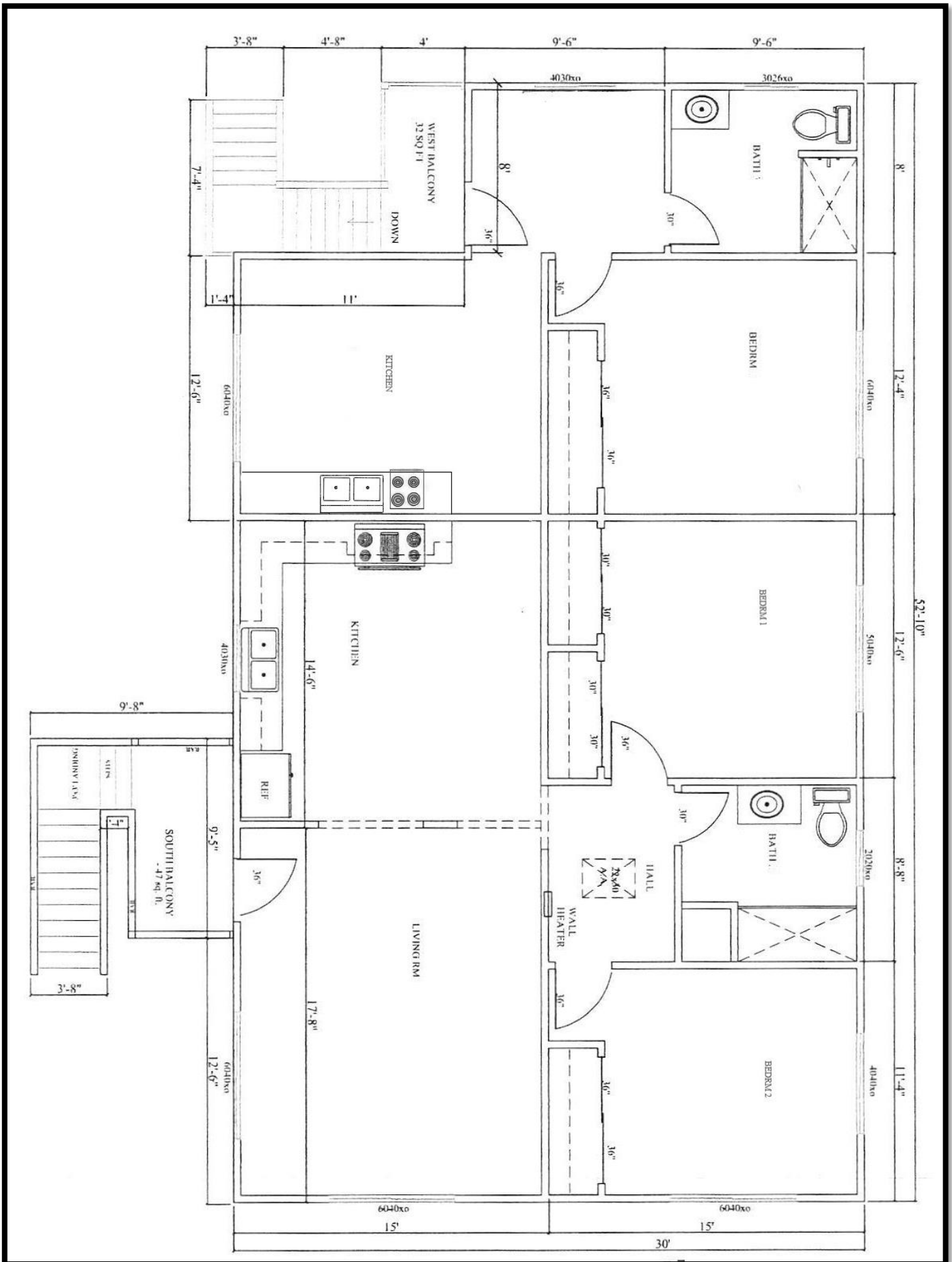


**FLOOR PLAN**

405 N. WEST ST.  
(1ST. FLOOR / 918 S.F.)

NT 5





HPAC No. 2024-26 – 405 North West Street – Establish Three Residences in D-MU Zone, Exterior Alterations

405 N West St Visalia CA 93291



Southside & South East of the building: Staircases with premature updates, and exterior paint and trim for approval.



North Side of the Building: Remove/relocated HVAC (premature installation) to ground level. Will provide covering for wire, cables, lines, etc.



Westside of the building: Repave/repair sidewalk and driveway. Remove window screen coverings from all windows and replace with stationary screens. Remove Maple tree located in front of the driveway entrance.



**EXHIBIT "D"**





Project Address: 405 N West St Visalia CA 93291  
HPAC NO.: \_\_\_\_\_

CITY OF VISALIA  
**HISTORIC PRESERVATION ADVISORY COMMITTEE**  
REVIEW APPLICATION

LOCATION OF PROJECT: 405 N West St Visalia CA 93291 DATE: 09/11/2024  
APPLICANT/PROJECT CONTACT: Denee Fiore, Equity Group PHONE: 559-419-0641  
APPLICANT ADDRESS: 420 N Court St Visalia, CA 93291  
E-MAIL ADDRESS: denee@equitygroupinc.com APN#: 093-175-010-000  
PROPERTY OWNER: Maria Claudia Lomeli

GENERAL DESCRIPTION OF PROJECT: Remove and relocate HVAC units on 2 of the upstairs units, repair the driveway/sidewalk by the street, install standard window screens, obtain permits for premature work for the property (i.e. paint, updated staircase), submit for approval second stroy plans for review/approval.

BRIEF NARRATIVE/REASON FOR PROJECT: Property had prior premature updates that need approval with both HAPC and City of Visalia requirements. HVAC units were installed. Need to be removed off the building and relocated, Concrete repair for the driveway/sidewalk, remove current window coverings and replaced with standard stantionary screens, approval for premature work to the stairways, exterior paint, and HVAC units.

NAME & PHONE NUMBER OF PERSON ATTENDING THE MEETINGS: Denee Fiore, Equity Group  
RELATIONSHIP TO PROPERTY OWNER: Property Manager

**REQUIRED MATERIALS:**  
Completed application  
Completed Agency Authorization form (if represented by an agent)\*\*  
2 copies of site plan, elevations, landscape plans, etc. (as necessary)  
1 copy of 8-1/2" x 11" reduction of all plans  
NOTE: Additional materials may be requested, as necessary  
\*\*If the property owner is not the applicant, an Agency Authorization must also be submitted.

Please provide the following information as it pertains to your project (drawings and a plot plan must be submitted with this application. These plans are for the HPAC process only. Building permits require a separate application and separate materials).

1. Type of Action (check one):  
 New Construction  Signs  
 Alteration to existing structure  Moving-New Location  
 Other: \_\_\_\_\_  
 Demolition - (May require inspection by the City of Visalia Building Division)  
For further information contact Historic Preservation staff representative.

If moving or demolition permit – it is not necessary to complete the following questions.

2. Exterior Elevations:  
a. Proposed Materials on exterior elevation (type and description of siding and trims):  
Premature work for updated staircases and exterior paint and trim needing approval and sign off of permitted work with the City of Visalia.  
Repave the driveway and sidewalk. Concrete is cracked and lifting in areas on the sidewalk. Relocated HVAC units (premature installation), provide covering for lines/wires  
b. Description and type of proposed windows and doors (include material of window frame):  
Remove current window screen coverings and replaced with standard stationary screens for all windows

c. If masonry is used as an exterior material, please provide the following information:

Material: \_\_\_\_\_

Size: \_\_\_\_\_

Color: \_\_\_\_\_

3. Roof: (Please indicate proposed changes to):

Style: \_\_\_\_\_

Pitch: \_\_\_\_\_

Material: \_\_\_\_\_

4. Proposed Building Height:

Height to eave: \_\_\_\_\_

Height to peak of roof: \_\_\_\_\_

5. Setbacks: (Measurement from curb and property line to proposed structures)

a. Setbacks on proposed project:

Front: \_\_\_\_\_

Rear: \_\_\_\_\_

Sides: \_\_\_\_\_

b. Setbacks on adjacent properties (distance from curb is sufficient)

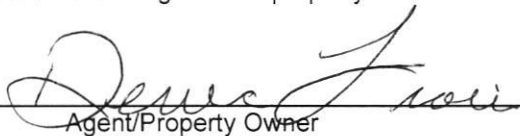
Front only: \_\_\_\_\_

6. Landscaping: (Indicate any mature trees on plans)

Removal of Maple tree located in front of the driveway entrance. Tree roots are causing the sidewalk to lift.  
\_\_\_\_\_  
\_\_\_\_\_

7. Signs: (If applicable)

Please provide a sketch of the proposed sign indicating colors and materials and a plot plan showing the location of the sign on the property.

Signed:   
Agent/Property Owner

Date: 9/11/2024

If the application is approved, a building permit may not be issued and construction may not begin until 10 days after the Committee's decision. This is to allow appeals to be submitted, as prescribed in Article 26, Section 7712 of the City of Visalia Historic Preservation District Ordinance.

Applications for Historic Preservation must be submitted to the City of Visalia Planning Division NO LESS THAN 8 CALENDAR DAYS PRIOR to the meeting.

Applicants or their representative are requested to attend the meeting.

The Historic Preservation Advisory Committee meets every 2<sup>nd</sup> and 4<sup>th</sup> Wednesday of the month (except holidays and special circumstances) at 5:30 p.m. in the City Hall East Conference Room.

For additional information or assistance in completing this application, please feel free to call (559) 713-4359.





April 9, 2024

**Site Plan Review No. 2024-057:**

Pursuant to Zoning Ordinance Chapter 17.28 the Site Plan Review process has found that your application complies with the general plan, municipal code, policies, and improvement standards of the city. A copy of each Departments/Divisions comments that were discussed with you at the Site Plan Review meeting are attached to this document.

Based upon Zoning Ordinance Section 17.28.070, this is your Site Plan Review determination. However, your project requires discretionary action as stated on the attached Site Plan Review comments. You may now proceed with filing discretionary applications to the Planning Division.

This is your Site Plan Review Permit; your Site Plan Review became effective **March 27, 2024**. A site plan review permit shall lapse and become null and void one year following the date of approval unless, prior to the expiration of one year, a building permit is issued by the building official, and construction is commenced and diligently pursued toward completion.

If you have any questions regarding this action, please call the Community Development Department at (559) 713-4359.

Respectfully,

A handwritten signature in blue ink, appearing to read "Paul Bernal".

Paul Bernal  
Community Development Director  
315 E. Acequia Ave.  
Visalia, CA 93291

**Attachment(s):**

- Site Plan Review Comments



MEETING DATE March 27, 2024  
SITE PLAN NO. 2024-057  
PARCEL MAP NO.  
SUBDIVISION  
LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

**RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.

During site plan design/policy concerns were identified, schedule a meeting with

Planning

Engineering prior to resubmittal plans for Site Plan Review.

Solid Waste

Parks and Recreation

Fire Dept.

**REVISE AND PROCEED** (see below)

A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.

Submit plans for a building permit between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday.

Your plans must be reviewed by:

CITY COUNCIL

REDEVELOPMENT

PLANNING COMMISSION

PARK/RECREATION

CUP

HISTORIC PRESERVATION

OTHER – Lot Line Adjustment

**ADDITIONAL COMMNTS:**

If you have any questions or comments, please call the Site Plan Review Hotline at (559) 713-4440  
Site Plan Review Committee



# SITE PLAN REVIEW COMMENTS

**Cristobal Carrillo, Planning Division, (559) 713-4443**

Date: March 27, 2024

SITE PLAN NO: 2024-057  
PROJECT: 405 N West Apartment  
DESCRIPTION: Requesting Approval With City of Visalia Code Enforcement For Premature Construction Work Completed At The Site.  
APPLICANT: Denee Fiore – Applicant  
APN: 093-175-010  
LOCATION: West of North West Street, approximately 90 feet north of West School Avenue.  
GENERAL PLAN: Downtown Mixed Use  
ZONING: D-MU (Mixed Use Downtown)

## **Planning Division Recommendation:**

- Revise and Proceed  
 Resubmit

**Reference Site Plan  
Review No. 2018-169  
and Conditional Use  
Permit No. 2018-20.**

## **Project Requirements**

- Conditional Use Permit
- Historic Preservation Advisory Committee Review
- Building Permit

## **PROJECT SPECIFIC INFORMATION:** March 27, 2024

1. A Conditional Use Permit (CUP) shall be required to establish residential uses in the D-MU Zone.
2. The project site is located within the Historic District. Review by the Historic Preservation Advisory Committee (HPAC) of the CUP and exterior alterations request shall be required prior to review by the Visalia Planning Commission.
3. A Site Plan shall be provided. The plan shall identify which structures are to be altered. The site plan shall also be revised to depict the correct number of residential units proposed.
4. Provide an Operational Statement describing the proposed project with the Building Permit submittal. This shall include the correct number of units proposed on the project site and all exterior alterations proposed/conducted to the buildings.
5. Provide Building Elevations. Elevations shall identify all proposed alterations to any structures onsite, and materials to be used.
6. It is highly recommended that the garage doors have a classic carriage house appearance.
7. Provide Floor Plans for the buildings to be altered. Floor plans shall depict the correct number of units proposed.
8. A Landscape plan shall be provided.
9. Project site shall have a minimum of 5% devoted to open space and amenities. Landscaped areas adjacent to public streets shall not be counted towards the open space requirement.
10. It is recommended that an amenity be provided onsite for occupant use, such as a play area, seating, BBQ grills, etc.
11. The applicant shall comply with all Good Neighbor Policies of the Visalia Municipal Code. This shall include submittal, approval, and recordation of an Operational Management Plan to the City of Visalia. Recordation of the plan shall occur prior to Building Permit issuance.
12. It is recommended that a minimum four parking stalls be provided onsite.
13. Identify the location where trash receptacles or a trash enclosure will be located.
14. Garages will be required to be usable/functional as a part of the proposed residential use.
15. Obtain a Building Permit.
16. Meet all other codes and standards

**NOTES:**

1. The applicant shall contact the San Joaquin Valley Air Pollution Control District to verify whether additional permits are required through the District.
2. Prior to a final for the project, a signed Certificate of Compliance for the MWELO standards is required indicating that the landscaping has been installed to MWELO standards.

**Sections of the Municipal Code to review:**

- 17.19 Mixed Use Zones
- 17.30 Development Standards
- 17.32.080 Maintenance of landscaped areas
- 17.34 Off-street parking and loading facilities
- 17.36 Fences Walls and Hedges

**NOTE: Staff recommendations contained in this document are not to be considered support for a particular action or project unless otherwise stated in the comments. The comments found on this document pertain to the site plan submitted for review on the above referenced date. Any changes made to the plan submitted must be submitted for additional review.**



Signature: \_\_\_\_\_





**BUILDING/DEVELOPMENT PLAN  
REQUIREMENTS  
ENGINEERING DIVISION**

- Lupe Garcia 713-4197
- Keyshawn Ford 713-4268
- Edelma Gonzalez 713-4364
- Sarah MacLennan 713-4271
- Luqman Ragabi 713-4362

ITEM NO: 7 DATE: MARCH 27, 2024

SITE PLAN NO.: 24-057  
 PROJECT TITLE: 405 N WEST APARTMENT  
 DESCRIPTION: REQUESTING APPROVAL WITH CITY OF VISALIA CODE ENFORCEMENT FOR PREMATURE CONSTRUCTION WORK COMPLETED AT THIS SITE.  
 APPLICANT: DENE E FIORE  
 PROP OWNER:  
 LOCATION: 405 N WEST ST  
 APN: NW OF WEST ST AND SCHOOL

**SITE PLAN REVIEW COMMENTS**

- REQUIREMENTS (indicated by checked boxes)
- Install curb return with ramp, with \_\_\_\_\_ radius;
- Install curb;  gutter
- Drive approach size:  Use radius return;
- Sidewalk: \_\_\_\_\_ width;  \_\_\_\_\_ parkway width at \_\_\_\_\_
- Repair and/or replace any sidewalk across the public street frontage(s) of the subject site that has become uneven, cracked or damaged and may constitute a tripping hazard.
- Replace any curb and gutter across the public street frontage(s) of the subject site that has become uneven and has created areas where water can stand.
- Right-of-way dedication required. A title report is required for verification of ownership.
- Deed required prior to issuing building permit;
- City Encroachment Permit Required. **FOR ANY WORK NEEDED WITHIN PUBLIC RIGHT-OF-WAY**  
 Insurance certificate with general & auto liability (\$1 million each) and workers compensation (\$1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit. Contact Encroachment Tech. at 713-4414.
- CalTrans Encroachment Permit required.  CalTrans comments required prior to issuing building permit. Contacts: David Deel (Planning) 488-4088;
- Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map.
- Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.
- Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades.  Prepared by registered civil engineer or project architect.  All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a)  directed to the City's existing storm drainage system; b)  directed to a permanent on-site basin; or c)  directed to a temporary on-site basin is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: \_\_\_\_\_ : \_\_\_\_\_ maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance.
- Grading permit is required for clearing and earthwork performed prior to issuance of the building permit.
- Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter = .20%, V-gutter = 0.25%)
- Show adjacent property grade elevations. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
- All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications.



- Traffic indexes per city standards:
- Install street striping as required by the City Engineer.
- Install landscape curbing (typical at parking lot planters).
- Minimum paving section for parking: 2" asphalt concrete paving over 4" Class 2 Agg. Base, or 4" concrete pavement over 2" sand.
- Design Paving section to traffic index of 5.0 min. for solid waste truck travel path.
- Provide "R" value tests:            each at
- Written comments required from ditch company            Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditch; Jerry Hill 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
- Access required on ditch bank, 15' minimum     Provide            wide riparian dedication from top of bank.
- Show Valley Oak trees with drip lines and adjacent grade elevations.     Protect Valley Oak trees during construction in accordance with City requirements.
- A permit is required to remove Valley Oak trees. Contact Public Works Admin at 713-4428 for a Valley Oak tree evaluation or permit to remove.     A pre-construction conference is required.
- Relocate existing utility poles and/or facilities.
- Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- Subject to existing Reimbursement Agreement to reimburse prior developer:
- Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
- If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
- If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.
- Comply with prior comments.     Resubmit with additional information.     Redesign required.

**Additional Comments:**

- 1. Project is located in AE flood zone, comply with FEMA and local floodplain requirements. Substantial improvements will be assessed at the time of permit review.**
- 2. A building permit is required, standard plan check and inspection fees will apply.**
- 3. Proposed project will incur development Impact fees. refer to page 3 for details.**

**SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES**

Site Plan No: **24-057**  
 Date: **03/27/2024**

**Summary of applicable Development Impact Fees to be collected at the time of building permit:**  
**(Preliminary estimate only! Final fees will be based on the development fee schedule in effect at the time of building permit issuance.)**

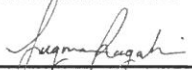
(Fee Schedule Date:**08/19/2023**)  
 (Project type for fee rates:**MULTI-FAMILY** )

Existing uses may qualify for credits on Development Impact Fees. **SFD**

FEE ITEM	FEE RATE
<input type="checkbox"/> Groundwater Overdraft Mitigation Fee	
<input checked="" type="checkbox"/> Transportation Impact Fee	<b>\$5,025/DU X 3 = \$15,075</b>
	<b>CREDIT</b>
	<b>\$7,156/DU X 1 = \$7,156</b>
<input checked="" type="checkbox"/> Trunk Line Capacity Fee	<b>\$542/DU X 3 = \$1,626</b>
	<b>CREDIT</b>
	<b>\$960/DU X 1 = \$960</b>
<input checked="" type="checkbox"/> Treatment Plant Fee	<b>\$953/DU X 2 = \$15,075</b>
<input type="checkbox"/> Sewer Front Foot Fee	
<input type="checkbox"/> Storm Drain Acq/Dev Fee	
<input type="checkbox"/> Park Acq/Dev Fee	
<input type="checkbox"/> Northeast Specific Plan Fees	
<input type="checkbox"/> Waterways Acquisition Fee	
<input type="checkbox"/> Public Safety Impact Fee: Police	
<input type="checkbox"/> Public Safety Impact Fee: Fire	
<input checked="" type="checkbox"/> Public Facility Impact Fee	<b>\$614/DU X 3 = \$1,842</b>
	<b>CREDIT</b>
	<b>\$692/DU X 1 = \$692</b>
<input type="checkbox"/> Parking In-Lieu	

**Reimbursement:**

- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.

  
 \_\_\_\_\_  
**Luqman Ragabi**

City of Visalia  
Building: Site Plan  
Review Comments

SPR 24057  
405 N WEST APARTMENT  
405 N WEST ST

NOTE: These are general comments and DO NOT constitute a complete plan check for your specific project  
Please refer to the applicable California Code & local ordinance for additional requirements.

- A building permit will be required. **FOR ALL IMPROVEMENTS** For information call (559) 713-4444
- Submit 1 digital set of professionally prepared plans and 1 set of calculations. (Small Tenant Improvements)
- Submit 1 digital set of plans prepared by an architect or engineer. Must comply with 2016 California Building Cod Sec. 2308 for conventional light-frame construction or submit 1 digital set of engineered calculations.
- Indicate abandoned wells, septic systems and excavations on construction plans.
- You are responsible to ensure compliance with the following checked items:**
- Meet State and Federal requirements for accessibility for persons with disabilities.
- A path of travel, parking and common area must comply with requirements for access for persons with disabilities.
- All accessible units required to be adaptable for persons with disabilities. **ALL GROUND FLOOR UNITS SHALL BE ADAPTABLE AND ON AN ACCESSIBLE ROUTE.**
- Maintain sound transmission control between units minimum of 50 STC.
- Maintain fire-resistive requirements **1 HR BETWEEN UNITS (VERT. & HORIZ.)**
- A demolition permit & deposit is required. For information call (559) 713-4444
- Obtain required permits from San Joaquin Valley Air Pollution Board. For information call (661) 392-5500
- Plans must be approved by the Tulare County Health Department. For information call (559) 624-8011
- Project is located in flood zone **AE** \*  Hazardous materials report. **MEET FEMA FLOOD REQUIREMENTS**
- Arrange for an on-site inspection. (Fee for inspection \$157.00) For information call (559) 713-4444
- School Development fees.
- Park Development fee \$ \_\_\_\_\_, per unit collected with building permits.
- Additional address may be required for each structure located on the site. For information call (559) 713-4320
- Acceptable as submitted
- No comments at this time

Additional comments: **ALL IMPROVEMENTS DONE WITHOUT THE BENEFIT OF A PERMIT SHALL BE REVIEWED TO CURRENT CODE STANDARDS. SUBMIT NEW PLANS FOR REVIEW OF TRIPLEX.**

**VAL GARCIA** 3/26/24  
Signature





**Site Plan Comments**

Visalia Fire Department  
Corbin Reed, Fire Marshal  
420 N. Burke  
Visalia CA 93292  
559-713-4272 office  
prevention.division@visalia.city

Date            March 26, 2024  
Item #            7  
Site Plan #        24057  
APN:              093175010

- The Site Plan Review comments are issued as **general overview** of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2022 California Fire Code (CFC), 2022 California Building Codes (CBC) and City of Visalia Municipal Codes.
- All **fire detection, alarm, and extinguishing systems** in existing buildings shall be maintained in an operative condition at all times and shall be replaced or repaired where defective. If building has been vacant for a significant amount of time the fire detection, alarm, and or extinguishing systems may need to be evaluated by a licensed professional. 2022 CFC 901.6
- **Address numbers** must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least four inches (4") high and shall be of a color to contrast with their background. If multiple addresses are served by a common driveway, the range of numbers shall be posted at the roadway/driveway. 2022 CFC 505.1
- All hardware on **exit doors, illuminated exit signs and emergency lighting** shall comply with the 2022 California Fire Code. This includes all locks, latches, bolt locks, panic hardware, fire exit hardware and gates.
- **Commercial dumpsters** with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system. 2022 CFC 304.3.3
- A **Knox Box key lock system** is required. Where access to or within a structure or area is restricted because of secured openings (doors and/or gates), a key box is to be installed in an approved location. Go to [knoxbox.com](http://knoxbox.com) to order and please allow adequate time for shipping and installation. 2022 CFC 506.1

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Corbin Reed  
Fire Marshal





City of Visalia  
Police Department  
303 S. Johnson St.  
Visalia, CA 93292  
(559) 713-4370

Date: 03/26/24  
Item: 7  
Site Plan: SPR24057  
Name: Austin Huerta

**Site Plan Review Comments**

- No Comment at this time.
  
- Request opportunity to comment or make recommendations as to safety issues as plans are developed.
  
- Public Safety Impact Fee:  
Ordinance No. 2001-11 Chapter 16.48 of Title 16 of the Visalia Municipal Code  
Effective date - August 17, 2001.
  
- Impact fees shall be imposed by the City pursuant to this Ordinance as a condition of or in conjunction with the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land, upon which no like building, structure of improvement previously existed. \*Refer to Engineering Site Plan comments for fee estimation.
  
- Not enough information provided. Please provide additional information pertaining to:  
\_\_\_\_\_
- Territorial Reinforcement: Define property lines (private/public space).  
\_\_\_\_\_
- Access Controlled/ Restricted etc.  
\_\_\_\_\_
- lighting Concerns:  
\_\_\_\_\_
- Traffic Concerns:  
\_\_\_\_\_
- Surveillance Issues:  
\_\_\_\_\_
- Line of Sight Issues:  
\_\_\_\_\_
- Other Concerns:  
\_\_\_\_\_

City of Visalia

7579 Ave. 288, Visalia, CA 93277



Public Works

(559) 713-4465 Fax (559) 713-4501

SITE PLAN REVIEW DATE: 03/27/24

WASTEWATER COLLECTIONS AND PRETREATMENT DIVISION (QUALITY ASSURANCE)  
SITE PLAN REVIEW COMMENTS

SITE PLAN REVIEW NO: 24057

PROJECT NAME: MULTIFAMILY RESIDENTIAL

THE PROJECT IS SUBJECT TO THE FOLLOWING REQUIREMENTS FROM WASTEWATER  
PRETREATMENT DIVISION (QUALITY ASSURANCE):

SUBMISSION OF WASTEWATER DISCHARGE PERMIT  
APPLICATION/QUESTIONNAIRE/OTHER REGULATORY FORMS

- FORM REQUIRED RESI DEV HOUSING
- FORM REQUIRED \_\_\_\_\_
- FORM REQUIRED \_\_\_\_\_

INSTALLATION OF SAND AND GREASE INTERCEPTOR

INSTALLATION GREASE INTERCEPTOR

OTHER \_\_\_\_\_

SITE PLAN REVIEWED-NO COMMENTS

CONTACT THE WASTEWATER DEPARTMENT AT (559) 713-4466 OR  
[BEN.LITWACK@VISALIA.CITY](mailto:BEN.LITWACK@VISALIA.CITY), IF YOU HAVE ANY QUESTIONS.

COMMENTS

SEE ATTACHED

DATE REVIEWED: 03/26/24



RESIDENTIAL HOUSING DEVELOPMENT QUESTIONNAIRE  
FOR WASTEWATER DEPARTMENT USE

- Development Name: \_\_\_\_\_
- Development Location: \_\_\_\_\_
- Contact Name: \_\_\_\_\_
- Contact Phone: \_\_\_\_\_
- Contact Email: \_\_\_\_\_
- How many homes are estimated to be built? \_\_\_\_\_
- # of Bedrooms/ Bath Info If available: \_\_\_\_\_
- When does construction plan to begin? \_\_\_\_\_
- Will housing be built in phases? \_\_\_\_\_
- What is the anticipated rate of completion? (How many houses/structures per month/year)  
\_\_\_\_\_
- Estimated month/year of project completion? \_\_\_\_\_
- Provide an estimate of wastewater characteristics (using Wastewater Engineering 3<sup>rd</sup> Edition) by Metcalf & Eddy) of the following:

FLOW \_\_\_\_\_ mgd

BOD \_\_\_\_\_ lbs/day

TSS \_\_\_\_\_ lbs/day

**If you have questions regarding the completion of this form, please contact:**

**Jessica Sandoval**  
Pretreatment Coordinator  
Phone: 559-713-4529  
Cell: 559 309-5170  
Email: [Jessica.sandoval@visalia.city](mailto:Jessica.sandoval@visalia.city)

## Susan Currier

---

**From:** Lau, Scott@DOT <Scott.Lau@dot.ca.gov>  
**Sent:** Tuesday, March 26, 2024 8:21 AM  
**To:** Susan Currier  
**Cc:** Duran, Braden@DOT; Cristobal Carrillo  
**Subject:** Caltrans response for SPR Agenda 032724

Hi Susan,

I hope this email finds you well.

I have reviewed the Visalia SPR Agenda for March 27, 2024, and here are my findings:

1. SPR 24043-1 –Almond Joy TSM: No comments.
2. SPR 24051 – New Administration Building: **Routed for review.**
3. SPR 24052 – Multifamily Residential: No comments.
4. SPR 24054 – Single-Story Medical Office: No comments.
5. SPR 24056 – Paradise Playland: No comments.
6. **SPR 24057** – Premature Construction Work: No comments.
7. SPR 24058 – Happy Hearts Preschool: No comments.

Respectfully,

### Scott Lau

#### *Associate Transportation Planner*

California Department of Transportation  
District 6 Transportation Planning – Regional  
1352 West Olive Ave, Fresno, CA 93728  
Phone: 559.981.7341  
Web: [Caltrans District 6](#)







# CALIFORNIA WATER SERVICE

Visalia District 216 North Valley Oaks Drive  
Visalia, CA 93292 Tel: (559) 624-1600

<p><b>Site Plan Review Comments From:</b> California Water Service Scott McNamara, Superintendent 216 N Valley Oaks Dr. Visalia, CA 93292 559-624-1622 Office <a href="mailto:smcnamara@calwater.com">smcnamara@calwater.com</a></p>	<p>Date: 03/27/2024 Item # 7 Site Plan # 24-057 Project: Description: Premature work completed on building. Applicant: Denee Fiore APN: 093-175-010 Address: 405 N West St</p>
--	--

**The following comments are applicable when checked:**

No New Comments

**Water Mains:**  
**Comments:**

**Water Services:**  
**Comments:** Existing service(s) at this location. If the existing service(s) is not sufficient in size to meet the customer's demand, the property owner/developer will need to request and pay for the installation of the correct size service that meets the customers demand and the abandonment of the insufficient size service. If there are additional services that may be needed, those will also be installed at the developer's expense. If the existing service(s) lands within a new drive approach, that service will be relocated at the property owner/developer's expense. If there are any existing services that will not be utilized, the property owner/developer will need to pay for the abandonment of those services. If fire sprinklers are required for your commercial building, a fire protection service will need to be installed at the property owner/developer's expense.

**Fire Hydrants:**  
**Comments:** Fire hydrants will be installed per the Visalia Fire Departments requirements. If fire hydrants are required for your project off an existing water main, Cal Water will utilize our own contractor (West Valley) for installation. This work will be paid for by the property owner/developer.

**Backflow Requirements:**  
**Comments:** A backflow is required if any parcel is for multi-family, commercial, or has multiple services. Please contact Cross Connection Control Specialist Juan Cisneros at 559-624-1670 or [visaliabackflow@calwater.com](mailto:visaliabackflow@calwater.com) for a backflow install packet.

**Additional Comments:**

Please contact New Business Superintendent Sedelia Sanchez at 559-624-1621 or [ssanchez@calwater.com](mailto:ssanchez@calwater.com) to start you project with Cal Water.





CITY OF VISALIA  
SOLID WASTE DIVISION  
336 N. BEN MADDOX  
VISALIA CA. 93291  
713 - 4532  
COMMERCIAL BIN SERVICE

24057

March 27, 2024

- No comments.
- See comments below
- Revisions required prior to submitting final plans. See comments below.
- Resubmittal required. See comments below.
- Customer responsible for all cardboard and other bulky recyclables to be broken down before disposing of in recycle containers
- ALL refuse enclosures must be city standard R-1 OR R-2 & R-3 OR R-4
- Customer must provide combination or keys for access to locked gates/bins
- Type of refuse service not indicated.
- Location of bin enclosure not acceptable. See comments below.
- Bin enclosure insufficient to comply with state recycling mandates. See comments for suggestions.
- Inadequate number of bins to provide sufficient service. See comments below.
- Drive approach too narrow for refuse trucks access. See comments below.
- Area not adequate for allowing refuse truck turning radius of : Commercial 50 ft. outside 36 ft. inside; Residential 35 ft. outside, 20 ft. inside.
- Paved areas should be engineered to withstand a 55,000 lb. refuse truck.
- Bin enclosure gates are required
- Hammerhead turnaround must be built per city standards.
- Cul - de - sac must be built per city standards.
- Bin enclosures are for city refuse containers only. Grease drums or any other items are not allowed to be stored inside bin enclosures.
- Area in front of refuse enclosure must be marked off indicating no parking
- Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS) with no less than 38' clear space in front of the bin, included the front concrete pad.
- Customer will be required to roll container out to curb for service.
- Must be a concrete slab in front of enclosure as per city standards, the width of the enclosure by ten(10) feet, minimum of six(6) inches in depth.
- Roll off compactor's must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow the truck enough room to provide service.

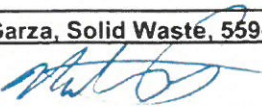
City ordinance 8.28.120-130 (effective 07/19/18) requires contractor to contract with City for removal of construction debris unless transported in equipment owned by contractor or unless contracting with a franchise permittee for removal of debris utilizing roll-off boxes.

Solid waste collection services to include trash, recycling, and organic recycling, per the State of California's mandatory recycling laws (AB341 & AB1826). City standard (3-can) residential services to be assigned per address.

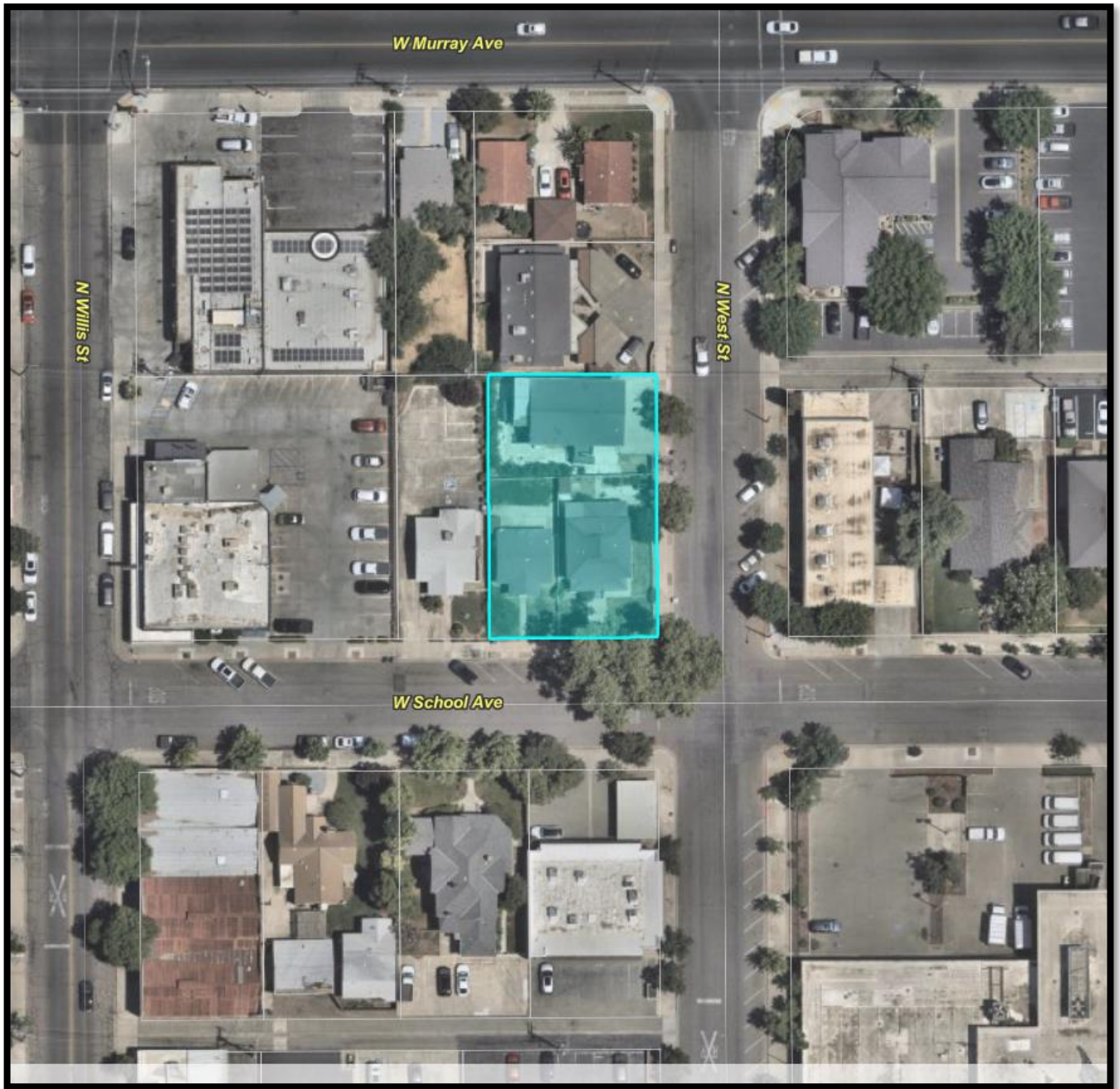
Comment

Jason Serpa, Solid Waste Manager, 559-713-4533  
Edward Zuniga, Solid Waste Supervisor, 559-713-4338

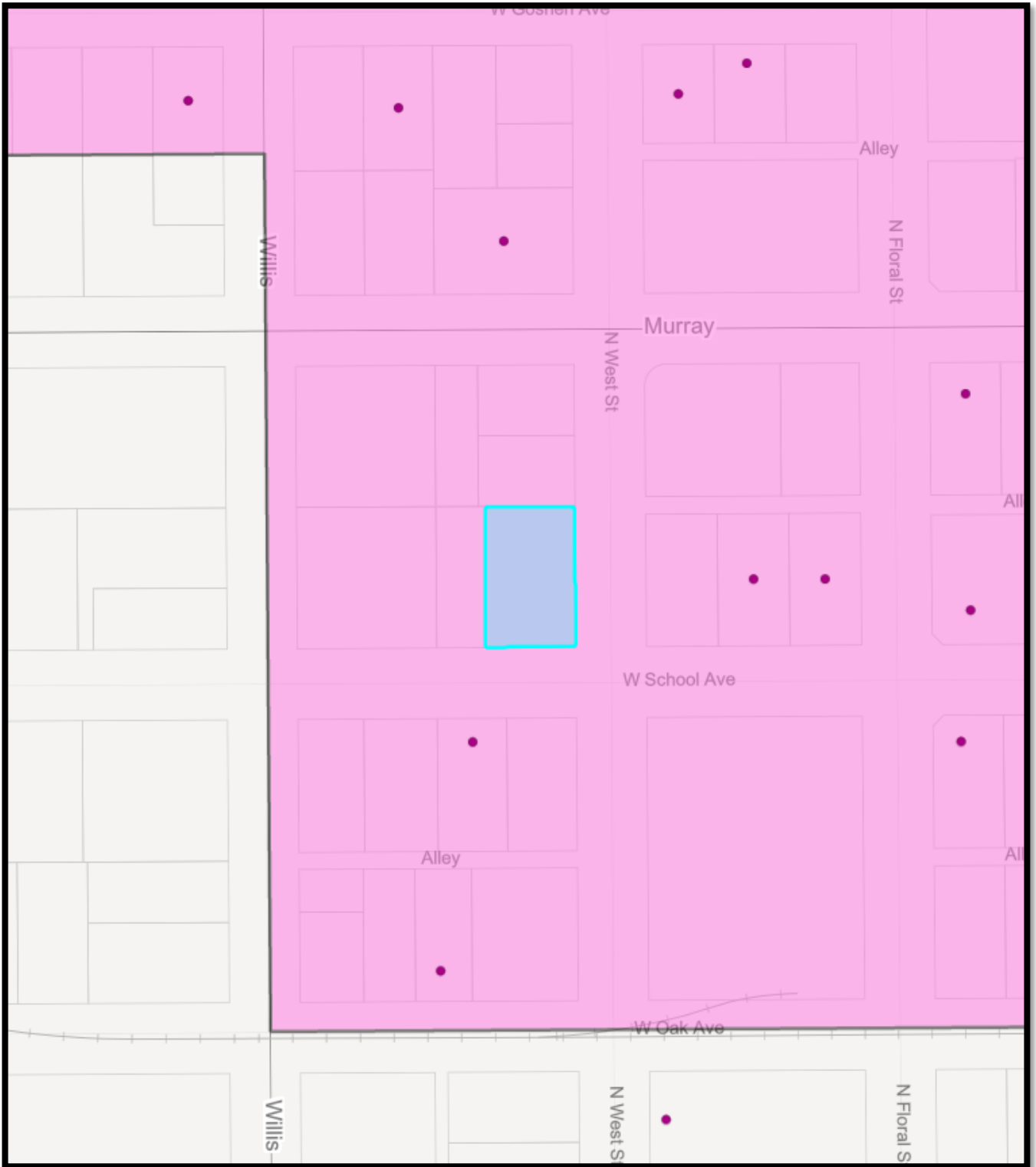
Nathan Garza, Solid Waste, 559-713-4532



# Aerial Map



# Historic District and Local Register Map







**City Clerk - Application for Appointment to City Board, Committee or Commission [ Request Id: 273581 ]**

<p>◆ Subject Location</p> <p>Street Info: City / Zip</p>	<p>◆ Citizen Contact Information</p> <p>Citizen Name: Isiah Farias Email: <a href="mailto:Isiahfarias@gmail.com">Isiahfarias@gmail.com</a> Phone1 / Phone2: 549-750-6525 / na Address: 1001 E Vine Ct City, Zip: Visalia, CA 93292</p>
<p>◆ Request Details [Information provided by Citizen] Please review the following handbook:</p>	
How many years of being a Visalia Resident?:	<b>18</b>
Are you a Visalia Registered Voter?:	<b>Yes</b>
List any training and/or experience:	<b>California CPA</b>
Education-school, major, graduation date & degree:	<b>BS in Accounting</b>
Additional skills and/or interests:	<b>US Veteran</b>
Community activities in which you are involved:	<b>Youth Sports Coaching 10 + years</b>
Service on a City Board, Committee or Commission:	
Present Occupation:	
Name of Employer:	
Work Address:	
Work Phone Number:	
Potential Conflicts:	<b>No</b>
If Yes, explain in detail any potential conflicts:	
First Choice for City Board/Committee/Commission:	<b>Parks &amp; Recreation Commission</b>
Applicable qualifications and experience:	<b>California CPA</b>
Goals for this appointment:	<b>Help the community</b>
Second Choice for City Board/Committee/Commission:	<b>Citizen</b>
Applicable qualifications and experience:	<b>California CPA</b>
Goals for this appointment:	<b>Help the community</b>
Third Choice for Board/Committee/Commission:	<b>Historic Preservation Committee</b>
Applicable qualifications and experience:	<b>California CPA</b>
Goals for this appointment:	<b>Help the community</b>
Agree or Not Agree:	<b>Agree</b>
Male or Female:	<b>Male</b>
Ethnic Category:	<b>Hispanic - includes Mexican, Chicano, Latino, and all persons of Puerto Rican, Cuban Central, South American or Spanish descent.</b>



Request ID:	<b>273581</b>	Priority:	<b>Normal</b>
Received/Entered:	8/16/2024 10:56:22 PM	Status:	<b>Received</b>
Target Complete Date:	8/20/2024 10:56:22 PM	Color	
Actual Complete Date:		Flag:	
Request Source:	Internet (N)		
Original Assigned Staff:	Arce, Kiley Gorelik, Ilya Rouse, Kathy Ruiz, Gladys Schonbachler, Macey		

◆ Staff / Citizen Action Log

No Staff/Citizen Actions have been added



**City Clerk - Application for Appointment to City Board, Committee or Commission [ Request Id: 273660 ]**

◆ Subject Location	◆ Citizen Contact Information
Street Info: City / Zip	Citizen Name: Mr. Kristopher Korsgaden Email: <a href="mailto:korsgadenplumbing@gmail.com">korsgadenplumbing@gmail.com</a> Phone1 / Phone2: 559-786-1815 / na Address: 1328 S Rio Linda Ct City, Zip: Visalia, CA 93292
◆ Request Details [Information provided by Citizen] Please review the following handbook:	
How many years of being a Visalia Resident?:	<b>30 years</b>
Are you a Visalia Registered Voter?:	<b>Yes</b>
List any training and/or experience:	<b>- Plumbing &amp; Tile Business Owner (CA Lic#1049818) - Former Candidate For Visalia City Council District 5 (2022) - International Multi-Instrumentalist (Concert Piano for Royal Caribbean Cruise Lines, and Other International Circuits)</b>
Education-school, major, graduation date & degree:	<b>San Diego State - Bachelor Of Arts - Music Performance &amp; Composition</b>
Additional skills and/or interests:	<b>Architecture &amp; Drafting</b>
Community activities in which you are involved:	<b>Freemasons - Visalia Lodge #128</b>
Service on a City Board, Committee or Commission:	<b>Candidate For Visalia City Council District 5 in 2022</b>
Present Occupation:	<b>Plumber</b>
Name of Employer:	<b>Owner - Korsgaden Plumbing</b>
Work Address:	<b>PO Box 2533 Visalia, CA 93279</b>
Work Phone Number:	<b>559-786-1815</b>
Potential Conflicts:	<b>No</b>
If Yes, explain in detail any potential conflicts:	
First Choice for City Board/Committee/Commission:	<b>Historic Preservation Committee</b>
Applicable qualifications and experience:	<b>Candidate For Visalia City Council District 5 in 2022</b>
Goals for this appointment:	<b>To see that this board works directly, and coherently, with homeowners, and contractors, concerning additional building code requirements (if any) in these new, historic areas, beyond the Building &amp; Fire Codes of the State of California.</b>
Second Choice for City Board/Committee/Commission:	<b>Planning Commission</b>
Applicable qualifications and experience:	<b>- Plumbing &amp; Tile Business Owner (CA Lic #1049818) - Candidate For Visalia City Council District 5 in 2022</b>
Goals for this appointment:	
Third Choice for Board/Committee/Commission:	<b>Historic Preservation Committee</b>
Applicable qualifications and experience:	
Goals for this appointment:	
Agree or Not Agree:	<b>Agree</b>

Male or Female: **Male**  
Ethnic Category: **White - includes White, Anglo-Saxons, Europeans, and person of Indo-European, North Africa or Middle Eastern origin.**

◆ Staff Request Admin  
Request ID: **273660** Priority: **Normal**  
Received/Entered: 8/28/2024 10:23:17 PM Status: **Received**  
Target Complete Date: 8/30/2024 10:23:17 PM Color  
Actual Complete Date: Flag:  
Request Source: Internet (N)  
Original Assigned Staff: Arce, Kiley  
Gorelik, Ilya  
Rouse, Kathy  
Ruiz, Gladys  
Schonbachler, Macey

◆ Staff / Citizen Action Log  
No Staff/Citizen Actions have been added



**City Clerk - Application for Appointment to City Board, Committee or Commission [ Request Id: 273661]**

**◆ Subject Location**

Street Info:  
City / Zip

**◆ Citizen Contact Information**

Citizen Name: Mr. Erick Arriaga  
Email: [Erick.larriaga@gmail.com](mailto:Erick.larriaga@gmail.com)  
Phone1 / Phone2: 5598596494 / na  
Address: 3208 S Vickie Ct  
City, Zip: Visalia, CA 93277

**◆ Request Details [Information provided by Citizen]**

Please review the following handbook:

How many years of being a Visalia Resident?: **10 years**

Are you a Visalia Registered Voter?: **Yes**

List any training and/or experience: **Took many SCE classes on HVAC at training center in Tulare. Completed HVAC course at COS. Certified in vector control through the California Department of Public Health. 3 years as member of the PR committee for the Mosquito and Vector Control Association of California. (MVCAC) Member of the group of educators in the national American Mosquito Control Association (AMCA)**

Education-school, major, graduation date & degree: **All schooling in Reedley, studied journalism and multimedia at Reedley College.**

Additional skills and/or interests: **Over 20 years of photography experience, 8 years of studio commercial photography. Avid tree enthusiast. Love the culture behind Frank Lloyd Wright, enjoy learning about architecture near turn of century to mid century and how these styles influenced architecture today.**

Community activities in which you are involved: **Participate with my children in the Live and Play programs year round. Give input when city reaches out to public for opinion on various topics.**

Service on a City Board, Committee or Commission: **Serving in a state committee for the California Mosquito Association. No other service for Visalia.**

Present Occupation: **Community Education and Outreach Coordinator**

Name of Employer: **Delta Mosquito and Vector Control District**

Work Address: **1737 W Houston Ave**

Work Phone Number: **559-732-8606**

Potential Conflicts: **No**

If Yes, explain in detail any potential conflicts: **Historic Preservation Committee**

First Choice for City Board/Committee/Commission: **High interest in general architecture, history of design throughout history and how design trends change throughout time. High interest with the history of Visalia, my hometown, other organizations, and buildings that have been around long enough to have a story. Have taken inventory of trees in my neighborhood, study how the families and species of trees are organized.**

Applicable qualifications and experience: **High interest in general architecture, history of design throughout history and how design trends change throughout time. High interest with the history of Visalia, my hometown, other organizations, and buildings that have been around long enough to have a story. Have taken inventory of trees in my neighborhood, study how the families and species of trees are organized.**

Goals for this appointment: **Be a part of an important group of that help our community preserve details with our buildings, and**



**neighborhoods for future generations to enjoy. Preserving the history and design of the city really helps make Visalia have the character the city should have and maintain.**

Applicable qualifications and experience:

Goals for this appointment:

Applicable qualifications and experience:

Goals for this appointment:

Agree or Not Agree:

**Agree**

Male or Female:

**Male**

Ethnic Category:

**Hispanic - includes Mexican, Chicano, Latino, and all persons of Puerto Rican, Cuban Central, South American or Spanish descent.**

 **Staff Request Admin**

Request ID: **273661**

Priority: **Normal**

Received/Entered: 8/28/2024 11:05:15 PM

Status: **Received**

Target Complete Date: 8/30/2024 11:05:15 PM

Actual Complete Date:

Color  
Flag:

Request Source: Internet (N)

Original Assigned Staff: Arce, Kiley  
Gorelik, Ilya  
Rouse, Kathy  
Ruiz, Gladys  
Schonbachler, Macey

 **Staff / Citizen Action Log**

No Staff/Citizen Actions have been added



**City Clerk - Application for Appointment to City Board, Committee or Commission [ Request Id: 273665]**

<p>◆ Subject Location</p> <p>Street Info: City / Zip</p>	<p>◆ Citizen Contact Information</p> <p>Citizen Name: Ms. Mercedes Marquez                  Email: <a href="mailto:mercedezmarquez@gmail.com">mercedezmarquez@gmail.com</a>                  Phone1 / Phone2: 559-993-7788 / na                  Address: 3124 s Cain st                  City, Zip: Visalia, CA 93292</p>
<p>◆ Request Details [Information provided by Citizen]                  Please review the following handbook:</p>	
<p>How many years of being a Visalia Resident?:</p> <p>Are you a Visalia Registered Voter?:</p> <p>List any training and/or experience:</p> <p>Education-school, major, graduation date &amp; degree:</p> <p>Additional skills and/or interests:</p> <p>Community activities in which you are involved:</p> <p>Service on a City Board, Committee or Commission:</p> <p>Present Occupation:</p> <p>Name of Employer:</p> <p>Work Address:</p> <p>Work Phone Number:</p> <p>Potential Conflicts:</p> <p>If Yes, explain in detail any potential conflicts:</p> <p>First Choice for City Board/Committee/Commission:</p> <p>Applicable qualifications and experience:</p> <p>Goals for this appointment:</p> <p>Applicable qualifications and experience:</p> <p>Goals for this appointment:</p> <p>Applicable qualifications and experience:</p> <p>Goals for this appointment:</p>	<p><b>25 years (Born and raised), since I turned 18 its been 7 years</b></p> <p><b>Yes</b></p> <p><b>My training in anything has been in the school system as a Specialized learning center Technician. I've been with the district since January of 2022.</b></p> <p><b>I'm a student at COS, majoring in History. I am in my final phases of finishing up what I need. I will be graduating in 2026</b></p> <p><b>I am interested in photography, painting, sketching and creating content. I am interested in anything and everything artistic. I am trying to increase my skills in photography.</b></p> <p><b>I have worked for the Visalia rescue mission, I have also volunteered for salt and light on their food truck and meal preparation.</b></p> <p><b>I have no experience with services though I feel like starting out in the Historical preservation society would be a good start.</b></p> <p><b>Specialized Learning Center Technician Pinkham Elementary</b></p> <p><b>Visalia Unified School District</b></p> <p><b>2200 E Tulare Ave Visalia Ca 93292</b></p> <p><b>559-730-7853</b></p> <p><b>No</b></p> <p><b>Historic Preservation Committee</b></p> <p><b>My only qualifications to this are that I hold a good work ethic and a need for history to be kept alive. looking to engage and commit to the Historical presence and preservation of downtown and surrounding buildings and neighborhoods. I think local history is important and should be kept in high regards. "History is a treasure, mankind's guiding light illuminating us all"- Nico Robin</b></p>

Agree or Not Agree:	<b>Agree</b>
Male or Female:	<b>Female</b>
Ethnic Category:	<b>Hispanic - includes Mexican, Chicano, Latino, and all persons of Puerto Rican, Cuban Central, South American or Spanish descent.</b>

◆ Staff Request Admin

Request ID:	<b>273665</b>	Priority:	<b>Normal</b>
Received/Entered:	8/29/2024 11:19:55 AM	Status:	<b>Received</b>
Target Complete Date:	9/2/2024 11:19:55 AM	Color	
Actual Complete Date:		Flag:	
Request Source:	Internet (N)		
Original Assigned Staff:	Arce, Kiley Gorelik, Ilya Rouse, Kathy Ruiz, Gladys Schonbachler, Macey		

◆ Staff / Citizen Action Log

No Staff/Citizen Actions have been added



**City Clerk - Application for Appointment to City Board, Committee or Commission [ Request Id: 273729 ]**

◆ Subject Location	◆ Citizen Contact Information
Street Info:	Citizen Name: Mr. Oscar Smith
City / Zip	Email: <a href="mailto:oscar_dinks@hotmail.com">oscar_dinks@hotmail.com</a>
	Phone1 / Phone2: 5599017887 / na
	Address: 2024 N Rose Ave
	City, Zip: Visalia, CA 93223
◆ Request Details [Information provided by Citizen]	
Please review the following handbook:	
How many years of being a Visalia Resident?:	<b>2</b>
Are you a Visalia Registered Voter?:	<b>Yes</b>
List any training and/or experience:	<b>I'm a seasoned educator with 23 years of experience in the Central Valley, holding both an administrative credential and a masters degree in educational administration. I play a leading role within my science department and have been actively involved in various committees at my school site and within my district. Currently, I'm advancing your leadership skills through the district's Administration Leadership Academy. Outside of my professional life, I have a passion for vinyl records, being an active member of the Central Valley Vinyl Group and selling vinyl's at local swaps and the Visalia Antiques Mall. Additionally, I was an officer in the local homebrew club, TCHOPS, eight years ago.</b>
Education-school, major, graduation date & degree:	<b>BA Natural Science - Chemistry CA Teaching Credential Education Administrative Credential Masters of Administration in Education (MAE)</b>
Additional skills and/or interests:	<b>I'm a lifelong learner, always seeking opportunities to transform lives and serve my community in various capacities. As part of my journey, I'm working toward activating my realtor's license with the goal of entering the real estate business. My plan is to purchase rental properties to generate passive income, initially as a part-time endeavor. Eventually, I hope this will transition into a full-time focus once I retire from my career in education.</b>
Community activities in which you are involved:	<b>TCHOPS-homebrew club Central Valley Vinyl Community Active member in the 2nd hand resale market Applicant to the Knights of Columbus and awaiting confirmation as a member A prospective member to the Visalia Breakfast Lions Club President of TCHOPS 8 years ago</b>
Service on a City Board, Committee or Commission:	
Present Occupation:	<b>Educator-Teacher</b>
Name of Employer:	<b>Oscar Smith</b>
Work Address:	<b>824 W Maple Ave Tulare CA 93274</b>
Work Phone Number:	<b>559686875</b>
Potential Conflicts:	<b>No</b>
If Yes, explain in detail any potential conflicts:	



First Choice for City Board/Committee/Commission:	<b>Historic Preservation Committee</b>
Applicable qualifications and experience:	<b>As an avid antiquer, I have spent the past few years visiting historic homes and businesses throughout California. I am deeply passionate about vintage homes and decor because they beautifully showcase the lost art of true American craftsmanship. The attention to detail, quality materials, and unique designs of these structures inspire me, and I find great joy in discovering and preserving these timeless elements of history.</b>
Goals for this appointment:	<b>My goal is to share the rich history of Visalia through the preservation of its historic properties and landmarks. These landmarks play a crucial role in attracting professionals to move to Visalia and stimulating the local economy by enticing tourists. By preserving these vital pieces of history, I aim to contribute to the city's growth and cultural heritage.</b>
Applicable qualifications and experience:	
Goals for this appointment:	
Applicable qualifications and experience:	
Goals for this appointment:	
Agree or Not Agree:	<b>Agree</b>
Resume:	<a href="#">View Attachment</a>
Male or Female:	<b>Male</b>
Ethnic Category:	<b>Hispanic - includes Mexican, Chicano, Latino, and all persons of Puerto Rican, Cuban Central, South American or Spanish descent.</b>

◆ Staff Request Admin		
Request ID:	<b>273729</b>	Priority: <b>Normal</b>
Received/Entered:	9/6/2024 1:59:20 PM	Status: <b>Resolved</b>
Target Complete Date:	9/10/2024	Color
Actual Complete Date:		Flag:
Request Source:	Internet (N)	
Original Assigned Staff:	Arce, Kiley Gorelik, Ilya Rouse, Kathy Ruiz, Gladys Schonbachler, Macey	

◆ Staff / Citizen Action Log		
ACTION TAKEN	<u>DATE</u>	BY WHOM
<b>Staff Action:</b> Status was changed from "Received" to "Resolved"	6 SEP 2024 14:17	MNICHOLSON



**City Clerk - Application for Appointment to City Board, Committee or Commission [ Request Id: 273730 ]**

◆ Subject Location

Street Info:  
City / Zip

◆ Citizen Contact Information

Citizen Name: Amanda Pichurko  
 Email: [alynnpichurko@gmail.com](mailto:alynnpichurko@gmail.com)  
 Phone1 / Phone2: (559) 300-3812 / (559) 300-3812  
 Address: 3415 W Laurel Ave  
 City, Zip: Visalia, CA 93277

◆ Request Details [Information provided by Citizen]

Please review the following handbook:

How many years of being a Visalia Resident?: **22 years**

Are you a Visalia Registered Voter?: **Yes**

List any training and/or experience:

Education-school, major, graduation date & degree: **Currently attending COS**

Additional skills and/or interests:

Community activities in which you are involved: **Active involvement in Visalia Rawhide baseball**

Service on a City Board, Committee or Commission: **None**

Present Occupation: **Cigna Healthcare**

Name of Employer: **Amanda Pichurko**

Work Address: **Work at home**

Work Phone Number: **(559) 300-3812**

Potential Conflicts: **No**

If Yes, explain in detail any potential conflicts:

First Choice for City Board/Committee/Commission: **Parks & Recreation Commission**

Applicable qualifications and experience: **None really just a user of the parks**

Goals for this appointment: **More involvement in the city parks**

Second Choice for City Board/Committee/Commission: **Historic Preservation Committee**

Applicable qualifications and experience:

Goals for this appointment: **I love learning about and maintaining the history of this city**

Third Choice for Board/Committee/Commission: **Planning Commission**

Applicable qualifications and experience:

Goals for this appointment:

Agree or Not Agree: **Agree**

Resume: [View Attachment](#)

Male or Female: **Female**

Ethnic Category: **White - includes White, Anglo-Saxons, Europeans, and person of Indo-European, North Africa or Middle**

**Eastern origin.**

◆ Staff Request Admin

Request ID:	<b>273730</b>	Priority:	<b>Normal</b>
Received/Entered:	9/6/2024 11:55:01 PM	Status:	<b>Resolved</b>
Target Complete Date:	9/10/2024	Color	
Actual Complete Date:		Flag:	
Request Source:	Internet (N)		
Original Assigned Staff:	Arce, Kiley Gorelik, Ilya Rouse, Kathy Ruiz, Gladys Schonbachler, Macey		

◆ Staff / Citizen Action Log

ACTION TAKEN	<u>DATE</u>	BY WHOM
<b>Staff Action:</b> Status was changed from "Received" to "Resolved"	13 SEP 2024 12:26	MNICHOLSON

## Accessory Dwelling Unit (ADU) Ordinance

Purpose and Intent.

Acknowledgement.

Applicability.

Where Allowed.

Permit Requirements and Processing Procedures.

Types of Accessory Dwelling Units.

Types and Number of Units Allowed.

Standards Applicable to All Accessory Dwelling Units.

Additional Standards Applicable to Attached and Detached Accessory Dwelling Units.

Standards Applicable to Converted Accessory Dwelling Units.

Standards Applicable to Junior Accessory Dwelling Units.

### **Purpose and Intent.**

The purpose and intent of this Chapter is as follows:

- A. Purpose. The purpose of this Chapter is to provide regulations for the development of accessory dwelling units through a ministerial process consistent with California Government Code Section 65852.2.
- B. Intent. The regulations in this Chapter are intended to:
  - 1. Implement the provisions of the General Plan Housing Element;
  - 2. Assure compliance with California Government Code Section 65852.2 and other relevant housing legislation;
  - 3. Encourage the development of accessory dwelling units;
  - 4. Streamline and minimize governmental constraints on residential development; and
  - 5. Minimize potential adverse impacts on the public health, safety, and general welfare that may be associated with accessory dwelling units.

### **Acknowledgement.**

The City recognizes the State of California is facing a housing crisis. The City acknowledges accessory dwelling units expand lower cost housing opportunities and are an essential component of the City's and State's housing supply.

### **Applicability.**

The regulations established in this Chapter shall apply to all accessory dwelling units where allowed in compliance with [Section 17.66.040](#) (Where Allowed) of this Chapter and State law. Any construction, establishment, alteration, enlargement, or modification of an accessory dwelling unit shall comply with the requirements of this Chapter and the California Building Code. An accessory dwelling unit that conforms to the standards of this Chapter shall not be:



- A. Deemed to be inconsistent with the General Plan designation and zone for the parcel on which the accessory dwelling unit is located or proposed;
- B. Deemed to exceed the allowable density for the parcel on which the accessory dwelling unit is located or proposed;
- C. Considered in the application of any City ordinance, policy, or program to limit residential growth; and
- D. Required to correct a nonconforming zoning condition as defined in **Chapter 17.04** (Definitions). This does not prevent the City from enforcing compliance with applicable building standards in compliance with Health and Safety Code Section 17980.12.

### **Where Allowed.**

In compliance with California Government Code Section 65852.2, accessory dwelling units shall be allowed by-right (ministerially permitted) in any zone which allows residential uses. Specifically, the City's Agriculture zone (A), Open Space zone (OS), Single-family residential zones (R-1-5, R-1-12.5, and R-1-20), and Multi-family residential zones (R-M-2 and R-M-3) shall allow accessory dwelling units by-right.

This Section also applies to mixed-use zoning districts which allow residential and zones which allow residential as a conditionally permitted use. Specifically, the City's Commercial zones (C-N, C-R, C-S, C-MU, and D-MU, Office zones (O-PA and O-C), and Industrial zones (BRP, I-L, and I) shall allow accessory dwelling units by-right.

### **Permit Requirements and Processing Procedures.**

- A. An application for an accessory dwelling unit that complies with all applicable requirements of this Chapter and California Government Code Section 65852.2 shall be approved ministerially through the Building Permit process. A Building Permit application for an accessory dwelling unit on a parcel with an existing or proposed single-family or multi-family dwelling shall be approved or denied within 60 days of the Building Permit application being deemed complete. The Building Permit applicant may request a delay in the City processing of the Building Permit, which shall result in the suspension of the 60-day time period.
- B. If a permit application for an accessory dwelling unit or a junior accessory dwelling unit is submitted with a permit application to create a new single-family or multi-family dwelling on the lot, including conditional use permits, the permitting agency may delay approving or denying the permit application for the accessory dwelling unit or the junior accessory dwelling unit until the permitting agency approves or denies the permit application for the primary single-family or multi-family dwelling, but the application to build the accessory dwelling unit or junior accessory dwelling unit shall be considered ministerially without discretionary review or hearing.

### **Types of Accessory Dwelling Units.**

An accessory dwelling unit approved under this Chapter may be one of, or a combination of, the following types:

- A. Attached. An accessory dwelling unit that is created in whole or in part from newly constructed space that is attached to the proposed or existing primary dwelling, such as through a shared wall, floor, or ceiling.
- B. Detached. An accessory dwelling unit that is created in whole or in part from newly constructed space that is detached or separated from the proposed or existing primary dwelling, including an existing stand-alone garage converted into an accessory dwelling unit. The detached accessory dwelling unit shall be located on the same parcel as the proposed or existing primary dwelling.
- C. Converted. An accessory dwelling unit that is entirely located within the existing primary dwelling or accessory structure, including but not limited to attached garages, storage areas, or similar uses; or an

accessory structure including but not limited to studio, pool house, or other similar structure. See Section 17.66.100 (Standards Applicable to Converted Accessory Dwelling Units) of this Chapter.

- D. **Junior Accessory Dwelling Unit.** A junior accessory dwelling unit is a unit that meets all the following (see Section 17.66.170 (Standards Applicable to Junior Accessory Dwelling Units) for additional regulations):
1. Shall only be allowed on parcels zoned Single-family Residential (R-1-5, R-1-12.5, or R-1-20) and that include an existing or proposed single-family dwelling.
  2. Is entirely located within a proposed or existing primary single-family dwelling or its attached garage.
  3. Has independent exterior access from the primary dwelling.
  4. Has sanitation facilities that are either shared with or separate from those of the primary dwelling.
  5. Includes an efficiency kitchen, which includes a cooking facility with appliances, food preparation counter, and storage cabinets that are of reasonable size in relation to the size of the junior accessory dwelling unit.

### **Types and Number of Units Allowed.**

- A. **Single-Family Residential Zones.** One of each of the following types of accessory dwelling units are allowed on lots zoned Single-Family Residential:
1. One new construction accessory dwelling unit, attached or detached, as described in Government Code Section 65852.2(e)(1)(A).
  2. One conversion accessory dwelling unit, attached or detached, within the existing or proposed square footage of the primary single-family dwelling or accessory structure, as described in Government Code Section 65852.2(e)(1)(B).
  3. One junior accessory dwelling unit built fully within the existing square footage of the primary single-family dwelling unit as described in Government Code Section 65852.2(e)(1)(A).
- B. **Multi-Family Residential Zones.** Accessory dwelling units are allowed in Multi-Family Residential zones and shall comply with all of the following:
1. **Converted Spaces within a Multi-Family Residential Dwelling Structure.** Multiple accessory dwelling units shall be allowed within an existing or proposed multi-family residential dwelling structure and shall comply with all of the following:
    - a. Accessory dwelling units are allowed within any multi-family residential dwelling structure in portions of such structures that are not used as livable space, including but not limited to storage rooms, boiler rooms, passageways, attics, basements, or garages, provided that any such space converted to an accessory dwelling unit complies with minimum State building standards for residential dwellings.
    - b. The number of accessory dwelling units allowed in converted spaces of multi-family residential dwelling structures is limited to a maximum of 25 percent of the number of multi-family dwellings within the existing or proposed structure (Example: If a multi-family structure has 10 units, a maximum of two accessory dwelling units in converted spaces is allowed.). In no case shall fewer than one accessory dwelling unit be allowed.
  2. **Detached Accessory Dwelling Units.** No more than two detached accessory dwelling units on a parcel with an existing or proposed multi-family residential dwelling structure.
- C. **Mixed-Use Zones and Conditional Use.** Accessory dwelling units are allowed by right in mixed use zones and zones where residential uses are allowed as a conditional use. The number and type of accessory dwelling

units allowed in these zones shall be in accordance with Section 17.66.070(A) and 17.66.070(B) dependent on the type of existing or proposed residential use on the proposed lot.

- D. Urban Lot Splits. Parcels that undergo a lot split in accordance with Government Code Section 65852.21 and 66411.7 are allowed a maximum of two dwelling units per lot. Accessory dwelling units and junior accessory dwelling units shall count towards this two-unit limit.
- E. In no case shall more than four units be allowed on a single lot in any combination of primary dwelling units, accessory dwelling units, and junior accessory dwelling units.

### **Standards Applicable to All Accessory Dwelling Units.**

The following standards apply to all accessory dwelling units, including junior accessory dwelling units.

- A. Parcel Size and Width. No minimum parcel size or parcel width standards shall apply to the construction of an accessory dwelling unit.
- B. Parcel Coverage. No parcel coverage standards shall apply to the construction of an accessory dwelling unit.
- C. Open Space. An accessory dwelling unit shall comply with the minimum open space requirements of the applicable zoning district, except in the case where the minimum open space requirement would preclude an accessory dwelling unit, one attached or detached accessory dwelling unit with a maximum size of 800 square feet, regardless of the number of bedrooms, shall be allowed and shall comply with the requirements of this Chapter.
- D. Owner Occupancy. The property owner is not required to occupy the accessory dwelling unit or primary dwelling located on the parcel.
- E. Separate Access Required. An accessory dwelling unit shall have exterior access that is separate from the exterior access for the primary dwelling.
- F. Fire Sprinklers. Fire sprinklers are required in an accessory dwelling unit if they are required in the primary dwelling per the California Building Code.
- G. Permanent Foundation.
  - 1. All accessory dwelling units shall be permanently attached to a permanent foundation as defined by the California Building Code.
  - 2. The use of a recreational vehicle, commercial coach, trailer, motor home, camper, camping trailer, tiny house on wheels, boat, or other apparatus not designed for permanent human habitation is prohibited from use as an accessory dwelling unit.
- H. Nonconforming Conditions. The correction of nonconforming zoning conditions is not required in order to establish an accessory dwelling unit on a parcel with a primary dwelling.
- I. Illegal Units. This Chapter shall not validate any existing illegal accessory dwelling units or junior accessory dwelling units. The standards and requirements for the conversion of an illegal accessory unit to a legal conforming unit shall be the same as for a new accessory dwelling unit.
- K. Separate Conveyance. Except as provided in Government Code Section 65852.26, an accessory dwelling unit shall not be sold or otherwise conveyed separately from the parcel and the primary dwelling(s).
- L. Rental Term. No accessory dwelling unit shall be rented for a term of less than 30 days.
- M. Impact Fees. No impact fees (including school fees) shall be charged to an accessory dwelling unit that is less than 750 square feet in size. Any impact fee charged to an accessory dwelling unit 750 square feet or larger in

size, including accessory dwelling units converting existing space, shall be charged proportionately in relation to the square footage of the primary dwelling.

1. Single Family Residential. For purposes of calculating the fees for an accessory dwelling unit on a lot with a single-family dwelling, the proportionality shall be based on the square footage of the primary dwelling unit (e.g. the floor area of the accessory dwelling unit, divided by the floor area of the primary dwelling unit, times the typical fee amount charged for a new dwelling).

Example impact fee calculation for an accessory dwelling unit on a single-family residential parcel:

Public Facility Impact Fee for Single Family DU	\$692.00
Example Square Footage of Primary Dwelling	1,500
Example Square Footage of ADU	800
Public Facility Impact Fee for ADU	\$369.07
<i>This calculation is for example purposes only, actual impact fees are subject to change based on the City of Visalia Development Fee Schedule and will be calculated at time of permit application.</i>	

2. Multi-Family Residential. For purposes of calculating the fees for an accessory dwelling unit on a lot with a multi-family dwelling, the proportionality shall be based on the average square footage of the units within that multi-family dwelling structure. (e.g. the floor area of the accessory dwelling unit, divided by the average floor area of units, times the typical fee amount charged for a new dwelling unit).
3. Example impact fee calculation for an accessory dwelling unit on a multi-family residential parcel:

Public Facility Impact Fee for Multi Family DU	\$614.00
Example Average Square Footage of Unit in Multi-Family Dwelling	1,000
Example Square Footage of ADU	800
Public Facility Impact Fee for ADU	\$491.20
<i>This calculation is for example purposes only, actual impact fees are subject to change based on the City of Visalia Development Fee Schedule and will be calculated at time of permit application.</i>	

### **Additional Standards Applicable to Attached and Detached Accessory Dwelling Units.**

The following standards shall apply only to attached and detached accessory dwelling units.

- A. Unit Size Requirements. Attached and detached accessory dwelling units shall comply with the following unit size requirement:
  1. Attached Units. May not exceed 850 square feet if it has fewer than two bedrooms or 1,000 square feet if it has two or more bedrooms. An attached accessory dwelling unit shall not exceed 50 percent of the floor area of the primary dwelling.
  2. Detached Units. May not exceed 850 square feet if it has fewer than two bedrooms or 1,000 square feet if it has two or more bedrooms.
  3. Unit Type Combinations. A detached, new construction accessory dwelling unit may be combined on the same parcel with one junior accessory dwelling unit. When combined with a junior accessory dwelling unit, the maximum size of the detached accessory dwelling unit is limited to 800 square feet, regardless of the number of bedrooms.



4. Measurement of Unit Size. Square footage is measured from the exterior walls at the building envelope, excluding any garage area or unenclosed covered porch areas. For the purposes of measurement all attached and/or interior storage areas, mezzanines, lofts, attics (except those less than seven feet in height accessed by a crawlspace and/or other code compliant access), and similar uses shall be counted in the total square footage.
- B. Height. Accessory dwelling units are limited to a maximum height of 16 feet, except as established below:
1. Detached Units Located Adjacent Transit Services. If a detached accessory dwelling is located within a half-mile of a major transit stop or high-quality transit corridor, as defined in Chapter 17.04 (General Provisions and Definitions), the unit is limited to a maximum height of 18 feet, and may be up to two feet taller, for a maximum of 20 feet, if necessary to match the roof pitch of the primary dwelling unit.
  2. Detached Units on Multi-Family Residential Dwelling Parcels. If a detached accessory dwelling is located on a parcel with a multistory multi-family dwelling structure, the detached accessory dwelling unit is limited to a maximum height of 18 feet.
  3. Attached Units. An accessory dwelling attached to the primary dwelling is limited to 25 feet or the height allowed in the underlying zoning district, whichever is lower. In no case shall an accessory dwelling unit exceed two stories.
- C. Parking. One off-street parking space is required for an accessory dwelling unit in addition to that required for the primary dwelling, except as established below.
1. No off-street parking shall be required for an accessory dwelling unit if any of the following circumstances exist:
    - a. The accessory dwelling unit is located within one-half mile of public transit.
    - b. The accessory dwelling unit is on a property located within the Historic District, or for properties with structures listed on the Local Register of Historic Structures.
    - c. The accessory dwelling unit is part of the existing primary residence or an existing accessory structure.
    - d. When on-street parking permits are required but not offered to the occupant of the accessory dwelling unit.
    - e. Where there is a car share vehicle located within one block of the accessory dwelling unit.
  2. The required off-street parking space may be covered or uncovered and shall be allowed in tandem and in setback areas, except as specified in **Paragraph C.3 of this Subsection**, unless the review authority makes specific findings that such parking is not feasible due to specific site topographical or fire and life safety conditions.
  3. Covered parking shall not be allowed in setback areas.
  4. If a garage, carport, or covered parking is demolished in conjunction with the construction of an accessory dwelling unit or converted to an accessory dwelling unit, replacement parking is not required.
- D. Setbacks. An accessory dwelling unit shall comply with the following setback requirements:
1. Attached Unit. An attached accessory dwelling unit shall be subject to the same front setback requirement applicable to the primary dwelling, unless it precludes development of an accessory dwelling unit that is at least 800 square feet. An attached accessory dwelling unit shall have a minimum setback of four feet from the side and rear lot lines.

2. Conversion of Existing Living Space or Existing Accessory Building. See **Section 17.66.100.C.**
  3. New Detached Unit. A new construction detached accessory dwelling unit shall comply with the front setback of the underlying zoning district, unless it precludes development of an accessory dwelling unit that is at least 800 square feet. A detached accessory dwelling unit shall have a minimum setback of four feet from the side and rear lot lines.
- E. Design. The following requirements apply only to accessory dwelling units located within the Historic Preservation District as provided in the City's Zoning Map or is located on a parcel where the primary structure is listed on the City's Local Register of Historic Structures.
1. Converted Structures. The conversion of an existing structure to an accessory dwelling unit shall not alter any exterior features of the existing structure except as necessary to comply with current Building Code, State law, and this Chapter to make the unit livable (e.g., addition of doors or windows, garage door removal, addition of air conditioning unit). Any exterior alternations shall comply with **Subparagraphs 2 through 6 of this Subsection E.**
  2. Siding. Siding treatments of the accessory dwelling unit (e.g. clap board, board and batten, shingle) shall be an in-kind replication of the primary residence.
  3. Vents. Vent features on the exterior of the accessory dwelling unit shall be an in-kind replication of the vent features of the primary residence.
  4. Roof Features. Roof features (e.g., fascia, exposed rafter rails, corbels) and roof materials (asphalt shingles, wood shingles, tile) shall be an in-kind replication of the primary residence.
  5. Windows and Doors. The window and door treatments (e.g., trim width, shutters) of the accessory dwelling unit shall be an in-kind replication of the window and door features of the primary residence.
  6. Exterior Lighting. Exterior light fixtures shall be an in-kind replication of the exterior lighting of the primary residence.

### **Standards Applicable to Converted Accessory Dwelling Units.**

The following standards shall apply only to converted accessory dwelling units:

- A. Limited Expansion. Conversions may include an expansion of not more than 150 square feet beyond the same physical dimensions as the existing structure if the expansion is for the sole purpose of accommodating ingress and egress to the converted structure. Limited expansion areas shall conform with accessory dwelling unit setback requirements.
- B. Exterior Access Required. The converted space or structure shall have exterior access.
- C. Setbacks. An accessory dwelling unit or portion of an accessory dwelling unit located within the existing space of an existing dwelling or within an existing detached accessory structure shall not require a setback from the rear, street side, or interior side property lines.
- D. Parking. No additional off-street parking is required for the converted accessory dwelling unit. If replacement parking is provided, the replacement space(s) shall be located in any configuration on the same parcel as the accessory dwelling unit and may include but is not limited to covered spaces, uncovered spaces, or tandem spaces. Replacement parking may only occur on driveways leading to a required parking space or in rear yard on a paved surface.
- E. Unit Size Requirements. The conversion of an existing accessory structure or a portion of the existing primary dwelling to an accessory dwelling unit is not subject to unit size requirements established in this Chapter. For example, if an existing 2,000 square-foot accessory structure was converted to an accessory dwelling unit, it would not be subject to the established unit size requirements.

## **Standards Applicable to Junior Accessory Dwelling Units.**

The following standards shall apply only to junior accessory dwelling units.

- A. **Where Allowed.** Junior accessory dwelling units shall only be allowed on parcels zoned for Single-Family Residential use and that include an existing or proposed single-family dwelling.
- B. **Location on Parcel.** A junior accessory dwelling unit shall be allowed in the following locations:
  - 1. Within the walls of an existing or proposed primary single-unit dwelling.
  - 2. A conversion of an attached garage in the existing or proposed primary single-unit dwelling.
- C. **Number of Units Per Parcel.** A maximum of one junior accessory dwelling unit shall be allowed on any parcel.
- D. **Unit Size Requirements.** The total area of floor space for a junior accessory dwelling unit shall not exceed 500 square feet and shall not expand the size of an existing single-family dwelling by more than 150 square feet, provided such expansion is provided solely for the purpose of accommodating ingress and egress.
- E. **Efficiency Kitchen.** A junior accessory dwelling unit shall include an efficiency kitchen as described in Section 17.66.060(D)(5).
- F. **Parking.** No off-street parking is required for the junior accessory dwelling unit.
- G. **Entrance.** The junior accessory dwelling unit shall include an exterior entrance separate from the main entrance to the existing or proposed single-family dwelling. If a bathroom facility is not shared with the single-unit dwelling, the junior accessory dwelling unit may, but is not required to, include an interior entry into the main living area, which may include a second interior doorway for sound attenuation.
- H. **Deed Restriction.** Junior accessory dwelling units shall comply with the following deed restriction requirements:
  - 1. **Deed Restriction Required.** Prior to issuance of a Building Permit for a junior accessory dwelling unit, a deed restriction shall be recorded against the title of the property in the Tulare County Recorder's office and a copy filed with the City. The deed restriction shall run with the land and bind all future owners. The form of the deed restriction will be provided by the City and shall provide that:
    - a. The junior accessory dwelling unit shall not be sold separately from the primary dwelling, except as may otherwise be permitted by State law.
    - b. The junior accessory dwelling unit is restricted to the approved size and other attributes allowed by this Section.
    - c. The deed restriction runs with the land and shall be enforced against future property owners.
    - d. The property owner shall reside on the site of the primary dwelling in which the junior accessory dwelling unit will be permitted for a minimum of three years. The owner may reside in either the remaining portion of the primary dwelling or the newly created junior accessory dwelling unit. Owner occupancy shall not be required if the owner is another governmental agency, land trust, or housing organization.
  - 2. **Deed Restriction Removal.** The deed restriction may be removed if the property owner eliminates the junior accessory dwelling unit. To remove the deed restriction, a property owner shall make a written request to the City, providing evidence that the junior accessory dwelling unit is eliminated. The City shall determine the junior accessory dwelling unit has been eliminated. If the junior accessory dwelling unit is not entirely physically removed but is only eliminated by virtue of having a necessary component of a junior accessory dwelling unit removed, the remaining structure and improvements shall otherwise comply with all applicable development and building standards.

3. Enforcement. Failure of the property owner to comply with the deed restriction may result in legal action against the property owner, and the City is authorized to obtain any remedy available to it at law or equity, including, but not limited to, obtaining an injunction enjoining the use of the accessory dwelling unit in violation of the recorded restrictions or abatement of the illegal unit.



17 – Zoning Code  
Single-Family Residential  
Objective Design Standards

PUBLIC REVIEW DRAFT  
AUGUST 2024

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## Chapter TBD

# Single-Family Residential Objective Design Standards



# Single-Family Residential Objective Design Standards

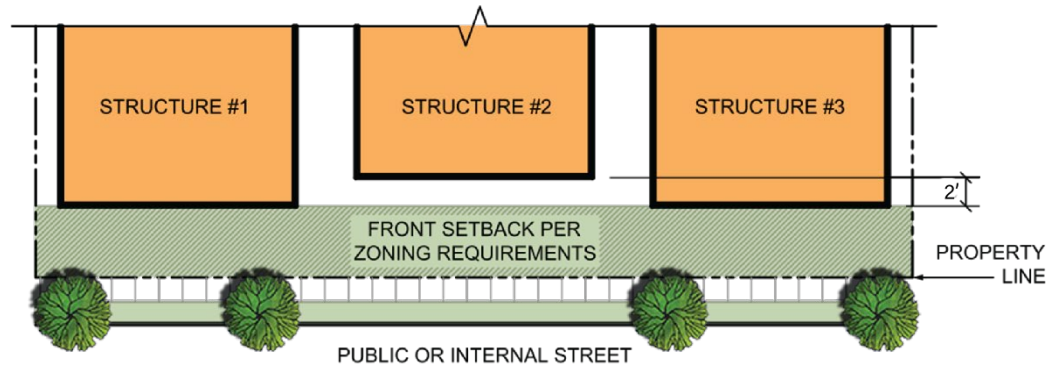
## A. Purpose and Applicability

1. Purpose. The purpose of this Chapter is to establish objective design standards that provide developers with a clear understanding of the City's expectations for all residential project design and streamline the construction of housing units by reducing subjectivity in the entitlement process. All applicable development projects are required to comply with all design standards found in this Chapter in addition to all applicable Building Permit requirements, Zoning Ordinance requirements, City Engineering Division Design and Improvement Standards, and all other applicable City, County, and State provisions.
2. Applicability. The standards of this Chapter apply to all new single-family residential developments on lots regardless of parcel size, except as described below.
  - a. For the purposes of this Chapter, accessory dwelling units (ADUs) are considered accessory structures to a single-family residence and are subject to all applicable design standards for accessory structures established in this Chapter except where they interfere with State law or the City's ADU Ordinance.
  - b. Buildings and structures listed on the City's Local Register of Historic Structures are excluded from the requirements of this Chapter but are subject to committee review (see Chapter 17.56).

## B. Site Planning

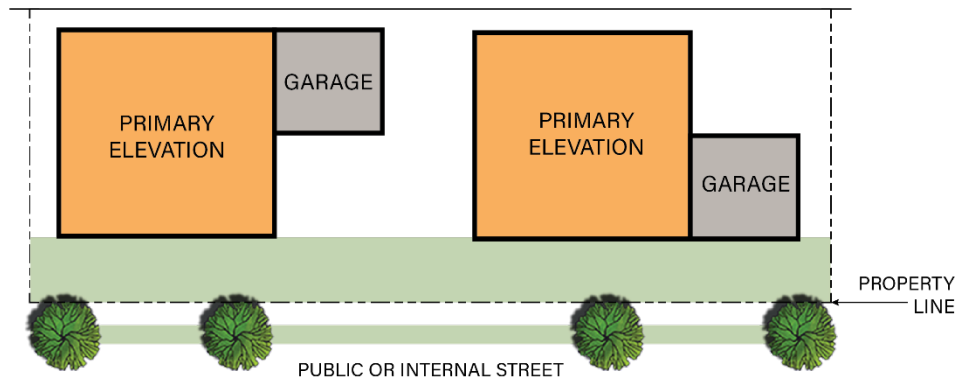
1. Site Placement
  - a. Site Area. Developments with two or more structures shall be staggered with a minimum of two-foot variation measured from the front setback with the intent of providing a varied street elevation so that front setbacks and structures on adjacent parcels differ by a minimum of two feet and a maximum of six feet.





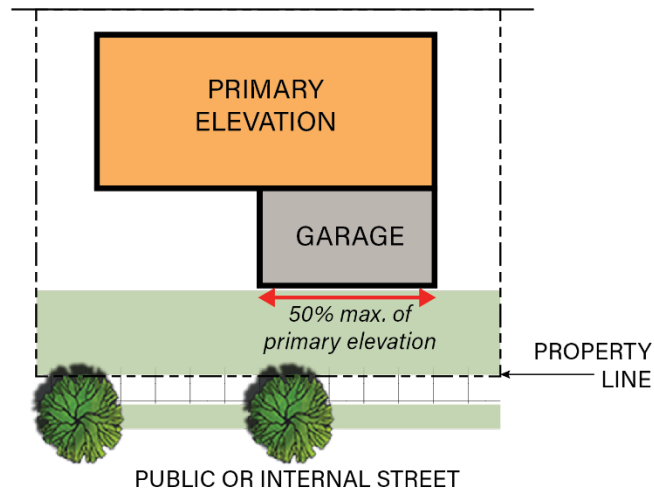
b. Orientation

- i. The primary elevation of the residence shall face the primary public or private right-of-way on which the parcel is located. For the purposes of this Section the primary elevation is that in which the primary entrance is located.
- ii. On corner lots, the primary elevation is considered the elevation that is facing the street in which the residential address is associated with and primary entrance is located. The applicant/developer/property owner may file for an address change if they would like to change what street the primary elevation is located.
- iii. Garages.
  - (1) Garages (attached or detached) located on the side of the primary structure shall be setback farther from or equal to the primary elevation.





- (2) Garages located in front of the primary elevation shall not exceed 50 percent of the total width residence.

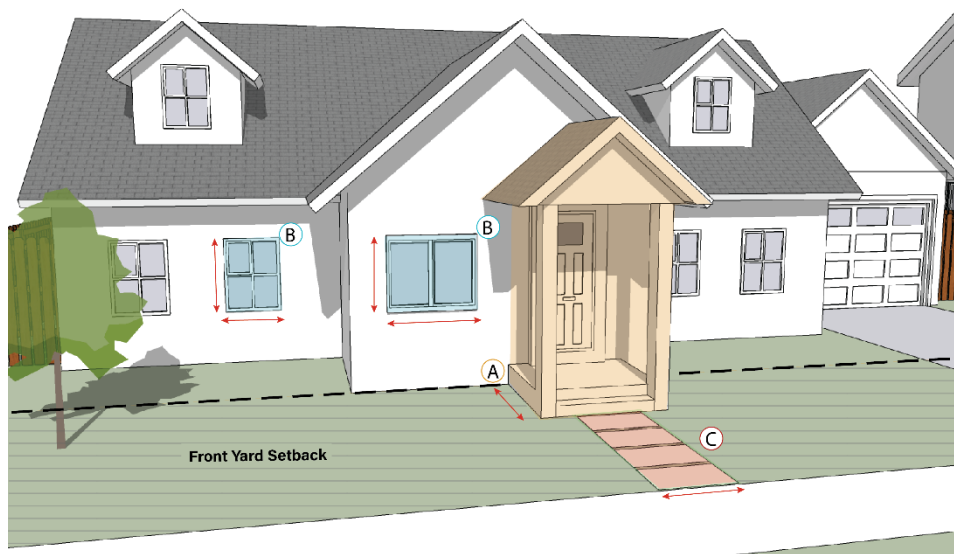


2. Site Development.

- a. Setbacks. Structure setbacks shall be subject to the provisions of the applicable zone of which the subject parcel is located in. For single-family provisions please see Chapter 17.12. For lots less than 5,000 square feet the setback requirements specified in Section 17.12.135 shall apply.
- b. Height. Structure height shall be subject to the provisions of the applicable zone of which the subject parcel is located in. For single-family provisions please see Chapter 17.12. For lots less than 5,000 square feet the height requirements specified in Section 17.12.135 shall apply.
- c. Front Entryways.
  - i. The main entry to the residence shall be located on the primary elevation.
  - ii. The primary elevation shall include a minimum of one window that is at least three feet by four feet.
  - iii. Front entries shall include a covered porch that complies with standards established in Section 17.32.090 of this Title. A porch can be recessed and/or projecting, however a canopy or awning alone cannot be utilized to fulfill this standard.
  - iv. A minimum three-foot wide pedestrian walkway, other than the driveway, shall provide direct access to the front entryway of the residence from the primary sidewalk, or primary right-of-way if no sidewalk is present. Pedestrian walkways can be constructed with any



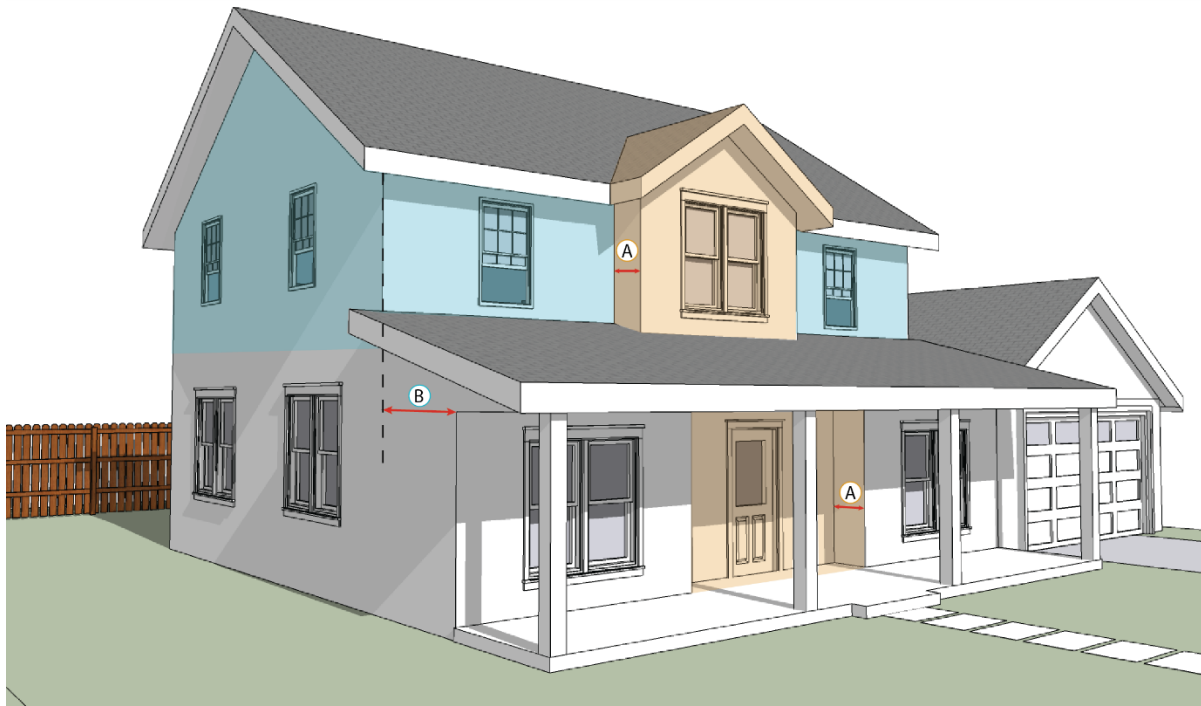
materials (i.e., aggregate or natural stone or rock, brick, gravel, wood, poured concrete), except for dirt or topsoil.



- (A) Covered porch on the front entry that may project up to 6 feet into the front yard setback.
- (B) Primary elevation shall include at least one window measuring 3 foot (height/width) by 4 foot (height/width).
- (C) Three foot wide pedestrian walkway from the front entry to the primary sidewalk/public right-of-way.

#### C. Structure Design Standards.

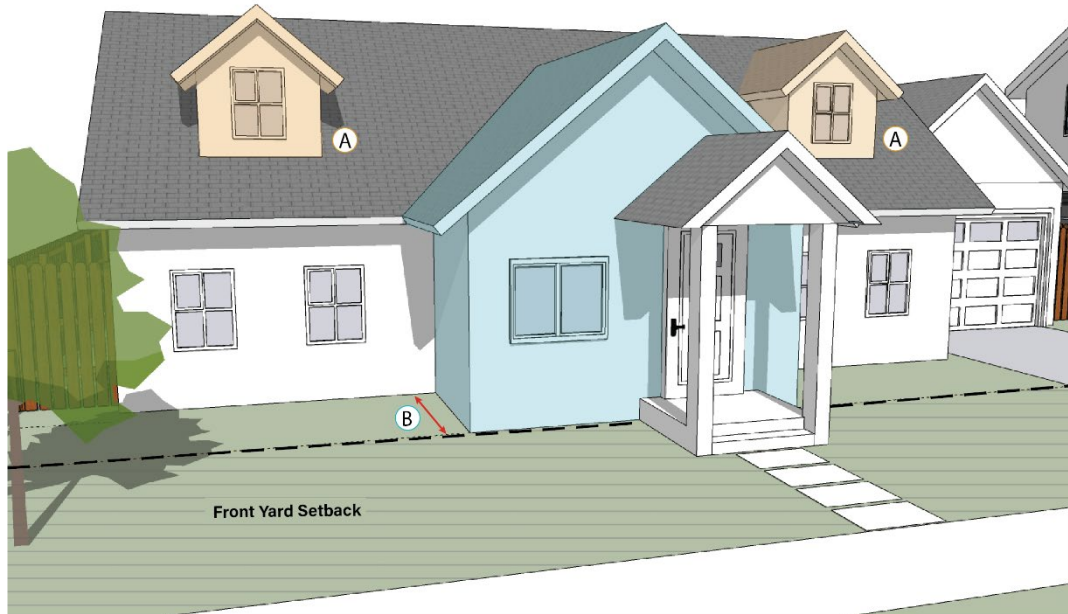
1. **Massing.** To provide for visually interesting structures, primary elevations wider than 25 feet shall incorporate at least one of the following massing elements for every 15 feet:
  - a. **Projections.** A projection shall project at least two feet, but no more than six feet, from the main elevation plane and be at least eight feet wide. A projected area shall be capped with an eave or gable that matches the same materials and style as the main structure.
  - b. **Recessions.** A recession shall be at least two feet deep, but no more than six feet deep, from the main elevation plane and be at least five feet wide.
  - c. **Second Floor Stepbacks.** For two-story structures, the second floor may be stepped back by at least six feet, but no more than 12 feet, from the ground floor wall plane. The stepback shall extend along at least 50 percent of the length of the wall plane. The stepback may be continuous or composed of multiple segments that together total the required length.
  - d. **Bay Window.** A protruding window that is at least two feet from wall plane.



- A** Projection or recession measuring between two to six feet from the wall plane.
- B** Second floor stepback measuring between six and 12 feet from first floor.

2. Articulation. Structures shall be vertically (height) and horizontally (depth) articulated along the primary elevations.
  - a. Vertical Articulations. Vertical articulations shall include a change in total height of a minimum of two feet, or a change in roof pitch or form, or the inclusion of a gable or dormer, and such articulation shall occur at intervals of a maximum of 15 feet.

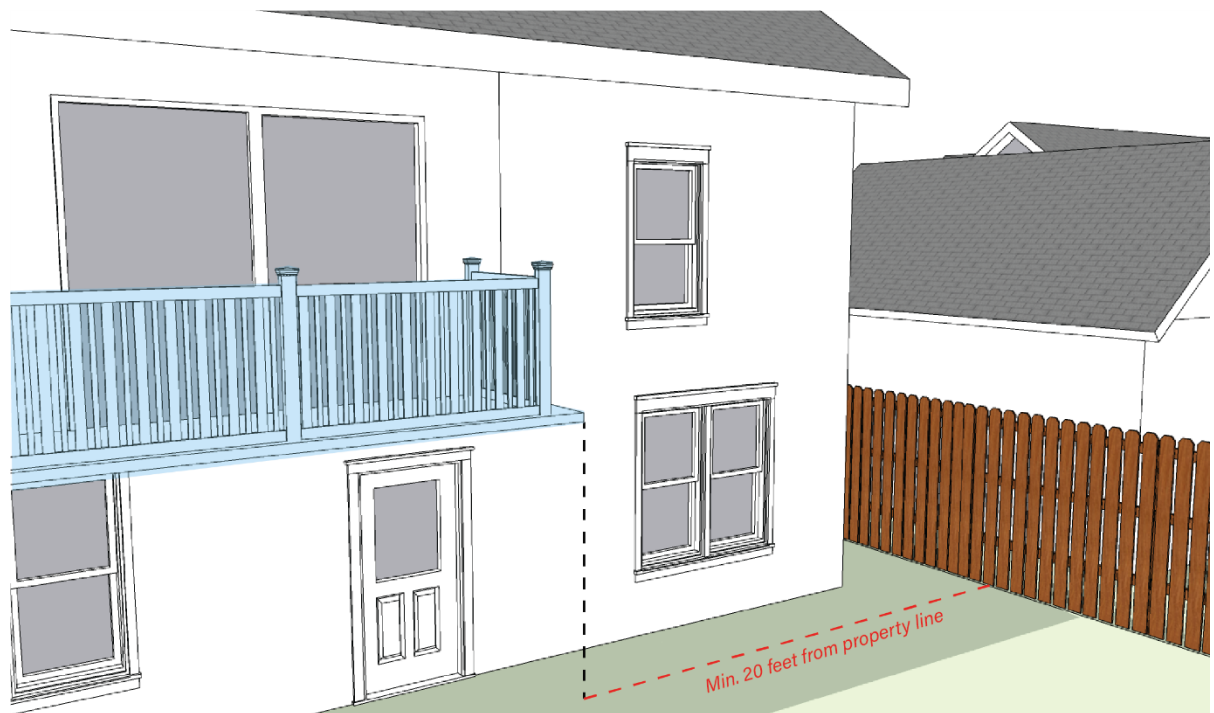
- b. **Horizontal Articulation.** Horizontal articulations shall include a change of wall plane by a minimum depth of two feet at intervals of a maximum of 20 feet.



- (A) Vertical Articulation through the inclusion of a dormer.  
 (B) Horizontal Articulation - Change of wall plane by a minimum of 2 feet.

3. **Fenestration.**
- a. All windows and doors shall include one of the following exterior design details:
- i. A recess of at least two inches from the wall plane.
  - ii. Wood, metal, stucco covered foam, or engineered wood trim around the entire window or door with a minimum width of three inches and minimum depth of three-quarters of an inch.
- b. If used, shutters shall be sized to cover 100 to 105 percent of the window and match the exact window shape.
4. **Balconies.** No portion of a second floor balcony shall be within 20 feet of the adjacent property line (except on the primary elevation), unless the side(s) of the balcony facing the adjacent property(ies) is screened from view.





5. Design Details.

a. Materials

- i. No more than four materials or finishes (not including roofing, door, or window materials) shall be used on each elevation, and no more than



five materials or finishes (not including roofing, door, or window materials) in total shall be used across all elevations.

ii. The following materials are prohibited from use as exterior finishes (excluding windows and doors):

- (1) Vinyl siding
- (2) Plastic
- (3) Raw, non-treated/coated metal

b. Colors. A minimum of two, but no more than five, colors (or tints, shades, or tones of the same color) shall be used on the entire exterior of the building.

c. Accessory Structures. All accessory structures (i.e., accessory dwelling units, garages, workshops, storage sheds) visible from the primary street shall be constructed of the same materials, colors, roof type as the primary structure. This standard only applies to accessory structures constructed together with the primary dwelling unit.

D. Landscaping.

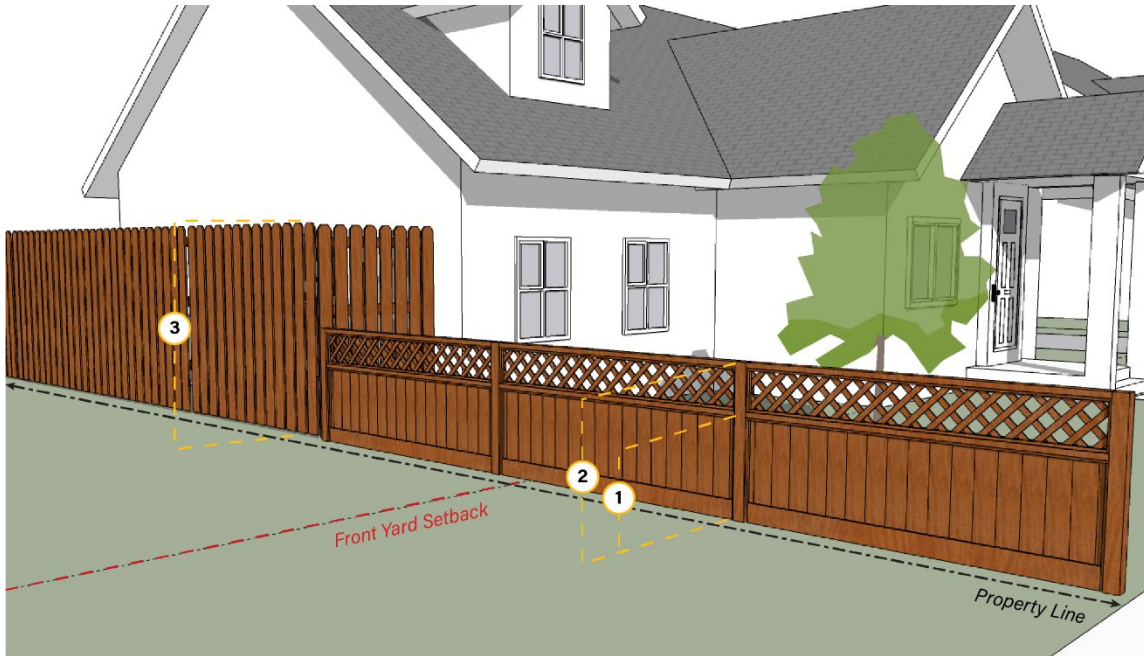
1. All areas not occupied by structures or pavement in the front yard area shall be landscaped. Landscaped areas shall consist of plantings, turf, mulch, or bark.
2. All landscape areas shall meet the requirements of the State Model Water Efficient Landscape Ordinance, or if applicable, the Water Efficient Landscape Ordinance of the City of Visalia. [Source: 17.30.015.C.1.a]
3. Trees. New developments shall plant a minimum of one tree along the street frontage. Trees shall be 15 gallons at the time of planting.
4. Pavement or hardscape shall not make up more than 50 percent of the front yard, unless necessary to meet other standards required by this Chapter.

E. Fences, Walls, and Hedges.

1. Height. Fences, walls, and hedges shall not exceed seven feet in height if on the side or rear yard setbacks, or three feet in height if in the front yard setback. A front yard fence or wall may be allowed to a height of up to four feet only if the portion exceeding three feet, at minimum, is constructed with a material that has a visibility percentage of at least 50 percent (i.e., lattice fencing). These standards also apply within five feet of the street side property line for corner lots.
2. Materials. The following materials are prohibited from use as fencing:
  - a. Barbed wire
  - b. Electric charged fencing
  - c. Corrugated Paneling



- d. Chain link (except for three to four-foot height fences within the front yard and street side yard setback)



- ① Maximum height of three feet in front yard setback.
- ② Maximum height of four feet in front yard setback if top one foot of fence is at 50 percent visibility.
- ③ Maximum height of seven feet in on side and rear yard setback.

F. Exterior Lighting.

1. All entryways, porch areas, pedestrian pathways, and gates shall include lighting for safety and security. All exterior lighting fixtures shall comply with all of the following standards:
  - a. Be fully shielded and directed downward (not above the horizontal plane) and shall not spill onto adjacent properties;
  - b. Be no more than of eight feet above the ground plane;
  - c. Ground-mounted light fixtures to illuminate driveways, landscaped areas, or pedestrian pathways shall be no more than three feet in height; and
  - d. Use light emitting diodes (LEDs) with a maximum temperature of 3000 kelvins.
2. Permanently installed light fixtures that blink, revolve or flash are prohibited.

G. Off-Street Parking Facilities.

1. The number and type of off-street parking facilities for a single-family residential development shall comply with the requirements of the underlying zoning district as established in Chapter 17.34. In addition to the provisions in Chapter 17.34, all off-street parking facilities shall comply with the following standards:



2. Covered parking areas shall be in garages, carports are prohibited. [Source: 17.12.135.A.7]
  3. Uncovered parking areas (i.e., driveways) shall be paved. [Source: 17.34.030.P]
  4. Off-Street Guest Parking Facilities for Planned Unit Developments. Planned unit developments with four or more dwelling units shall provide off-street guest parking spaces when on-street parking is not allowed on the streets within the development. Planned unit developments shall provide a minimum of one guest parking space per four dwelling units within the total project. If a fraction occurs based on the specified number of guest spaces, the project applicant shall round up to the next round number of guest spaces.
- H. Useable Common Open Space Areas for Planned Unit Developments.
1. Useable Common Open Space. Planned unit developments shall provide usable outdoor passive/active open space with outdoor amenities as required in Table 1 (Outdoor Amenities). Useable common open space means an unobstructed area or areas, accessible to all occupants of the structure it serves, having no dimension less than 10 feet in any direction. Useable common open space excludes areas designated for parking, including surface parking, carports, or garages. A minimum of 60 percent of the common useable open space shall be provided as landscaped green area (not hardscaped).
  2. Recreational Amenities. Projects shall provide outdoor amenities in compliance with the following provisions:
    - a. Passive Recreational Amenities. Passive recreation refers to recreational activities that require minimal to no facilities or development to perform such activities. Passive recreation amenities include, but are not limited to, community gardens, outdoor gathering/seating area, picnic/barbeque area, pet area/dog park, courtyard/plaza. All passive recreational amenity area shall be a minimum of 200 square feet unless otherwise stated.
    - b. Active Recreational Amenities. Active recreation refers to recreational activities that require specific facilities or equipment to perform such activities. Active recreational amenities include, but are not limited to, playground/tot lot, sports court/field, fitness area, swimming pool, clubhouse w/kitchen, community room. All passive recreational amenity area shall be a minimum of 500 square feet unless otherwise stated.
  3. Seating. Seating shall be provided for all common open space areas.
  4. Playgrounds/tot lots shall be located in an area with direct visibility from a minimum of three dwelling units to allow for casual surveillance.





**Table 1**  
**Open Space and Recreational Requirements**

Number of Units in Project	Minimum Number of Amenities	Minimum Total Area <sup>1</sup>
Less than 5	1	500 sq. ft.
5-10 <sup>1</sup>	1	500 sq. ft. plus 100 sq. ft per unit over 5 units
11-30	2	1,000 sq. ft. plus 150 sq. ft per unit over 10 units
31-60	2	4,000 sq. ft. plus 165 sq. ft per unit over 30 units
61-100	2	9,000 sq. ft. plus 200 sq. ft per unit over 60 units
101-150	3 plus 1 additional amenity for every 50 units over 200	17,000 sq. ft. plus 250 sq. ft per unit over 100 units

<sup>1</sup> *Minimum Total Area means the combined area of all amenities. Each amenity must still meet all applicable standards established in this Section.*

- I. Sidewalks for Planned Unit Developments. Sidewalks within a Planned Unit Development shall incorporate the following standards:
  - a. Shall be a minimum width of five feet; and
  - b. Shall implement the concrete specifications for sidewalks and ramps as determined by the City of Visalia City Engineering Division Design and Improvement Standards.

