

SITE PLAN REVIEW AGENDA

1/4/2023 - 9:00 A.M.

(Via Microsoft Teams)

To review supporting documents, click on the "SITE PLAN NO" link, then click on "Record Info" / "Attachments"

ITEM NO: 1

SITE PLAN NO: [SPR22200](#)

PROJECT TITLE: Mill Creek Office Building at Hyde Park

DESCRIPTION: This Project Consists of the Improvements Including Addition of an Elevator, an Accessible Path of Travel from Right of Way, an Accessible Path of Travel from ADA Stall and an Addition of a New Trash Enclosure. Addition of a New Trash Enclosure & Minor Modification of Existing Parking Stalls. (O-PA)

APPLICANT: Robert Vermeltfoort

OWNER: HYDE DAVID G (TR)(DAVID G HYDE TR)

APN: 089111034

LOCATION: 3120 W MAIN ST
3120 W MAIN ST UNIT A
3120 W MAIN ST UNIT B
3120 W MAIN ST UNIT C
3120 W MAIN ST UNIT D1
3120 W MAIN ST UNIT D2
3120 W MAIN ST UNIT E
3120 W MAIN ST UNIT F
3130 W MAIN ST
3130 W MAIN ST UNIT A
3130 W MAIN ST UNIT A2
3130 W MAIN ST UNIT B
3130 W MAIN ST UNIT C
3130 W MAIN ST UNIT D
3130 W MAIN ST UNIT E
3130 W MAIN ST UNIT F
3132 W MAIN ST

ITEM NO: 2

SITE PLAN NO: [SPR22201](#)

PROJECT TITLE: Edeniq, Inc.

DESCRIPTION: Tenant Improvement in an Existing Building. (I)

APPLICANT: Paul O'Neal

OWNER: TODD JAMES WILLIAM SR & PAMELA LISA(T

APN: 081100056

LOCATION: 1141 N NEVADA ST

ITEM NO: 3

SITE PLAN NO: [SPR22202](#)

PROJECT TITLE: Cinnaholic

DESCRIPTION: New Bakery-Plumbing, Lighting, Minor Walls. (D-MU)

APPLICANT: Mike Fistolera

OWNER: MITCHELL WILLIAM N (TR LIV TR)

APN: 094323006

LOCATION: 204 W MAIN ST

AFTER REVIEW OF REGULAR AGENDA ITEMS, THE COMMITTEE WILL BE AVAILABLE TO REVIEW OFF-AGENDA ITEMS FOR INFORMAL REVIEW. THE COMMITTEE WILL BE AVAILABLE TO ANSWER QUESTIONS AT THAT TIME.

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application **MUST** be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -
 - Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Mill Creek Office Building at Hyde Park Date: 12-13-2022

Project Description: This project consists of site improvements including addition of an elevator, an accessible path of travel from right of way, an accessible path of travel from ADA stall and an addition of a new trash enclosure. Addition of a new trash enclosure & minor modification of existing parking stalls.

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: Hyde Rentals (Hyde III LLC, The David G. Hyde Trust, and Shelley Hyde)

Applicant(s) Name: Robert Vermeltoort

Project Address/Location: 3120 - 3130 W Main Street, Visalia, CA 93291

Assessor Parcel Number: 089-111-034

Parcel Size (Acreage or Square Feet): 1.16 acres Building or Suite Square Footage: 20,813 s.f.

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ 225,000

Describe All Proposed Building Modifications:
This project consists of site improvements including addition of an elevator, an accessible path of travel from right of way, an accessible path of travel from ADA stall and an addition of a new trash enclosure. Addition of a new trash enclosure & minor modification of existing parking stalls.

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 12/19/22

SPR Agenda: 1/4/22 Item No. _____

Zone: O-PA SPR No. 22-200

Historic District: Yes No

Flood Zone: X AE X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Offices

Proposed Building Use: Offices

Proposed Hours of Operation: 8:00 am - 6:00 pm

Days of Week In Operation (Circle): Su

Number of Employees Per Day: Existing 25 Proposed 40

Number of Customers Per Day (Estimated): Existing 25 Proposed 40

Predicted Peak Operating Hour: 10:00am - 5:00pm

Describe Any Truck Delivery Schedule & Operations: FedEx, UPS, etc

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees
 (Provide Separate Attachment if Necessary): None required

Describe Any Special Events Planned for the Facility: None

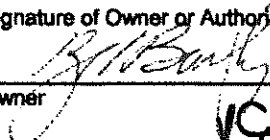

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - Existing & proposed structures
 - Loading/unloading areas
 - All existing & proposed site features
 - Adjacent street names
 - Accessible path of travel from right of way
 - Site dimensions, including building
 - Refuse enclosures & containers
 - Accessible path of travel from ADA stall
 - Existing and proposed fencing at site
 - Valley oak trees (show drip line)
 - Location and width of drive approaches to site
 - Public Improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed landscaping
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
 - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Robert Vermeltoort</u>	Signature of Owner or Authorized Agent*	
Address: <u>8525 N Cedar Ave, Suite 106</u>		<u>5-24-21</u>
City, State, Zip <u>Fresno, CA 93720</u>	Owner	Date
Phone: <u>(559) 432 - 6744</u>		<u>5-24-21</u>
Email: <u>rcv@vaifresno.com</u>	Authorized Agent*	Date

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:



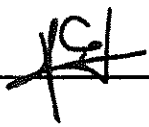
I, Ryan Bailey, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):
089-111-034

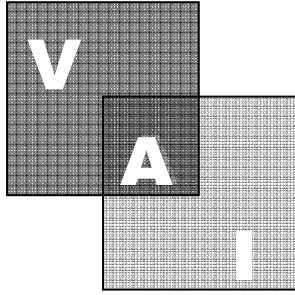
AGENT:

I designate Robert Vermeltoort, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 24th day of May, 2021.

OWNER	Signatures	AGENT
<p>Signature of Owner </p> <p>Ryan Bailey, Managing Member Hyde III-LLC</p> <p>Owner Mailing Address <u>Hyde Commercial Real Estate</u> <u>3330 W Mineral King Ave, Suite 'F'</u> <u>Visalia, CA 93291</u></p> <p>Owner Phone Number <u>(559) 739-9900</u></p>	<p></p> <p></p>	<p>Signature of Agent</p> <p>Agent Mailing Address <u>8525 N Cedar Ave, Suite 106</u> <u>Fresno, CA 93720</u></p> <p>Agent Phone Number <u>(559) 432 - 6744</u></p>



Vermeltfoort Architects Inc.
Architecture and Planning

MEMORANDUM

DATE: 5/24/2021

TO: City of Fresno

FROM: Robert Vermeltfoort

RE: Operational Statement for 3130 W Main St, Visalia, CA

VAI PROJECT #: 21014

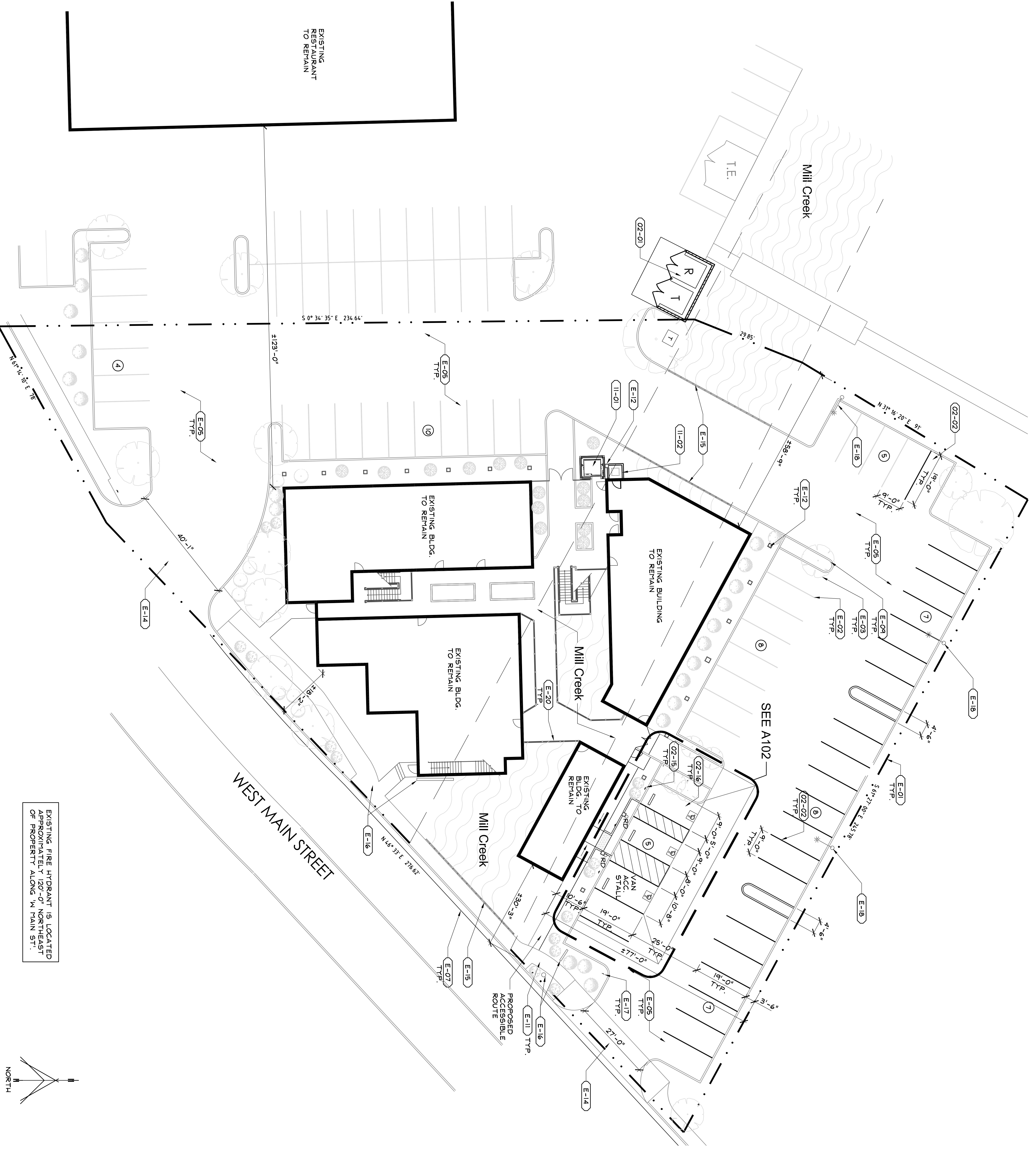
Operational Statement

This submittal consists of site improvements within an existing property. This project is being submitted by Robert Vermeltfoort of Vermeltfoort Architects, Inc. The proposed site improvement includes addition of an elevator, an accessible path of travel from right of way, an accessible path of travel from ADA stall, addition of a new trash enclosure and minor modification of existing parking stalls. Zoning of the existing building is 'Professional/Administrative Office' and the General land use is 'Office'.

This is an existing site with an existing office building, no changes are being proposed to the building at this time. There will be no major negative impact to traffic as this is an already established building with existing clientele. Existing offices have regular business hours from 8:00am – 6:00pm Monday thru Friday and limited hours on Saturdays. Deliveries will be by a standard size delivery truck (FedEx, UPS, etc.), and will be during normal business hours.

If you have any questions, please do not hesitate to contact this office.

Thanks,
Robert Vermeltfoort



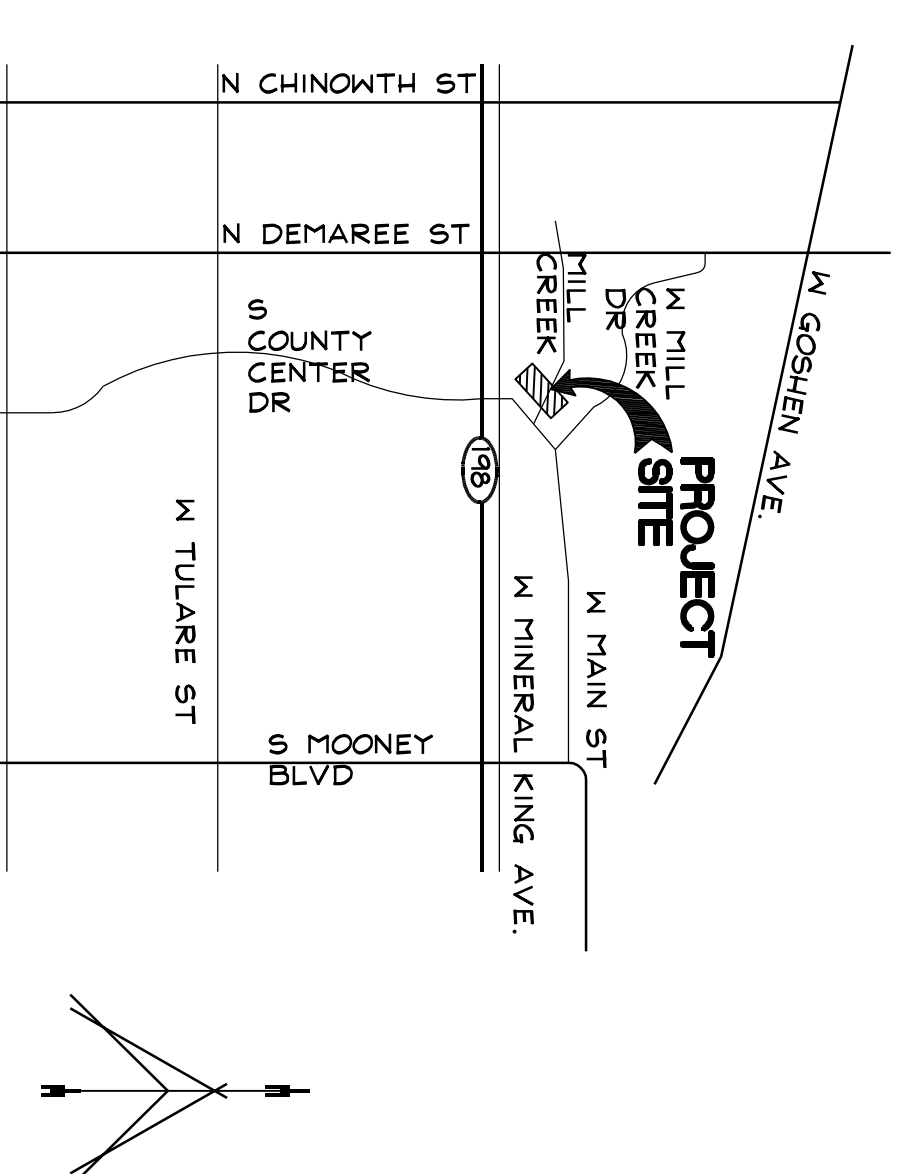
PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

8

VICINITY MAP

4



SITE INFORMATION

KEYNOTES

2

ADDRESS:
3120 - 3130 W MAIN STREET
VISALIA, CA 93291

SITE INFORMATION:
OWNER: OSHTILION
SITE AREA: 116 ACRES (50,529 S.F.)
GENERAL LAND USE: OFFICE
ZONING: PROFESSIONAL/ADMINISTRATIVE OFFICE

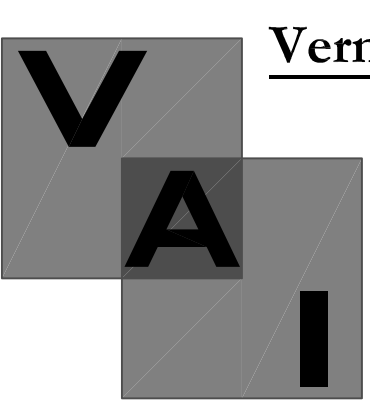
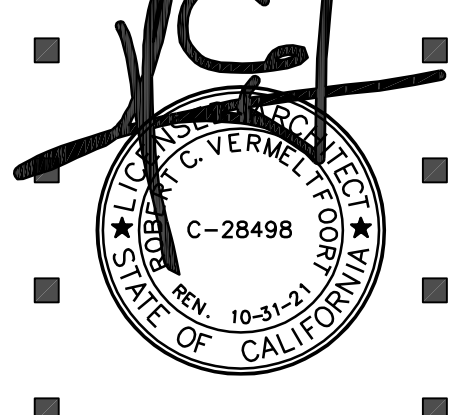
BUILDING INFORMATION:
EXISTING TOTAL BUILDING AREA (1ST & 2ND FLOOR): 20,813 S.F.
PROPOSED TOTAL BUILDING AREA (1ST & 2ND FLOOR): 20,813 S.F.

PARKING INFORMATION:
EXISTING PARKING: 54 STALLS (INCLUDING 1 ACC. STALL)
PROPOSED PARKING: 54 STALLS (INCLUDING 3 ACC. STALL)

- (E-01) EXISTING PROPERTY LINE TO REMAIN, PROTECT FROM DAMAGE
- (E-02) EXISTING PARKING LOT STRIPING PER CITY STANDARDS, TO REMAIN, PROTECT FROM DAMAGE.
- (E-03) EXISTING LANDSCAPING TO REMAIN, PROTECT FROM DAMAGE.
- (E-05) EXISTING AC PAVING TO REMAIN, PROTECT FROM DAMAGE.
- (E-06) EXISTING CURB & GUTTER PER CITY STANDARDS TO REMAIN, PROTECT FROM DAMAGE.
- (E-07) EXISTING PLANTER TO REMAIN, PROTECT FROM DAMAGE.
- (E-09) EXISTING SIDEWALK PER CITY STANDARDS TO REMAIN, PROTECT FROM DAMAGE.
- (E-11) EXISTING DRIVE APPROACH PER CITY STANDARDS TO REMAIN, PROTECT FROM DAMAGE.
- (E-12) EXISTING DRIVE APPROACH PER CITY STANDARDS TO REMAIN, PROTECT FROM DAMAGE.
- (E-13) EXISTING DRIVE APPROACH PER CITY STANDARDS TO REMAIN, PROTECT FROM DAMAGE.
- (E-14) EXISTING DRIVE APPROACH PER CITY STANDARDS TO REMAIN, PROTECT FROM DAMAGE.
- (E-15) EXISTING DRIVE APPROACH PER CITY STANDARDS TO REMAIN, PROTECT FROM DAMAGE.
- (E-16) EXISTING DRIVE APPROACH PER CITY STANDARDS TO REMAIN, PROTECT FROM DAMAGE.
- (E-17) EXISTING DRIVE APPROACH PER CITY STANDARDS TO REMAIN, PROTECT FROM DAMAGE.
- (E-18) EXISTING DRIVE APPROACH PER CITY STANDARDS TO REMAIN, PROTECT FROM DAMAGE.
- (E-20) EXISTING DRIVE APPROACH PER CITY STANDARDS TO REMAIN, PROTECT FROM DAMAGE.
- (02-01) TRASH ENCLOSURE, PER CITY STANDARDS.
- (02-02) PARKING STALLS, PER CITY STANDARDS.
- (02-15) ACCESSIBLE STALL SIGNAGE.
- (02-16) ACCESSIBLE STALL STALLS PER CBC 2019 & CITY OF VISALIA REQUIREMENTS.
- (11-01) PROPOSED PRE-FABRICATED MODULAR ELEVATOR, MODEL # HM-1-2500
- (11-02) ELEVATOR EQUIPMENT ROOM.

ISSUE DATE: 5-1-21
REV. DATE:
PROJECT NO.: 21014
DRAWN BY: RB
SHEET: A101

MILL CREEK OFFICE BLDG. AT HYDE PARK
3130 W MAIN STREET, VISALIA, CA 93291
PROPOSED SITE PLAN



Vermeltoort Architects, Inc.
Architecture and Planning
8525 North Cedar Avenue Suite 106
Fresno, California 93720
Office: 559.432.6744
Email: rv@vaifresno.com

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ENLARGED SITE PLAN - ACCESSIBLE STALL

SCALE: 1/4"=1'-0"

8

4

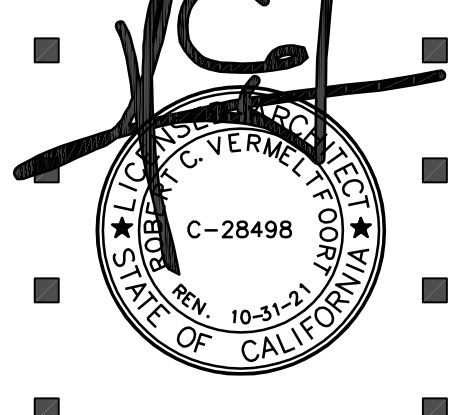
- E-02) EXISTING PARKING LOT STRIPING PER CITY STANDARDS, TO REMAIN, PROTECT FROM DAMAGE.
- E-03) EXISTING LANDSCAPING TO REMAIN, PROTECT FROM DAMAGE.
- E-05) EXISTING AC PAVING TO REMAIN, PROTECT FROM DAMAGE.
- E-07) EXISTING CURB & GUTTER PER CITY STANDARDS TO REMAIN, PROTECT FROM DAMAGE.
- E-09) EXISTING PLANTER TO REMAIN, PROTECT FROM DAMAGE.
- E-11) EXISTING SIDEWALK PER CITY STANDARDS TO REMAIN, PROTECT FROM DAMAGE.
- E-12) EXISTING COLUMN TO REMAIN, PROTECT FROM DAMAGE.
- E-15) EXISTING 6" TALL CHAIN LINK FENCE TO REMAIN, PROTECT FROM DAMAGE.
- E-16) EXISTING SITE UTILITY TO REMAIN, PROTECT FROM DAMAGE.
- E-20) EXISTING BUILDING FEATURES TO REMAIN, PROTECT FROM DAMAGE.
- 02-02) \curvearrowright PARKING STALLS PER CITY STANDARDS.
- 02-03) \curvearrowright REMOVE/OVERLAY AC PAVING, SLOPE NEW AC PAVING.
- 02-15) \curvearrowright ACCESSIBLE STALL SIGNAGE.
- 02-16) \curvearrowright ACCESSIBLE STALL STALLS PER CBC 2014 & CITY OF VISALIA REQUIREMENTS, SLOPE NOT TO EXCEED 2% IN ALL DIRECTION.

KEYNOTES

2	
3	

Vermelfort Architects, Inc.
 Architecture and Planning
 8525 North Cedar Avenue Suite 106
 Fresno, California 93720
 Office: 559.432.6744
 Email: rv@vaifresno.com

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MILL CREEK OFFICE BLDG. AT HYDE PARK
 3130 W MAIN STREET, VISALIA, CA 93291
 ENLARGED SITE PLAN-ACCESSIBLE STALL

ISSUE DATE: 5-1-21
 REV. DATE:
 PROJECT NO.: 21014
 DRAWN BY: RB
 SHEET: A102

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440.



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

Site Plan Review meetings are held on Wednesdays at 9:00 a.m. online utilizing Microsoft Teams. The applicant or representative must be present.

Application submittal deadline are Thursday at 4:00 p.m. to be scheduled for the next available meeting.

GENERAL PROJECT INFORMATION

Project/Business Name: Edeniq, Inc. Date: 12/29/22

Project Description: Tenant improvement in an existing building.

Site Plan Review Resubmittal: Yes No ~~If Resubmittal~~, Previous Site Plan Review Number: 22-021 Ref R+P

Property Owner: PCS Nevada, LLC

Applicant(s) Name: Paul O'Neal

Project Address/Location: 1141 N. Nevada St.

Assessor Parcel Number: 0 8 1 - 1 0 0 - 0 5 6

Parcel Size (Acreage or Square Feet): 33,170 SF Building or Suite Square Footage: 11,875 SF

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ 550,000.00

Describe All Proposed Building Modifications: Convert existing warehouse into interior working space for testing laboratory. New power, lighting, HVAC and plumbing.

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 12/29/2022

SPR Agenda: 1/4/2023 Item No. _____

Zone: 1 SPR No. 22-201

Historic District: Yes No

Flood Zone: X AE X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Vacant

Proposed Building Use: Testing Laboratory *Operational Statement Attached*

Proposed Hours of Operation: 7 am - 6 pm

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing 10 Proposed 20

Number of Customers Per Day (Estimated): Existing 0 Proposed 0

Predicted Peak Operating Hour: _____

Describe Any Truck Delivery Schedule & Operations: 2 deliveries per day via common carrier

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): _____

Describe Any Special Events Planned for the Facility: _____

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ↪ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ↪ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ↪ Site plan shall provide for and indicate all of the following:
 - North arrow
 - All existing & proposed site features
 - Site dimensions, including building
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
 - Adjacent street names
 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: **Paul O'Neal**
 Address: **7310 N. Remington Ave.**
 City, State **Fresno, CA 93711**
 Phone: **559-225-2500**
 Email: **po@pickettandsons.com**

Signature of Owner or Authorized Agent*

Owner _____

 Authorized Agent* _____

_____ Date
 12/29/22 Date

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, _____, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

AGENT:

I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20____.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number



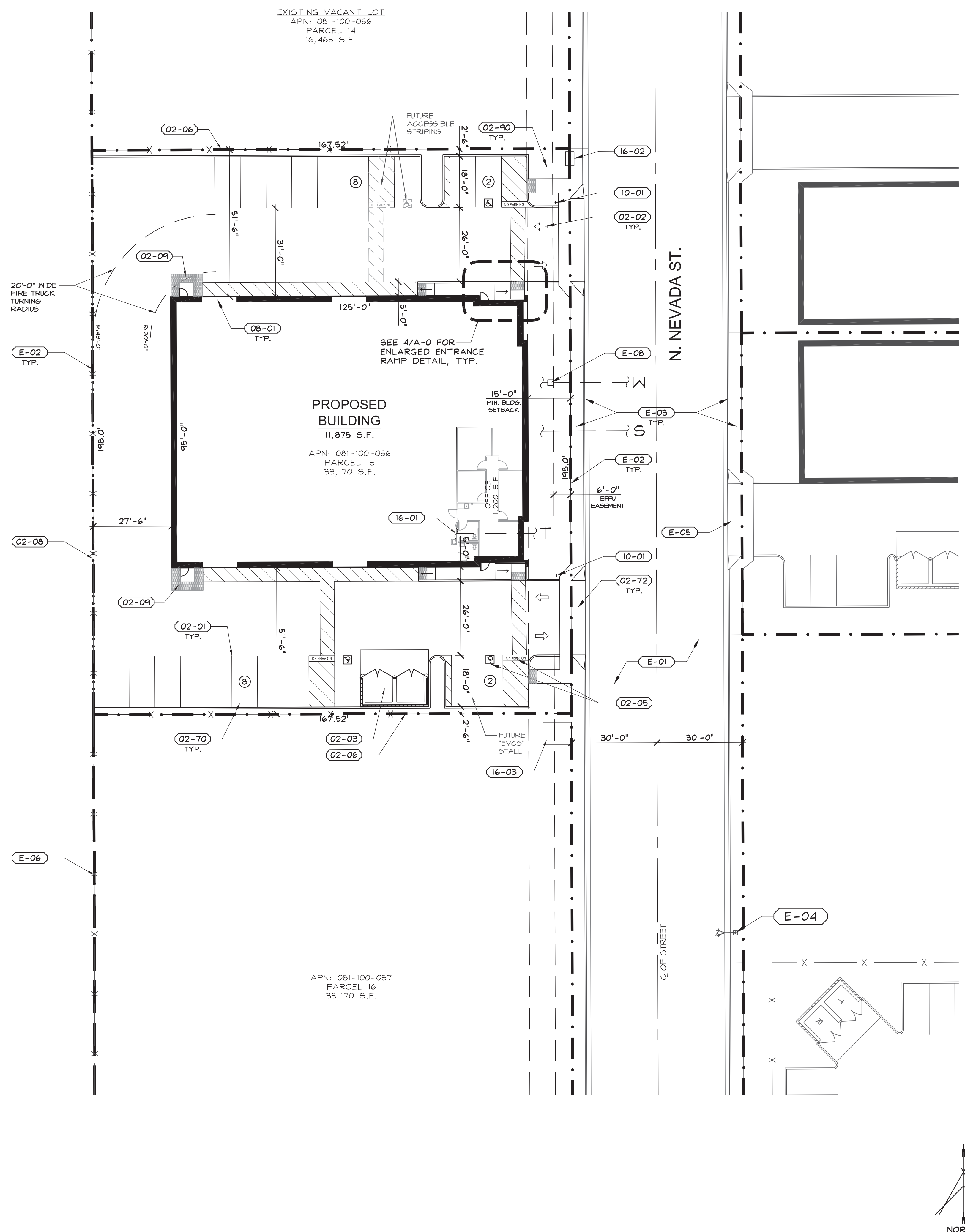
Edeniq, Inc. Operational Statement (December 2022)

Edeniq, Inc provides analytical chemistry services to corn ethanol producers throughout the United States. Corn-derived samples are collected at customer locations, frozen, and shipped to the Edeniq lab in Visalia. Edeniq then uses its proprietary analytical chemistry methods to quantify the various carbohydrate compositions in the samples. The data are then used to determine renewable fuel credits under programs administered by the United States EPA, the California Air Resource Board, and the Internal Revenue Service. These credits have significant economic value for ethanol producers and are meant to stimulate the production of renewable transportation fuels.

Edeniq is currently located at 6910 W. Pershing Court in Visalia where it currently employs 21 scientists, technicians, and administrative staff. It plans to expand its operations into a second facility at 1141 N. Nevada Street in Visalia to accommodate its ongoing and planned growth. It initially will employ approximately 10 individuals at the new site with approximately 20 total employees longer term. All chemical analyses are conducted using Standard Operating Procedures and commercially available reagents and equipment. Small quantities of regulated waste will be generated and these will be disposed using a licensed transportation and disposal firm. A laboratory safety program will also be implemented at the new facility to protect workers and the environment. It is not expected that customers or members of the public will visit the site, other than delivery or service personnel. Normal working hours will be Monday – Friday, 7 AM to 6 PM. Deliveries of samples and materials typically occur once or twice daily via UPS or FedEx.

The CEO of Edeniq is Mr. Brian Thome. Day-to-day operations in Visalia are managed by Edeniq's CTO, Daniel Michalopoulos, a PhD chemist with 30 years of industrial R&D and management experience, and Edeniq's CFO, Ray Owen, who has more than 30 years of accounting and finance experience as a Chief Financial Officer, Controller, Auditor and Appraiser.

- NO USES OF LAND, BUILDINGS OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.
- THE BACK FLOW DEVICE SHALL BE SCREENED BY LANDSCAPING OR SUCH OTHER MEANS AS MAY BE APPROVED.
- TREES SHALL BE MAINTAINED IN GOOD HEALTH. HOWEVER, TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE & PUBLIC SAFETY OR AS MAY OTHERWISE BE APPROVED BY THE DEVELOPMENT DEPARTMENT.
- LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- PRIOR TO FINAL INSPECTION, A WRITTEN CERTIFICATION, SIGNED BY A LANDSCAPE PROFESSIONAL APPROVED BY THE DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING & IRRIGATION SYSTEM WAS INSTALLED IN ACCORDANCE W/ THE LANDSCAPING & IRRIGATION PLANS APPROVED BY THE PLANNING DIVISION, DEVELOPMENT DEPARTMENT.
- ALL ACCESSIBLE STALLS SHALL BE MARKED TO COMPLY W/ & MEET THE REQUIREMENTS OF CBC.
- LIGHTING WHERE PROVIDED TO ILLUMINATE PARKING, SALES OR DISPLAY AREAS SHALL BE HOODED & SO ARRANGED & CONTROLLED SO AS NOT TO CAUSE A NUISANCE EITHER TO HIGHWAY TRAFFIC OR TO THE LIVING ENVIRONMENT. THE AMOUNT OF LIGHT SHALL BE PROVIDED ACCORDING TO THE STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS.
- SIGNS ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT. SUBMIT FOR SEPARATE SIGN REVIEW.
- ALL CONSTRUCTION WORK ON THIS PROJECT IS SUBJECT TO INTERRUPTION IF ROAD SYSTEM BECOMES IMPASSABLE FOR FIRE APPARATUS DUE TO RAIN OR OTHER OBSTACLES.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
- CONTRACTOR SHALL GIVE THE CITY TWO WORKING DAYS NOTICE BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY &/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-642-2444.
- FIRE HYDRANTS SHALL BE TESTED & APPROVED & ALL SURFACE ACCESS ROADS SHALL BE INSTALLED & MADE SERVICEABLE PRIOR TO & DURING CONSTRUCTION.
- APPROVAL OF THIS SPECIAL PERMIT MAY BECOME NULL & VOID IN THE EVENT THAT DEVELOPMENT IS NOT COMPLETED IN ACCORDANCE W/ ALL THE CONDITIONS & REQUIREMENTS IMPOSED ON THIS SPECIAL PERMIT, THE ZONING ORDINANCE, & ALL PUBLIC WORKS STANDARDS & SPECIFICATIONS. THE CITY OF RED BLUFF SHALL NOT ASSUME RESPONSIBILITY FOR ANY DELETIONS OR OMISSIONS RESULTING FROM THE SPECIAL PERMIT REVIEW PROCESS OR FOR ADDITIONS OR ALTERATIONS TO CONSTRUCTION PLAN NOT SPECIFICALLY SUBMITTED & REVIEWED & APPROVED PURSUANT TO THIS SPECIAL PERMIT OR SUBSEQUENT AMENDMENTS OR REVISIONS.
- FUTURE FENCES SHALL BE REVIEWED & APPROVED BY THE PLANNING & DEVELOPMENT DEPARTMENT PRIOR TO INSTALLATION.
- ALL ACCESSIBLE PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRATEGIC AREAS WHERE THE PERSONS W/ DISABILITIES SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM ACCESSIBLE PARKING STALLS & RAMPS.
- IF ARCHAEOLOGICAL &/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.
- IF THERE ARE SUSPECTED HUMAN REMAINS, THE TEHAMA COUNTY CORNER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE: (916) 653-4022) SHALL BE IMMEDIATELY CONTACTED, & THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/NORTHEAST INFORMATION CENTER (PHONE: (530) 298-6256) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT, THE SITE SHALL BE FORMALLY RECORDED, & RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
- IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGIST. A PALEONTOLOGIST SHALL CONDUCT AN ASSESSMENT & IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
- TWO MEANS OF INGRESS/EGRESS MUST BE PROVIDED. THIS ACCESS MUST BE MAINTAINED DURING ALL PHASES OF DEVELOPMENT. THE DEVELOPER SHALL SHOW ON THE FINAL BUILDING PLANS A MIN. 20 FOOT WIDE ALL-WEATHER EMERGENCY ACCESS W/ AN OVERHEAD CLEARANCE OF 13'-6" WITHIN 150 FEET OF ALL BUILDINGS ON THE PROJECT SITE. THE FIRE DEPT. MUST APPROVE THE FINAL LOCATION & DESIGN OF THE ACCESS PRIOR TO BUILDING PERMITS BEING ISSUED. THIS ACCESS SHALL BE CONSTRUCTED BEFORE BUILDING OCCUPANCY WILL BE GRANTED.
- DESIGNATE HIGHLIGHTED CURBS AS FIRE LANES (RED CURBS W/ "FIRE LANE" STENCILED IN 3" LETTERS EVERY 50').
- FIRE HYDRANTS & ACCESS ROADS SHALL BE INSTALLED, TESTED & APPROVED & SHALL BE MAINTAINED SERVICEABLE PRIOR & DURING ALL PHASES OF DEVELOPMENT.
- DEEDS ARE REQUIRED TO PROVIDE EASEMENTS TO THE CITY FOR REQUIRED PUBLIC IMPROVEMENTS. THEY SHALL BE PREPARED BY THE OWNER/DEVELOPER'S ENGINEER. EXECUTED COPIES SHALL BE SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- ANY WORK OR PLACEMENT OF EQUIPMENT OR MATERIAL OCCURRING IN PUBLIC RIGHT-OF-WAY WILL REQUIRE AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPT.
- ALL NEW UTILITY SERVICES SHALL BE CONSTRUCTED UNDERGROUND.



- E-01 EXIST. PAVING TO REMAIN.
 - E-02 EXIST. PROPERTY LINE TO REMAIN.
 - E-03 EXIST. CONC. CURB & SIDEWALK TO REMAIN.
 - E-04 EXIST. LIGHT POLE TO REMAIN.
 - E-05 EXIST. DRIVEWAY TO REMAIN.
 - E-06 EXIST. CHAIN-LINK FENCING TO REMAIN, PROTECT FROM DAMAGE.
 - E-07 EXIST. FIRE HYDRANT TO REMAIN.
 - E-08
- 02-01 R PARKING LOT STRIPING PER CITY STANDARDS.
 - 02-02 R DIRECTIONAL ARROW STRIPING, PER CITY STANDARDS.
 - 02-03 R TRASH ENCLOSURE, PER CITY STANDARD R-3.
 - 02-04 R CONC. RAMP W/ TRUNCATED DOMES.
 - 02-05 R ACCESSIBLE PARKING STALL - PROVIDE 12" HIGH LETTER "NOT PARKING" & 3'-0" SQ. SYMBOL.
 - 02-06 R CHAIN-LINK FENCING, WITH PRIVACY SLATS, 6'-0" TALL.
 - 02-09 5'x5' LEVEL LANDING W/ 3' TRUNCATED DOMES SURROUNDING.
 - 02-70 R AC PAVING, SEE CIVIL DRAWINGS.
 - 02-71 R CONC. SIDEWALK, SEE CIVIL DRAWINGS.
 - 02-72 R 30'-0" DRIVE APPROACH, SEE CIVIL DRAWINGS.
 - 02-90 R LANDSCAPING, SEE LANDSCAPE DRAWINGS.
 - 08-01 ROLL-UP DOOR (6), CENTERED WITHIN THE 25'-0" BAYS.
 - 10-01 R "UNAUTHORIZED VEHICLE" SIGN, SEE 13/A101.
 - 16-01 (1) 4" PVC W/ MULE TAPE. PROVIDE A 4x8x3/4" PLYWOOD BACKBOARD W/ A SOLID #6 COPPER GROUND AND A QUAD 110V POWER OUTLET.
 - 16-02 3x5x4" SPLICE BOX AT PROPERTY LINE. AT 1' TO PLACE CONDUITS FROM M.H. 443 AND TIE INTO THE SPLICE BOX.
 - 16-03 TRANSFORMER ON CONC. SLAB.

EXISTING BUILDING
SPR# 22-021
PERMIT# B22-2227

KEYNOTES 2

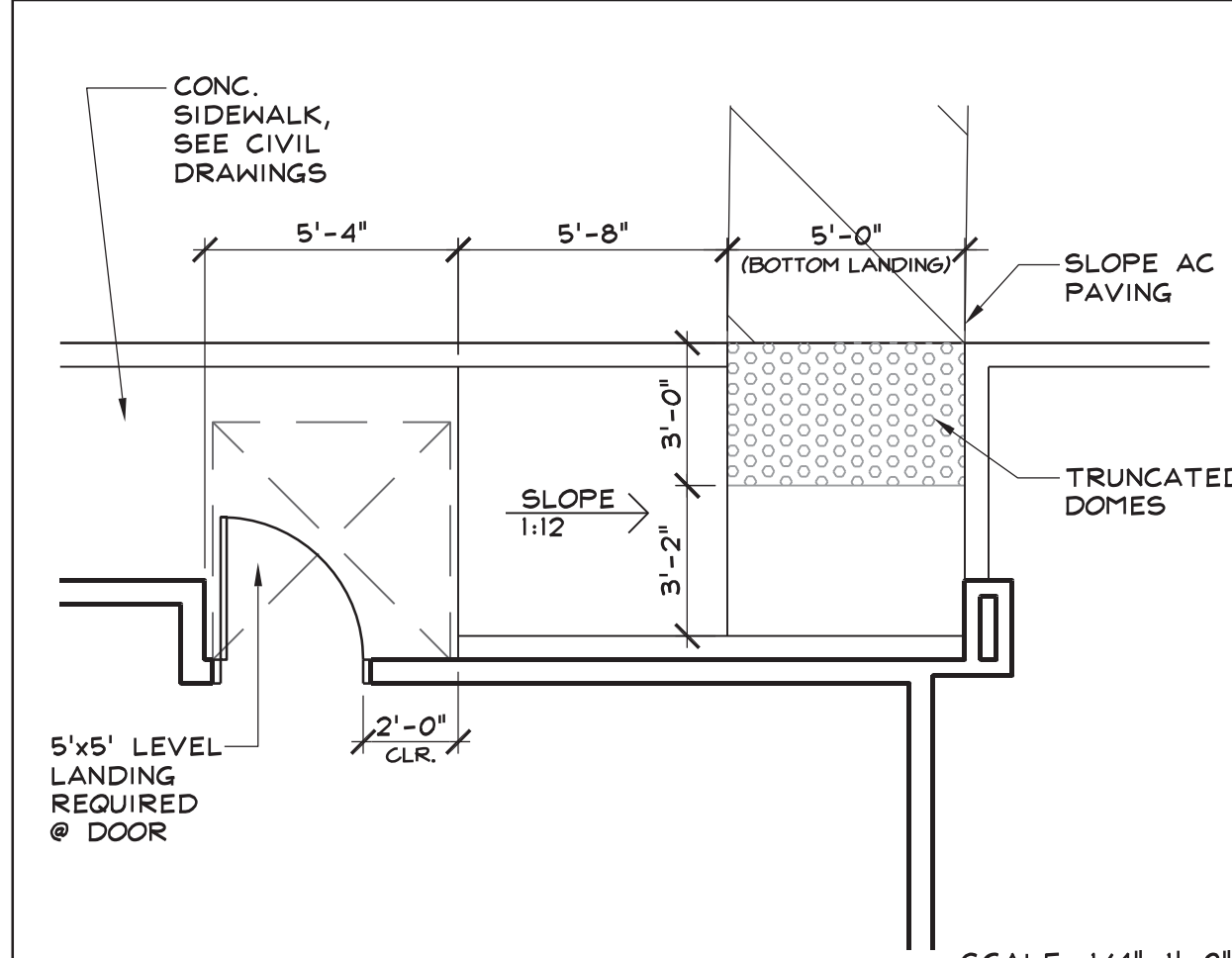
ADDRESS:
1141 N. NEVADA STREET
VISALIA, CALIFORNIA 93291

SITE INFORMATION:
APN: 081-100-056
SITE AREA: 0.76 ACRES (33,170 S.F.)
ZONING: LI - LIGHT INDUSTRIAL
EXIST. LAND USE: VACANT PARCEL
GENERAL PLAN: LIGHT INDUSTRIAL

BUILDING:
AREA: 11,875 S.F.
LOT COVERAGE: 35.8%

PARKING:
PROVIDED: 24 STALLS
+ 3 ACCESSIBLE STALLS

SITE INFORMATION 3



PICKETT & SONS
CONSTRUCTION, INC.
LIC. NO. 283723

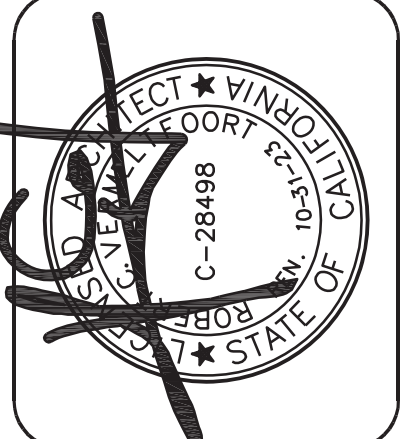
PARCEL #15

1141 N. NEVADA ST.
VISALIA, CA 93291
APN: 081-100-056

Project Location:

11,875 S.F. BUILDING
W/ 1,200 S.F. OFFICE

Project Title:

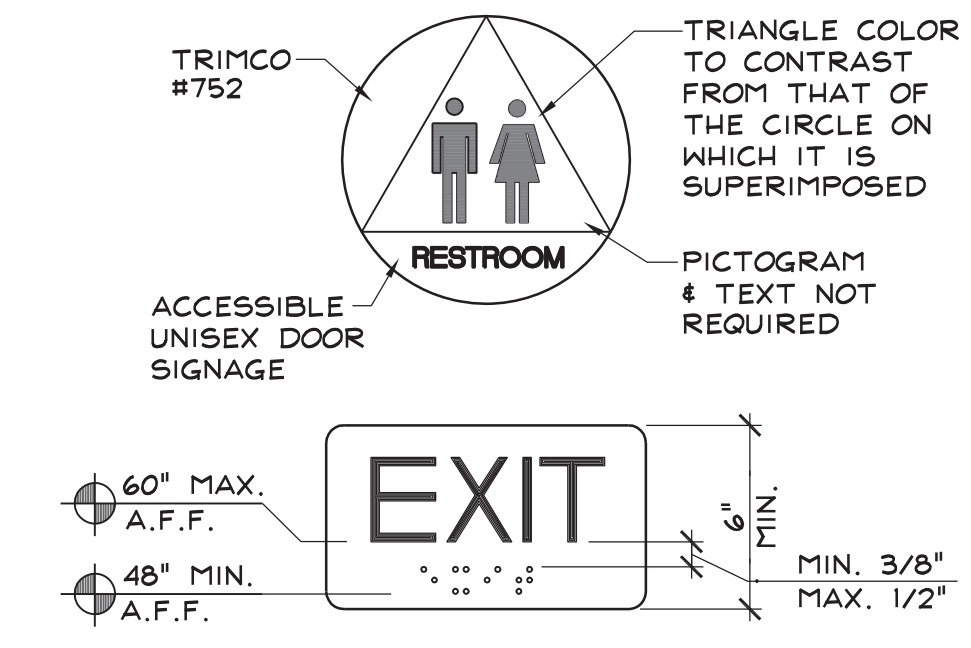


Revisions		
#	Description	Date
1	BACK CHECK	7/15/22

DATE: APRIL 1, 2022

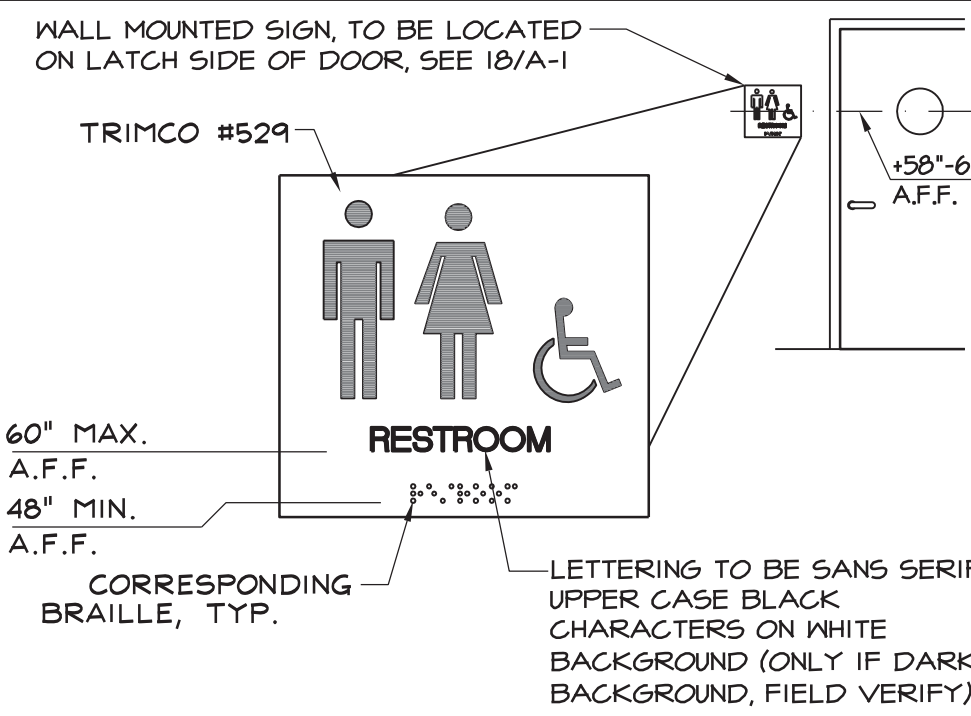
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A-0



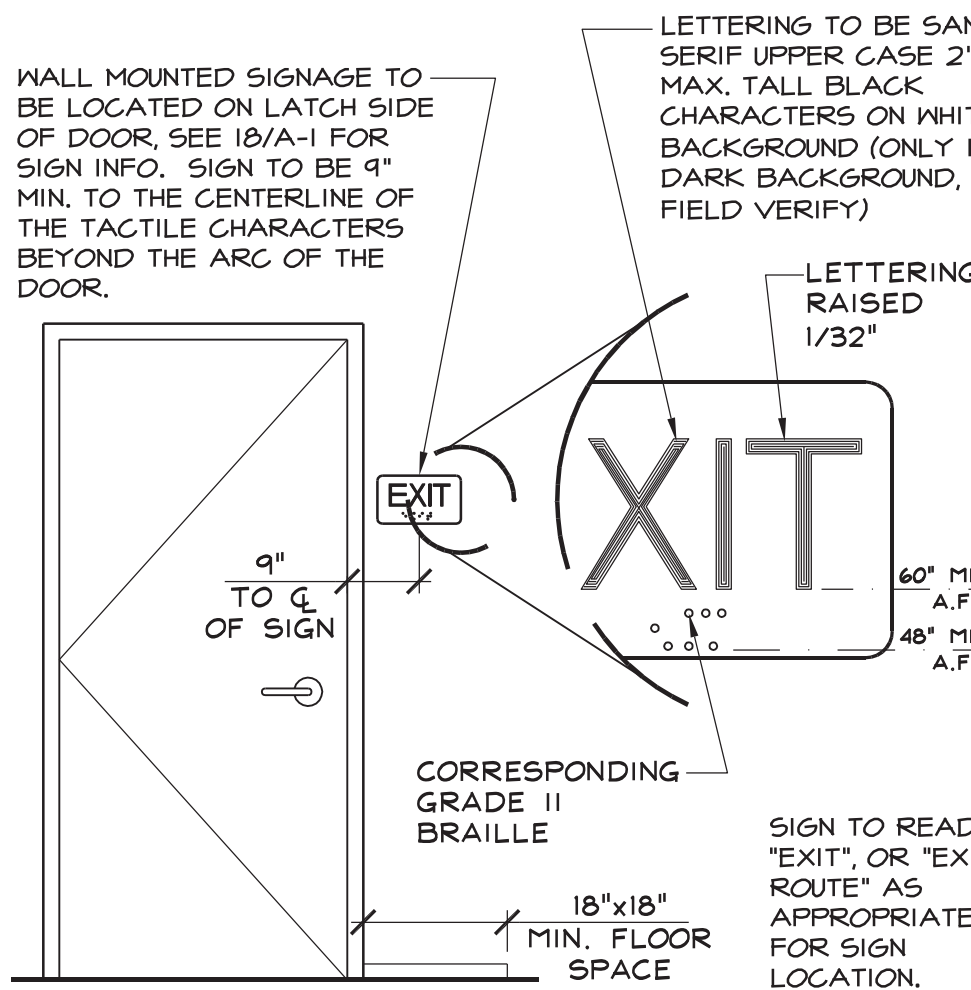
- **DOOR SYMBOL SHALL CONTRAST W/ THE DOOR FINISH.**
- EDGES OF SIGNS SHALL BE ROUNDED, CHAMFERED OR EASED & CORNERS OF SIGNS SHALL HAVE A MINIMUM RADIUS OF 8".
 - MEN'S SANITARY FACILITIES SHALL BE IDENTIFIED BY AN EQUILATERAL TRIANGLE, WITH EDGES 12" LONG AND A VERTEX POINTING UPWARD.
 - WOMEN'S SANITARY FACILITIES SHALL BE IDENTIFIED BY A CIRCLE, 12" IN DIAMETER.
 - UNISEX SANITARY FACILITIES SHALL BE IDENTIFIED BY A CIRCLE, 12" IN DIAMETER WITH A TRIANGLE SUPERIMPOSED ON THE CIRCLE & WITHIN THE 12" DIAMETER.
 - THE DOOR SYMBOL SHALL CONTRAST WITH THE DOOR, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND.
 - CONSTRUCT SIGNS FROM 1/4" THICK PLASTIC, SILK SCREENED OR HEAT STAMPED FIGURES, COLORS AS INDICATED IN SPECIFICATIONS & SELECTED BY ARCHITECT.
 - BRAILLE SIGNAGE:**
 - PROVIDE BRAILLE SIGNAGE ON WALL ADJACENT TO ACCESSIBLE DOORS. SIGNS SHALL BE MOUNTED ADJACENT TO THE LATCH SIDE OF DOOR. MOUNTING HEIGHT SHALL BE 60" ABOVE FINISH FLOOR TO THE CENTER OF THE SIGN.
 - SYMBOLS SHALL BE CONTRACTED GRADE II. DOTS SHALL BE 1/8" ON CENTER IN EACH CELL WITH 1/8" SPACE BETWEEN CELLS. DOTS SHALL BE RAISED A MINIMUM OF 1/16" ABOVE BACKGROUND.
 - BRAILLE SHALL BE PLACED A MINIMUM OF 3/8" AND A MAXIMUM OF 1/2" DIRECTLY BELOW THE TACTILE CHARACTERS, FLUSH LEFT OR CENTERED.
 - CHARACTERS, SYMBOLS AND THEIR BACKGROUND SHALL HAVE A NONGLARE FINISH.
 - CHARACTERS ON SIGNS SHALL BE SELECTED FROM FONTS THAT HAVE A WIDTH-TO-HEIGHT RATIO OF BETWEEN 3:5 (60%) & 1:1 (100%) MEASURED BY THE WIDTH OF THE UPPERCASE LETTER "O" & HEIGHT OF THE UPPERCASE LETTER "I" & A STROKE WIDTH-TO-HEIGHT RATIO OF BETWEEN 1:5 (20%) & 1:10 (10%) MEASURED BY THE WIDTH & HEIGHT OF THE UPPERCASE LETTER "I".
 - CHARACTERS ON SIGNS REQUIRED TO BE ACCESSIBLE SHALL BE SIZED ACCORDING TO THE "VISUAL CHARACTER HEIGHT" TABLE PROVIDED BY THE CBC. THE MINIMUM HEIGHT IS MEASURED USING AN UPPERCASE LETTER "I".
 - RAISED CHARACTERS SHALL BE A MINIMUM OF 3/8" HIGH.
 - PICTORIAL SYMBOL SIGNS (PICTOGRAMS) SHALL BE ACCOMPANIED BY THE VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE OUTSIDE DIMENSION OF THE PICTOGRAM FIELD SHALL BE A MINIMUM OF 6" IN HEIGHT.

TACTILE RESTROOM SIGN 19

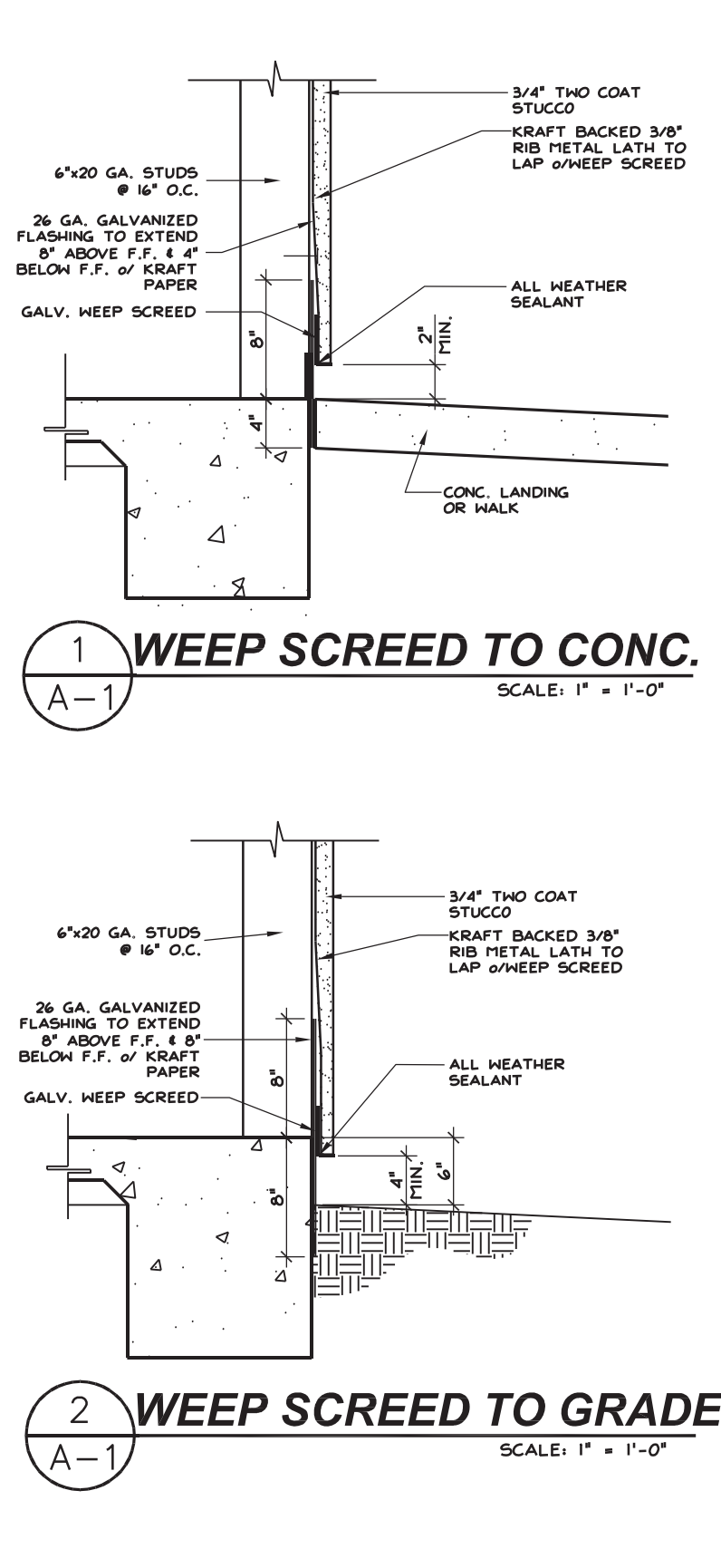
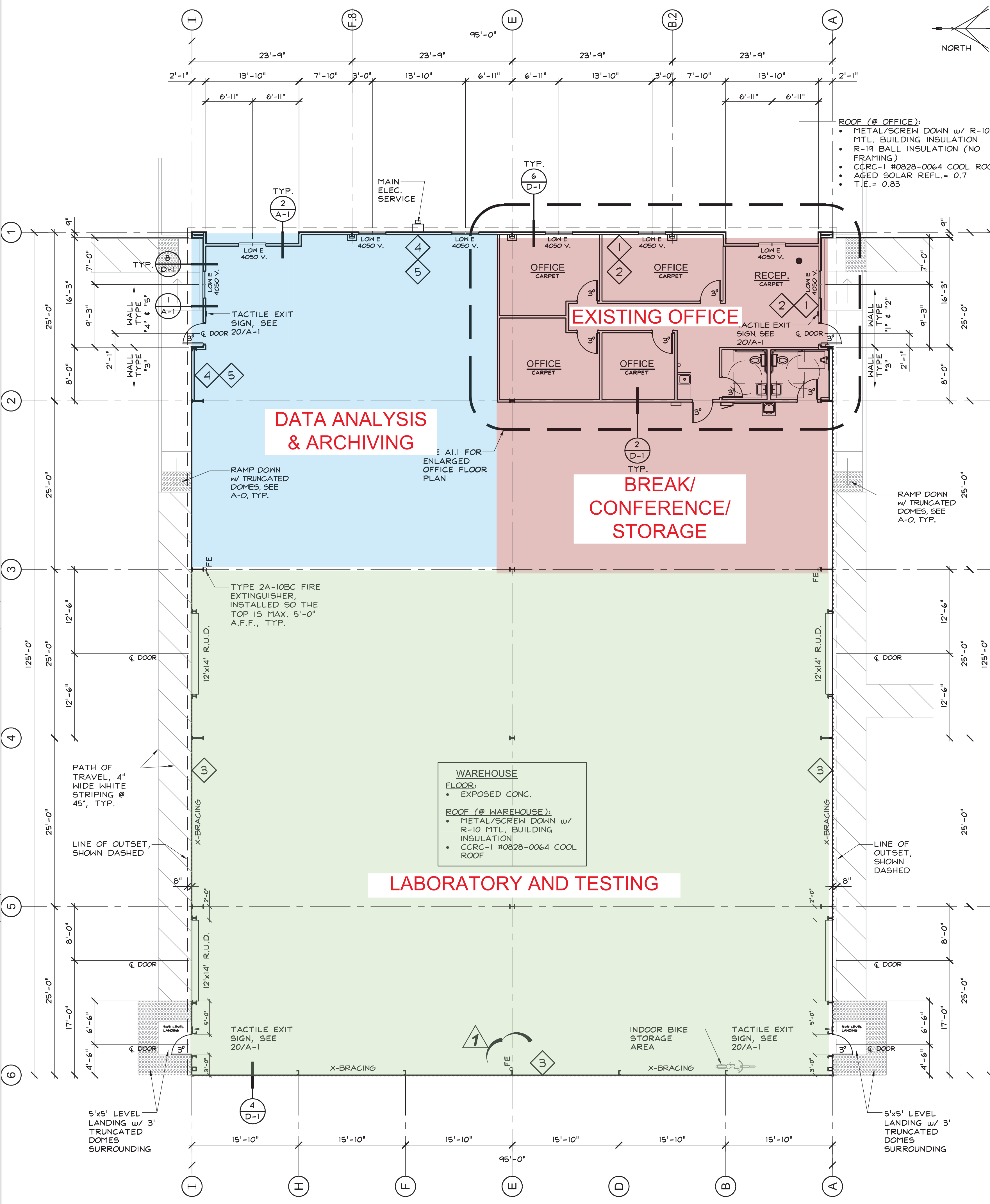


- WALL MOUNTED SIGN, TO BE LOCATED ON LATCH SIDE OF DOOR, SEE 10/A-1
- LETTERING TO BE SANS SERIF UPPER CASE BLACK CHARACTERS ON WHITE BACKGROUND (ONLY IF DARK BACKGROUND, FIELD VERIFY)
- SIGNS W/ RAISED CHARACTERS & BRAILLE SHALL BE LOCATED 48" MIN. A.F.F. MEASURED FROM BASELINE OF THE LOWEST LINE OF BRAILLE, AND 60" MAX. A.F.F. MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS. MOUNTING LOCATIONS SHALL BE SUCH THAT A PERSON MAY APPROACH W/IN 3" OF THE SIGNAGE W/O ENCOUNTERING PROTRUDING OBJECTS OR STANDING W/IN THE DOOR SWING.

TACTILE EXIT SIGN 20



- WALL MOUNTED SIGNAGE TO BE LOCATED ON LATCH SIDE OF DOOR, SEE 10/A-1 FOR SIGN INFO. SIGN TO BE 9" MIN. TO THE CENTERLINE OF THE TACTILE CHARACTERS BEYOND THE ARC OF THE DOOR.
- LETTERING RAISED 1/32"
- SIGN TO READ: "EXIT" OR "EXIT ROUTE" AS APPROPRIATE FOR SIGN LOCATION.



EXISTING BUILDING SPR# 22-021 PERMIT# B22-227

GLAZING INFO:
 EXTERIOR WINDOWS:
 MILGARD TUSCANY DUAL VINYL/FIXED
 U=0.30, SHGC=0.25, VT=0.60

GLASS DOORS:
 SINGLE/METAL/CLEAR
 U=1.25, SHGC=0.60, VT=0.53

SKYLIGHTS:
 LIGHT TRANSMITTING PANEL
 U=1.56, SHGC=1.00, VT=0.60

Proposed Occupancy: B/S-1
 Construction Type: 2N
 Project Area:
 Office: 1,200 S.F.
 Warehouse: 10,675 S.F.
 Total: 11,875 S.F.

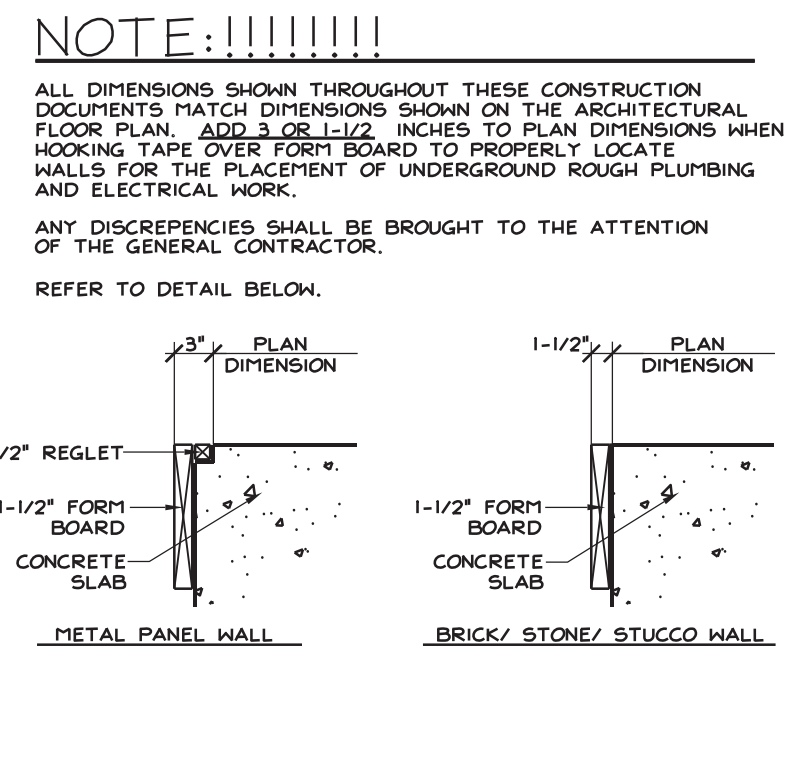
WALL LEGEND 2

- EXTERIOR WALLS**
- WALL TYPE #1: (FLOOR TO +8'-0") METAL SIDING, R-6 MTL. BLDG. INSULATION, R-19 BATT INSULATION, 5/8" GYP. BD. INTERIOR FINISH.
 - WALL TYPE #2: (+8'-0" TO ROOF) METAL SIDING, R-6 MTL. BLDG. INSULATION, R-19 BATT INSULATION.
 - WALL TYPE #3: (FLOOR TO ROOF) METAL SIDING, R-6 MTL. BLDG. INSULATION
 - WALL TYPE #4: (FLOOR TO +8'-0") 7/8" STUCCO, BLDG. PAPER, 3/4" RIGID INSULATION (R-4.7), R-19 MTL. FRAME @ 16" O.C., 5/8" GYP. BD. INTERIOR FINISH.
 - WALL TYPE #5: (+8'-0" TO ROOF) METAL SIDING, R-6 MTL. BLDG. INSULATION
- INTERIOR WALLS**
- WALL TYPE #6: (FLOOR TO +6" ABV. CLG.) 5/8" GYP. BD. (BOTH SIDES), R-21 MTL. FRAME @ 24" O.C.
 - WALL TYPE #7: (+6" ABV. CLG. TO ROOF) 5/8" GYP. BD. (WAREHOUSE SIDE), R-21 MTL. FRAME @ 24" O.C.

NOTES 4

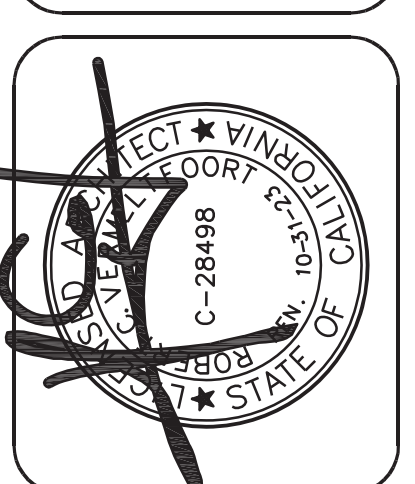
- PROVIDE STREET-VISIBLE ADDRESS WITH MINIMUM 6" HIGH LETTER ON BUILDING PRIOR TO FINAL INSPECTION.
- PROVIDE 5'-0" MINIMUM SIZE LEVEL LANDINGS FOR THE EXTERIOR MAIN DOORS, WITH NO LESS THAN 2' FROM STRIKE SIDE OF DOOR. REGARDLESS OF THE OCCUPANT LOAD SERVED EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- REQUIRED EXIT DOORS SHALL NOT BE EQUIPPED WITH EDGE BOLTS OR SURFACE BOLTS.
- WHEN REQUIRED, EXIT DOORS SHALL BE CLEARLY MARKED WITH "EXIT" MINIMUM 6" HIGH LETTERS.
- OVER STOREFRONT ENTRY DOORS ONLY A SIGN SHALL BE POSTED THAT READS, "THIS DOOR TO REMAIN LOCKED WHEN THIS SPACE IS OCCUPIED". USE 1" HIGH LETTERS ON A CONTRASTING BACKGROUND.
- INSTALL 4'-0" HIGH F.R.P. ON ALL WALLS WITHIN 24" OF FRONT & SIDES OF URINALS OR WATER CLOSETS.
- PROVIDE 5" TOP SET RUBBER BASE AT RESTROOMS.
- INTERIOR WALL COVERING SHALL MEET FLAME SPREAD CLASS III.
- WEATHER STRIP ALL EXTERIOR DOORS AND OPENINGS.
- ALL GLASS SUBJECT TO HUMAN IMPACT SHALL BE APPROVED SAFETY GLAZING MATERIALS CONFORMING TO THE LATEST CBC REQUIREMENTS. ALSO PROVIDE TEMPERED SAFETY GLAZING FOR ALL WINDOWS WITHIN 24" OF ANY DOOR.
- ALL FUTURE TENANTS ARE REQUIRED TO HAVE PLANS SUBMITTED FOR APPROVAL AND BUILDING PERMITS PRIOR TO START OF CONSTRUCTION FOR ANY IMPROVEMENTS.
- PROVIDE PORTABLE FIRE EXTINGUISHER MINIMUM 2A-10BC AS PER NFPA10 FOR EACH SUITE WITH 75' MAXIMUM TRAVEL DISTANCE.
- ALL INSULATION SHALL HAVE A MAXIMUM FLAME SPREAD OF 25 AND A SMOKE RATING OF 450.
- INSTALL 5" SQUARE HANDICAPPED LOGO ON FRONT ENTRY.
- RESTROOMS SHALL BE LABELED FOR BOTH SEXES WITH APPROVED INTERNATIONAL SYMBOLS.
- MAILING TO COMPLY WITH CBC TABLE 25P.
- PROVIDE "NO SMOKING" SIGN, 4" X 10" RED SIGN WITH WHITE LETTERS. SIGN SHALL BE MOUNTED WITH 2 #6 SCREWS. LOCATE SIGN 60" ABOVE FINISHED FLOOR AS PER PLANS.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THIS PERMIT DOES NOT INCLUDE ANY HIGH PILE STORAGE (PER CFC ARTICLE 81) OR RACK STORAGE OVER 8' HIGH. ANY PROPOSED STORAGE WILL REQUIRE PLANS TO BE SUBMITTED FOR REVIEW AND APPROVAL AND ISSUANCE OF PERMITS.
- ALL HALLWAYS TO HAVE A MINIMUM CLEAR WITH OF 44".
- PROVIDE 18" MINIMUM CLEARANCE AT STRIKE SIDE OF ALL INTERIOR DOORS AND 24" AT ALL EXTERIOR DOORS.
- PROVIDE 18" MINIMUM CLEARANCE FROM CENTERLINE OF LAVATORIES TO EDGE OF WALL.
- THE BOTTOM 10" OF ALL DOORS (EXCEPT AUTOMATIC AND SLIDING) SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE.
- NO THUMB LATCHES OR KEYS CYLINDER DEADBOLTS ALLOWED ON ANY DOORS UNLESS OPERATED BY SINGLE ACTION WITH A LEVER.
- PROVIDE APPROVED BRAILLE SIGNAGE ON STRIKE SIDE OF DOOR AT 60" ABOVE FINISHED FLOOR.
- PROVIDE WATERPROOF WASHABLE SURFACES AT INTERIOR RESTROOMS.
- SUBMIT METHOD OF FIRE STOPPING AT PENETRATIONS IN FIRE WALLS TO BUILDING INSPECTOR FOR APPROVAL.
- COMPLY WITH 2018 CBC, CEC, CFC, CEC, AND THE 2019 NONRESIDENTIAL CEC ENERGY STANDARDS.
- PROVIDE TACTILE EXIT BRAILLE SIGNAGE PER CBC 1107.5.
- THE MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS. INTERIOR AND EXTERIOR DOORS.
- EXIT DOOR LOCKS SHALL COMPLY WITH ARTICLE 12 CFC/CHAPTER 10 OF THE CBC.
- PROVIDE EXIT ILLUMINATION SIGNAGE PER CEC 2019.

DIMENSION NOTES 5



PARCEL #15
 1141 N. NEVADA ST.
 VISALIA, CA 93291
 APN: 081-100-056

11,875 S.F. BUILDING W/ 1,200 S.F. OFFICE



Revisions

#	Description	Date
1	BACK CHECK	7/15/22

DATE: APRIL 1, 2022

Sheet No. **A-1**

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -
 - Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: CINNAHOLIC Date: 12/29/22

Project Description: NEW BAKERY

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: CHEVELLA MACK

Applicant(s) Name: MIKE FISTOLERA

Project Address/Location: 204 W MAIN ST

Assessor Parcel Number: 094-323-006

Parcel Size (Acreage or Square Feet): 2605 sf Building or Suite Square Footage: 1800

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ 150,000.00

Describe All Proposed Building Modifications: _____

PLUMBING, LIGHTING, MINOR WALLS

THIS AREA FOR CITY STAFF USE ONLY

Date Received: 12/29/22
 SPR Agenda: 1/04/23 Item No: _____
 Zone: DML SPR No: 22-202
 Historic District: Yes No
 Flood Zone: X AE X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: PAWN SHOP

Proposed Building Use: BAKERY

Proposed Hours of Operation: 5AM-9PM

Days of Week in Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing _____ Proposed 6

Number of Customers Per Day (Estimated): Existing _____ Proposed 1-100

Predicted Peak Operating Hour: 7AM-1PM

Describe Any Truck Delivery Schedule & Operations: MINIMAL

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment If Necessary): N/A

Describe Any Special Events Planned for the Facility: _____

SITE PLAN MINIMUM REQUIREMENTS

Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).

Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.

Site plan shall provide for and indicate all of the following:

- North arrow
- All existing & proposed site features
- Site dimensions, including building
- Existing and proposed fencing at site
- Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
- Existing & proposed structures
- Adjacent street names
- Refuse enclosures & containers
- Valley oak trees (show drip line)
- Existing & proposed landscaping
- Parking stalls (include ADA)
- Loading/unloading areas
- Accessible path of travel from right of way
- Accessible path of travel from ADA stall
- Location and width of drive approaches to site
- Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: MIKE FISTOLERA
 Address: 420 N COURT ST, STE 200
 City, State, Zip VISALIA, CA 93291
 Phone: 559-625-8372
 Email: SONYA@FISTOLERA.COM

Signature of Owner or Authorized Agent*

Mike Fistolera Date 12/29/22
 Owner Authorized Agent*

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

OWNER:

I, CHEVELLA MACK declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

AGENT:

I designate MIKE FISTOLERA to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to DO T.I. FOR BAKERY relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 29TH day of DECEMBER, 2022.

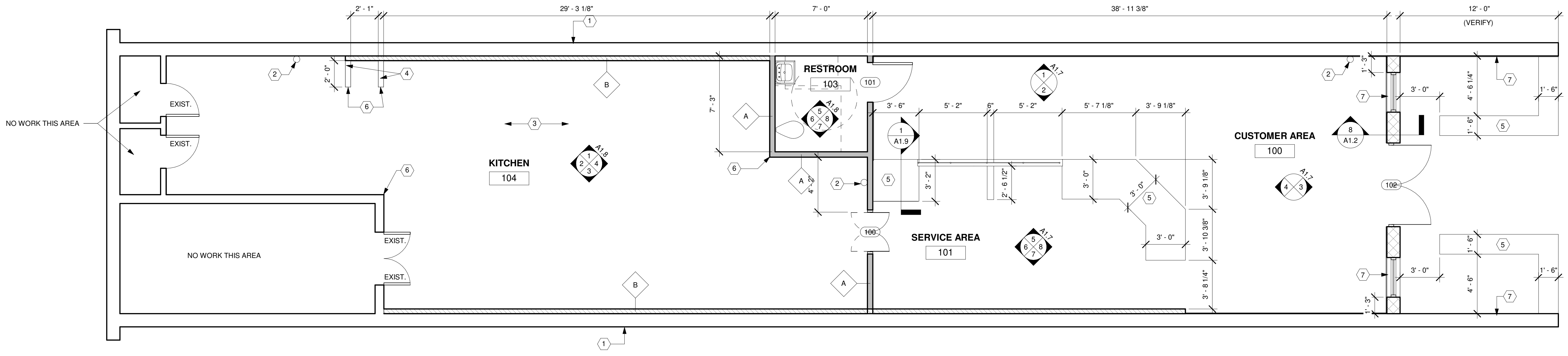
OWNER	AGENT
<u>Chavella Mack</u> Signature of Owner	<u>Mike Fistolera</u> Signature of Agent
<u>2423 W GREEN ACRES DR</u> Owner Mailing Address	<u>420 N COURT ST, STE 200</u> Agent Mailing Address
<u>VISALIA, CA. 93291</u>	<u>VISALIA, CA. 93291</u>
<u>901-515-6440</u> Owner Phone Number	<u>559-625-8372</u> Agent Phone Number

THE CONTENTS OF THIS DRAWING WILL REMAIN THE PROPERTY OF TEDROW DESIGN GROUP. ITS CONTENTS, INCLUDING ALL INFORMATION SHALL NOT BE REPRODUCED USING ANY MEANS WITHOUT EXPRESSED WRITTEN CONSENT AND/OR PERMISSION FROM TEDROW DESIGN GROUP.



2866 ADAMS BROOKWAY
SNELLVILLE, GA 30078
PH. 678.777.9548

TEDROW DESIGN GROUP

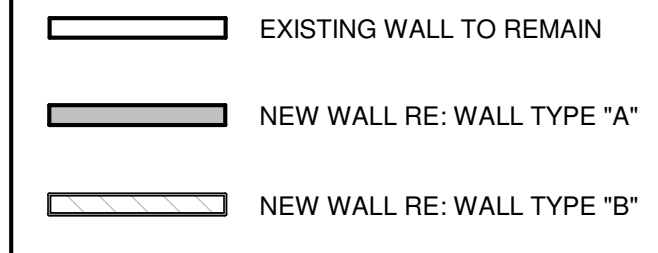


1 FLOOR PLAN
A1.1 1/4" = 1'-0"

FLOOR PLAN NOTES:

- 1 EXISTING TWO-HOUR RATED DEMISING WALL. MAINTAIN INGRETRY OF FIRE RATING WITH ALL NEW WALL PENETRATIONS.
- 2 TYPE 2A-10BC FIRE EXTINGUISHER (BY G.C.) VERIFY EXACT PLACEMENT WITH FIRE INSPECTOR
- 3 AT BACK OF HOUSE WALLS INSTALL 5/8" FRP PLYWOOD WITH FRP1 FINISH TO 8'-0" AND GYP. BD. ABOVE WITH FRP1 FINISH
- 4 LOW WALL AT HOT WATER HEATER PLATFORM RE: DETAILS PAGE A1.8
- 5 CUSTOM MILLWORK (BY EQUIPMENT VENDOR)
- 6 2 X 2 STAINLESS STEEL CORNERS GUARDS AT OUTSIDE CORNERS IN KITCHEN AREA
- 7 NEW STOREFRONT WINDOW. DARK BRONZE ANODIZED FINISH WITH 1" INSULATED TEMPERED GLAZING
- 8 PATCH AND FINISH WALLS AT ENTRYWAY WITH BRICK TO MATCH EXISTING

WALL LEGEND

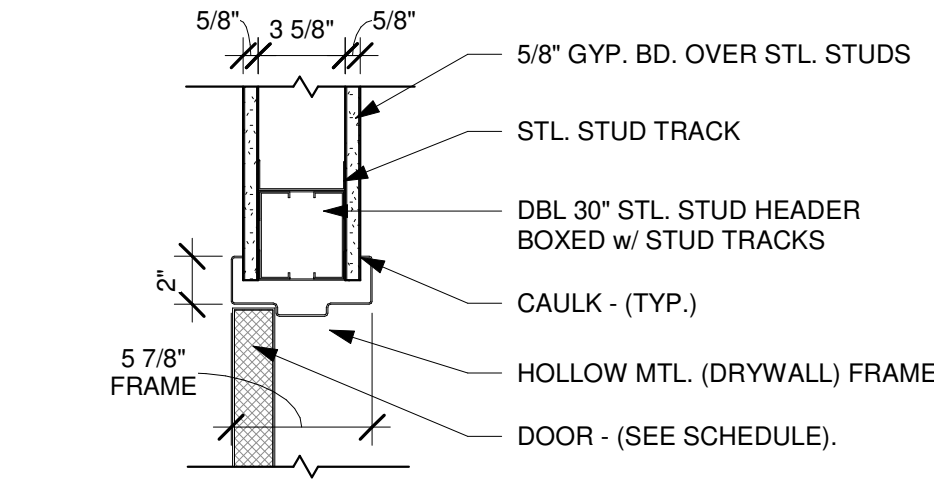


GENERAL NOTES:

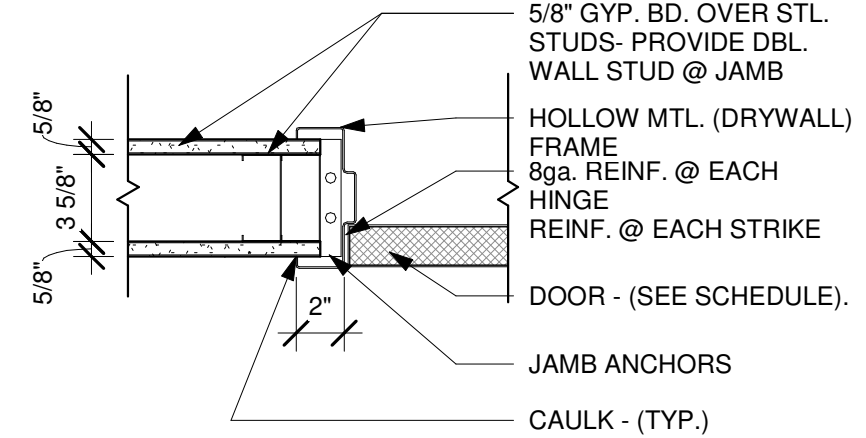
- 1. GENERAL CONTRACTOR SHALL BECOME FAMILIAR WITH ALL CONSTRUCTION RELATED PROCEDURES AND REQUIREMENTS REQUIRED BY LANDLORD.
- 2. G.C. SHALL VISIT JOBSITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE SUBMITTING BID AND/OR FINAL CONSTRUCTION COST TO OWNER. ANY DISPREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT BY THE G.C. PRIOR TO THE START OF ANY WORK.
- 3. G.C. SHALL VERIFY SIZE AND FIT OF EQUIPMENT PRIOR TO INSTALLATION
- 4. G.C. SHALL COORDINATE ALL WORK TO BE PERFORMED AND PROVIDE A CONSTRUCTION SCHEDULE TO THE OWNER. G.C. IS TO COORDINATE WORKING HOURS, DELIVERIES, TRASH REMOVAL, STORAGE, ETC. WITH OWNER.
- 5. APPROVAL OF THESE DRAWINGS BY THE LANDLORD OR BY GOVERNING AUTHORITIES DOES NOT RELEASE THE G.C. FROM COMPLYING WITH ALL APPLICABLE CODES AND STANDARDS.
- 6. G.C. IF FULLY RESPONSIBLE FOR COSTS FOR PERMITS AND LICENSE FEES, UTILITY CONNECTION FEES, AND TRASH REMOVAL FEES.
- 8. G.C. SHALL REMOVE ALL DEBRIS AND LEAVE JOB SITE CLEAN

CONSTRUCTION NOTES:

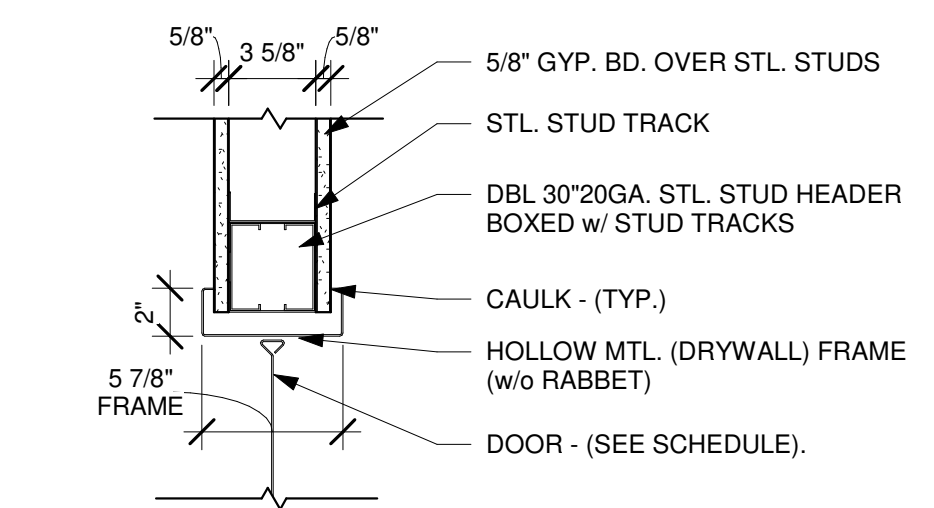
- 1. RE: PLUMBING PLANS FOR LOCATIONS OF FLOOR SINKS AND FLOOR DRAINS.
- 2. SEE FINISH SCHEDULE FOR AND SECTIONS / ELEVATIONS FOR NEW FINISHES
- 3. G.C. SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS.
- 4. ALL SIGNAGE SHOWN IN THESE DRAWINGS IS REPRESENTATIONAL ONLY. OBTAIN SIGN INFORMATION FROM OWNER.
- 5. ALL WOOD IN NON-BEARING CONSTRUCTION TO BE FIRE RETARDANT TREATED WOOD.
- 6. ALL WALL AND CEILING FINISHES TO MEET CLASS "C" / FLOORS TO MEET CLASS II MINIMUMS PER ASTM E-84 STANDARDS.
- 7. ALL CONCRETE PATCHING MUST BE LEVEL WITH THE EXISTING CONCRETE FLOOR.
- 8. REMOVE AND DISCARD ALL ELECTRICAL COMPONENTS NOT RE-USED, INCLUDING CONDUIT, JUNCTION BOXES AND WIRING.
- 9. REMOVE AND DISCARD ALL PLUMBING COMPONENTS NOT RE-USED INCLUDING PIPING, VALVES AND FIXTURES. REMOVE AND CAP GAS, WATER AND SANITARY SEWER LINES NOT RE-USED.
- 10. ALL FLOORING TRANSITIONS TO BE SMOOTH



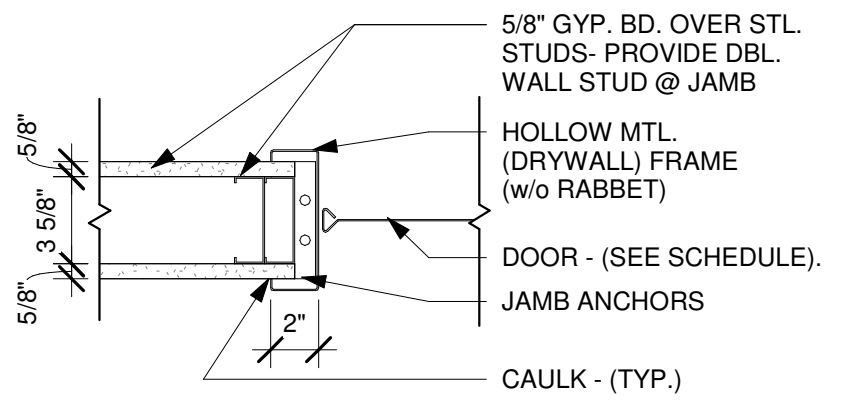
2 DOOR HEAD DETAIL - H.M.
A1.1 1 1/2" = 1'-0"



3 DOOR JAMB DETAIL - H.M.
A1.1 1 1/2" = 1'-0"



4 DOOR HEAD DETAIL - SWINGING
A1.1 1 1/2" = 1'-0"



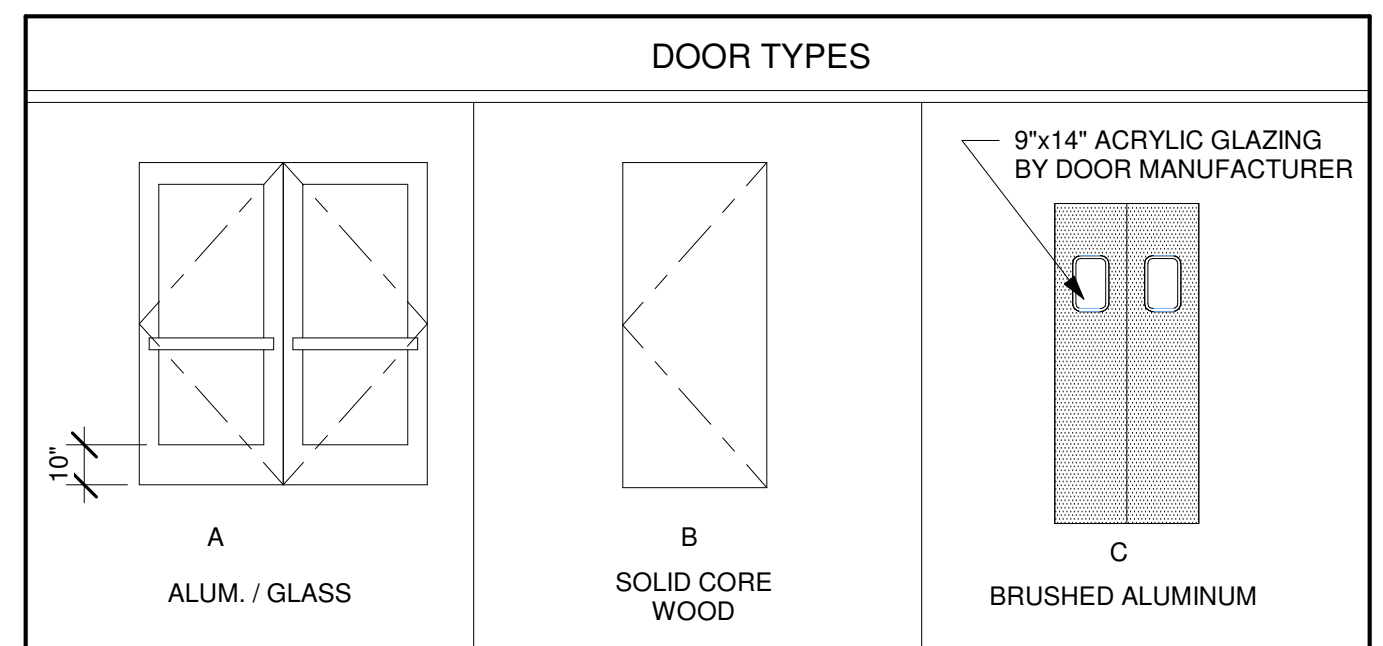
5 DOOR JAMB DETAIL - SWINGING
A1.1 1 1/2" = 1'-0"

DOOR SCHEDULE							
MARK	SIZE	TYPE	FINISH	FRAME	DETAILS		HARDWARE SET
					HEAD	JAMB	
100	(2) 1'-6" W 7'-0" H	C	4	11	4/A1.1	5/A1.1	1
101	3'-0" W X 7'-0" H	B	6	12	2/A1.1	3/A1.1	2 628
102	(2) 3'-0" W X 7'-0" H	A	1	8			3

DOOR FINISHES	
1	KAWNEER DARK BRONZE ANODIZE #40
2	KAWNEER CLEAR ANODIZE #14
3	KAWNEER BLACK ANODIZE #29
4	SATIN ANODIZED
5	PAINTED PT2 (SEMI-GLOSS)
6	PAINTED PT3 (SEMI-GLOSS)
7	

FRAME MATERIAL & FINISH	
8	KAWNEER DARK BRONZE ANODIZE #40
9	KAWNEER CLEAR ANODIZE #14
10	KAWNEER BLACK ANODIZE #29
11	HOLLOW MTL. PTD. PT2 (SEMI-GLOSS)
12	HOLLOW MTL. PTD. PT3 (SEMI-GLOSS)
13	
14	

HARDWARE FINISHES	
605	BRIGHT BRASS, CLEAR COATED
606	SATIN BRASS, CLEAR COATED
619	SATIN NICKEL
625	BRIGHT CHROMIUM PLATED
628	SATIN ALUMINUM ANODIZED



HARDWARE SETS		NOTE: PROVIDE (2) KEYS PER EACH DOOR LOCKSET
1. ELIASON MODEL LWP-6 - ALL DOOR HARDWARE PROVIDED BY DOOR MANUFACTURER	1 PAIR	HEAVY DUTY PIVOTS
2. LOCKSET: SCHLAGE BATH/BEDROOM LOCK #F40-ELA WITH ELAN LEVER HANDLE.		HINGES: HAGER BB1279 - 4 1/2 X 4 1/2, 1 1/2 PAIR
		PROTECTION PLATE: HAGER #190S 8" H KICK PLATE (BOTH SIDES)
		CLOSER: LCN #1460
3. 2 SETS	OFFSET PIVOTS	KAWNEER TOP, BOTTOM & INTERMEDIATE
1 SET	WEATHERSTRIP	KAWNEER SEALAIR
2	CLOSERS	KAWNEER NORTON 1601
1	THRESHOLD	KAWNEER 4 1/2" X 1/2" OFFSET
1	PULLS	KAWNEER EXTERIOR LEVER TRIM HANDLE
2	PANIC DEVICE	KAWNEER 1786 RIM EXIT DEVICE
1	STRIKE	KAWNEER ADAMS RITE RADIUSUED
1	LOCK CYLINDER	KAWNEER

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FLOOR PLAN & DOOR SCHED.

A1.1

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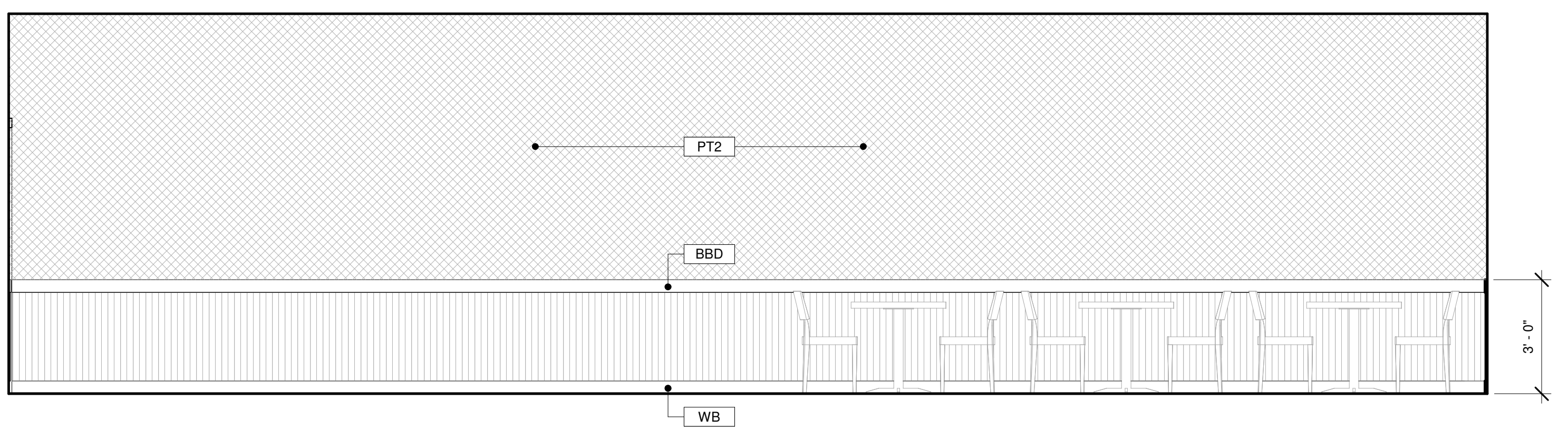


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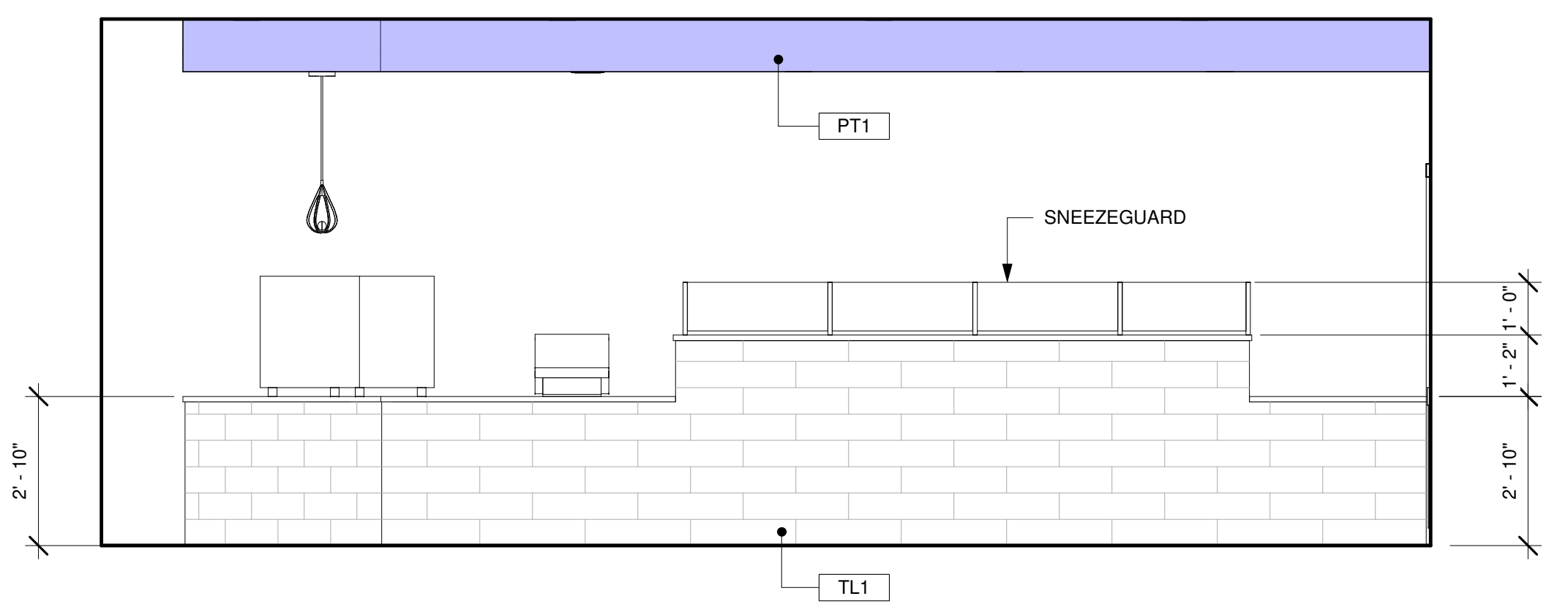
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ELEVATIONS

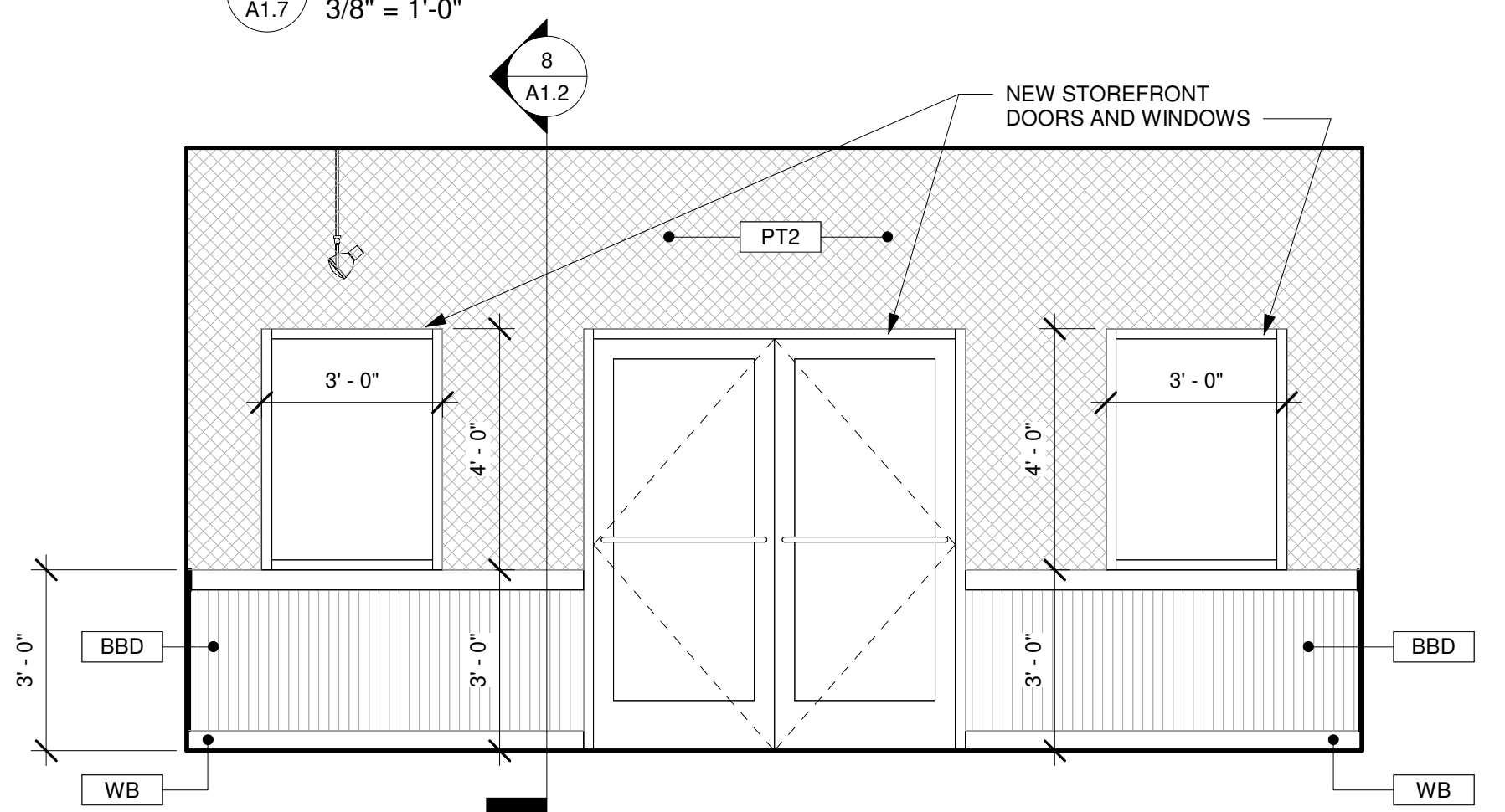
A1.7



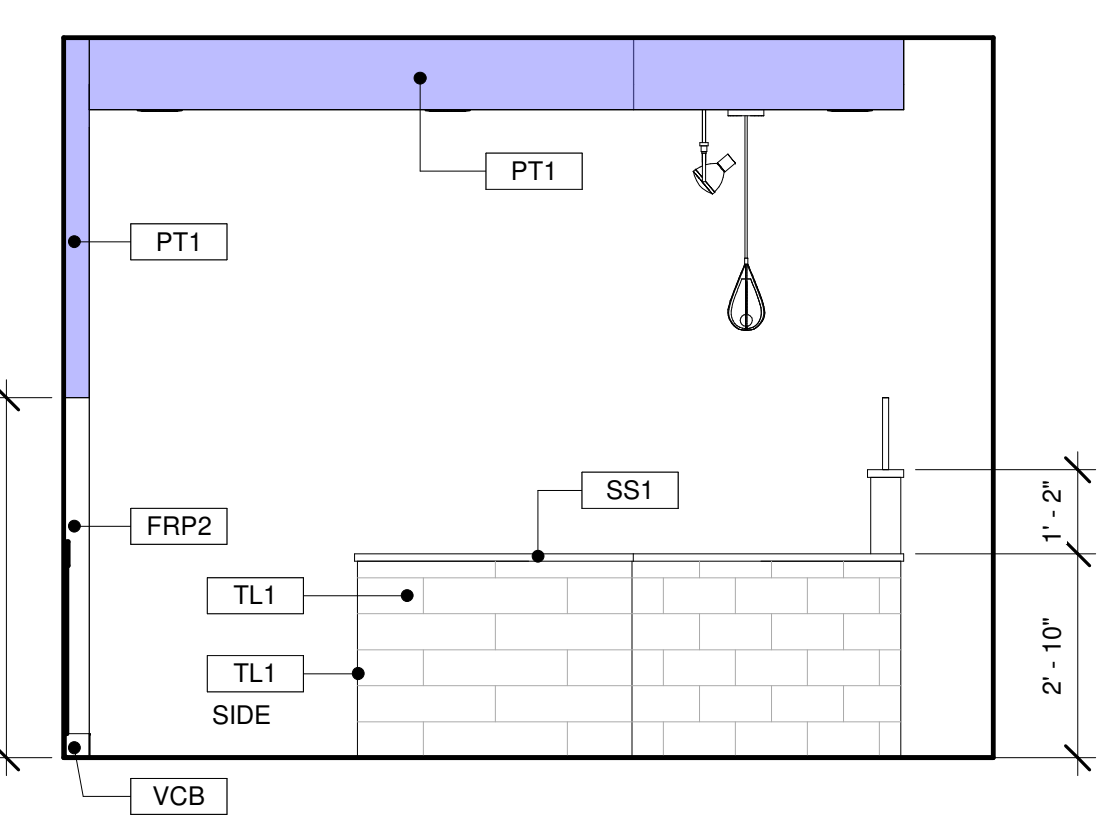
1 CUSTOMER AREA ELEVATION 1
A1.7
3/8" = 1'-0"



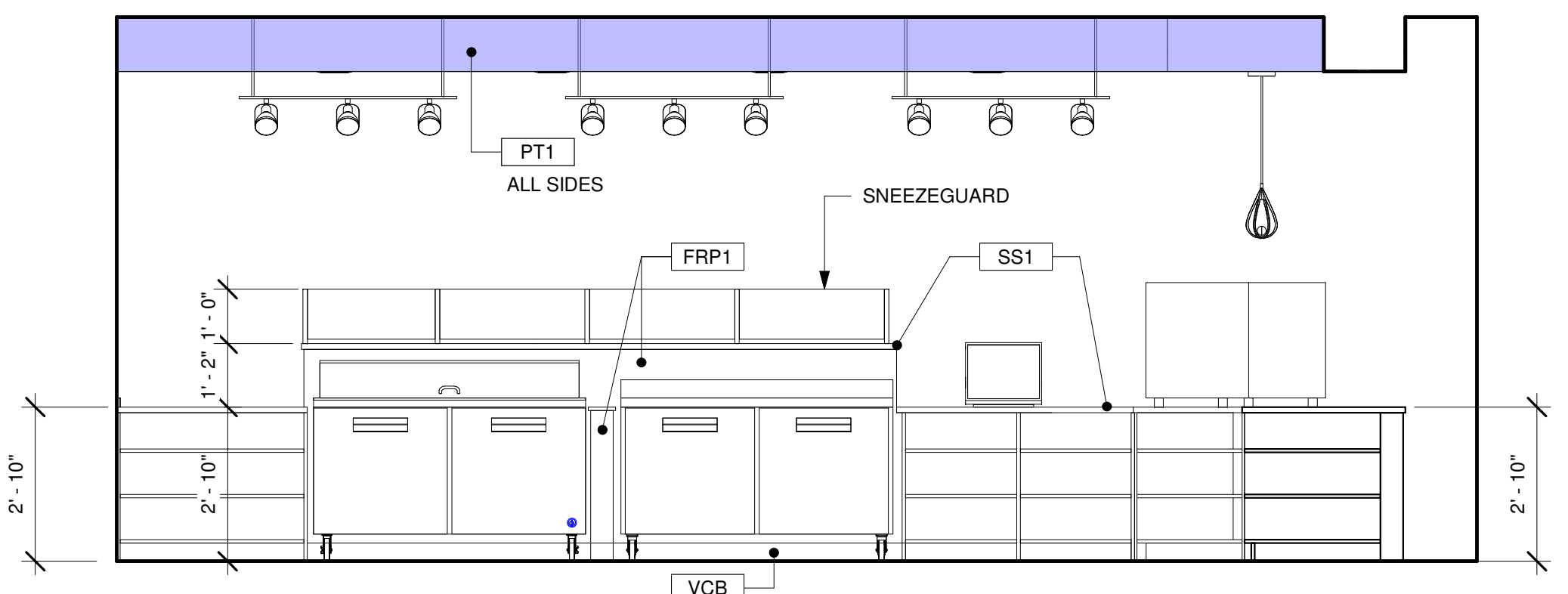
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A1.7
3/8" = 1'-0"



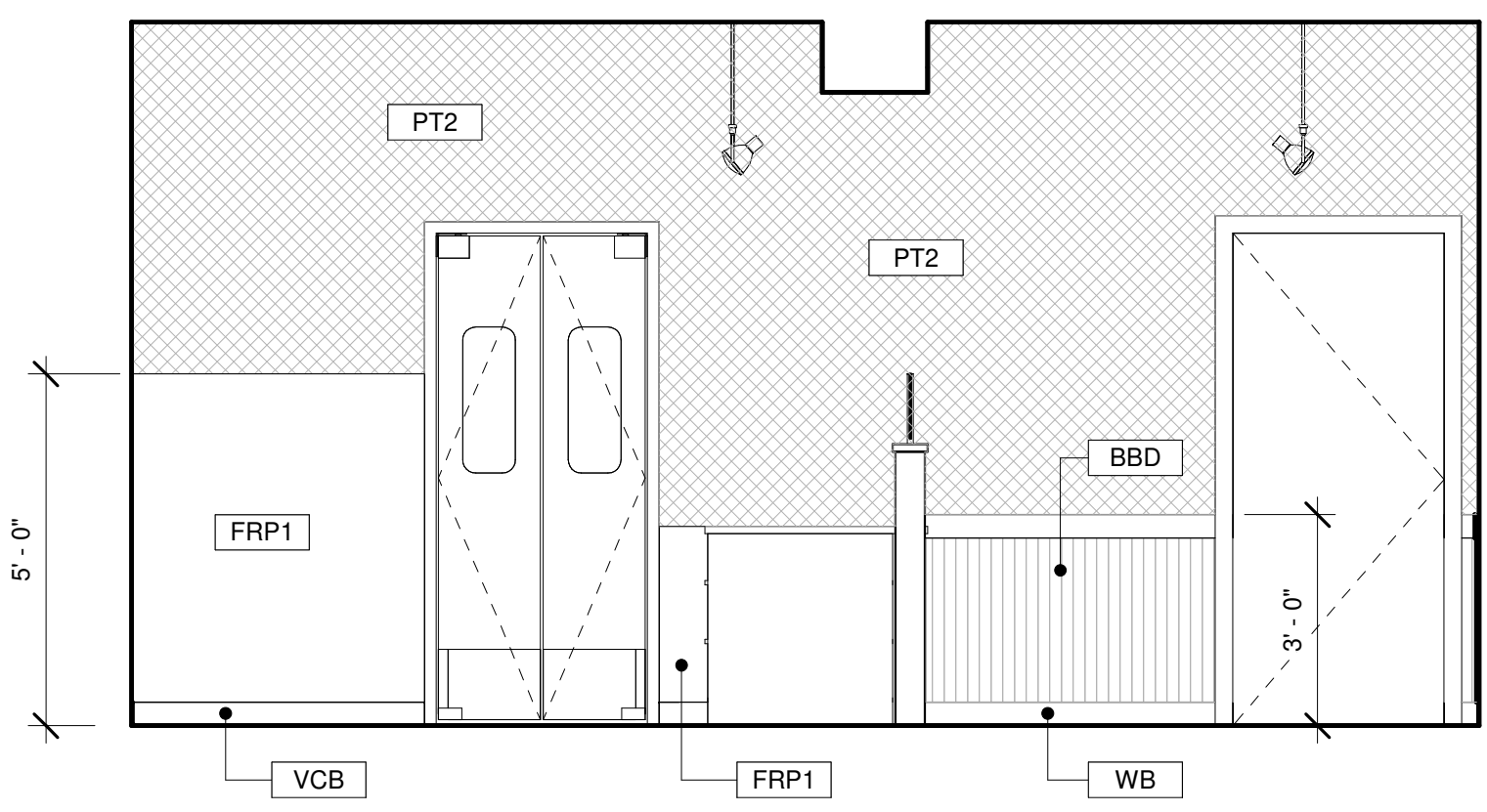
3 CUSTOMER AREA ELEVATION 3
A1.7
3/8" = 1'-0"



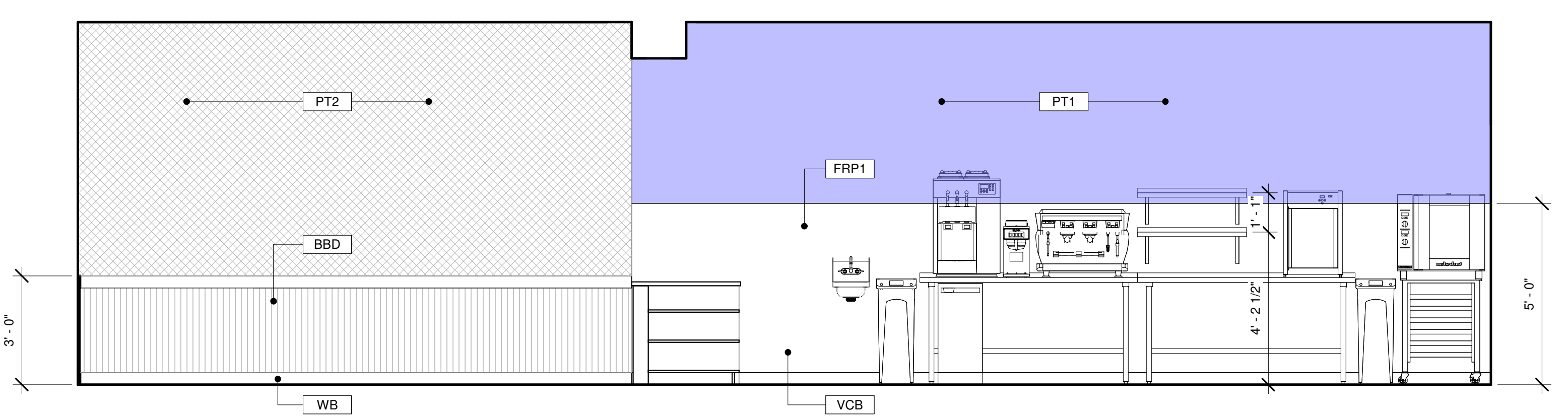
4 CUSTOMER AREA ELEVATION 4
A1.7
3/8" = 1'-0"



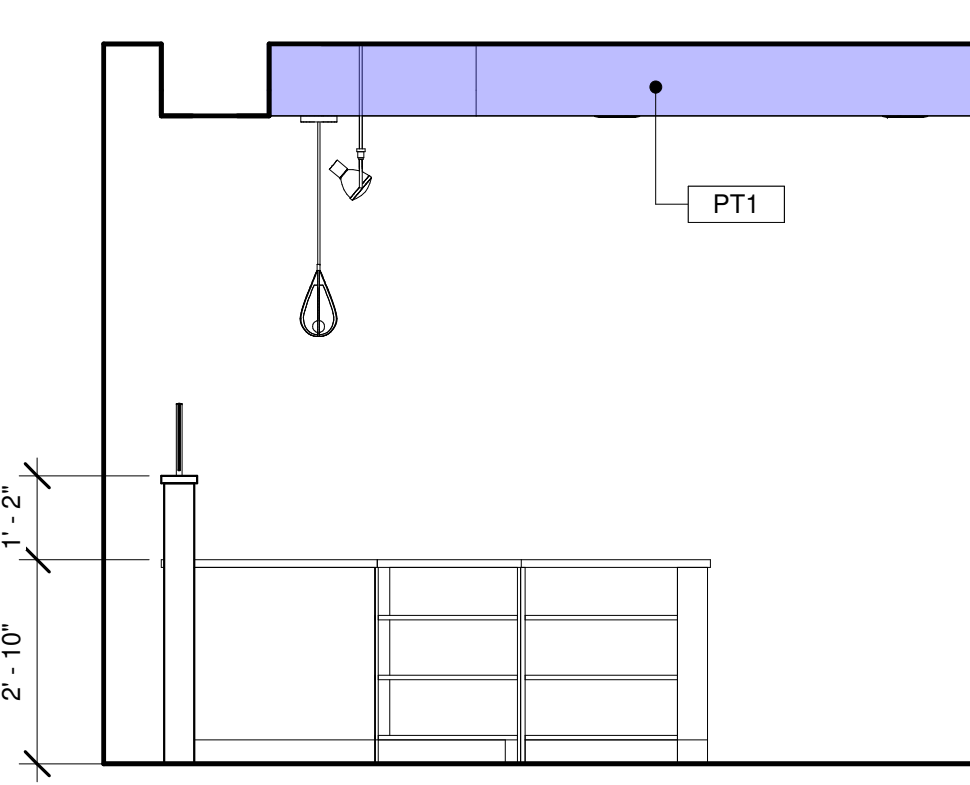
5 SERVICE AREA ELEVATION 1
A1.7
3/8" = 1'-0"



6 SERVICE AREA ELEVATION 2
A1.7
3/8" = 1'-0"



7 SERVICE AREA ELEVATION 3
A1.7
3/8" = 1'-0"



8 SERVICE AREA ELEVATION 4
A1.7
3/8" = 1'-0"

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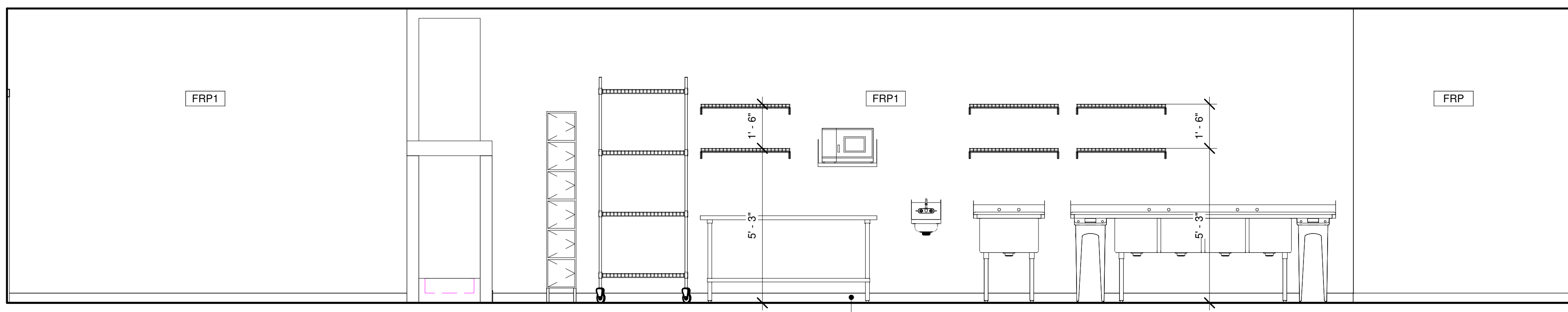
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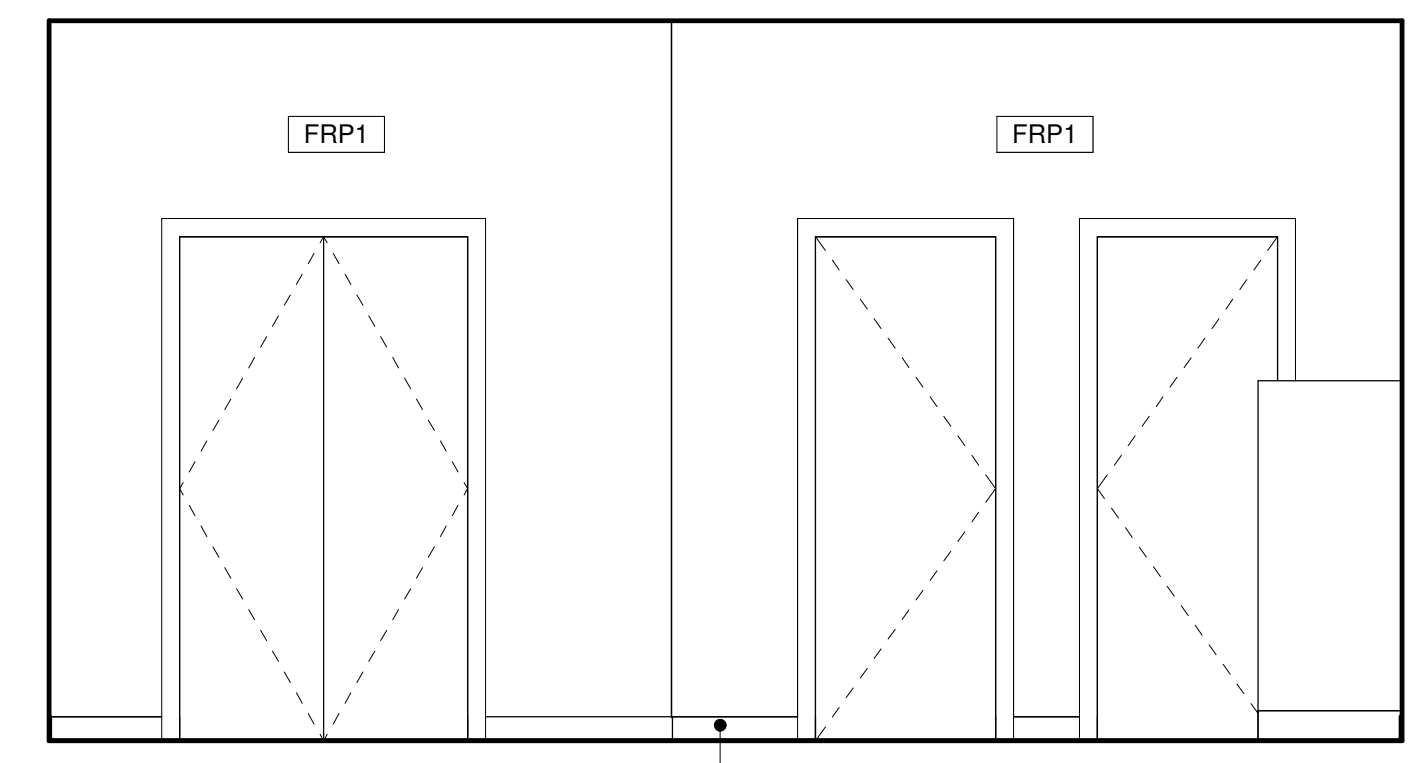
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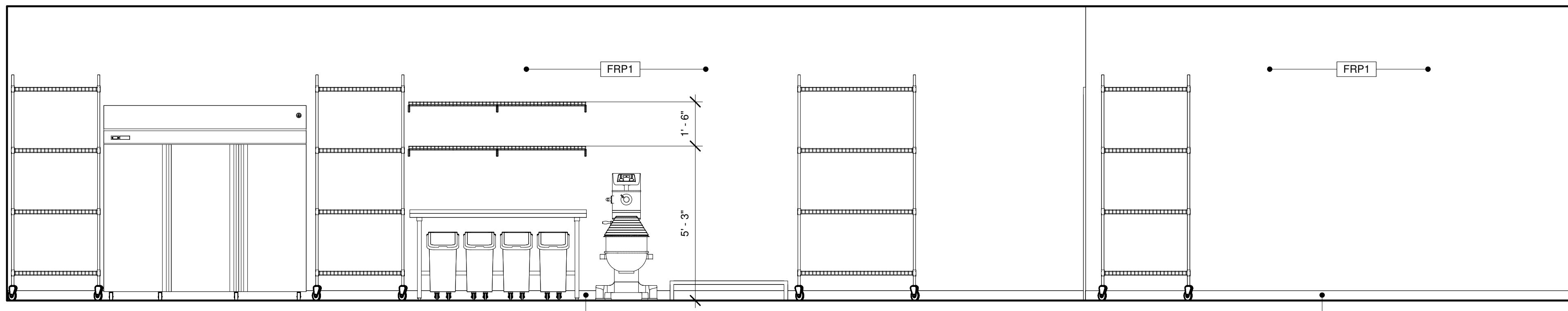
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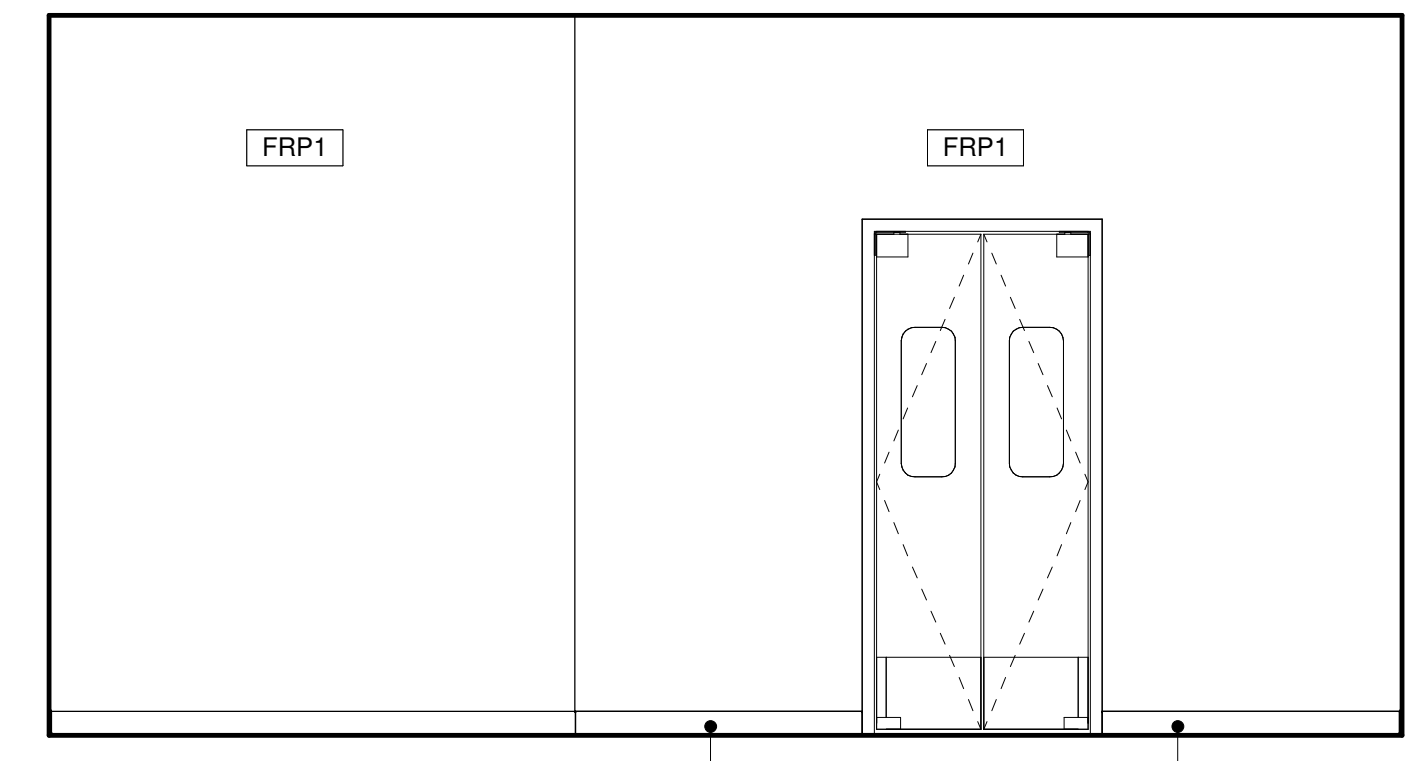
1 KITCHEN ELEVATION 1
A1.8 3/8" = 1'-0"



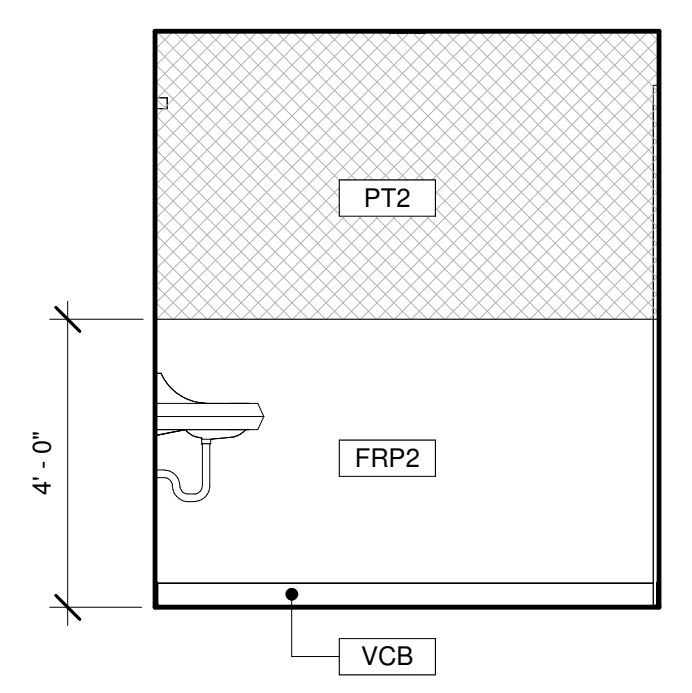
2 KITCHEN ELEVATION 2
A1.8 3/8" = 1'-0"



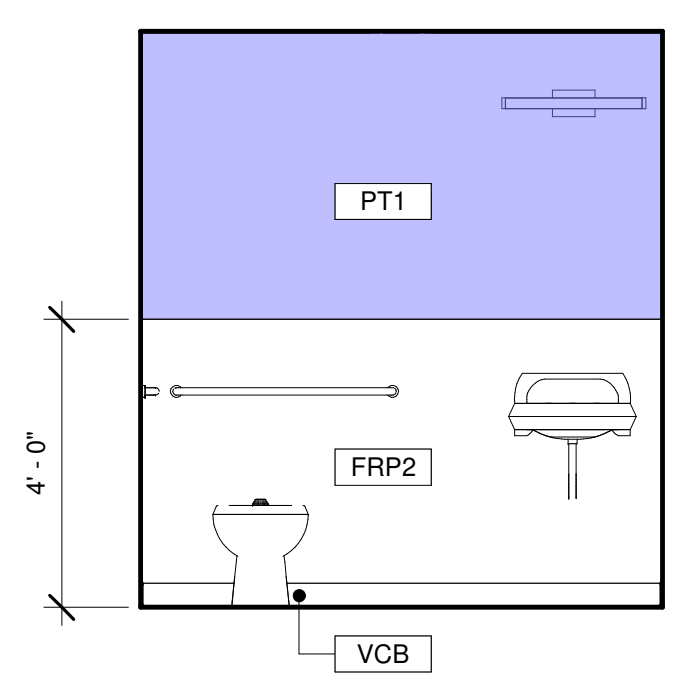
3 KITCHEN ELEVATION 3
A1.8 3/8" = 1'-0"



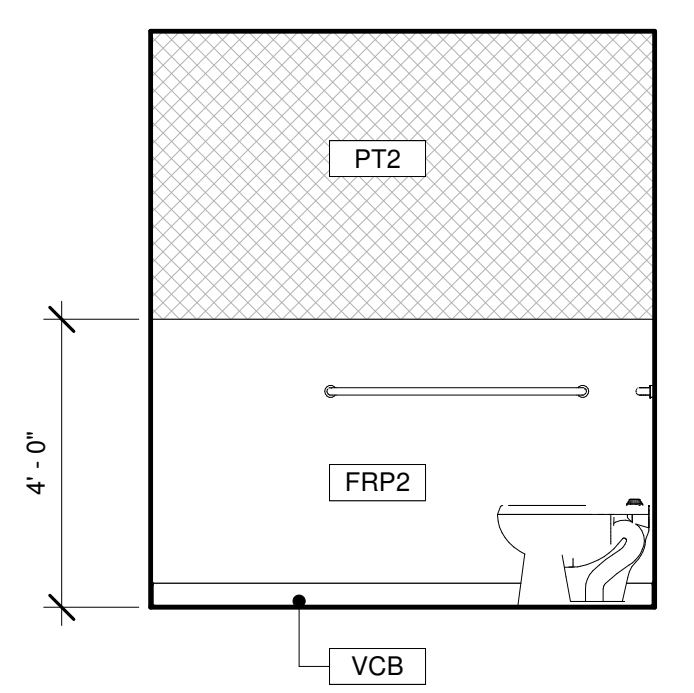
4 KITCHEN ELEVATION 4
A1.8 3/8" = 1'-0"



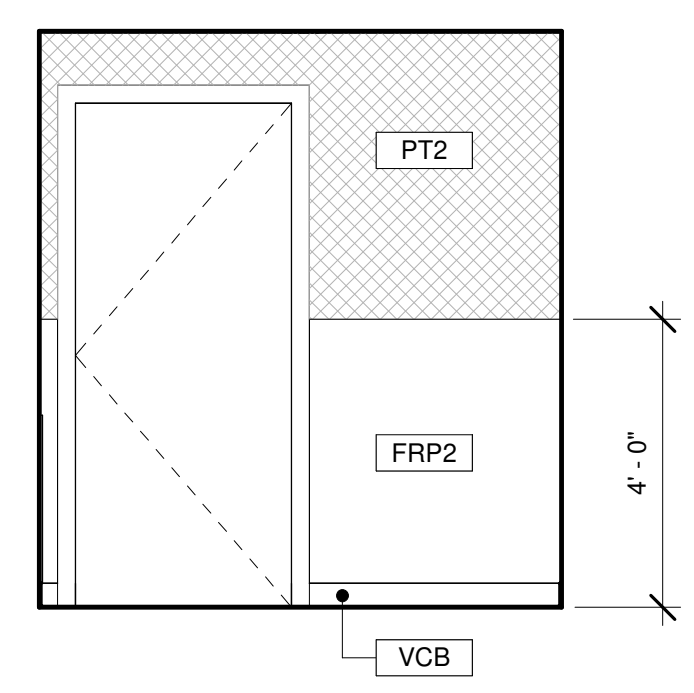
5 RESTROOM ELEVATION 1
A1.8 3/8" = 1'-0"



6 RESTROOM ELEVATION 2
A1.8 3/8" = 1'-0"



7 RESTROOM ELEVATION 3
A1.8 3/8" = 1'-0"



8 RESTROOM ELEVATION 4
A1.8 3/8" = 1'-0"

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ELEVATIONS