



# REPORT TO CITY OF VISALIA PLANNING COMMISSION

**HEARING DATE:** February 13, 2023

**PROJECT PLANNER:** Josh Dan, Associate Planner  
Phone No.: (559) 713-4003  
E-mail: [josh.dan@visalia.city](mailto:josh.dan@visalia.city)

**SUBJECT: Conditional Use Permit No. 2022-19:** A request by the Visalia Unified School District to convert the former Grace Community Church campus into the Visalia Charter Independent Study program, including new gates around the campus. The project site is located at 424 North Lovers Lane, on the northeast corner of North Lovers Lane and East Mill Creek Parkway. (APN: 103-271-032).

## STAFF RECOMMENDATION

Staff recommends approval of Conditional Use Permit No. 2022-19 based on the findings and conditions in Resolution No. 2022-46. Staff's recommendation is based on the conclusion project's consistency with the policies of the City's General Plan and Zoning Ordinance.

## RECOMMENDED MOTION

I move to approve Conditional Use Permit No. 2022-19 based on the findings and conditions in Resolution No. 2022-46.

## PROJECT DESCRIPTION

Conditional Use Permit No. 2022-19 is a request by the Visalia Unified School District (VUSD) to reuse the former Grace Community Church campus located at 424 North Lovers Lane for their Visalia Charter Independent Study (VCIS) Facility. The site currently has four existing buildings which the district will be using as Administration / Training Building measuring 29,077 square feet, a Multi-Purpose Building measuring 10,500 square feet, and two portable buildings measuring 1,920 square feet and 2,880 square feet respectively as shown on the Site Plan in Exhibit "A".

The Operational Statement (see Exhibit "B") details the former church campus will be used for the school districts independent study program center for students in grades 9-12. There are 634 enrolled students in this program, and the school district identifies approximately 200 students will be on-site throughout the day in one-to-two-hour intervals fluctuating about every two hours resulting in about 50 to 60 students at the facility at any given time. The Operational Statement further details that primary access to the site for student drop off and pick up will be from Lovers Lane. A drop off area will be established to the east of the Multi-Purpose Building and vehicles will be expected to leave the site via the Millcreek Parkway access point on the south side of the project site. Additionally, it details that a seven-foot-high decorative fence will be installed around the perimeter of the site security purposes. The fence is located outside the required setback along both street frontages (i.e., Lovers Lane and Millcreek Parkway).

As shown on the floor plan (see Exhibit "C"), the interior of the Administrative / Training Building will be remodeled to accommodate offices, storage, various course classrooms, and limited counseling room areas. Other on-site improvements include minor exterior repairs to the cement plaster finish where needed, maintenance of the mature on-site landscaping along the building's periphery, and minor alterations to the parking lot to facilitate effective vehicular flow on site.

## BACKGROUND INFORMATION

General Plan Land Use Designation:	Public / Institutional
Zoning:	QP (Quasi-Public Zone)
Surrounding Zoning and Land Use:	North: QP / Church of Jesus Christ of Latter-day Saints South: QP / Mill Creek Parkway / Mill Creek Park East: R-1-5 (Single-Family Residential, 5,000 sq. ft. min site area) – Mill Creek Village Subdivision West: R-1-5 & R-M-3 (Single-Family Residential, 5,000 sq. ft. min site area & Multi-family Residential, 1,200 sq. ft. min site area) / N. Lovers Lane – Single-family Residential
Environmental Document	Categorical Exemption No. 2022-44
Site Plan:	Site Plan Review No. 2022-48

### **RELATED PROJECTS**

Conditional Use Permit No. 2010-05, a request by VUSD to establish a charter independent study program at 1821 West Meadow Avenue, was approved by the Planning Commission per Resolution No. 2010-15, on May 24, 2010.

## PROJECT EVALUATION

Staff recommends approval of the Conditional Use Permit No. 2022-19, as conditioned, based on the project's consistency with the General Plan Land Use and the Zoning Ordinance.

### **Land Use Compatibility**

The General Plan describes that the Public / Institutional land use classification applies to lands owned by public entities, including City Hall and other City buildings, County buildings, schools, the Municipal Airport, and hospitals. Specifically, Land Use Policy LU-P-108 supports the designation of land for Public/Institutional uses including city, county, and other government buildings as well as schools. Additionally, the General Plan Parks, Schools, Community Facilities, and Utilities element details in several policies the promotion of educational alternatives, like charter schools, in the following policies:

- PSCU-P-34: Coordinate land use and development with school location and site design, working with the Visalia Unified School District and other districts to ensure that adequate facilities are available and integrated with neighborhoods.
- PSCU-P-39: Promote the location and development of vocational and trade schools and alternative and continuing education programs such as Visalia Charter Independent Study.
- PSCU-P-44: Support efforts to involve youth in leadership and job training programs.

Staff recommends that the Planning Commission find that the proposed facility is consistent with directly applicable General Plan Policies. Repurposing the facility and establishing a Visalia Charter Independent Study Facility would be in keeping with the City of Visalia's goals and polices of coordinating with the school district to offer alternative education facilities.

The school district has elected to reuse and remodel a vacant building rather than construct a new facility. Although the Land Use Element of the General Plan does not specifically identify policies that promote the reuse of vacant facilities the City encourages this practice because City services are already in place. In addition, reuse of a vacant building prevents the structure from falling into a dilapidated state which can become a public nuisance to the surrounding neighborhood and community.

### **Parking**

Pursuant to Section 17.34.020.C.3, of the Visalia Municipal Code (VMC) High schools are required to provide one parking space for each employee plus seven parking spaces for each classroom. The Operational Statement (Exhibit "A") details that there will be 50 staff members on-site at any given time, requiring a minimum of 50 parking stalls, and the Floor Plan (Exhibit "C") depicts at least 10 classrooms (i.e.: Spanish, English, math, and science) requiring 70 parking stalls. Based on the number of employees and classrooms, a total of 120 parking spaces are required. The existing parking field on the project site provides 358 stalls, far exceeding the minimum requirement for the proposed school use.

### **Access and Connectivity**

Existing access points on the site at Lovers Lane and Mill Creek Parkway will be utilized without the need to add additional vehicular driveways. Primary access to the site will be from Lovers Lane, as detailed in the Operational Statement (Exhibit "B"), with most vehicles exiting onto Mill Creek Parkway. The 7.67-acre site provides significant area to establish the onsite student drop-off, expressed in the Operational Statement (Exhibit "B"). Furthermore, the applicant has worked with the City's Traffic Engineer satisfying concerns regarding trip generation changes in relation to this change in use.

### **Landscaping and Lighting and Fencing**

The applicant has expressed, via the operational statement (Exhibit "B"), that all landscaped spaces across both street frontages and onsite are mature and are not expected to be removed or altered with the request. Additionally, there are no expected changes to onsite lighting. However, perimeter fencing will be installed for security purposes. The proposed seven-foot-tall decorative metal fence is consistent with the fence height and placement requirements established in municipal code Chapter 17.36 Fences, Walls and Hedges for similar uses.

### **Environmental Review**

The requested action is considered Categorically Exempt under Section 15301 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2022-44). Projects determined to meet this classification consist of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of the use beyond that existing at the time of the lead agency's determination. The types of "existing facilities" itemized in the Class 1 are not intended to be all-inclusive of the types of projects.

## **RECOMMENDED FINDINGS**

1. That the proposed project will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
  - a. The proposed location of the conditional use permit is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located. Reuse of the site provides an opportunity for the school district to provide alternative learning options to the community. The surrounding project site has adequate separation and buffering to the residences to the east.
  - b. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity. The proposed use of the site as a Charter Independent Study Facility will provide youth job training opportunities and is found to integrate nicely with the surrounding residential neighborhoods.
3. That the project is considered Categorically Exempt under Section 15301 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2022-44).

## **RECOMMENDED CONDITIONS OF APPROVAL**

1. That the site shall be developed consistent with the comments and conditions of the Site Plan Review Committee, as set forth under Site Plan No. 2022-048.
2. That the use shall be operated in substantial compliance with the site plan, operational statement, and floor plan in Exhibits "A", "B", and "C".
3. All new building signage shall require a separate building permit.
4. That substantial changes to the site plan and/or operational plan, or an intensification of the use, may require evaluation by the Site Plan Review committee and/or an amendment to this Conditional Use Permit.
5. That all applicable federal, state and city laws, codes and ordinances be met.

## **APPEAL INFORMATION**

According to the City of Visalia Zoning Ordinance Section 17.02.145, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal with applicable fees shall be in writing and shall be filed with the City Clerk at 220 North Santa Fe Street Visalia California. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website [www.visalia.city](http://www.visalia.city) or from the City Clerk.

**Attachments:**

- Related Plans and Policies
- Resolution No. 2022-46
- Exhibit "A" –Site Plan
- Exhibit "B" – Operational Statement
- Exhibit "C" – Floor Plan
- Exhibit "D" – Fence Detail
- Site Plan Review No. 2022-48 Comments
- General Land Use Plan Map
- Zoning Map
- Aerial Map
- Location Map

**NOTICE OF EXEMPTION**

City of Visalia  
315 E. Acequia Ave.  
Visalia, CA 93291

To: County Clerk  
County of Tulare  
County Civic Center  
Visalia, CA 93291-4593

Conditional Use Permit No. 2022-19

**PROJECT TITLE**

424 North Lovers Lane (APN: 103-271-032)

**PROJECT LOCATION**

Visalia

Tulare

**PROJECT LOCATION - CITY**

**COUNTY**

A request by the Visalia Unified School District to convert the former Grace Community Church campus into the Visalia Charter Independent Study program

**DESCRIPTION - Nature, Purpose, & Beneficiaries of Project**

City of Visalia

**NAME OF PUBLIC AGENCY APPROVING PROJECT**

Visalia Unified School District, 5000 W. Cypress Ave., Visalia, CA 93277

**NAME AND ADDRESS OF APPLICANT CARRYING OUT PROJECT**

Same as above

**NAME AND ADDRESS OF AGENT CARRYING OUT PROJECT**

**EXEMPT STATUS:** (Check one)

- Ministerial - Section 15268
- Emergency Project - Section 15269
- Categorical Exemption - State type and Section number: **Section 15301**
- Statutory Exemptions- State code number:

A request to re-use a vacant former church campus as a charter independent study without expansion. Improvements include minor exterior upkeep and installation of perimeter fencing for security purposes.

**REASON FOR PROJECT EXEMPTION**

Josh Dan, Associate Planner

(559) 713-4003

**CONTACT PERSON**

**AREA CODE/PHONE**

February 13, 2023

**DATE**

**ENVIRONMENTAL COORDINATOR**

Brandon Smith, AICP

Related Plans & Policies  
Conditional Use Permits  
(Section 17.38)

17.38.010 Purposes and powers

In certain zones conditional uses are permitted subject to the granting of a conditional use permit. Because of their unusual characteristics, conditional uses require special consideration so that they may be located properly with respect to the objectives of the zoning ordinance and with respect to their effects on surrounding properties. In order to achieve these purposes and thus give the zone use regulations the flexibility necessary to achieve the objectives of this title, the planning commission is empowered to grant or deny applications for conditional use permits and to impose reasonable conditions upon the granting of such permits. (Prior code § 7525)

17.38.020 Application procedures

- A. Application for a conditional use permit shall be made to the planning commission on a form prescribed by the commission which shall include the following data:
1. Name and address of the applicant;
  2. Statement that the applicant is the owner of the property or is the authorized agent of the owner;
  3. Address and legal description of the property;
  4. The application shall be accompanied by such sketches or drawings as may be necessary by the planning division to clearly show the applicant's proposal;
  5. The purposes of the conditional use permit and the general description of the use proposed;
  6. Additional information as required by the historic preservation advisory committee.
- B. The application shall be accompanied by a fee set by resolution of the city council sufficient to cover the cost of handling the application. (Prior code § 7526)

17.38.030 Lapse of conditional use permit

A conditional use permit shall lapse and shall become void twenty-four (24) months after the date on which it became effective, unless the conditions of the permit allowed a shorter or greater time limit, or unless prior to the expiration of twenty-four (24) months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site which was the subject of the permit. A permit may be renewed for an additional period of one year; provided, that prior to the expiration of twenty-four (24) months from the date the permit originally became effective, an application for renewal is filed with the planning commission. The commission may grant or deny an application for renewal of a conditional use permit. In the case of a planned residential development, the recording of a final map and improvements thereto shall be deemed the same as a building permit in relation to this section. (Ord. 2001-13 § 4 (part), 2001: prior code § 7527)

17.38.040 Revocation

Upon violation of any applicable provision of this title, or, if granted subject to a condition or conditions, upon failure to comply with the condition or conditions, a conditional use permit shall be suspended automatically. The planning commission shall hold a public hearing within sixty (60) days, in accordance with the procedure prescribed in Section 17.38.080, and if not satisfied that the regulation, general provision or condition is being complied with, may revoke the permit or take such action as may be necessary to insure compliance with the regulation, general provision or condition. Appeals of the decision of the planning commission may be made to the city council as provided in Section 17.38.120. (Prior code § 7528)

#### 17.38.050 New application

Following the denial of a conditional use permit application or the revocation of a conditional use permit, no application for a conditional use permit for the same or substantially the same conditional use on the same or substantially the same site shall be filed within one year from the date of denial or revocation of the permit unless such denial was a denial without prejudice by the planning commission or city council. (Prior code § 7530)

#### 17.38.060 Conditional use permit to run with the land

A conditional use permit granted pursuant to the provisions of this chapter shall run with the land and shall continue to be valid upon a change of ownership of the site or structure which was the subject of the permit application subject to the provisions of Section 17.38.065. (Prior code § 7531)

#### 17.38.065 Abandonment of conditional use permit

If the use for which a conditional use permit was approved is discontinued for a period of one hundred eighty (180) days, the use shall be considered abandoned and any future use of the site as a conditional use will require the approval of a new conditional use permit.

#### 17.38.070 Temporary uses or structures

- A. Conditional use permits for temporary uses or structures may be processed as administrative matters by the city planner and/or planning division staff. However, the city planner may, at his/her discretion, refer such application to the planning commission for consideration.
- B. The city planner and/or planning division staff is authorized to review applications and to issue such temporary permits, subject to the following conditions:
  1. Conditional use permits granted pursuant to this section shall be for a fixed period not to exceed thirty (30) days for each temporary use not occupying a structure, including promotional enterprises, or six months for all other uses or structures.
  2. Ingress and egress shall be limited to that designated by the planning division. Appropriate directional signing, barricades, fences or landscaping shall be provided where required. A security officer may be required for promotional events.
  3. Off-street parking facilities shall be provided on the site of each temporary use as prescribed in Section 17.34.020.
  4. Upon termination of the temporary permit, or abandonment of the site, the applicant shall remove all materials and equipment and restore the premises to their original condition.
  5. Opening and closing times for promotional enterprises shall coincide with the hours of operation of the sponsoring commercial establishment. Reasonable time limits for other uses may be set by the city planner and planning division staff.
  6. Applicants for a temporary conditional use permit shall have all applicable licenses and permits prior to issuance of a conditional use permit.
  7. Signing for temporary uses shall be subject to the approval of the city planner.
  8. Notwithstanding underlying zoning, temporary conditional use permits may be granted for fruit and vegetable stands on properties primarily within undeveloped agricultural areas. In reviewing applications for such stands, issues of traffic safety and land use compatibility shall be evaluated and mitigation measures and conditions may be imposed to ensure that the stands are built and are operated consistent with appropriate construction standards, vehicular access and off-street parking. All fruits and vegetables sold at such stands shall be grown by the owner/operator or purchased by said party directly from a grower/farmer.
- C. The applicant may appeal an administrative decision to the planning commission. (Ord. 9605 § 30 (part), 1996: prior code § 7532)



#### 17.38.080 Public hearing--Notice

- A. The planning commission shall hold at least one public hearing on each application for a conditional use permit.
- B. Notice of the public hearing shall be given not less than ten days nor more than thirty (30) days prior to the date of the hearing by mailing a notice of the time and place of the hearing to property owners within three hundred (300) feet of the boundaries of the area occupied or to be occupied by the use which is the subject of the hearing, and by publication in a newspaper of general circulation within the city. (Prior code § 7533)

#### 17.38.090 Investigation and report

The planning staff shall make an investigation of the application and shall prepare a report thereon which shall be submitted to the planning commission. (Prior code § 7534)

#### 17.38.100 Public hearing--Procedure

At the public hearing the planning commission shall review the application and the statement and drawing submitted therewith and shall receive pertinent evidence concerning the proposed use and the proposed conditions under which it would be operated or maintained, particularly with respect to the findings prescribed in Section 17.38.110. The planning commission may continue a public hearing from time to time as it deems necessary. (Prior code § 7535)

#### 17.38.110 Action by planning commission

- A. The planning commission may grant an application for a conditional use permit as requested or in modified form, if, on the basis of the application and the evidence submitted, the commission makes the following findings:
  - 1. That the proposed location of the conditional use is in accordance with the objectives of the zoning ordinance and the purposes of the zone in which the site is located;
  - 2. That the proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.
- B. A conditional use permit may be revocable, may be granted for a limited time period, or may be granted subject to such conditions as the commission may prescribe. The commission may grant conditional approval for a permit subject to the effective date of a change of zone or other ordinance amendment.
- C. The commission may deny an application for a conditional use permit. (Prior code § 7536)

#### 17.38.120 Appeal to city council

The decision of the City planning commission on a conditional use permit shall be subject to the appeal provisions of Section 17.02.145. (Prior code § 7537) (Ord. 2006-18 § 6, 2007)

#### 17.38.130 Effective date of conditional use permit

A conditional use permit shall become effective immediately when granted or affirmed by the council, or upon the sixth working day following the granting of the conditional use permit by the planning commission if no appeal has been filed. (Prior code § 7539)

RESOLUTION NO. 2022-46

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2022-19, A REQUEST BY THE VISALIA UNIFIED SCHOOL DISTRICT TO CONVERT THE FORMER GRACE COMMUNITY CHURCH CAMPUS INTO THE VISALIA CHARTER INDEPENDENT STUDY PROGRAM, INCLUDING NEW GATES AROUND THE CAMPUS. THE PROJECT SITE IS LOCATED AT 424 NORTH LOVERS LANE, ON THE NORTHEAST CORNER OF NORTH LOVERS LANE AND EAST MILL CREEK PARKWAY. (APN: 103-271-032)

**WHEREAS**, Conditional Use Permit No. 2022-19, is request by the Visalia Unified School District to convert the former Grace Community Church campus into the Visalia Charter Independent Study program, including new gates around the campus. The project site is located at 424 North Lovers Lane, on the northeast corner of North Lovers Lane and East Mill Creek Parkway. (APN: 103-271-032); and

**WHEREAS**, the Planning Commission of the City of Visalia, after duly published notice did hold a public hearing before said Commission on February 13, 2023; and

**WHEREAS**, the Planning Commission of the City of Visalia finds the Conditional Use Permit to be in accordance with Chapter 17.38.110 of the Zoning Ordinance of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and

**WHEREAS**, the Planning Commission finds the project to be Categorically Exempt consistent with the California Environmental Quality Act (CEQA) and City of Visalia Environmental Guidelines.

**NOW, THEREFORE, BE IT RESOLVED** that the project is exempt from further environmental review pursuant to CEQA Section 15301.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** that the Planning Commission of the City of Visalia makes the following specific findings based on the evidence presented:

1. That the proposed project will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
  - a. The proposed location of the conditional use permit is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located. Reuse of the site provides an opportunity for the school district to provide alternative learning options to the community. The surrounding project site has adequate separation and buffering to the residences to the east.
  - b. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity. The proposed use of the site as a Charter Independent Study Facility will provide youth

job training opportunities and is found to integrate nicely with the surrounding residential neighborhoods.

3. That the project is considered Categorical Exempt under Section 15301 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2022-44).

**BE IT FURTHER RESOLVED** that the Planning Commission hereby approves the Conditional Use Permit on the real property here described in accordance with the terms of this resolution under the provisions of Section 17.38.110 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the site shall be developed consistent with the comments and conditions of the Site Plan Review Committee, as set forth under Site Plan No. 2022-048.
2. That the use shall be operated in substantial compliance with the site plan, operational statement, and floor plan in Exhibits "A", "B", and "C".
3. All new building signage shall require a separate building permit.
4. That substantial changes to the site plan and/or operational plan, or an intensification of the use, may require evaluation by the Site Plan Review committee and/or an amendment to this Conditional Use Permit.
5. That all applicable federal, state and city laws, codes and ordinances be met.



# OPERATIONAL STATEMENT

## Visalia Unified School District – Grace Community Church Adaptive Reuse **Visalia Charter Independent Study Facility**

Prepared by Paul Halajian Architects  
Dated: 6/10/2022

### Project Information

**Applicant/Owner:** Visalia Unified School District  
Steven Pena  
5000 W. Cypress Ave.  
Visalia, CA 93277  
559-730-7350

**Project Address:** 424 N. Lovers Lane  
Visalia, CA 93292

**Project Information:** APN: 103-271-032  
Zoning: Quasi-Public  
Area: 7.67 Acres

**Architect:** Paul Halajian Architects  
389 Clovis Ave., Suite 100  
Clovis, CA 93619

### Nature of the Operation

The applicant, Visalia Unified School District (VUSD), request to repurpose Grace Community Church into an independent study program center for students in grades 9-12. This facility provides a location to receive the resources, counseling, and hands on education for students and parents participating in the independent study program. The program will provide tutoring spaces for language arts, math, and science. VUSD will also provide programs for home cooking, theatrical performance, nursing, dance, and studio. Support spaces include library, fitness, individual counseling, and outdoor playground. A day care facility will also be provided for assistance to the teen parents enrolled in the program.

The proposed independent study center layout will remain similar to the current layout with the following changes. The open assembly room will be separated into individual and open offices for staff to meet with students one on one. The operable accordion partitions will be replaced with permanent partitions. The lobby will be reconfigured to become part of the administration offices.

**Life Skills Room:** The Life Skills Room provides independent study students important daily skills for independent living. Such skills include parental support, cooking, finance, etc. The Life Skills Room's kitchens were modeled after a traditional residential home kitchen layout with range/oven units, sinks, microwave oven, exhaust hood, and work counter. The kitchen is

not intended for commercial food applications and distribution. No frying and selling will be done from this room. Anticipated number of student enrollment is approximately 10 to 12.

**Child Development Rooms:** The parental program is to help teen parents learn to provide for and guide their children. This includes assistances in developing a nurturing home, developing job skills to obtain a job or a career, and self-sufficient skills to succeed.

The prenatal program is design to help pregnant teens complete their high school education while preparing them to care for their future child.

**Health Science (CNA):** The Health Science program assists students in a pathway to receive their Certified Nursing Assistant Certification. This includes training as a medical assistant which covers anatomy and physiology, as well as the daily operation of a medical office. Anticipated number of student enrollment is approximately 15.

**Science Rooms:** The Science Rooms is a component of the Science, Technology, Engineering, Mathematics, and CNA program. This will provide the student laboratory experience in biology, chemistry, and anatomy & physiology. Hazardous material use is limited to small amounts for demonstration only. Chemicals will not be stored on site but delivered on day of presentation and removed and disposed off site. Anticipated number of student enrollment is approximately 24.

**Core Lab:** The Core Labs room is a designated support classroom intended to provide direct instruction and support for students enrolled in an independent study course that does not have a designated classroom instruction component. Anticipated number of student enrollment is approximately 15.

**General Room (IM):** General rooms are to provide students instruction, support, assistance, direction, and tutoring in core curriculum studies such as English, Literature, Science, Mathematics, History, and Social Science. Anticipated number of student enrollment for each subject is approximately 24.

**Foreign Language Room:** The Spanish room is to provide students the opportunity to learn Spanish. The program will begin with the focus on communications, listening, writing, and speaking. Anticipated number of student enrollment is approximately 24.

**Performing Arts:  
(Theater, Dance, & Gym):** This program covers serval career pathways such as Dance, Choreography, Theater, Music, and Stage Technology. Performing Arts program will be in several rooms including the Multi-Purpose Room, Dance Room, and Gym. Each space to provide the student to concentrate on specific elements of their pathway. The Multi-Purpose Room (Theater) will provide the setting for Acting, Stage Design, Production, and Technology. The Dance Studio will be used for dance, choreography and professional dance development. The gym will be

used for core and strength training. Anticipated number of student enrollment will vary.

Visual Arts Room: This provides the students a location to expand their visual communication skills through photography, drawings, 3D art, and painting. Anticipated number of student enrollment is approximately 24.

Offices: The individual and open offices is to provide each student a space for individual counseling and monitoring of the student home school progress to ensure they are meeting their expectations. This also offers them opportunity for one-on-one training as well as Zoom meetings too.

Portable Buildings: Portable Building #1 will be the Clothing Closet and Food Pantry for students that are part of the Parenting and Prenatal program. This is to provide them with assistance with clothing for job interviews and food staples to ensure a healthy home environment.

Portable Building #2 will be used as an extension of the open office with conference room, testing area, staff lounge, and work room.

No work to be done on the portable buildings.

## Hours of Operation

Monday to Friday (Students): 7:30 am to 5:00 pm.

Average time for students to be on site is 1-2 hours for activities, training, tutoring, and counseling. Students will be home for most of the school day.

Monday to Friday (Staff): 7:30 am to 5:00 pm.

Special Events: Occasional after 8:00 am to 9:00 pm.

## Traffic Information

Staff: Approximately 50 staff will arrive and depart during operational hours.

Students: Approximately 50 – 60 students will be arriving and leaving the site every 2 hours cycle. Students will arrive by passenger vehicles or walk from adjacent community. Students will be dropped off at the loading and unloading zone. Some students will park in the parking lot for their duration of their stay.

Traffic generated will be steady throughout the day instead of a large inflow in the morning and large outflow in the afternoon.

## Landscaping

Existing Existing landscaping and planting is mature and well established. No changes to the landscape will be done. Site work does not affect the existing landscape and planting. No new landscaping is proposed to be added as part of the work.

## Employees and Students

Staff: 85 full time and part time staff. Not all staff will be at the facility at the same time.

Students: 634 total enrolled students in this program. Approximately 200 students will be on site throughout the day for 1 to 2 hours a day fluctuating about every 2 hours. Therefore, there may be only 50 to 60 students at the facility at a given time.

## Access to the Site and Parking

Primary entrance will be from Lovers Lane for student drop off and pick up. A drop off area on the east side of the Multi-Purpose Building will be created within the site for student access. Vehicles will leave the site on Millcreek Parkway. For security purpose, the gates will be closed during off hours.

Because students rotate throughout the day, there will not be a vehicular congregation at the beginning or end of the day.

Deliveries will consist of supplies for use as part of the school curriculum daily. There will not be any large delivery vehicles on site.

Approximately 358 parking stalls area available on site. Eight accessible stalls will need to be modified to meet current accessible requirements.

No changes to the site lighting will be required.

## Fencing and Playfields:

A 7'-0" high decorative fence will be required to surround the site for security purpose during the day and night. This fence will also be required around the parking lot, children's play field, play yard, and basketball courts. The gates will be open during business hours by facility personal. For security purpose, a safe dispersal area will be provided at the basketball courts.

The existing play yard will be remaining for younger children on the south side of the site. A future basketball court will be provided for older children on the east side of the site.

## Equipment Used:

No heavy equipment will be used on site.



## Supplies and Materials Stored:

Typical supplies for office and training purpose will be stored on site for daily operational use. This may include supplies for the theatrical and music program. No hazardous materials will be stored.

## Unsightly Appearance, Noise, Glare, Dust, or Odor:

No significant changes to the exterior appearance to the facility will occur. A decorative metal fence will be installed for protection around the facility during operational hours. This will also provide security when the facility is not in operation.

The facility is not expected to generate any noise, dust and odor during its operation.

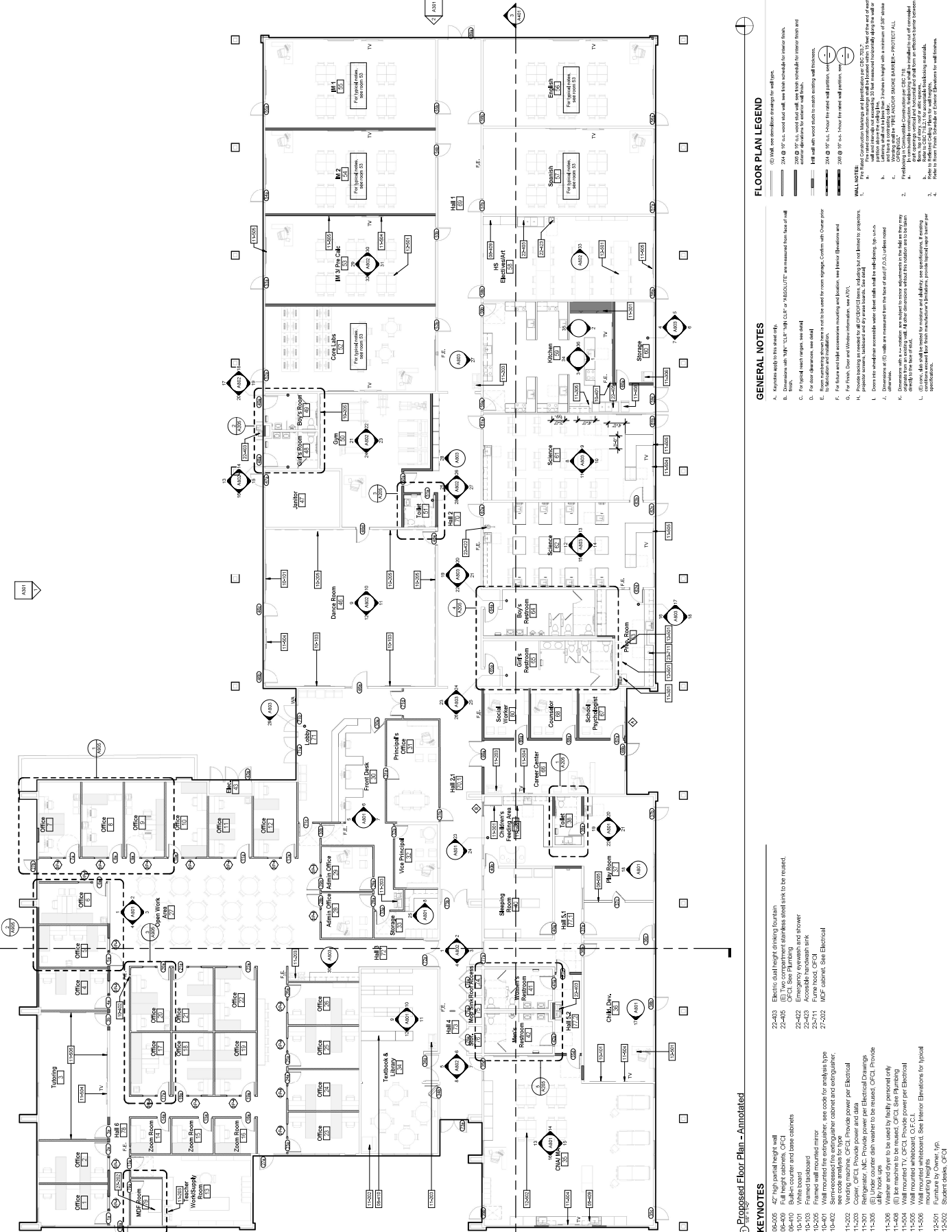
## Water and Wastewater:

No additional restrooms are anticipated to be part of the work. The Life Skills room have replaced the commercial kitchen that was part of the original facility. The commercial kitchen included a warewashing sink and a commercial dishwasher. The Life Skills room should use less water and generate less wastewater than the commercial kitchen. Because the Life Skills room is similar to a residential kitchen, it should not generate any grease laden waste and should not require a grease interceptor or a Type I hood.

## Advertisement:

The facility will replace the existing monument sign in the front with Visalia Charter Independent Study sign.

**END OF OPERATIONAL STATEMENT**



ASHI

06-005 42" high partial height wall  
 06-009 Full height cabinet, OFCI  
 06-100 Bulletin board and base cabinets  
 10-103 Framed glass door  
 10-103 Framed glass door  
 10-205 Framed wall mounted mirror  
 10-401 Wall mounted fire extinguisher, see code for analysis type  
 10-402 Wall mounted fire extinguisher, see code for analysis type  
 11-202 Vending machine, OFCI. Provide power per Electrical  
 11-203 OFCI. Provide power and use Electrical Drawings  
 11-203 OFCI. Provide power and use Electrical Drawings  
 11-305 Under counter dish washer to be raised, OFCI. Provide utility hook ups to be used by facility personnel only  
 11-408 (B) per machine to be raised, OFCI. See Rumberg  
 11-504 Wall mounted TV, OFCI. Provide power per Electrical  
 11-505 Wall mounted whiteboard, O.F.C.I.  
 11-506 Mounting heights, see Finish Elevations for typical  
 12-501 Furniture by Owner, typ.  
 12-502 Student desks, OFCI

22-403 Electric dual height drinking fountain  
 22-405 (E) Two compartment stainless steel sink to be raised.  
 22-422 Emphasis on room  
 22-423 Accessible handwash sink  
 23-111 Framed hood, OFCI  
 27-202 MCF cabinet, See Electrical

**KEYNOTES**

**GENERAL NOTES**

**FLOOR PLAN LEGEND**

**REVISIONS**

**PROJECT INFORMATION**

**PROJECT:**  
 Visalia Unified School District  
 424 N. Lovers Lane, Visalia, CA 93292

**SHEET:** Proposed Floor Plan - Annotated

**PROJECT INFORMATION**  
 DRAWING SET INFORMATION  
 8/2022 OUP-34444

**REVISIONS**

**PROJECT NUMBER:**  
 2021-144

**SHEET NUMBER:**  
 A202

**PH**  
**PAUL HALAJIAN ARCHITECTS**  
 389 Clove Ave. Suite 200  
 Clove, CA 93240  
 T: 559.337.1950  
 www.halajian.com

PAUL HALAJIAN  
 ARCHITECT  
 No. 028984  
 Exp. 09/2025

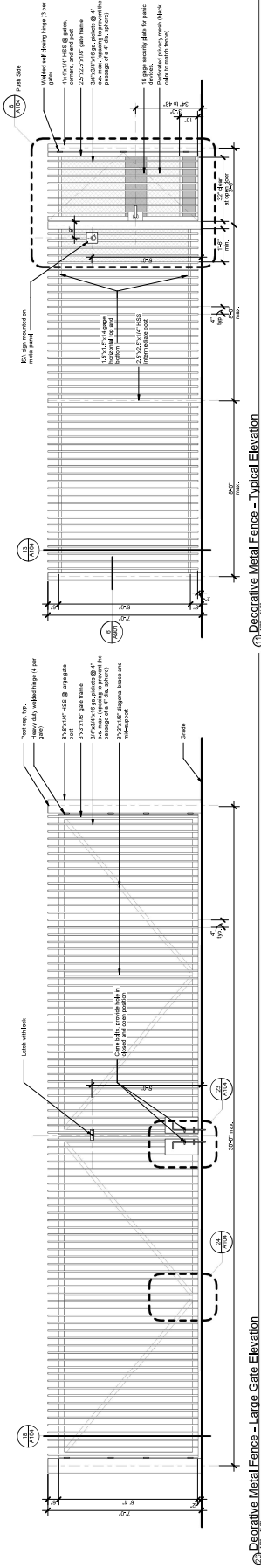
PROFESSIONAL SEAL



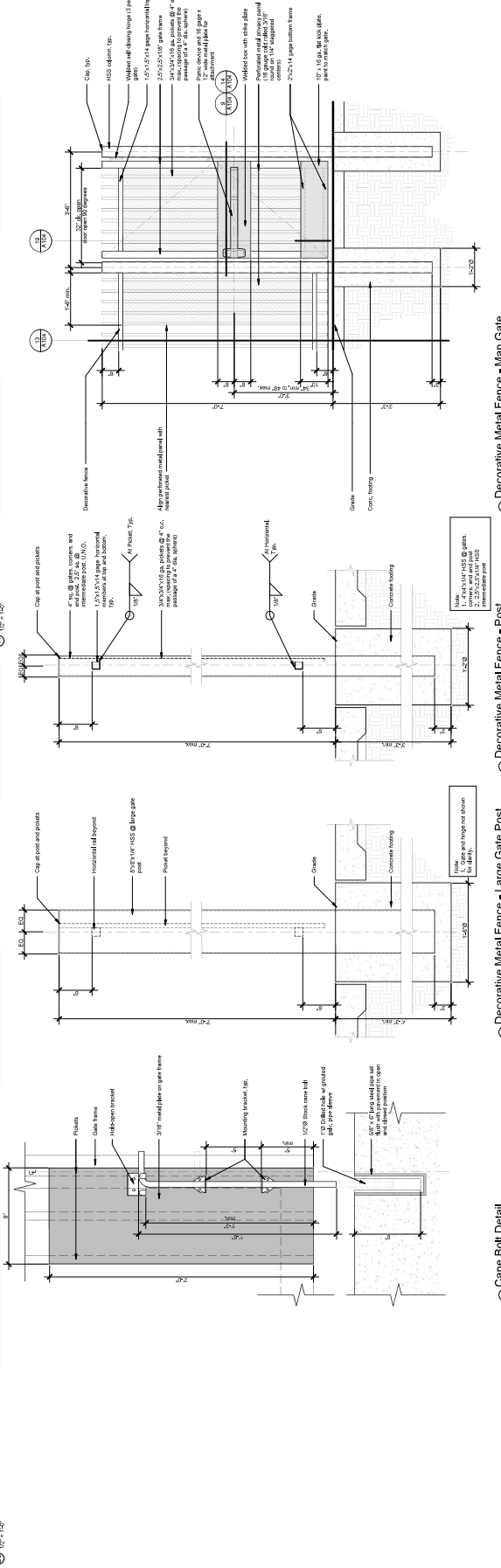
SEAL NO. 62818  
 PAUL HALAJIAN  
 PROFESSIONAL ENGINEER  
 CIVIL  
 EXPIRES 06/30/25  
 STATE OF CALIFORNIA

DRAWING SET INFORMATION	
REVISIONS	DATE

PROJECT NUMBER:  
**2021-44**  
 SHEET NUMBER:  
**A104**

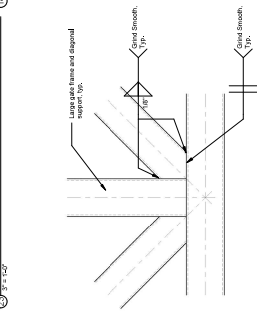


**Decorative Metal Fence - Large Gate Elevation**

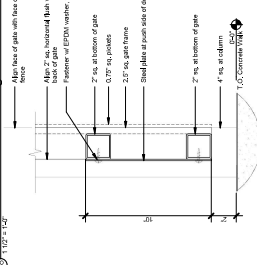


**Decorative Metal Fence - Typical Elevation**

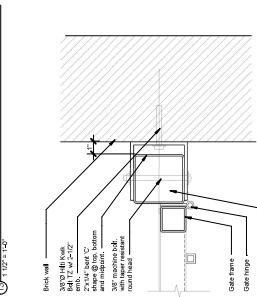
**Gate Bolt Detail**



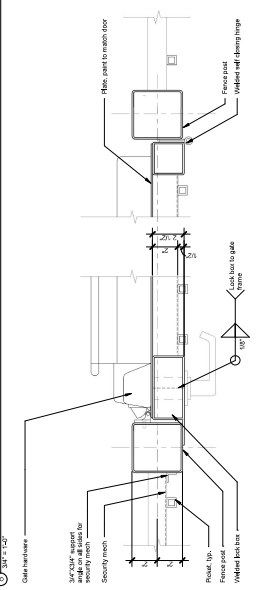
**Decorative Metal Fence - Large Gate Post**



**Decorative Metal Fence - Post**



**Decorative Metal Fence - Man Gate**



**Large Gate Weld**



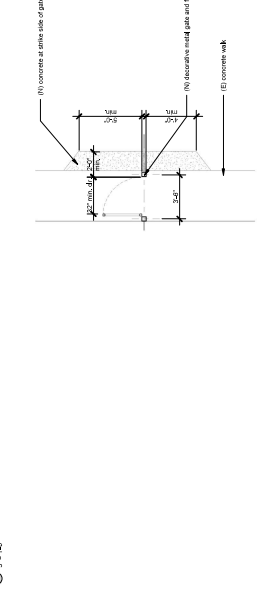
**Decorative Metal Fence - Ornamental Gate Kick Plate**



**Decorative Metal Fence - Ornamental Gate Hinge**



**Decorative Metal Fence - Ornamental Gate Hardware**





August 30, 2022

[glemus@vusd.org](mailto:glemus@vusd.org)

**Site Plan Review No. 2022-048:**

Pursuant to Zoning Ordinance Chapter 17.28 the Site Plan Review process has found that your application complies with the general plan, municipal code, policies, and improvement standards of the city. A copy of each Departments/Divisions comments that were discussed with you at the Site Plan Review meeting are attached to this document.

Based upon Zoning Ordinance Section 17.28.070, this is your Site Plan Review determination. However, your project requires discretionary action as stated on the attached Site Plan Review comments. You may now proceed with filing discretionary applications to the Planning Division.

This is your Site Plan Review Permit; your Site Plan Review became effective **August 3, 2022**. A site plan review permit shall lapse and become null and void one year following the date of approval unless, prior to the expiration of one year, a building permit is issued by the building official and construction is commenced and diligently pursued toward completion.

If you have any questions regarding this action, please call the Community Development Department at (559) 713-4359.

Respectfully,

A handwritten signature in blue ink, appearing to read "Paul Bernal", is written over a white background.

Paul Bernal  
Community Development Director  
315 E. Acequia Ave.  
Visalia, CA 93291

**Attachment(s):**

- Site Plan Review Comments



MEETING DATE August 3, 2022  
SITE PLAN NO. 2022-048 – B  
PARCEL MAP NO.  
SUBDIVISION  
LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

**RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.

During site plan design/policy concerns were identified, schedule a meeting with

Planning  Engineering prior to resubmittal plans for Site Plan Review.

Solid Waste  Parks and Recreation  Fire Dept.

**REVISE AND PROCEED** (see below)

A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.

Submit plans for a building permit between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday.

Your plans must be reviewed by:

CITY COUNCIL  REDEVELOPMENT

PLANNING COMMISSION  PARK/RECREATION

CUP

HISTORIC PRESERVATION  OTHER –

**ADDITIONAL COMMENTS:**

If you have any questions or comments, please call the Site Plan Review Hotline at (559) 713-4440  
Site Plan Review Committee

# SITE PLAN REVIEW COMMENTS

**Cristobal Carrillo, Planning Division, 559-713-4443**

**Date:** August 3, 2022

SITE PLAN NO: 2022-048 - B  
PROJECT TITLE: VUSD – Grace Community Church Adaptive ReUse  
DESCRIPTION: Alter Grace Community Church into a home school/charter school for VUSD.  
APPLICANT: Steven Pena  
PROP. OWNER: Visalia Unified School District  
LOCATION TITLE: 424 N. Lovers Lane  
APN TITLE: 103-271-032  
GENERAL PLAN: Public/Institutional  
ZONING: QP (Quasi Public)

---

## **Planning Division Recommendation:**

- Revise and Proceed  
 Resubmit

## **Project Requirements**

- Conditional Use Permit
- Building Permit
- Additional Information as Needed

### **PROJECT SPECIFIC INFORMATION:** August 3, 2022

1. A Conditional Use Permit shall be required for a school facility in the QP Zone.
2. Building elevations, an operational statement, floor plans, and landscape plans shall be included with the Conditional Use Permit submittal. Note that floor plans shall be submitted for ALL structures on the project site.
3. Traffic generation information shall be provided for review by the City Traffic Engineer. This shall be included with the Conditional Use Permit submittal.
4. A Building Permit will be required.
5. Comply with Engineering Division requirements, in particular regarding the Mill Creek Parkway access.
6. Lovers Lane north of Hwy 198 is a designated State Highway. Project shall comply with all requirements of Caltrans.
7. Meet all other codes and ordinances.
8. See previous comments.

### **PROJECT SPECIFIC INFORMATION:** March 23, 2022

1. A Conditional Use Permit shall be required for a school facility in the QP Zone.
2. A detailed operational statement shall be provided identifying all proposed uses onsite, as well as the use of each individual building. The operational statement shall also provide information on enrollment numbers, traffic patterns, bus traffic, drop-off/pick-up activity, and any other relevant information.
3. Building elevations, floor plans, and landscape plans shall be included with the Conditional Use Permit submittal.
4. The site plan shall identify the use of the portable buildings onsite.
5. The site plan shall identify all existing and proposed fencing onsite. Information shall also be provided regarding operation of the gates.
6. Traffic generation information shall be provided for review by the City Traffic Engineer.
7. A Building Permit will be required.

8. Comply with Engineering Division requirements, in particular regarding the Mill Creek Parkway access.
9. Meet all other codes and ordinances.

**Notes:**

1. The applicant shall contact the San Joaquin Valley Air Pollution Control District to verify whether additional permits are required to conduct the proposed use.
2. Prior to completion of a final building inspection for a project, a signed **MWELO Certificate of Compliance** shall be submitted indicating that all landscaping has been installed to MWELO standards.

**Applicable sections of the Visalia Municipal Code, Title 17 (Zoning):**

17.30 Development Standards

17.32.080 Maintenance of landscaped areas

17.34 Off-street parking and loading facilities

17.36 Fences Walls and Hedges

17.52 Quasi-Public Zone

**NOTE: Staff recommendations contained in this document are not to be considered support for a particular action or project unless otherwise stated in the comments. The comments found on this document pertain to the site plan submitted for review on the above referenced date. Any changes made to the plan submitted must be submitted for additional review.**



Signature \_\_\_\_\_





**BUILDING/DEVELOPMENT PLAN  
REQUIREMENTS  
ENGINEERING DIVISION**

<input type="checkbox"/>	Adrian Rubalcaba	713-4271
<input type="checkbox"/>	Ather Razaq	713-4268
<input checked="" type="checkbox"/>	Edelma Gonzalez	713-4364
<input type="checkbox"/>	Jaklin Rowley	713-4369
<input type="checkbox"/>	Luqman Ragabi	713-4362
<input type="checkbox"/>	Lupe Garcia	713-4197

ITEM NO: <u>1</u>	DATE: <u>AUG 3, 2022</u>
SITE PLAN NO.:	22-048R
PROJECT TITLE:	VUSD - GRACE COMMUNITY CHURCH ADAPTIVE REUSE
DESCRIPTION:	ALTER GRACE COMMUNITY CHURCH INTO A HOME SCHOOL/CHARTER SCHOOL FOR VUSD (OPA)
APPLICANT:	GERRY LEMUS
PROP OWNER:	VISALIA UNIFIED SCHOOL DISTRICT
LOCATION:	424 N. LOVERS LANE
APN:	103-271-032

**SITE PLAN REVIEW COMMENTS**

- REQUIREMENTS (indicated by checked boxes)
- Install curb return with ramp, with \_\_\_\_\_ radius;
- Install curb;  gutter
- Drive approach size:  Use radius return;
- Sidewalk: \_\_\_\_\_ width;  parkway width at **AT DRIVE APPROACH MILLCREEK**
- Repair and/or replace any sidewalk across the public street frontage(s) of the subject site that has become uneven, cracked or damaged and may constitute a tripping hazard.
- Replace any curb and gutter across the public street frontage(s) of the subject site that has become uneven and has created areas where water can stand.
- Right-of-way dedication required. A title report is required for verification of ownership.
- Deed required prior to issuing building permit; **EASEMENT FOR SIDEWALK**
- City Encroachment Permit Required. FOR ALL WORK NECESSARY ON MILL CREEK WITHIN PUBLIC RIGHT-OF-WAY**  
Insurance certificate with general & auto liability (\$1 million each) and workers compensation (\$1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit. Contact Encroachment Tech. at 713-4414.
- CalTrans Encroachment Permit required.  CalTrans comments required prior to issuing building permit. Contacts: David Deel (Planning) 488-4088; **FOR ANY WORK ON LOVERS LANE**
- Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map.
- Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.
- Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades.  Prepared by registered civil engineer or project architect.  All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a)  directed to the City's existing storm drainage system; b)  directed to a permanent on-site basin; or c)  directed to a temporary on-site basin is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: \_\_\_\_\_ : \_\_\_\_\_ maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance.
- Grading permit is required for clearing and earthwork performed prior to issuance of the building permit.
- Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter = .020%, V-gutter = 0.25%)
- Show adjacent property grade elevations. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.

- All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications.
- Traffic indexes per city standards:
- Install street striping as required by the City Engineer.
- Install landscape curbing (typical at parking lot planters).
- Minimum paving section for parking: 2" asphalt concrete paving over 4" Class 2 Agg. Base, or 4" concrete pavement over 2" sand.
- Design Paving section to traffic index of 5.0 min. for solid waste truck travel path.
- Provide "R" value tests:            each at
- Written comments required from ditch company            Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditch; Jerry Hill 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
- Access required on ditch bank, 15' minimum     Provide            wide riparian dedication from top of bank.
- Show Valley Oak trees with drip lines and adjacent grade elevations.     Protect Valley Oak trees during construction in accordance with City requirements.
- A permit is required to remove Valley Oak trees. Contact Public Works Admin at 713-4428 for a Valley Oak tree evaluation or permit to remove.     A pre-construction conference is required.
- Relocate existing utility poles and/or facilities.
- Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- Subject to existing Reimbursement Agreement to reimburse prior developer:
- Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
- If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
- If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.
- Comply with prior comments.     Resubmit with additional information.     Redesign required.

**Additional Comments:**

1. ***Proposed project will incur impact fees. Refer to page 4 for applicable fees due at time of building permit issuance. Per operational statement, there would be no cafeteria or meal prep in the kitchen facility for students. The kitchen use would be converted for class use and instruction only.***
2. ***A building permit is required, standard plan check and inspection fees will apply.***
3. ***Comply with City parking lot layout and design standards for any new work within existing parking lots.***
4. ***Project proposed to install a fence along perimeter, comply with Planning Dept. setbacks. Fence construction shall be within private property, including all footings. Comply with CBC for doors, doorways, and gates that are part of an accessible route.***
5. ***Project proposes to gate access points at existing drive approaches. Typical requirements for gated entries are that the gates shall be setback a minimum of 25' from curbface, swing inward or use sliding gate, and provide adequate turnaround movement for vehicles denied entry. Traffic forced to back out into Lovers Lane and Mill Creek will not be supported. Site plan provides an operations statement identifying purpose and function of the gates, to be manually opened and closed by facility staff prior to and after school hours, which appears acceptable as proposed.***
6. ***Any new landscaping shall comply with CA MWELO regulations. Landscape and irrigation plans to accompany onsite plans.***

7. *Project will be required to repair any dilapidated/shifted/uneven sidewalks or curbs and gutters.*
8. *Project to provide all modifications/upgrades necessary to comply with current accessibility standards.*
9. *Site plan provided an operations statement indicating the desired plan for student drop-off and pick-up and traffic circulation onsite. Any curbside drop off or pick up along public streets will be prohibited.*
10. *All required backflow preventers shall be installed on private property and not within public right-of-way.*
11. *Both existing drive approaches to remain as restricted access (no left outs, median control).*
12. *Provide accessible access between drop off area on the east side on the Multi-Purpose Building to the public Right Of Way. Comply with CBC 11B-250, of the CBC. Circulation paths contiguous to vehicular traffic must be physically separated from vehicular traffic. Physical separation shall be provided with circulation paths raised 4" (minimum) above the area where vehicle traffic occurs.*
13. *Existing drive approach at Mill Creek will have to be brought into compliance with current City Standards for pedestrian accessibility around drive approach. Meandering sidewalk may require pedestrian access easement.*

**SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES**

Site Plan No: **22-048RESUBMITTAL**

Date: **08/03/2022**

**Summary of applicable Development Impact Fees to be collected at the time of building permit:  
(Preliminary estimate only! Final fees will be based on the development fee schedule in effect at the time of building permit issuance.)**

(Fee Schedule Date:**07/21/2022**)  
(Project type for fee rates:**SCHOOL**)

Existing uses may qualify for credits on Development Impact Fees. **CHURCH**

<u>FEE ITEM</u>	<u>FEE RATE</u>
<input type="checkbox"/> Groundwater Overdraft Mitigation Fee	
<input checked="" type="checkbox"/> Transportation Impact Fee	<b>\$1,160/1KSF X 44</b>
<input type="checkbox"/> Trunk Line Capacity Fee	
<input type="checkbox"/> Sewer Front Foot Fee	
<input type="checkbox"/> Storm Drain Acq/Dev Fee	
<input type="checkbox"/> Park Acq/Dev Fee	
<input type="checkbox"/> Northeast Specific Plan Fees	
<input type="checkbox"/> Waterways Acquisition Fee	
<input type="checkbox"/> Public Safety Impact Fee: Police	
<input type="checkbox"/> Public Safety Impact Fee: Fire	
<input type="checkbox"/> Public Facility Impact Fee	
<input type="checkbox"/> Parking In-Lieu	

**Reimbursement:**

- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.

  
**Edelma Gonzalez**



**Site Plan Comments**

Visalia Fire Department  
Corbin Reed, Fire Marshal  
420 N. Burke  
Visalia CA 93292  
559-713-4272 office  
prevention.division@visalia.city

Date	August 3, 2022
Item #	1
Site Plan #	22048
APN:	087290020

- The Site Plan Review comments are issued as **general overview** of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2019 California Fire Code (CFC), 2019 California Building Codes (CBC) and City of Visalia Municipal Codes.
- **Address numbers** must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least four inches (4") high and shall be of a color to contrast with their background. If multiple addresses are served by a common driveway, the range of numbers shall be posted at the roadway/driveway. 2019 CFC 505.1
- All hardware on **exit doors, illuminated exit signs and emergency lighting** shall comply with the 2019 California Fire Code. This includes all locks, latches, bolt locks, panic hardware, fire exit hardware and gates.
- **Commercial dumpsters** with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system. 2019 CFC 304.3.3
- A **Knox Box key lock system** is required. Where access to or within a structure or area is restricted because of secured openings (doors and/or gates), a key box is to be installed in an approved location. Go to [knoxbox.com](http://knoxbox.com) to order and please allow adequate time for shipping and installation. 2019 CFC 506.1
- Where a portion of any building is more than 400 feet from a hydrant on a fire apparatus access road, **on-site fire hydrant(s)** shall be provided. 2019 CFC 507.5.1, App B and C
- A **fire apparatus access road(s)** shall be provided and extend within 150 feet of all portions of the building and all portions of the exterior walls of the first story as measured by an approved route around the exterior. Minimum turning radius for emergency fire apparatus shall be 20 feet inside radius and 43 feet outside radius. Fire apparatus access roads shall have an unobstructed width of not less than the following (2019 CFC 503.1.1)
  - 20 feet width, exclusive of shoulders (No Parking)
  - More than 26 feet width, exclusive of shoulders (No Parking one side)
  - More than 32 feet wide, exclusive of shoulders (Parking permitted on both sides)
- **Gates on access roads** shall be a minimum width of 20 feet and shall comply with the following (2019 CFC D103.5):
  - Gates shall be of the swinging or sliding type.

- Gates shall allow manual operation by one person (power outages).
  - Gates shall be maintained in an operative condition at all times.
  - Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. Note: Go to [knoxbox.com](http://knoxbox.com) to order and please allow adequate time for shipping and installation.
- 
- An **automatic fire sprinkler system** may be required for this building. Also, a fire hydrant is required within 50 feet of the Fire Department Connection (FDC). Where an existing building is retrofitted with a sprinkler system (NFPA 13 or NFPA 13R) a fire hydrant shall be provided within 75 feet of the FDC. An additional 25 feet of distance between a fire hydrant and FDC may be granted when a fire sprinkler Density is designed with an additional 25%. 2019 CFC §912 and VMC 8.20.010 subsection C103.4
  - Commercial cooking appliances and domestic cooking appliances used for commercial purposes that produce grease laden vapors shall be provided with a **Type 1 Hood**, in accordance with the California Mechanical Code, and an automatic fire extinguishing system. 2019 CFC 904.12 & 609.2



---

Corbin Reed  
Fire Marshal

SR 22048  
GRACE COMMUNITY CHURCH  
5000 W CYPRESS

City of Visalia  
Building: Site Plan  
Review Comments

NOTE: These are general comments and DO NOT constitute a complete plan check for your specific project  
Please refer to the applicable California Code & local ordinance for additional requirements.

- A building permit will be required. *For information call (559) 713-4444*
- Submit 1 digital set of professionally prepared plans and 1 set of calculations. (Small Tenant Improvements)
- Submit 1 digital set of plans prepared by an architect or engineer. Must comply with 2016 California Building Cod Sec. 2308 for conventional light-frame construction or submit 1 digital set of engineered calculations.
- Indicate abandoned wells, septic systems and excavations on construction plans.

You are responsible to ensure compliance with the following checked items:

- Meet State and Federal requirements for accessibility for persons with disabilities.
- A path of travel, parking and common area must comply with requirements for access for persons with disabilities. *20% OF PERMIT VALUE SHALL BE USED FOR "PATH OF TRAVEL" ADA UPGRADES.*
- All accessible units required to be adaptable for persons with disabilities.
- Maintain sound transmission control between units minimum of 50 STC.
- Maintain fire-resistive requirements at property lines.

A demolition permit & deposit is required. *For information call (559) 713-4444*

Obtain required permits from San Joaquin Valley Air Pollution Board. *For information call (661) 392-5500*

Plans must be approved by the Tulare County Health Department. *For information call (559) 624-8011*

Project is located in flood zone \_\_\_\_\_ \*  Hazardous materials report.

Arrange for an on-site inspection. (Fee for inspection \$157.00) *For information call (559) 713-4444*

School Development fees. Commercial \$0.66 per square foot & Self-Storage \$.23 per sf. Residential.

Park Development fee \$ \_\_\_\_\_ per unit collected with building permits.

Additional address may be required for each structure located on the site. *For information call (559) 713-4320*

Acceptable as submitted

No comments at this time

Additional comments: PROVIDE GARBAGE INTERCEPTOR FOR ON SITE COOKING.

VAL GARCIA 3/3/22  
Signature



City of Visalia  
Police Department  
303 S. Johnson St.  
Visalia, CA 93292  
(559) 713-4370

Date: 08/03/2022  
Item: 1  
Site Plan: SPR22048  
Name: Henry Martinez

**Site Plan Review Comments**

- No Comment at this time.
- Request opportunity to comment or make recommendations as to safety issues as plans are developed.
- Public Safety Impact Fee:  
Ordinance No. 2001-11 Chapter 16.48 of Title 16 of the Visalia Municipal Code  
Effective date - August 17, 2001.
- Impact fees shall be imposed by the City pursuant to this Ordinance as a condition of or in conjunction with the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land, upon which no like building, structure of improvement previously existed. \*Refer to Engineering Site Plan comments for fee estimation.
- Not enough information provided. Please provide additional information pertaining to:
  - Territorial Reinforcement: Define property lines (private/public space).
  - Access Controlled/ Restricted etc.
  - lighting Concerns:
  - Traffic Concerns:
  - Surveillance Issues:
  - Line of Sight Issues:
  - Other Concerns:



# SITE PLAN REVIEW COMMENTS

CITY OF VISALIA TRAFFIC SAFETY DIVISION

August 3, 2022

ITEM NO: 1      Resubmit  
SITE PLAN NO: SPR22048  
PROJECT TITLE: VUSD - Grace Community Church Adaptive ReUse  
DESCRIPTION: Alter Grace Community Church into a Home School/Charter School for VUSD (O-PA)  
APPLICANT: Gerry Lemus  
OWNER: VISALIA UNIFIED SCHOOL DISTRICT  
APN: 087290020  
LOCATION: 5000 W CYPRESS AVE

**THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY**

- No Comments
- See Previous Site Plan Comments
- Install Street Light(s) per City Standards.
- Install Street Name Blades at          Locations.
- Install Stop Signs at          Locations.
- Construct parking per City Standards PK-1 through PK-4.
- Construct drive approach per City Standards.
- Traffic Impact Analysis required (CUP)
  - Provide more traffic information such as see below. Depending on development size, characteristics, etc., a TIA may be required.
- Additional traffic information required (Non Discretionary)
  - Trip Generation - Provide documentation as to concurrence with General Plan.
  - Site Specific - Evaluate access points and provide documentation of conformance with COV standards. If noncomplying, provide explanation.
  - Traffic Impact Fee (TIF) Program - Identify improvements needed in concurrence with TIF.

## **Additional Comments:**

- Additional traffic information required on projected trip generation. Change in land use from church to charter school. The number of projected trips will intensify during the weekday peak hours. Depending on increase, a traffic impact analysis may be required. What is impact to intersection of Lovers Lane and Mill Creek? Lovers Lane and Goshen? On site circulation for site pick up and drop off? Ingress/egress points?

- Lovers Lane is Caltrans. Review and approval from Caltrans may be required.
- Questions, contact Traffic Engineering, 559-713-4633.

*Leslie Blair*

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**Leslie Blair**



08.03.22

SITE PLAN REVIEW DATE: \_\_\_\_\_

WASTEWATER COLLECTIONS AND PRETREATMENT DIVISION (QUALITY ASSURANCE)  
SITE PLAN REVIEW COMMENTS

SITE PLAN REVIEW NO: SPR 22048

PROJECT NAME: VUSD GRACE COMM ADAP REUSE

THE PROJECT IS SUBJECT TO THE FOLLOWING REQUIREMENTS FROM WASTEWATER  
PRETREATMENT DIVISION (QUALITY ASSURANCE):

SUBMISSION OF WASTEWATER DISCHARGE PERMIT  
APPLICATION/QUESTIONNAIRE/OTHER REGULATORY FORMS

- FORM REQUIRED FOOD SERVICE EST QUEST
- FORM REQUIRED \_\_\_\_\_
- FORM REQUIRED \_\_\_\_\_

INSTALLATION OF SAND AND GREASE INTERCEPTOR

INSTALLATION GREASE INTERCEPTOR

OTHER \_\_\_\_\_

SITE PLAN REVIEWED-NO COMMENTS

CONTACT THE WASTEWATER PRETREATMENT DIVISION (QUALITY ASSURANCE) AT  
(559) 713-4529 OR [JESSICA.SANDOVAL@VISALIA.CITY](mailto:JESSICA.SANDOVAL@VISALIA.CITY), IF YOU HAVE ANY QUESTIONS.

COMMENTS:

KITCHEN IDENTIFIED IN DRAWINGS. IS THIS FOR BREAKROOM TYPE USE OR MEAL  
PREP FOR STUDENTS?

FORMS CAN BE FOUND @

[https://www.visalia.city/depts/public\\_works/wastewater/commercial\\_industrial\\_pretreatment\\_prog](https://www.visalia.city/depts/public_works/wastewater/commercial_industrial_pretreatment_prog)

7579 288

DATE REVIEWED: 08.01.22

CITY OF VISALIA  
SOLID WASTE DIVISION  
336 N. BEN MADDOX  
VISALIA CA. 93291  
713 - 4532  
COMMERCIAL BIN SERVICE

22048

August 3, 2022

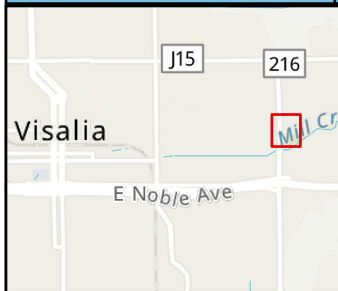
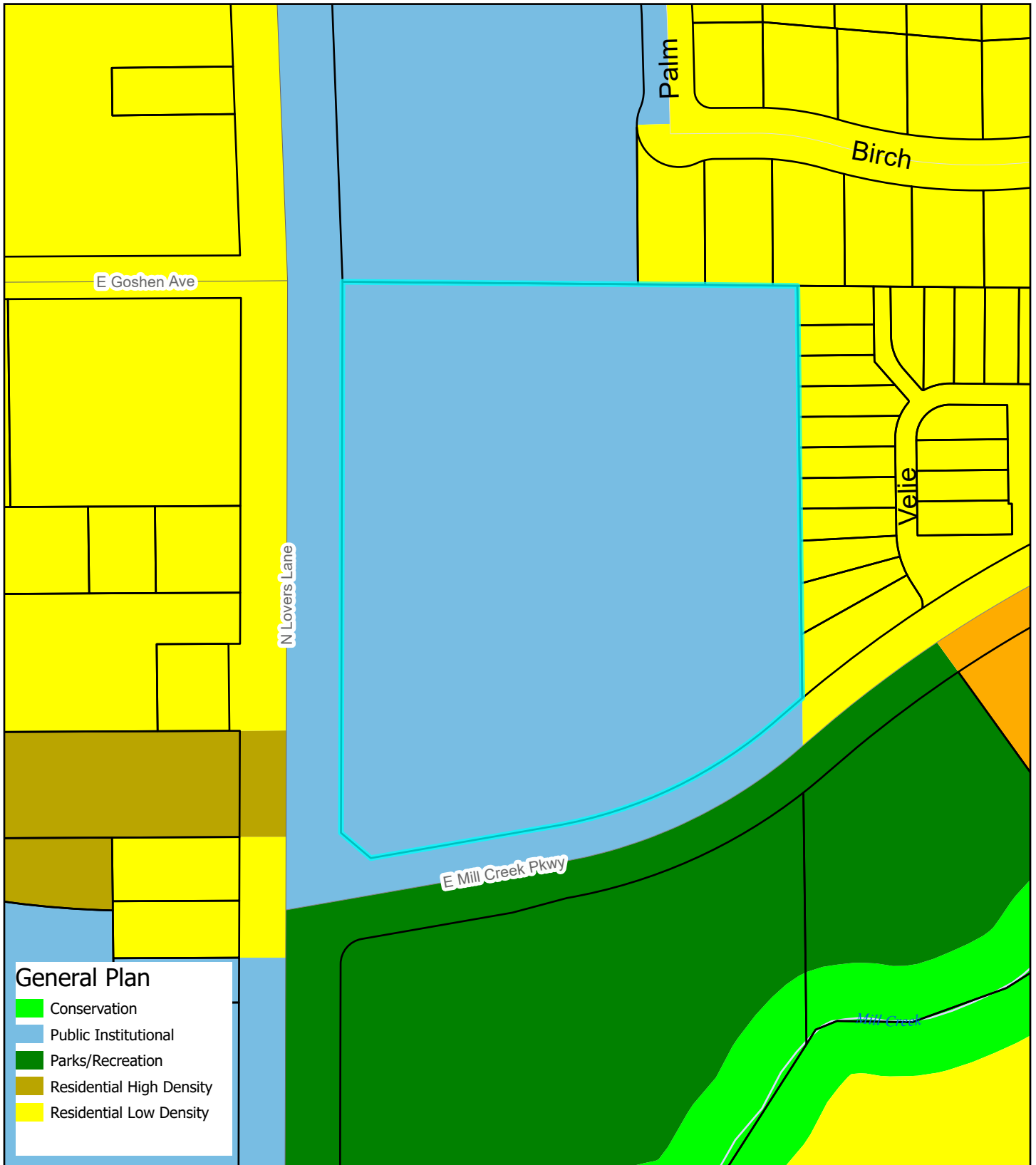
- No comments.
- See comments below
- Revisions required prior to submitting final plans. See comments below.
- Resubmittal required. See comments below.
- Customer responsible for all cardboard and other bulky recyclables to be broken down before disposing of in recycle containers
- ALL refuse enclosures must be R-3 OR R-4
- Customer must provide combination or keys for access to locked gates/bins
- Type of refuse service not indicated.
- Location of bin enclosure not acceptable. See comments below.
- Bin enclosure not to city standards double.
- Inadequate number of bins to provide sufficient service. See comments below.
- Drive approach too narrow for refuse trucks access. See comments below.
- Area not adequate for allowing refuse truck turning radius of : Commercial 50 ft. outside 36 ft. inside; Residential 35 ft. outside, 20 ft. inside.
- Paved areas should be engineered to withstand a 55,000 lb. refuse truck.
- Bin enclosure gates are required
- Hammerhead turnaround must be built per city standards.
- Cul - de - sac must be built per city standards.
- Bin enclosures are for city refuse containers only. Grease drums or any other items are not allowed to be stored inside bin enclosures.
- Area in front of refuse enclosure must be marked off indicating no parking
- Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS) with no less than 38' clear space in front of the bin, included the front concrete pad.
- Customer will be required to roll container out to curb for service.
- Must be a concrete slab in front of enclosure as per city standards, the width of the enclosure by ten(10) feet, minimum of six(6) inches in depth.
- Roll off compactor's must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow the truck enough room to provide service.

City ordinance 8.28.120-130 (effective 07/19/18) requires contractor to contract with City for removal of construction debris unless transported in equipment owned by contractor or unless contracting with a franchise permittee for removal of debris utilizing roll-off boxes.

**Comment**  
Solid Waste recommends the customer consider replacing the existing single bin enclosure with a city standard (R3/R4) double enclosure set for STAB load collections, to house the three services required (trash, recycle and organic collections) per the State of California's mandatory recycling laws (AB-341 & AB-1826). Enclosure gates are required, must open 180 degrees, and clear all curbing. Cane bolts must be included to secure gates when opened. If a new enclosure is not included in this project, then Solid Waste asked that the customer identify placement of bins onsite set for STAB load collections. Customer to contact Solid Waste at 559-713-4532 to discuss/review preferred enclosure placement.

Jason Serpa, Solid Waste Manager, 559-713-4533  
Edward Zuniga, Solid Waste Supervisor, 559-713-4338

Nathan Garza, Solid Waste, 559-713-4532  

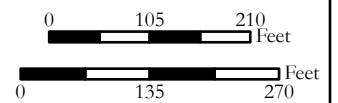



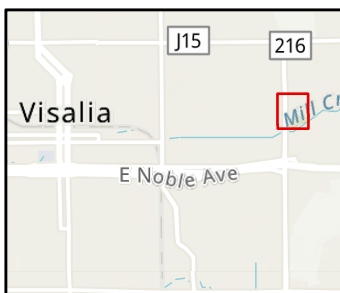
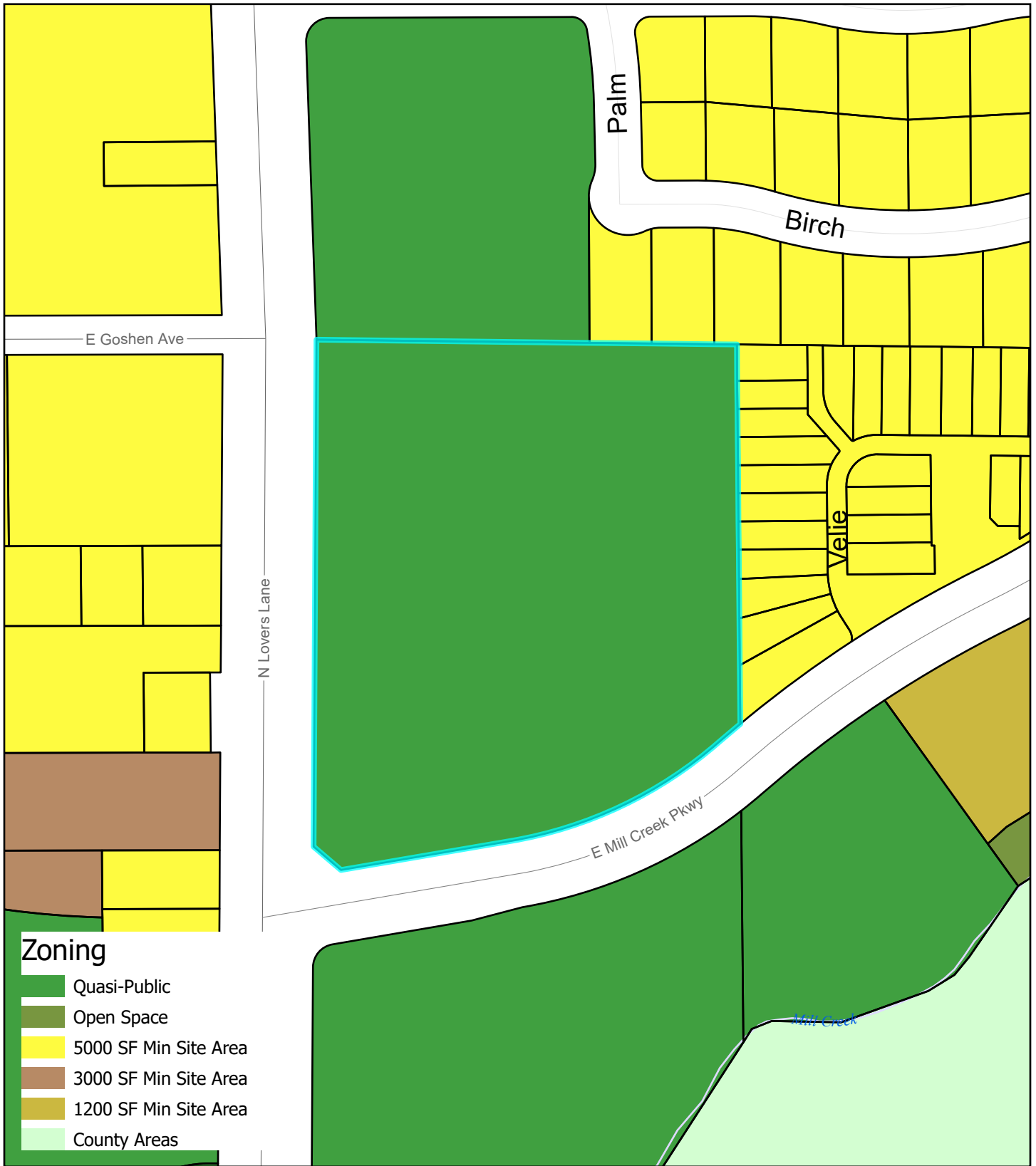
# General Plan Land Use Map

City of Visalia, Fresno County Dept. PWP, California State Parks, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, USDA, Esri, NASA, NGA, USGS

## 2022

Coordinate System: WGS 1984 Web Mercator Auxiliary Sphere



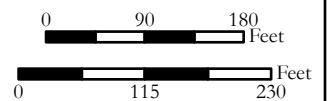


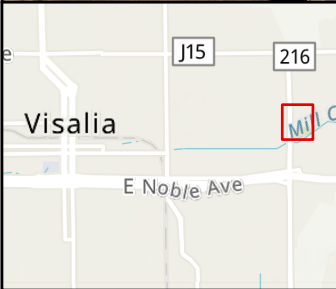
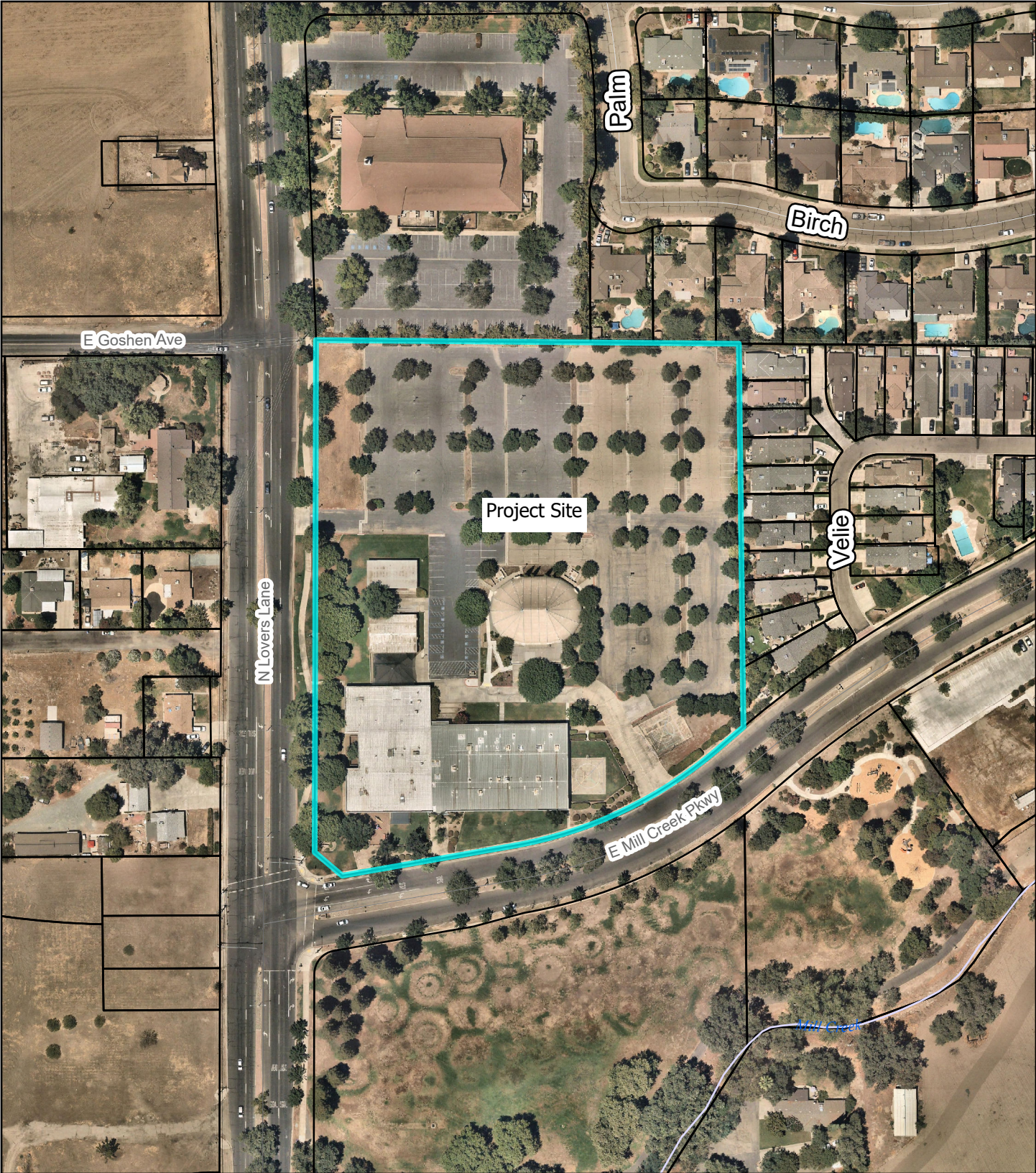
# Zoning Map

City of Visalia, Fresno County Dept. PWP, California State Parks, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, USDA, Esri, NASA, NGA, USGS

2023

Coordinate System: NAD 1983 StatePlane California IV FIPS 0404 Feet





**Aerial Map**

City of Visalia, Fresno County Dept. PWP, California State Parks, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, USDA, Esri, NASA, NGA, USGS

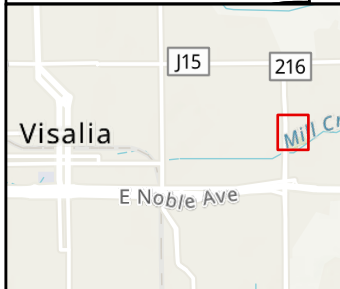
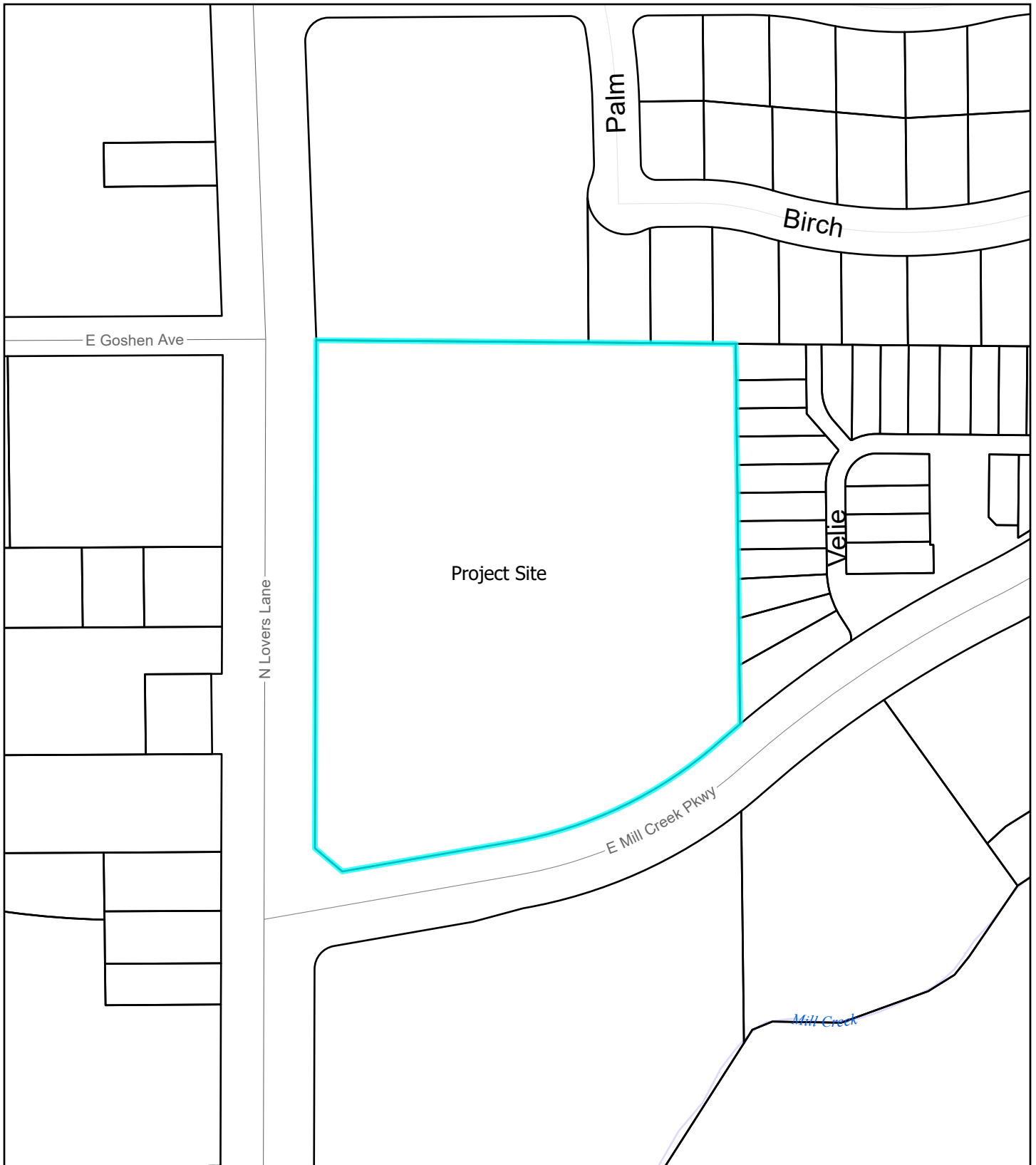
**2022**

Coordinate System: WGS 1984 Web Mercator Auxiliary Sphere

N

0 115 230 Feet

0 145 290 Feet



**Vicinity Map**

City of Visalia, Fresno County Dept. PWP, California State Parks, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, USDA, Esri, NASA, NGA, USGS

**2022**

Coordinate System: WGS 1984 Web Mercator Auxiliary Sphere

