

**CITY OF VISALIA**  
**HISTORIC PRESERVATION ADVISORY COMMITTEE**  
**Wednesday, May 24, 2023, at 5:30PM**

CHAIR: Walter Deissler    VICE-CHAIR: Tyler Davis

COMMITTEE MEMBERS:

Patty Kane, Michael Kreps, Jay Hohlbauch, Jordan Mulrooney, Karen Ayala

**City of Visalia Administration Building**  
**220 North Santa Fe Street, Visalia CA**

**AGENDA**

**A. Citizen's Comments**

**B. Meeting Minutes**

1. May 12, 2023, Regular Meeting

**C. Project Reviews**

1. **HPAC No. 2023-11:** A request by Walter Deissler to allow modifications to a previously approved (through HPAC Item No. 2023-02) request for exterior renovations to an office building within the D-MU (Downtown Mixed Use) Zone. The proposed modifications pertain to stucco treatment and placement of columns, windows, banding, lighting, and railings. The project site is located at 512 North Court Street (APN: 094-261-023).

**D. Discussion Items**

1. Historic District Survey Project
2. Committee and Staff Comments
  - a. Project Updates
3. Identification of Items for Future Agendas

**E. Adjournment**

In compliance with the Americans Disabilities Act, if you need special assistance to participate in meetings call (559) 713-4443 (Staff Representative) 48-hours in advance of the meeting. For Hearing Impaired – Call (559) 713-4900 (TTY) 48-hours in advance of the scheduled meeting time to request signing services. Visually Impaired - If enlarged print or a Braille copy is desired, please request in advance of the meeting and services will be provided as possible after the meeting. City Staff to the Committee is Cristobal Carrillo, Associate Planner, 559-713-4443, [cristobal.carrillo@visalia.city](mailto:cristobal.carrillo@visalia.city).

Este Aviso es para informarle que habra una audiencia para el público ante el Comité de Preservación Histórica de la Ciudad de Visalia. Para más información, o para dar comentario público respecto a esta solicitud, por favor llame Cristobal Carrillo, Associate Planner, al numero (559) 713-4443 o [cristobal.carrillo@visalia.city](mailto:cristobal.carrillo@visalia.city). Additional information about the Historic Preservation Advisory Committee may be found by contacting Cristobal Carrillo, Associate Planner at 559-713-4443, or emailing [cristobal.carrillo@visalia.city](mailto:cristobal.carrillo@visalia.city).



**CITY OF VISALIA**  
**HISTORIC PRESERVATION ADVISORY COMMITTEE**  
**Wednesday, May 10, 2023, at 5:30PM**

CHAIR: Walter Deissler    VICE-CHAIR: Tyler Davis

Deissler and Hohlbauch  
absent. All other members  
present.

COMMITTEE MEMBERS:

Patty Kane, Michael Kreps, Jay Hohlbauch, Jordan Mulrooney, Karen Ayala

MEMBERS OF THE PUBLIC: Bill Huott, John Lewinski, Larry Lewis, Erik van der Vis,  
Jerome Melgar

CITY STAFF: Cristobal Carrillo, Associate Planner

**City of Visalia Administration Building**  
**220 North Santa Fe Street, Visalia CA**

**AGENDA**

**A. Citizen's Comments**

Public comment was submitted by Bill Huott, who described his efforts to beautify the community. Huott also expressed support for the Historic District Survey Project.

**B. Meeting Minutes**

1. April 22, 2023, Special Called Meeting

A motion was made by Kane, seconded by Ayala, to approve the meeting minutes for April 22, 2023. The motion was approved 5-0 (Deissler and Hohlbauch absent).

2. April 26, 2023, Regular Meeting

A motion was made by Ayala, seconded by Kane, to approve the meeting minutes for April 26, 2023. The motion was approved 5-0 (Deissler and Hohlbauch absent).

**C. Project Reviews**

1. **HPAC No. 2023-08 (Continued Hearing):** A request by Zahir Ahmad to perform exterior alterations on a duplex within the R-1-5 (Single Family Residential, 5,000 sq. ft. minimum lot size) Zone. The project site is located at 434 and 436 South Garden Street (APN: 097-063-001).

Staff presented its report and recommended that the HPAC approve the proposal as modified and conditioned by staff. Public comments in favor of the proposal were received from Larry Lewis, project consultant, and John Lewinski, representative for the applicant. Discussion followed regarding the dormers, windows, and door placement. Following discussion, a motion was made by Ayala, seconded by Kane, to approve the proposal as modified and conditioned by staff, with a condition that all doors be craftsman style as shown in the exhibit provided by the applicant. The motion passed 5-0 (Deissler and Hohlbauch absent).

- 2. HPAC No. 2023-10:** A request by Erik van der Vis to remove and replace forty-six single pane wood windows with dual pane aluminum clad windows, for an office within the D-MU (Downtown Mixed Use) Zone. The project site is located at 403 North Floral Street (APN: 094-341-005).

Staff presented its report and recommended that the HPAC approve the proposal as modified by staff, allowing for only repair of the existing windows, and removal of window screens. Public comment in favor of the proposal was received from project applicant and property owner Erik van der Vis. Discussion followed regarding the importance of the structure and in keeping original features such as the windows intact. Davis provided a number of resources for the applicant and requested that staff send them to van der Vis after the meeting. Following discussion, a motion was made by Mulrooney, seconded by Kane, to approve the proposal as modified by staff, permitting only repair of the windows (not replacement), and removal of the window screens. The motion passed 5-0 (Deissler and Hohlbauch absent).

#### **D. Discussion Items**

1. Historic District Survey Project

The HPAC requested that a reminder be sent out to volunteers to return survey materials. The Committee agreed to begin reviews of survey areas at the June 14, 2023, meeting of the HPAC.

2. Committee and Staff Comments

- a. Project Updates

Staff provided updates on various projects throughout the Historic District and Local Register.

3. Identification of Items for Future Agendas

#### **E. Adjournment**

A motion was made by Mulrooney, seconded by Kane, to adjourn the meeting. The motion passed 5-0 (Deissler and Hohlbauch). The meeting adjourned at 6:26 p.m.

12+11+In compliance with the Americans Disabilities Act, if you need special assistance to participate in meetings call (559) 713-4443 (Staff Representative) 48-hours in advance of the meeting. For Hearing Impaired – Call (559) 713-4900 (TTY) 48-hours in advance of the scheduled meeting time to request signing services. Visually Impaired - If enlarged print or a Braille copy is desired, please request in advance of the meeting and services will be provided as possible after the meeting. City Staff to the Committee is Cristobal Carrillo, Associate Planner, 559-713-4443, [cristobal.carrillo@visalia.city](mailto:cristobal.carrillo@visalia.city).

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## REPORT TO THE CITY OF VISALIA HISTORIC PRESERVATION ADVISORY COMMITTEE

HEARING DATE: May 24, 2023

PROJECT PLANNERS: Brandon Smith, Principal Planner  
Phone: (559) 713-4636  
E-mail: [brandon.smith@visalia.city](mailto:brandon.smith@visalia.city)

Josh Dan, Senior Planner  
Phone: (559) 713-4003  
Email: [josh.dan@visalia.city](mailto:josh.dan@visalia.city)

**SUBJECT:** Historic Preservation Advisory Committee Item No. 2023-11: A request by Walter Deissler to allow modifications to a previously approved (through HPAC Item No. 2023-02) request for exterior renovations to an office building within the D-MU (Downtown Mixed Use) Zone. The proposed modifications pertain to stucco treatment and placement of columns, windows, banding, lighting, and railings. The project site is located at 512 North Court Street (APN: 094-261-023).

### STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Advisory Committee (HPAC) approve the proposed modifications to the exterior renovations as conditioned.

### SITE DATA

The site is zoned D-MU (Downtown Mixed Use). The site is located within the Historic District and is not listed on the Local Register of Historic



Structures. The site contains a two-story office building and a detached garage, which contains a second story used solely for storage. Per the applicant, the building was constructed by the Powers Family in 1910, and was converted into a four-plex in the 1950's. The structure was converted into an office in the 1980's, at which time the front balcony and gable end extensions were added, and porch and stairs enclosed.

### RELATED PROJECTS

HPAC Item No. 2023-02: On February 8, 2023, the HPAC considered a request by Walter Deissler to perform several exterior alterations to the office building. The alterations included replacement of an existing ADA ramp with a lift, addition of eave details to the roof, addition of wood truss and wood clad columns, renovation of a balcony, and replacement of a staircase



and flat roof structure. The Committee approved the proposal with modifications as noted in Conditions 1a, 1b, and 1c (see Exhibit “C”). The applicant has been issued a building permit to conduct improvements but has a request for plan changes, pending the outcome of this current request to HPAC.

HPAC Item No. 2022-23: On October 26, 2022, the HPAC considered a request by Walter Deissler to perform exterior alterations to the office building, consisting of removal and relocation of windows and replacement of a second story balcony window with a French door.

## **PROJECT DESCRIPTION**

The applicant is requesting approval to make changes as depicted in Exhibit “A” and described in Exhibit “B”. The changes are to renovations that were considered and approved by the HPAC in February 2023, as shown in Exhibit “C” (elevations on pages A1.2 and A1.3). The alterations will consist of the following:

- On the front façade (Court Street elevation), remove two columns and replace with one to balance the gable end;
- On the southwest façade, add two original windows that were removed from the front façade;
- On the south façade, add a belly band in lieu of a faux balcony with glass railing. This is due to structural restraints and costs;
- On the exterior, replace light fixtures with new coach lights as shown and change the proposed railings from glass to wood & cable style (see Exhibit “A”, page A2).

In comparison to the exterior improvements that were previously approved in February 2023, columns and bands on the west & southwest facades that were proposed to be wood have now changed to stucco.

The following exterior improvements were previously approved in February 2023:

- Re-stucco and repainting of all building exteriors;
- Removal of an existing ADA ramp on the south side of the building, to be replaced with a lift;
- Addition of eave details to the roof, including the addition of corbels and trim where none currently exist;
- Addition of bronze outdoor light fixtures to the western and southern building exteriors;
- Addition of a wood truss and wood clad columns to the western building exterior;
- Renovation of the second story balcony;
- Removal and replacement of a staircase and flat roof structure on the eastern building exterior.

No additions or other physical changes are proposed to the building, and no further changes are being made to the garage.

## **DISCUSSION**

### Development Standards

The building footprint of the structure will not be altered as a result of the proposal. Only work to the exterior of the office building is proposed. Given the above, the proposed exterior alterations will comply with all development standards of the O-C Zone. Condition of Approval

No. 4 is included, requiring compliance with all requirements of Site Plan Review No. 2023-007. The Site Plan Review comments are attached to this staff report.

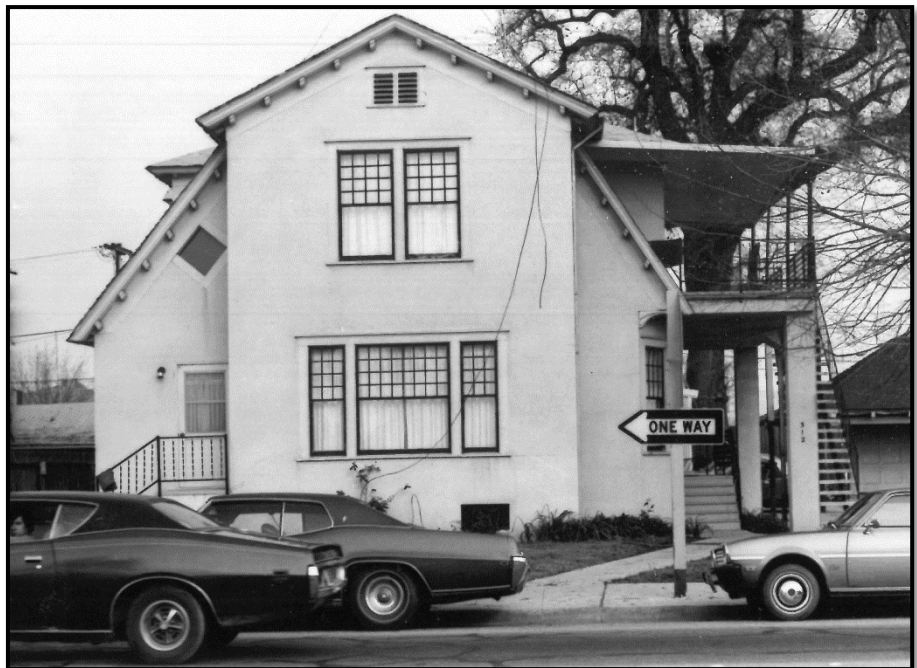
### Architectural Compatibility

Section 17.56.100 of the Historic Preservation Ordinance provides the HPAC with criteria to evaluate exterior alterations to buildings within the Historic District. The sections relevant to this proposal require that the HPAC consider the following:

- *Relationship of materials and textures, so that any alterations enhance neighborhood qualities such as compatibility, similarity, and continuity.*
- *Relationship of architectural details and roof shapes, so that alterations are compatible in appearance with surrounding structures.*
- *Directional Expression of Front Elevations. Structural shape, placement of openings, and architectural details should be used to give a compatible appearance with adjacent structures that may be horizontal, vertical or nondirectional in nature.*

The Historic Preservation Ordinance requirements for properties solely within the Historic District do not prohibit or discourage alterations to structures. Instead, alterations must preserve compatibility with the overall Historic District and surrounding structures.

To that effect, the proposed changes by the applicant to the approved alterations are seen as to match the structure more closely with other structures that are located in the Historic District and surrounding area.



The changes to the columns on the west and southwest are intended to make these two elevations more closely match, as they are the two elevations that are most visible to the public and vehicles travelling north on Court Street.

The materials on the columns and bands on the west & southwest facades are proposed to change from wood to stucco. Staff does not have concern towards losing these wooden elements, as they will still be found in the cladding and support structures underneath the west facing gable. By doing this, all columns on the structure will now be stucco. Re-stuccoing of the building maintains an exterior material that is compatible with a number of the adjacent structures to the north and south.

The changes to the columns allow for an additional window to be located directly adjacent to the existing window on the southwest façade. Staff supports this as the look will now more closely resemble that of the French doors on the lower and upper stories of the west façade.

The proposed railing with wood elements provide a more naturalistic presence to the structure than the previously approved glass railing and faux balcony, matching more closely with the

primarily wood materials of other development in the Historic District, while still maintaining its overall structural shape.

Staff is recommending one minor change to the railing structure, to change the horizontal cable railing to vertical cable posts. This design would more closely match vertical posts typically seen on balcony structures and fence structures, and specifically matches the vertical iron elements found in the neighboring structures at 500 and 518 N. Court Street.

Lastly the addition of coach lights further increases compatibility with the Historic District, providing architectural character and uniqueness.

## **FINDINGS AND CONDITIONS**

Staff recommends that the Committee approve the exterior alterations to the structure, subject to the findings and conditions of approval listed below:

### Findings:

1. That the project site is within the Historic District and is not listed on the Local Register of Historic Structures.
2. That the proposed alterations to the structures as conditioned are consistent with uses onsite, the surrounding area, and the Historic District.
3. That the proposed alterations to the structures as conditioned are consistent with the Historic Preservation Ordinance and Historic Preservation Element.
4. That the proposed alterations to the structures as conditioned will not be injurious to the character of the Historic District.

### Conditions:

1. That the site be developed consistent with the elevations in Exhibit "A", and operational statement in Exhibit "B", except as modified below:
  - a. That the orientation of the cables or iron beneath the wood top rails be changed from horizontal to vertical.
2. That the applicant undergoes the appropriate City permitting process for exterior alterations on the project site.
3. That any other exterior alterations to the site shall be brought before this Committee for review and approval prior to the issuance of any Building Permits and/or their installation or construction.
4. That the applicant shall comply with all requirements of Site Plan Review No. 2023-007.
5. That all other City codes, ordinances, standards, and regulations shall be met.

## **ATTACHMENTS**

- Exhibit "A" – Building Elevations (3 pages)
- Exhibit "B" – Operational Statement
- Exhibit "C" – HPAC Item No. 2023-02 Approval Letter, Staff Report, and Exhibits
- Site Plan Review comments for Item No. 2023-007
- Aerial Photo
- Historic District and Local Register Map

### **APPEAL INFORMATION**

According to the City of Visalia Zoning Ordinance Section 17.56.060, an appeal to the City Council may be submitted within ten days following the date of a decision by the Historic Preservation Advisory Committee (HPAC). An appeal shall be in writing and shall be filed with the City Clerk at 220 N. Santa Fe Street. The appeal shall specify errors or abuses of discretion by the HPAC, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website [www.visalia.city](http://www.visalia.city) or from the City Clerk.



Project Address: 512 N. Court St.  
HPAC NO.: 2023-11

RECEIVED

CITY OF VISALIA  
HISTORIC PRESERVATION ADVISORY COMMITTEE  
REVIEW APPLICATION

MAY 03 2023

COMM. DEVELOP.  
CITY OF VISALIA

LOCATION OF PROJECT: 512 N. COURT DATE: 5-3-23  
APPLICANT/PROJECT CONTACT: WALTER DEISSLER PHONE: 559-901-0500  
APPLICANT ADDRESS: 2135 E. HARVARD CT.  
E-MAIL ADDRESS: WDBIS1@hotmail.com APN#: 094261023  
PROPERTY OWNER: DEBRA WINEGARDEN  
GENERAL DESCRIPTION OF PROJECT: new front col., new window location, ~~if~~ modification to previous submit  
BRIEF NARRATIVE/REASON FOR PROJECT: SEE attached scope of work

NAME & PHONE NUMBER OF PERSON ATTENDING THE MEETINGS: WALTER DEISSLER  
RELATIONSHIP TO PROPERTY OWNER: ARCHITECT 559-901-0500

**REQUIRED MATERIALS:**  
Completed application  
Completed Agency Authorization form (if represented by an agent)\*\*  
2 copies of site plan, elevations, landscape plans, etc. (as necessary)  
1 copy of 8-1/2" x 11" reduction of all plans  
NOTE: Additional materials may be requested, as necessary  
\*\*If the property owner is not the applicant, an Agency Authorization must also be submitted.

Please provide the following information as it pertains to your project (drawings and a plot plan must be submitted with this application. These plans are for the HPAC process only. Building permits require a separate application and separate materials).

1. Type of Action (check one):
- New Construction  Signs  
 Alteration to existing structure  Moving-New Location  
 Other: \_\_\_\_\_  
 Demolition - (May require inspection by the City of Visalia Building Division)  
For further information contact Historic Preservation staff representative.

If moving or demolition permit – it is not necessary to complete the following questions.

2. Exterior Elevations:
- a. Proposed Materials on exterior elevation (type and description of siding and trims):  
STUCCO w/ WOOD TRIM
- b. Description and type of proposed windows and doors (include material of window frame):  
ORIGINAL WINDOWS TO REMAIN

c. If masonry is used as an exterior material, please provide the following information:

Material: NA

Size: NA

Color: \_\_\_\_\_

3. Roof: (Please indicate proposed changes to):

Style: NO CHANGE

Pitch: \_\_\_\_\_

Material: \_\_\_\_\_

4. Proposed Building Height:

Height to eave: NO CHANGE

Height to peak of roof: \_\_\_\_\_

5. Setbacks: (Measurement from curb and property line to proposed structures)

a. Setbacks on proposed project:

Front: NA

Rear: NA

Sides: \_\_\_\_\_

b. Setbacks on adjacent properties (distance from curb is sufficient)

Front only: NA

6. Landscaping: (Indicate any mature trees on plans)

NA

7. Signs: (If applicable)

Please provide a sketch of the proposed sign indicating colors and materials and a plot plan showing the location of the sign on the property. - TO BE REVIEWED LATER TIME

Signed: [Signature]  
Agent/Property Owner

Date: 5/2/23

If the application is approved, a building permit may not be issued and construction may not begin until 10 days after the Committee's decision. This is to allow appeals to be submitted, as prescribed in Article 26, Section 7712 of the City of Visalia Historic Preservation District Ordinance.

Applications for Historic Preservation must be submitted to the City of Visalia Planning Division NO LESS THAN 8 CALENDAR DAYS PRIOR to the meeting.

Applicants or their representative are requested to attend the meeting.

The Historic Preservation Advisory Committee meets every 2<sup>nd</sup> and 4<sup>th</sup> Wednesday of the month (except holidays and special circumstances) at 5:30 p.m. in the City Hall East Conference Room.

For additional information or assistance in completing this application, please feel free to call (559) 713-4359.

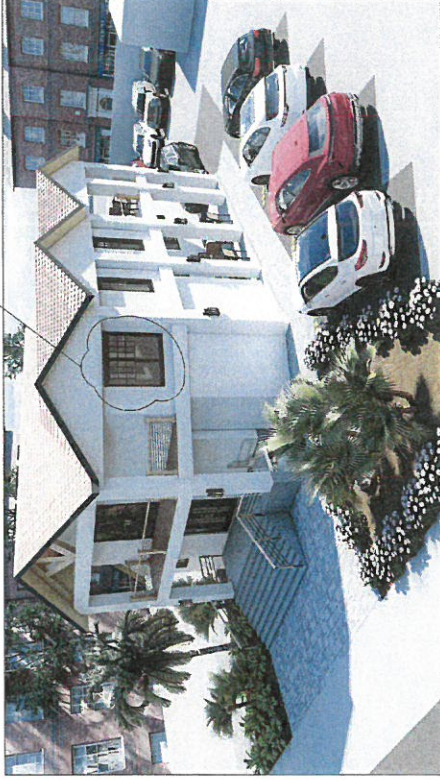


# HPAC Item No. 2023-11 - Exhibit "A"

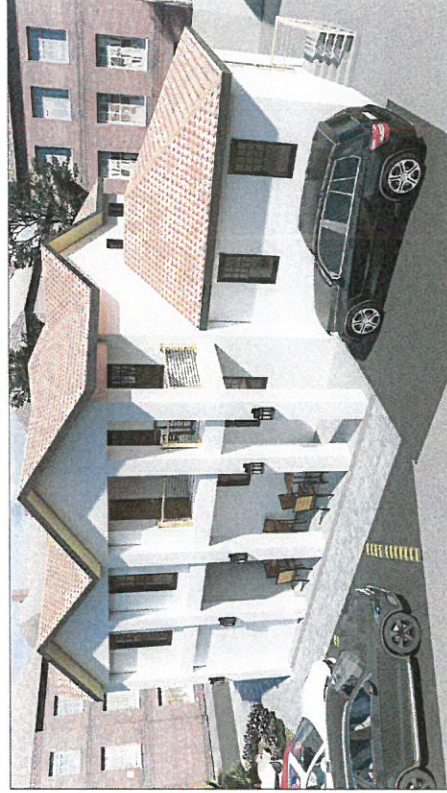
WALTER CRISLER  
 ARCHITECT  
 21135 F HAYWARD CTRKT  
 VISALIA, CA 93292  
 PHONE :  
 559-901-0500  
 EMAIL :  
 WDCRIST@HOTMAIL.COM  
 PROPOSED OFFICE REMODEL  
 512 N COURT ST  
 VISALIA, CA

NO. DATE DESCRIPTION  
 DRAWN BY :  
 DWG DATE :  
 REVIEWED BY :  
 PROJECT NUMBER :  
 SHEET :  
 SHEET TITLE :  
 AI

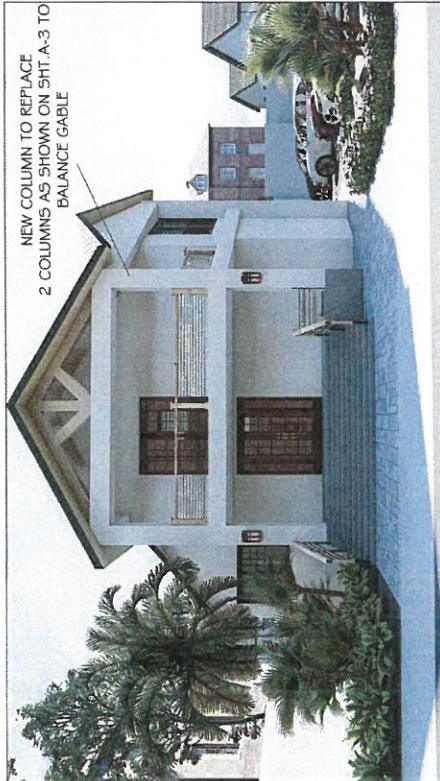
INSTALL ORIGINAL WINDOWS REMOVED FROM FRONT OF BUILDING ON SECOND FLOOR



SOUTH WEST ELEVATION



SOUTH ELEVATION



NEW COLUMN TO REPLACE 2 COLUMNS AS SHOWN ON SHT. A-3 TO BALANCE GABLE

COURT ST./ WEST ELEVATION

- SCOPE OF WORK**
- COURT ST ELEVATION**  
Remove 2 columns and replace with 1 column to balance gable end
  - SW ELEVATION**  
Add 2 original windows that were removed from the front of building
  - SOUTH ELEVATION**  
Add belly band where prior approval was adding small four balcony. This is due to structural restraints and costs.
  - GENERAL**  
Add new coach lights as shown  
Add new railings as shown

PROPOSED ELEVATIONS







WALTER DEIBSLER  
 ARCHITECT  
 2135 E HARVARD CPURT  
 VISALIA, CA 93292  
 PHONE :  
 559-901-0500  
 EMAIL :  
 WDEIS1@HOTMAIL.COM

PROPOSED OFFICE REMODEL  
 512 N COURT ST  
 VISALIA, CA

STAMP :

NO	DATE	DESCRIPTION

DRAWN BY :  
 DWG DATE :  
 REVIEWED BY :  
 PROJECT NUMBER :  
 SHEET :  
 SHEET TITLE :

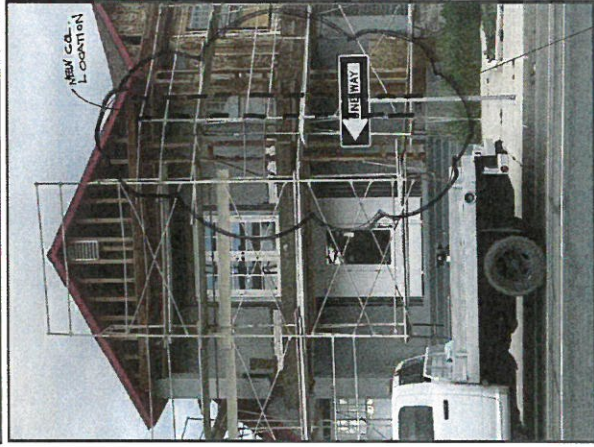
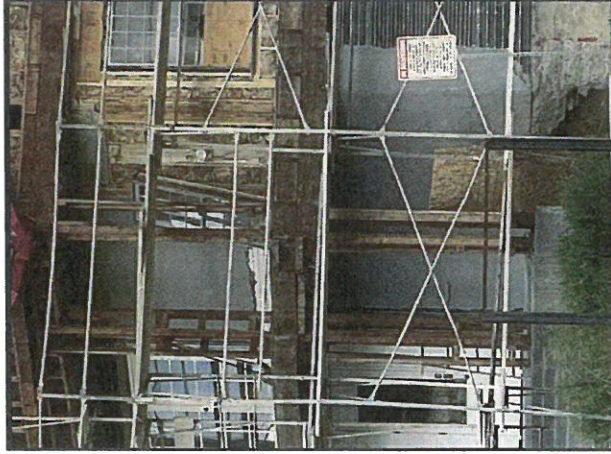
A3



SOUTH WEST ELEVATION



SOUTH ELEVATION



COURT ST / WEST ELEVATION

2 COLUMNS TO BE REMOVED AND ONE  
 ADDED TO BALANCE GABLE AS SHOWN ON  
 A-1

**HPAC Item No. 2023-11 -  
Exhibit "B"**

**SCOPE OF WORK**

**COURT ST ELEVATION**

Remove 2 columns and replace with 1 column to balance gable end

**SW ELEVATION**

Add 2 original windows that were removed from the front of building

**SOUTH ELEVATION**

Add belly band where prior approval was adding small faux balcony .This is due to structural restraints and costs .

**GENERAL**

Add new coach lights as shown

Add new railings as shown

Walter Deissler

Architect

559-901-0500

Sent from my iPhone



February 21, 2023

Walter Deissler  
2135 E. Harvard Court  
Visalia, CA 93292

**RE: Historic Preservation Advisory Committee Item No. 2023-02 (512 N. Court Street)**

On February 8, 2023, the Historic Preservation Advisory Committee (HPAC) reviewed your request to perform exterior renovations to an office building and garage within the D-MU (Downtown Mixed Use) Zone. The project site is located at 512 North Court Street (APN: 094-261-023). The project was approved by the HPAC with modifications based upon the following findings and conditions:

Findings:

1. That the project site is within the Historic District and is not listed on the Local Register of Historic Structures.
2. That the proposed alterations to the structures as conditioned are consistent with uses onsite, the surrounding area, and the Historic District.
3. That the proposed alterations to the structures as conditioned are consistent with the Historic Preservation Ordinance and Historic Preservation Element.
4. That the proposed alterations to the structures as conditioned will not be injurious to the character of the Historic District.

Conditions:

1. That the site be developed consistent with the site plan in Exhibit "A", elevations in Exhibit "B", and operational statement in Exhibit "C", except as modified below:
  - a. That the applicant add posts with caps and wood cladding, and wood cladded rails, to the glass balcony walls;
  - b. That the applicant use light fixtures more in keeping with the style of the main structure (such as arts and crafts fixtures);
  - c. That the eyebrow dormer and diamond shaped window on the east and west elevations, respectively, be maintained.
2. That the applicant undergoes the appropriate City permitting process for exterior alterations on the project site.
3. That any other exterior alterations to the site shall be brought before this Committee for review and approval prior to the issuance of any Building Permits and/or their installation or construction.
4. That the applicant shall comply with all requirements of Site Plan Review No. 2023-007.



5. That all other City codes, ordinances, standards, and regulations shall be met.

There is a 10-day appeal period for this action from the date of approval. No permits may be issued until the appeal period has lapsed with no appeal of the action. Following completion of the appeal period, a Building Permit shall be obtained from the City of Visalia Building Department prior to commencing work. The Building Department is located at 315 E. Acequia Avenue, Visalia CA 93291.

If you have any questions, please contact me at (559) 713-4443 or e-mail [crisobal.carrillo@visalia.city](mailto:crisobal.carrillo@visalia.city)

Regards,



Cristobal Carrillo,  
Associate Planner



## REPORT TO THE CITY OF VISALIA HISTORIC PRESERVATION ADVISORY COMMITTEE

HEARING DATE: February 8, 2023

PROJECT PLANNER: Cristobal Carrillo, Associate Planner  
Phone: (559) 713-4443  
E-mail: [cristobal.carrillo@visalia.city](mailto:cristobal.carrillo@visalia.city)

**SUBJECT:** Historic Preservation Advisory Committee Item No. 2023-02: A request by Walter Deissler to perform exterior renovations to an office building and garage within the D-MU (Downtown Mixed Use) Zone. The project site is located at 512 North Court Street (APN: 094-261-023).

### STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Advisory Committee (HPAC) approve the exterior renovations as conditioned.

### SITE DATA

The site is zoned D-MU (Downtown Mixed Use). The site is located within the Historic District and is not listed on the Local Register of Historic Structures. The site contains a two-story



office building and a detached garage, which contains a second story used solely for storage. Per the applicant, the building was constructed by the Powers Family in 1910, and was converted into a four-plex in the 1950's. The structure was converted into an office in the 1980's, at which time the front balcony and gable end extensions were added, and porch and stairs enclosed.

### RELATED PROJECTS

HPAC Item No. 2022-23: On October 26, 2022, the HPAC considered a request by Walter Deissler to perform exterior alterations to an office building located at 512 N. Court Street. The alterations consisted of removal and relocation of windows, and replacement of a second story balcony window with a French door. The Committee approved the proposal. The applicant is currently in process to obtain Building Permits to conduct the work.

### PROJECT DESCRIPTION

The applicant is requesting approval to perform exterior renovations to an existing office building and detached garage. The alterations as depicted and described in Exhibits "B" and "C" will consist of the following:



### Office Building

- Restucco and repainting of all building exteriors;
- Removal of an existing ADA ramp on the south side of the building, to be replaced with a lift;
- Addition of eave details to the roof, including the addition of corbels and trim where none currently exists;
- Addition of bronze outdoor light fixtures to the western and southern building exteriors;
- Addition of a wood truss and wood clad columns to the western building exterior;
- Renovation of the second story balcony, and extension to the southern building exterior. Renovation shall include replacement of the stucco railing with a metal and glass railing to the western and southern balcony exteriors;
- Removal and replacement of a staircase and flat roof structure on the eastern building exterior with a metal stair/rail system and a shed roof with matching shingles.

### Detached Garage

- Restucco and repainting of all building exteriors.

No other physical changes are proposed to the building. Improvements which are not subject to HPAC review are proposed to the parking lot, consisting of parking stall striping and ADA path of travel modifications. Signage shown on the Building Elevations is not a part of this proposal and will be submitted at a later date for HPAC review. Per the submittal, the facility will be employed as a Mind Divers therapy/counseling office.

## **DISCUSSION**

### Development Standards

The building footprint of the structure will not be altered as a result of the proposal. Only work to the exteriors of the office building and detached garage area proposed. Improvements made to the parking field have been previously approved by the City of Visalia Site Plan Review Committee on January 25, 2023 and are not subject to HPAC review. Given the above, the proposed exterior alterations will comply with all development standards of the O-C Zone. Condition of Approval No. 4 is included, requiring compliance with all requirements of Site Plan Review No. 2022-007. As of the time of the printing of this staff report, the Site Plan Review comments are not yet publicly available. The Site Plan Review comments will be provided to the HPAC on the date of this public hearing should they be available at that time.

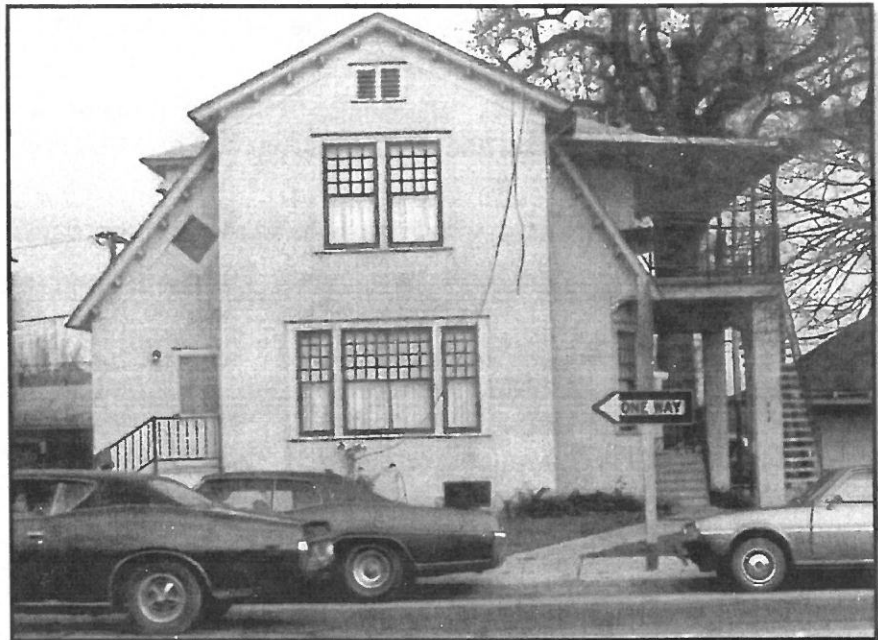
### Architectural Compatibility

Section 17.56.100 of the Historic Preservation Ordinance provides the HPAC with criteria to evaluate exterior alterations to buildings within the Historic District. The sections relevant to this proposal require that the HPAC consider the following:

- *Relationship of materials and textures, so that any alterations enhance neighborhood qualities such as compatibility, similarity, and continuity.*
- *Relationship of architectural details and roof shapes, so that alterations are compatible in appearance with surrounding structures.*

- *Directional Expression of Front Elevations. Structural shape, placement of openings, and architectural details should be used to give a compatible appearance with adjacent structures that may be horizontal, vertical or nondirectional in nature.*

The Historic Preservation Ordinance requirements for properties solely within the Historic District do not prohibit or discourage alterations to structures. Instead, alterations must preserve compatibility with the overall Historic District and surrounding structures. To that effect, though the alterations proposed by the applicant will significantly alter the structure from its current appearance, the modifications will not significantly affect the structures compatibility with the Historic District and surrounding area.



The proposed addition of wood cladding, trusses, and cantilevered balcony to the western building exterior provide a naturalistic presence to the structure, matching more closely with the primarily wood materials of other development in the Historic District, while still maintaining its overall structural shape. While the glass and metal railing represent a more modern design addition, the glass material prevents obfuscation of the building surfaces and windows, preserving views of one of the structures only remaining original features. Similarly, removal of the ramp restores views of the southern building elevation and creates an open space for use by the public. The lift to be installed in place of the ramp will be partially obscured from view by balcony columns. Restuccoing of the buildings maintains an exterior material that is compatible with a number of the adjacent structures to the north and south. Lastly the addition of ornate light fixtures, eave and corbel details further increases compatibility with the Historic District, providing architectural character and uniqueness.

## **FINDINGS AND CONDITIONS**

Staff recommends that the Committee approve the exterior alterations to the structure, subject to the findings and conditions of approval listed below:

### Findings:

1. That the project site is within the Historic District and is not listed on the Local Register of Historic Structures.
2. That the proposed alterations to the structures as conditioned are consistent with uses onsite, the surrounding area, and the Historic District.
3. That the proposed alterations to the structures as conditioned are consistent with the Historic Preservation Ordinance and Historic Preservation Element.
4. That the proposed alterations to the structures as conditioned will not be injurious to the character of the Historic District.

Conditions:

1. That the site be developed consistent with the site plan in Exhibit "A", elevations in Exhibit "B", and operational statement in Exhibit "C".
2. That the applicant undergoes the appropriate City permitting process for exterior alterations on the project site.
3. That any other exterior alterations to the site shall be brought before this Committee for review and approval prior to the issuance of any Building Permits and/or their installation or construction.
4. That the applicant shall comply with all requirements of Site Plan Review No. 2023-007.
5. That all other City codes, ordinances, standards, and regulations shall be met.

**ATTACHMENTS**

- Exhibit "A" – Site Plan
- Exhibit "B" – Building Elevations
- Exhibit "C" – Operational Statement
- Aerial Photo
- Historic District and Local Register Map

**APPEAL INFORMATION**

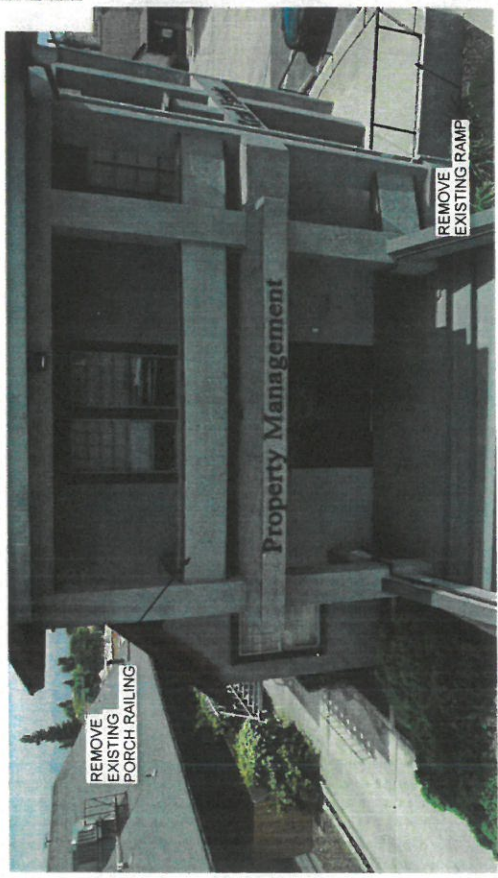
According to the City of Visalia Zoning Ordinance Section 17.56.060, an appeal to the City Council may be submitted within ten days following the date of a decision by the Historic Preservation Advisory Committee (HPAC). An appeal shall be in writing and shall be filed with the City Clerk at 220 N. Santa Fe Street. The appeal shall specify errors or abuses of discretion by the HPAC, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website [www.visalia.city](http://www.visalia.city) or from the City Clerk.







Outdoor Lighting: Wall Light, 126" x 30" H, Hc2; Casa Appellate™ 27 1/2" High Bronze Outdoor



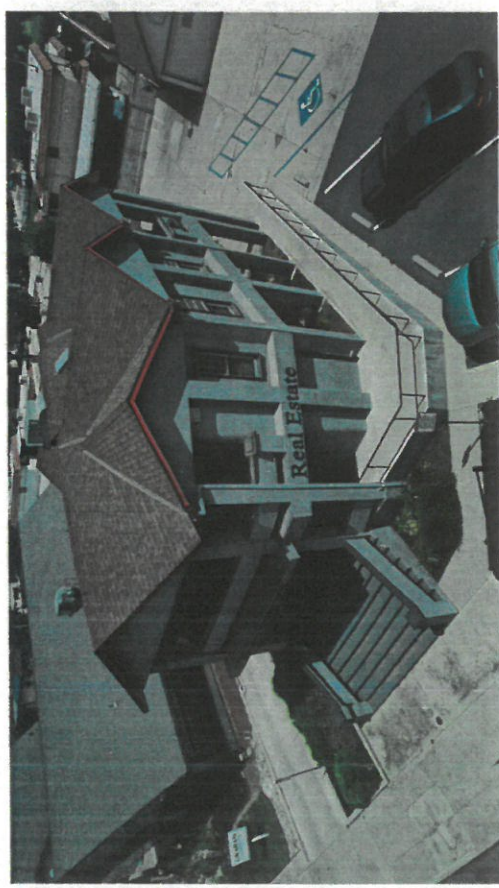
EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION



NOTE: EXISTING CORBELS AND TRIM DESIGN TO BE REPLICATED ON NEW ROOF. CURRENTLY DO NOT EXIST CURRENTLY.



EXISTING SOUTH-WEST ELEVATION



PROPOSED SOUTH-WEST ELEVATION



DATE	DESCRIPTION





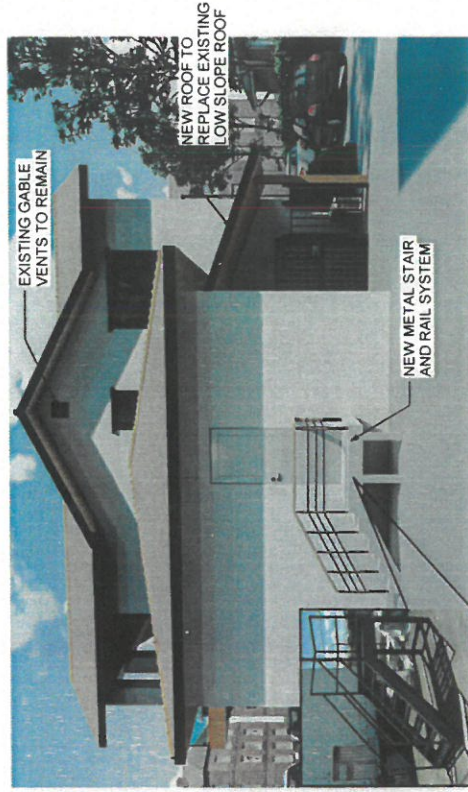
DATE	
DESCRIPTION	
BY	
DATE	
BY	
DATE	
BY	
DATE	
BY	

Project Number	
221176	
Client	
Owner	



NEW GLASS RAILING

PROPOSED SOUTH ELEVATION

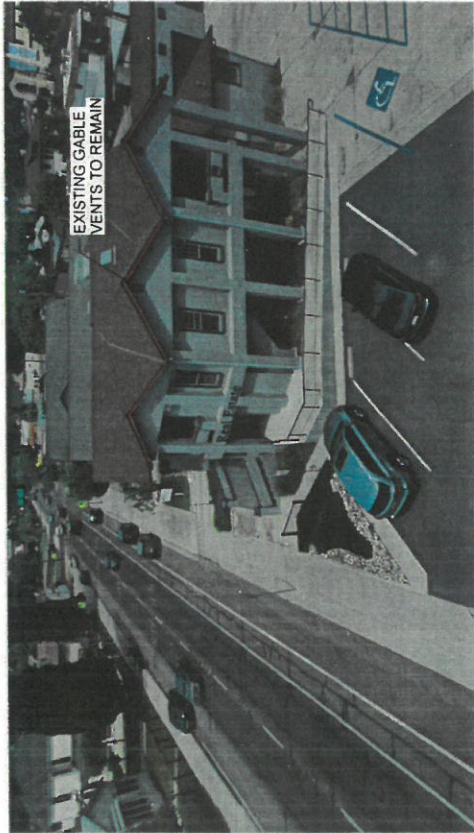


EXISTING GABLE VENTS TO REMAIN

NEW ROOF TO REPLACE EXISTING LOW SLOPE ROOF

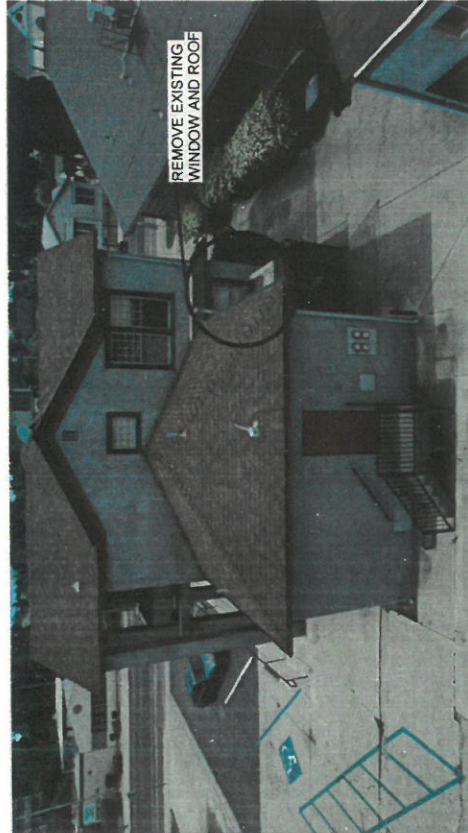
NEW METAL STAIR AND RAIL SYSTEM

PROPOSED EAST ELEVATION



EXISTING GABLE VENTS TO REMAIN

EXISTING SOUTH ELEVATION



REMOVE EXISTING WINDOW AND ROOF

EXISTING EAST ELEVATION





## EXHIBIT "C"

### Operations Statement

This is an Existing Office Building which was converted from apartments in the 1980's. Originally it had been a single-family residence constructed in 1910.

The new owner will not be changing the square footage or use as general office. The current square footage is 3293. The use will consist of individual consulting and coaching.

The accessory building in the rear will be 2 compact parking stalls as indicated on the site plan. This is the current use along with non- conditioned space and storage loft . The current square footage is 504.

The existing ADA ramp will be removed, and a lift installed at the front entrance. Additionally, a new path of travel will be installed with an ADA parking stall.

### SCOPE OF WORK

**General:** Basic overall structure and building profile will remain unchanged. All original windows will remain and those windows that have been changed were done so under previous HPAC approvals. The building will be restuccoed and repainted. The existing roof will remain. When the new gable roof were added in the office building conversion of the 1980's , they did not add the roof eave details. This remodel will add the roof eave details as shown on the SW Elevation sheet A1.2

Architectural enhancements will be added as noted on the Exterior Elevations. They will consist of:

**West Elevation:** New Wood Truss Feature over entry and wood clad columns. The Balcony will remain; however the existing sign band and stucco rail will be removed and a new glass and metal rail will be installed along with a new Entry Door System.

**South Elevation:** The existing ADA ramp will be removed, and a Lift will be installed. A new path of travel will be installed in the former ramp location. The Balcony on the SE section of the second floor will be extended East to capture the long column and make it less intrusive. the Balcony will also be extended along the South Elevation so as to soften the length of the columns. A new glass and metal rail will be installed along this balcony.

**East Elevation:** A new premanufactured metal stair will be installed to replace the deteriorated wood stair.

**North Elevation:** The flat roof over the basement area will be replaced with a new shed roof with matching shingles. No other changes will be made to this elevation.





February 16, 2023

**Site Plan Review No. 2023-007-B**

Pursuant to Zoning Ordinance Chapter 17.28 the Site Plan Review process has found that your application complies with the general plan, municipal code, policies, and improvement standards of the city. A copy of each Departments/Divisions comments that were discussed with you at the Site Plan Review meeting are attached to this document.

Based upon Zoning Ordinance Section 17.28.070, this is your Site Plan Review determination. However, your project requires the submittal of a Historic Preservation Advisory Committee application as stated on the attached Site Plan Review comments. You may now proceed with filing the HPAC application to the Planning Division.

This is your Site Plan Review Permit; your Site Plan Review became effective **January 25, 2023**. A site plan review permit shall lapse and become null and void one year following the date of approval unless, prior to the expiration of one year, a building permit is issued by the building official, and construction is commenced and diligently pursued toward completion.

If you have any questions regarding this action, please call the Community Development Department at (559) 713-4359.

Respectfully,

A handwritten signature in blue ink, appearing to read "Paul Bernal", is written over a light blue circular scribble.

Paul Bernal  
City Planner  
315 E. Acequia Ave.  
Visalia, CA 93291

**Attachment(s):**

- Site Plan Review Comments



MEETING DATE January 25, 2023  
SITE PLAN NO. 2023-007 – B  
PARCEL MAP NO.  
SUBDIVISION  
LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

- RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.
- During site plan design/policy concerns were identified, schedule a meeting with
- |                                      |   |                                     |
|--------------------------------------|---|-------------------------------------|
| <input type="checkbox"/> Planning    | <input type="checkbox"/> Engineering prior to resubmittal plans for Site Plan Review. |                                     |
| <input type="checkbox"/> Solid Waste | <input type="checkbox"/> Parks and Recreation   | <input type="checkbox"/> Fire Dept. |

- REVISE AND PROCEED** (see below)
- A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.
- Submit plans for a building permit between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday.
- Your plans must be reviewed by:
- |  |  |
|--|--|
| <input type="checkbox"/> CITY COUNCIL                                  | <input type="checkbox"/> REDEVELOPMENT               |
| <input type="checkbox"/> PLANNING COMMISSION                           | <input type="checkbox"/> PARK/RECREATION             |
| <input type="checkbox"/>   |  |
| <input checked="" type="checkbox"/> HISTORIC PRESERVATION              | <input type="checkbox"/> OTHER – Lot Line Adjustment |
| <input checked="" type="checkbox"/> <b><u>ADDITIONAL COMMENTS:</u></b> |  |

If you have any questions or comments, please call the Site Plan Review Hotline at (559) 713-4440  
Site Plan Review Committee

# SITE PLAN REVIEW COMMENTS

**Cristobal Carrillo, Planning Division (559) 713-4443**

Date: January 25, 2023

SITE PLAN NO: 2023-007 – B  
PROJECT TITLE: Office Remodel on Court Street  
DESCRIPTION: Office Remodel  
APPLICANT: Walter Deissler  
PROP. OWNER: Tami Stoll  
LOCATION TITLE: 512 N. Court Street  
APN TITLE: 094-261-023  
GENERAL PLAN: Downtown Mixed Use  
EXISTING ZONING: D-MU (Mixed-Use Downtown Zone)

## **Planning Division Recommendation:**

- Revise and Proceed  
 Resubmit

## **Project Requirements**

- Historic Preservation Advisory Committee Review
- Building Permit

### **PROJECT SPECIFIC INFORMATION:** January 25, 2023

1. The proposed use is permitted by right in the D-MU Zone (see Line O7 of VMC Section 17.25.030).
2. The site is located within the Historic District. Exterior alterations shall be reviewed and approved by the Historic Preservation Advisory Committee prior to issuance of a Building Permit.
3. Ensure that the building elevations identify all exterior alterations proposed for any buildings located onsite.
4. Provide a detail of the proposed light fixtures on the main office building.
5. Provide a landscaping plan. The plan shall verify that a minimum 6% of the project site is landscaped.
6. It is recommended that the single parking stall located at the southeast corner of the main office building be removed.
7. Comply with the requirements of the Solid Waste Division for location of a trash enclosure.
8. Identify any signage proposed. Signage shall also be reviewed by the Historic Preservation Advisory Committee.
9. Obtain a Building Permit.

### **PROJECT SPECIFIC INFORMATION:** January 18, 2023

1. The site is located within the Historic District. Exterior alterations shall be reviewed and approved by the Historic Preservation Advisory Committee prior to issuance of a Building Permit.
2. Provide an operational statement describing the uses proposed in all structures onsite.
3. Revise the building elevations to identify all exterior alterations proposed, including changes to the attic vents, mail slots, lifts, etc.
4. Revise the site plan to show both the project site and property to the south. The site plan shall identify all existing and proposed parking stalls.



5. Provide a landscaping plan. The plan shall verify that a minimum 6% of the project site is landscaped.
6. Tandem parking is prohibited. The proposed parking on the north side of the project site, within the drive aisle, shall be removed.
7. It is recommended that the two parking stalls at the southeast corner of the building be removed.
8. The width of the drive aisle access point near the southeast corner of the office building shall be provided.
9. Provide building elevations for all building exteriors.
10. Provide a circulation plan, identifying how vehicles will move through the project site.
11. Comply with the requirements of the Solid Waste Division for location of a trash enclosure.
12. Identify any signage proposed. Signage shall also be reviewed by the Historic Preservation Advisory Committee.
13. Obtain a Building Permit.

**Note:**

1. The applicant shall contact the San Joaquin Valley Air Pollution Control District to verify whether additional permits are required through the District.

**Sections of the Municipal Code to review:**

**17.19.070 Development standards in the D-MU zone**

**NOTE: Staff recommendations contained in this document are not to be considered support for a particular action or project unless otherwise stated in the comments. The comments found on this document pertain to the site plan submitted for review on the above referenced date. Any changes made to the plan submitted must be submitted for additional review.**

Signature: \_\_\_\_\_



Site Plan Review No. 2023-007 – B



**BUILDING/DEVELOPMENT PLAN  
REQUIREMENTS  
ENGINEERING DIVISION**

- Adrian Rubalcaba 713-4271
- Edelma Gonzalez 713-4364

ITEM NO: 2 DATE: JANUARY 25, 2023

SITE PLAN NO.: 23-007 RESUBMITTAL  
PROJECT TITLE: OFFICE REMODEL ON COURT ST  
DESCRIPTION: OFFICE REMODEL  
APPLICANT: WALTER DEISSLER  
PROP OWNER: STOLL TAMI  
LOCATION: 512 N COURT ST  
APN: 094-261-023

**SITE PLAN REVIEW COMMENTS**

- REQUIREMENTS (indicated by checked boxes)
- Install curb return with ramp, with \_\_\_\_\_ radius;
- Install curb; \_\_\_\_\_ gutter
- Drive approach size: \_\_\_\_\_ Use radius return;
- Sidewalk: \_\_\_\_\_ width; \_\_\_\_\_ parkway width at \_\_\_\_\_
- Repair and/or replace any sidewalk across the public street frontage(s) of the subject site that has become uneven, cracked or damaged and may constitute a tripping hazard.
- Replace any curb and gutter across the public street frontage(s) of the subject site that has become uneven and has created areas where water can stand.
- Right-of-way dedication required. A title report is required for verification of ownership.
- Deed required prior to issuing building permit;
- City Encroachment Permit Required.  
Insurance certificate with general & auto liability (\$1 million each) and workers compensation (\$1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit. Contact Encroachment Tech. at 713-4414.
- CalTrans Encroachment Permit required.  CalTrans comments required prior to issuing building permit. Contacts: David Deel (Planning) 488-4088; **FOR ALL WORK WITHIN CALTRANS RIGHT-OF-WAY**
- Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map.
- Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.
- Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades.  Prepared by registered civil engineer or project architect.  All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a)  directed to the City's existing storm drainage system; b)  directed to a permanent on-site basin; or c)  directed to a temporary on-site basin is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: \_\_\_\_\_ : \_\_\_\_\_ maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance.
- Grading permit is required for clearing and earthwork performed prior to issuance of the building permit.
- Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter = 0.20%, V-gutter = 0.25%)
- Show adjacent property grade elevations. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
- All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications.
- Traffic indexes per city standards:

- Install street striping as required by the City Engineer.
- Install landscape curbing (typical at parking lot planters).
- Minimum paving section for parking: 2" asphalt concrete paving over 4" Class 2 Agg. Base, or 4" concrete pavement over 2" sand.
- Design Paving section to traffic index of 5.0 min. for solid waste truck travel path.
- Provide "R" value tests:            each at
- Written comments required from ditch company            Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditch; Jerry Hill 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
- Access required on ditch bank, 15' minimum    Provide            wide riparian dedication from top of bank.
- Show Valley Oak trees with drip lines and adjacent grade elevations.    Protect Valley Oak trees during construction in accordance with City requirements.
- A permit is required to remove Valley Oak trees. Contact Public Works Admin at 713-4428 for a Valley Oak tree evaluation or permit to remove.    A pre-construction conference is required.
- Relocate existing utility poles and/or facilities.
- Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- Subject to existing Reimbursement Agreement to reimburse prior developer:
- Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
- If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
- If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.
  
- Comply with prior comments.    Resubmit with additional information.    Redesign required.

**Additional Comments:**

- 1. Proposed development will not incur additional impact fees unless there is a change in use from general office to medical office.**
- 2. Applicant mentioned future use is for counseling. At time of TI, Applicant needs to provide more information to verify type of counseling. If counseling falls under the definition of a health care provider, medical office impact fees would be assessed.**
- 3. 20% of improvements would need to go towards accessible path of travel upgrades.**
- 4. Parking Lot modifications shall meet current state and local accessibility requirements. Provide 5' backing space.**
- 5. Comply with 11B-250 for circulation paths contiguous to vehicular traffic. Exceptions from 11B-250 may be applicable.**
- 6. A building permit is required, standard plan check and inspection fees apply.**
- 7. Refer to Building Dept. conditions for FEMA regulations regarding parcel located in high-risk flood plain.**

**SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES**

Site Plan No: **23-007 RESUBMITTAL**

Date: **01/25/2023**

**Summary of applicable Development Impact Fees to be collected at the time of building permit:  
(Preliminary estimate only! Final fees will be based on the development fee schedule in effect at the time of building permit issuance.)**

(Fee Schedule Date:**08/20/2022**)  
(Project type for fee rates:**GENERAL OFFICE**)

Existing uses may qualify for credits on Development Impact Fees. **GENERAL OFFICE**

<b>FEE ITEM</b>	<b>FEE RATE</b>
<input type="checkbox"/> Groundwater Overdraft Mitigation Fee	
<input type="checkbox"/> Transportation Impact Fee	
<input type="checkbox"/> Trunk Line Capacity Fee	
<input type="checkbox"/> Sewer Front Foot Fee	
<input type="checkbox"/> Storm Drain Acq/Dev Fee	
<input type="checkbox"/> Park Acq/Dev Fee	
<input type="checkbox"/> Northeast Specific Plan Fees	
<input type="checkbox"/> Waterways Acquisition Fee	
<input type="checkbox"/> Public Safety Impact Fee: Police	
<input type="checkbox"/> Public Safety Impact Fee: Fire	
<input type="checkbox"/> Public Facility Impact Fee	
<input type="checkbox"/> Parking In-Lieu	

**Reimbursement:**

- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.



**Edelma Gonzalez**

**City of Visalia**  
**Building: Site Plan**  
**Review Comments**

FR 23007  
 OFFICE REMODEL  
 512 N COURT ST

**NOTE: These are general comments and DO NOT constitute a complete plan check for your specific project**  
 Please refer to the applicable California Code & local ordinance for additional requirements.

- A building permit will be required. *For information call (559) 713-4444*
- Submit 1 digital set of professionally prepared plans and 1 set of calculations. (Small Tenant Improvements)
- Submit 1 digital set of plans prepared by an architect or engineer. Must comply with 2016 California Building Cod Sec. 2308 for conventional light-frame construction or submit 1 digital set of engineered calculations.
- Indicate abandoned wells, septic systems and excavations on construction plans.

**You are responsible to ensure compliance with the following checked items:**

- Meet State and Federal requirements for accessibility for persons with disabilities.
- A path of travel, parking and common area must comply with requirements for access for persons with disabilities. *20% OF PERMIT VALUE SHALL BE USED FOR "PATH OF TRAVEL" ADA UPGRADES.*
- All accessible units required to be adaptable for persons with disabilities.
- Maintain sound transmission control between units minimum of 50 STC.
- Maintain fire-resistive requirements at property lines.
- A demolition permit & deposit is required. *For information call (559) 713-4444*
- Obtain required permits from San Joaquin Valley Air Pollution Board. *For information call (661) 392-5500*
- Plans must be approved by the Tulare County Health Department. *For information call (559) 624-8011*
- Project is located in flood zone AE \*  Hazardous materials report. **MEET FEMA FLOOD REQUIREMENTS**
- Arrange for an on-site inspection. (Fee for inspection \$157.00) *For information call (559) 713-4444*
- School Development fees.
- Park Development fee \$ \_\_\_\_\_, per unit collected with building permits.
- Additional address may be required for each structure located on the site. *For information call (559) 713-4320*
- Acceptable as submitted
- No comments at this time

Additional comments: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

VAL GARCIA 1/24/23  
 Signature





**Site Plan Comments**

Visalia Fire Department  
Corbin Reed, Fire Marshal  
420 N. Burke  
Visalia CA 93292  
559-713-4272 office  
prevention.division@visalia.city

Date	January 25, 2023
Item #	2
Site Plan #	23007
APN:	094261023

- The Site Plan Review comments are issued as **general overview** of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2019 California Fire Code (CFC), 2019 California Building Codes (CBC) and City of Visalia Municipal Codes.
- This item is a **resubmittal**. Please see comments from previous submittals.



---

Corbin Reed  
Fire Marshal



City of Visalia  
 Police Department  
 303 S. Johnson St.  
 Visalia, CA 93292  
 (559) 713-4370

Date: 1/25/23  
 Item: 2  
 Site Plan: SPR23007  
 Name: Agt. C. Sinatra

**Site Plan Review Comments**

- No Comment at this time.
- Request opportunity to comment or make recommendations as to safety issues as plans are developed.
- Public Safety Impact Fee:  
Ordinance No. 2001-11 Chapter 16.48 of Title 16 of the Visalia Municipal Code  
Effective date - August 17, 2001.
- Impact fees shall be imposed by the City pursuant to this Ordinance as a condition of or in conjunction with the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land, upon which no like building, structure of improvement previously existed. \*Refer to Engineering Site Plan comments for fee estimation.
- Not enough information provided. Please provide additional information pertaining to:
  - Territorial Reinforcement: Define property lines (private/public space).
  - Access Controlled/ Restricted etc.
  - lighting Concerns:
  - Traffic Concerns:
  - Surveillance Issues:
  - Line of Sight Issues:
  - Other Concerns:

# SITE PLAN REVIEW COMMENTS

CITY OF VISALIA TRAFFIC SAFETY DIVISION

January 25, 2023

ITEM NO: 2      **Resubmit**  
SITE PLAN NO: **SPR23007**  
PROJECT TITLE: Office Remodel on Court St.  
DESCRIPTION: Office remodel  
APPLICANT: WALTER DEISSLER  
OWNER: STOLL TAMI  
APN: 094261023  
LOCATION: 512 N COURT ST

**THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY**

- No Comments
- See Previous Site Plan Comments
- Install Street Light(s) per City Standards at time of development.
- Install Street Name Blades at Locations at time of development.
- Install Stop Signs at **local road intersection with collector/arterial** Locations.
- Construct parking per City Standards PK-1 through PK-4 at time of development.
- Construct drive approach per City Standards at time of development.
- Traffic Impact Analysis required (CUP)
  - Provide more traffic information such as . Depending on development size, characteristics, etc., a TIA may be required.
- Additional traffic information required (Non Discretionary)
  - Trip Generation - Provide documentation as to concurrence with General Plan.
  - Site Specific - Evaluate access points and provide documentation of conformance with COV standards. If noncomplying, provide explanation.
  - Traffic Impact Fee (TIF) Program - Identify improvements needed in concurrence with TIF.

**Additional Comments:**

*Leslie Blair*

---

**Leslie Blair**



CITY OF VISALIA  
SOLID WASTE DIVISION  
336 N. BEN MADDOX  
VISALIA CA. 93291  
713 - 4532  
COMMERCIAL BIN SERVICE

23007

January 25, 2023

- No comments.
- See comments below
- Revisions required prior to submitting final plans. See comments below.
- Resubmittal required. See comments below.
- Customer responsible for all cardboard and other bulky recyclables to be broken down before disposing of in recycle containers
- ALL refuse enclosures must be R-3 OR R-4
- Customer must provide combination or keys for access to locked gates/bins
- Type of refuse service not indicated.
- Location of bin enclosure not acceptable. See comments below.
- Bin enclosure not to city standards double.
- Inadequate number of bins to provide sufficient service. See comments below.
- Drive approach too narrow for refuse trucks access. See comments below.
- Area not adequate for allowing refuse truck turning radius of : Commercial 50 ft. outside 36 ft. inside; Residential 35 ft. outside, 20 ft. inside.
- Paved areas should be engineered to withstand a 55,000 lb. refuse truck.
- Bin enclosure gates are required
- Hammerhead turnaround must be built per city standards.
- Cul - de - sac must be built per city standards.
- Bin enclosures are for city refuse containers only. Grease drums or any other items are not allowed to be stored inside bin enclosures.
- Area in front of refuse enclosure must be marked off indicating no parking
- Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS) with no less than 38' clear space in front of the bin, included the front concrete pad.
- Customer will be required to roll container out to curb for service.
- Must be a concrete slab in front of enclosure as per city standards, the width of the enclosure by ten(10) feet, minimum of six(6) inches in depth.
- Roll off compactor's must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow the truck enough room to provide service.
- City ordinance 8.28.120-130 (effective 07/19/18) requires contractor to contract with City for removal of construction debris unless transported in equipment owned by contractor or unless contracting with a franchise permittee for removal of debris utilizing roll-off boxes.
- Comment** Customer indicated no changes existing solid waste bin placement. Customer to expand alley gate south to allow for additional bins to bring the account into compliance with the State of California's mandatory recycling laws (AB341 & AB1836).

Jason Serpa, Solid Waste Manager, 559-713-4533  
Edward Zuniga, Solid Waste Supervisor, 559-713-4338

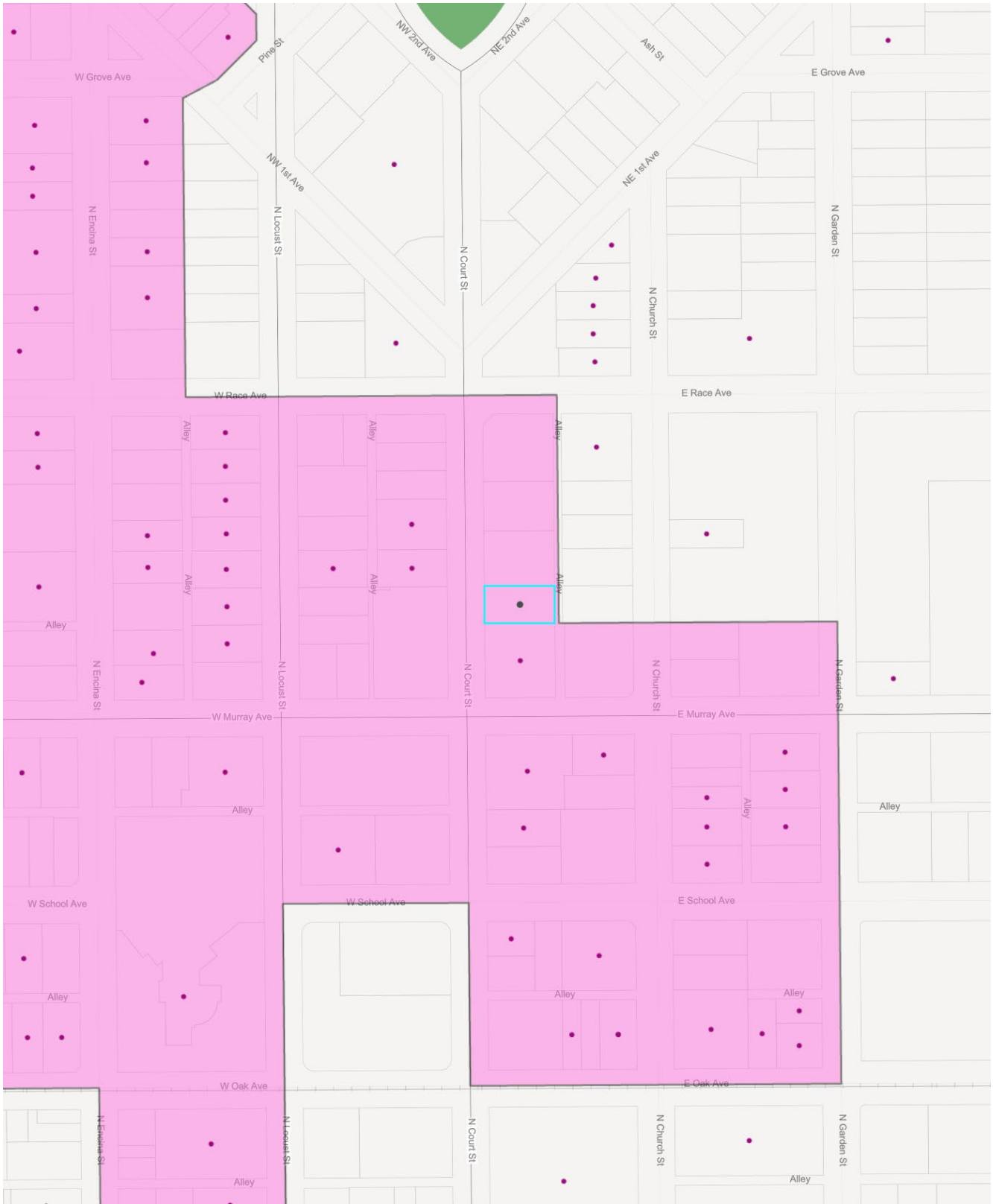
Nathan Garza, Solid Waste, 559-713-4532







**Aerial Map**



## Historic District and Local Register Map