

SITE PLAN REVIEW AGENDA

12/7/2022 - 9:00 A.M.

(Via Microsoft Teams)

To review supporting documents, click on the "SITE PLAN NO" link, then click on "Record Info" / "Attachments"

ITEM NO: 1 Resubmit

SITE PLAN NO: [SPR22110](#)

PROJECT TITLE: Sweet Ave Main Home and ADU (lot split)

DESCRIPTION: Split Existing Single Family Lot into Two Lots (6058 sf and 5268 sf) to develop into a Single Family Two-Story Home of 1658 sf with an Attached ADU of 1075 sf

APPLICANT: Victor Huerta

OWNER: NUNEZ VICTOR MANUEL HUERTA

APN: 091072018

LOCATION: 1241 E SWEET AVE

ITEM NO: 2 Resubmit

SITE PLAN NO: [SPR22147](#)

ASSIGNED TO: Cristobal Carrillo

PROJECT TITLE: JACK IN THE BOX

Cristobal.Carrillo@visalia.city

DESCRIPTION: Construction of a new 1,315 sq. ft. Jack In The Box drive-thru restaurant.

APPLICANT: RYAN DUDLEY

OWNER: CLEMENTS DEVELOPMENT LIMITED

APN: 126890005

LOCATION: East side of S. Demaree St. btw. W. Caldwell & W. Packwood Avenues

ITEM NO: 3 Continue one week

SITE PLAN NO: [SPR22183](#)

PROJECT TITLE: Gas Station at 100 W. Mineral king

DESCRIPTION: A new 3380 sq ft Retail Building with 2 Tenant spaces (2,180 sf Mini-Mart, 1 QSR1200 sf) and an Existing 4 Pump Gas Station, Covered Area is 1,568 sf (D-MU) Ref: 2021-009 Resub

APPLICANT: Parminder Singh

OWNER: J S T LLC

APN: 094313010

LOCATION: 100 W MINERAL KING AVE

ITEM NO: 4

SITE PLAN NO: [SPR22186](#)

PROJECT TITLE: LOT LINE ADJUSTMENT

DESCRIPTION: ADJUSTMENT OF LINE BETWEEN DEVELOPED AND UNDEVELOPED LAND

APPLICANT: KEN MUNDEE

OWNER: MUNDEE KENNETH P & LYNN S (TRS)(KLM)
M & S HOLDINGS LLC

APN: 121400042

121400038

LOCATION: 3140 W CALDWELL AVE

ITEM NO: 5

SITE PLAN NO: [SPR22187](#)

PROJECT TITLE: SJVC Satellite Building

DESCRIPTION: Re-purposing existing space to additional classrooms (no change in existing use) initiating a site plan modification.

APPLICANT: Jeffrey Stewart

OWNER: PERRY ENTERPRISES

AFTER REVIEW OF REGULAR AGENDA ITEMS, THE COMMITTEE WILL BE AVAILABLE TO REVIEW OFF-AGENDA ITEMS FOR INFORMAL REVIEW. THE COMMITTEE WILL BE AVAILABLE TO ANSWER QUESTIONS AT THAT TIME.

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APN: 081071027

LOCATION: 8233 W HILLSDALE CT

ITEM NO: 6

SITE PLAN NO: [SPR22188](#)

PROJECT TITLE: VIS 97 Water Storage and Booster Station

DESCRIPTION: Installation of 1 million gallon tank, (3) boosters, station piping, electrical, and associated appurtenances and infrastructure.

APPLICANT: Luis Zamudio

OWNER: CALIFORNIA WATER SERVICE COMPANY

APN: 103320056

LOCATION: 738 N MC AULIFF ST

ITEM NO: 7

SITE PLAN NO: [SPR22189](#)

PROJECT TITLE: Kinwork

DESCRIPTION: Interior remodel of existing 4,800 sq. ft. shell space to include a co-working space.

APPLICANT: Will Ruoff

OWNER: GIANT CHEVROLET COMPANY

APN: 094235007

LOCATION:

ITEM NO: 8

SITE PLAN NO: [SPR22190](#)

PROJECT TITLE: Senior Center

DESCRIPTION: Construction of new 24,975 sq. ft. senior care "PACE" facility in existing office / business part, to provide multitude of social services and auxiliary medical services to seniors.

APPLICANT: Katy Schardt

OWNER: TAM PROP LLC

APN: 100010040

LOCATION: 1150 S BEN MADDOX WAY

ITEM NO: 9

SITE PLAN NO: [SPR22191](#)

PROJECT TITLE: Visalia Homeless Center

DESCRIPTION: Winter Warming Center

APPLICANT: Suzanne Ward

OWNER: VISALIA CITY OF

APN: 094100022

LOCATION: 701 E RACE AVE

ITEM NO: 10

SITE PLAN NO: [SPR22192](#)

PROJECT TITLE: Sedona Residential

DESCRIPTION: A 327-unit blended density project consisting of 240 Multifamily High Density units and 87 Single Family Medium Density Units

APPLICANT: Bret Giannetta

OWNER: SECTION 15 PARTNERS LLC

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(Via Microsoft Teams)

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APN: 077100105

LOCATION:

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CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: _____ Date: 11/21/22

Project Description: Mapping Procedure to divide APN 091-072-018-000 into half two parcels

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: Victor Huerta

Applicant(s) Name: David Harker Jr.

Project Address/Location: 1241 E Sweet Ave Visalia, CA 93292

Assessor Parcel Number: 091-072-018

Parcel Size (Acreage or Square Feet): 11,342 sqft Building or Suite Square Footage: 1,498 sqft

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ _____

Describe All Proposed Building Modifications: _____

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: _____

SPR Agenda: _____ Item No. _____

Zone: _____ SPR No. _____

Historic District: Yes No

Flood Zone: X AE X/AE

OPERATIONS & TRAFFIC INFORMATION

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

Existing/Prior Building Use: Residential

Proposed Building Use: Residential

Proposed Hours of Operation: N/A

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing 0 Proposed 0

Number of Customers Per Day (Estimated): Existing 0 Proposed 0

Predicted Peak Operating Hour: N/A

Describe Any Truck Delivery Schedule & Operations: N/A

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): N/A

Describe Any Special Events Planned for the Facility: None

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - Existing & proposed structures
 - Loading/unloading areas
 - All existing & proposed site features
 - Adjacent street names
 - Accessible path of travel from right of way
 - Site dimensions, including building
 - Refuse enclosures & containers
 - Accessible path of travel from ADA stall
 - Existing and proposed fencing at site
 - Valley oak trees (show drip line)
 - Location and width of drive approaches to site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed landscaping
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
 - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>David Harler Jr.</u>	Signature of Owner or Authorized Agent*	
Address: <u>2511 Logan St.</u>	<u>Victor M. Huerta Nunez:</u>	<u>NOV-21-2022</u>
City, State, Zip: <u>Selma, CA 93662</u>	Owner	Date
Phone: <u>559.891.8811</u>	<u>David Harler Jr.</u>	<u>11/21/22</u>
Email: <u>dharler@wead.com</u>	Authorized Agent*	Date

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, Victor M. Huerta Nunez: declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

091-072-018

AGENT:

I designate David Harler Jr. to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to divide my property relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 21st day of November, 2022

OWNER	AGENT
Signatures	Signatures
<u>Victor M. Huerta Nunez:</u>	<u>David Harler Jr.</u>
Signature of Owner	Signature of Agent
<u>P.O. Box 4051</u>	<u>2511 Logan St.</u>
Owner Mailing Address	Agent Mailing Address
<u>Visalia, CA 93278</u>	
Owner Phone Number	Agent Phone Number
<u>(559) 333-5893</u>	<u>559.891.8811</u>

TENTATIVE PARCEL MAP No. _____ IN THE CITY OF VISALIA, IN THE COUNTY OF TULARE, STATE OF CALIFORNIA

PARCEL NO. 2 OF PARCEL MAP NO. 544, IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA, RECORDED IN BOOK 6, PAGE 44 OF PARCEL MAPS, TULARE COUNTY RECORDS

OWNERS INFO:

VICTOR AND ROSALBA HUERTA
1241 E. SWEET AVENUE
VISALIA, CA 93292
TEL. (559) 333-5893
EMAIL: VICTORY-TECH@HOTMAIL.COM
APN: 091-072-018

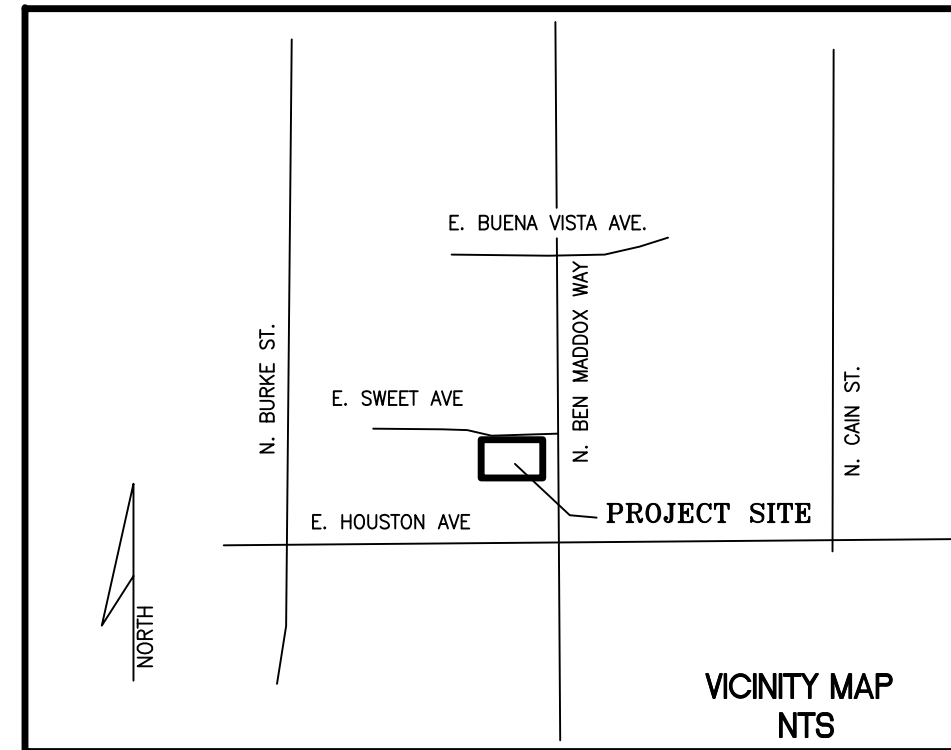
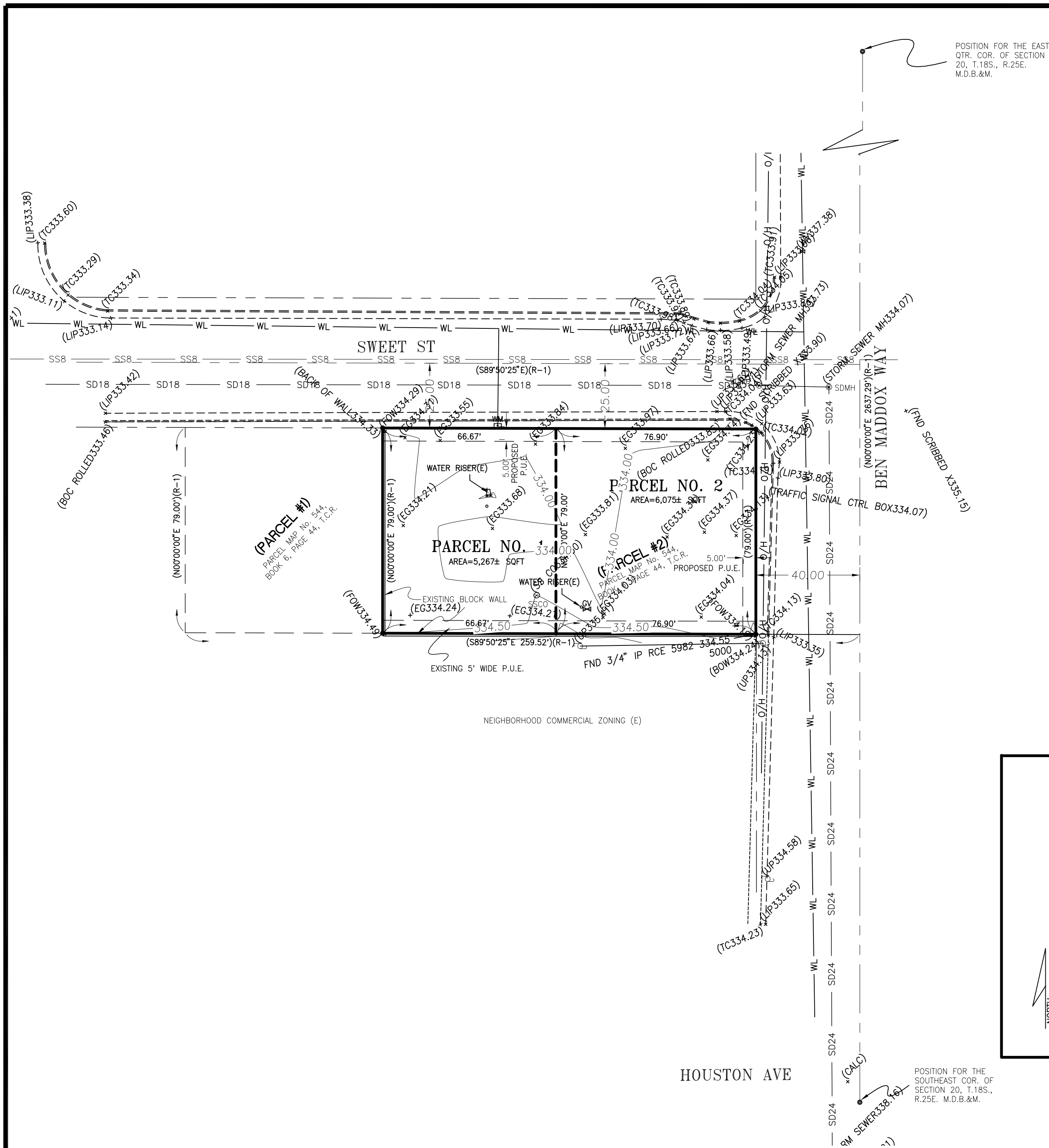
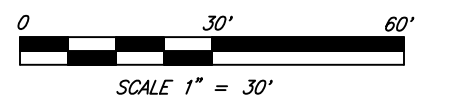
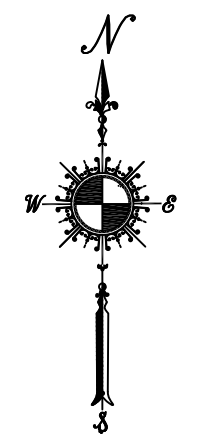
CONSISTING OF ONE SHEET
FOR
VICTOR AND ROSALBA HUERTA
NOVEMBER 1, 2022

NOTES:

- THIS PROPERTY IS LOCATED IN ZONE X ACCORDING TO THE FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 060406, MAP NUMBER 06107C0934E, EFFECTIVE DATE JUNE 16, 2009.
- THE AVERAGE ELEVATION OF THE SUBJECT PROPERTY IS APPROXIMATELY 334' PER SURVEY PERFORMED BY CVEAS, INC. ON NAVD 1988 DATUM.
- ASSUMED STORM DRAINAGE IS SURFACE DRAINAGE TO FRESNO STREET.
- FUTURE SEWER/WATER TIES TO EXISTING LINES IN FRESNO STREET
- VACANT LOT (NO BUILDINGS OR TREES EXISTED ONSITE)
- ZONING: THE EXISTING ZONING FOR THE PROPERTY IS SINGLE-FAMILY RESIDENTIAL (R-1-5) (MINIMUM LOT SIZE IS 5000 SQUARE FEET) AND IT WOULD REMAIN SAME AFTER THE PARCEL MAP.
- SETBACKS: FRONT = 15', SIDE = 5' & CORNER LOT 10', REAR = 25'
MAX HEIGHT = 35'

LEGEND:

- ORIGINAL BOUNDARY
 - - - NEW DIVISION
 - - - SECTION LINE
 - - - ROAD RIGHT OF WAY
 - X X FENCE
 - E-OH OVERHEAD LINE
- (R-1) RECORD DATA PER PARCEL MAP No. 544, RECORDED IN BOOK 6 OF PARCEL MAPS AT PAGE 44 T.C.R.
- MONUMENTS FOUND AND ACCEPTED AS DESCRIBED OR AS NOTED.
- NTS NOT TO SCALE
O.R.T.C. OFFICIAL RECORDS TULARE COUNTY
T.C.R. TULARE COUNTY RECORDS.
- ⊙ PP EXISTING POWER POLE
 - ⊙ SIGN
 - ⊙ EXISTING SANITARY SEWER MANHOLE AS NOTED
 - ⊙ EXISTING STREET LIGHT



OWNERS' CERTIFICATE:

WE, HEREBY APPLY FOR APPROVAL OF DIVISION OF REAL PROPERTY SHOWN ON THE TENTATIVE PARCEL MAP AND CERTIFY THAT WE ARE A LEGAL OWNERS OF SAID PROPERTY AND THE INFORMATION SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

VICTOR HUERTA _____ DATE _____
ROSALBA HUERTA _____ DATE _____

SURVEY CONTROL DATUM

HORIZONTAL (BASIS OF BEARINGS):
EAST LINE OF SOUTHEAST QTR. OF SECTION 20
18/25 TAKEN TO BE NORTH PER (R-1)

VERTICAL (BENCH MARK):
FOUND BM#587 CH-X ON NORTH DORNDOWN EAST
SIDE OF BEN MADDOX SOUTH OF THE BRIDGE
ELEV. = 345.110' NGS29 DATUM

EXISTING USE	SINGLE FAMILY
PROPOSED USE	SINGLE FAMILY
STORM DRAIN BY	CITY OF VISALIA
WATER BY	CITY OF VISALIA
SEWER BY	CITY OF VISALIA
APN:	091-072-018

CVEAS CENTRAL VALLEY ENGINEERING AND SURVEYING

2511 LOGAN STREET
SELMA, CA 93662
WWW.CVEAS.COM

Tel. (559) 891-8811
Fax (559) 891-8815
Email: info@cveas.com

CIVIL ENGINEERING • LAND SURVEYING • CONSTRUCTION • CUSTOM HOME DESIGN
COMMERCIAL BUILDING DESIGN • PLANNING & PROJECT MANAGEMENT

DATE OF SURVEY	10/6/2022
JOB NO.	22094MX
DRAWN BY	NS
CHECK BY	N.SAHOTA
DRAWING NAME	TPM
DATE	11/18/2022
REVISION DATE	

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 - Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name JACK IN THE BOX Date 11/23/22

Project Description Construction of a new drive-thru restaurant on the SE corner of Demaree Street and Caldwell Avenue.

Site Plan Review Resubmittal Yes No If Resubmittal, Previous Site Plan Review Number 2022-147

Property Owner YBR Enterprises LP (Future Property Owner)

Applicant's Name 4Creeks, Inc. (rep. Ryan Dudley)

Project Address/Location SE corner of Demaree St. and Caldwell Ave. Visalia, CA

Assessor Parcel Number 1 2 6 - 8 9 0 - 0 0 4

Parcel Size (Acreage or Square Feet) +/- 0.82 Acres Building or Suite Square Footage +/- 1,315 S.F.

Are There Any Proposed Building Modifications Yes No

Estimated Cost of Modifications to Building \$ _____

Describe All Proposed Building Modifications _____

- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received _____

SPR Agenda _____ Item No. _____

_____ SPR No. _____

Historic District Yes No

Flood Zone X AE X/AE

- - A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS - -

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use Commercial

Proposed Building Use Commercial

Proposed Hours of Operation 6:00 AM - 2:00 AM

Days of Week In Operation (Circle) Su M T W Th F Sa

Number of Employees Per Day Existing _____ Proposed 6-8

Number of Customers Per Day (Estimated) Existing _____ Proposed 300

Predicted Peak Operating Hour 6AM - 8PM

Describe Any Truck Delivery Schedule or Operations Early morning deliveries for restock once daily.

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

Provide Separate Attachment if Necessary _____

Describe Any Special Events Planned for the Facility _____

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - All existing & proposed site features
 - Site dimensions, including building
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
 - Adjacent street names
 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: 4Creeks, Inc. (rep. Ryan Dudley) Signature of Owner or Authorized Agent*

Address: 324 S. Santa Fe St., Suite A

City, State, Zip Visalia, CA 93292 Owner _____ Date _____

Phone: (559) 802-3052 Authorized Agent* *Ryan Dudley* Date 11/28/2022

Email: ryand@4-creeks.com Date _____

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, YBR Enterprises LP, declare as follows; I am the tentative future owner of certain real property bearing assessor's parcel number (APN):

126 890 004

AGENT:

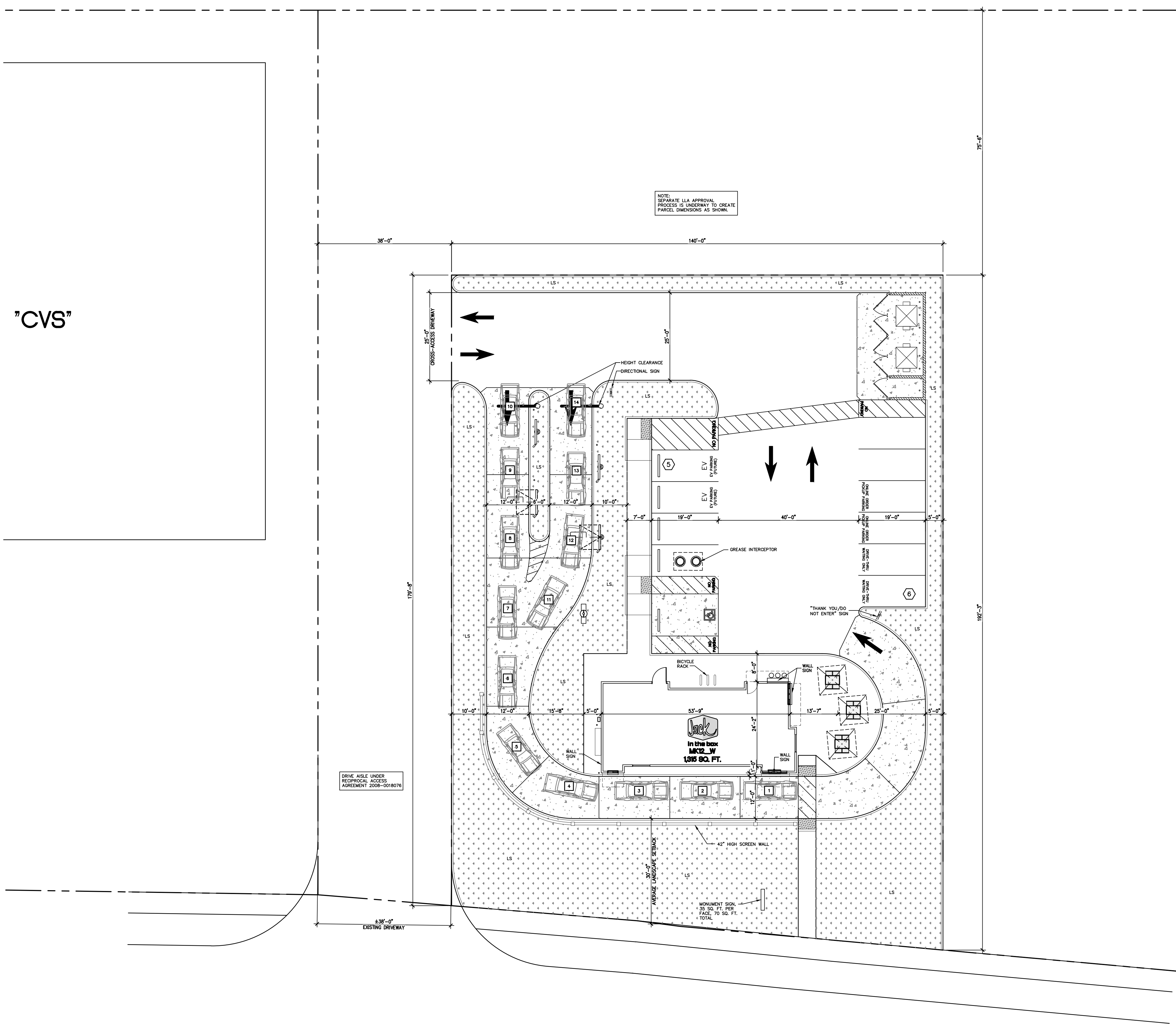
I designate 4Creeks, Inc. (rep. Ryan Dudley), to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to provide civil improvement plans for a new Jack in the Box restaurant development relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 28th day of November, 2022.

OWNER	AGENT
Signatures	Signatures
<u><i>[Signature]</i></u>	<u><i>Ryan Dudley</i></u>
Signature of Owner	Signature of Agent
<u>1660 N. Farmersville Blvd.</u>	<u>324 S. Santa Fe St., Suite A</u>
Owner Mailing Address	Agent Mailing Address
<u>Farmersville, CA 93223</u>	<u>Visalia, CA 93292</u>
<u>(858) 705-0258</u>	<u>(559) 802-3052</u>
Owner Phone Number	Agent Phone Number

"CVS"



NOTE:
SEPARATE LIA APPROVAL
PROCESS IS UNDERWAY TO CREATE
PARCEL DIMENSIONS AS SHOWN.

DRIVE AISLE UNDER
HEMPHILL ACCESS
AGREEMENT 2008-0018076

S. DEMAREE ST.

PRELIMINARY SITE INFORMATION	
SITE AREA:	±26,010 SQ.FT. (0.60 ACRES)
BUILDING AREA:	1,315 SQ.FT.
SEATING:	15 SEATS (OUTDOOR ONLY)
PARKING REQUIRED:	1 SPACES PER 150 SQ. FT. = 1315/150 = 8.8 SPACES
PARKING PROVIDED:	11 SPACES
APN:	126-890-004-000

SITE LAYOUT MAY CHANGE DUE TO UNKNOWN SITE CONDITIONS.
ALTA SURVEY REQUIRED FOR ACCURATE SITE LAYOUT.



VICINITY MAP

SITE PLAN
SCALE: 1" = 15'

**Jack
in the box®**
9330 BALBOA AVENUE
SAN DIEGO, CA 92123
© 2017 Jack in the Box Inc.

These designs, drawings and specifications are the property of Jack in the Box Inc. and shall not be copied or reproduced without its previous written consent.

DATES	
RELEASE:	APR. 19, 2018
P.M. UPDATES:	N/A
SUBMITTAL DATE:	
1:	
2:	
3:	
BID:	
CONSTRUCTION:	

REVISIONS	
△	
△	
△	
△	
△	
△	

**PM
DESIGN**
Architectural
Solutions Group
6930 DESTINY DRIVE
SUITE 100
ROCKLIN, CA 95677
(916) 415-5358
rpedro@pmdginc.com
Roy W. Pedro, Architect

SITE INFORMATION	
MK TYPE:	MK12_W
JIB #:	xxxx
ADDRESS:	S. DEMAREE ST. VISALIA, CA 93277
DRAWN BY:	
PROJECT #:	MFT21003.0
SCALE:	1" = 15'

SITE PLAN
SD1.0

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- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -
 - Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: GAS STATION AT 100 W. MINERAL KING AVE. Date: 11/15/2022
 Project Description: A NEW 3,380 SQ.FT. RETAIL BLDG. W/ 2 TENANT SPACES (2,180 SF MINI-MART, 1 QSR 1,200 SF) AND AN EXISTING 4 PUMP GAS STATION, COVERED AREA IS 1,568 SF
 Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: 2021-009 REF
 Property Owner: PARMINDER SINGH
 Applicant(s) Name: PARMINDER SINGH
 Project Address/Location: 100 W. MINERAL KING AVE.
 Assessor Parcel Number: 094-313 010 - - - - -
 Parcel Size (Acreage or Square Feet): 0.4 AC Building or Suite Square Footage: SEE PROJECT DESCRIPT.

Are There Any Proposed Building Modifications: Yes No
 Estimated Cost of Modifications to Building: \$ N/A
 Describe All Proposed Building Modifications: N/A

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 11/15/2022
 SPR Agenda: 11/23/2022 Item No. _____
 Zone: DMU SPR No. 22-183
 Historic District: Yes No
 Flood Zone: AE X/AE

OPERATIONS & TRAFFIC INFORMATION

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

Existing/Prior Building Use: small kiosk type building to operate gas pumps
 Proposed Building Use: Retail bldg. food & beverages
 Proposed Hours of Operation: 6am to 11pm
 Days of Week In Operation (Circle): Su M T W Th F Sa
 Number of Employees Per Day: Existing 3 Proposed 15
 Number of Customers Per Day (Estimated): Existing 100 Proposed 400
 Predicted Peak Operating Hour: 8am to 8pm
 Describe Any Truck Delivery Schedule & Operations: Grocery deliveries thru medium-duty trucks. Delivery times mostly in the am.
 Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees
 (Provide Separate Attachment if Necessary): No such accommodations are required
 Describe Any Special Events Planned for the Facility: No special events planned

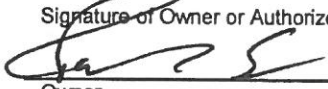
SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ↪ Plan(s) must be clear, legible, and on a sheet size appropriate to easily convey all necessary project information. Suggested minimum sheet size for site plans is 11"x17" (Excludes tentative parcel and final maps)
- ↪ Site plan shall provide for and indicate all of the following:
 - North arrow
 - All existing & proposed site features
 - Site dimensions, including building
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
 - Adjacent street names
 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
- ↪ Submit 20 copies of the site plan with this application, folded to a legal size of 9" x 12" with the print on the outside (no rolled plans)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Parminder Singh Signature of Owner or Authorized Agent*  10/14/2022
 Address: 100 W. Mineral King Ave. Owner Date
 City, State, Zip Visalia, Ca. 93291 Authorized Agent* _____ Date _____
 Phone: 550-392-5045
 Email: visaliagasinc@gmail.com

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, _____, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN): _____

AGENT:

I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20____.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number

ZONE: DOWNTOWN MIXED USE
GP: DOWNTOWN MIXED USE
 ±125.45'

ZONE: DOWNTOWN MIXED USE
GP: DOWNTOWN MIXED USE

WEST MINERAL KING AVE.

ZONE: QUASI-PUBLIC
GENERAL PLAN (GP): OFFICE

SOUTH COURT ST.

ZONE: DOWNTOWN MIXED USE
GP: DOWNTOWN MIXED USE

SUMMARY TABLE

APN:	094-310-010
ZONING:	D-MU (MIXED USE DOWNTOWN ZONE)
PROJECT SITE AREA:	16,552 SQ.FT.
EXISTING BLDG. AREA:	EXISTING 500 SQ.FT. MINI-MART TO BE DEMOLISHED. EXISTING GAS PUMP ISLAND & CANOPY WILL REMAIN
PROPOSED BLDG. AREA:	MINI-MART 2,180 SQ.FT. (2,180/300 = 7 PARKING) QSR: 1,200/150 = 8 PARKING
EXISTING STRUCTURE: TOTAL AREA:	GAS STATION: 1,568 SQ.FT. (4 PUMPS) 5,568 SQ.FT.
SITE LANDSCAPING AREA:	830 SQ.FT. 830/16,552=5%
PROPOSED PARKING AREA:	2,040 SQ.FT.
PROPOSED LANDSCAPING AT PARKING AREA:	232 (232/1420=11%>6% OK)
NO. OF PARKING REQ'D	15
NO. OF PARKING PROVIDED:	10 (INCL. 1 EVCS & 1 VAN ACCESSIBLE)
REQUIRED BICYCLE PARKING	15x0.05=1
FLOOD ZONE	"X"

KEY NOTE:

- Ⓐ EXISTING CURB RETURN WITH RAMP.
- Ⓑ CONCRETE PAVEMENT PER SOILS REPORT, SEE CIVIL PLANS
- Ⓒ LANDSCAPING AREA WITH CURBING
- Ⓓ NEW DBL. BIKE RACK
- Ⓔ TRASH ENCLOSURE WITH SOLID SCREENING GATE PER CITY STANDARD
- Ⓕ LOADING AREA
- Ⓖ OUTDOOR SEATING AREA
- Ⓗ EXISTING MONUMENT SIGN
- Ⓘ MASONIC TEMPLE, TO BE PROTECTED DURING CONSTRUCTION
- Ⓛ DRIVEWAY PER CALTRANS AND CITY STANDARDS
- Ⓜ EXISTING GAS PUMP CANOPY TO REMAIN
- Ⓝ EXISTING LANDSCAPING PLANTER TO BE REPAIRED AND PROTECTED
- Ⓟ NEW FIRE HYDRANT
- Ⓠ EXISTING PARKING LOT LIGHT TO REMAIN
- Ⓡ EXISTING STREET LIGHT TO REMAIN
- Ⓢ NEW POLE LIGHT
- Ⓣ WALL MOUNTED BUILDING LIGHT
- Ⓤ VAN ACCESSIBLE PARKING STALL & ACCESS AISLE w/CURB RAMP

GENERAL NOTES:

1. REPAIR AND/OR REPLACE ANY SIDEWALK ACROSS THE PUBLIC STREET FRONTS OF THE SUBJECT SITE THAT HAS BECOME UNEVEN, CRACKED OR DAMAGED AND MAY CONSTITUTE A TRIPPING HAZARD.
2. RELOCATE AFFECTED EXISTING UTILITY POLES AND/OR FACILITIES.
3. REPLACE ANY CURB AND GUTTER ACROSS THE PUBLIC STREET FRONTS OF THE SUBJECT SITE THAT HAS BECOME UNEVEN AND HAS CREATED AREAS WHERE WATER CAN STAND.
4. ACCESSIBLE ROUTE SHALL HAVE 2% MAX. CROSS SLOPE AND 5% MAX. RUNNING SLOPE. IT SHALL BE STABLE, FIRM AND SLIP-RESISTANT; FREE OF GAPS AND CRACKS THAT ARE GREATER THAN 1/2" WIDE AND 1/4" DEEP; NO LEVEL CHANGE SHALL BE GREATER THAN 1/2" LEVEL CHANGE GREATER THAN 1/4" VERTICAL AND 1/2" BEVELED SHOULD HAVE A SLOPE NO GREATER THAN 1:2, SEE DETAIL 8 ON SHT. ADA-1.
5. CONSTRUCTION JOINT SHOULD BE NO GREATER THAN 1/2" WIDE AND 1/4" DEEP.
6. ALL ACCESSIBLE ROUTE, INTERSECTIONS AND LANDINGS SHOULD HAVE 2% MAX. SLOPE IN ALL DIRECTIONS
7. ADDRESS NUMBERS MUST BE PLACED ON THE EXTERIOR OF THE BUILDING IN SUCH A POSITION AS TO BE CLEARLY AND PLAINLY VISIBLE FROM THE STREET NUMBERS WILL BE AT LEAST FOUR INCHES (4") HIGH AND SHALL BE OF A COLOR TO CONTRAST WITH THEIR BACKGROUND. IF MULTIPLE ADDRESSES ARE SERVED BY A COMMON DRIVEWAY, THE RANGE OF NUMBERS SHALL BE POSTED AT THE ROADWAY/DRIVEWAY.
8. A KNOX BOX KEY LOCK SYSTEM IS REQUIRED.

LEGEND

- — — — — PROPERTY LINE
- — — — — ROAD CENTER LINE
- — — — — ACCESSIBLE WALK, SEE GENERAL NOTES #1, 4, 5 & 6

SITE PLAN

SCALE: 1"=10'



These drawings are instruments of service and are the property of Golden Valley Engineering & Surveying, Inc. All designs and other information on these drawings are for use on the specified project and shall not be used otherwise without the express written permission of Golden Valley Engineering & Surveying, Inc.
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PREPARED BY:

GOLDEN VALLEY ENGINEERING & SURVEYING
 405 West 19th Street 95340
 P.O. Box 349
 Merced, CA 95341
 Ph: (209) 722-3200
 Fax: (209) 722-3254

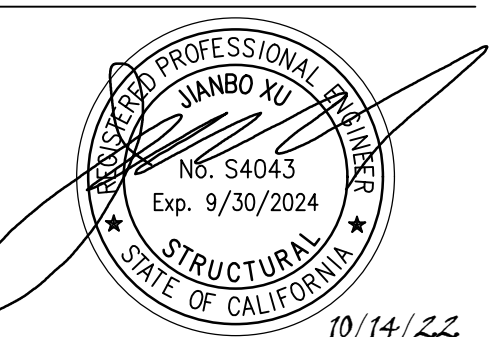
No.	Date	Description
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
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16		
17		
18		

It is the client's responsibility prior to or during construction to notify the designer in writing of any proposed errors or omissions in the plans and specifications of which the contractor through diligent investigation with the building codes and methods of construction should be aware. When indicated otherwise, such proposed errors or omissions shall be noted from the designer prior to the start of construction proceeding with the work. The client will be responsible for any delays or construction if these provisions are not followed.

SITE PLAN REVIEW
GAS STATION
 100 W MINERAL KING AVENUE
 A.P.N. 094-313-010

CITY OF VISALIA

ENGINEER



SHEET CONTENTS:

PREPARED FOR:

PARMINDER SINGH
 100 W Mineral King Ave.
 Visalia, CA 93291
 Phone: (559) 392-5045

PROJECT DATA:

Date: OCTOBER 2022
 Checked By: JIM XU

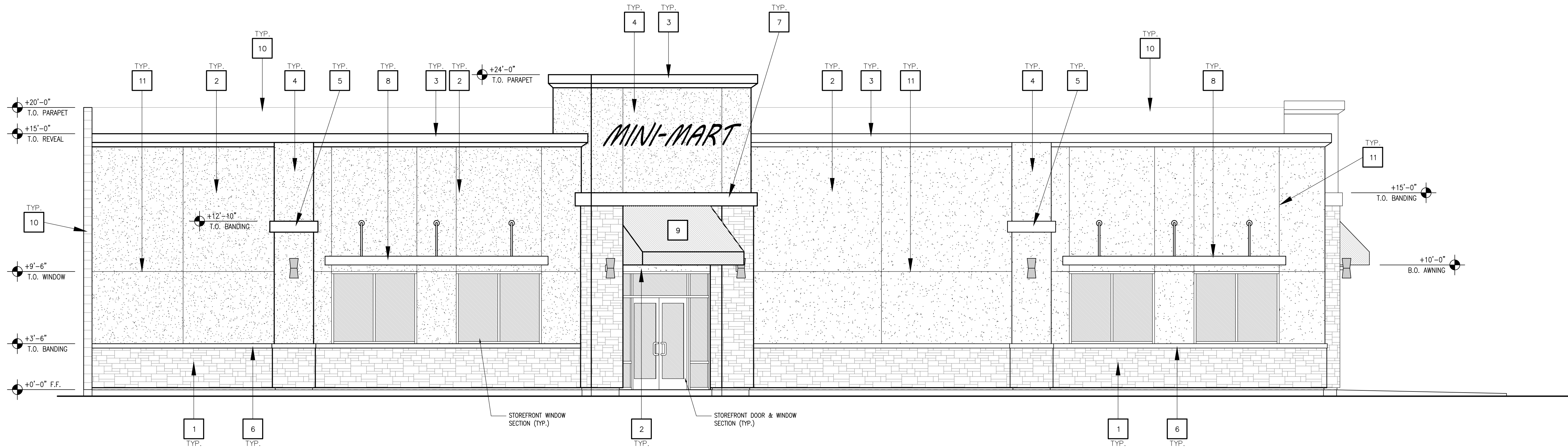
Drawn By: CHRISTINE L/PAUL L

Job No.: 20-160

SHEET NUMBER:

C1.0

W:\020-160\Visalia gas station\DWG\20-160 Site Plan 10-14-22.dwg, 10/51/2022 9:11:07 AM, DWG To PDF.pc3
 PLOT: 10/17/2022 9:10:08 AM
 PLOT: 10/17/2022 9:10:08 AM

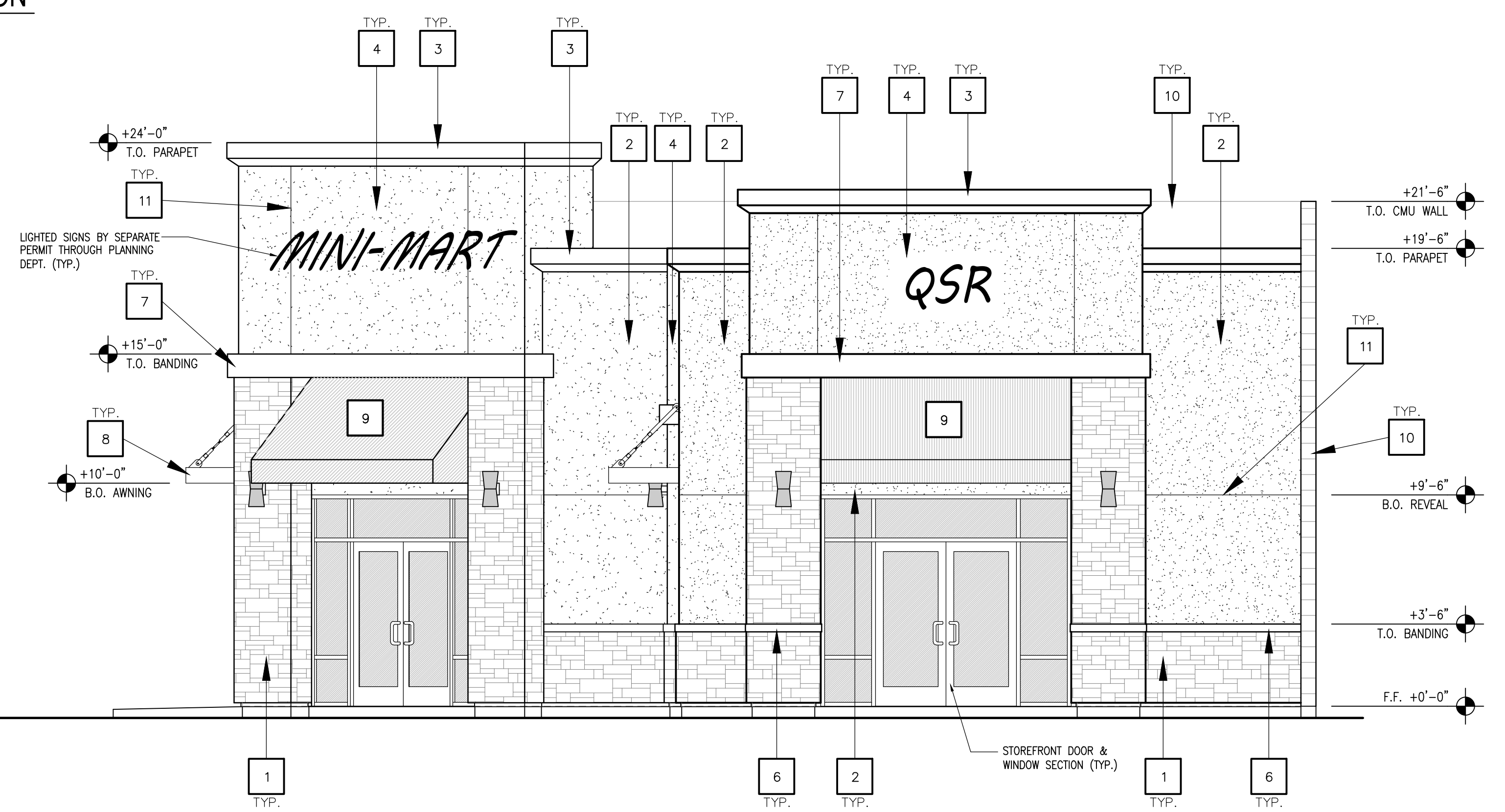


MINERAL KING AVE. ELEVATION

SCALE: 1/4"=1'-0"

KEY NOTES:

- 1 COUNTRY CASTLE - SHASTA BY CORONADO STONE PRODUCTS
- 2 3-COAT STUCCO, COLOR KM4598
- 3 PARAPET BANDING WITH STUCCO FINISH (TYP.), COLOR KM4949
- 4 3-COAT STUCCO, COLOR KM4600
- 5 10x6 FOAM STUCCO FINISH MOLDING (TYP.), COLOR KM4949
- 6 3x6 FOAM STUCCO FINISH MOLDING (TYP.), COLOR KM4949
- 7 12x6 FOAM STUCCO FINISH MOLDING (TYP.), COLOR KM4949
- 8 8" TALL METAL CHANNEL WRAPPED AWNING, COLOR KM4949
- 9 CLOTH AWNING, COLOR SIMILAR TO KM4950
- 10 CMU WALL @ PROPERTY LINE, COLOR KM4598
- 11 STUCCO EXPANSION JOINT



COURT ST. ELEVATION

SCALE: 1/4"=1'-0"



Country Castle - Shasta

1



Mexican Sand Dollar
KM4598

2



Old Grey Mare
KM4949

3/5/6/7/8



Afternoon Tea
KM4600

4



Metal Flake
KM4950

9

Operational Statement

Project Description: A NEW 3,380 SQ.FT. RETAIL BLDG. 2180 SF FOR MINI-MART AND 1 QSR 1200SF.

PROPOSED DESCRIPTION: Existing gasoline station with 4MPD will have 2180 sq.ft. Convenience store. Business will be under the name of Mineral King Mart & Gas. Type of products sold inside store are Ice Cream, Dairy products. Non-Alcoholic Beverages. Fountain drinks. Toiletries and hygiene products, Packaged Snacks and Candy. Lottery Tickets. Tobacco Products. Over the counter medicines. Gas and Automotive supplies.

Deliveries and Storage: Business has 3 Underground storage tanks for unleaded gasoline. Two tanks are 12,000gallons and one is 10,000gallons. Unleaded gasoline is delivered by Red triangle fuel company once a week. Delivery hours vary but mostly it is after hours. Inside store products and inventory will be delivered by the companies like Pepsi, Coke, Frito lay, Coremark. Each company unloads products at designated un-loading area. There is no dock requirement. Product is moved on Hand trucks inside the building. No street traffic will be impacted during deliveries. All the products delivered goes on shelves and rest will be stored in designated storage inside building.

Operation Hours: Business hours for customers shopping inside the store are 5am to 11pm, for all seven days in a week. Gasoline pumps under canopy are available 24/7 for costumers use. Number of customers fueling and shopping inside the store will be approximately 300 to 400 per day.

Employees: Business plan is to hire 6-8 employees to manage daily operations. Currently business has 3 full time employees.

Equipment: Equipment used for daily business needs are HVAC, Walk in cooler compressors. And other merchandize freezer. None of this equipment generate noise above existing level in the area.

Security: Business will have high-definition security system which will be operating 24/7 monitoring surveillance system.

Applicant's Signature



CITY OF VISALIA SITE PLAN REVIEW APPLICATION

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This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

Site Plan Review meetings are held on Wednesdays at 9:00 a.m. online utilizing Microsoft Teams. The applicant or representative must be present.

Application submittal deadline are Thursday at 4:00 p.m. to be scheduled for the next available meeting.

GENERAL PROJECT INFORMATION

Project/Business Name: _____ Date: Nov 9, 2022

Project Description: LOT LINE ADJUSTMENT

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: KEN MUNDEE

Applicant(s) Name: KEN MUNDEE

Project Address/Location: 3140 W. CALDWELL AVENUE

Assessor Parcel Number: 121-400-03B, 042

Parcel Size (Acreage or Square Feet): APX. 2.4 AC. Building or Suite Square Footage: _____

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ N/A

Describe All Proposed Building Modifications: _____

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: _____

SPR Agenda: _____ Item No. _____

Zone: _____ SPR No. _____

Historic District: Yes No

Flood Zone: X AE X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: PROFESSIONAL/ADMINISTRATIVE OFFICE

Proposed Building Use: SAME EXISTING, DEVELOPED USE

Proposed Hours of Operation: 7AM - 6PM LOT LINE ADJUSTMENT ONLY

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: N/A Existing _____ Proposed _____

Number of Customers Per Day (Estimated): Existing _____ Proposed _____

Predicted Peak Operating Hour: N/A

Describe Any Truck Delivery Schedule & Operations: N/A

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): NONE

Describe Any Special Events Planned for the Facility: NONE

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - Existing & proposed structures
 - Loading/unloading areas
 - All existing & proposed site features
 - Adjacent street names
 - Accessible path of travel from right of way
 - Site dimensions, including building
 - Refuse enclosures & containers
 - Accessible path of travel from ADA stall
 - Existing and proposed fencing at site
 - Valley oak trees (show drip line)
 - Location and width of drive approaches to site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed landscaping
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
 - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: KENNETH P. MUNDEE Signature of Owner or Authorized Agent*

Address: P.O. BOX 2552

City, State, Zip: PASO ROBLES, CA 93447 Owner _____ Date _____

Phone: 805-550-1360 Authorized Agent* *Neil Zerlang* NOV. 9, 2022

Email: tahoeken@yahoo.com Date _____

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:


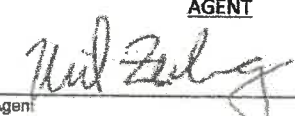
I, KENNETH P. MUNDEE, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN): 121-400-030

AGENT:

I designate NEIL ZERLANG - PLS to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to LOT LINE ADJUSTMENT relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 16th day of November, 2022

OWNER	AGENT
 Signature of Owner	 Signature of Agent
<u>P.O. BOX 2552</u> Owner Mailing Address	<u>2908 B. W. MAIN STREET</u> Agent Mailing Address
<u>PASO ROBLES, CA 93447</u>	<u>VISALIA, CA 93421</u>
<u>805-550-1360</u> Owner Phone Number	<u>559-739-1616</u> Agent Phone Number

LOT LINE ADJUSTMENT

BEING AN ADJUSTMENT OF PARCELS 1-4 OF PARCEL MAP 4936 RECORDED IN BOOK 50 OF PARCEL MAPS, AT PAGE 41, T.C.R., AND AREAS 1, 2 AND 3 OF RECORD OF SURVEY RECORDED IN VOLUME 42 OF LICENSED SURVEYS, AT PAGE 34, T.C.R., IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA.

SEPTEMBER 2022

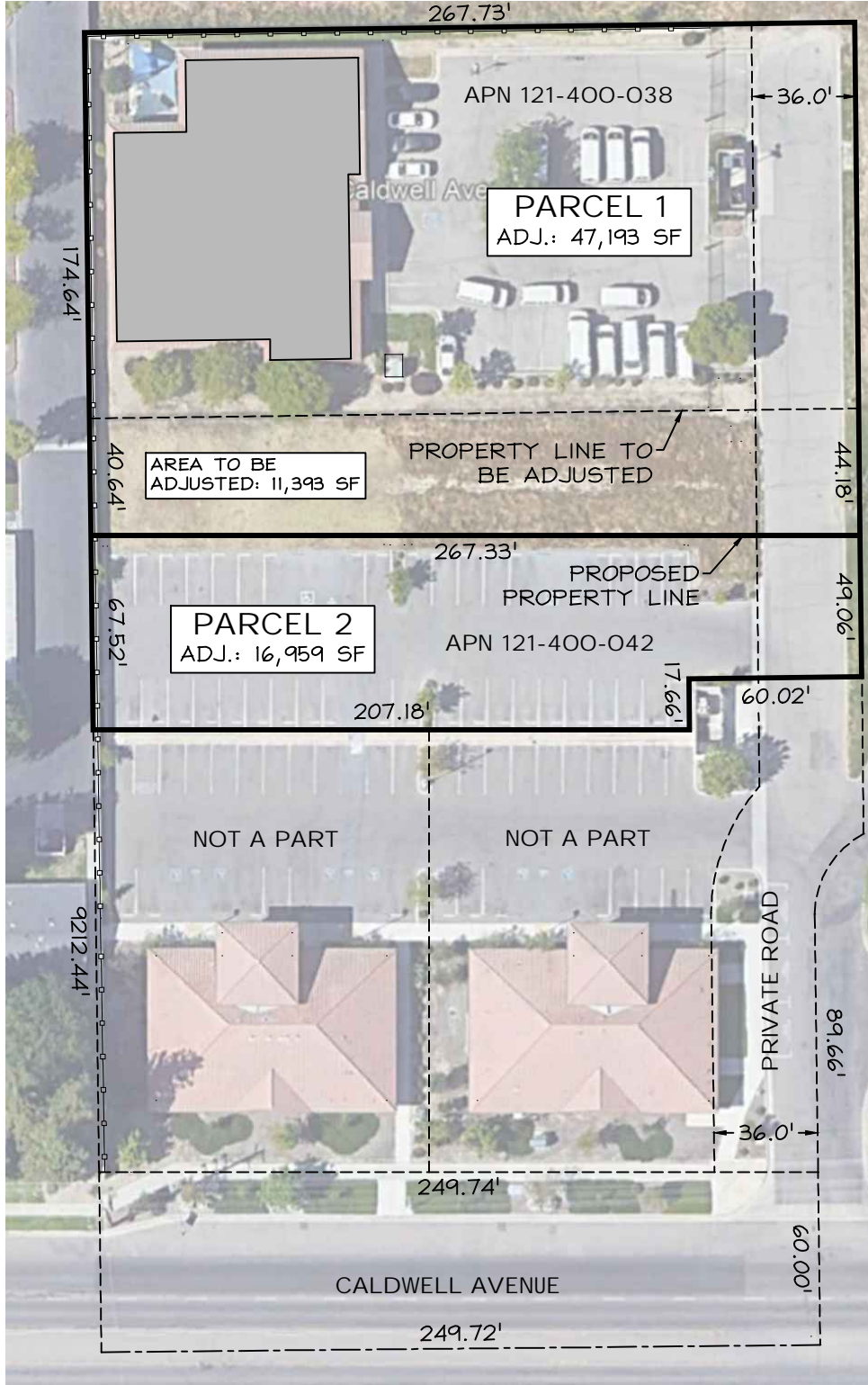
PREPARED BY: NEIL ZERLANG - LAND SURVEYOR 2908-B WEST MAIN STREET, VISALIA, CA 93291; PHONE: (559) 739-1616

PREPARED FOR: KEN MUNDEE 3140 WEST CALDWELL AVENUE, VISALIA, CA 93277; PHONE: (805) 550-1360

ASSESSOR'S PARCEL NOS.: 121-400-038 & 042

ZONE: O-PA PROFESSIONAL/ ADMINISTRATIVE OFFICE

FLOOD ZONE: X

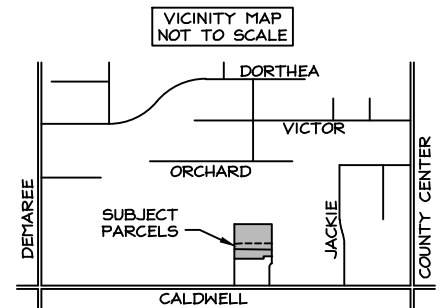


PARCEL NO.	PARCELS 1, 2 AND 3
EXISTING USE	PROFESSIONAL OFFICE
PROPOSED USE	PROFESSIONAL OFFICE
WATER BY	CAL. WATER SERVICE
SEWER BY	CITY OF VISALIA



SCALE: 1" = 60'

NOTE: ALL STRUCTURES SHOWN ARE EXISTING



CITY OF VISALIA SITE PLAN REVIEW APPLICATION

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Application submittal deadline are Thursday at 4:00 p.m. to be scheduled for the next available meeting.

GENERAL PROJECT INFORMATION

Project/Business Name: SJVC Satellite Building Date: 12/01/2022

Project Description: Re-purposing existing space to additional classrooms (no change in existing use) initiating a site plan modification.

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: 20-212

Property Owner: San Joaquin Valley College

Applicant(s) Name: Jeffrey A. Stewart

Project Address/Location: 8233 W Hillsdale (cul-de-sac lot)

Assessor Parcel Number: 081-071-027 - _____

Parcel Size (Acreage or Square Feet): 0.96 AC Building or Suite Square Footage: 20,000

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ TBD

Describe All Proposed Building Modifications: Pending Evaluation

- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received: _____

SPR Agenda: _____ Item No. _____

Zone: _____ SPR No. _____

Historic District: Yes No

Flood Zone: X AE X/AE

OPERATIONS & TRAFFIC INFORMATION

- - A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS - -

Existing/Prior Building Use: No change: vocational classrooms, campus offices and warehouse supply.

Proposed Building Use: Same has existing - no change.

Proposed Hours of Operation: 8-5 M-F - no change

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing _____ Proposed _____ 8 staff/faculty FT

Number of Customers Per Day (Estimated): Existing _____ Proposed _____ 60 students rotating through class periods - no change

Predicted Peak Operating Hour: _____

Describe Any Truck Delivery Schedule & Operations: 2 days/week on varying schedules (no change from existing)

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): _____

Describe Any Special Events Planned for the Facility: _____

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - Existing & proposed structures
 - Loading/unloading areas
 - All existing & proposed site features
 - Adjacent street names
 - Accessible path of travel from right of way
 - Site dimensions, including building
 - Refuse enclosures & containers
 - Accessible path of travel from ADA stall
 - Existing and proposed fencing at site
 - Valley oak trees (show drip line)
 - Location and width of drive approaches to site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed landscaping
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
 - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Jeffrey A. Stewart</u>	Signature of Owner or Authorized Agent*	
Address: <u>611 Alexandrite Drive</u>	_____	_____
City, State, Zip: <u>Oak Point, TX 75068</u>	Owner	Date
Phone: <u>214-354-1218</u>		<u>12/01/2022</u>
Email: <u>jeffs@archinteriors.com</u>	Authorized Agent*	Date

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION FORM

AGENCY AUTHORIZATION

OWNER:

I, _____, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

AGENT:

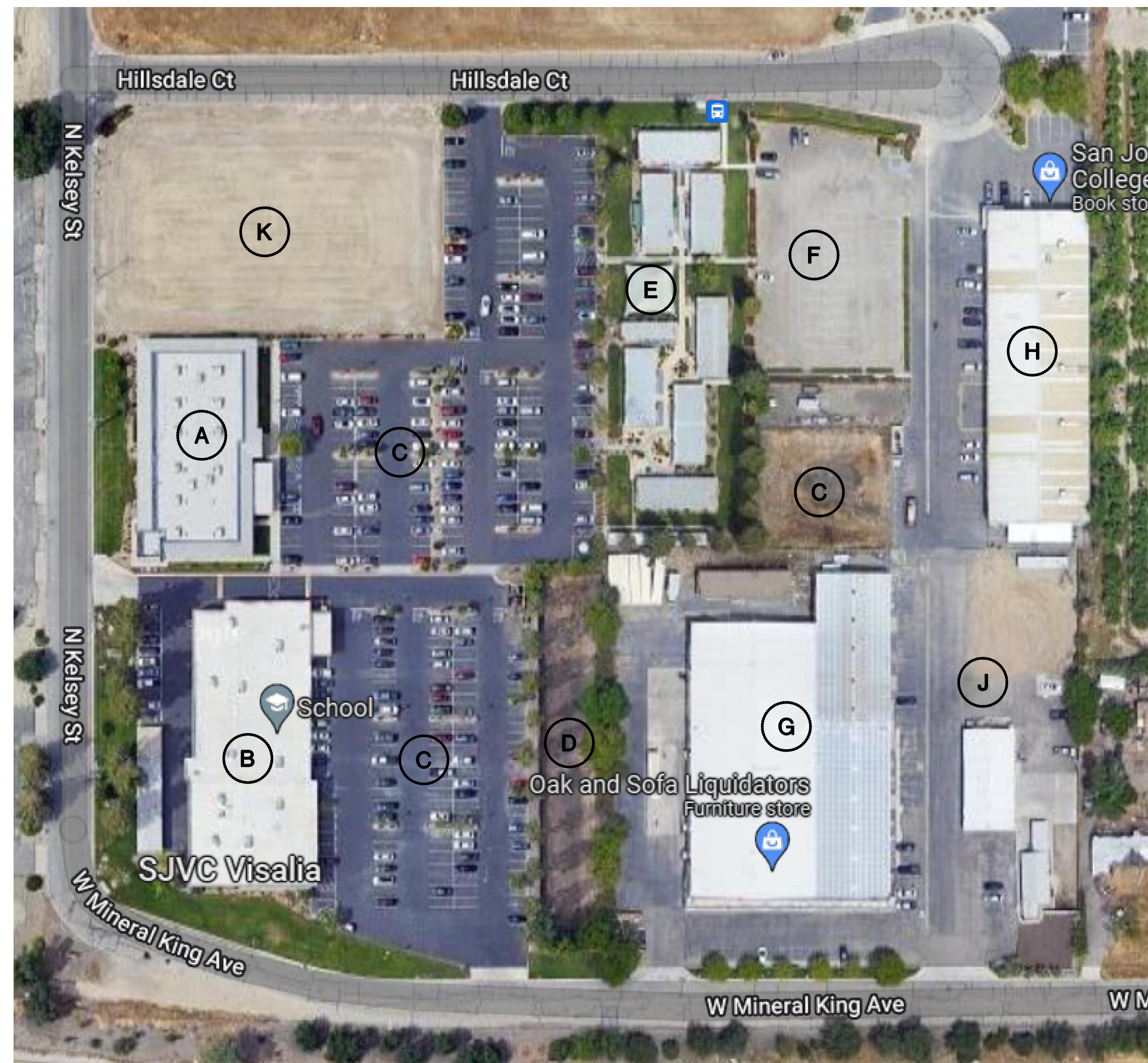
I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20____.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number

SAN JOAQUIN VALLEY COLLEGE SITE VICINITY MAP



- (A) SJVC CLASSROOM CENTER A
- (B) SJVC CLASSROOM CENTER B
- (C) CAMPUS PARKING
- (D) STORM RETENTION BASIN
- (E) SJVC CLASSROOM CENTER C
- (F) RESERVE PARKING
- (G) 8246 W. MINERAL KING (RETAIL)
- (H) 8233 W. HILLSDALE: SJVC SATELLITE BUILDING
- (J) 8226 W. MINERAL KING COMMERCIAL ZONE
- (K) VACANT PARCEL

00 VICINITY MAP

SCALE: NTS

DATA SUMMARY

EVALUATION OF EXISTING USES:

1. SHIPPING / RECEIVING / WAREHOUSE
EDUCATIONAL RESOURCES (BOOKS, CLASSROOM SUPPLIES, TEACHING RESOURCES)
2. VOCATIONAL CLASSROOMS

PROPERTY:

APN: 081-007-027
 ADDRESS: 8233 W. HILLSDALE
 0.96 AC
 SERVICE COMMERCIAL ZONE

EXISTING BUILDING

- 80'-0" X 250'-0"
 -20,000 SQ.FT.
 -SINGLE STORY PRE-ENGINEERED METAL BUILDING, (CMU WALL AT EAST PROPERTY LINE), CONCRETE FOUNDATION AND SLAB-ON-GRADE, WOOD FRAMED OFFICE & ANCILLARY SPACES
 -FULLY SPRINKLERED

CODE CLASSIFICATION:

TYPE VB, SPRINKLED
 ALLOWABLE AREA
 BL: 36,000 (SPRINKLERED - NO INCREASES)
 FI: 34,000 (SPRINKLERED - NO INCREASES)
 NON-SEPARATED OCCUPANCY (CBC 508.3, TABLE 508.4)
 EXITING:
 MAXIMUM COMMON PATH OF EXIT EGRESS TRAVEL (TABLE 1006.3.4(2))
 B: 100 FT (SPRINKLERED) MAX 49 OCC.
 F: 100 FT (SPRINKLERED) MAX 49 OCC.

EXISTING CUP PARKING LAYOUT

10 STALLS PER CLASSROOM
 1 STALLS PER STAFF

CATEGORY	ACTUAL	RATIO	COUNT
CLASSROOMS	3	10/CLASSROOM	30
STAFF	6	1/STAFF	6
			36

+2 ACCESSIBLE STALLS REQUIRED

TOTAL 38 PROVIDED

REVISED CUP PARKING LAYOUT REQUIRED

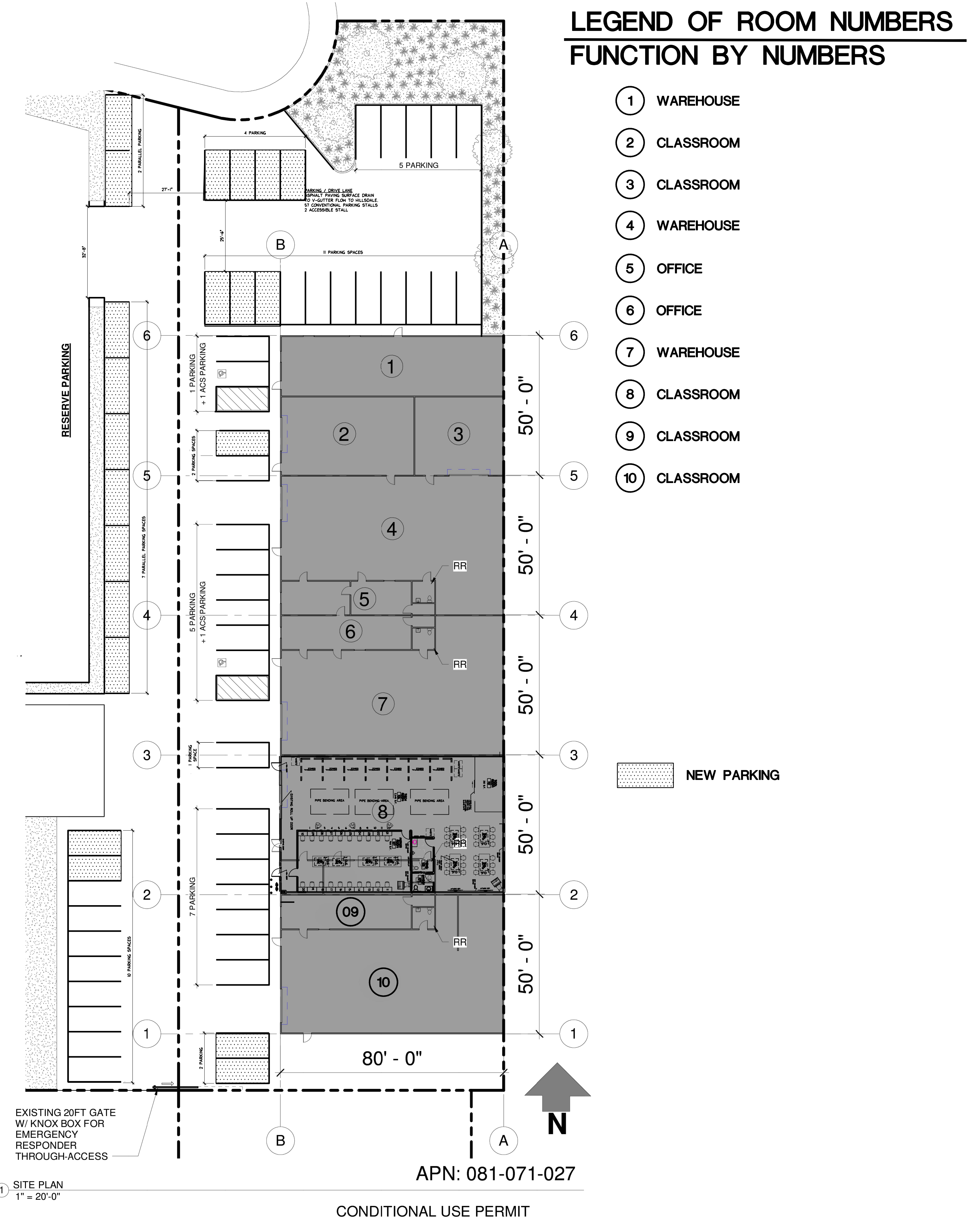
10 STALLS PER CLASSROOM
 1 STALLS PER STAFF

CATEGORY	ACTUAL	RATIO	COUNT
CLASSROOMS	5	10/CLASSROOM	50
STAFF	7	1/STAFF	7
			57

+2 ACCESSIBLE STALLS REQUIRED

TOTAL 59 PROVIDED

**CUP UPDATE-CHANGE IN USE OF OF 2 ROOMS, NEW TOTAL IS 5 CLASSROOMS AND 5 STAFF
 TOTAL PARKING REVISED FROM 36 + 2 HC TO 57 + 2 HC. THE BALANCE OF CUP TO REMAIN AS ORIGINALLY SUBMITTED**



01 SITE PLAN REVIEW

SCALE: 1"=20'-0"

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

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Application submittal deadline are Thursday at 4:00 p.m. to be scheduled for the next available meeting.

GENERAL PROJECT INFORMATION

Project/Business Name: VIS 97 Water Storage and Booster Station Date: 11/30/2022

Project Description: Installation of 1 million gallon tank, (3) boosters, station piping, electrical, and associated appurtenances and infrastructure.

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: California Water Service Company

Applicant(s) Name: Luis Zamudio/California Water Service Company

Project Address/Location: Near 3950 E. Race Ave (No formal address. See APN below)

Assessor Parcel Number: 1 0 3 _ 3 2 0 _ 0 5 6

Parcel Size (Acreage or Square Feet): 1.41 ac (partial lot) Building or Suite Square Footage: n/a

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ n/a

Describe All Proposed Building Modifications: n/a

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: _____

SPR Agenda: _____ Item No. _____

Zone: _____ SPR No. _____

Historic District: Yes No

Flood Zone: X AE X/AE

OPERATIONS & TRAFFIC INFORMATION

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

Existing/Prior Building Use: Existing: Utility (Potable Water)

Proposed Building Use: Utility

Proposed Hours of Operation: Site will be operational daily, unmanned. Refer to Operational Statement for details

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing _____ Proposed _____

Number of Customers Per Day (Estimated): Existing _____ Proposed _____

Predicted Peak Operating Hour: _____

Describe Any Truck Delivery Schedule & Operations: n/a

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): n/a

Describe Any Special Events Planned for the Facility: n/a

See Operational Statement for detailed answers.

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇓ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇓ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇓ Site plan shall provide for and indicate all of the following:
 - North arrow
 - Existing & proposed structures
 - Loading/unloading areas
 - All existing & proposed site features
 - Adjacent street names
 - Accessible path of travel from right of way
 - Site dimensions, including building
 - Refuse enclosures & containers
 - Accessible path of travel from ADA stall
 - Existing and proposed fencing at site
 - Valley oak trees (show drip line)
 - Location and width of drive approaches to site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed landscaping
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
 - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: California Water Service Company/Luis Zamudio Signature of Owner or Authorized Agent* *was employee of the company*

Address: 1720 North 1st St.

City, State, Zip San Jose, CA, 95112 Owner *[Signature]* Date 11/30/2022

Phone: 408-367-8390

Email: LZAMUDIO@CALWATER.COM Authorized Agent* _____ Date _____

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, _____, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

AGENT:

I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

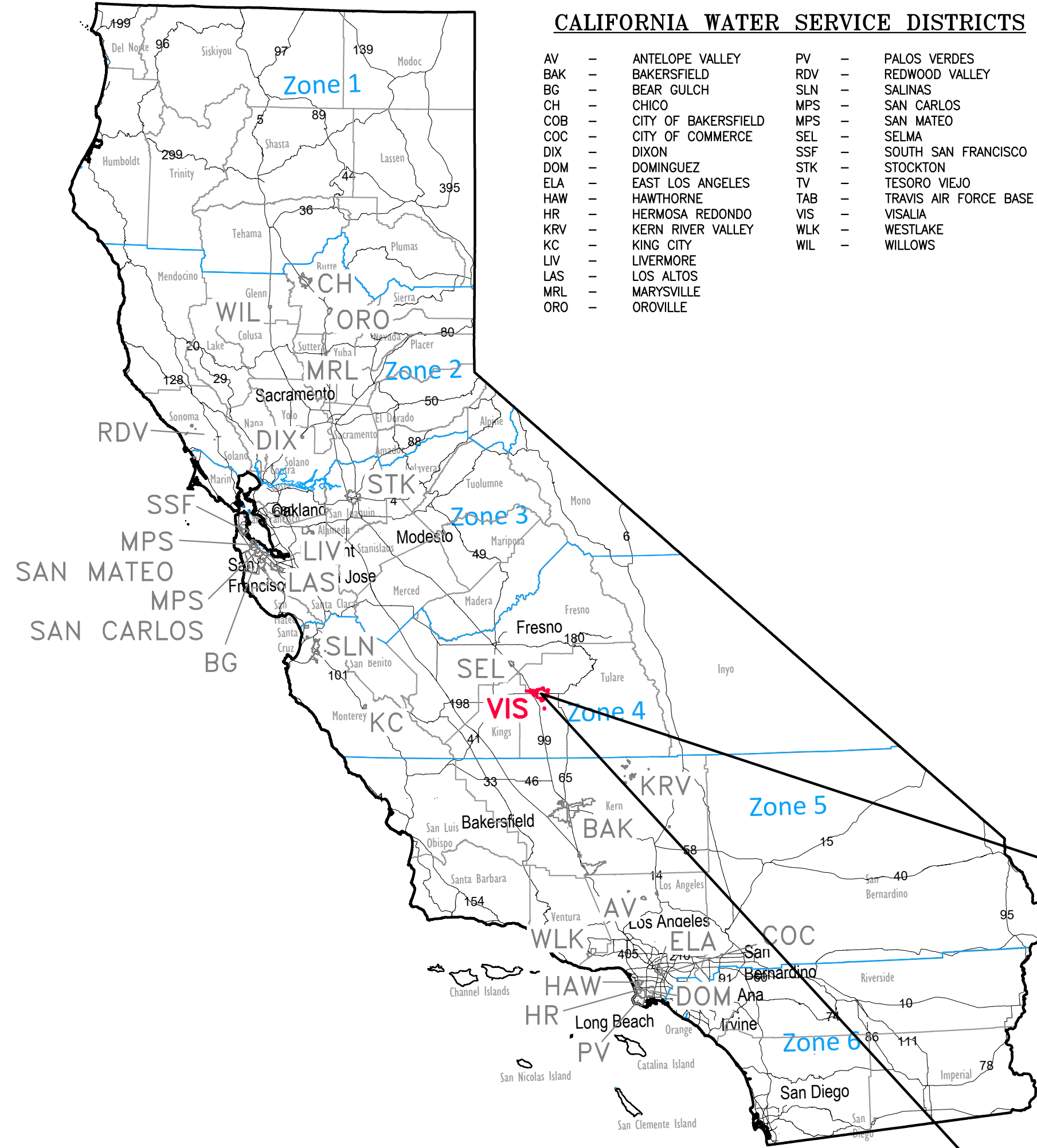
I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20__.

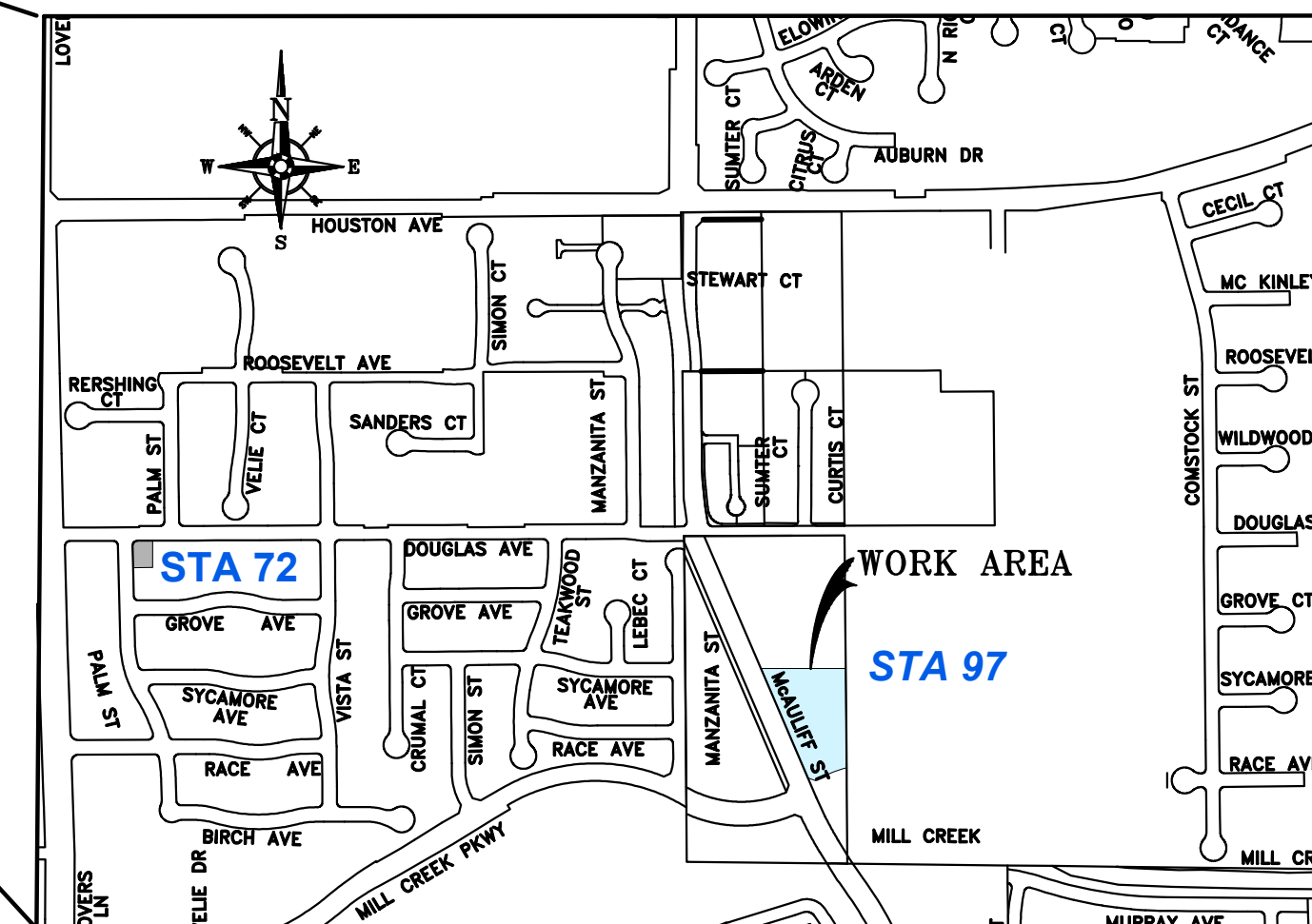
OWNER	Signatures	AGENT
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number

CALIFORNIA WATER SERVICE

NEW 1,000,000 GALLON STORAGE TANK VISALIA DISTRICT - STATION 097 VISALIA, CALIFORNIA



DRAWING INDEX				
DWG. NUMBER	SHEET	REV	DRAWING TITLE	CAD FILE NO.
VIS-XXXX-G-01	1 OF 14	B	TITLE SHEET, DRAWING INDEX & VICINITY MAP - CIVIL	VIS-XXXX-G
VIS-XXXX-G-02	2 OF 14	B	GENERAL CIVIL NOTES	VIS-XXXX-G
VIS-XXXX-G-03	3 OF 14	B	CALLOUTS & LEGENDS	VIS-XXXX-G
VIS-XXXX-C-01	4 OF 14	B	DEMOLITION PLAN	VIS-XXXX-C
VIS-XXXX-C-02	5 OF 14	B	SITE PLAN	VIS-XXXX-C
VIS-XXXX-C-03	6 OF 14	B	BOOSTER PUMP PIPING PLAN	VIS-XXXX-C
VIS-XXXX-C-04	7 OF 14	B	TANK GRADING PLAN	VIS-XXXX-C
VIS-XXXX-C-05	8 OF 14	B	TANK EXCAVATION PLAN	VIS-XXXX-C
VIS-XXXX-C-06	9 OF 14	B	PIPING SECTIONS AND DETAILS	VIS-XXXX-C
VIS-XXXX-C-07	10 OF 14	B	GRADING SECTIONS AND DETAILS	VIS-XXXX-C
VIS-XXXX-C-08	11 OF 14	B	STANDARD DETAILS	VIS-XXXX-C
VIS-XXXX-C-09	12 OF 14	B	STANDARD DETAILS	VIS-XXXX-C
VIS-XXXX-C-10	13 OF 14	B	STANDARD DETAILS	VIS-XXXX-C
VIS-XXXX-C-11	14 OF 14	B	STANDARD DETAILS	VIS-XXXX-C



**PRELIMINARY
NOT FOR CONSTRUCTION**

BILL OF MATERIALS	
---" MAIN	
QTY.	DESCRIPTION
-	---" GATE VALVE, PO (W/ FIELD LOK GASKETS) EXAMPLE
TIE-IN CONSTRUCTION (SEE SHEET ---, DETAIL ---)	
AS NEEDED	LINEGUARD TAPE
AS NEEDED	TRACER WIRE - #12 AWG STRANDED COPPER - THW INSULATED
AS NEEDED	METALGUARD #301 & BIT WRAP
AS NEEDED	POLYWRAP TUBING
AS NEEDED	PVC TAPE (100' ROLLS)
---" SERVICE LINE	
QTY.	DESCRIPTION
-	---" GATE VALVE, PO (W/ FIELD LOK GASKETS) EXAMPLE
---" FIRE SERVICE	
QTY.	DESCRIPTION
-	---" FIRE HYDRANT

- NOTES**
- THIS BILL OF MATERIALS IS A REFERENCE LIST ONLY - CONTRACTOR(S) TO VERIFY AND OBTAIN ALL MATERIALS REQUIRED TO COMPLETE THE PROJECT.
 - ALL BELOW GROUND FITTINGS REQUIRE A THRUST BLOCK (TO BE CONSTRUCTED PER CWS STANDARD DRAWING CW-435-R4).
 - ALL PIPING, FITTINGS, VALVES, AND OTHER MATERIALS SHALL COMPLY WITH SPECIFICATIONS ESTABLISHED IN CWS STANDARD DRAWING CW-863-R6.
 - TIE-IN ALL EXISTING (LONG/SHORT) SERVICE TO PROPOSED CWS AFTER INSTALLATION.

- SCOPE OF WORK:**
- INSTALL:**
- INSTALL NEW 1,000,000 GALLON WELDED STORAGE TANK
 - INSTALL XXX LF OF 16" DUCTILE IRON PIPING
 - INSTALL XXX LF OF 12" DUCTILE IRON PIPING
 - INSTALL NEW BLOW-OFF PIPING
 - INSTALL NEW ABOVE GROUND FLOW METER
 - INSTALL NEW BELOW GROUND CONTROL VALVE
 - INSTALL THREE(3) NEW PORTABLE BOOSTER CONNECTIONS
 - RESTORE SITE CONDITIONS

BASIS OF BEARINGS
THE COORDINATES SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, CCS83, ZONE 3, (2021.75) IN ACCORDANCE TO THE CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8801-8819.

BENCH MARK
THE ELEVATIONS SHOWN HEREON ARE BASED UPON THE FOLLOWING CITY BENCHMARK.
CITY OF VISALIA #754
ELEVATION = 348.580' (NAVD 88)
P-K NAIL IN TOP OF CURB WEST RADIUS POINT SW CORNER OF INTERSECTION OF MAULIFF AND MILL CREEK

BOUNDARY NOTES
BOUNDARY LINES SHOWN HEREON ARE BASED ON RECORD DATA AND ARE SHOWN FOR ILLUSTRATIVE PURPOSE ONLY.

DATE OF SURVEY
MARCH 22, 2022.

SURVEYOR'S NOTES
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT

UTILITY STATEMENTS
THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

811
Know what's below.
Call before you dig.

VERIFY SCALES
0 1" = 1'
BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET ADJUST SCALES ACCORDINGLY

ENGINEERING

DEPARTMENT

ISSUED FOR 60% REVIEW	9/27/2022
ISSUED FOR 30% REVIEW	7/22/2022

PLAT SHEET NO.: VIS-28-39
SCALE: AS SHOWN
DRAWN BY: S. SILVA
DESIGNED BY: F. CEJA
TECH REVIEW: DATE:
CHECKED BY: DATE:
APPROVED BY: DATE:

**TITLE: NEW 1MG STORAGE TANK
VISALIA DISTRICT - STATION 097
VISALIA, CALIFORNIA
TITLE SHEET, DRAWING INDEX,
AND VICINITY MAP**

DISTRICT: VISALIA

PROJECT ID.: 00123354
DRAWING NO.: VIS-XXXX-G-01
SHT 1 OF 14

USERNAME: Ssliva 9/27/2022 2:56 PM
FILENAME: \\FILER2\apps\Coplot\Projects\CAD Team Files\120_Visalia\00123354_VIS_New Storage Tank Station 097\WIP\00123354_VIS-XXXX-C_Sta_097_New_Storage_Tank.dwg

GENERAL NOTES:

- CONTRACTOR SHALL BECOME FAMILIAR WITH PROJECT SURROUNDINGS, WORKING CONDITIONS, AND SITE LIMITATIONS AND SHALL INCLUDE ALLOWANCES IN THEIR BID TO COVER ANY PROJECT CONSTRAINTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO AND COMPLYING WITH LOCAL GOVERNING AGENCY PERMIT RESTRICTIONS, WHICH MAY AFFECT ALLOWABLE WORKING HOURS AND NOISE LEVELS.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AS REQUIRED BY APPLICABLE LOCAL GOVERNING AGENCY PERMIT RESTRICTIONS AND TRAFFIC CONTROL PLAN PER CALTRANS STANDARDS TO GOVERNING AGENCY (AS REQUIRED) PRIOR TO CONSTRUCTION.
- WORK REQUIRING TRAFFIC CONTROL SHALL BE CONDUCTED BETWEEN THE HOURS OF 8:30 A.M. AND 3:30 P.M., MONDAY THRU FRIDAY, OR AS OTHERWISE AUTHORIZED BY LOCAL GOVERNING AGENCY REPRESENTATIVE.
- CONTRACTOR SHALL APPLY NPDES BEST MANAGEMENT PRACTICES TO PREVENT CHLORINATED WATER AND SEDIMENT FROM ENTERING NAVIGABLE WATERWAYS. CONTRACTOR TO SUBMIT A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), INCLUDING DUST CONTROL, TO OWNER FOR APPROVAL WITHIN 5 WORKING DAYS OF AWARD OF CONTRACT AND PRIOR TO ANY SOIL DISTURBANCE. SEE SPECIFICATIONS FOR DETAILS.
- CONTRACTOR TO CONTACT "UNDERGROUND SERVICE ALERT" 48 HOURS PRIOR TO ANY EXCAVATION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES.
- TRENCHES TO BE SHORED IN ACCORDANCE WITH CALIFORNIA OSHA REGULATIONS.
- PLACE A CONTINUOUS WIRE AND STRIP OF DETECTOR TAPE OVER ALL PIPES AND EXTEND UP INTO ALL VALVE BOXES. TRACER WIRE IS REQUIRED ON ALL PIPE. (SEE DWG. CW-850-R4).
- SEE DWG. CW-435-R4 FOR TYPICAL THRUST BLOCK INSTALLATION.
- FACILITIES SEPARATION:
 - WATER MAIN SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM AND ONE FOOT VERTICALLY ABOVE ANY PIPELINE CONVEYING SEWAGE (UNTREATED, PRIMARY, OR SECONDARY), DISINFECTED SECONDARY RECYCLED WATER, OR HAZARDOUS FLUIDS.
 - WATER MAIN SHALL BE INSTALLED 4 FEET HORIZONTALLY FROM AND ONE FOOT VERTICALLY ABOVE ANY PIPELINE CONVEYING TERTIARY RECYCLED WATER OR STORM DRAINAGE.
 - AT CROSSINGS, WATER MAIN SHALL BE CONSTRUCTED NO LESS THAN 45 DEGREES TO AND AT LEAST ONE FOOT VERTICALLY ABOVE ANY PIPELINES INDICATED IN 11.A AND 11.B.
 - NO CONNECTION JOINTS SHALL BE MADE IN THE WATER MAIN WITHIN EIGHT HORIZONTAL FEET OF CROSSING OF ANY PIPELINES INDICATED IN 11.A AND 11.B (OR 10 FEET IF CROSSING UNDER).
 - WATER MAIN SHALL NOT BE INSTALLED WITHIN 100 HORIZONTAL FEET OF ANY SANITARY LANDFILL, WASTEWATER DISPOSAL POND, OR HAZARDOUS WASTE DISPOSAL SITE.
 - WATER MAIN SHALL NOT BE INSTALLED WITHIN 25 HORIZONTAL FEET OF ANY CESSPOOL, SEPTIC TANK, SEWAGE LEACH FIELD, SEEPAGE PIT, UNDERGROUND HAZARDOUS MATERIAL STORAGE TANK, OR GROUNDWATER RECHARGE PROJECT SITE.
 - ALL SEPARATION DISTANCES ARE BASED FROM EDGE TO EDGE OF PIPES.
 - PROPOSED MAIN SHALL BE INSTALLED ABOVE EXISTING HOUSE SEWER LATERALS. IF BELOW FOLLOW NOTE 11D.
- WHEN ASSEMBLING A PVC C-900 PIPE TO AN IRON FITTING (PUSH-ON OR MECHANICAL JOINT), REMOVE ALL BUT $\frac{1}{4}$ INCH OF THE FACTORY-MADE BEVEL FROM THE SPIGOT END OF THE PIPE PRIOR TO INSTALLATION.
- USE PVC ± 1 DEGREE AND ± 5 DEGREES HIGH DEFLECTION CPLOS TO ACHIEVE PROPER RADIUS FOR CURVES. DO NOT DEFLECT PIPE AT FITTINGS.
- VALVE CANS AND COVERS SHALL BE PLACED OVER ALL VALVES. COVERS SHALL BE SET TO EXISTING FINISHED GRADE AND RESET IF NECESSARY ONCE THE STREET IS AT FINAL GRADE. (SEE DWGS. CW-14-R6 & CW-439-R6).
- NO VALVE COVERS ARE TO LIE IN SIDEWALKS, CROSS GUTTER, CURB OR DRIVEWAYS. EACH SERVICE SHOULD ALSO BE LOCATED TO PROVIDE PROTECTION TO THE METER BOX FROM VEHICLE TRAFFIC AND PARKING.
- PROTECT UNDERGROUND FLEXIBLE COUPLINGS, BARE STEEL, MJ x MJ SLEEVES, AND ALL BOLTS (INCLUDING STAINLESS STEEL) AS FOLLOWS:
 - THE ENTIRE AREA OF THE FITTING MUST BE DRY AND FREE OF DUST, DIRT, AND OTHER FOREIGN MATTER. RUST OR OTHER FOREIGN MATTER MUST BE REMOVED BY SCRAPING OR WIRE BRUSHING. WIPING WITH A DRY CLEAN CLOTH MAY BE NECESSARY TO REMOVE THE PARTICLES FROM BRUSH CLEANING. ANY OIL OR GREASE MUST BE REMOVED BY USING A LOW RESIDUE, VOLATILE PETROLEUM SOLVENT BEFORE APPLICATION OF GREASE AND WRAPPING.
 - THE EXPOSED AREA SHOULD BE COATED WITH A HEAVY COATING OF METAL COATING OF METALGUARD 301 GREASE BY THE GLOVE METHOD TO A THICKNESS OF AT LEAST $\frac{1}{4}$ INCH.
 - FIRMLY WRAP THE ENTIRE GREASE AREA WITH ONE LAYER, HALF-LAPPED, OF A WOVEN GLASS FILAMENT MESH (RES OR BIT WRAP, 4 INCHES WIDE).
 - APPLY A SECOND LAYER OF METALGUARD 301 GREASE ON TOP OF THE GLASS FILAMENT BY THE GLOVE METHOD TO A THICKNESS OF AT LEAST $\frac{1}{4}$ INCH.
 - FIRMLY WRAP THE ENTIRE GREASE AREA WITH A SECOND LAYER, HALF-LAPPED, OF THE WOVEN GLASS FILAMENT MESH.
 - COVER THE ENTIRE MESH WRAPPED AREA OF THE FITTING WITH A THIRD AND FINAL COATING AT LEAST $\frac{1}{4}$ INCH THICK OF METALGUARD 301 GREASE BY THE GLOVE METHOD.
 - FIRMLY APPLY 2 LAYERS OF POLYWRAP, HALF-LAPPED, OVER ALL AREAS OF THE COATED AND WRAPPED FITTING. BACKFILLING MAY FOLLOW IMMEDIATELY AFTER THIS WRAPPING.
- TRENCH BACKFILL AND PAVING SHALL CONFORM TO TRENCH SECTION DETAILS AND ALL GOVERNING AGENCY REQUIREMENTS.
- NEW PIPELINE SHALL BE INSTALLED WITH 4 FEET OF COVER, EXCEPT WHERE SPECIFIED OTHERWISE.
- CONTRACTOR SHALL LIMIT DAILY TRENCHING OPERATIONS TO THE LENGTH OF PIPE THAT CAN BE INSTALLED AND BACKFILLED THAT DAY. RESTORE TRAFFIC LANES AT THE END OF EACH WORKDAY.
- CONTRACTOR SHALL INSTALL NEW MAIN AND ADJUST FROM NOMINAL LINE AND GRADE TO MATCH THE EXISTING FACILITIES AT ALL LOCATIONS. THE CONTRACTOR SHALL INSTALL A TEMPORARY CAP, BLOWOFF AND BACKFLOW DEVICE AT TIE-IN LOCATIONS FOR TESTING (SEE DWGS. CW-122-R5 & CW-638-R1). CONTRACTOR WILL TIE THE NEW MAIN FROM THIS LOCATION.
- THE NEW PIPELINE SHALL BE TESTED AT 150 PSI FOR A PERIOD OF 4 HOURS. SEE SPECIFICATIONS TO DETERMINE EXACT TESTING REQUIREMENTS.
- TIE-INS TO BE MADE AT A TIME THAT IS CONVENIENT TO CALIFORNIA WATER SERVICE COMPANY AND IN COMPLIANCE WITH THE LOCAL GOVERNING AGENCY PERMIT GUIDELINES. THE ADDITIONAL COST DUE TO OVERTIME PAY SHALL BE AT CALIFORNIA WATER SERVICE COMPANY'S EXPENSE.

- CONTRACTOR SHALL PROVIDE MISC. MATERIAL REQUIRED TO COMPLETE THE TIE-IN SUCH AS BUT NOT LIMITED TO: PROTECTION COATING MATERIAL FOR PIPE AND FITTINGS, LINEGUARD TAPE, CONCRETE FOR THRUST BLOCKS, EMBEDMENT BACKFILL AROUND AND OVER THE PIPE, FINAL BACKFILL TO MEET COMPACTION REQUIREMENTS, AND PAVEMENT REPLACEMENT.
- CONTRACTOR SHALL BE RESPONSIBLE TO ABANDON ALL PIPE ENDS BY PLUGGING WITH BRICK AND MORTAR. ABANDON ALL GATE VALVES BY REMOVING COVER, CUT CASING DOWN TO SUBGRADE, AND BACKFILL VALVE CASING WITH CONCRETE SLURRY TO REMOVE VOIDS. REPLACE BASE ROCK AND PERMANENT PAVEMENT AS NECESSARY. WHEN REMOVING EXISTING FITTINGS, CONTRACTOR SHALL ALSO REMOVE EXISTING CONCRETE THRUST BLOCK.
- SPOILS SHALL NOT REMAIN ON-SITE. DISPOSAL OF ALL PROJECT-GENERATED SPOILS SHALL BE AT A FACILITY LICENSED AND CLASSIFIED TO ACCEPT THE MATERIALS. CONTRACTOR TO PROVIDE OWNER WITH A FORMAL RECEIPT FROM THE ACCEPTING FACILITY. ALL MATERIALS THAT WILL REQUIRE TESTING PRIOR TO DISPOSAL SHALL BE SAMPLED AND TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE DISPOSAL FACILITY IN ADVANCE OF THE NEED FOR DISPOSAL.
- THE LIST OF MATERIALS FOR THIS PROJECT IS FOR CALIFORNIA WATER SERVICE COMPANY ESTIMATING AND REFERENCE PURPOSES ONLY, AND IS NOT INTENDED AS A FULL TAKE-OFF OF ALL MATERIALS REQUIRED TO COMPLETE THE PROJECT PER CALIFORNIA WATER SERVICE COMPANY STANDARD SPECIFICATIONS.
- AT TIE-INS, CONTRACTOR SHALL SPRAY OR SWAB ALL FITTINGS WITH CHLORINE SOLUTION FOR DISINFECTION PRIOR TO FINAL CONNECTIONS.
- CONTRACTOR TO ENSURE AIR IN THE PIPELINE IS REMOVED USING EXISTING OUTLETS SUCH AS FIRE HYDRANTS AND BLOW-OFF. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AIR RELEASES IF EXISTING OUTLETS ARE INSUFFICIENT.
- ALL WORK SHALL COMPLY WITH CAL WATER SPECIFICATIONS FOR MATERIALS, INSTALLATION, DISINFECTION AND DE-CHLORINATION PER LATEST REVISION OF DRAWING CW-863-R6.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL SURVEYING AND STAKING REQUIRED TO INSTALL THE PIPELINE/EQUIPMENT AT THE LINE AND GRADE ESTABLISHED IN THE PROJECT PLANS.
- REMOVAL AND PROPER DISPOSAL OF MATERIAL SHALL COMPLY WITH CURRENT FEDERAL AND STATE REGULATIONS. CONTRACTOR SHALL TAKE PRECAUTIONS FOR WORKER SAFETY AND ENSURE PROPER LEGAL DISPOSAL OF ALL MATERIALS OFF-SITE.
- CONTRACTOR SHALL PREPARE AND MAINTAIN A COMPLETE SET OF RECORD DRAWINGS (AS-BUILTS) AND MUST SHOW ALL FIELD CHANGES AND WORK PERFORMED IN ITS ENTIRETY. CONTRACTOR SHALL MARK THE AS-BUILTS TO SHOW THE ACTUAL INSTALLATION WHERE THE INSTALLATION VARIES FROM THE PLANS, AS ORIGINALLY SHOWN. SUITABILITY OF AS-BUILTS WILL BE DETERMINED BY THE ENGINEER AT THE COMPLETION OF THE PROJECT.
- \odot = INDICATED FIRE HYDRANT (DISTRICT)

SITE AND GRADING NOTES:

- C.W.S. STATION IS LOCATED NEAR 3950 EAST RACE AVENUE, VISALIA, CA 93292 BEING A PORTION OF LOT 28 OF TRACT MAP "PLAT OF THE OAKS" RECORDED ON MARCH 7, 1907, IN VOLUME 7, MAPS (TRACT-SUBDIVISION), AT PAGE 50, TULARE COUNTY RECORDS. APN: 103-320-056.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO AND COMPLYING WITH LOCAL GOVERNING AGENCY PERMIT RESTRICTIONS, WHICH MAY AFFECT ALLOWABLE WORKING HOURS AND NOISE LEVELS.
- CONTRACTOR SHALL BECOME FAMILIAR WITH PROJECT SURROUNDINGS, WORKING CONDITIONS, AND SITE LIMITATIONS AND SHALL INCLUDE ALLOWANCES IN THEIR BID TO COVER ANY PROJECT CONSTRAINTS.
- CONTRACTOR SHALL APPLY CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASCQA) BEST MANAGEMENT PRACTICES TO PREVENT WATER AND SEDIMENT FROM ENTERING NAVIGABLE WATERWAYS. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND INSTALLING THE APPLICABLE AND APPROPRIATE BMP'S IDENTIFIED IN THE CASCQA - STORMWATER BEST MANAGEMENT PRACTICES HANDBOOK AVAILABLE ONLINE AT WWW.CASCQAHANDBOOKS.COM. SOME OF THE REQUIRED PRACTICES MAY OR MAY NOT BE SHOWN ON THIS SITE PLAN. SEE NOTES 15 AND 16.
- CONTRACTOR TO CONTACT "UNDERGROUND SERVICES ALERT" 48 HOURS PRIOR TO ANY EXCAVATION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES.
- THE LIST OF MATERIALS FOR THIS PROJECT IS FOR REFERENCE PURPOSES ONLY, AND IS NOT INTENDED AS A FULL TAKE-OFF OF ALL MATERIALS REQUIRED TO COMPLETE THE PROJECT AS PER CWS CO. STANDARD SPECIFICATIONS.
- ASPHALT CONCRETE TO BE TYPE III, CLASS C2, GRADE PG 64-10 PER PWSI (PUBLIC WORKS STANDARDS, INC.) STANDARD SPECIFICATIONS (THE "GREENBOOK"). PLACE ASPHALT ON CL 2 AGGREGATE BASE (AB) COMPACTED TO 95% RELATIVE COMPACTION.
- THERE SHALL BE MINIMUM OF 8" OF CLASS 2 AGGREGATE BASE (AB) UNDER ANY PROPOSED FOUNDATION OR PAVEMENT COMPACTED TO 95% RELATIVE COMPACTION.
- MAINTENANCE AREA SHALL BE GRADED TO 4" BELOW PROPOSED FINAL ELEVATIONS AND THEN SCARIFIED, WATERED AND COMPACTED TO 85% RELATIVE COMPACTION PER ASTM D1557. PLACE 4" OF CLASS 2 A.B. COMPACTED TO 90% RELATIVE COMPACTION. THE ENTIRE SITE, EXCEPT STEEP SLOPES AND EQUIPMENT AREAS, IS TO BE CONSIDERED MAINTENANCE AREA.
- CONTRACTOR SHALL GRADE THE SITE TO FINAL ELEVATIONS SHOWN FOR PROPER SURFACE DRAINAGE. FINAL GRADING SHALL ALLOW SURFACE DRAINAGE TO AVOID DRAINAGE TO THE ADJACENT PROPERTIES. FINAL GRADES MAY BE ADJUSTED AS NEEDED IN THE FIELD TO BALANCE CUTS AND FILLS.
- IMPORT FILL:
 - IMPORTED FILL MATERIAL FOR BUILDING AND DRIVEWAY SHALL CONSIST OF ESSENTIALLY GRANULAR, SILTY SANDS WITH LOW EXPANSION POTENTIAL AND FREE OF GRASSES, WEEDS, ROCKS, DEBRIS AND SOLUBLE SULFATES IN EXCESS OF 1,000 PARTS PER MILLION. IMPORT SOIL SHALL MEET THE FOLLOWING CRITERIA:
 MAXIMUM % PASSING #200 SIEVE 50
 MAXIMUM LIQUID LIMIT 14
 MINIMUM R-VALUE 50
 MAXIMUM EXPANSION PRESSURE 10PSF
 (TEST METHOD: CALIFORNIA TEST 301)
 - IMPORT FILL FOR REMAINING PORTION OF SITE SHALL BE SANDY LOAM SUITABLE FOR PLANTING.
 - IMPORTED FILL SHOULD BE FREE OF ORGANIC MATERIAL AND IT SHOULD CONTAIN NO MATERIAL LARGER THAN 4 INCHES AND HAVE A PLASTICITY INDEX OF LESS THAN 16.
- THE EXCAVATED ON-SITE MATERIAL IS SUITABLE AS COMPACTED FILL PROVIDED IT IS FREE OF ORGANIC MATTER AND MATERIAL LARGER THAN 4 INCHES IN DIAMETER.
- FILL SHOULD BE PLACED IN HORIZONTAL LIFTS NOT EXCEEDING 8 INCHES IN LOOSE THICKNESS, MOISTURE CONDITIONED TO AT LEAST OPTIMUM CONTENT, AND COMPACTED TO AT LEAST 95 PERCENT RELATIVE COMPACTION BENEATH ALL STRUCTURES, AND 90 PERCENT RELATIVE COMPACTION ELSEWHERE. A SITE SPECIFIC GEOTECHNICAL REPORT, IF AVAILABLE SHALL OVERRIDE/AMEND SUCH REQUIREMENTS.
- CONSTRUCTION OPERATIONS DUST SHALL BE CONTROLLED. WASTEWATER GENERATED DURING CONSTRUCTION SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM. THIS INCLUDES WASTE FROM PAINTING, SAW CUTTING, CONCRETE WORK ETC. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO ELIMINATE DISCHARGES TO THE STORM DRAIN SYSTEM AND THE EXISTING SUMP. IF NECESSARY PROVIDE AN AREA FOR ON-SITE WASHING ACTIVITIES DURING CONSTRUCTIONS. MATERIALS THAT COULD CONTAMINATE STORM RUNOFF SHALL BE STORED IN AREAS WHICH ARE DESIGNATED TO PREVENT EXPOSURE TO RAINFALL AND TO NOT ALLOW STORM WATER TO RUN ONTO THE AREA.
- PAVEMENT CLEANING-FLUSHING OF STREETS/PARKING LOTS TO REMOVE DIRT AND CONSTRUCTION DEBRIS IS PROHIBITED UNLESS SEDIMENT CONTROLS ARE USED. PREFERABLY, AREAS REQUIRED CLEANING SHOULD BE SWEEPED.
- SPOILS SHALL NOT REMAIN ON-SITE. DISPOSAL OF ALL PROJECT GENERATED SPOILS SHALL BE AT A FACILITY LICENSED AND CLASSIFIED TO ACCEPT THE MATERIALS. CONTRACTOR TO PROVIDE OWNER WITH A FORMAL RECEIPT FROM THE ACCEPTING FACILITY. ALL MATERIALS THAT WILL REQUIRE TESTING PRIOR TO DISPOSAL SHALL BE SAMPLED AND TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE DISPOSAL FACILITY IN ADVANCE OF THE NEED FOR DISPOSAL.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH 2019 C.B.C., 2019 C.F.C., AND MOST CURRENT NFPA AND NEC AWWA E101 & C600.
- SITE CONTRACTOR MUST SHARE THE SITE WITH OWNER'S OTHER CONTRACTORS.

PIPELINE CROSSING INFORMATION:

NOTE:

AT WATER MAIN CROSSINGS IN CONFLICT WITH OTHER FACILITIES: WHEN THE WATER MAIN IS IN CONFLICT WITH EXISTING FACILITIES OR PROPOSED FACILITIES THAT REQUIRE MORE THAN A 2 FOOT ADJUSTMENT FROM THE NOMINAL 4 FEET OF COVER, A FABRICATED STEEL CEMENT MORTAR LINED AND CEMENT MORTAR COATED OFFSET SHALL BE INSTALLED AT THE CROSSING PER CWS COMPANY STANDARDS.

- TYPE OF XING FINISHED GRADE ELEV. = VERIFY
INVERT ELEV. = VERIFY
FIELD VERIFY EXACT DEPTH OF (XING TYPE) PRIOR TO INSTALLATION. INSTALL NEW WATER LINE OVER/UNDER (TYPE OF XING) WITH 4ft MIN. COVER.
- TYPE OF XING FINISHED GRADE ELEV. = VERIFY
INVERT ELEV. = VERIFY
FIELD VERIFY EXACT DEPTH OF (XING TYPE) PRIOR TO INSTALLATION. INSTALL NEW WATER LINE OVER/UNDER (TYPE OF XING) WITH 4ft MIN. COVER.

FOUNDATION NOTES:

- GENERAL**
 THE CONTRACTOR SHALL COMPARE THIS DRAWING WITH EXISTING CONDITIONS AT THE SITE, AND WITH ALL OTHER APPLICABLE DRAWINGS. HE SHALL VERIFY MEASUREMENTS OF ALL EXISTING FEATURES AFFECTING HIS WORK, AND SHALL REPORT ANY DISCREPANCIES TO THE CALIFORNIA WATER SERVICE COMPANY ENGINEER FOR CLARIFICATION AND ADJUSTMENT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS SHOWN ON THIS DRAWING WITH THE REQUIREMENTS OF EXISTING CONDITIONS AND ALL RELATED NEW EQUIPMENT.
 FOUNDATION PREPARATION: AREAS TO RECEIVE FILL SHALL BE SCARIFIED TO A DEPTH OF SIX INCHES AND WATERED TO PROVIDE A MOISTURE CONTENT COMMENSURATE WITH EFFICIENT DENSIFICATION, AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557. THERE SHALL BE A MINIMUM OF #2 CLASS 2 AGGREGATE BASE (AB) UNDER ANY PROPOSED FOUNDATION COMPACTED TO 95% MDD.
 THE AGGREGATE BASE, FORMS AND SUBGRADE SHALL BE THOROUGHLY WETTED BEFORE PLACEMENT OF CONCRETE.
- CONCRETE**
 ALL CONCRETE SHALL DEVELOP A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS OF AGE. MINIMUM CEMENT SHALL BE 5-1/2 SACKS PER CUBIC YARD. MAXIMUM SLUMP SHALL BE 3". UNLESS OTHERWISE NOTED, ALL EXPOSED HORIZONTAL AND VERTICAL EDGES AND CORNERS SHALL HAVE 3/4" x 3/4" CHAMFERS. ALL REINFORCING BARS, ANCHOR BOLTS, INSERTS, AND OTHER EMBEDDED HARDWARE SHALL BE ACCURATELY SET AND SECURELY HELD IN PLACE TO MAINTAIN POSITIONS DURING PLACEMENT OF CONCRETE. THE LEVEL BEARING AREA AT THE TOP OF THE FOUNDATION SHALL RECEIVE A HARD STEEL TROWEL FINISH, SMOOTH AND LEVEL. THE APRON SHALL HAVE A LIGHT BROOM FINISH.
 CONCRETE PAD SHALL BE WATER CURED CONTINUOUSLY FOR 7 DAYS. UNLESS OTHERWISE NOTED.
 NO ALUMINUM CONDUIT OR PRODUCTS CONTAINING ALUMINUM OR ANY OTHER MATERIAL INJURIOUS TO THE CONCRETE SHALL BE EMBEDDED IN THE CONCRETE.
 CONCRETE INSPECTION TO BE PERFORMED BY CWS CO.
- REINFORCING STEEL**
 ALL BARS SHALL BE GRADE 40 DEFORMED BARS CONFORMING TO ASTM A615. REINFORCING BAR BENDS AND STANDARD HOOKS SHALL CONFORM TO ACI 318, LATEST EDITION. ALL BENDS SHALL BE STANDARD HOOKS UNLESS OTHERWISE SHOWN. BARS 20 FEET AND SHORTER IN LENGTH SHALL BE IN SINGLE LENGTH RUNS WITHOUT SPLICES. BARS LONGER THAN 20 FEET IN LENGTH SHALL BE IN SINGLE LENGTH RUNS OR MAY BE SPLICED WITH 48 BAR DIAMETER LAPS (2'-0" FOR #4 BARS). SPLICES IN ADJACENT BAR RUNS SHALL BE WELL STAGGERED.
- REFERENCES**
 SEE CUMMINS POWER GENERATION DRAWING FOR REQUIRED STUB-UPS THROUGH THE FOUNDATION AND NOTE 2 ON THE SAME DRAWING FOR FUEL TANK MOUNTING INSTRUCTIONS.
- SPECIAL INSPECTION**
 PERIODIC SPECIAL INSPECTION MUST BE PERFORMED WHERE REQUIRED FOR CONCRETE AND ANCHOR BOLTS IN ACCORDANCE WITH SECTIONS 1704.4 AND 1704.13 OF THE 2006 IBC, WHEREBY SPECIAL INSPECTION IS DEFINED IN SECTION 1702.1 OF THE 2006 IBC.

SPECIAL NOTE

THE FOUNDATION MUST BE SQUARE, AND THE ANCHOR BOLTS MUST BE ACCURATELY PLACED PLUMB. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOUNDATION. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANCHORING THE EQUIPMENT AND ENSURING PROPER POSITIONING OF THE ANCHOR BOLTS IN THE FOUNDATION.



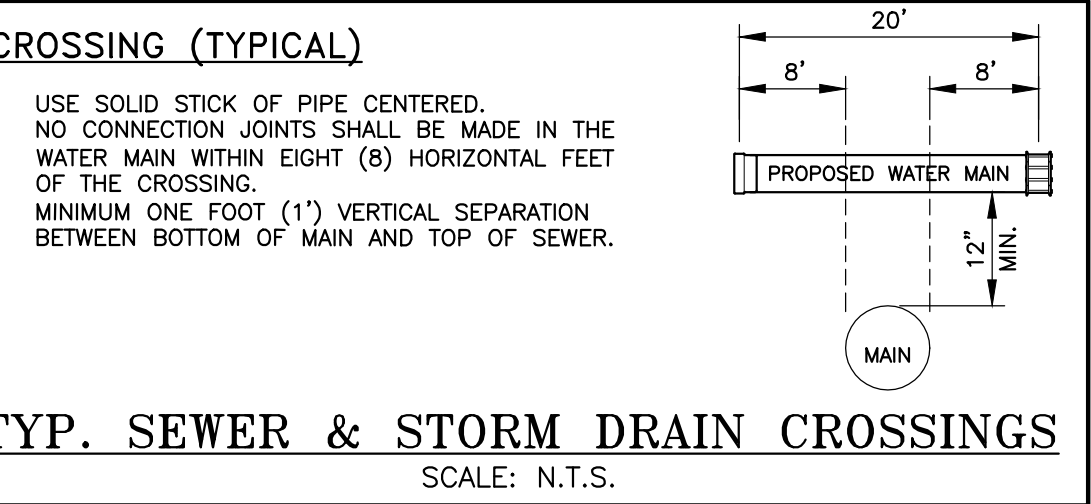
INSTALL AND MATERIAL - CIVIL:

- "GEOTECHNICAL INVESTIGATION REPORT", FOR THE VISALIA STATION 97 1,000,000-GALLON STEEL STORAGE TANK NEAR 3950 EAST RACE AVENUE, VISALIA, TULARE COUNTY, CA, SOILS ENGINEERING, INC., SEI FILE NO. 22-18313, MARCH 28, 2022.
- ELEVATIONS PRESENTED ON THE DRAWINGS INDICATE FINAL GRADE ELEVATIONS. FINAL GRADED SURFACE SHALL BE SLOPED UNIFORMLY BETWEEN SUCH POINTS AND NATURAL GRADE.
- ALL DEBRIS, VEGETATION, ROCK AND LUMPS GREATER THAN 12 INCHES IN ITS LARGEST DIMENSIONS AND OTHER OBJECTIONABLE MATERIAL SHALL BE COLLECTED, PILED AND DISPOSED OF BY THE CONTRACTOR SO AS TO LEAVE THE AREAS THAT HAVE BEEN CLEARED WITH A NEAT AND FINISHED APPEARANCE.
- ALL EXCAVATIONS SHALL BE PERFORMED IN A MANNER TO ASSURE DRAINAGE DURING THE COURSE OF THE WORK. FLOODED EXCAVATIONS SHALL BE DEWATERED AND ALL MUCK REMOVED BEFORE PROCEEDING WITH THE WORK.
- AFTER EXCAVATION, SCARIFY THE ENTIRE AREA EXPOSED TO A 6-INCH DEPTH. MOISTURE CONDITION IF NECESSARY, AND COMPACT TO A MINIMUM OF 90% OF MAXIMUM DRY DENSITY WITHIN 2%± OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D-1557.
- OVER-EXCAVATE EXISTING SOIL IN LOCATIONS WHERE UNSUITABLE MATERIAL EXISTS AS DIRECTED BY THE COMPANY REPRESENTATIVE AND SOIL ENGINEER. BACKFILL WITH ENGINEERED FILL COMPACTED TO A MINIMUM 90% OF MAXIMUM DRY DENSITY WITHIN 2%± OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D-1557.
- SOILS ENGINEER SHALL INSPECT THE BOTTOM OF EXCAVATION PRIOR TO PLACEMENT OF BACKFILL. FINAL DEPTH OF EXCAVATION TO BE DETERMINED BY SOILS ENGINEER. CIVIL ENGINEER SHALL INSPECT SITE AT COMPLETION OF ALL GRADING ACTIVITIES.
- PRIOR TO AN AREA RECEIVING FILL, THE AREA SHALL BE SCARIFIED TO A DEPTH OF 6 INCHES. MOISTURE CONDITIONED IF NECESSARY, AND COMPACTED TO A MINIMUM 90% OF MAXIMUM DRY DENSITY WITHIN 2%± OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D-1557.
- ALL IMPORTED FILL MATERIAL SHALL BE APPROVED BY THE SOIL ENGINEER PRIOR TO PLACEMENT AT THE SITE.
- PLACE FILL SOIL IN CONTINUOUS HORIZONTAL LOOSE LIFTS APPROXIMATELY 6 INCHES IN THICKNESS. DO NOT PLACE FILL UNTIL REMOVAL OF UNSUITABLE MATERIAL HAS BEEN INSPECTED AND APPROVED BY THE SOIL ENGINEER.
- FILL SHALL BE COMPACTED TO A MINIMUM 90% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557. MOISTURE CONTENT OF COMPACTED FILL SHALL BE WITHIN 2%± OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D-1557.
- SOIL USED FOR COMPACTED FILL SHALL CONTAIN NO ROCK OR HARD LUMPS GREATER THAN 12 INCHES IN ITS LARGEST DIMENSION. NO ORGANIC, PERISHABLE, SPONGY OR OTHER IMPROPER MATERIAL SHALL BE USED IN FILLING.
- FIELD DENSITY SHALL BE DETERMINED BY ASTM D-1556, ASTM D-2937 OR ASTM D-2922. THE METHOD USED SHALL BE IDENTIFIED IN THE COMPACTION REPORT. THE MINIMUM NUMBER OF DENSITY TEST SHALL BE ONE FOR EVERY 500 CUBIC YARDS OF ENGINEERED FILL PLACED.
- WHERE EXISTING SLOPES ARE STEEPER THAN 4 HORIZONTAL:1 VERTICAL AND THE HEIGHT IS GREATER THAN 5 FEET, THE SURFACE SHALL BE PREPARED FILL BY BENCHING INTO COMPETENT MATERIAL AS DETERMINED BY THE SOILS ENGINEER.
- NO FINAL SLOPE SHALL EXCEED 2 HORIZONTAL: 1 VERTICAL IN STEEPNESS UNLESS OTHERWISE NOTED.
- TOLERANCES FROM FINAL GRADE SHALL BE ± 0.1 FOOT. IN NO CASE HOWEVER SHOULD FINAL GRADE ALLOW PONDING OR DRAINAGE NOT INDICATED ON THE PLANS.
- CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES, WHICH CONSIST OF WATER SPRAYING ALL GRADED AREAS AND ROADWAYS, TO ALLEVIATE OR PREVENT DUST NUISANCE.
- WHERE REQUIRED, CONTRACTOR SHALL PROVIDE SUFFICIENT EROSION CONTROL MEASURES INCLUDING, BUT NOT LIMITED TO, INSTALLATION OF ENERGY DISSIPATING RIP-RAP, SILT FENCING AND/OR HAY BALES.
- INCAVATION AREAS IMMEDIATELY ADJACENT TO EXISTING FOUNDATIONS WHERE VERTICAL CUT SIDE SLOPES ARE REQUIRED-EXCAVATION WIDTH SHALL NOT EXCEED 7'. THESE AREAS SHALL BE BACKFILLED AS SOON AS POSSIBLE TO MINIMIZE EXPOSURE OF THE EXISTING FOUNDATION(S). IF THESE AREAS ARE LEFT UNATTENDED AT ANY POINT DURING THE EXCAVATION OR BACKFILL THE AREA SHALL BE CORDONED OFF WITH CAUTION TAPE AND BARRICADES TO PREVENT UNAUTHORIZED ACCESS.
- CIVIL ENGINEER SHALL INSPECT SITE AT COMPLETION OF ALL GRADING ACTIVITIES.
- ALL STORMWATER TO BE RETAINED ON SITE DURING CONSTRUCTION.

EROSION CONTROL:

- EROSION AND SEDIMENTATION CONTROL SHALL BE CONTROLLED BY BERMS, PLANTING, RIPRAP AND OTHER METHODS. BMP'S SHALL BE UTILIZED DURING ALL PHASES OF CONSTRUCTION AS SHOWN ON THE EROSION CONTROL PLAN.

NOT ALL NOTES WILL APPLY TO THIS PACKAGE



VERIFY SCALES
 0 1"
 BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET. ADJUST SCALES ACCORDINGLY



REVISIONS	DATE	BY
1	9/27/2022	SSJ/TC
2	7/22/2022	SSJ/TC

ISSUED FOR 60% REVIEW
 ISSUED FOR 30% REVIEW

PLAT SHEET NO.: **VIS-28-39**

SCALE: **AS SHOWN**

DRAWN BY: **S. SILVA**

DESIGNED BY: **F. CEJA**

TECH REVIEW: _____ DATE: _____

CHECKED BY: _____ DATE: _____

APPROVED BY: _____ DATE: _____

TITLE: **NEW 1MG STORAGE TANK
 VISALIA DISTRICT - STATION 097
 VISALIA, CALIFORNIA**

GENERAL NOTES

DISTRICT: **VISALIA**

PROJECT ID.: **00123354**

DRAWING NO.: **VIS-XXXX-G-02**

SHT 2 OF 14



Table with columns for REVISIONS, ISSUED FOR 60% REVIEW, ISSUED FOR 30% REVIEW, and PLAT SHEET NO.

TITLE: NEW 1MG STORAGE TANK VISALIA DISTRICT - STATION 097 VISALIA, CALIFORNIA CALLOUTS AND LEGENDS

DISTRICT: VISALIA

PROJECT ID: 00123354

DRAWING NO.: VIS-XXXX-G-03

SHT 3 OF 14

ABBREVIATIONS

Large table of abbreviations and their corresponding full names, organized in columns.

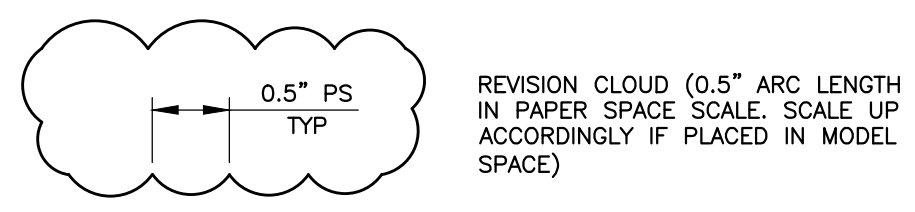
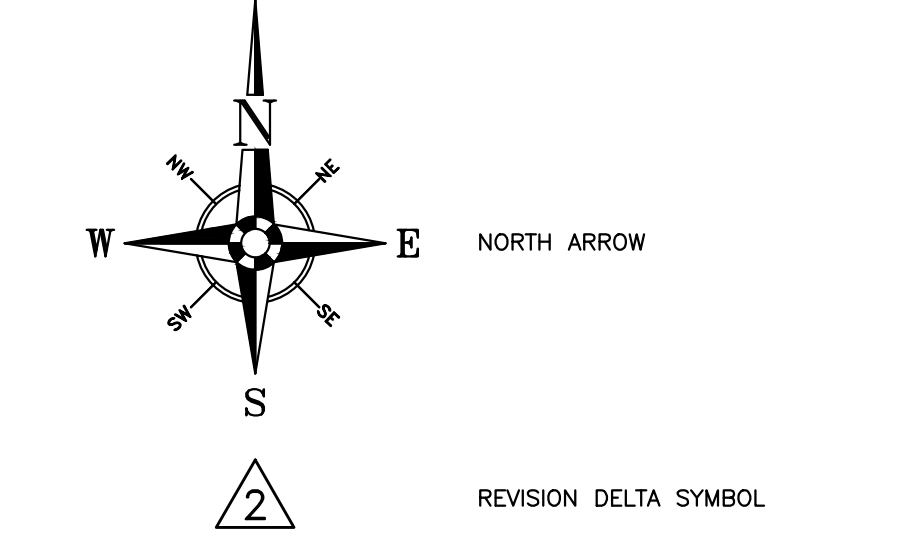
SYMBOLS LEGEND

Table of symbols for EXISTING, PIPELINE, and PROPOSED, including items like AIR RELIEF VALVE, GATE VALVE, and various pipe fittings.

LINETYPE LEGEND

Table of line types for EXISTING and PROPOSED, including symbols for BLOCK WALL, CONTOURS, EASEMENT, and various utility lines.

CAL WATER BLOCKS



HATCHES

Table of hatching patterns for materials like AGGREGATE BASE, ASPHALT OR SIDEWALK, CONCRETE, and EARTH / DIRT.

CONTROL POINTS

Table with columns: CP#, NORTHING, EASTING, ELEV, DESCRIPTION. Example rows for CPXX.

MONUMENT NOTES

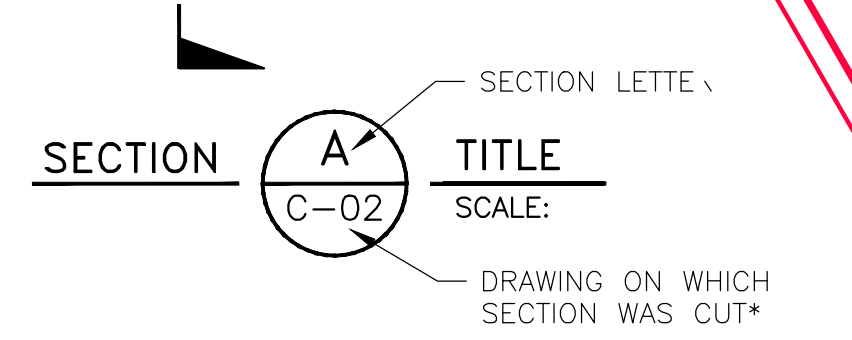
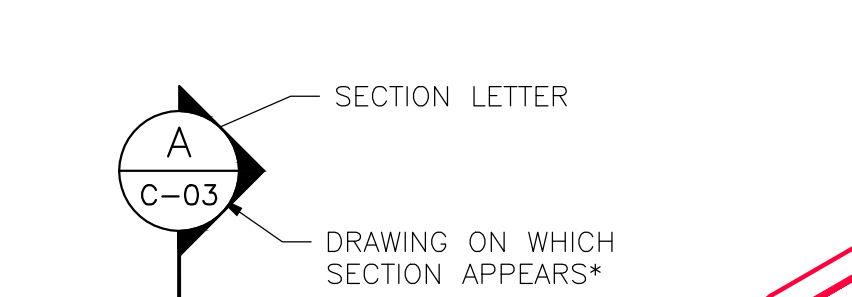
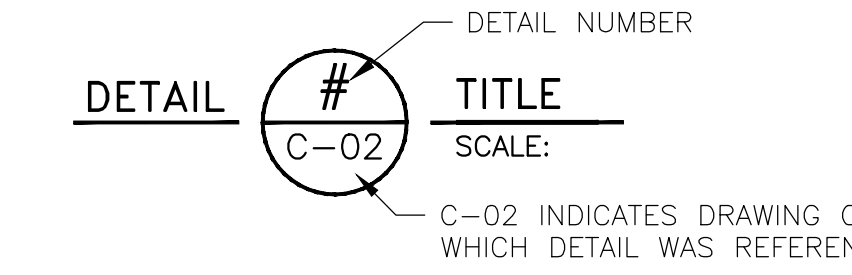
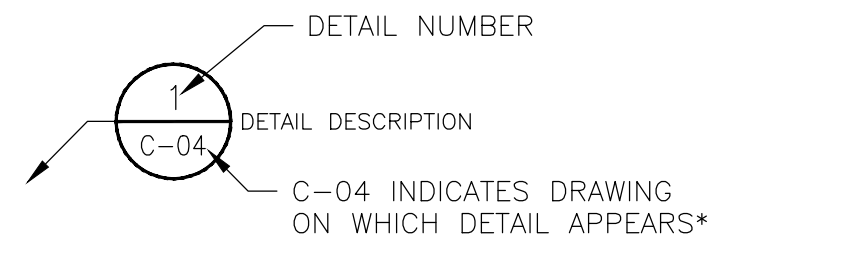
Table with columns: MON#, DESCRIPTION. Example rows for MXXX.

SURVEY

Table of survey symbols and their descriptions, including BENCHMARK, TEMPORARY BENCH MARK, and various control points.

DETAIL AND SECTION DESIGNATION

* IF SECTION OR DETAIL APPEARS ON THE SAME DRAWING AS THE CALLOUT, THE DRAWING REFERENCE IN REPLACED WITH A DASH (-)



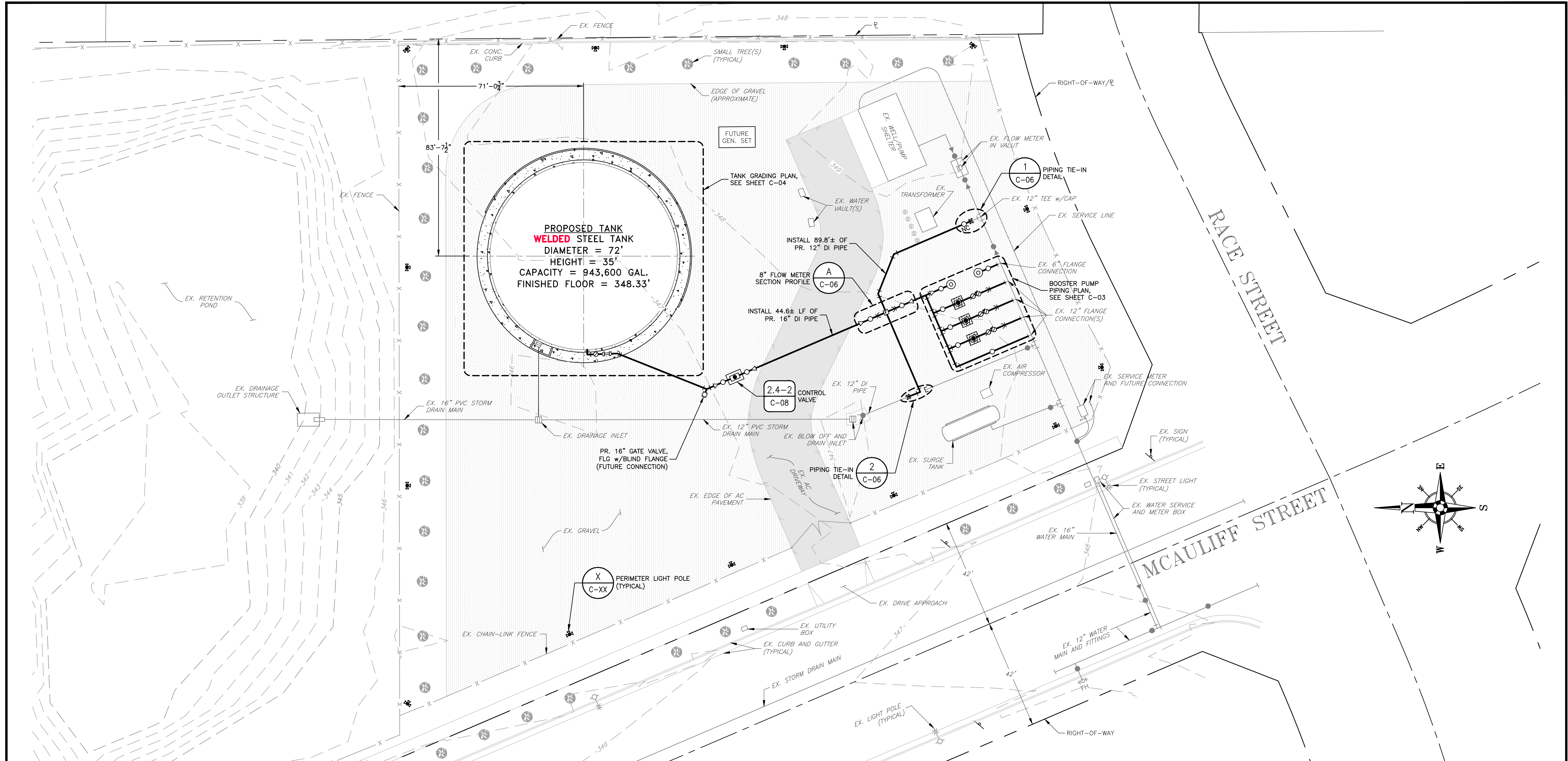
PRELIMINARY NOT FOR CONSTRUCTION

NOT ALL ITEMS SHOWN WILL APPEAR IN THIS PACKAGE

VERIFY SCALES 1\"/>

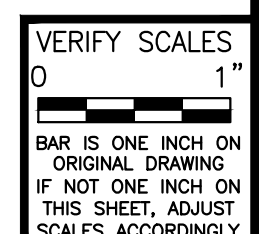
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USERNAME: Sisliva 9/27/2022 2:56 PM
 FILENAME: \\FILER2\apps\Copitol_Projects\CAD_Team_Files\120_Visalia\00123354_VIS-XXXX-C-Sta_097_New_Storage_Tank.dwg



STATION 097
 SITE PLAN
 SCALE: 1" = 20'

**PRELIMINARY
 NOT FOR CONSTRUCTION**



DEPARTMENT

REVISIONS	DATE	BY	DESCRIPTION
1	9/27/2022	SS/FC	ISSUED FOR 60% REVIEW
2	7/22/2022	SS/FC	ISSUED FOR 30% REVIEW

PLAT SHEET NO.: VIS-28-39

SCALE: AS SHOWN

DRAWN BY: S.SILVA
 DESIGNED BY: F. CEJA
 TECH REVIEW: DATE:

CHECKED BY: DATE:

APPROVED BY: DATE:

TITLE: NEW 1MG STORAGE TANK
 VISALIA DISTRICT - STATION 097
 VISALIA, CALIFORNIA
 SITE PLAN

DISTRICT: VISALIA

PROJECT ID: 00123354

DRAWING NO.: VIS-XXXX-C-02
 SHEET 5 OF 14



CALIFORNIA WATER SERVICE

Bakersfield District 3725 South H Street
Bakersfield, CA 93304 Tel: (661) 837-7200

City of Visalia Site Plan Review Operational Statement

CUP No: 2012-09

Project Title: VIS Sta. 97 - 1 Million Gallon Storage Tank and Boosters

Applicant: California Water Service Company/Luis Zamudio

Reason for Project and Recommendation

The City of Visalia distribution system is a closed system comprised of one large pressure zone serving over 44,000 customers, which is served by 59 active wells, 8 booster pumps, and 2.6 million gallons(MG) of storage. The system is 100% reliant on the pumping capacity of these wells and booster pumps to maintain system pressure. Because of the size of the water service area, there are challenges in maintaining system pressure due to high head losses across the relatively flat system. As a result, customers experience large pressure fluctuations and periods of low service pressures as defined in General Order 103-A § VII.6.A., due to deficiencies in pumping capacity, especially during Max Day Demand (MDD) and Peak Hour Demand(PHD). Continuing to operate the system in this capacity places excessive strain on existing sources of supply and pumping assets, as District personnel strive to maintain safe system pressure for our customers.

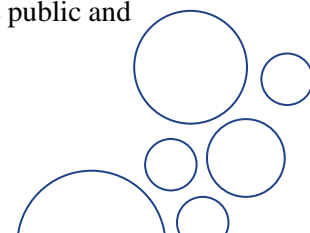
As specified in Title 22§64554 regarding PHD, water systems with over 1,000 service connections must have sufficient operating storage and pumping capacity to meet four hours of PHD and/or supplement with emergency service connections. Since Cal Water is the sole water purveyor for the City of Visalia, there are no other potable water purveyors with supply capacity infrastructure available to support Cal Water's system. Based on the findings of the *2020 VIS Supply and Demand Analysis*, the Visalia water system has been determined to be deficient approximately 10,900 gpm in pumping capacity during PHD. This deficiency is compounded as the City of Visalia and surrounding areas continue to expand. Since 2018, Visalia has added approximately 2,480 services connections. Based on previous historical models and recent trends, Cal Water anticipates the surrounding area to continue to grow.

In response to the increase in demand, Cal Water must continue to make storage and booster pump improvements to meet PHD. Station 97 is an existing active well source located along the eastern edge of the Visalia distribution system that directly supplies the system. The station was constructed in 2016 with space allocated onsite for a future 1.0 MG storage tank and three booster pumps, that would provide a combined flowrate of 3,000 gpm to meet PHD and minimize pressure fluctuation along the eastern edge of the system. Typically, only one or two pumps would run, with the other as redundant in case of pump failure, depending on system demand or emergency needs. The existing well has a production capacity of approximately 700 gpm and Station 97 will be utilized along with the surrounding well sources, to pump directly to ground-level storage throughout the day to provide sufficient operating storage to help meet MDD and/or PHD with the new booster pumps.

Planned Hours of Operations

This water storage tank and booster pump station will be an unmanned site that will be visited by California Water Service (Cal Water) operations staff daily. Normal hours of operation are 7:30 am to 4:00 pm, though the site may need to be accessed to respond to emergency conditions outside normal working hours.

Site parking will be available only to authorized Cal Water personnel and maintenance vehicles or authorized contractors. Although no established parking stalls are required on site, vehicles will be able to park in any open area not designated as a fire access area. This property is not accessible to the public and





CALIFORNIA WATER SERVICE

Cal Water Operators / Electrical Mechanical Technicians will park their work vehicles on the drive paths away from the fire access road or the open areas on site.

Security

The station will be surrounded by security fencing and locked gates. The site will not be accessible to the public. Security lighting will be installed to illuminate the facilities and discourage unauthorized entry.

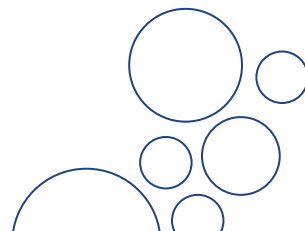
The site will also have 24 hour remote monitoring by a Supervisory Control and Data Acquisition (SCADA) system to monitor tank levels, pumping conditions, and mechanical failures. There will be intrusion alarms on the building. The tank ladder will include an anti-climb feature. The tank access hatch will be locked. Designated alarm conditions, including mechanical and utility power failures, will generate a system alert that is received by authorized Cal Water personnel 24 hours a day.

Operations

The tank will fill during times of low demand (8:00 am to 7:00 pm) and augment supply by pumping water into the distribution system during peak demand (12:00 am to 6:00 am) during the months of June through September. Outside of peak months, hours of operation will decrease. The booster pumps will be housed inside acoustic pump shelters.

Screening

The existing entire station is currently enclosed by standard chain-link fence with 2-inch mesh and redwood colored vinyl privacy laths. The site is also currently landscaped with trees that are not fully mature. These trees will go and provide additional screening. Please refer to site plan for chain link fence and landscape screenings.



CITY OF VISALIA SITE PLAN REVIEW APPLICATION

Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440.



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

Site Plan Review meetings are held on Wednesdays at 9:00 a.m. online utilizing Microsoft Teams. The applicant or representative must be present.

Application submittal deadline are Thursday at 4:00 p.m. to be scheduled for the next available meeting.

GENERAL PROJECT INFORMATION

Project/Business Name: Kinwork Date: 12/1/2022
 Project Description: Interior remodel of existing shell space to include a co-working space. The space includes adding Open offices, private offices, a break room, a conference room, restrooms, and shipping container for storage
 Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____
 Property Owner: JR Shannon
 Applicant(s) Name: Will Ruoff (4Creeks)
 Project Address/Location: 607 E Main Street
 Assessor Parcel Number: 0 9 4 - 2 3 5 - 0 0 7
 Parcel Size (Acreage or Square Feet): 6,500 sq ft Building or Suite Square Footage: 4,800 sq ft

Are There Any Proposed Building Modifications: Yes No
 Estimated Cost of Modifications to Building: \$ 100,000
 Describe All Proposed Building Modifications: See project description

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: _____
 SPR Agenda: _____ Item No. _____
 Zone: _____ SPR No. _____
 Historic District: Yes No
 Flood Zone: X AE X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Empty warehouse space
 Proposed Building Use: Shared creative space and private offices
 Proposed Hours of Operation: 9am - 9pm
 Days of Week In Operation (Circle): Su M Tu W Th F Sa
 Number of Employees Per Day: Existing _____ Proposed 1
 Number of Customers Per Day (Estimated): Existing _____ Proposed 20-30
 Predicted Peak Operating Hour: We predict during the week our peak hours will be 9-2 Weekends 11-2
 Describe Any Truck Delivery Schedule & Operations: none
 Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): _____
 Describe Any Special Events Planned for the Facility: Private small workshops and educational classes, seasonal community makers market.

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - Existing & proposed structures
 - Loading/unloading areas
 - All existing & proposed site features
 - Adjacent street names
 - Accessible path of travel from right of way
 - Site dimensions, including building
 - Refuse enclosures & containers
 - Accessible path of travel from ADA stall
 - Existing and proposed fencing at site
 - Valley oak trees (show drip line)
 - Location and width of drive approaches to site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed landscaping
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
 - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Will Ruoff (4Creeks)</u>	Signature of Owner or Authorized Agent*	
Address: <u>324 S Santa Fe Street</u>	<u>Saegan Brien</u>	<u>12/1/2022</u>
City, State, Zip <u>Visalia, CA, 93292</u>	Owner	Date
Phone: <u>805.235.5333</u>	<u>Will Ruoff</u>	<u>12.1.2022</u>
Email: <u>willr@4-creeks.com</u>	Authorized Agent*	Date

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, Saegan Brien, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

AGENT:

I designate Will Ruoff (4Creeks), to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to Site Plan Review relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20__.

OWNER	Signatures	AGENT
<u>Saegan Brien</u>		<u>Will Ruoff</u>
Signature of Owner		Signature of Agent
<u>916 S Oak Park St Visalia Ca 93277</u>		<u>324 S Santa Fe Street Visalia, CA, 93292</u>
Owner Mailing Address		Agent Mailing Address
<u>559-972-5496</u>		<u>805.235.5333</u>
Owner Phone Number		Agent Phone Number



4CREEKS

605 Santa Rosa Street,
San Luis Obispo, CA

805.904.4394
info@4-creeks.com
www.4-creeks.com

SET NOT FOR
CONSTRUCTION

For planning purposes
only, do not scale drawings



PROJECT INFORMATION

Project Description:

This Project includes the interior remodel of existing shell space to include co-working space. The space includes adding open offices, private offices, a break room, a conference room, restrooms, and shipping container storage.

Project Address: 607 E Main Street
Visalia, CA 93292

APN: 094-235-021
Zoning: Mixed Use Downtown
Proposed Occupancy: Business (B)
Parcel Size: 17,948 sq ft

Existing Building: 4,800 sq ft

PROJECT DIRECTORY

Owner:

Saegan Brian
916 S Oak Park St
Visalia, CA 93277

Contact: saegan.moran@gmail.com
Phone: 559.972.5946

Architect:

Will Ruoff - 4Creeks
324 S Santa Fe Street
Visalia, CA 93292

Contact: willr@4-creeks.com
Phone: 805.235.5333

SHEET INDEX

Architectural Sheets
A1.0 Site Plan
A2.0 Floor Plan

AGENCIES AND UTILITIES

California Water Service Company
phone: (559) 624-1662
216 n. Valley Oaks Drive
Visalia, ca 93291

Southern California Gas Company
phone: (559) 739-2331
404 n. Tipton st.
Cisalia, ca 93292

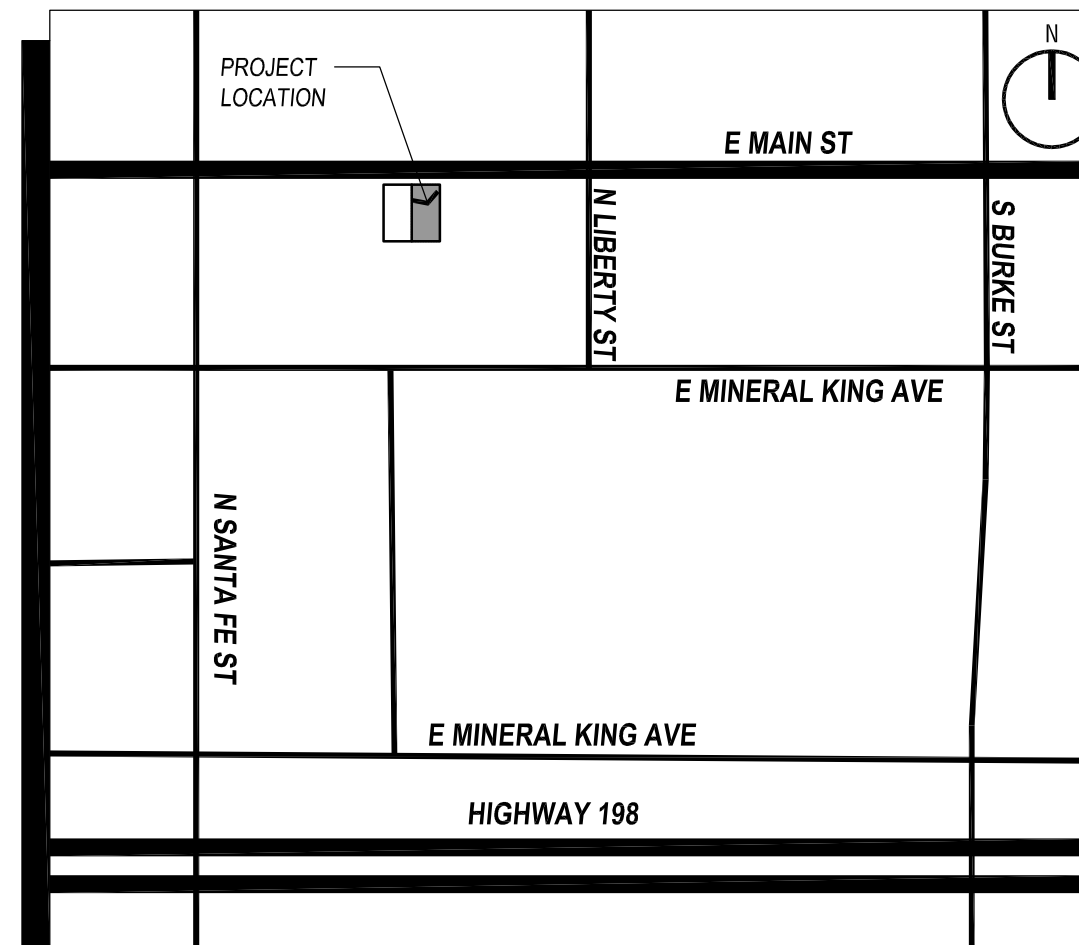
Comcast Cable
phone: (559) 735-2104
1031 n. Plaza drive
Visalia, ca 93291

AT&T California
phone: (559) 739-6646
217 w. Cequia ave.
Visalia, ca 93291

Southern California Edison (SCE)
phone: (559) 685-3269
2425 s. Blackstone st.
Tulare, ca 93274

Building Safety Division
phone: (559) 713-4495
315 e. Acequia ave
Visalia, ca 93291

VICINITY MAP





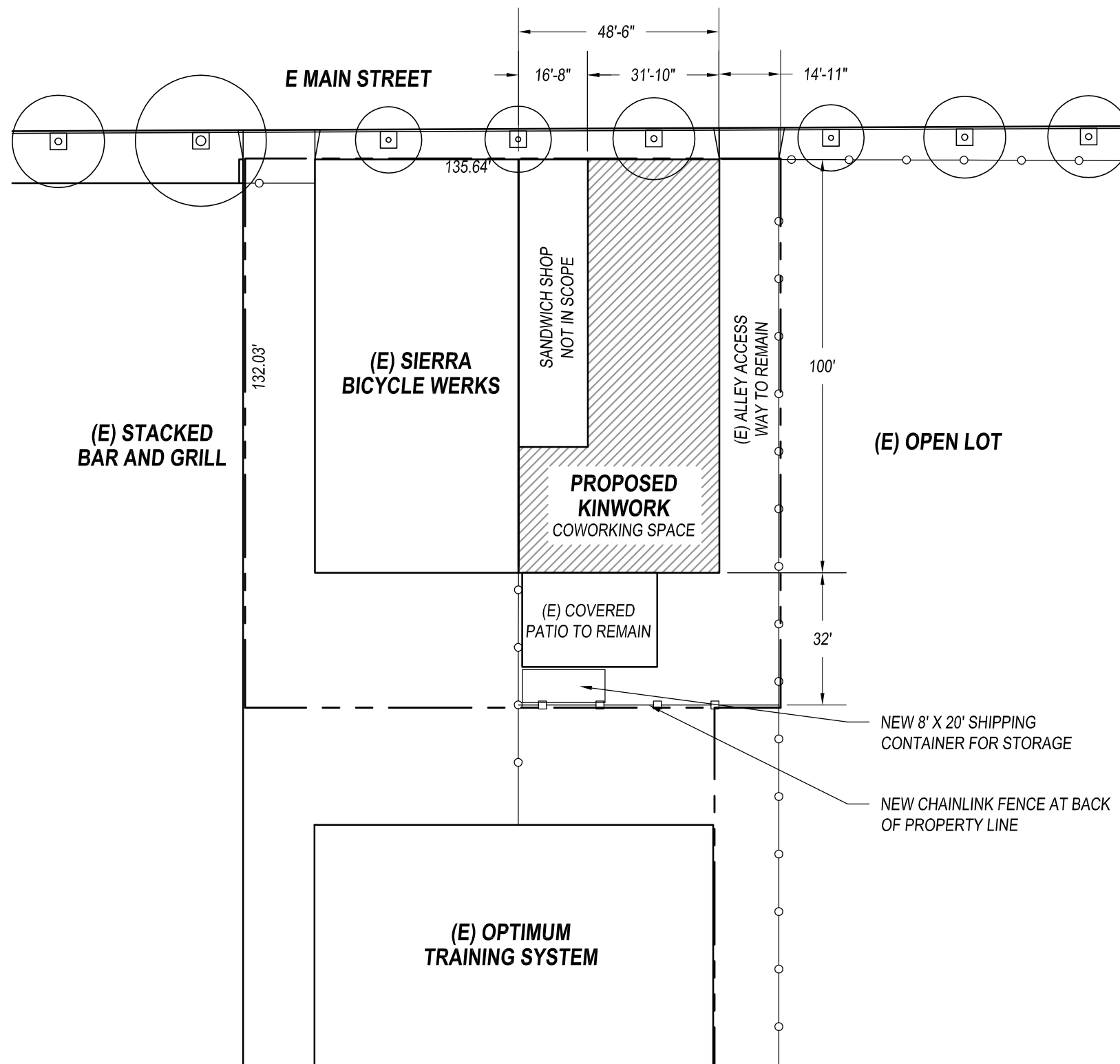
4CREEKS

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San Luis Obispo, CA

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www.4-creeks.com

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SITE PLAN LEGEND

- (E) PROPERTY LINE
- (E) FENCE TO REMAIN
- (N) FENCE ALONG BACK PROPERTY LINE
- PROJECT SCOPE



A1.0

SCALE 1/32" = 1'-0"



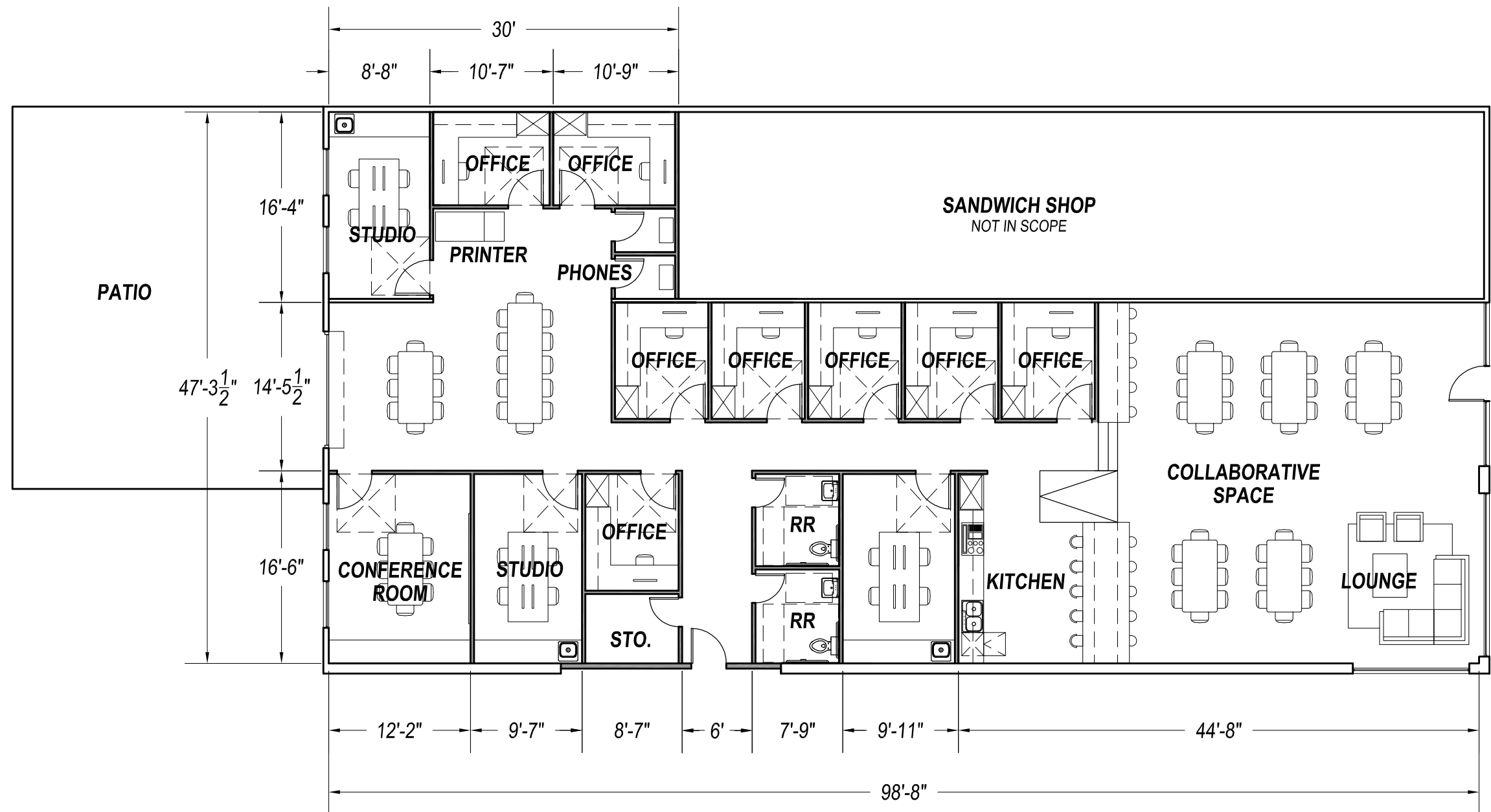
4CREEKS

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San Luis Obispo, CA

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info@4-creeks.com
www.4-creeks.com

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PROPOSED FLOOR PLAN

A2.0

SCALE 3/32" = 1'-0"



KINWORK

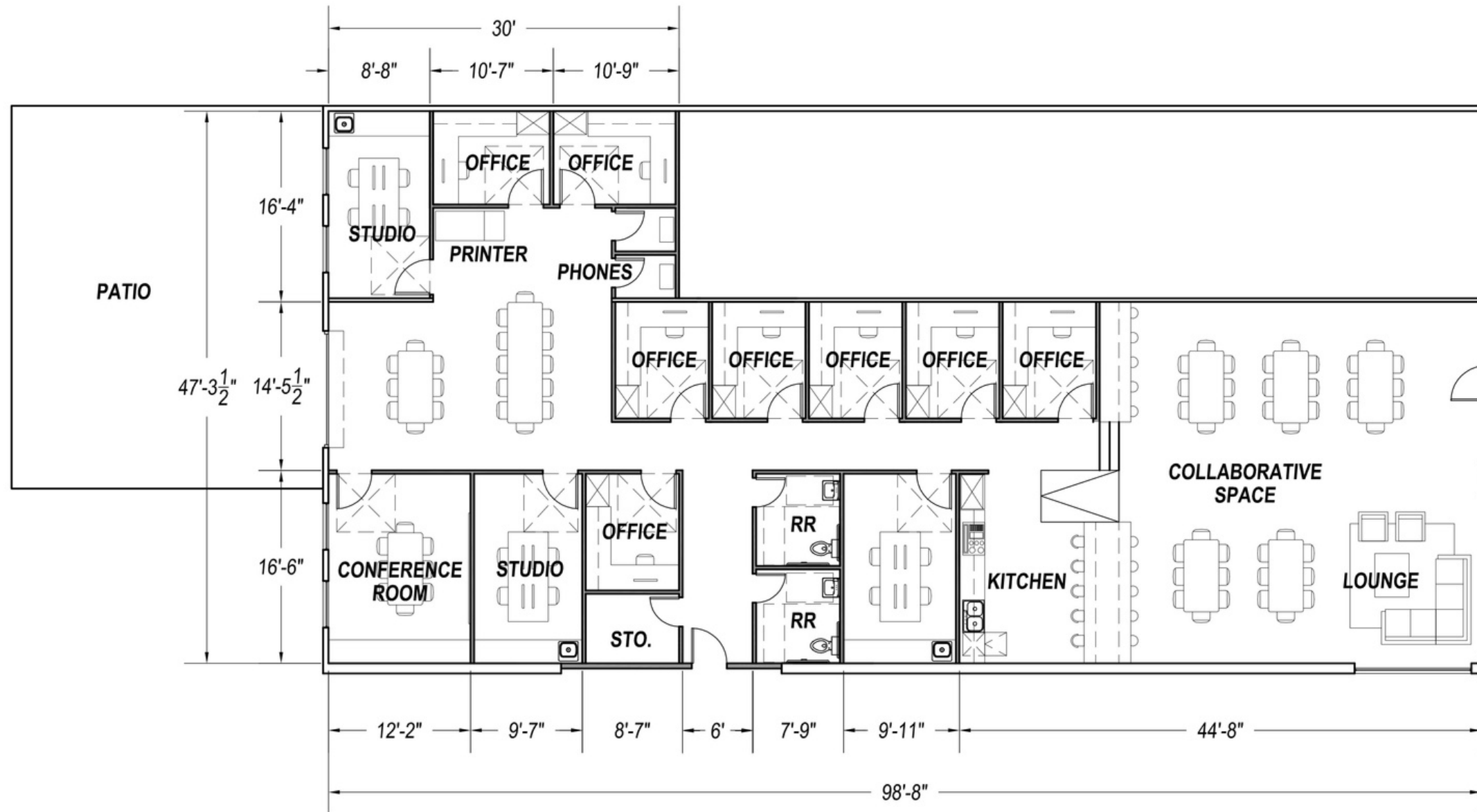
OPERATIONAL STATEMENT

607 E. MAIN ST VISALIA CA 93292

VISION

Kinwork is coworking community for artists, creatives, small business owners and entrepreneurs alike. Our space will welcome the community to come work outside the home in our collaborative open space and private offices. We are creating a space where people are able to come together, do their work, share ideas, share their knowledge, learn, educate, succeed and create new friendships.





INTENDED USES

- Collaborative Workspace
- Private Offices
- Studio Spaces
- Small Workshops
- Art Exhibitions

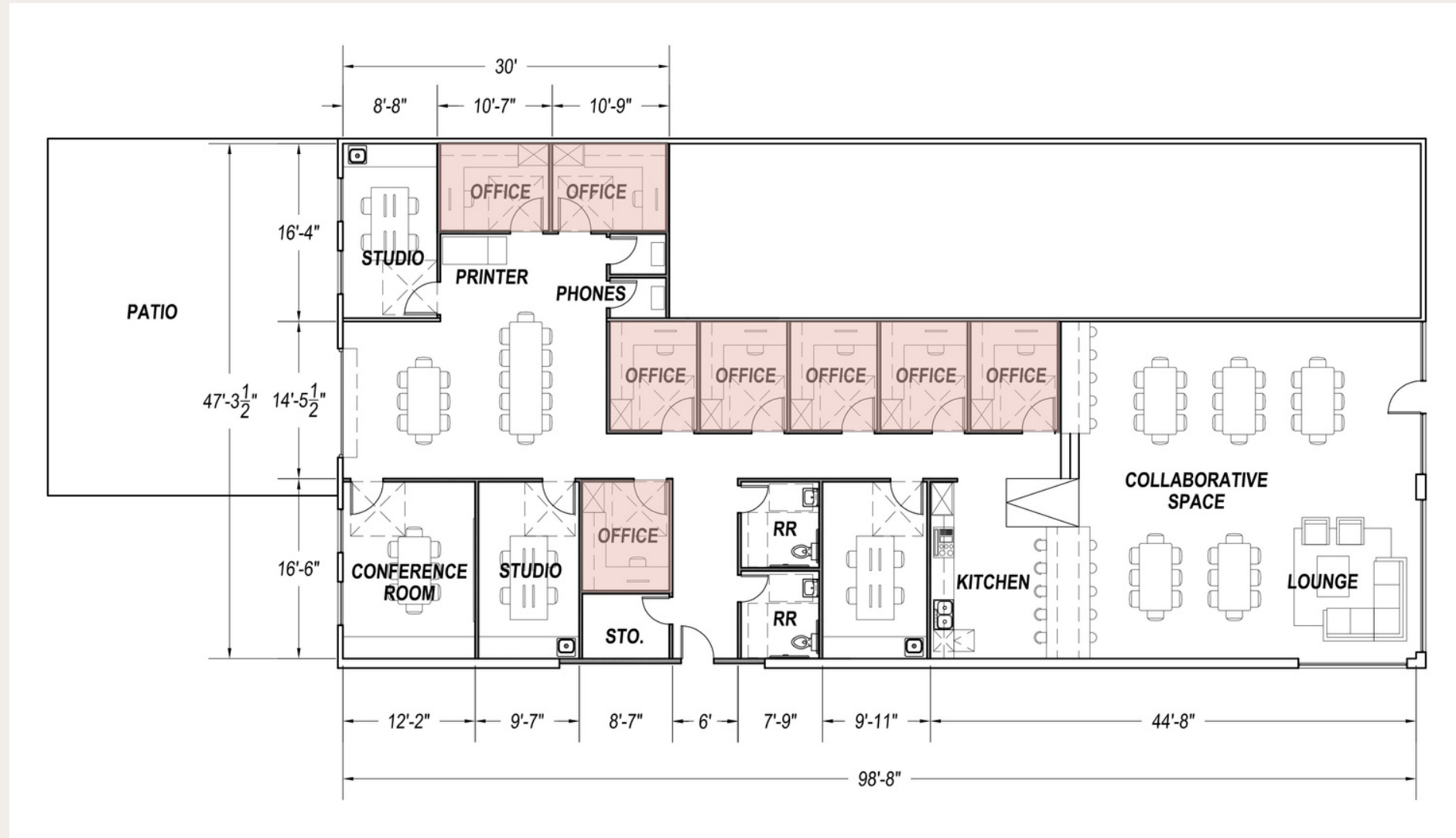
COLLABORATIVE SPACE



1 EMPLOYEE **10-15** DAILY MEMBERS **PEAK HOURS** 9AM-5PM

- A communal workspace for members to have casual meetings, collaborate on projects and daily computer work.
- Access to phone booths for Zoom and private phone calls.
- Members have access to a small kitchen where they can keep their lunch, have a snack and a cup of coffee.

PRIVATE OFFICES



8 DAILY MEMBERS **PEAK HOURS** 9AM-5PM

- Small private offices for creatives, small business owners, entrepreneurs and other professionals alike.
- Members have access to their office, collaborative spaces conference room and kitchen.

STUDIO SPACES



3 DAILY MEMBERS PEAK HOURS 9AM-5PM

- Studio spaces are equipped for creatives that may need a large space to make work in. These will each have a sink and built in cabinets for storage.
- These are also available for small teams of professionals who need a private space to work together.
- Members have access to their studio, collaborative spaces, conference room and kitchen.

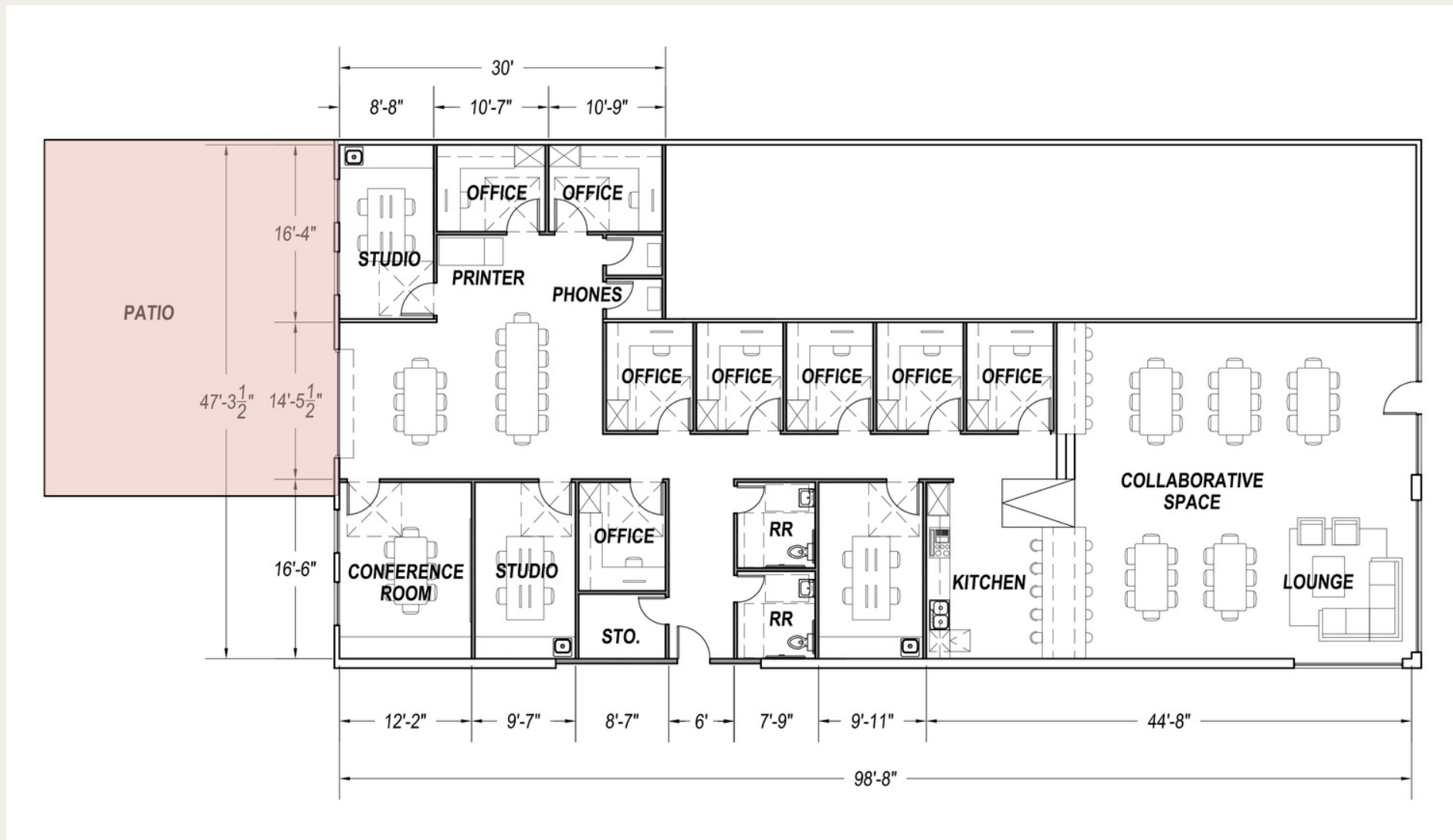
CONFERENCE ROOM



2-8 DAILY MEMBERS **PEAK HOURS** 9AM-5PM

- Conference room is available for any formal meetings that members might have.
- The conference room will also serve as a photo studio for our local photographers.
- Small group classes and workshops may be held in this room.

PATIO SPACE



- Patio access for all members to enjoy working outside, lunch breaks and casual meetings with clients.

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440.



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

Site Plan Review meetings are held on Wednesdays at 9:00 a.m. online utilizing Microsoft Teams. The applicant or representative must be present.

Application submittal deadline are Thursday at 4:00 p.m. to be scheduled for the next available meeting.

GENERAL PROJECT INFORMATION

Project/Business Name: Senior Center Date: 12/01/22

Project Description: See attached project description

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: N/A

Property Owner: TAM PROP LLC

Applicant(s) Name: Market Street Development LLC

Project Address/Location: 1200 S Ben Maddox

Assessor Parcel Number: 1 0 0 - 0 1 0 - 0 4 0

Parcel Size (Acreage or Square Feet): .85 acre Building or Suite Square Footage: 24,975 building square footage

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ 5,000,000.

Describe All Proposed Building Modifications: New construction. See attached project description.

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: _____

SPR Agenda: _____ Item No. _____

Zone: _____ SPR No. _____

Historic District: Yes No

Flood Zone: X AE X/AE

OPERATIONS & TRAFFIC INFORMATION

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

Existing/Prior Building Use: Vacant parcel in existing/approved business park

Proposed Building Use: Senior Center

Proposed Hours of Operation: 8am - 5pm Monday through Friday

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing N/A Proposed 50 on-site employees

Number of Customers Per Day (Estimated): Existing N/A Proposed 100 participants per shift (200 total/day)

Predicted Peak Operating Hour: 11:30am to 2pm Monday through Friday

Describe Any Truck Delivery Schedule & Operations: 9am to 1pm typical food/office supplies/medical supplies; as needed

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): See attached project description

Describe Any Special Events Planned for the Facility: None of significance for purposes of City review

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - All existing & proposed site features
 - Site dimensions, including building
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
 - Adjacent street names
 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Market Street Development LLC</u>	Signature of Owner or Authorized Agent*	
Address: <u>5930 Granite Lake Dr, Ste 110</u>	Owner	Date
City, State, Zip <u>Granite Bay CA 95746</u>		<u>12/01/22</u>
Phone: <u>530-682-2676</u>	Authorized Agent*	Date
Email: <u>charles@marketstreetdev.com; katy@katyschardt.com</u>		

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

T.A.M. PROP LLC by David C. Crinklaw, Managing Member

I, _____, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

100-010-040

AGENT:

I designate Market Street Development LLC, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to construct a Senior Center relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 2022.

OWNER	Signatures	AGENT
T.A.M. PROP LLC		Market Street Development LLC
		
Signature of Owner by David C. Crinklaw, Managing Member		Signature of Agent by Charles Smyth
<u>13837 S. Zediker Ave, Kingsburg CA 93631</u>		<u>5930 Granite Lake Dr, Ste 110, Granite Bay CA 95746</u>
Owner Mailing Address		Agent Mailing Address
<u>559-897-0349</u>		<u>530-682-2676</u>
Owner Phone Number		Agent Phone Number

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
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 - North arrow
 - Existing & proposed structures
 - Loading/unloading areas
 - All existing & proposed site features
 - Adjacent street names
 - Accessible path of travel from right of way
 - Site dimensions, including building
 - Refuse enclosures & containers
 - Accessible path of travel from ADA stall
 - Existing and proposed fencing at site
 - Valley oak trees (show drip line)
 - Location and width of drive approaches to site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed landscaping
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
 - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Market Street Development LLC Signature of Owner or Authorized Agent*
 Address: 5930 Granite Lake Dr, Ste 110
 City, State, Zip Granite Bay CA 95746 Owner _____ Date _____
 Phone: 530-682-2676 _____
 Email: charles@marketstreetdev.com; katy@katyschardt.com Authorized Agent* _____ Date _____

Signed in counterpart

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

T.A.M. PROP LLC by David C. Crinklaw, Managing Member
 I, _____, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

100-010-040

AGENT:

I designate Market Street Development LLC to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to construct a Senior Center relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 11/22 day of November, 2022.

OWNER	AGENT
T.A.M. PROP LLC	Market Street Development LLC
Signature of Owner by David C. Crinklaw, Managing Member	Signature of Agent by Charles Smyth
13837 S. Zediker Ave. Kingsburg CA 93631	5930 Granite Lake Dr. Ste 110, Granite Bay CA 95746
Owner Mailing Address	Agent Mailing Address
559-897-0349	530-682-2676
Owner Phone Number	Agent Phone Number

SITE INFORMATION:

GENERAL PLAN: PLANNED
PROFESSIONAL/ADMINISTRATIVE OFFICE

ZONING: PA (PLANNED
PROFESSIONAL/ADMINISTRATIVE OFFICE)

SPECIAL DISTRICTS: DESIGN DISTRICT "C"

Project #: 000000
Drawn by: Author
Checked by: Checker

PARKING ANALYSIS:

EXISTING BUILDINGS:
1110 S BEN MADDOX WAY: 5,150 SF
1120 S BEN MADDOX WAY: 7,500 SF
1130 S BEN MADDOX WAY: 7,500 SF
1140 S BEN MADDOX WAY: 11,200 SF

PROPOSED BUILDING "D": 24,975 SF
TOTAL SF OF BUILDINGS: 56,325 SF

PARKING REQUIREMENTS PER ZONING ORDINANCE 17.34.020: 1 STALL FOR EACH 250 SF
TOTAL PARKING REQUIRED: 226 STALLS

TOTAL PARKING STALLS PROVIDED: 271 STALLS

PARKING ANALYSIS (NET SF AREA):

CLINIC AREAS:
CLINIC, CONSULT, MEMORY CARE AREAS: 5,181 SF

OFFICE & SUPPORT AREAS:
ADMINISTRATION, STAFF SUPPORT & BLDG SUPPORT: 9,044 SF

DAY CARE AREAS:
GREAT ROOM, DINING, PERSONAL CARE, REHAB: 10,749 SF

PARKING REQUIREMENTS (PER ZONING ORDINANCE 17.34.020):

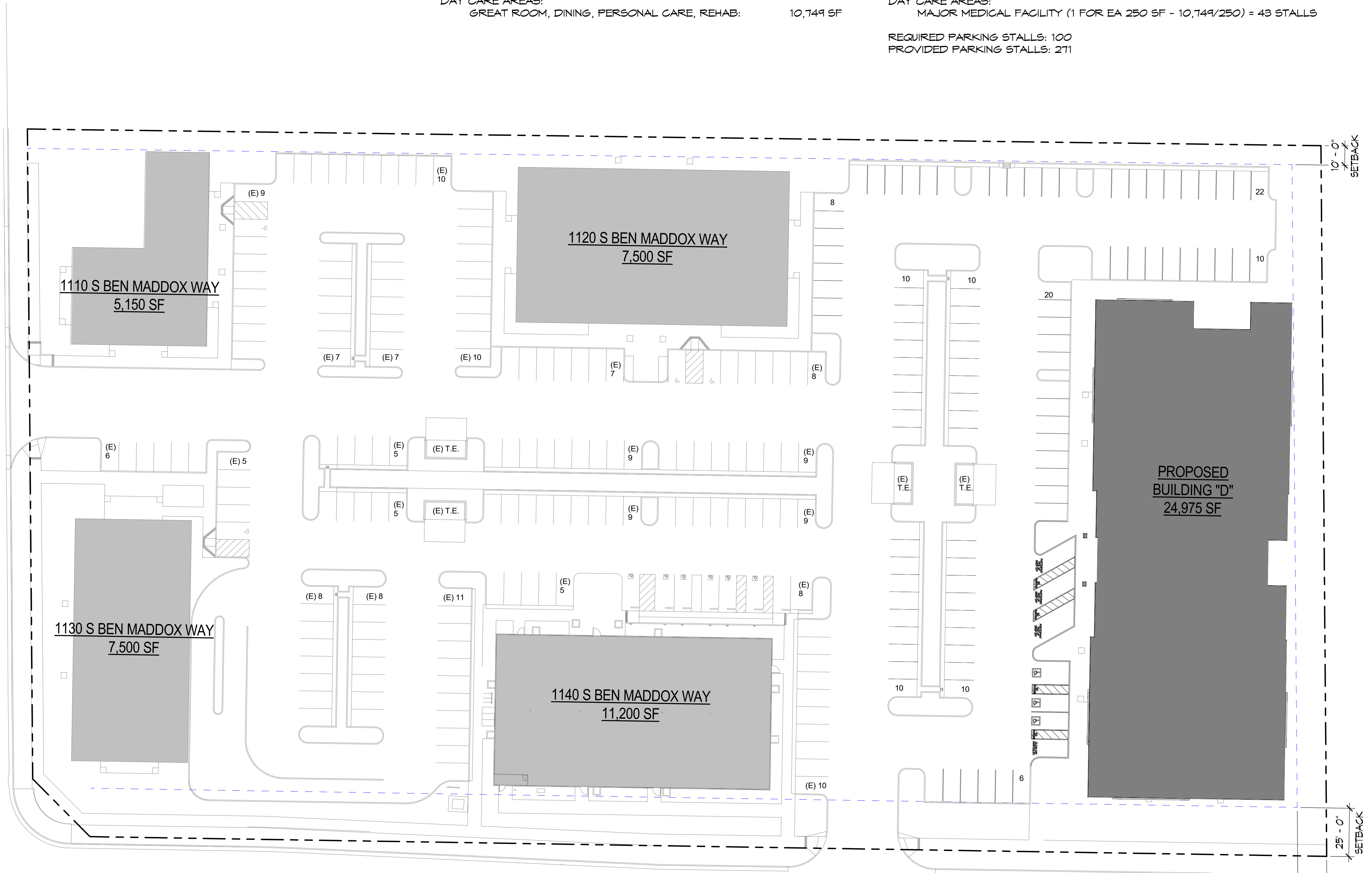
CLINIC AREAS:
MAJOR MEDICAL FACILITY (1 FOR EA 250 SF - 5,181/250) = 21 STALLS.

OFFICE & SUPPORT AREAS:
OFFICES (1 FOR EA 250 SF - 9,044/250) = 36 STALLS

DAY CARE AREAS:
MAJOR MEDICAL FACILITY (1 FOR EA 250 SF - 10,749/250) = 43 STALLS

REQUIRED PARKING STALLS: 100
PROVIDED PARKING STALLS: 271

BEN MADDOX WAY

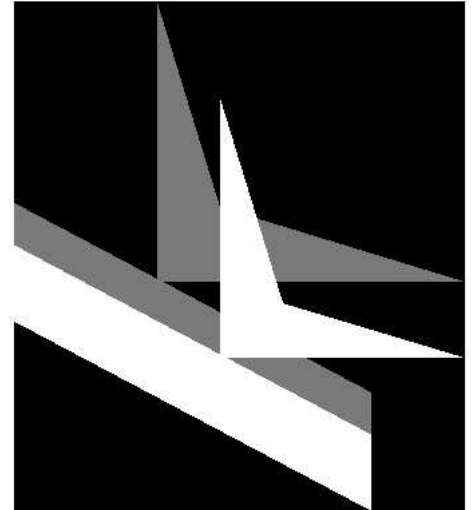


TULARE AVENUE

PRELIM SITE LAYOUT



Kinyon + Kim
Architects, Inc.



1801 Oakland Blvd., Suite 320
Costa Mesa, CA 92626
Tel: 949.441.1818
Fax: 949.441.8132



MSD WeibeHealth - Visalia PACE

Ben Maddox Way & Tulare Avenue
Visalia, CA 93292

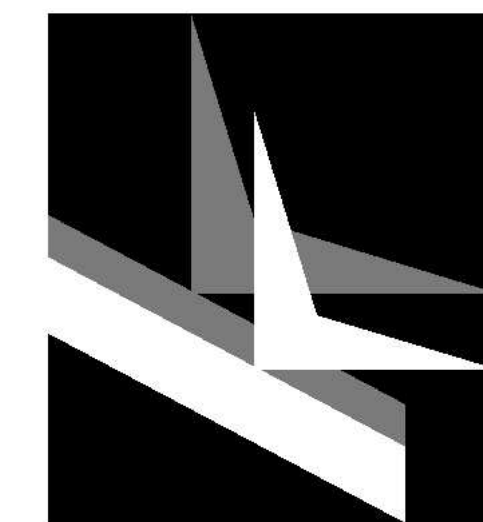
11/30/22

A2



1 PRELIM FLOOR PLAN
 3/32" = 1'-0"

Kinyon + Kim
 Architects, Inc.



1801 Oakland Blvd., Suite 320
 Concord, CA 94596
 P: 925.934.8132
 F: 925.934.8132



MSD WeibeHealth - Visalia PACE

Ben Maddox Way & Tulare Avenue
 Visalia, CA 93292

PROJECT DESCRIPTION
Site Plan Review (SPR) Application
Senior Center
1200 S Ben Maddox
Visalia, CA

Introduction

Market Street Development LLC is proposing to build a new 24,975 square foot senior care facility at the vacant lot in the existing office/business park. The proposed senior daily care facility will provide a multitude of social services and auxiliary medical services to seniors in the Visalia community.

Program Overview - PACE

The new project will bring a modern PACE (*Program of All-Inclusive Care for the Elderly*) facility and its associated services to Visalia. PACE individually coordinates the care of each participant enrolled in the program based on his or her needs as directed by an interdisciplinary team of health care professionals. The goal of this innovative program is to improve the quality of life for seniors ages 55 and above and to help them live independently in their home and community as their health and age advance. The company that will be operating the PACE facility was founded by mission-driven physicians with a commitment to serve the communities' most vulnerable seniors with greater quality care and compassion. The leadership team combines decades of experience in leading and managing PACE organizations and groundbreaking healthcare companies. Every member of the team has expertise in senior care and a passion for helping seniors reach their full potential.

PACE is a national program sponsored by the federal government through Medicare to enable individuals who are at risk for moving into a nursing home to continue to live safely in their homes and communities. Members must be 55 years or older, be eligible for nursing home level care based on the State of California criteria, be eligible for Medicaid or Medicare (or be willing to use private insurance or pay privately) and be able to live safely in the community with PACE services.

Services Provided

The PACE model of care is built around an interdisciplinary team (IDT) which includes a primary care physician, nurse, social worker, physical therapist, occupational therapist, recreational therapist, dietician, center director, transportation coordinator, personal care worker and home care coordinator. Each participant is comprehensively assessed upon entry into the program, then twice a year thereafter, by the IDT. Based on the team's assessments, the senior's needs and problems are identified and integrated into an individual care plan. Enrollment in the PACE program is voluntary. A senior will stay enrolled as long as he or she wants to be regardless of changes in health status.

Once enrolled as a participant, the PACE provider coordinates all Medicare, Medical and other payments to the participant's care and service providers. Even though the program's services are available 24/7, 365 days a year, the facility operates Monday through Friday from 8:00 a.m. to 5:00 p.m. as a daily care center. PACE services are delivered in participant's homes, in the community and at the PACE facility in order to help the senior live independently in his/her home and community.

On-Site PACE Services Provided

The floor plan provided with the SPR application illustrates the primary services provided on-site at the PACE facility and the ancillary operational uses within the facility. The number of employees at the Visalia facility will be approximately 100. The maximum number of employees on-site at any given time will be 50. The 50 on-site employees will be working within the various areas identified on the floor plan.

Clinic:

The on-site medical benefits include:

- Physician Care
- Nursing
- Dentistry
- Private consult room for consultations with the participant and/or family

Rehab Gym (Therapy/Exercise):

On-site therapeutic care benefits include:

- Rehabilitation Therapies
 - Physical Therapy
 - Occupational Therapy
 - Speech Therapy

Not all specialties of therapy and rehab are provided each day. Therapists are available as needed according to the schedules prepared for the seniors attending the center that day.

Administration:

- Operational/administrative staff for the center/medical records (Managers, Administrative staff, etc); Home Care administrative/regional staff;
- Transportation – the team responsible for all transportation logistics
 - All rides to and from the Center
 - Rides to and from doctor's appointments or other partner services

Personal Care:

- Hair care
- Nail care
- Storage cubicles; laundry; toilets

Great Room:

- Engagement Programs
 - Socializing with others

- Music, cultural events and games
- Group exercise activities

Dining/Day Room:

- Meals on center days
- Nutritional counseling
- Serving Kitchen (NO COOKING IS DONE ON-SITE; REHEATING ONLY); dry storage; activity storage
- Social Services
 - Connections to community resources
 - Benefits support
 - Counseling and psychological services
 - Guidance and support for participants and caregivers

Building Support:

- Administrative/operational support for the facility and the operations

Staff Support:

- Staff lounge/break room, lockers, restrooms and other amenities

Off-Site and In-Home PACE Services Provided

Off-site medical services are coordinated by the healthcare provider and may include:

- Optometry
- Audiology
- Medical Specialties (cardiology, pulmonology, nephrology, oncology, etc.)
- Labs, x-ray
- Dialysis
- Hospital Care
- Emergency and Urgent Care
- Short term and Long-term Rehab Care

In-Home PACE Services Provided

- Skilled Nursing Care
- Personal Care
- Chore services

Employees

The project will employ 100+ full and part time employees. As the administrative office for the region, the employee count will include administrative (office) employees for the center as well as administrative staff for the region. Because of the combination of facility-based and home-based care, as well as care provided within the community, only half, or approximately 50 team members are on site at any given time.

The remaining employees who work **Off-Site** work in participants' homes; or remotely in their own home; or in the community. For example, the drivers spend the majority of their time behind the wheel of the vans transporting the seniors to and from their homes, the center and their appointments.

The following employees are part of the **Off-Site** team members:

- **Drivers** - Majority time spent off-site transporting participants
- **Home Care Aides** - Majority of time spent in participant homes
- **Outreach Specialists** - Majority of time spent in the community
- **Marketing team** - Majority of time spent in the community
- **Network team** - Primarily remote work
- **Finance team** - Primarily remote work
- **HR team** - primarily remote work
- **Interdisciplinary Team** - Some time spent on site, some time spent working remotely; and some time spent in participant home

New Building Construction

The project will include the construction of an approximate 24,975 square foot building and related site improvements to the vacant land

The parking lot stalls will be striped to accommodate the drop-off and pick-up zone for the Seniors who are brought to the center each day. The parking for the Senior Center includes the three handicapped accessible stalls and the three participant loading/unloading stalls. The program participants are dropped-off and picked-up at the loading/unloading stalls near the main building entry.

The seniors who participate in the PACE program are provided transportation to and from the center via vans operated by the senior center. Rides are also provided for off-site services/appointments. *Participants do not drive themselves – **transportation is provided for every participant** -- to the senior center and to any necessary appointments outside the center.* Cars that are parked on site are those of the on-site team members/employees. Many of the team members also carpool or use public transportation. One Clean Air Vanpool parking stall is also provided near the main entry to the center.

There is no Senior Daily Care use identified in chapter 17.34 of the City of Visalia Municipal Code. For that reason, required parking has been calculated using a combination of Major Medical (one parking space for each 250 square feet of building area) for the clinic/medical/day care uses; and Office (one parking space for each 250 square feet of building area) for the remaining office and support areas. (This is the same parking criteria used for the approved Senior Center on S Mooney.) The Office category seems to be a reasonable use for calculation of the remaining space since many of the components of the center are administrative and support uses. Using this criteria, the required parking stalls are 100. However, based on the actual use and number of

employees onsite, the parking demand is only 50 stalls. The business park has a shared parking agreement among all parcels. With the completion of the Senior Center site improvements, the business park will have a total of 271 stalls. A detailed parking analysis is provided on the Preliminary Site Plan submitted with the SPR application. With 271 stalls provided compared to the 226 stalls required, the Senior Center and business park are more than adequately parked.

Van Transportation

As stated previously, participants in the program are brought to the center in vans operated by the operator of the facility. The site has three Participant Loading/Unloading stalls near the main entry for drop-off and pick-up of the seniors. On any given weekday, there are two four-hour sessions for the seniors: a morning session from approximately 8:00am to 12:00pm and an afternoon session from approximately 1:00pm to 5:00pm. The vans are scheduled to arrive in 10-15-minute increments to ensure that the van driver can pull immediately into a stall for drop-off. Based on an average capacity of nine seniors per van, the unloading will take approximately 10-15 minutes. This takes into account a maximum of two participants in wheelchairs who will need more time to move from the van to the main entry.

This information is obtained from the operator's Transportation Department that exclusively handles all transportation logistics. This team of employees operates similar to air traffic controllers managing all scheduling for van pickups, drop-offs and arrival time at the center. The Senior Center Transportation Department works in real-time with the drivers to ensure that as vans arrive, there is a dedicated unloading stall available for drop-off. For example, the Transportation Department can ask a driver to slow down and arrive five minutes later than scheduled.

At full capacity, the center is expected to take in approximately 100 participants in the morning session and approximately 100 participants in the afternoon session resulting in 10-11 vans arriving in a managed sequence between 8:00am and 9:00am; between 11:30am and 1:15pm; and 4:00pm to 5:00pm.

Vans are in use 90% of the time (i.e. the vans do not park in the parking lot at the center after drop-off or pickup except for short breaks). In addition to delivering the participants to the center, the vans are used to take participants to appointments off-site. Some vans used by the Senior Center do not come to the center at all; they are picking up seniors at their homes and taking them to specialty appointments not located at the center.

The three Loading/Unloading stalls are ADA compliant regarding required stall measurements (i.e. they are oversized loading stalls). This is in addition to the three ADA stalls provided for general use.

Because of the expert scheduling by the Transportation Department, queuing into the parking lot is avoided. The three Participant Loading/Unloading stalls are located close

to the main entry to minimize the path of travel for each participant and to prevent interference with the other tenants/owners in the office/business park.

Thank you for your review of this SPR application for a new PACE Senior Center in Visalia. We look forward to working with you to bring this project to your city.

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440.



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

Site Plan Review meetings are held on Wednesdays at 9:00 a.m. online utilizing Microsoft Teams. The applicant or representative must be present.

Application submittal deadline are Thursday at 4:00 p.m. to be scheduled for the next available meeting.

GENERAL PROJECT INFORMATION

Project/Business Name: Visalia Homeless Center Date: _____

Project Description: Winter Warming Center

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: City of Visalia

Applicant(s) Name: Suzanne Ward

Project Address/Location: 701 E Race Street

Assessor Parcel Number: 097-100-022

Parcel Size (Acreage or Square Feet): _____ Building or Suite Square Footage: _____

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ _____

Describe All Proposed Building Modifications:

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: _____

SPR Agenda: _____ Item No. _____

Zone: _____ SPR No. _____

Historic District: Yes No

Flood Zone: X AE X/AE

OPERATIONS & TRAFFIC INFORMATION

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

Existing/Prior Building Use: Police Activities League

Proposed Building Use: Warming Center

Proposed Hours of Operation: staff 8pm-8am / clients 9PM-7AM

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing _____ Proposed 2+volunteers

Number of Customers Per Day (Estimated): Existing _____ Proposed 75

Predicted Peak Operating Hour: all night

Describe Any Truck Delivery Schedule & Operations: none

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees
(Provide Separate Attachment if Necessary): none

Describe Any Special Events Planned for the Facility: none

Page 1 of 2 - Application continues on back of this page

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇨ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇨ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇨ Site plan shall provide for and indicate all of the following:
 - North arrow
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 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
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 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Suzanne Ward Signature of Owner or Authorized Agent* _____

Address: 1934 S. Santa Fe _____

City, State, Zip Visalia, CA 93292 Owner _____ Date _____

Phone: 559-9167-4065 _____

Email: suzyvisalia@gmail.com Authorized Agent* _____ Date _____

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION FORM

AGENCY AUTHORIZATION

OWNER:

I, _____, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

AGENT:

I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

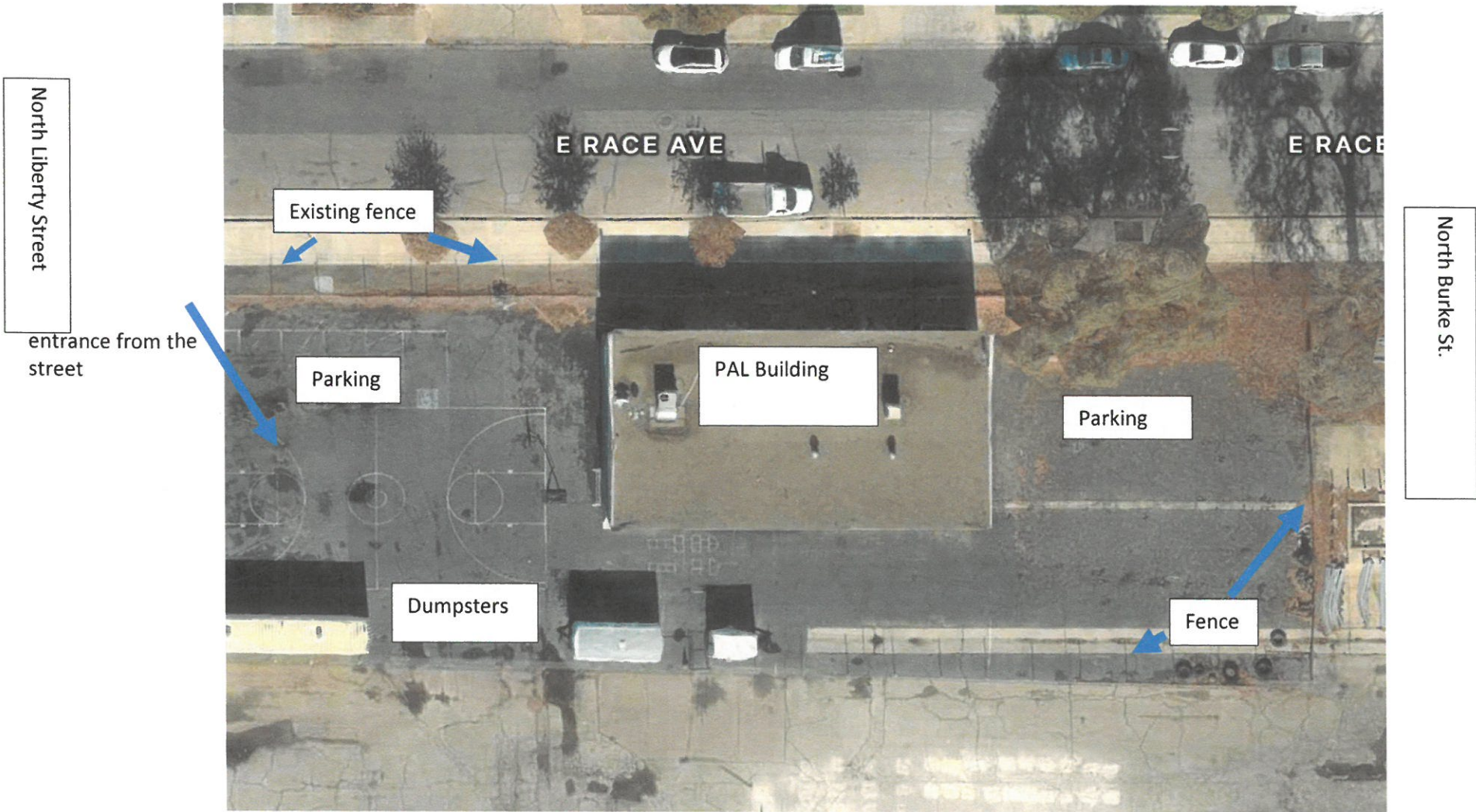
I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20____.

OWNER	AGENT
Signatures	Signatures
Signature of Owner	<u>Suzanne Ward</u> Signature of Agent
Owner Mailing Address	<u>1934 S. Santa Fe</u> Agent Mailing Address
	<u>Visalia, CA 93292</u>
Owner Phone Number	<u>559-9167-4065</u> Agent Phone Number

701 Race Ave, Visalia

Proposed Site for 2022 – 2023 Warming Center



The site, commonly referred to as the PAL Building, is located on the south side of Race Street. It is a single structure surrounded on the east, west and south sides by asphalt paving. It is situated between N Liberty Street and N. Burke Street.

1. Fencing exists currently along Race Street and around the whole property.
2. One opening in fence for vehicle entrance/exit
3. Multiple parking spaces
4. Places to add C-trains and dumpsters

2022 – 2023 Operational Statement
For
Visalia Homeless Center

- Operated from opening date in December until the end of February, 2022.
- The Center will operate overnight from 9 PM to 7 AM
- Individuals will not be allowed to arrive early or to remain after 7 AM (unless meeting with a case manager or health care staff)
- Security will be onsite before opening and after closing.
- Security will be provided during the overnight hours of operation.
- It will be staffed by paid oversight staff that will be on duty all night and assisted by volunteers from community groups.
- Handbook of procedures, including health and safety protocols will be given to volunteers. Training will also be provided. Continuing to work with County agencies update protocols.
- Individuals using the Center will be provided a warm place to stay overnight (no cots provided)
- Individuals will be asked to sign-in and they will be provided a claim check for any bikes or carts. Bikes and carts will be placed in a locked C-train for overnight storage based in the parking lot.
- Individuals who have cars may part their cars but may not stay overnight in their vehicles.
- There will be covered storage provided for carts and bikes using C-trains placed in the parking lot.
- Dogs will be kept in dog kennels and given flea collars. Kennels will be located in one of the side rooms. Owners will stay near their pet, but animals must remain in the kennel.
- Snacks and coffee will be provided during the night
- Restrooms are located in the building.
- No smoking is allowed in the buildings, only in the parking lot until 10:30 PM.
- Individuals will be allowed to check in all during the night. If an individual chooses to leave they will not be allowed to return that night.
- Only one check-in point.
- All individuals will be welcomed as long as they can be compliant with the rules.
 - a. No smoking inside
 - b. Treat everyone with respect
 - c. Quiet after 10:30
- Disruptive individuals will be asked to leave. If an individual becomes a threat to themselves or others, 9-1-1 will be called.
 - An individual who becomes defiant will be asked to leave and may be barred from returning
 - Opportunities will be provided to connect with local agencies including mental health, Street Medicine, senior services, Family Services, and substance abuse agencies.
 - All individuals will be entered into the HMIS.
- Neighborhood areas will be monitored for trash.
- Staff will acknowledge and respond to any concerns from neighbors/nearby businesses.

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

Additional information and assistance in filling out this application can be found at the City of Visalia website www.visalia.city or by calling (559) 713-4440.



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

Site Plan Review meetings are held on Wednesdays at 9:00 a.m. online utilizing Microsoft Teams. The applicant or representative must be present.

Application submittal deadline are Thursday at 4:00 p.m. to be scheduled for the next available meeting.

GENERAL PROJECT INFORMATION

Project/Business Name Sedona Residential Date 12/1/22

Project Description A 327-unit blended density project consisting of 240 Multifamily High Density units and 87 Single Family Medium Density Units

Site Plan Review Resubmittal Yes No If Resubmittal, Previous Site Plan Review Number 2022-104-B

Property Owner Section 15 Partners, LLC

Applicant's Name Bret Giannetta, Giannetta Engineering

Project Address/Location SWC of Sedona and Akers

Assessor Parcel Number 077 - 100 - 105

Parcel Size (Acreage or Square Feet) _____ Building or Suite Square Footage _____

Are There Any Proposed Building Modifications Yes No

Estimated Cost of Modifications to Building \$ _____

Describe All Proposed Building Modifications _____

- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received _____

SPR Agenda _____ Item No. _____

_____ SPR No. _____

Historic District Yes No

Flood Zone X AE X/AE

- - A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS - -

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use Vacant

Proposed Building Use Single and Multifamily Residential

Proposed Hours of Operation NA

Days of Week In Operation (Circle) _____ Su M T W Th F Sa

Number of Employees Per Day Existing _____ Proposed _____

Number of Customers Per Day (Estimated) Existing _____ Proposed _____

Predicted Peak Operating Hour NA

Describe Any Truck Delivery Schedule Operations NA

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary) NA

Describe Any Special Events Planned for the Facility NA

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan and completed application on a flash drive or equivalent PDF format preferred, hard paper copies not accepted.
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - Existing proposed structures
 - Loading/unloading areas
 - All existing proposed site features
 - Adjacent street names
 - Accessible path of travel from right of way
 - Site dimensions, including building
 - Refuse enclosures containers
 - Accessible path of travel from ADA stall
 - Existing and proposed fencing at site
 - Valley oak trees show drip line
 - Location and width of drive approaches to site
 - Public improvements curbs, sidewalks, utility poles, hydrants, street lights, etc.
 - Existing proposed landscaping
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
 - Parking stalls include ADA

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name <u>Bret Giannetta</u>	Signature of Owner or Authorized Agent	
Address <u>1119 S Street</u>	Owner	Date
City, State, Zip <u>Fresno CA 93721</u>	Authorized Agent	Date
Phone <u>559-264-3590</u>		
Email <u>bret@giannettaengineering.com</u>		

If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, _____, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

AGENT:

I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

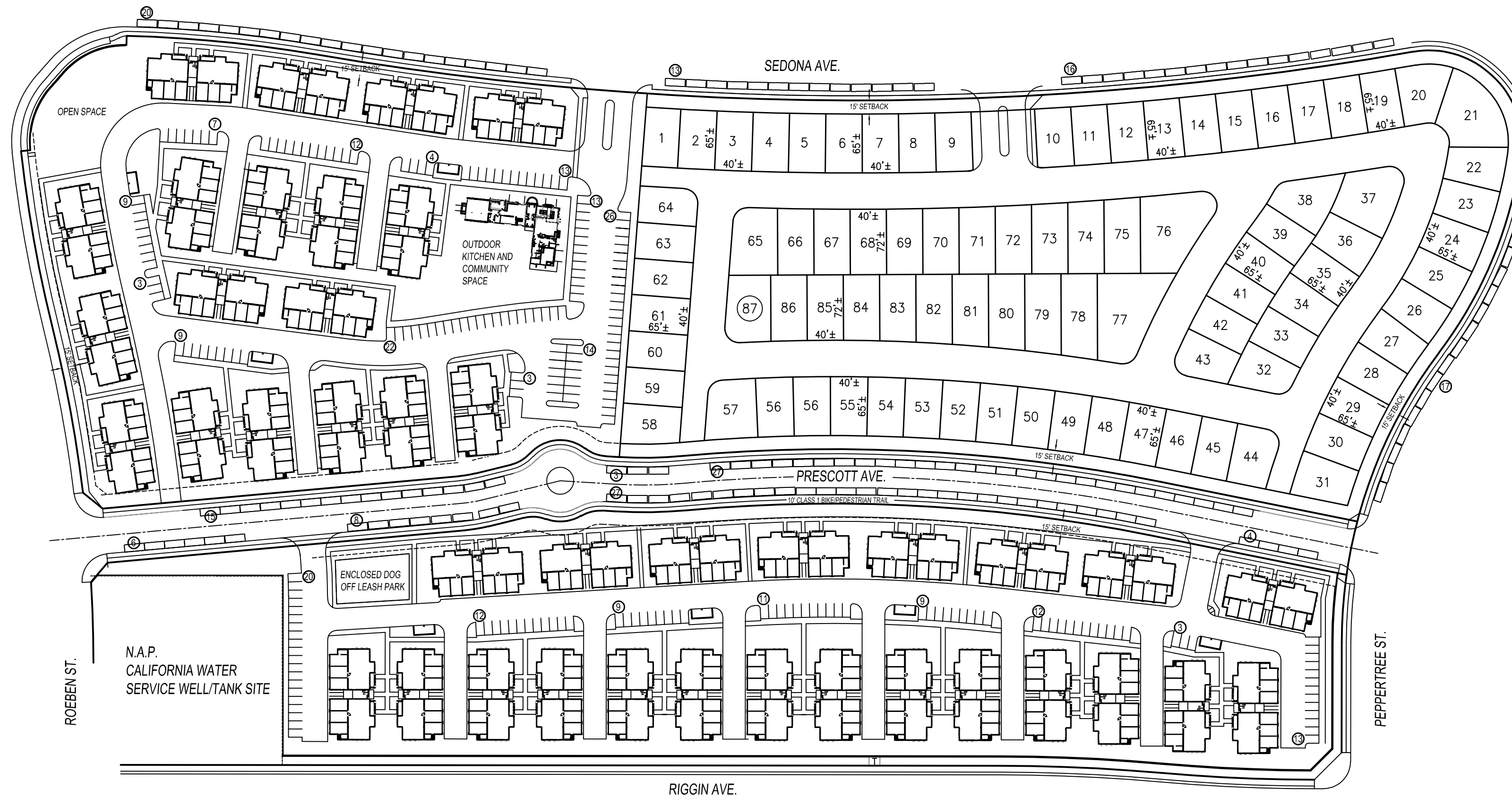
Executed this _____ day of _____, 20____.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number

SITE PLAN



SCALE: 1" = 100'



SINGLE-FAMILY PUD:	
NET AREA	±9.0 AC.
LOTS	87
DENSITY	10 LOTS/ACRE

MULTI-FAMILY 6-PLEX:	
BUILDINGS	40
UNITS	40 x 6 = 240

ON-SITE PARKING:	
GARAGES	240
STALLS	221
TOTAL	461
PARKING RATIO	461 / 240 = 1.9

GARY G. GIANNETTA
CIVIL ENGINEERING & LAND SURVEYING
 1119 "S" STREET
 FRESNO, CA 93721
 (559) 264-3590

DATE: 11/29/22

Operational Statement- Sedona Residential

December 1, 2022

The Sedona Residential site plan is a 327-unit blended density project within the boundaries of the proposed Carleton Acres Specific Plan. It is being submitted by Bret Giannetta on behalf of Granville Homes and the current property owner is Section 15 Partners, LLC.

The project is located at the northwest corner of W. Riggin Ave. and N. Akers St and consists of approximately 29.86 gross acres. Approximately 9 acres of the project are proposed for 87 single family medium density units, which results in a density of 9.67 dwelling units per acre. The remaining +/- 20.86 acres are proposed for 240 multifamily high density units, which results in a density of 11.45 units per acre. The proposed blended density is 10.95 units per acre.

The current zoning for the site is R-M-3 and the designated land use is Residential High Density. Within the Carleton Acres Specific Plan, the site is also designated for Residential High Density. The property is currently vacant, and the APN is 077-100-105.

The proposed multifamily units will comply with R-M-3 standards and will consist of 40 two-story buildings of 6 units each. The proposed single family lots will be approximately 2,600 to 2,880 square feet.

In conformance with the Carleton Acres Specific Plan, the proposed site project includes public open spaces at the southeast corner of Roeben St. and Sedona Ave., the southeast corner of Roeben St. and Prescott Ave., and the bike/pedestrian trail on Prescott Ave. There are also private, interior open spaces proposed, including a dog park and a clubhouse/community open space area.