

# SITE PLAN REVIEW AGENDA

10/19/2022 - 9:00 A.M.

(Via Microsoft Teams)

To review supporting documents, click on the "SITE PLAN NO" link, then click on "Record Info" / "Attachments"

## ITEM NO: 1

SITE PLAN NO: [SPR22165](#)

PROJECT TITLE: Walmart Neighborhood Market Store #5635

DESCRIPTION: Replacing Precast Screen wall Caps Near the Bale and Pallet Storage, Constructing New Stoop at New Exterior Surface Mounted Slider Door, Removing/Replacing Existing Bollards, Restriping the existing Six (6) Pickup Parking Stalls and Adding Two (2) New Pickup Parking Stalls (This will Result in the Loss of Four (4) Typical Parking Stalls, Restriping, Stop Signs and Handicap Stalls in the Parking Lot, Installing New Truncated Domes where we are Removing/Replacing Bollards, Removing/Replacing a Section of t Existing Sidewalk for ADA Compliance, Exterior Maintenance Paint, and Exterior Signage Updates.

APPLICANT: Teresa Jones

OWNER: WAL-MART REAL ESTATE BUSINESS TRUST

APN: 089490030

LOCATION: 1320 N DEMAREE ST

## ITEM NO: 2

SITE PLAN NO: [SPR22166](#)

PROJECT TITLE: Mooney & 264 Overall Layout

DESCRIPTION: Mooney & 264 Overall Layout (C-MU)

APPLICANT: Ken Williams

OWNER: GEORGE JOHN F & DONNA J (TRS)

GEORGE JOHN F & DONNA J (TRS)(FAM RE

GEORGE JOHN F & DONNA J (TRS) FM REV

APN: 126340011

126340017

126340018

126340019

126340024

126340025

126340016

LOCATION: 6520 S MOONEY BLVD

October 10, 2022

**STATEMENT OF OPERATIONS**

Please note that the scope of work contained in the project submitted for Walmart Neighborhood Market Store #5635 Visalia, CA located at 1320 N Demaree Street, Visalia, CA 93291 (B223402 Racking / B223403 Sitework / B223398 TI) will not result in any changes to the operations at this existing store. This Site Plan Review submittal is being made as a result of a plan check comment received from Cristobal Carrillo noting that this review will be required prior to issuance of the Building Permit.

This project includes updating the store, making needed repairs, bringing the site up to Code, and adding additional parking for the online pickup service.

LEGEND

→ → ACCESSIBLE PATH OF TRAVEL



ARCHITECT OF RECORD:  
MARIAM S. MEYER  
813 HETZEL AVENUE  
SUITE 300  
OVELAND PARK, KS 66204  
www.brrarch.com  
TEL: 913-262-9095  
FAX: 913-262-9044

STIPULATION FOR REUSE  
THIS DRAWING IS PREPARED FOR  
THE SHOWN PROJECT ONLY. IT IS  
NOT TO BE REUSED FOR ANY OTHER  
PROJECT WITHOUT THE WRITTEN  
CONSENT OF THE ARCHITECT OF  
RECORD. ANY REUSE OF THIS  
DRAWING FOR ANY OTHER PROJECT  
WITHOUT THE WRITTEN CONSENT OF  
THE ARCHITECT OF RECORD IS  
PROHIBITED AND WILL BE CONSIDERED  
A VIOLATION OF THE ARCHITECT'S  
ETHICAL OBLIGATIONS UNDER THE  
LAW.

CONSULTANTS

Walmart  
VISALIA (NW), CA  
1320 N DENAREE ST  
STORE NO: 09655-276  
JOB NUMBER: 9646349 | PHOTO: 35' MM

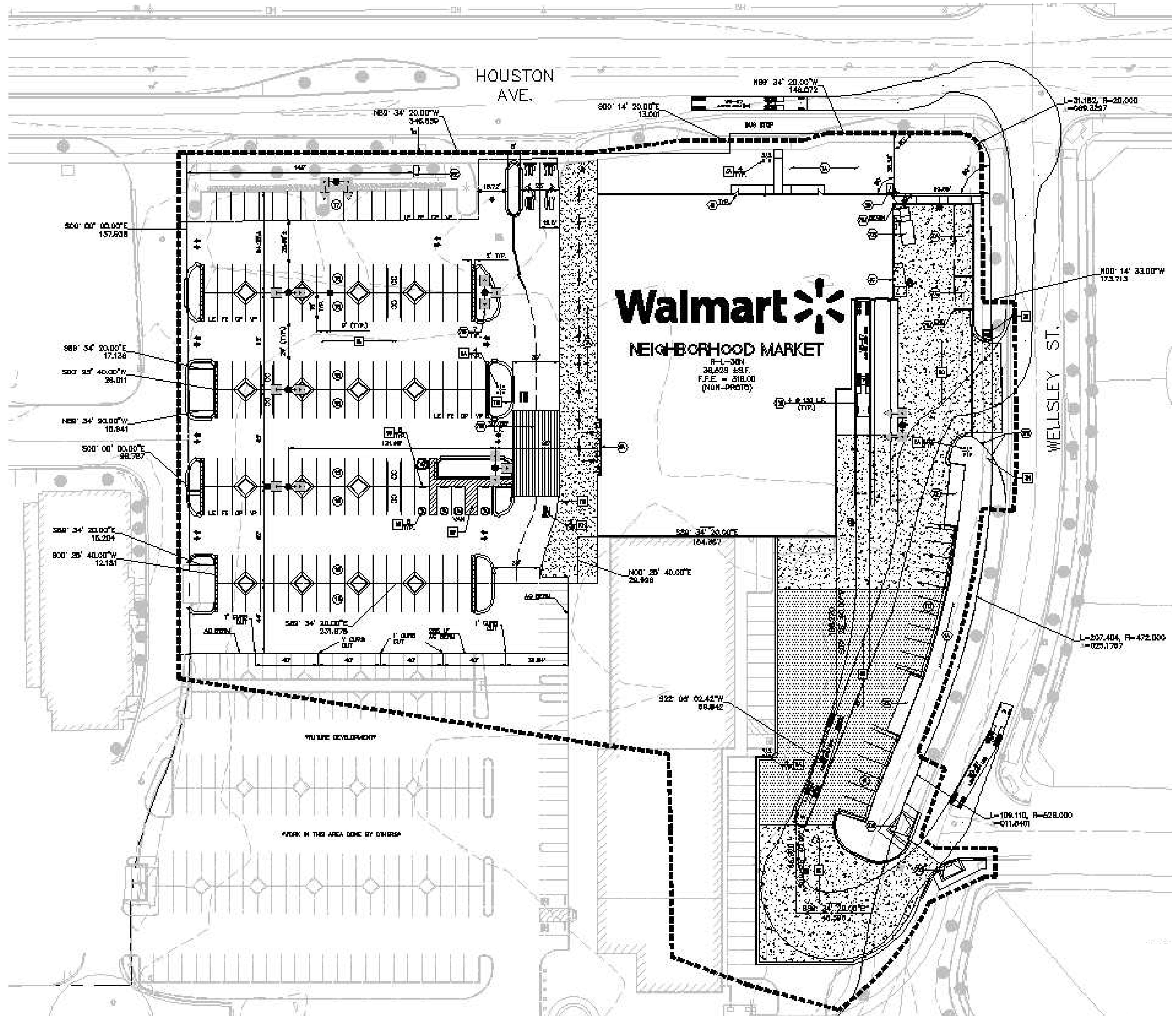
ISSUE BLOCK

CHECKED BY: DMJ, NAH  
DRAWN BY: EP  
PROTO CYCLE: 02/25/22  
DOCUMENT DATE: 04/22/22

THIS SHEET IS INCLUDED  
FOR INFORMATIONAL  
PURPOSES ONLY AND IS  
NOT TO BE SIGNED

OVERALL  
SITE PLAN

SHEET:  
SP1



1 AS-BUILT SITE PLAN  
NTS



NOTE: THIS SHEET IS A COPY OF THE  
AVAILABLE AS-BUILT SITE PLAN FOR  
THIS PROJECT. THIS SHEET IS  
PROVIDED FOR INFORMATION ON THE  
ASSUMED EXISTING CONDITIONS AT  
THE PROJECT SITE. THE ARCHITECT OF  
RECORD HAS NOT MADE  
MODIFICATIONS TO THIS SHEET AND  
CANNOT BE HELD RESPONSIBLE FOR  
THE ACCURACY OF THE CONDITIONS  
ILLUSTRATED.

1. RAISE ALL SITE SIGNS WITHIN CLOSE PROXIMITY TO STRUCTURE TO 7'-0" ABOVE GRADE. REF 11A-SP2.1
2. REPLACE ALL MISSING SITE SIGNS WITHIN CLOSE PROXIMITY TO STRUCTURE.
3. INSTALL ALL SITE SIGNS AT BUILDING SIDE OF DRIVE LANE IN BOLLARDS. REF 11-SP2.1

ARCHITECT OF RECORD:  
**MARIAH B. MEYER**  
 8115 HEDGECOCK AVENUE  
 OVERLAND PARK, KS 66204  
 www.brrarch.com  
 TEL: 913-262-9095  
 FAX: 913-262-9044

STIPULATION FOR REUSE  
 THIS DRAWING WAS PREPARED FOR ONE SPECIFIC PROJECT AND SITE ONLY. IT IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF BRR ARCHITECTS, P.C. IT IS THE PROPERTY OF BRR ARCHITECTS, P.C. AND IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN CONSENT OF BRR ARCHITECTS, P.C. ANY REUSE OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF BRR ARCHITECTS, P.C. IS STRICTLY PROHIBITED AND WILL BE CONSIDERED A VIOLATION OF THE LAW.

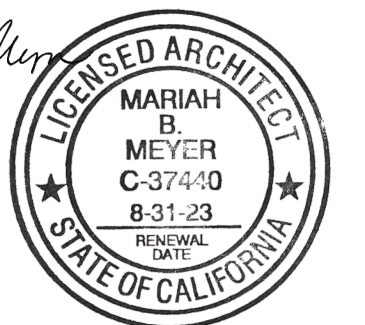
CONSULTANTS

**Walmart**  
**VISALIA (NW), CA**  
 1320 N DEMAREE ST  
 STORE NO: 09655-276  
96546349 | PHOTO: 35 NM

**ISSUE BLOCK**

1	PR #1	08/24/22

CHECKED BY: **DMJ**    **KJS**  
 DRAWN BY: EP  
 PHOTO CYCLE: 02/25/22  
 DOCUMENT DATE: 04/22/22

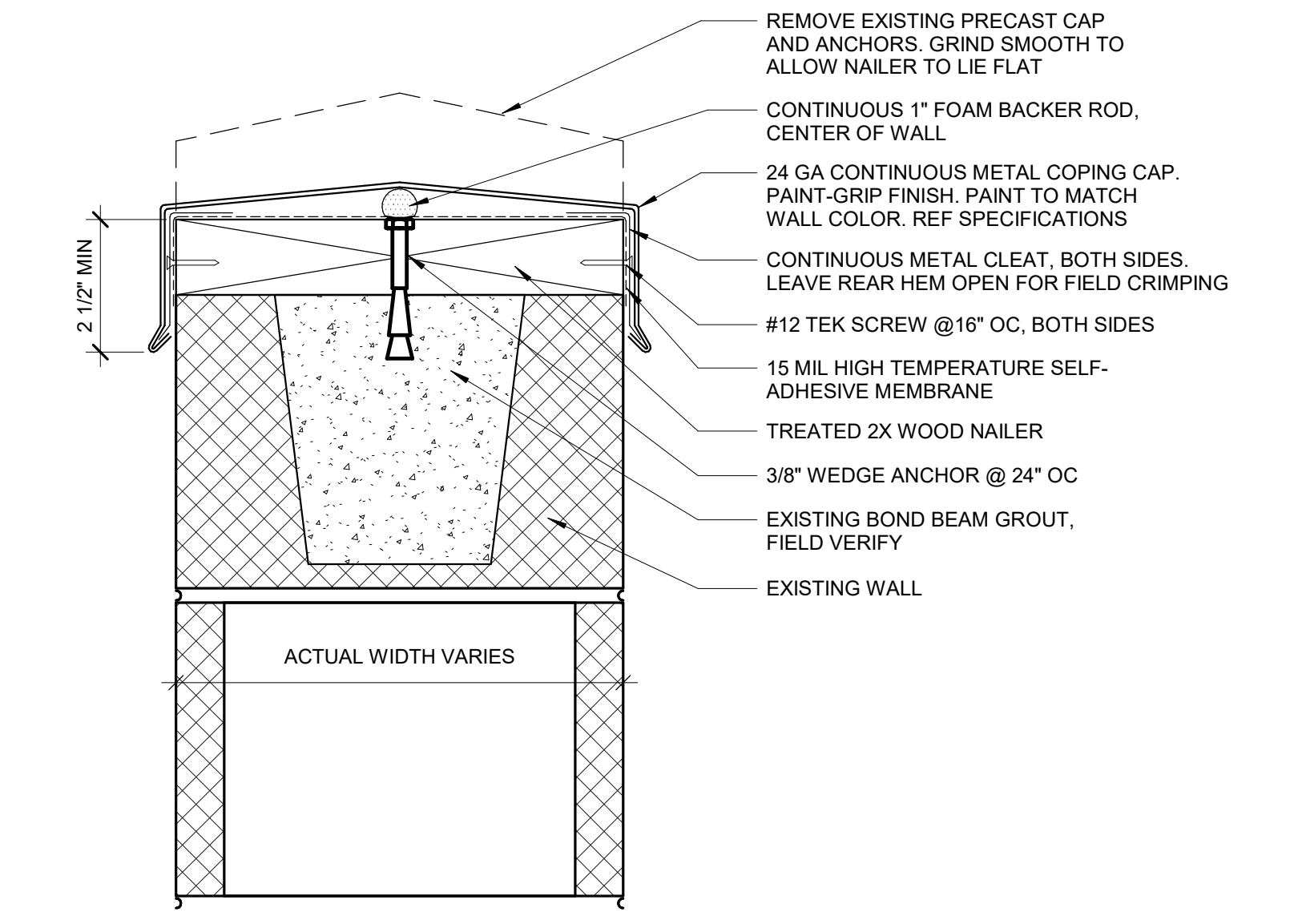
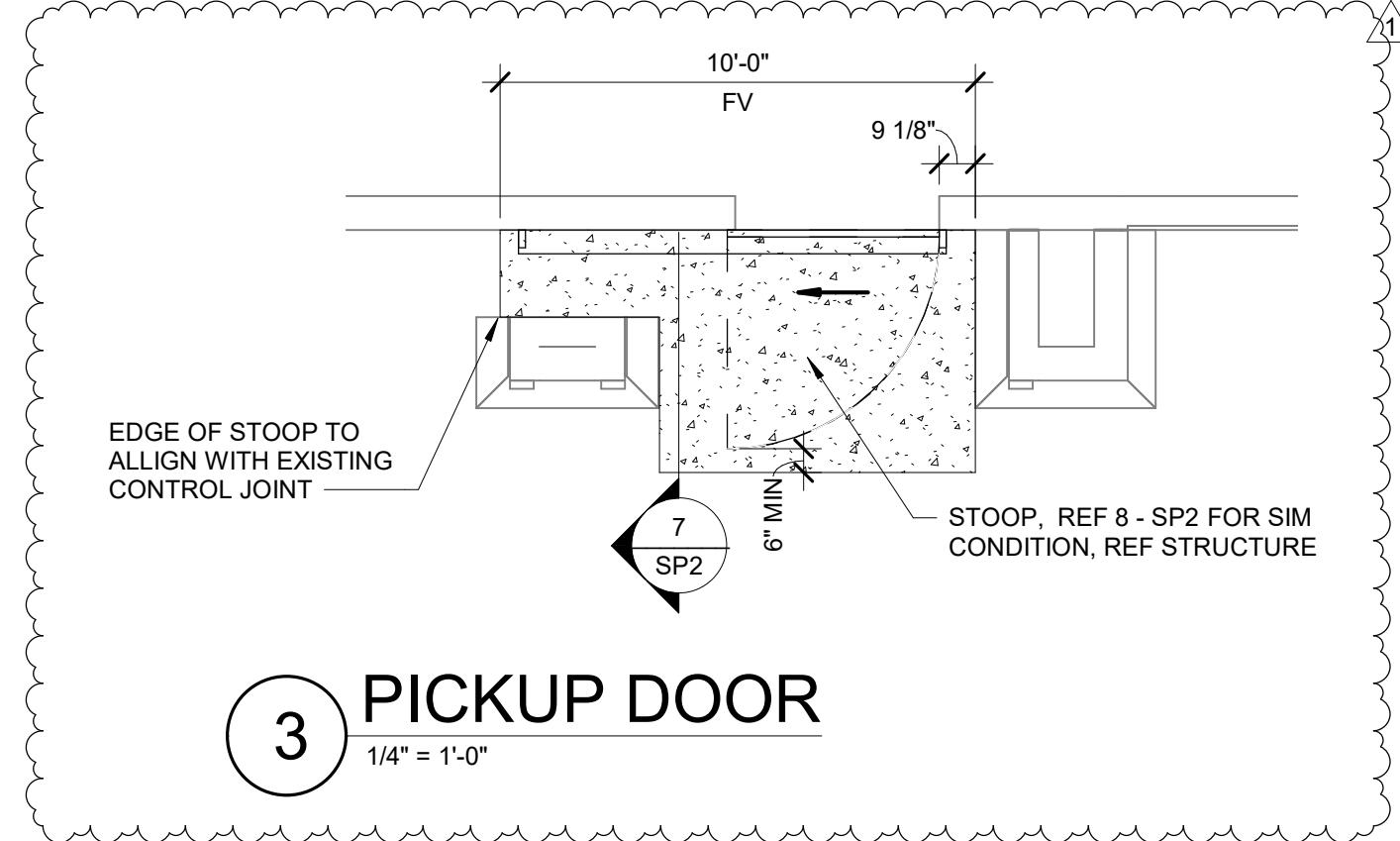
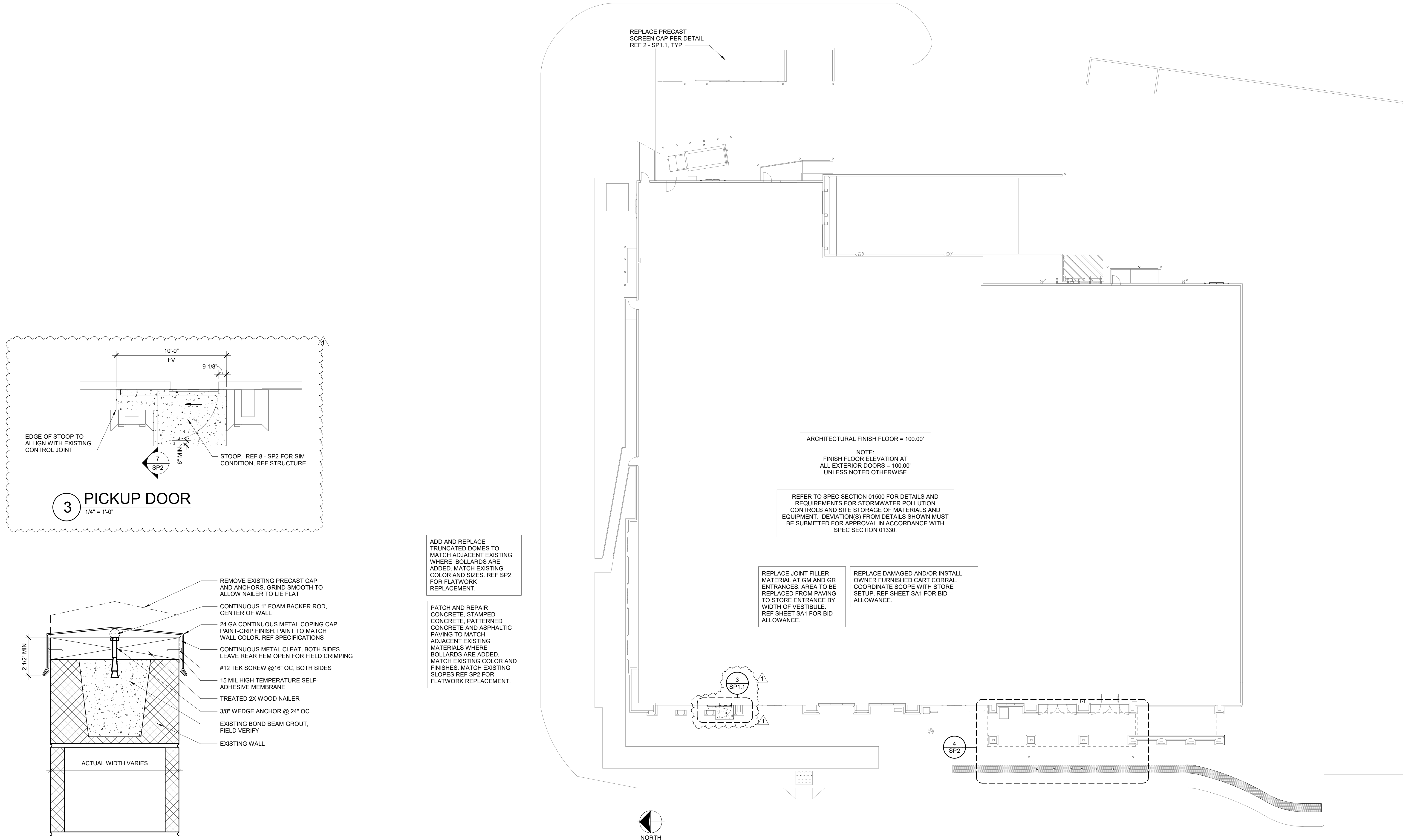


09/20/2022

**SITE PLAN**

**SP1.1**

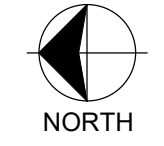
SHEET



ADD AND REPLACE TRUNCATED DOMES TO MATCH ADJACENT EXISTING WHERE BOLLARDS ARE ADDED. MATCH EXISTING COLOR AND SIZES. REF SP2 FOR FLATWORK REPLACEMENT.

PATCH AND REPAIR CONCRETE. STAMPED CONCRETE. PATTERNED CONCRETE AND ASPHALTIC PAVING TO MATCH ADJACENT EXISTING MATERIALS WHERE BOLLARDS ARE ADDED. MATCH EXISTING COLOR AND FINISHES. MATCH EXISTING SLOPES REF SP2 FOR FLATWORK REPLACEMENT.

**1 SITE PLAN**  
 1/16" = 1'-0"



ARCHITECTURAL FINISH FLOOR = 100.00'

NOTE:  
 FINISH FLOOR ELEVATION AT ALL EXTERIOR DOORS = 100.00' UNLESS NOTED OTHERWISE

REFER TO SPEC SECTION 01500 FOR DETAILS AND REQUIREMENTS FOR STORMWATER POLLUTION CONTROLS AND SITE STORAGE OF MATERIALS AND EQUIPMENT. DEVIATION(S) FROM DETAILS SHOWN MUST BE SUBMITTED FOR APPROVAL IN ACCORDANCE WITH SPEC SECTION 01530.

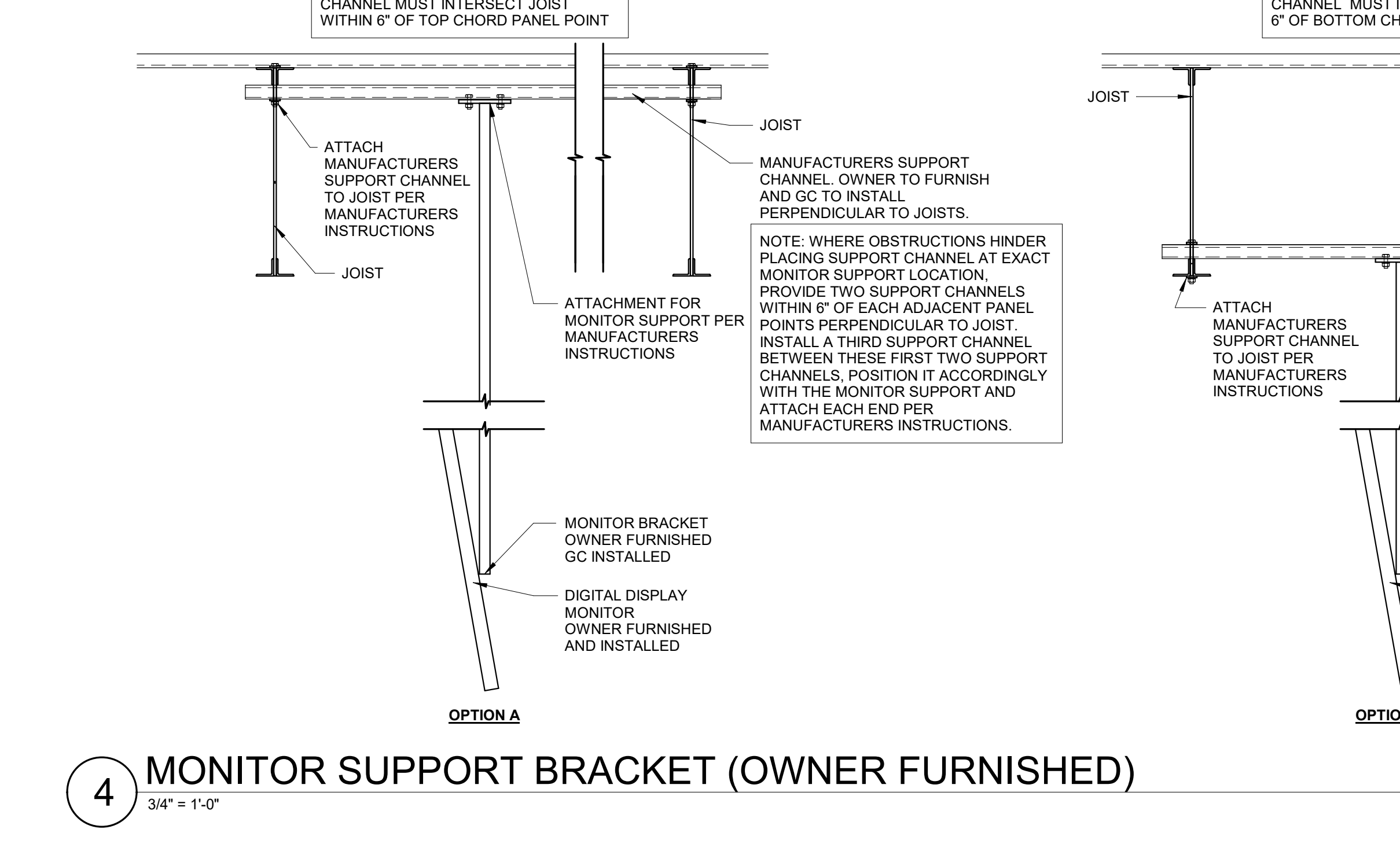
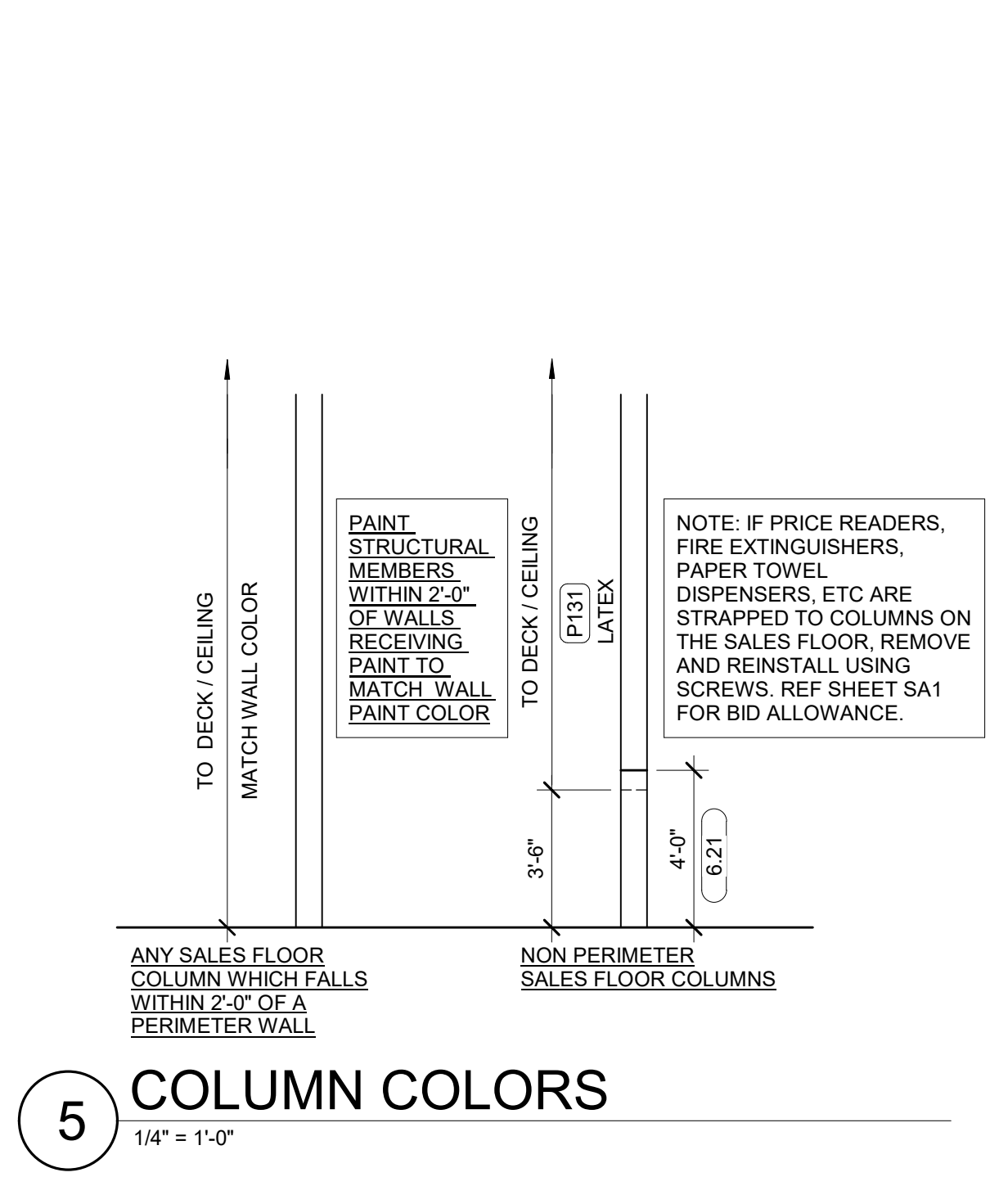
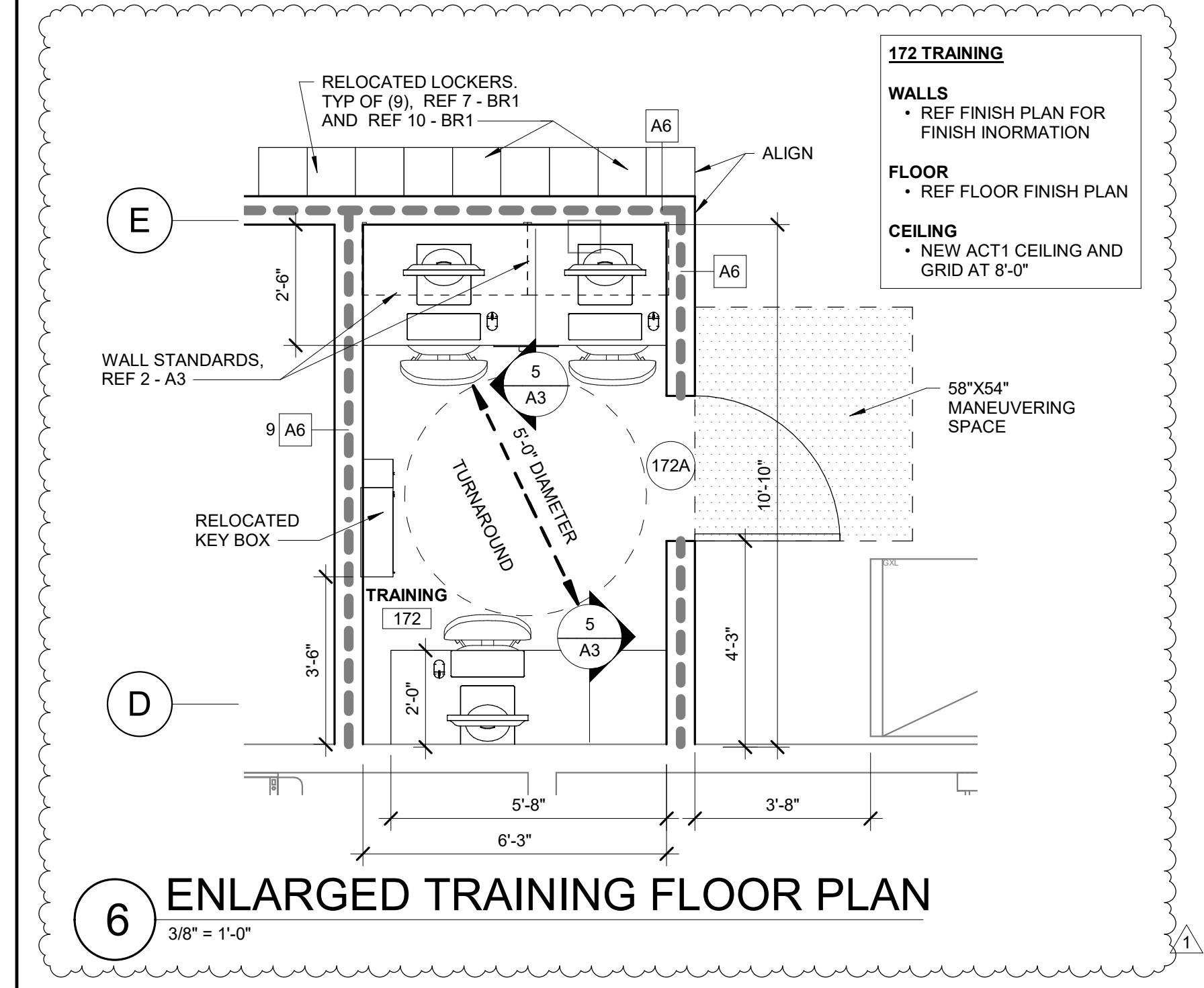
REPLACE JOINT FILLER MATERIAL AT CM AND GR ENTRANCES. AREA TO BE REPLACED FROM PAVING TO STORE ENTRANCE BY WIDTH OF VESTIBULE. REF SHEET SA1 FOR BID ALLOWANCE.

REPLACE DAMAGED AND/OR INSTALL OWNER FURNISHED CART CORRAL. COORDINATE SCOPE WITH STORE SETUP. REF SHEET SA1 FOR BID ALLOWANCE.

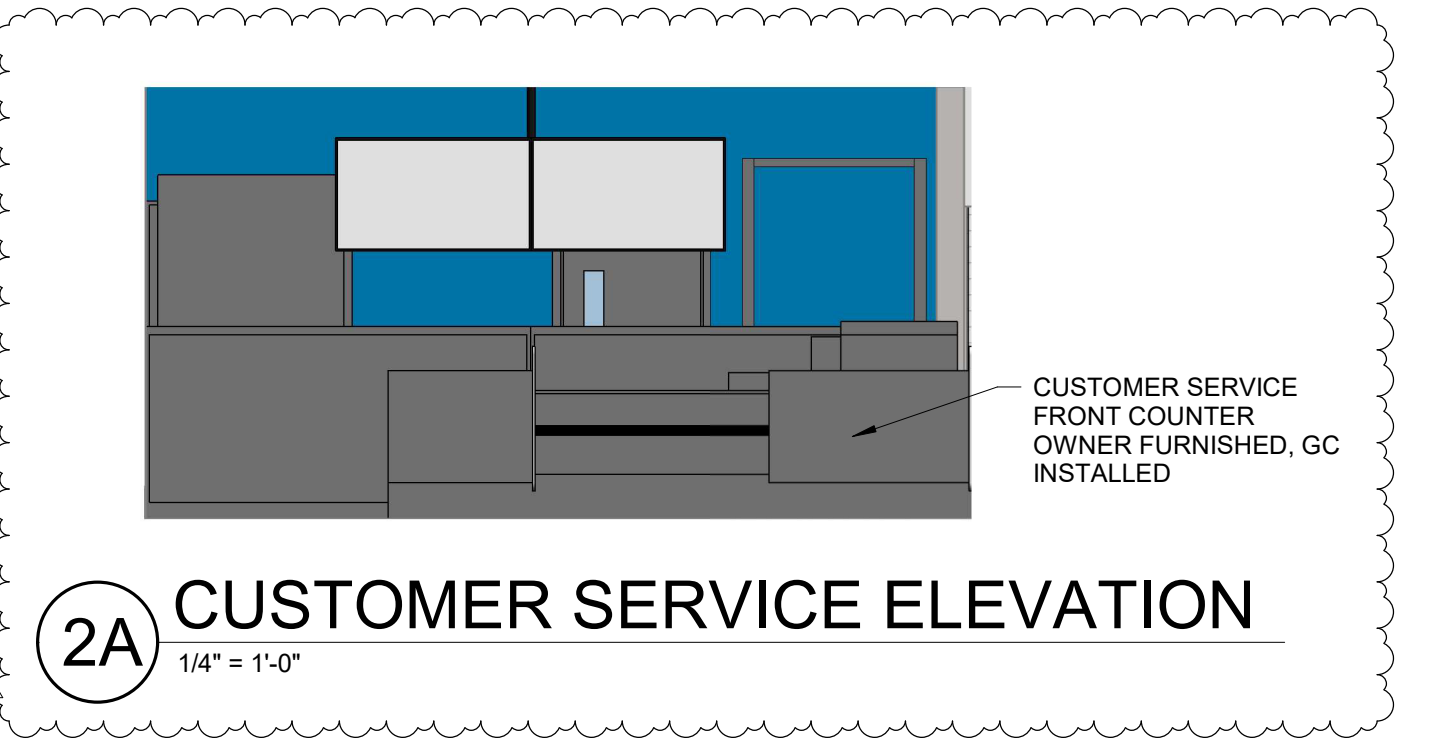
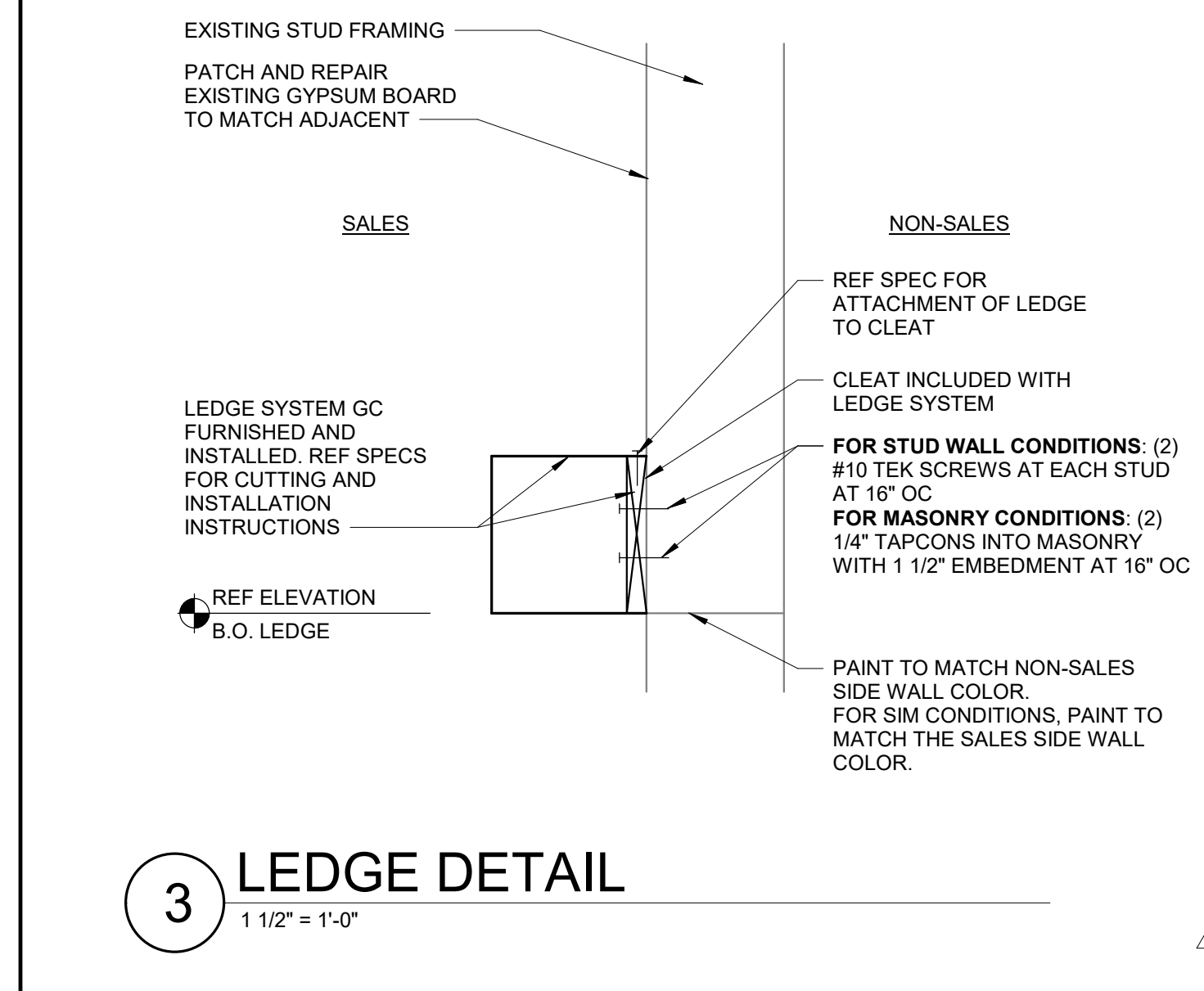
REPLACE PRECAST SCREEN CAP PER DETAIL REF 2 - SP1.1, TYP



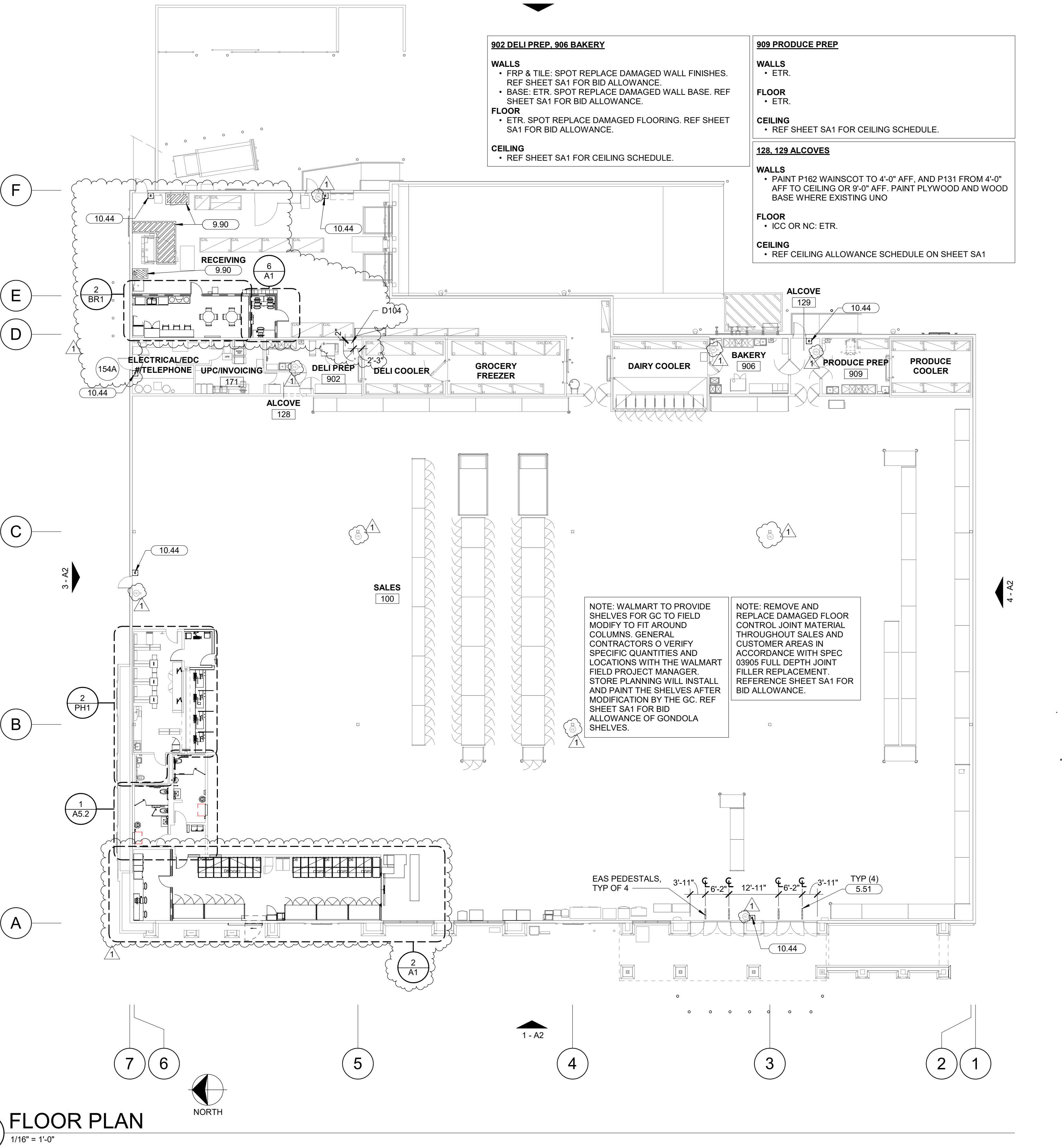
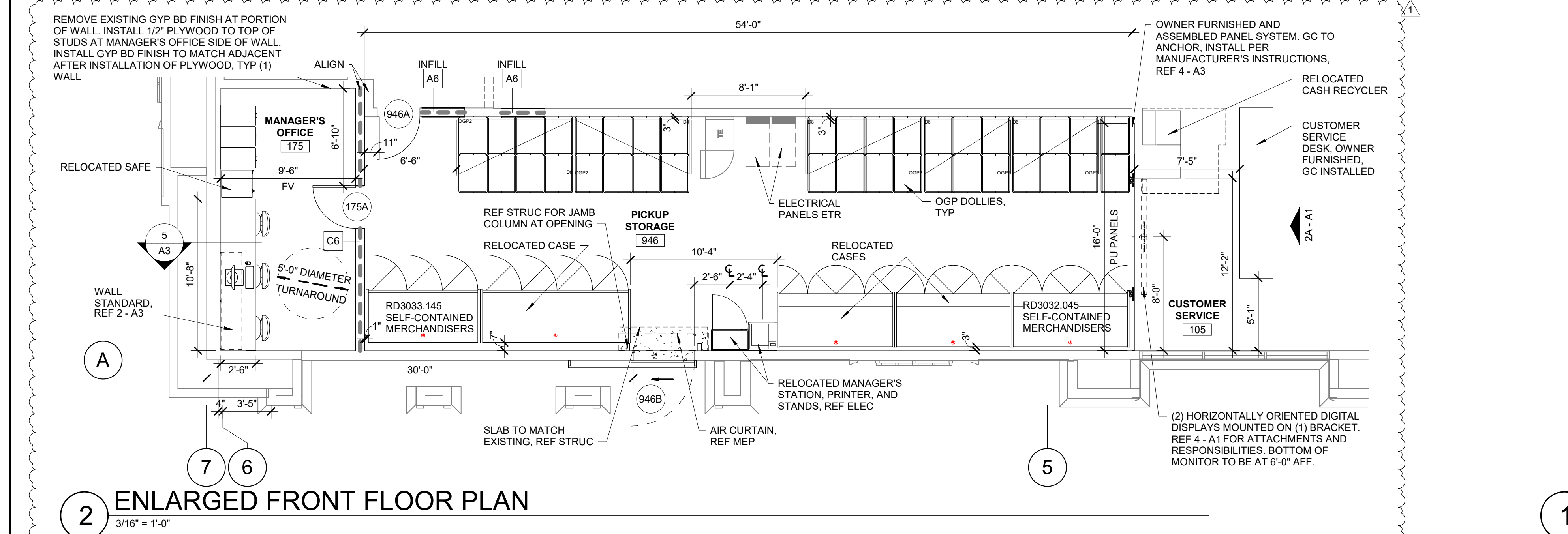
SERVICE DELI EQUIPMENT LEGEND			
WDS NUMBER	QTY	DESCRIPTION	NOTES
D104	1	BLAST CHILLER	



SHEET NOTES	
1.	ENSURE ALL EXISTING WALL STANDARDS AND HALF GONDOLAS TO REMAIN ARE SECURE TO WALL.
2.	NOT USED.
3.	NOT USED.
4.	RELOCATION AND SETUP OF GONDOLAS AND/OR RACKING AS INDICATED ON FXS SHEETS WILL BE PERFORMED BY OTHERS. ANCHORING OF UPRIGHTS TO BE PERFORMED BY GENERAL CONTRACTOR.
KEYNOTES	
6.51	4" O.D PIPE PAINTED STEEL BOLLARD AND INSTALLED.
6.21	ALUMINUM DIAMOND (TREAD) PLATE, OWNER FURNISHED AND INSTALLED.
9.90	FLOOR STRIPES, REF N1 FOR STRIPING CONDITIONS.
10.44	PROVIDE TACTILE "EXIT" SIGN, REF N1.
LEGEND	
	FIRE EXTINGUISHER (ETR)
	K TYPE FIRE EXTINGUISHER (WITH 30 FT OF EACH COOKING APPLIANCE EQUIPMENT WITHIN A HOOD SYSTEM) (ETR)



- 17S MANAGER'S OFFICE**  
WALLS: PAINT WALLS P131 TO CEILING. INSTALL BASE RB1.  
FLOOR: REF FLOOR FINISH PLAN.  
CEILING: NEW GYP CEILING AT 8'-0". PAINT P131.
- 171 UPCANVOICING**  
WALLS: PAINT P131 TO CEILING; IF NO CEILING PAINT TO 9'-0" AFF.  
FLOOR: ETR.  
CEILING: REF CEILING ALLOWANCE SCHEDULE ON SHEET SA1.
- 100 SALES**  
WALLS: GYP BD; REF A1.1 FOR PAINT UNO, BASE IS ETR. CMU; REF A1.1 FOR PAINT UNO, WHERE BASE IS EXISTING, IT IS ETR.  
FLOOR: REF FLOOR FINISH PLAN.  
CEILING: OPEN TO STRUCTURE; PAINT DECKING, STRUCTURE EXPOSED CONDUIT, DUCT WORK, SPRINKLER PIPING, ETC. P131. REF SPECIFICATION 0900. LOW VOLTAGE WIRING TO REMAIN UNPAINTED. PAINT EXPOSED DECK AND STRUCTURE AT SALES FLOOR TO SPACE DEFINING BULKHEADS AND WALLS. PAINT TO EXTEND OVER SPACES AT 1:1. REF DETAIL 3-A1.1.
- 10S CUSTOMER SERVICE, 946 PICKUP STORAGE**  
WALLS: REF FINISH PLAN FOR FINISHES.  
FLOOR: REF FLOOR FINISH PLAN.  
CEILING: OPEN TO STRUCTURE; REF SHEET SA1 FOR CEILING SCHEDULE.  
MILLWORK: OWNER FURNISHED GC INSTALLED.  
REPAIR / REMOVE / REPLACE: REPLACE DAMAGED OUTLETS, NON-ALMOND TO MATCH EXISTING COLOR. REPLACE ALMOND WITH WHITE. REPLACE CUSTOMER VISIBLE ALMOND OUTLETS WITH WHITE. REPLACE DAMAGED AND CUSTOMER VISIBLE COVER PLATES WITH BRUSHED STAINLESS STEEL, INCLUDING BLANK PLATES. REPLACE DAMAGED DIFFUSERS AS REQUIRED.



**brr**  
ARCHITECT OF RECORD:  
MARIAH B. MEYER  
813 HETPUL AVENUE  
OVELAND, CA, 94564  
www.brrarch.com  
TEL: 913-262-9095  
FAX: 913-262-9044

STIPULATION FOR REUSE  
THIS DRAWING WAS PREPARED FOR THE PROJECT IDENTIFIED HEREIN AND IS NOT TO BE REUSED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF BRR ARCHITECTS AND ENGINEERS. ANY REUSE OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF BRR ARCHITECTS AND ENGINEERS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO BRR ARCHITECTS AND ENGINEERS.

CONSULTANTS

Walmart  
VISALIA (NW), CA  
1320 N DENAREE ST  
STORE NO: 09655-276  
JOB NUMBER: 9654949 | PROJ: 35 NM

ISSUE BLOCK

1	PR #1	08/24/22

CHECKED BY: DMJ KJS  
DRAWN BY: EP  
PROTO CYCLE: 02/25/22  
DOCUMENT DATE: 04/22/22

9/20/2022

MARIAH B. MEYER  
C-37430  
8-31-23  
REGISTERED ARCHITECT  
STATE OF CALIFORNIA

FLOOR PLAN

SHEET: A1

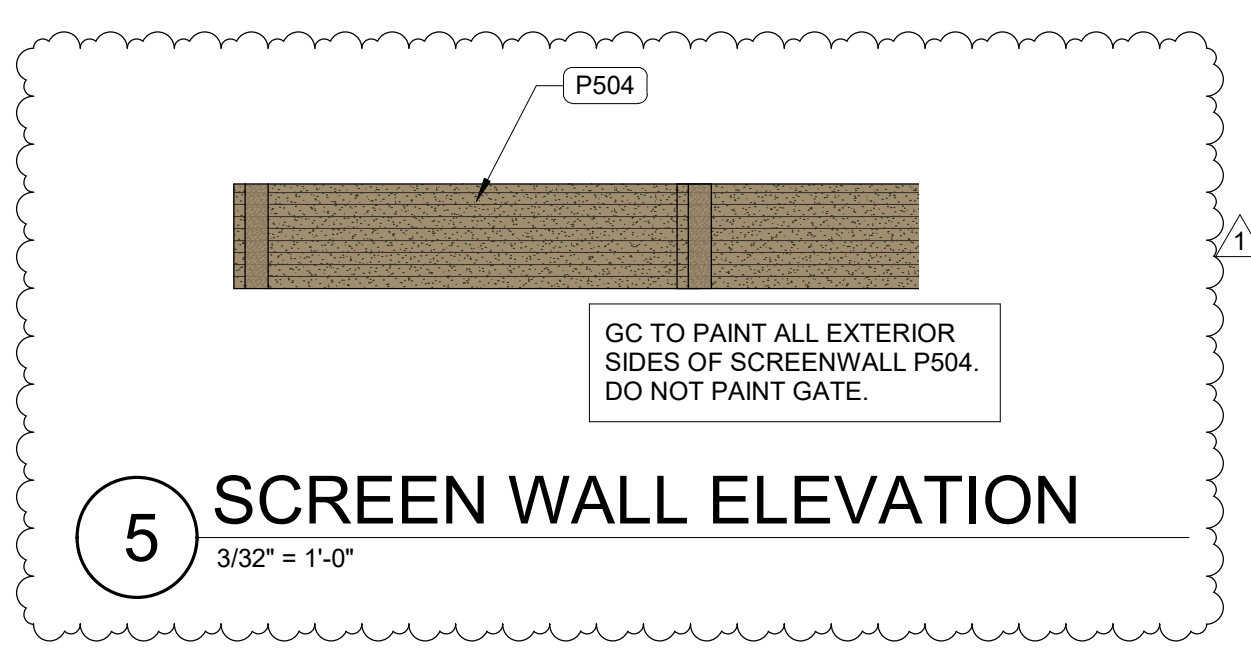


COLOR LEGEND	
P78U	WALMART BLUE (URETHANE-LIKE)
P500	NUGGET
P501	PITTSFIELD BUFF
P502	DECATUR BUFF
P503	COPPER KETTLE
P504	BUTTERNUT BROWN

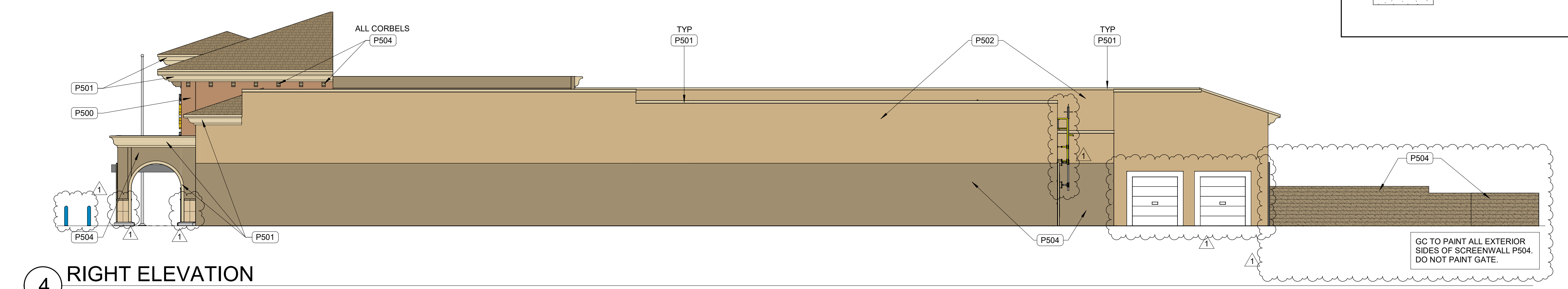
DEMOLITION NOTES
1. NOT USED.
2. REMOVAL OF BUILDING MOUNTED ITEMS, SHOWN OR NOTED TO BE DEMOLISHED OR AS REQUIRED BY SCOPE OF WORK, SHALL OCCUR PRIOR TO PAINTING BUILDING. COORDINATE DEMOLITION WORK SO EXTERIOR PAINTING WILL OCCUR PRIOR TO INSTALLATION OF BUILDING MOUNTED ITEMS.

SHEET NOTES
1. DOOR HOODS, STEEL DOORS AND FRAMES, EXPOSED METAL FLASHING, HANDRAILS, AND EXPOSED MISCELLANEOUS STEEL SHALL MATCH ADJACENT BUILDING COLOR (ND). IF THERE ARE TWO COLORS AT WALL ADJACENT TO DOOR AND FRAME, USE BOTTOM COLOR FOR ENTIRE DOOR AND FRAME.
2. PAINT ALL EXTERIOR ENTRY BOLLARDS TO MATCH EXISTING COLOR UNLESS NOTED TO RECEIVE PLASTIC BOLLARD SLEEVE.
3. PAINT SECURITY WALL PACK HOUSINGS TO MATCH ADJACENT WALL. REMOVE PAINT OVERSPRAY FROM LENSES.
4. DO NOT PAINT WINDOW FRAMES OR STOREFRONT DOOR FRAMES.
5. PAINT ANY ROOFTOP GAS PIPING (P5E) WHERE EXTERIOR WALL IS BEING PAINTED. GAS PIPE ALONG SIDE WALL TO GRADE SHOULD MATCH ADJACENT BUILDING. DO NOT PAINT METER OR VALVES.
6. AT MASONRY LOCATIONS WHERE SIGNS ARE BEING REPLACED, REMOVE AND PAINT AREA BEHIND SIGN TO MATCH EXISTING COLOR. REF SPEC 09900.

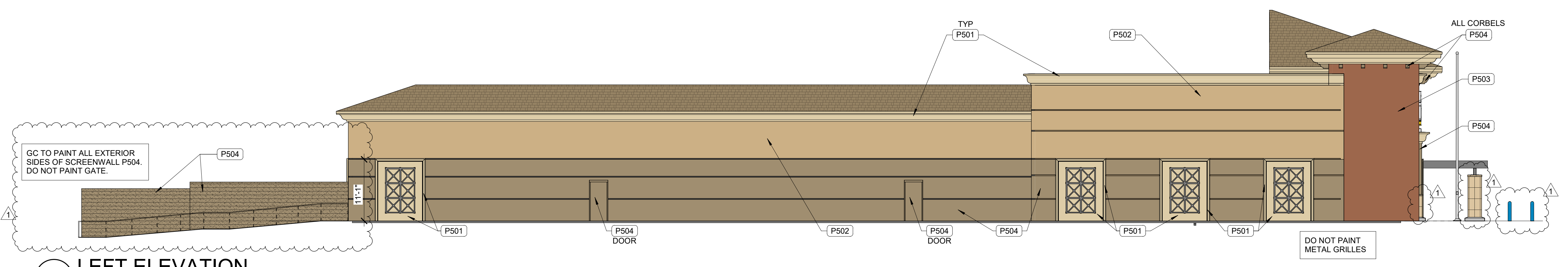
HATCH LEGEND	
	EIFS AREA TO BE RESURFACED (REF SPEC)



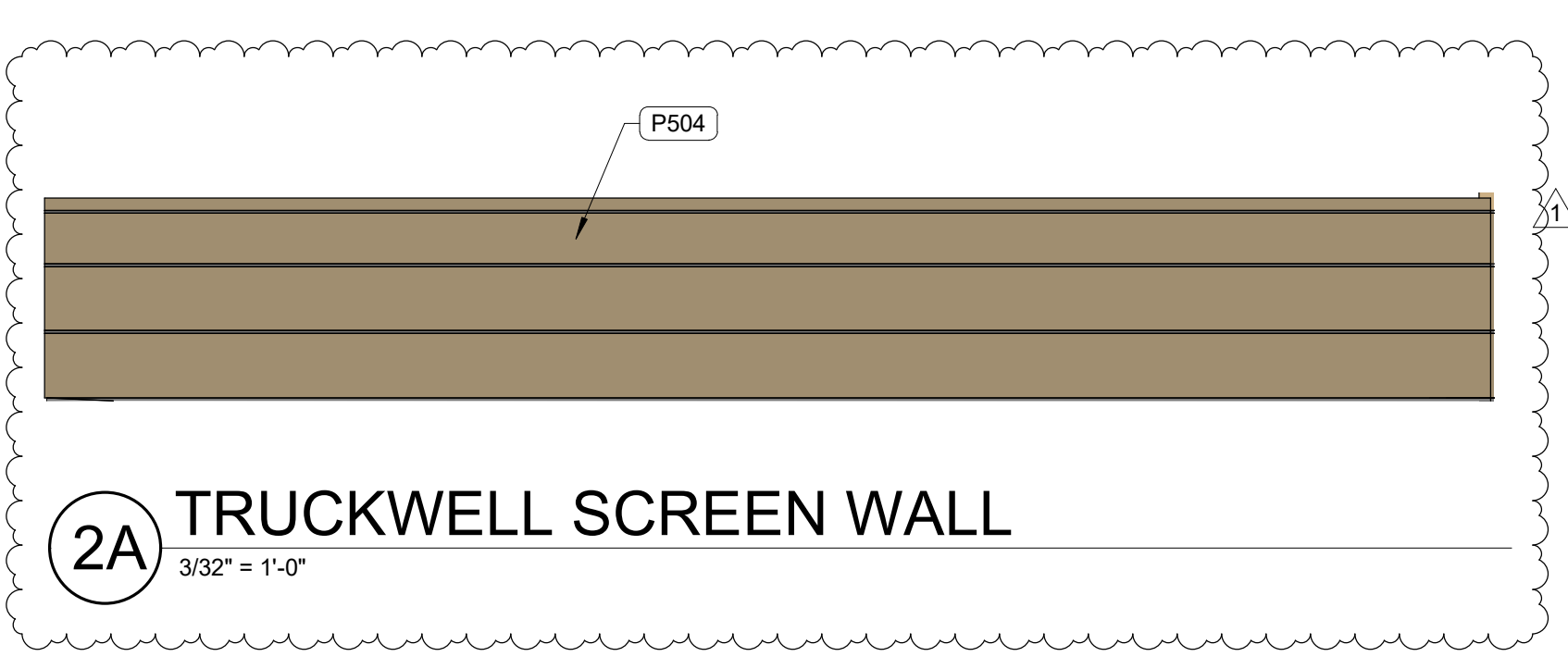
5 SCREEN WALL ELEVATION  
3/32" = 1'-0"



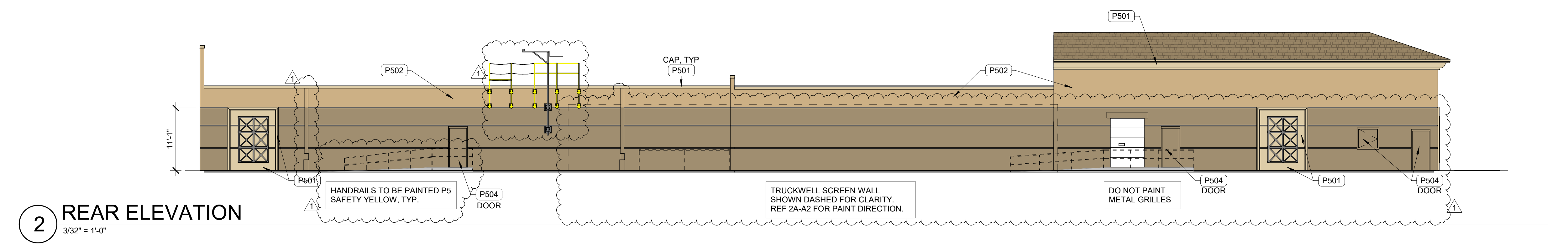
4 RIGHT ELEVATION  
3/32" = 1'-0"



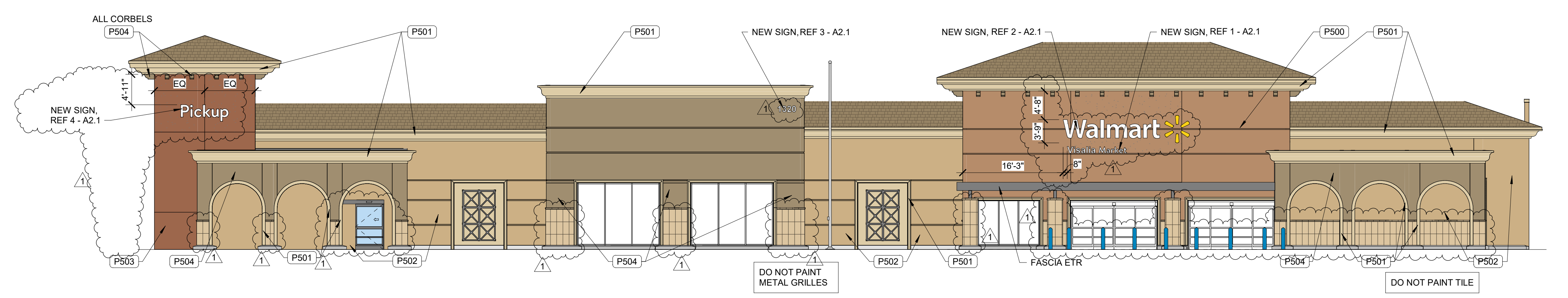
3 LEFT ELEVATION  
3/32" = 1'-0"



2A TRUCKWELL SCREEN WALL  
3/32" = 1'-0"



2 REAR ELEVATION  
3/32" = 1'-0"



1 FRONT ELEVATION  
3/32" = 1'-0"

**brr**  
ARCHITECT OF RECORD:  
MARIAH B. MEYER  
813 HETZEL AVENUE  
OVERLAND PARK, KS 66204  
www.brrarch.com  
TEL: 913-262-9995  
FAX: 913-262-9944

STIPULATION FOR REUSE  
THIS DRAWING WAS PREPARED FOR THE USE OF THE PROJECT ONLY. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS STRICTLY PROHIBITED AND WILL BE CONSIDERED A VIOLATION OF THE LAW.

CONSULTANTS

**Walmart**  
VISALIA (NW), CA  
1320 N DEMAREE ST  
STORE NO: 09655-276  
JOB NUMBER: 9654349 | PHOTO: 35 NM

ISSUE BLOCK		
1	PR #1	08/24/22

CHECKED BY: DMJ KJS  
DRAWN BY: EP  
PROTO CYCLE: 02/25/22  
DOCUMENT DATE: 04/22/22

REGISTERED ARCHITECT  
MARIAH B. MEYER  
C-37430  
8-31-23  
STATE OF CALIFORNIA

EXTERIOR ELEVATIONS

SHEET: A2



**EXISTING SIGNAGE SCHEDULE**

EXISTING SIGNAGE SCHEDULE (FOR REFERENCE ONLY)					
SIGNAGE LOCATION	QTY	COLOR	SIZE	INDIVIDUAL AREA	TOTAL AREA
<b>FRONT SIGNAGE</b>					
Walmart	1	WHITE	3'-11"	47.07 SF	47.07 SF
Neighborhood Market	1	GREEN			
Spark	1	YELLOW			
* (Spark) Pickup	1	WHI/YEL	2'-0"	41.26 SF	41.26 SF
Address Sign	1	WHITE	1'-0"	N/A SF	N/A SF
<b>TOTAL FRONT SIGNAGE</b>				<b>88.33 SF</b>	
<b>TOTAL BUILDING SIGNAGE</b>				<b>88.33 SF</b>	

**NEW SIGNAGE SCHEDULE**

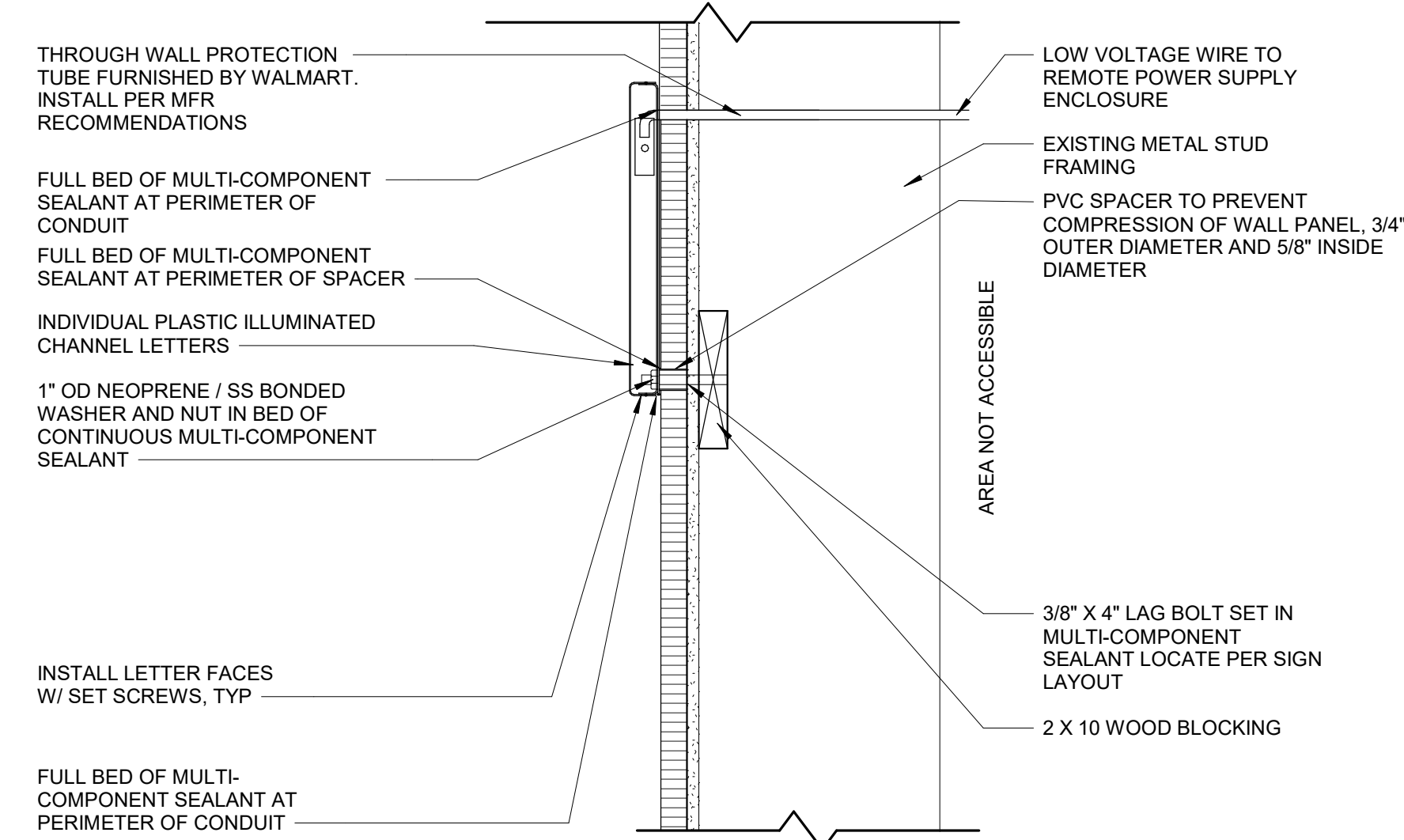
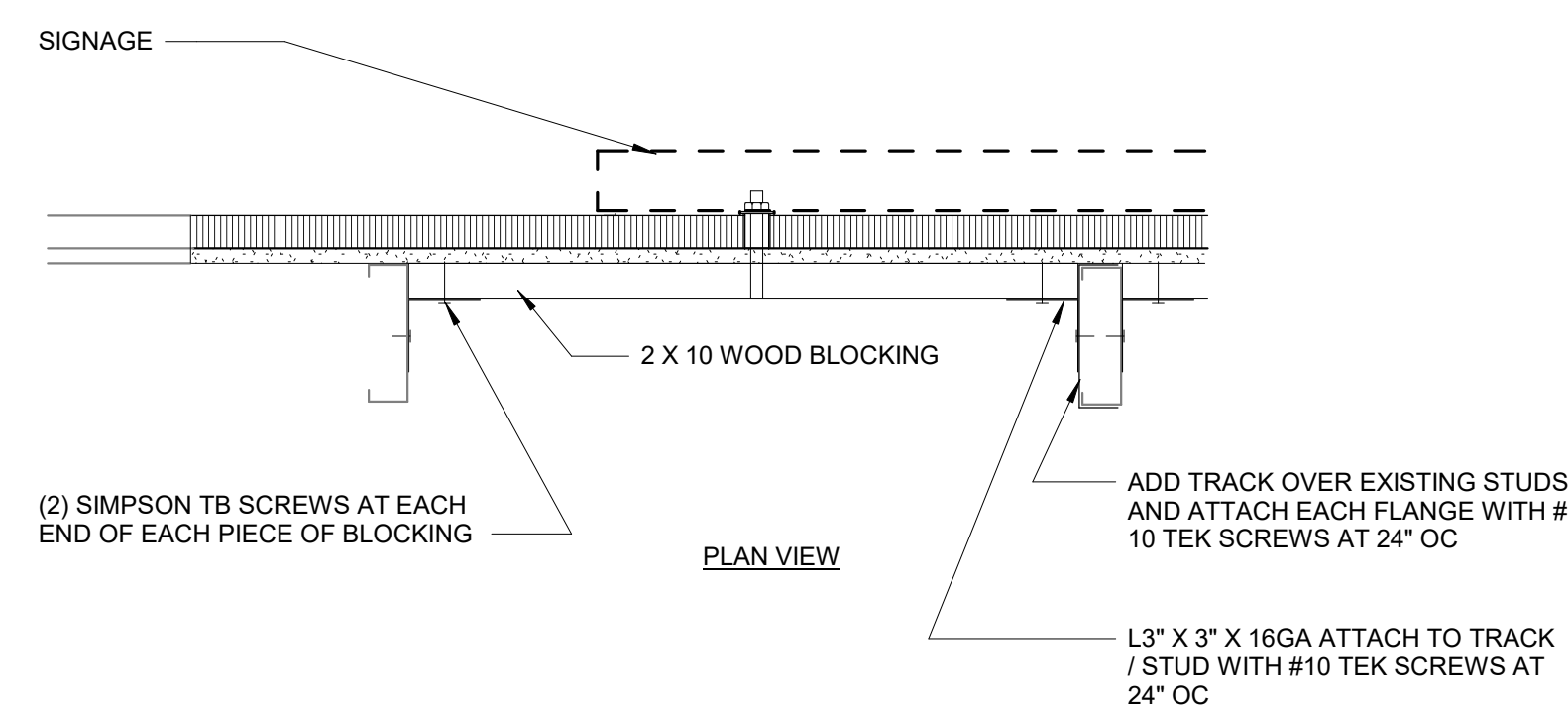
NEW SIGNAGE SCHEDULE (FOR REFERENCE ONLY)					
SIGNAGE LOCATION	QTY	COLOR	SIZE	INDIVIDUAL AREA	TOTAL AREA
<b>FRONT SIGNAGE</b>					
Walmart	1	WHITE	3'-0"	90.93 SF	90.93 SF
Spark	1	YELLOW			
Visalia Market	1	WHITE	1'-1"	10.20 SF	10.20 SF
Pickup	1	WHITE	2'-0"	20.71 SF	20.71 SF
Address Sign (1320)	1	WHITE	1'-0"	N/A SF	N/A SF
<b>TOTAL FRONT SIGNAGE</b>				<b>121.84 SF</b>	
<b>TOTAL BUILDING SIGNAGE</b>				<b>121.84 SF</b>	

**SIGNAGE GENERAL NOTES**

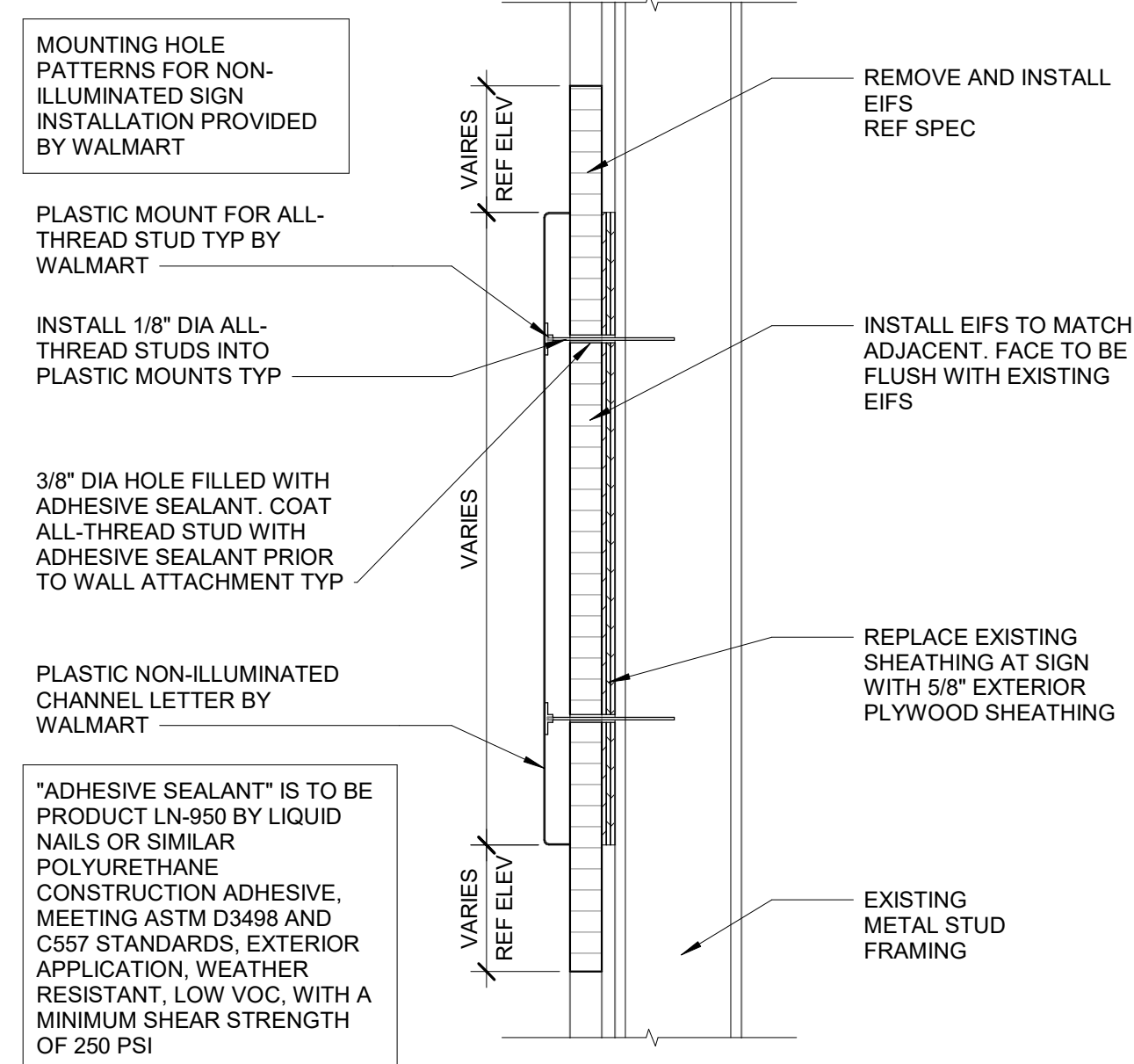
- SIGNAGE FURNISHED BY WAL-MART AND INSTALLED BY GC.
- ALL EXISTING WALMART EXTERIOR SIGNAGE IS TO REMAIN IN PLACE ON THE BUILDING UNTIL THE GC SIGN COMPANY IS ONSITE. THE EXISTING SIGNAGE WILL THEN BE REMOVED. PATCH AND REPAIR WORK WILL BE COMPLETED AT SIGN LOCATIONS, AND NEW SIGNAGE WILL BE INSTALLED PER PLANS.
  - A TEMPORARY BANNER WILL BE INSTALLED PRIOR TO REMOVAL OF EXISTING EXTERIOR SIGNAGE. BANNER WILL REMAIN IN PLACE UNTIL ALL MODIFICATIONS AND/OR REPAIRS HAVE BEEN COMPLETED AND NEW SIGNAGE IS INSTALLED.
  - TEMPORARY BANNER WILL BE APPROXIMATELY 125 SF (5'X25').
  - EXTERIOR SIGN WORK NEEDS TO BE SCHEDULED, COORDINATED, AND COMPLETED DURING WEEK 9 OF THE CONSTRUCTION SCHEDULE.
- GENERAL CONTRACTOR RESPONSIBILITIES
  - BY END OF FIRST WEEK OF CONSTRUCTION, REVIEW EXISTING CONSTRUCTION WHERE SIGNS WILL BE INSTALLED. IF EXISTING CONDITIONS DO NOT MATCH SIGN ATTACHMENT DETAILS SHOWN, REQUEST APPROVAL FROM CONSTRUCTION MANAGER TO SUBMIT RFI IN ACCORDANCE WITH SECTION 01255. NOTE DIFFERENCES IN CONSTRUCTION, INCLUDING DIMENSIONS, AND INCLUDE PHOTOGRAPHS FOR CLARIFICATION.
  - PROVIDE SUBSTRATE SUITABLE FOR INSTALLATION OF SIGNAGE. REFER TO SIGN DETAILS FOR LIGHTED IDILOGO SIGNS.
  - PROVIDE JUNCTION BOXES AND CIRCUITRY TO NEW "Walmart" and "spark" SIGNAGE. EXISTING (B) BOXES FROM "WAL-MART" SIGNAGE MAY BE REUSED.
  - PROVIDE JUNCTION BOXES AND CIRCUITRY TO TENANT SIGNAGE LOCATION SHOWN. REFER TO ELECTRICAL.
  - INSTALL ACCESS DOORS AND FRAMES IN GYPSUM BOARD CEILING IF REQUIRED BY RELOCATION OF EXISTING TENANT SIGNAGE.
  - VERIFY VOLTAGE AT CIRCUITS FEEDING LIGHTED SIGNAGE. REFER TO ELECTRICAL.
  - MAKE FINAL TERMINATIONS ON LIGHTED SIGNAGE.
  - REMOVE ALL LIT IDILOGO SIGNS AND UNLIT EXTERIOR STUD MOUNTED BUILDING SIGNS, UNLESS NOTED OTHERWISE.
  - MAKE REQUIRED EXTERIOR WALL PENETRATIONS, INSTALL CONDUIT, AND SEAL PENETRATIONS PER SPECIFICATION SECTION 07900.
  - INSTALL SIGNAGE PER DETAILS.

**brr**

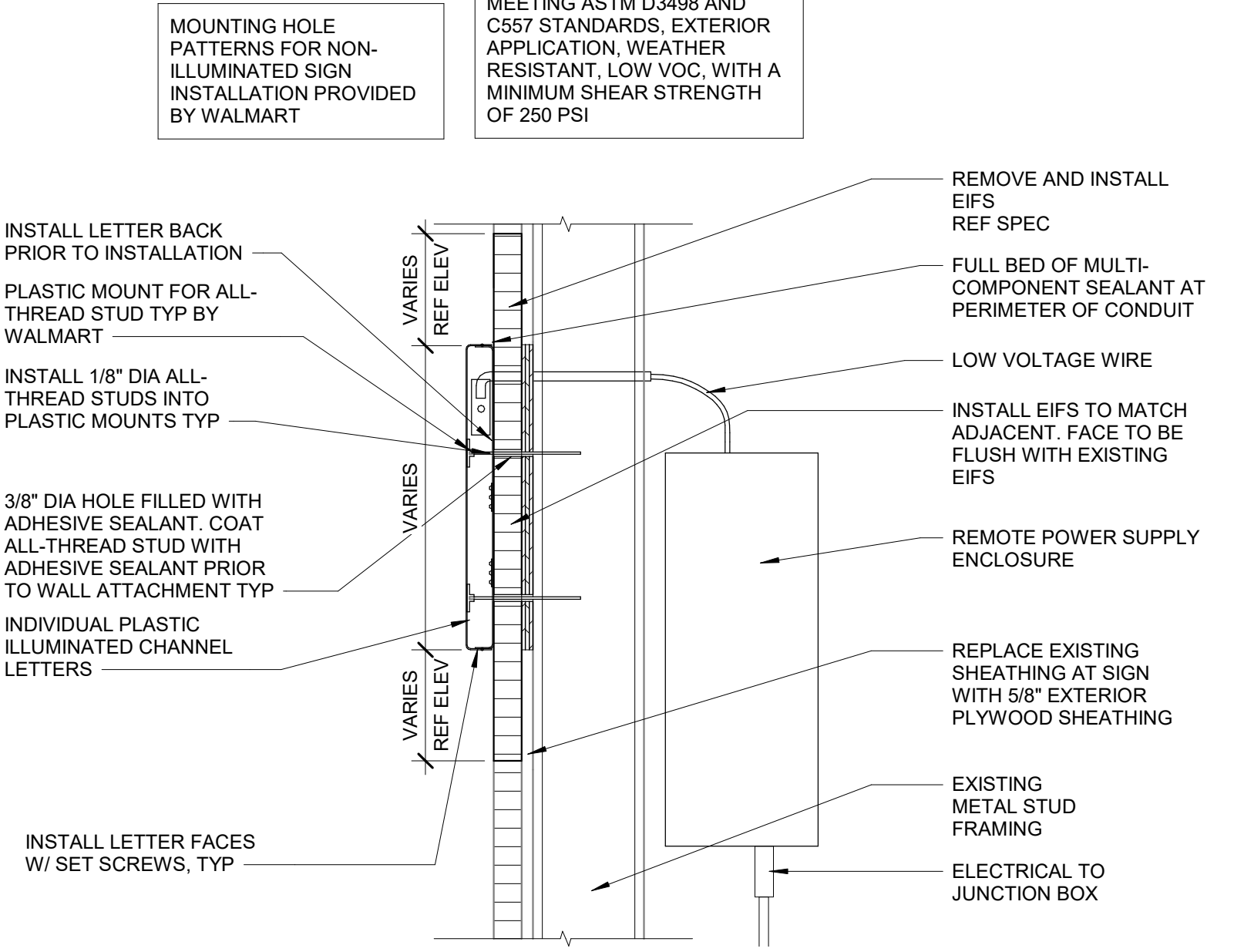
ARCHITECT OF RECORD:  
 MARIAN B. MEYER  
 813 HETPUL AVENUE  
 SUITE 300  
 OVERLAND PARK, KS 66204  
 www.brrarch.com  
 TEL: 913-262-9095  
 FAX: 913-262-9044



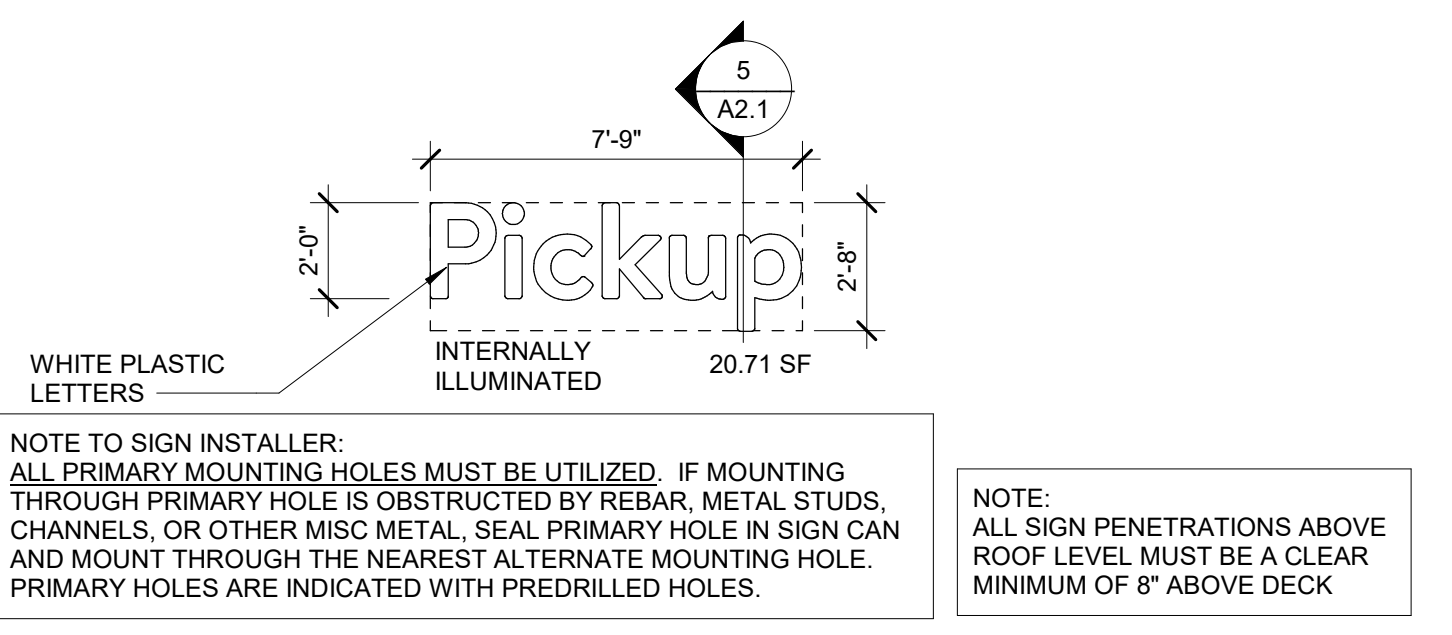
7 SIGN ATTACHMENT  
1 1/2" = 1'-0"



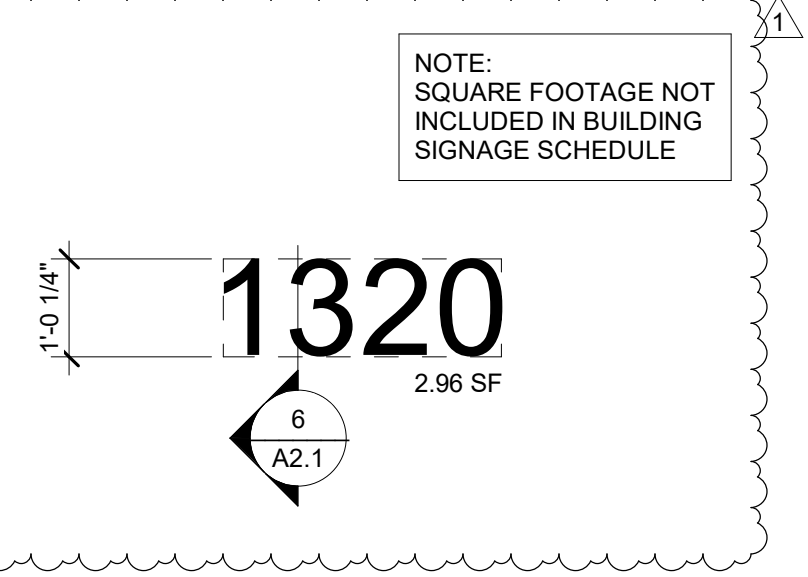
6 SIGN ATTACHMENT  
1 1/2" = 1'-0"



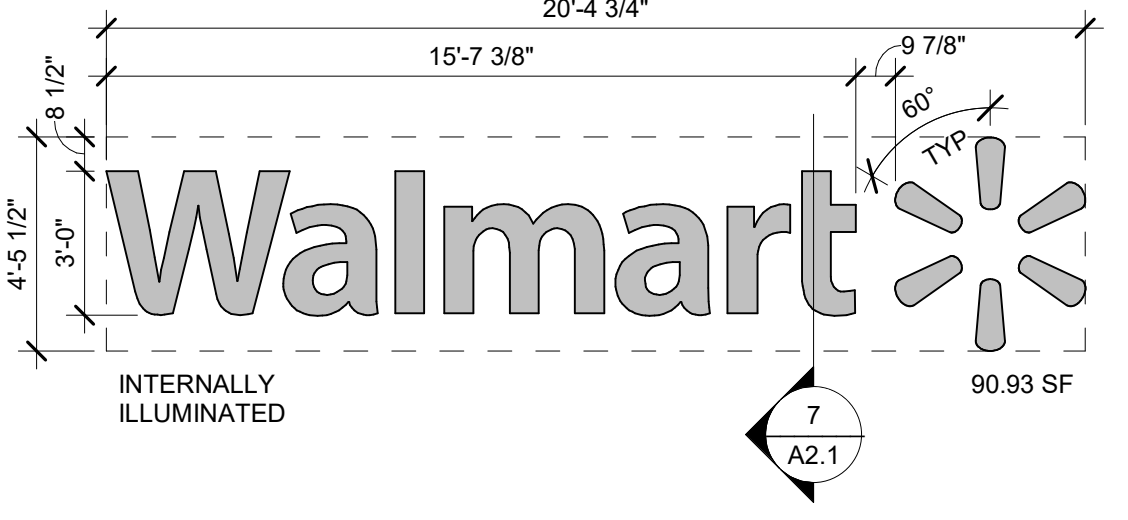
5 PICKUP SIGNAGE ATTACHMENT BELOW ROOFLINE  
1 1/2" = 1'-0"



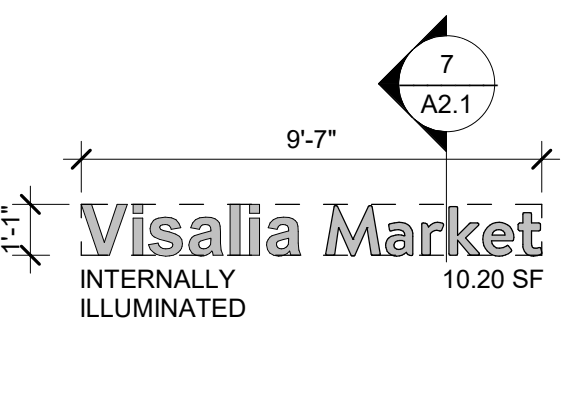
4 2'-0" - PICKUP  
1/4" = 1'-0"



3 ADDRESS SIGN  
1/2" = 1'-0"



2 3'-0" WALMART SIGN  
1/4" = 1'-0"



1 SIGNAGE  
1/4" = 1'-0"

STIPULATION FOR REUSE

THIS DRAWING HAS BEEN PREPARED FOR THE USE OF THE PROJECT AND IS NOT TO BE REUSED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS STRICTLY PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

CONSULTANTS

Walmart

VISALIA (NW), CA

1320 N DENAREE ST

STORE NO: 09655-276

JOB NUMBER: 9654349 | PHOTO: 35' N/A

ISSUE BLOCK

1	PR #1	08/24/22

CHECKED BY: DMJ KJS

DRAWN BY: EP

PROTO CYCLE: 02/25/22

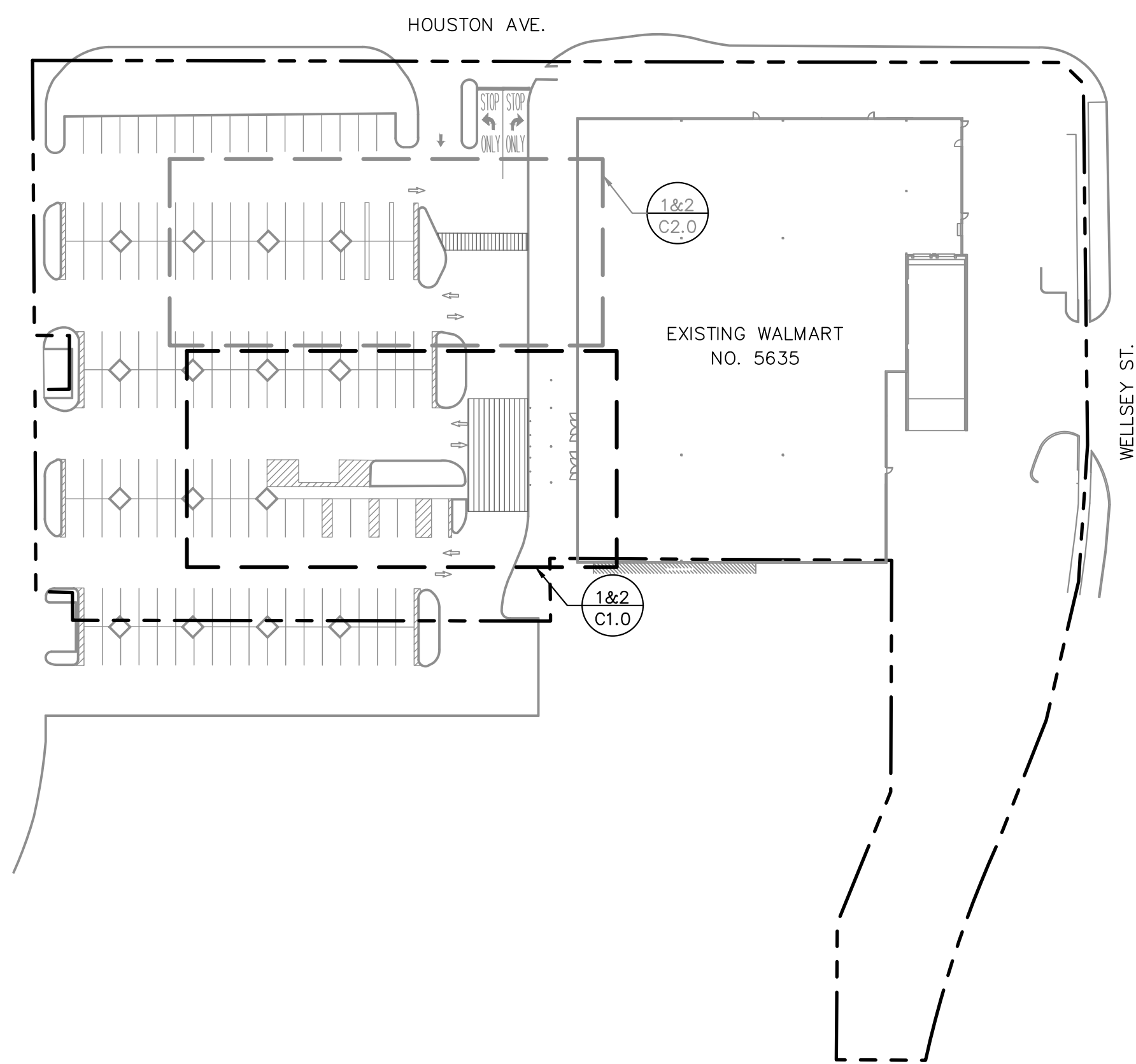
DOCUMENT DATE: 04/22/22

MARIAN B. MEYER  
 C-37450  
 8-31-23  
 ARCHITECT  
 STATE OF CALIFORNIA

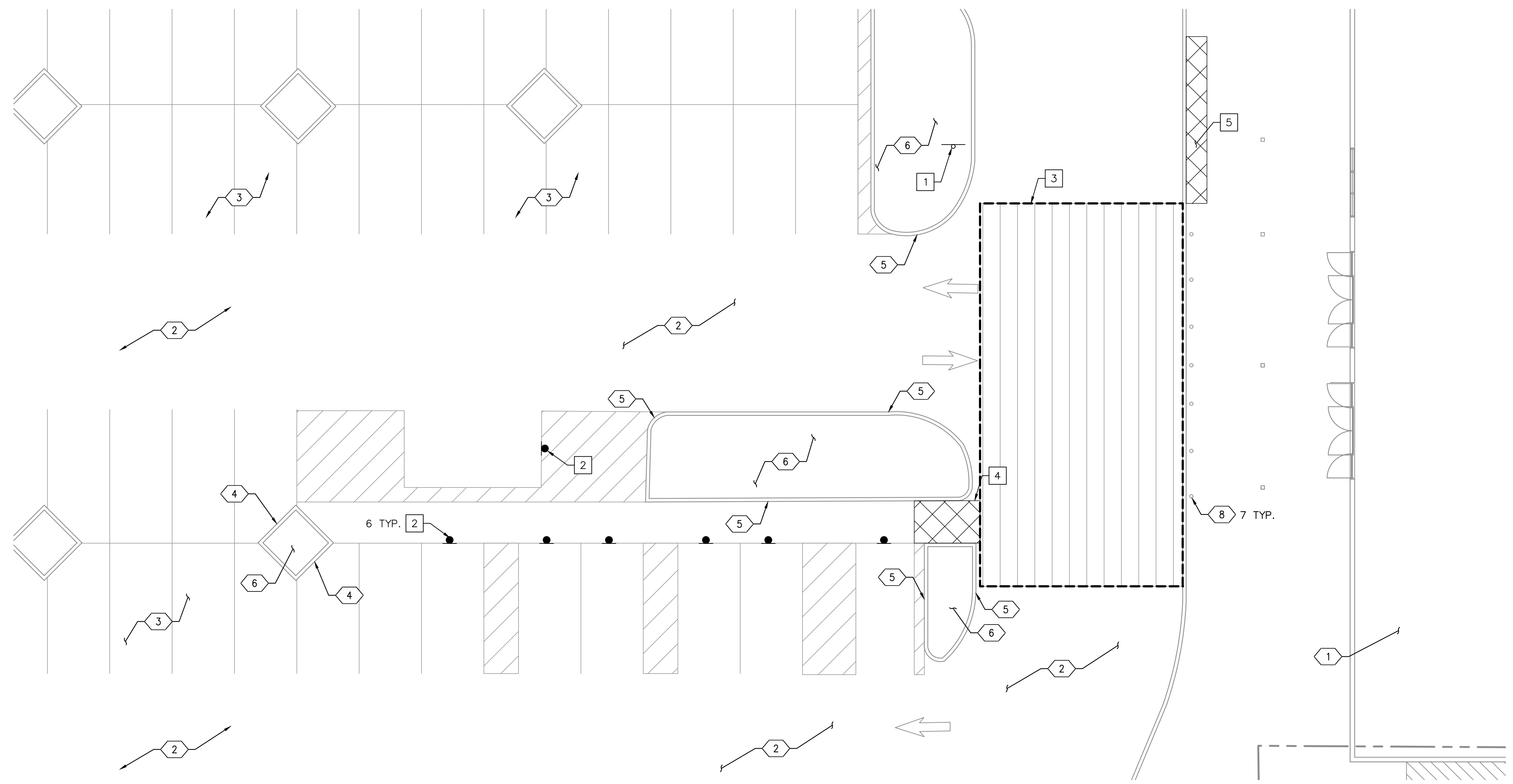
EXTERIOR DETAILS AND SIGNAGE

SHEET: A2.1

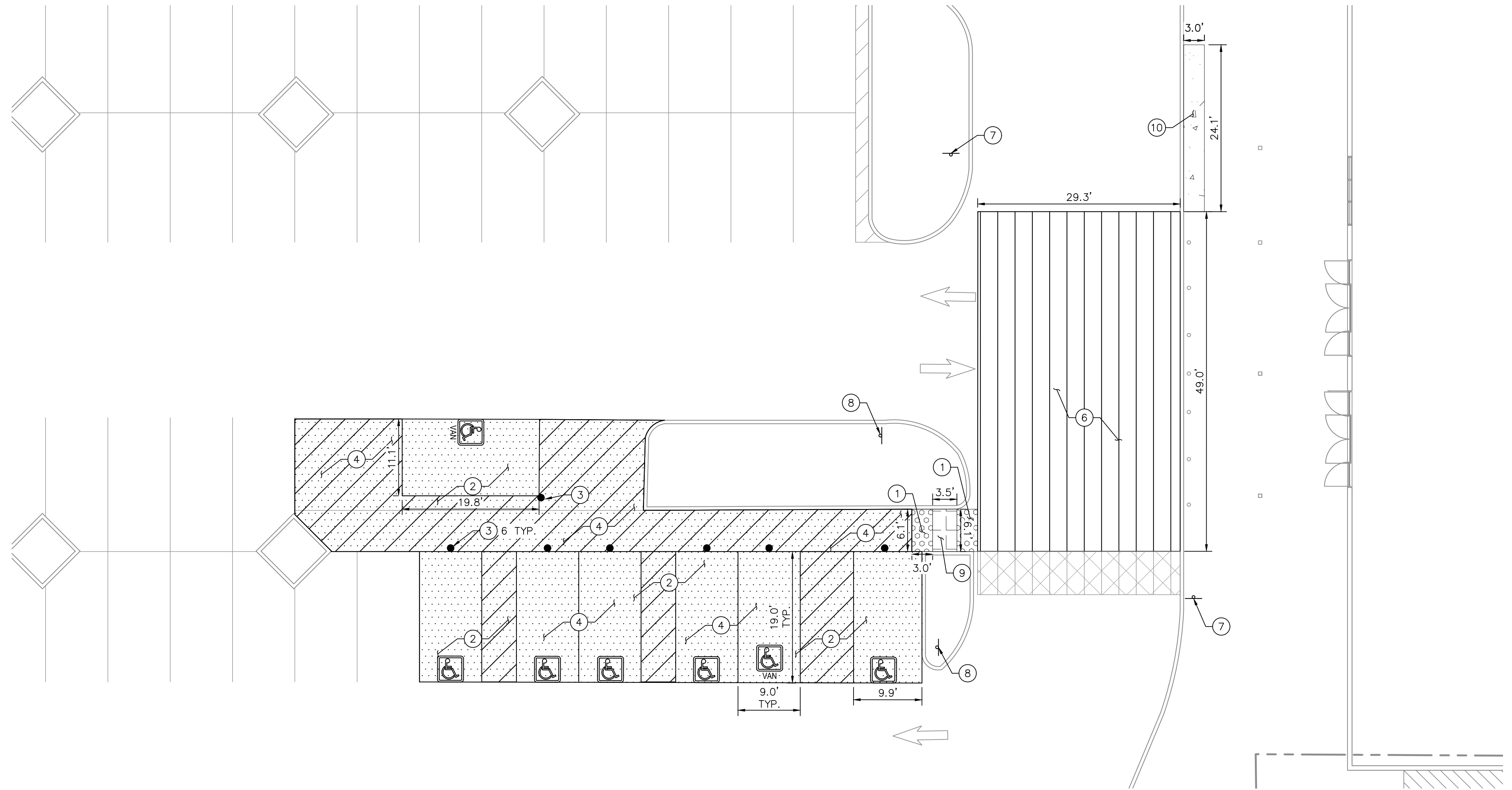




**SITE PLAN**  
SCALE: 1" = 60'



**EXISTING CONDITIONS** 1  
SCALE 1" = 10'



**REPAIR PLAN** 2  
SCALE 1" = 10'

**PROTECT-IN-PLACE NOTES**

- 1 PROTECT-IN-PLACE EXISTING BUILDING.
- 2 PROTECT-IN-PLACE EXISTING ASPHALT PAVEMENT.
- 3 PROTECT-IN-PLACE EXISTING STRIPING.
- 4 PROTECT-IN-PLACE EXISTING CONCRETE CURB.
- 5 PROTECT-IN-PLACE EXISTING CURB AND GUTTER.
- 6 PROTECT-IN-PLACE EXISTING LANDSCAPING.
- 7 PROTECT-IN-PLACE EXISTING PICK-UP STALLS.
- 8 PROTECT-IN-PLACE EXISTING BOLLARD.

**DEMOLITION NOTES**

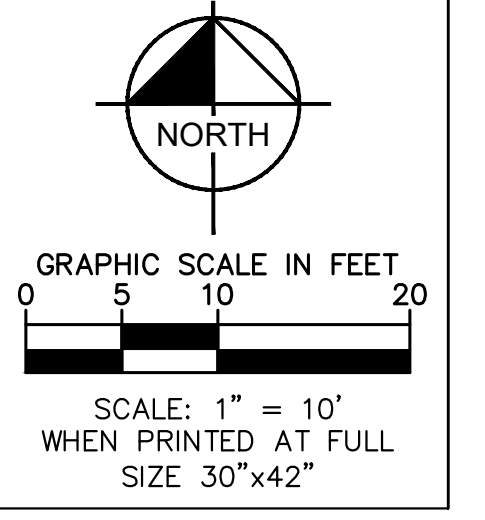
- 1 REMOVE EXISTING SIGN ON POST INCLUDING FOOTING IF ENCOUNTERED.
- 2 DEMO EXISTING SIGN, POST AND BOLLARD INCLUDING FOOTING.
- 3 ERADICATE EXISTING STRIPING AND SEAL COAT AREA.
- 4 DEMO EXISTING ASPHALT AND BASE COURSE.
- 5 DEMO EXISTING CONCRETE SIDEWALK AND PROTECT BASE COURSE.

**CONSTRUCTION NOTES**

- 1 PROPOSED CAST-IN-PLACE TRUNCATED DOMES IN CONCRETE PER DETAIL 1, SHEET C3.0. WIDTH TO BE 3.0' UNLESS SPECIFIED ON PLANS.
- 2 STRIPE ACCESSIBLE PARKING STALLS PER DETAIL 6, SHEET C3.0.
- 3 PROPOSED ACCESSIBLE PARKING SIGN ON POST AND BOLLARD PER DETAIL 4, SHEET C3.0 AND "SIGN MOUNTING AND BASE" ON SHEET C3.0.
- 4 PROPOSED 1.0" MILL AND OVERLAY TO PROPOSED GRADES HEREON.
- 5 STRIPE ACCESSIBLE PATH OF TRAVEL PER DETAIL 5, SHEET C3.0.
- 6 NEW CROSSWALK MARKINGS. 6" WIDE PAINTED WITH STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS. ENTIRE CROSSWALK SHALL BE RE-STRIPED.
- 7 INSTALL "STOP HERE FOR PEDESTRIANS" SIGN ON POST AND BOLLARD PER DETAIL 2, SHEET C3.0 AND "SIGN MOUNTING AND BASE" ON SHEET C8.0.
- 8 INSTALL UNAUTHORIZED VEHICLE ACCESS SIGN ON POST PER DETAIL 3, SHEET C3.0 AND "SIGN MOUNTING AND BASE" ON SHEET C8.0.
- 9 PROPOSED ASPHALT PAVEMENT PER DETAIL 7, SHEET C3.0.
- 10 PROPOSED CONCRETE SIDEWALK PER DETAIL 8, SHEET C3.0.

**LEGEND**

- PROPOSED CONCRETE PAVEMENT
- PROPOSED 1.0" MILL AND OVERLAY TO PROPOSED GRADE
- PROPOSED DEMO AREA
- PROPOSED TRUNCATED DOMES
- PROPOSED ASPHALT PAVEMENT
- ERADICATE STRIPING/SEAL COAT AREA



**STIPULATION FOR REUSE**  
THIS DOCUMENT IS THE PROPERTY OF BRR ARCHITECTURE, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF BRR ARCHITECTURE, INC. ANY REUSE OF THIS DOCUMENT FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF BRR ARCHITECTURE, INC. IS STRICTLY PROHIBITED AND WILL BE CONSIDERED TO BE A VIOLATION OF THE LAW.

**CONSULTANTS**  
**Kimley-Horn**  
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
1100 B STREET, SUITE 1000  
DENVER, CO 80202  
PH: 303.733.7700  
WWW.KIMLEY-HORN.COM

**Walmart\***  
**VISALIA, CA**  
1320 N. DEMAREE STREET  
STORE NO. 5635  
JOB NUMBER: 09465870 | PHOTO: 208 SC  
2022 SPRB-R

**ISSUE BLOCK**

NO.	DESCRIPTION	DATE	STATUS

CHECKED BY: JG  
DRAWN BY: KMJ  
PROTO CYCLE: 04/28/2022  
DOCUMENT DATE: 04/28/2022

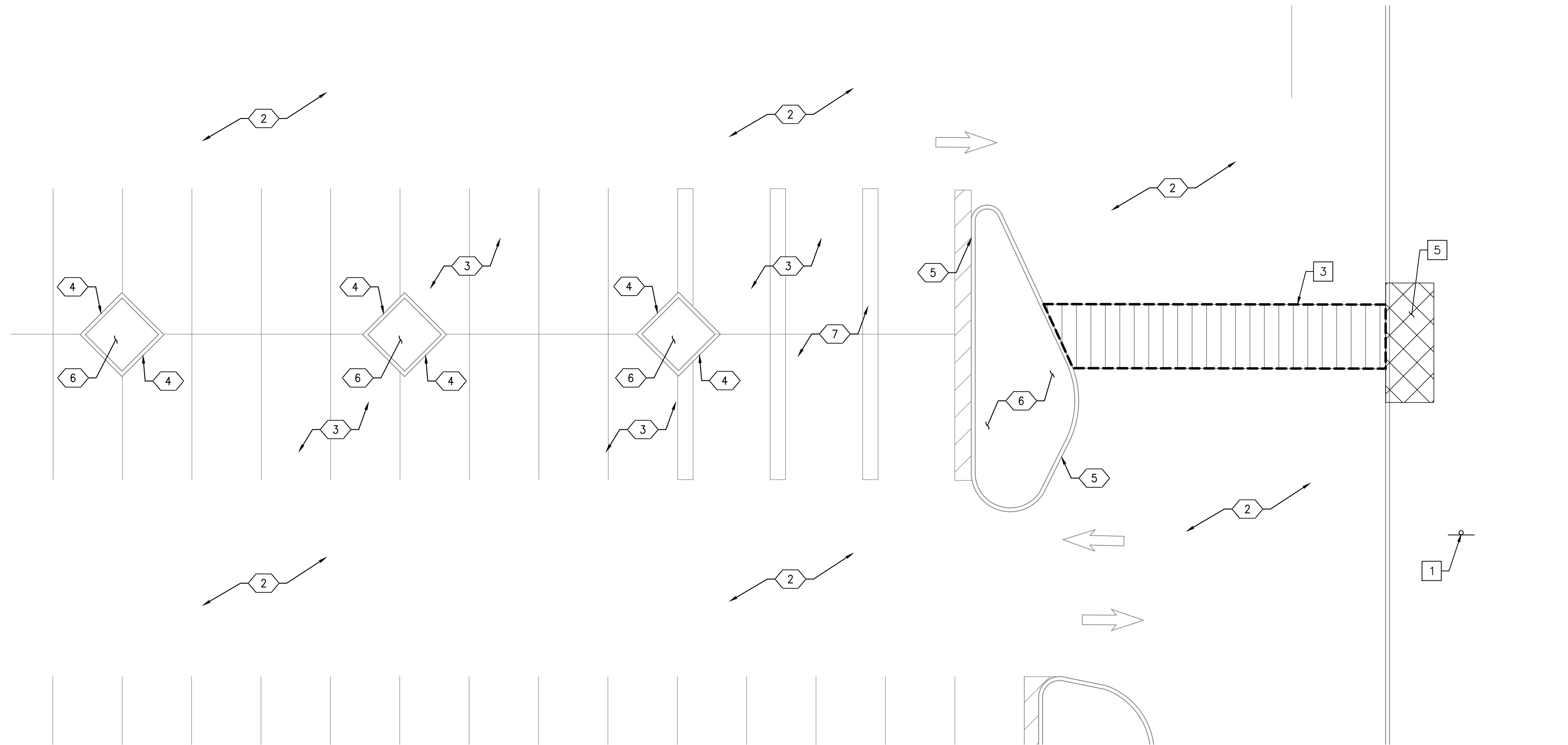
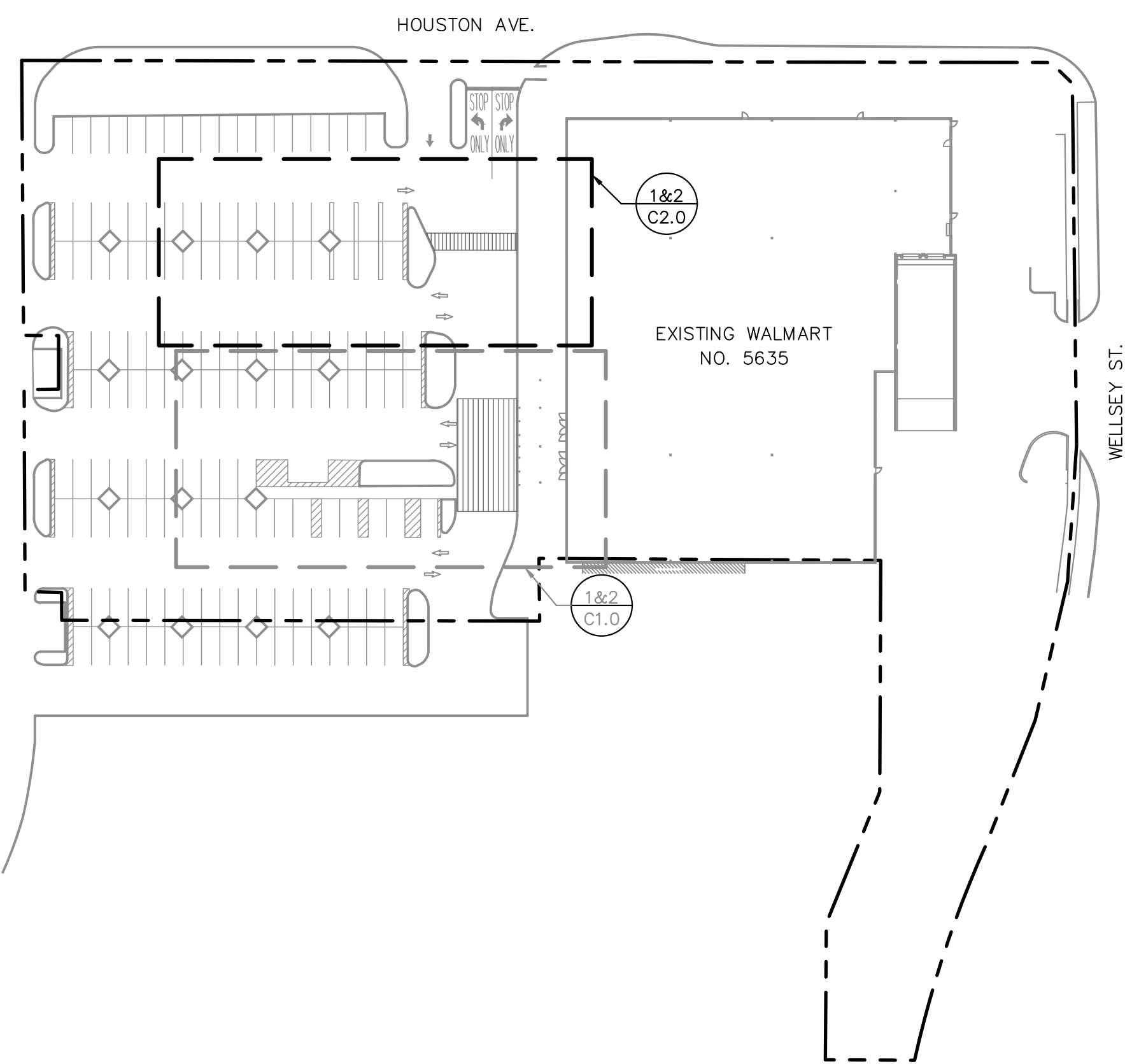


ADA IMPROVEMENTS 1

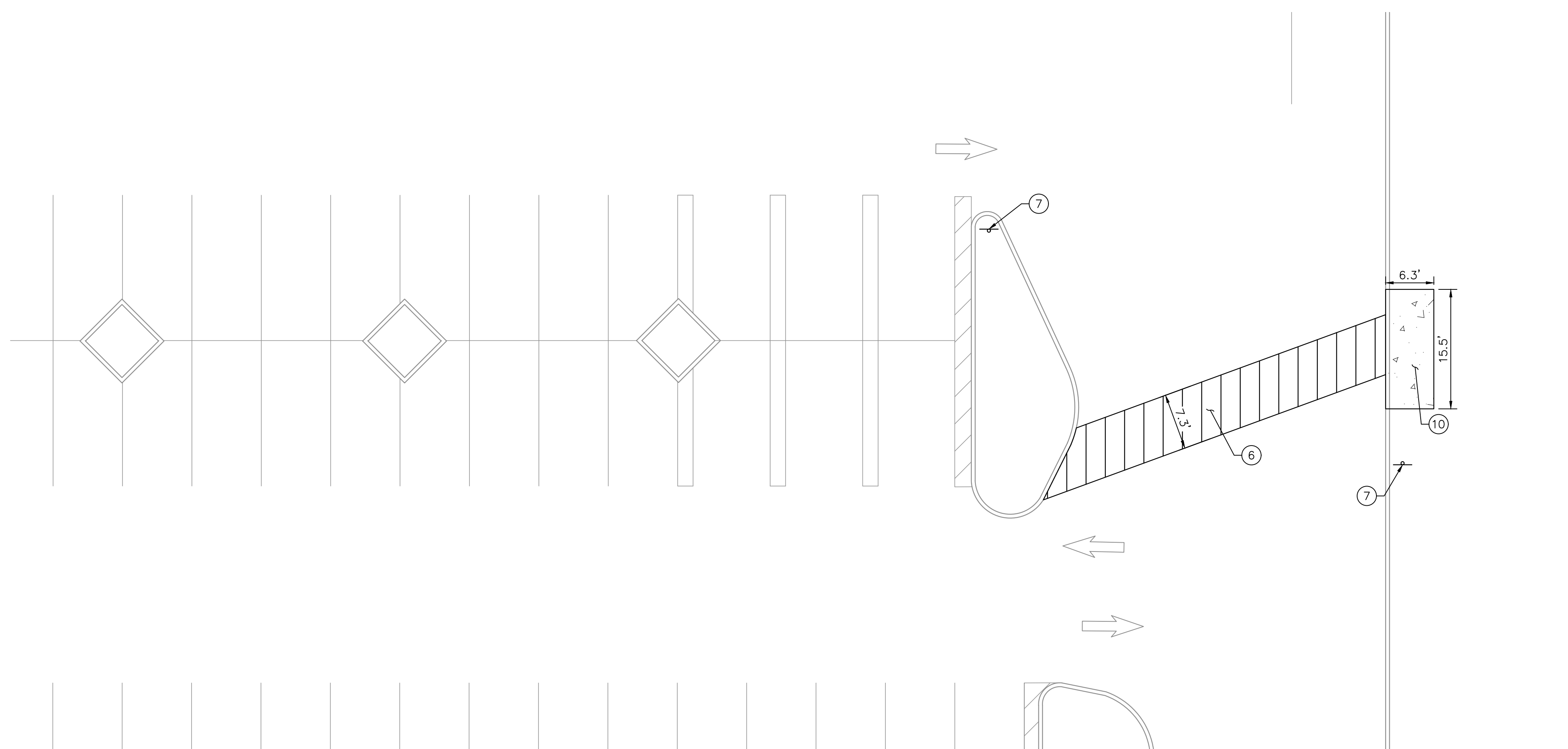
SHEET:  
C1.0

3/16/2022 1:57:53 AM  
C:\Users\kimley\Documents\Projects\09465870\09465870.dwg





**EXISTING CONDITIONS**  
SCALE 1" = 10'

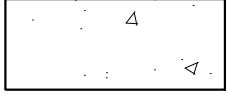
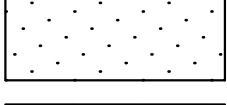

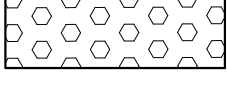
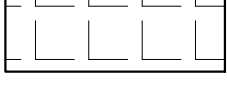



**REPAIR PLAN**  
SCALE 1" = 10'

**PROTECT-IN-PLACE NOTES**

- ① PROTECT-IN-PLACE EXISTING BUILDING.
- ② PROTECT-IN-PLACE EXISTING ASPHALT PAVEMENT.
- ③ PROTECT-IN-PLACE EXISTING STRIPING.
- ④ PROTECT-IN-PLACE EXISTING CONCRETE CURB.
- ⑤ PROTECT-IN-PLACE EXISTING CURB AND GUTTER.
- ⑥ PROTECT-IN-PLACE EXISTING LANDSCAPING.
- ⑦ PROTECT-IN-PLACE EXISTING PICK-UP STALLS.
- ⑧ PROTECT-IN-PLACE EXISTING BOLLARD.

**LEGEND**

-  PROPOSED CONCRETE PAVEMENT
-  PROPOSED 1.0" MILL AND OVERLAY TO PROPOSED GRADE
-  PROPOSED DEMO AREA
-  PROPOSED TRUNCATED DOMES
-  PROPOSED ASPHALT PAVEMENT
-  ERADICATE STRIPING/SEAL COAT AREA

**DEMOLITION NOTES**

- ① REMOVE EXISTING SIGN ON POST INCLUDING FOOTING IF ENCOUNTERED.
- ② DEMO EXISTING SIGN, POST AND BOLLARD INCLUDING FOOTING.
- ③ ERADICATE EXISTING STRIPING AND SEAL COAT AREA.
- ④ DEMO EXISTING ASPHALT AND BASE COURSE.
- ⑤ DEMO EXISTING CONCRETE SIDEWALK AND PROTECT BASE COURSE.

**CONSTRUCTION NOTES**

- ① PROPOSED CAST-IN-PLACE TRUNCATED DOMES IN CONCRETE PER DETAIL 1, SHEET C3.0. WIDTH TO BE 3.0' UNLESS SPECIFIED ON PLANS.
- ② STRIPE ACCESSIBLE PARKING STALLS PER DETAIL 6, SHEET C3.0.
- ③ PROPOSED ACCESSIBLE PARKING SIGN ON POST AND BOLLARD PER DETAIL 4, SHEET C3.0 AND "SIGN MOUNTING AND BASE" ON SHEET C3.0.
- ④ PROPOSED 1.0" MILL AND OVERLAY TO PROPOSED GRADES HEREON.
- ⑤ STRIPE ACCESSIBLE PATH OF TRAVEL PER DETAIL 5, SHEET C3.0.
- ⑥ NEW CROSSWALK MARKINGS. 6" WIDE PAINTED WITH STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS. ENTIRE CROSSWALK SHALL BE RE-STRIPED.
- ⑦ INSTALL "STOP HERE FOR PEDESTRIANS" SIGN ON POST AND BOLLARD PER DETAIL 2, SHEET C3.0 AND "SIGN MOUNTING AND BASE" ON SHEET C8.0.
- ⑧ INSTALL UNAUTHORIZED VEHICLE ACCESS SIGN ON POST PER DETAIL 3, SHEET C3.0 AND "SIGN MOUNTING AND BASE" ON SHEET C8.0.
- ⑨ PROPOSED ASPHALT PAVEMENT PER DETAIL 7, SHEET C3.0.
- ⑩ PROPOSED CONCRETE SIDEWALK PER DETAIL 8, SHEET C3.0.

**STIPULATION FOR REUSE**  
THIS DOCUMENT IS THE PROPERTY OF BRR ARCHITECTURE, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, EITHER WHOLLY OR IN PART, FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN CONSENT OF BRR ARCHITECTURE, INC. ANY REUSE OF THIS DOCUMENT FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN CONSENT OF BRR ARCHITECTURE, INC. SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO BRR ARCHITECTURE, INC.

**CONSULTANTS**  
**Kimley-Horn**  
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
1000 B. TRANSPORT CENTER DRIVE, SUITE 100  
DENVER, CO 80202  
PHONE: 303.752.1000  
WWW.KIMLEY-HORN.COM

**Walmart\***  
**VISALIA, CA**  
1320 N. DEWAREE STREET  
STORE NO. 5635  
JOB NUMBER: 09465870 | PHOTO: 208 SC  
2022 SPRB-R

**ISSUE BLOCK**

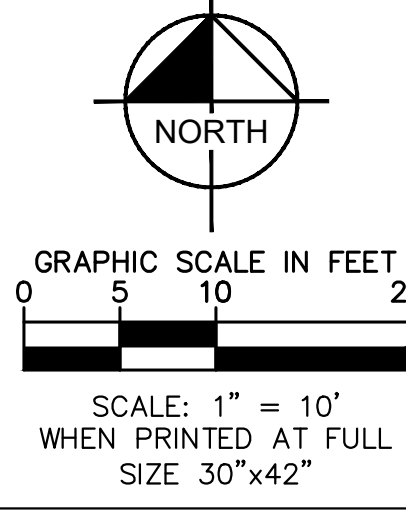
NO.	DESCRIPTION	DATE

CHECKED BY: JG  
DRAWN BY: KJM  
PROTO CYCLE: 04/28/2022  
DOCUMENT DATE: 04/28/2022



ADA IMPROVEMENTS 2

SHEET:  
C2.0



3/10/2022 1:57:03 AM  
C:\Users\jgiles\OneDrive\Documents\Walmart\_Visalia\_C2.0\_BRR\_ARCH\_VISALIA\_C2.0.dwg



**STIPULATION FOR REUSE**  
 THIS DRAWING IS THE PROPERTY OF BRR ARCHITECTURE, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND AT THE LOCATION SPECIFIED HEREON. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, OR BY ANY INFORMATION TRANSMISSION METHOD, WITHOUT THE WRITTEN PERMISSION OF BRR ARCHITECTURE, INC.

**CONSULTANTS**  
**Kimley-Horn**  
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
 1100 E. 17TH AVENUE, SUITE 300  
 DENVER, COLORADO 80202  
 WWW.KIMLEY-HORN.COM

**Walmart\***  
**VISALIA, CA**  
 1320 N DEWAREE STREET  
 STORE NO. 5635  
 094656570 I PROJ: 208 SC

2022 SPRB-R

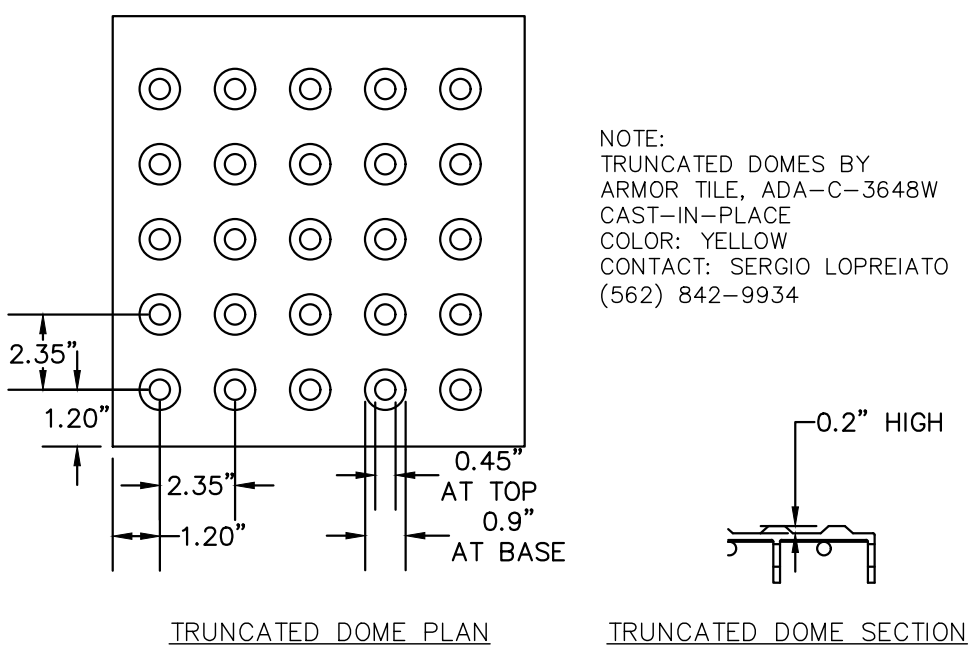
**ISSUE BLOCK**


CHECKED BY: JG  
 DRAWN BY: KMJ  
 PROTO CYCLE: 04/28/2022  
 DOCUMENT DATE: 04/28/2022

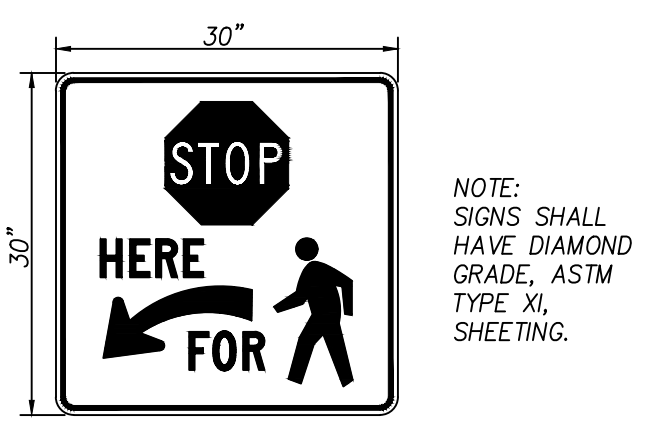


**DETAIL SHEET**

SHEET: **C3.0**

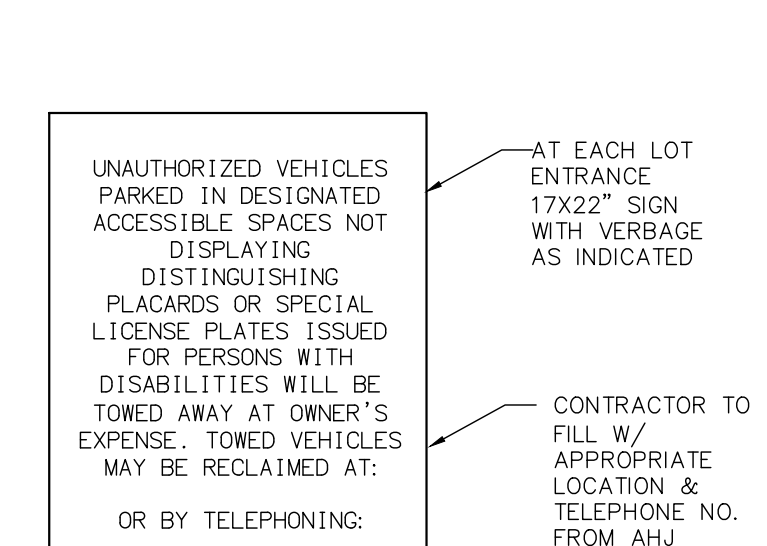


NOTES:  
 1. CONTRACTOR TO REFERENCE MANUFACTURERS GUIDELINES FOR INSTALLATION OF TRUNCATED DOMES.  
 2. THIS DETAIL TO BE USED WHERE LIMITED TO 3' DEEP TRUNCATED DOMES SHALL BE CAST IN WET CEMENT UNLESS OTHERWISE DIRECTED BY CONSTRUCTION MANAGER.

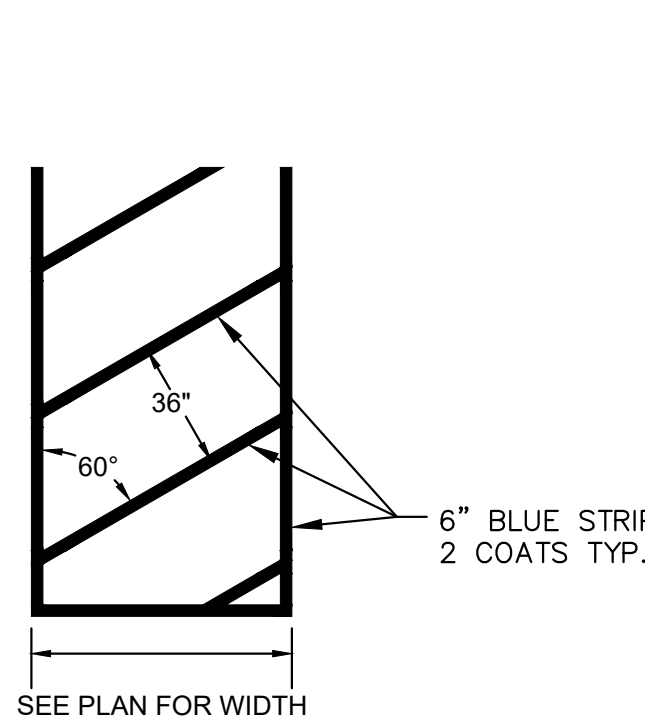


LEGEND: BORDER - BLACK  
 BACKGROUND - WHITE (RETROREFLECTIVE)  
 STOP SYMBOL - RED (RETROREFLECTIVE)  
 R1-5b

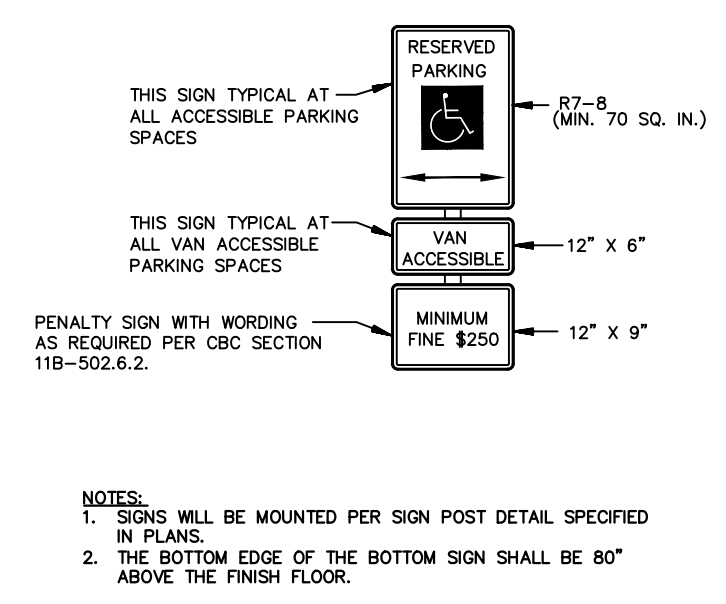
**"STOP FOR PEDESTRIAN CROSSING" SIGN**  
 SCALE: N.T.S.



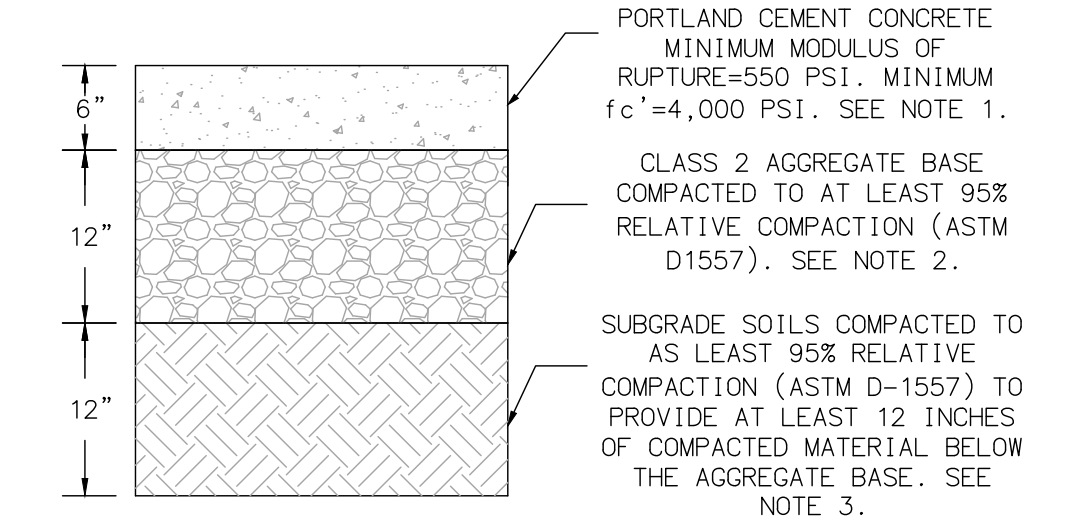
**UNAUTHORIZED VEHICLE PARKING SIGN**  
 SCALE: N.T.S.



**ADA PATH-OF-TRAVEL STRIPING**  
 SCALE: N.T.S.

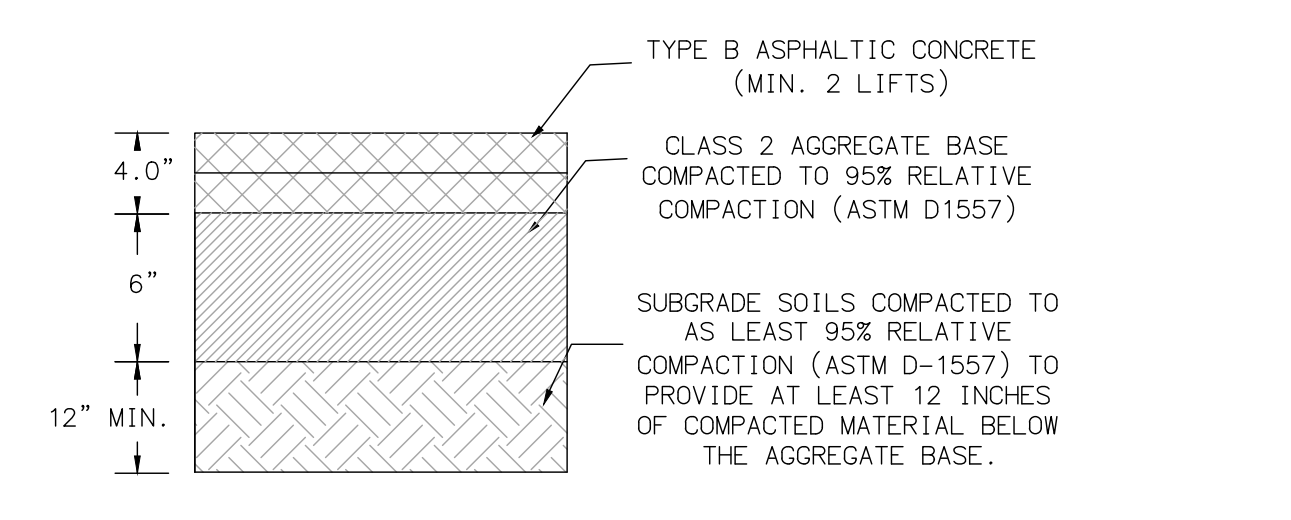


**ACCESSIBLE PARKING SIGN**  
 SCALE: N.T.S.



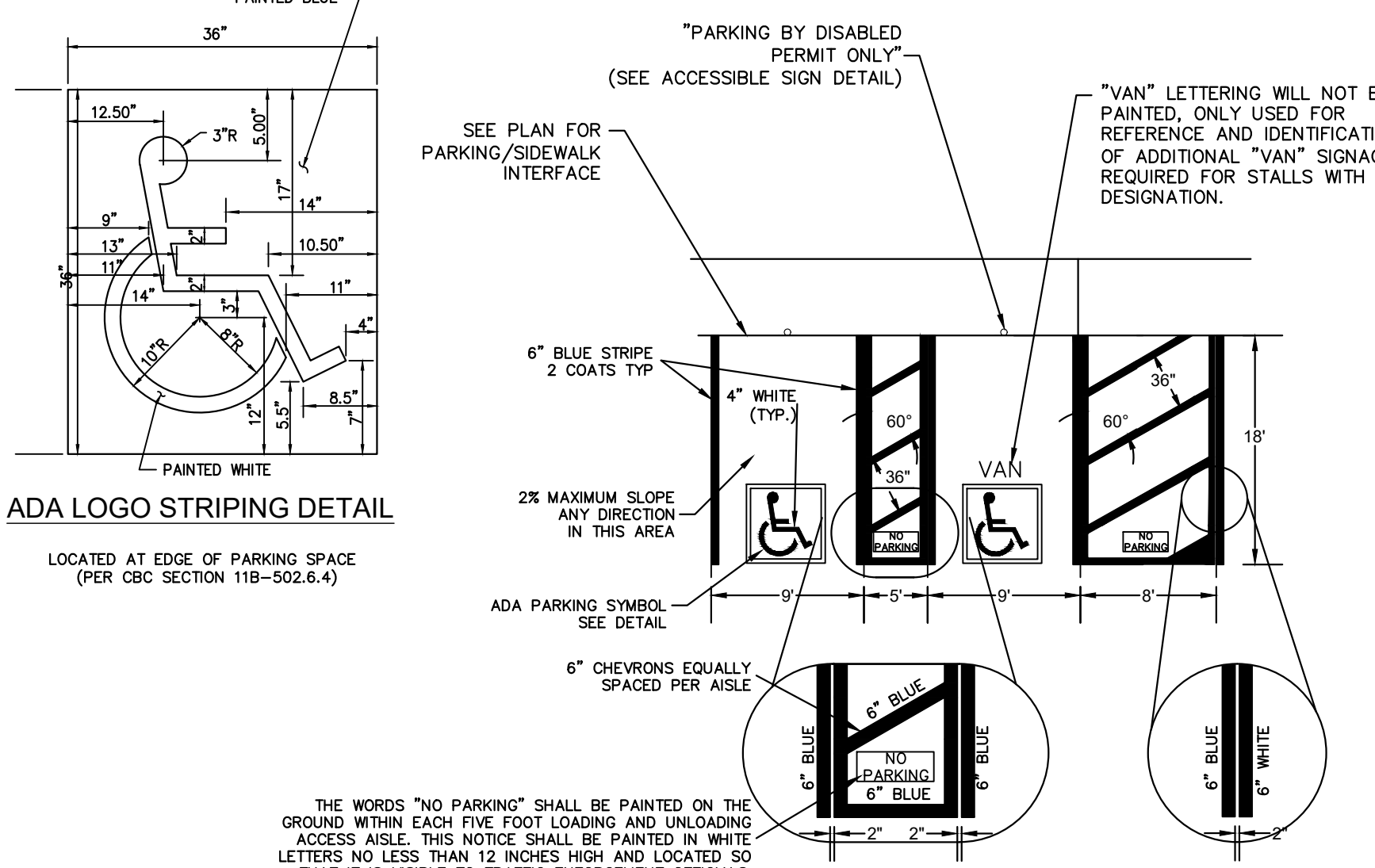
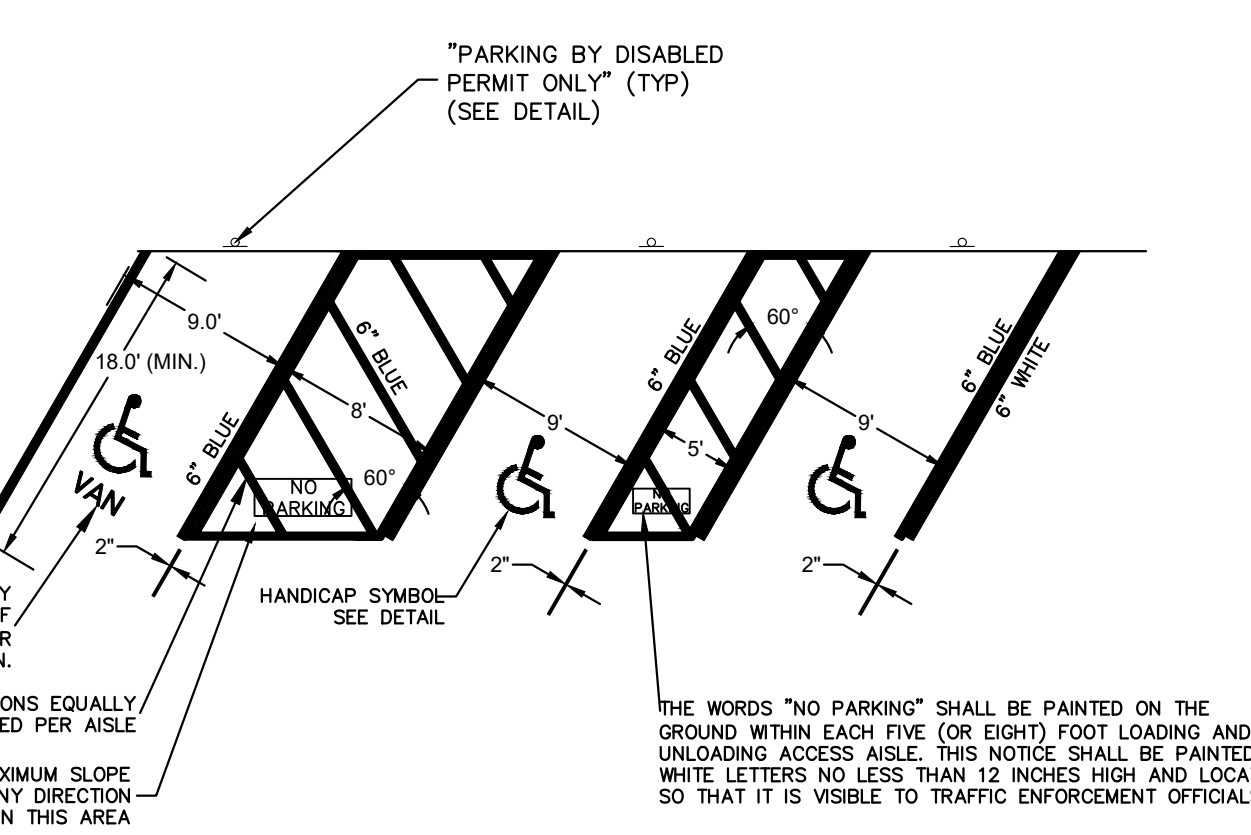
NOTES:  
 1. PCC DESIGNER TO SPECIFY COMPRESSION STRENGTH REQUIREMENTS, CONCRETE MIX SPECIFICATIONS, AND DETAILS FOR CONSTRUCTION JOINTS, CONTRACTION JOINTS, JOINT FILLER, CONCRETE CURING, ETC.  
 2. IN ACCORDANCE WITH SECTION 26 OF THE CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.  
 3. PREPARE SUBGRADE BY OVER-EXCAVATION TO THE MINIMUM DEPTH OF 12 INCHES BELOW THE BOTTOM OF THE AGGREGATE BASE. TO A MINIMUM OF 12 INCHES BELOW PRECONSTRUCTION SITE GRADE, AND TO AT LEAST 12 INCHES BELOW IMPROVEMENTS TO BE REMOVED, WHICHEVER IS GREATER. FOLLOWING OVER-EXCAVATION, THE EXPOSED SOILS AT THE BOTTOM SHOULD BE SCARIFIED TO A MINIMUM OF 8 INCHES, MOISTURE CONDITIONED TO WITHIN OPTIMUM TO THREE (3) PERCENT ABOVE OPTIMUM MOISTURE CONTENT AND COMPACTED AS ENGINEERED FILL.  
 4. THE R-VALUE LISTED IN THE GEOTECHNICAL REPORT IS BASE ON IN-SITU SOILS. CONTRACTOR TO VERIFY ACTUAL R-VALUE AND NOTIFY THE CEC IF LOWER VALUE IS OBTAINED.

**CONCRETE SIDEWALK**  
 SCALE: N.T.S.



NOTES:  
 1. IN ACCORDANCE WITH SECTION 26 OF THE CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.  
 2. PREPARE SUBGRADE BY OVER-EXCAVATION TO THE MINIMUM DEPTH OF 12 INCHES BELOW THE BOTTOM OF THE AGGREGATE BASE OR TO A MINIMUM OF 12 INCHES BELOW PRECONSTRUCTION SITE GRADE OR TO AT LEAST 12 INCHES BELOW IMPROVEMENTS TO BE REMOVED, WHICHEVER IS GREATER. FOLLOWING OVER-EXCAVATION, THE EXPOSED SOILS AT THE BOTTOM SHOULD BE SCARIFIED TO A MINIMUM OF 8 INCHES, MOISTURE CONDITIONED TO BE THREE (3) PERCENT ABOVE OPTIMUM MOISTURE CONTENT AND COMPACTED AS ENGINEERED FILL.  
 3. FOLLOWING STRIPING, PREPARE SUBGRADE BY OVER-EXCAVATION TO A MINIMUM DEPTH OF 12 INCHES BELOW THE BOTTOM OF THE AGGREGATE BASE, TO MINIMUM OF 24 INCHES BELOW PRECONSTRUCTION SITE GRADE, TO THE DEPTH TO REMOVE ALL FILL SOILS, AND TO AT LEAST 12 INCHES BELOW IMPROVEMENTS TO BE REMOVED, WHICHEVER IS GREATER. FOLLOWING OVER-EXCAVATION, THE EXPOSED SOILS AT THE BOTTOM SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 8 INCHES, MOISTURE CONDITIONED TO WITHIN OPTIMUM TO THREE (3) PERCENT ABOVE OPTIMUM MOISTURE CONTENT AND COMPACTED AS ENGINEERED FILL. THE ZONE OVER OF OVER-EXCAVATION SHALL EXTEND 5 FEET BEYOND THE PERIMETER OF THE PAVEMENTS.

**ASPHALT PAVEMENT**  
 SCALE: N.T.S.



**ACCESSIBLE PARKING-STRIPING DETAIL**  
 SCALE: N.T.S.

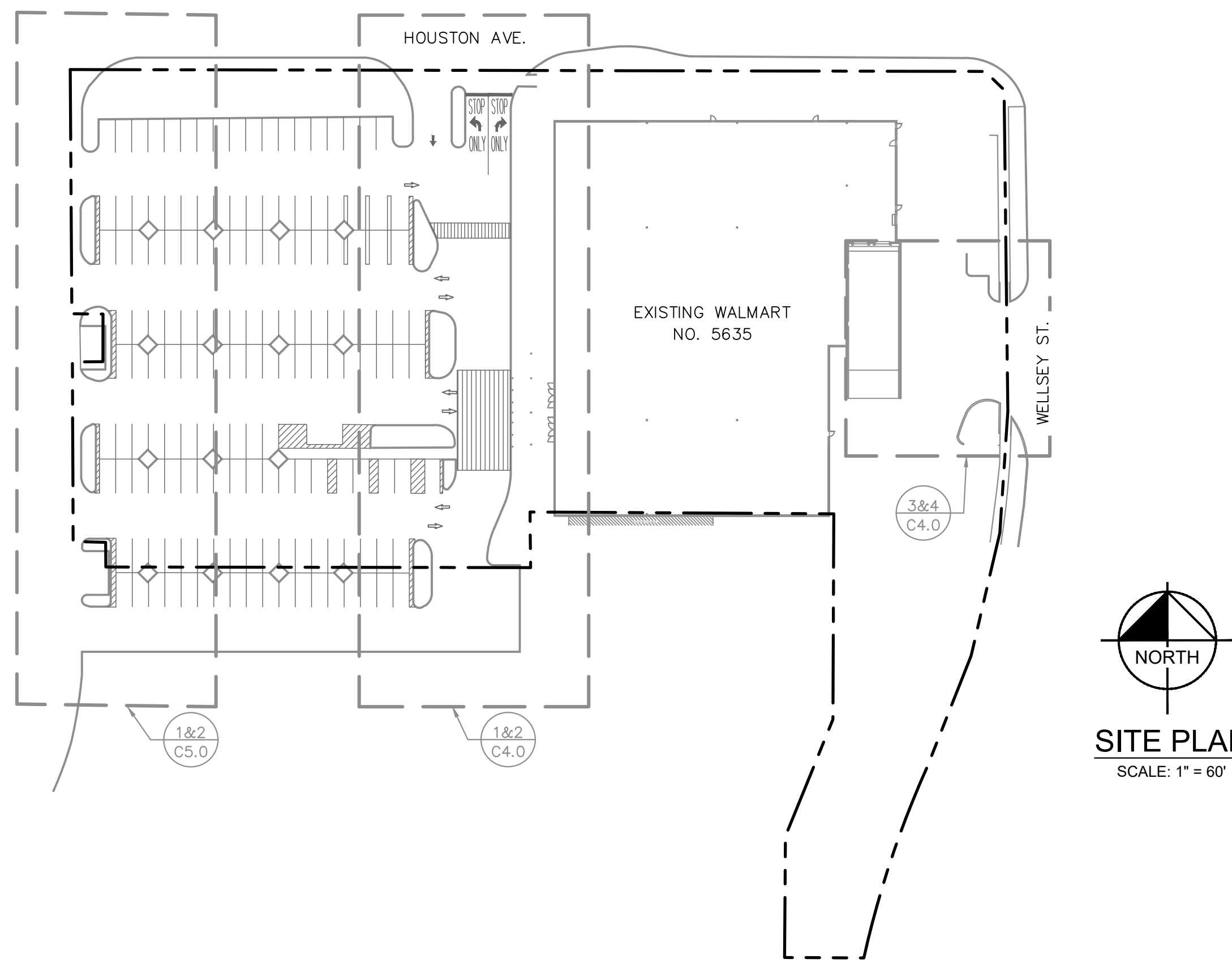
**ADA PAVEMENT, STRIPING AND SIGNAGE NOTES (APPLICABLE TO ENTIRE CIVIL SET):**

1. IN AREAS NOT BEING RE-SURFACED BUT REQUIRING RE-STRIPING, CONTRACTOR SHALL ERADICATE EXISTING STRIPING AND PROVIDE A SEAL COAT OVER THE AREA PRIOR TO RE-STRIPING.
2. CONTRACTOR TO USE APPROPRIATE PAINT COLORS PER DETAILS SHEET. ADA BARRIER FREE AREAS TO COMPLY WITH ALL LOCAL AND FEDERAL ADA STANDARDS.
3. CONTRACTOR SHALL REMOVE ALL EXISTING SIGN POSTS AND PATCH PAVEMENT WHERE REVISED SIGN POST LOCATIONS ARE REQUIRED.
4. ACCESSIBLE ROUTE TO ACCESSIBLE SPACES, BUILDING ENTRANCES, AND PUBLIC STREETS SHALL NOT EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE.
5. UNLESS OTHERWISE SHOWN ON THE PLANS, THE MINIMUM CLEAR ROUTE SHALL BE 48" WIDE WITH A 60" X 60" PASSING SPACE EVERY 200 FEET.
6. ACCESSIBLE ROUTES THROUGH PLANTERS SHALL BE LEVEL WITH THE SURROUNDING PAVEMENT OR PROVIDE CURB RAMPS AT EACH END WITH A MINIMUM 48" LEVEL LANDING IN BETWEEN.
7. THE ACCESSIBLE ROUTE IN FRONT OF PARKING SHALL BE A MINIMUM OF 48" WIDE AND NOT REDUCED BY VEHICLE OVERHANGS, CURBING, SIGN POSTS, OR OTHER OBSTRUCTIONS. ANY WALK THAT CROSSES OR ADJAINS A VEHICULAR WAY NOT SEPARATED BY CURBS, RAILINGS, OR OTHER ELEMENTS SHALL BE DEFINED BY A CONTINUOUS 36" WIDE DETECTABLE WARNING.
8. SPECIAL RAMP RULES APPLY FOR ANY RISE GREATER THAN 6" INCLUDING BUT NOT LIMITED TO RESTRICTION ON SLOPE, TOTAL RISE BETWEEN LANDINGS, AND USE OF HANDRAILS.
9. TRANSITION CHANGE IN ELEVATION IS NOT TO EXCEED 1/4" WITHIN AN ACCESSIBLE ROUTE.
10. JOINT WIDTHS ARE NOT TO EXCEED 1/2" OF WIDTH.
11. CURB RAMPS MUST HAVE A DIFFERENT FINISH FROM THE ADJACENT PAVEMENT.
12. EXISTING CURB IS ASSUMED TO BE 6", UNLESS NOTED OTHERWISE. CONTRACTOR IS TO VERIFY IN FIELD.
13. REPAIR ALL AREAS AFFECTED BY CONSTRUCTION INCLUDING, BUT NOT LIMITED TO LANDSCAPING AND PAVEMENT.
14. 2% SLOPE IN ALL DIRECTIONS WITHIN ADA PARKING STALLS. AFTER PROPOSED GRADE BREAK, ALLOWABLE SLOPE TO MATCH EXISTING IS 5.0%.
15. ALL AREAS WHERE STRIPING IS TO BE ERADICATED, CONTRACTOR IS TO ERADICATE AND SEAL COAT AREA.

**GENERAL PROJECT NOTES (APPLICABLE TO ENTIRE CIVIL SET):**

1. CONTRACTOR TO COMPLETE WORK IN A MANNER TO MINIMIZE DISRUPTION TO CUSTOMER PARKING AND ACCESS.
2. CONTRACTOR TO FULLY INFORM THE STORE MANAGER PRIOR TO COMMENCING WORK. CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE CONSTRUCTION STATUS UPDATES AND SUBMIT CLOSURE SCHEDULES TO STORE MANAGER.
3. CONTRACTOR TO PROVIDE BARRICADES AND PROPER TRAFFIC CONTROL AT ALL TIMES DURING CONSTRUCTION TO ENSURE THE SAFETY OF ALL INDIVIDUALS PRESENT ON SITE.
4. CONTRACTOR TO OFFER ANY COST-SAVING IDEAS FOR THE PROPOSED SCOPE OF WORK ON THE BID FORM FOR CONSIDERATION OF WALMART AND THE DESIGN ENGINEER.
5. CONTRACTOR TO ABIDE BY CITY MUNICIPAL CODE FOR PHASING CLOSURE OF ADA PARKING SPACES.
6. CONTRACTOR SHALL PROVIDE MAINTENANCE OF PEDESTRIAN TRAFFIC.
7. CONTRACTOR SHALL RESTRIPE FIRE LANE CURBS THAT HAVE BEEN DISTURBED DURING THIS PROJECT.
8. CONTRACTOR TO PROTECT ALL DRAINAGE INLETS DOWNSTREAM OF CONSTRUCTION WITH FILTER SACKS. CONTRACTOR TO ALSO FOLLOW ALL APPLICABLE BMPs FOR SMALL SITE CONSTRUCTION AS REQUIRED IN THE MOST CURRENT VERSION OF CBC.
9. CONTRACTOR TO REMOVE TEMPORARY DRAINAGE INLETS AFTER CONSTRUCTION. CONTRACTOR TO PATCH HOLE WHEN REMOVING SIGN POST FROM ALL AREAS BESIDES LANDSCAPING.
10. WHEN CONCRETE REMOVAL OCCURS WITHIN THE FRONT HARDSCAPE (CONCRETE ADJACENT TO THE BUILDING) AND IF THE JOINT CONDITION IS WITHIN 5 FEET OF THE DEMO LIMITS SHOW WITHIN THIS PLAN SET, GC SHALL REMOVE CONCRETE TO THE NEAREST CRACK CONTROL JOINT. IF CONTROL JOINT IS BEYOND 5 FEET GC SHALL SAWCUT PANEL AND REMOVE PER PLAN.



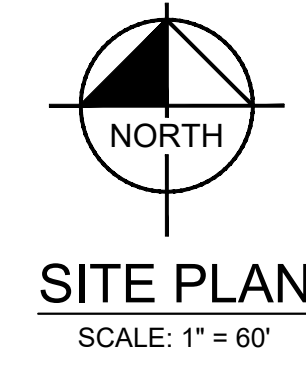


**DEMOLITION NOTES**

- 1 REMOVE EXISTING ARROW PAVEMENT MARKING.
- 2 REMOVE EXISTING STOP PAVEMENT MARKING.
- 3 REMOVE EXISTING SIGN ON POST.
- 4 REMOVE EXISTING CROSSWALK STRIPING.
- 5 REMOVE EXISTING SIGN ON POST AND BOLLARD.

**CONSTRUCTION NOTES**

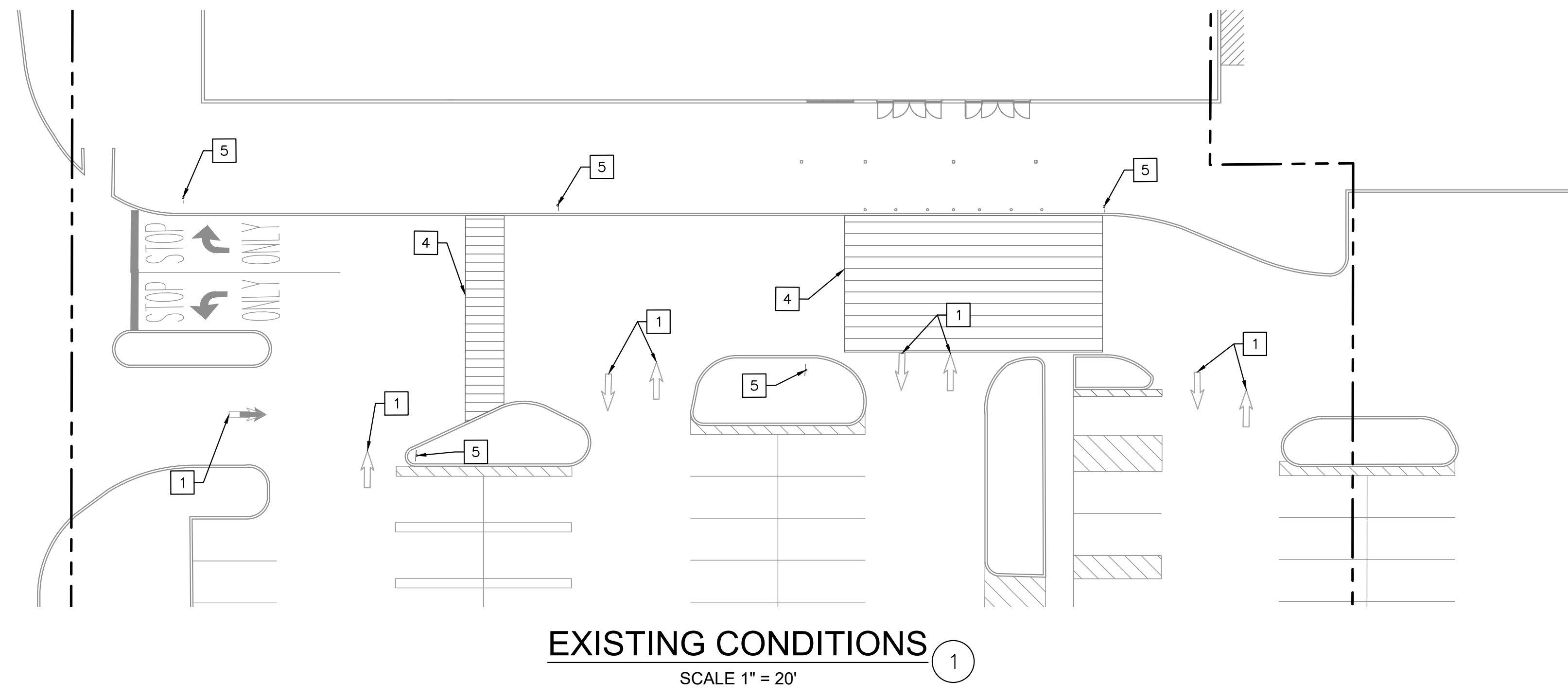
- 1 INSTALL STOP PAVEMENT MARKING TO MATCH CURRENT DETAIL ON SHEET C7.0.
- 2 INSTALL 36"x36" STOP SIGN ON POST PER DETAILS ON SHEET C6.0.
- 3 INSTALL OPEN ARROW PAVEMENT MARKING TO MATCH CURRENT DETAIL ON SHEET C6.0.
- 4 NEW CROSSWALK MARKINGS. REFER TO ADA IMPROVEMENTS SHEETS.
- 5 NEW "STOP HERE FOR PEDESTRIANS" SIGN ON POST PER DETAIL 3 ON SHEET C6.0.
- 6 INSTALL CROSSWALK. REFER TO ADA IMPROVEMENT SHEETS.
- 7 NEW 4" WIDE PAINTED YELLOW STRIPES. 6' LONG WITH 18' GAPS.
- 8 PROPOSED ACCESSIBLE PATH--OF--TRAVEL PER DETAIL 6, SHEET C6.0.
- 9 RESTRIPE AREA.



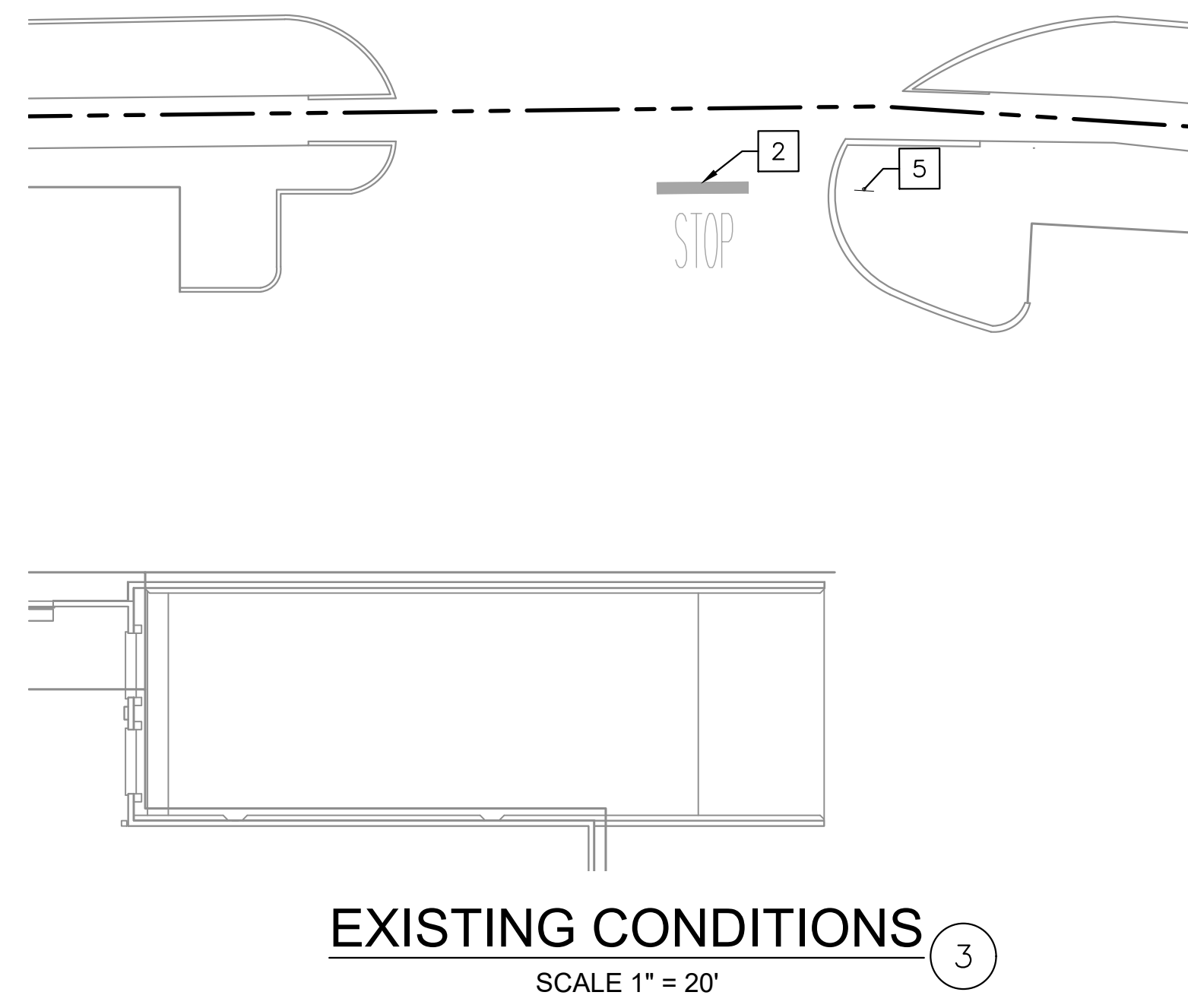
**SITE PLAN**  
SCALE: 1" = 60'

**NOTES TO CONTRACTOR:**

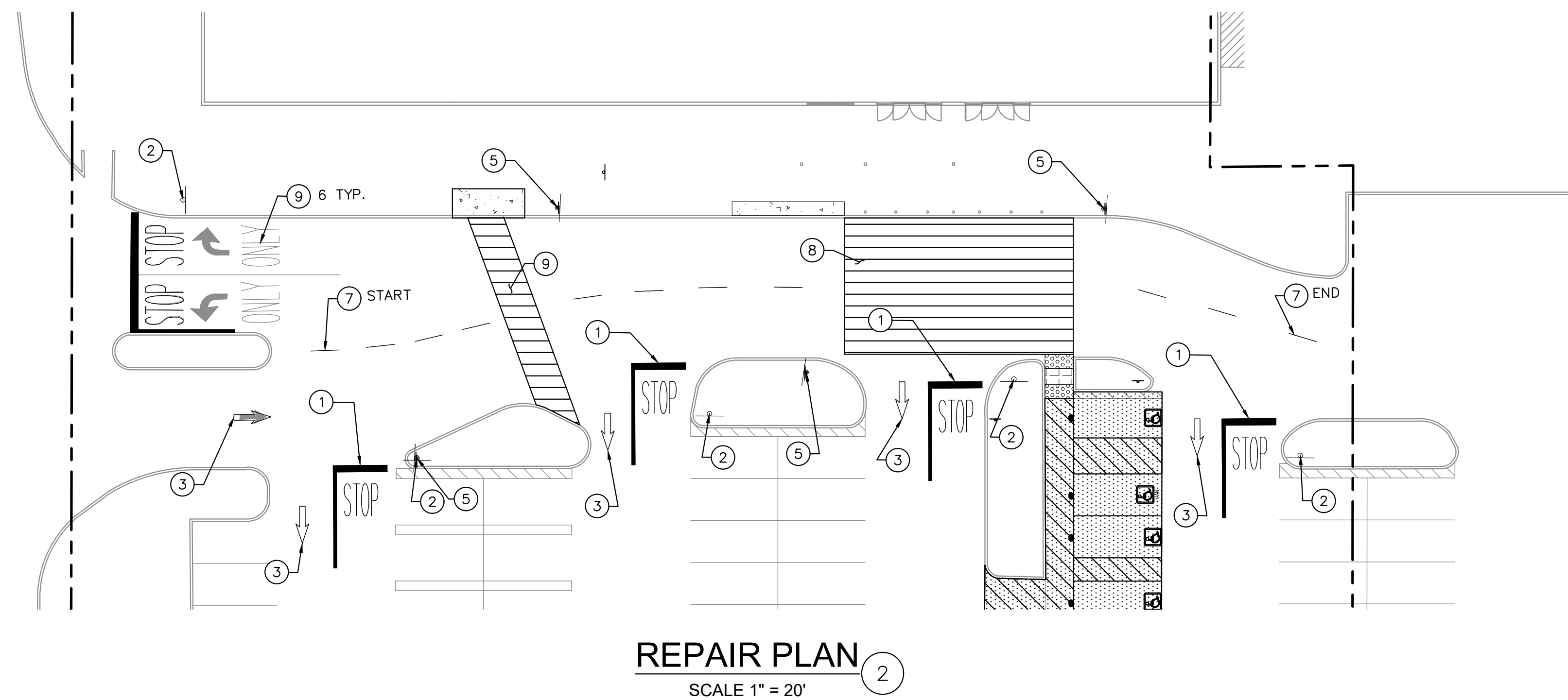
1. REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
2. PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
3. ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
4. ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.



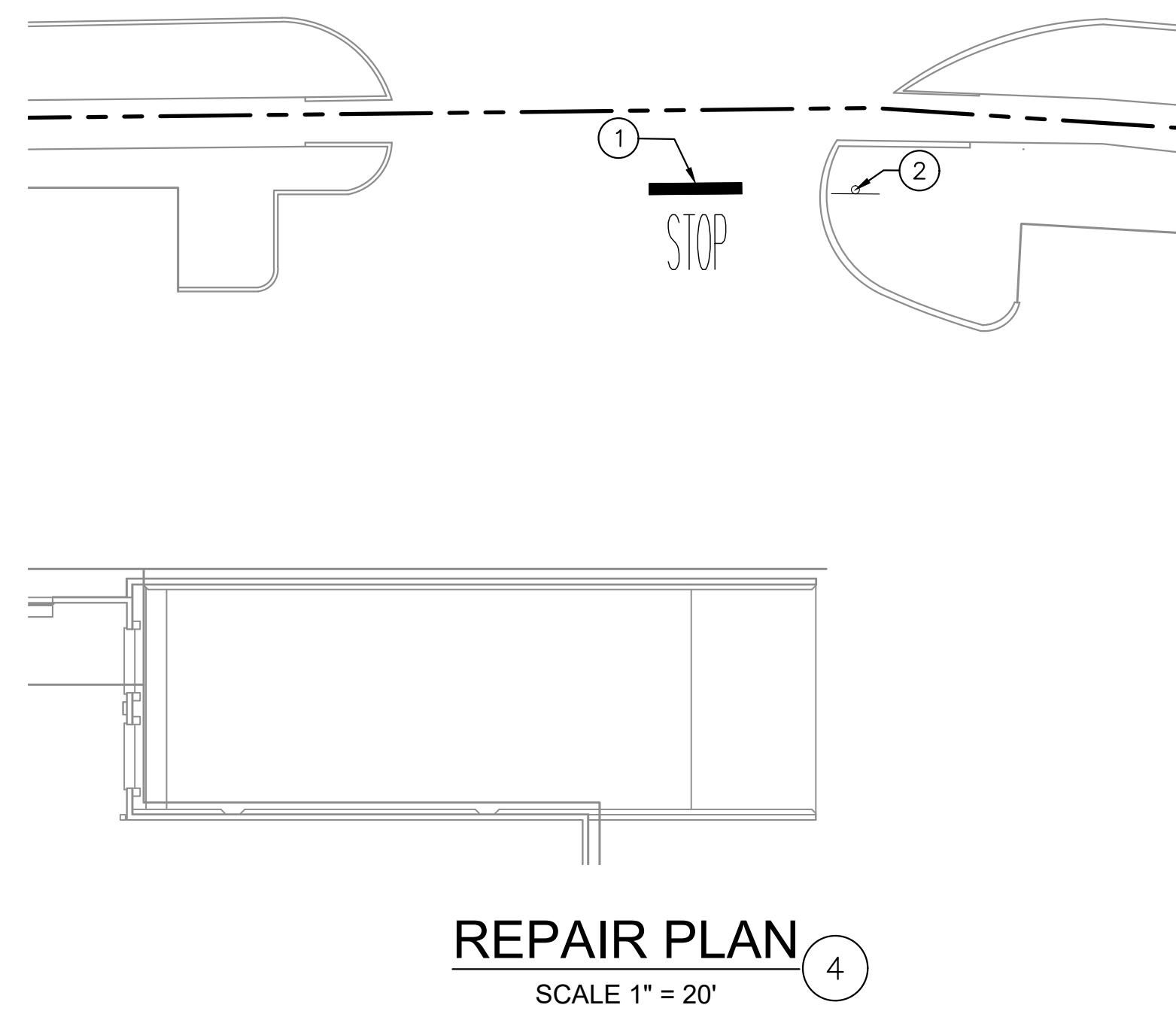
**EXISTING CONDITIONS** 1  
SCALE 1" = 20'



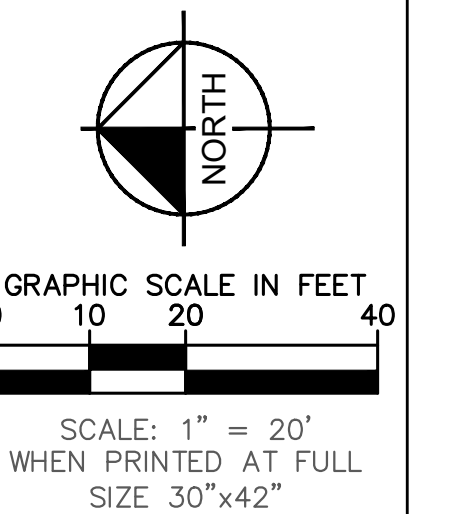
**EXISTING CONDITIONS** 3  
SCALE 1" = 20'



**REPAIR PLAN** 2  
SCALE 1" = 20'



**REPAIR PLAN** 4  
SCALE 1" = 20'



ARCHITECT OF RECORD:  
BRR ARCHITECTURE, INC.  
815 METCAL AVENUE  
OVERLAND PARK, KS 66204  
www.brrarch.com  
TEL: 913-262-9095  
FAX: 913-262-9044

STIPULATION FOR REUSE:  
THIS DRAWING IS THE PROPERTY  
OF BRR ARCHITECTURE, INC. AND IS NOT  
TO BE REPRODUCED, COPIED, OR  
FOR ANY PURPOSE, WITHOUT THE WRITTEN  
CONSENT OF BRR ARCHITECTURE, INC.  
IT IS THE USER'S RESPONSIBILITY TO  
VERIFY THE ACCURACY OF THE  
INFORMATION SHOWN ON THIS DRAWING.  
BRR ARCHITECTURE, INC. SHALL NOT BE  
RESPONSIBLE FOR ANY PROJECT FAILURE  
DUE TO MISUSE OF THIS DRAWING.

CONSULTANTS  
**Kimley-Horn**  
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
100 S. FAY AVENUE, SUITE 300  
DENVER, CO 80202  
PH: 303.733.1300  
WWW.KIMLEY-HORN.COM

**Walmart\***  
VISALIA, CA  
1320 N DENAREE STREET  
STORE NO. 5635  
JOB NUMBER: 09465670 | PHOTO: 208 SC  
2022 SPRB-R

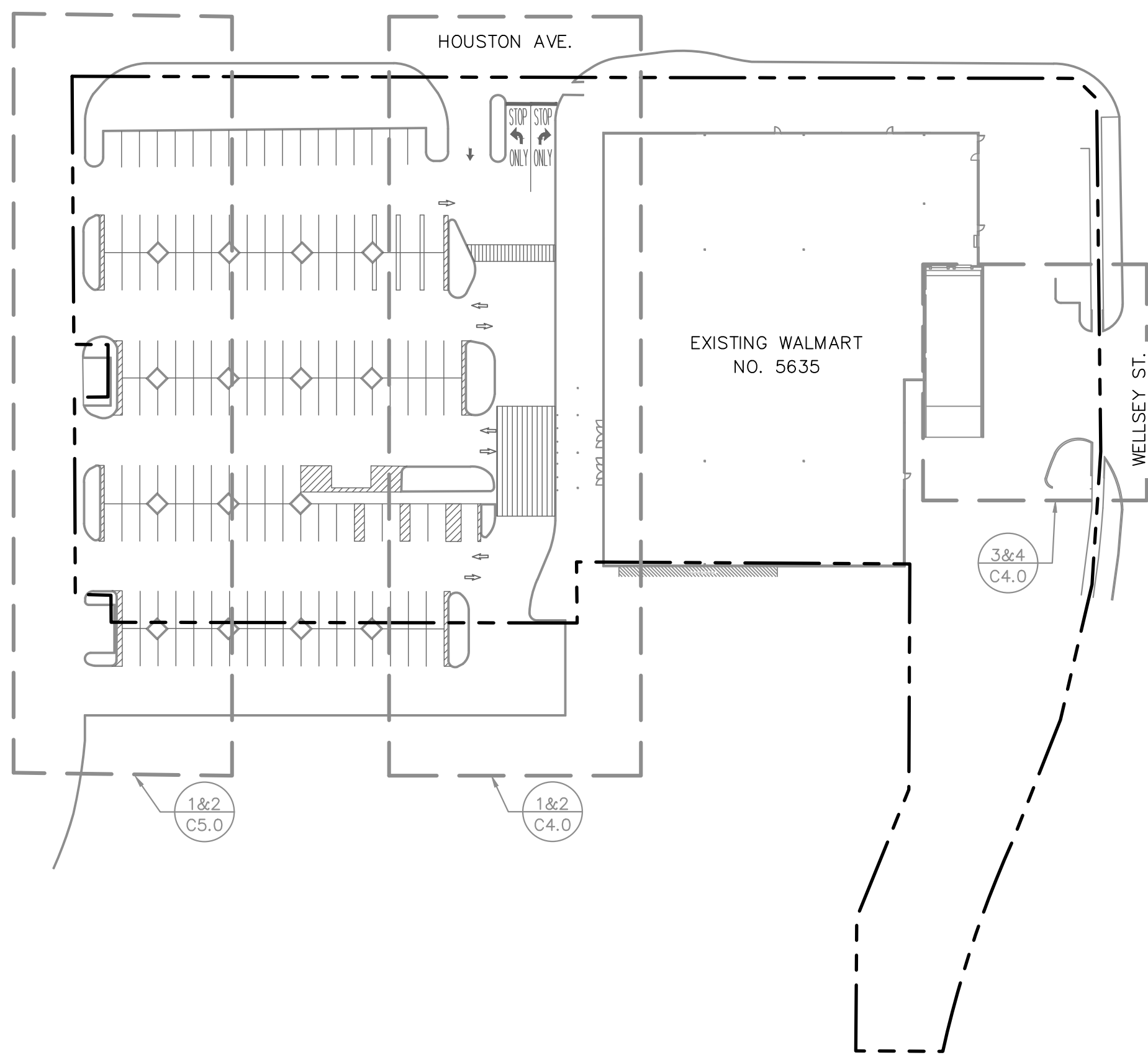
ISSUE BLOCK	

CHECKED BY: JG  
DRAWN BY: EAO  
PROTO CYCLE: 04/28/2022  
DOCUMENT DATE: 04/28/2022



STRIPING PLAN 1  
SHEET:  
C4.0





**SITE PLAN**  
SCALE: 1" = 60'

**DEMOLITION NOTES**

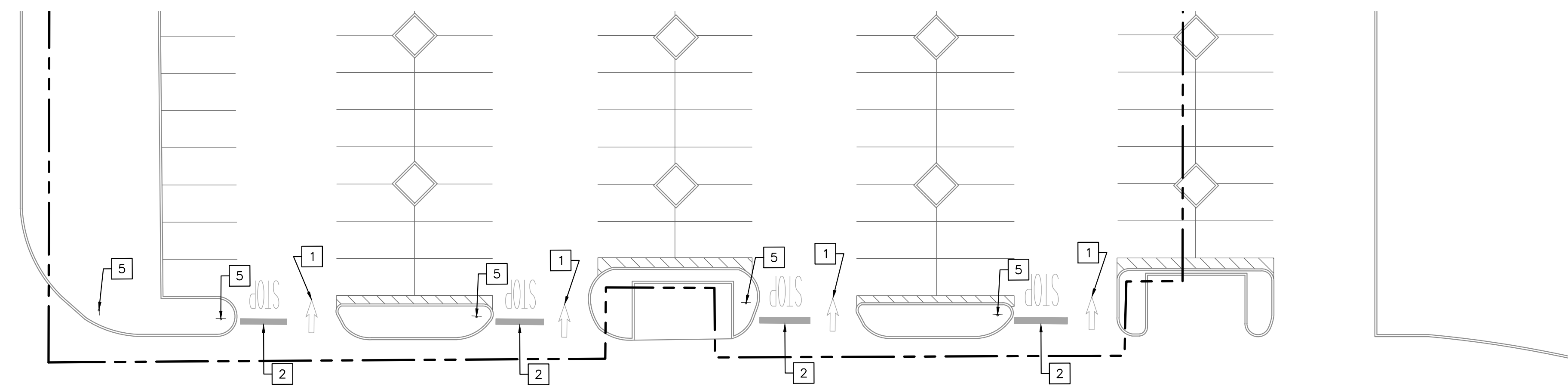
- 1 REMOVE EXISTING ARROW PAVEMENT MARKING.
- 2 REMOVE EXISTING STOP PAVEMENT MARKING.
- 3 REMOVE EXISTING SIGN ON POST.
- 4 REMOVE EXISTING CROSSWALK STRIPING.
- 5 REMOVE EXISTING SIGN ON POST AND BOLLARD.

**CONSTRUCTION NOTES**

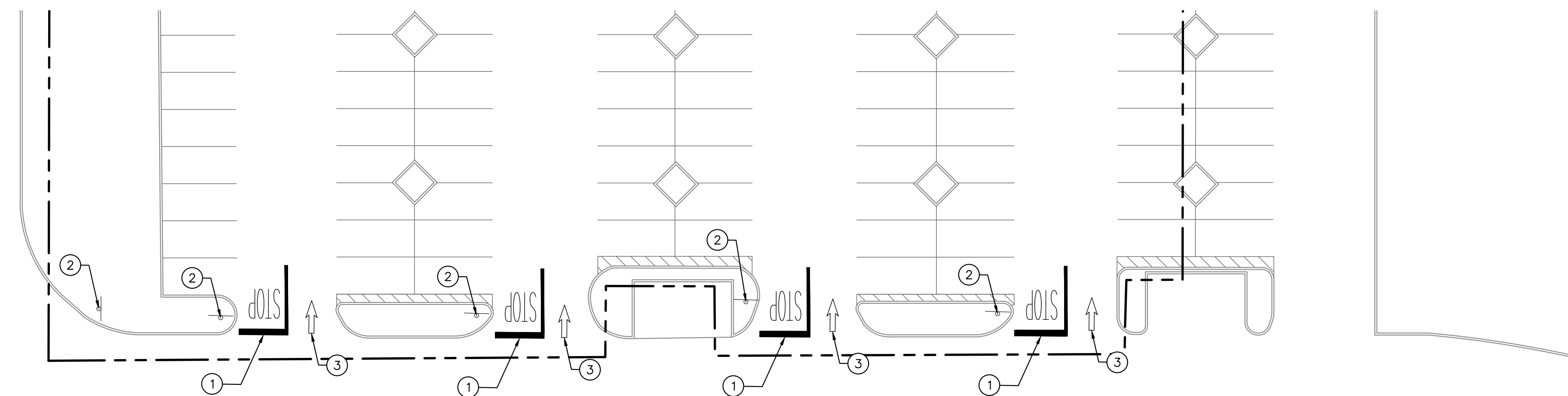
- 1 INSTALL STOP PAVEMENT MARKING TO MATCH CURRENT DETAIL ON SHEET C7.0.
- 2 INSTALL 36"x36" STOP SIGN ON POST PER DETAILS ON SHEET C6.0.
- 3 INSTALL OPEN ARROW PAVEMENT MARKING TO MATCH CURRENT DETAIL ON SHEET C6.0.
- 4 NEW CROSSWALK MARKINGS. REFER TO ADA IMPROVEMENTS SHEETS.
- 5 NEW "STOP HERE FOR PEDESTRIANS" SIGN ON POST PER DETAIL 3 ON SHEET C6.0.
- 6 INSTALL CROSSWALK. REFER TO ADA IMPROVEMENT SHEETS.
- 7 NEW 4" WIDE PAINTED YELLOW STRIPES. 6' LONG WITH 18" GAPS.
- 8 PROPOSED ACCESSIBLE PATH--OF--TRAVEL PER DETAIL 6, SHEET C6.0.

**NOTES TO CONTRACTOR:**

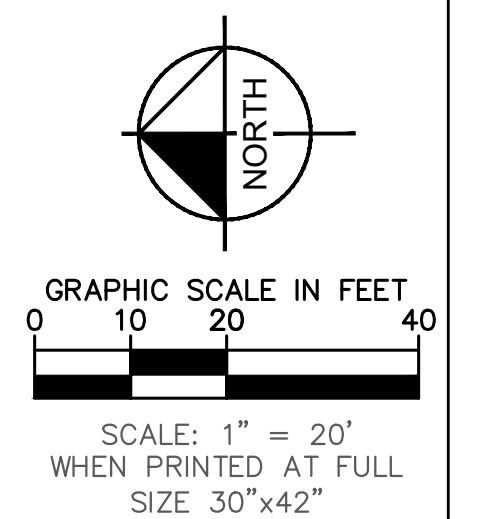
- 1. REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
- 2. PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
- 3. ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
- 4. ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.



**EXISTING CONDITIONS** 1  
SCALE 1" = 20'



**REPAIR PLAN** 2  
SCALE 1" = 20'



**brr**

ARCHITECT OF RECORD:  
BRR ARCHITECTURE, INC.  
813 METCAL AVENUE  
OVERLAND PARK, KS 66204  
www.brrarch.com  
TEL: 913-262-9095  
FAX: 913-262-9044

**STIPULATION FOR REUSE:**  
THIS DRAWING IS THE PROPERTY OF BRR ARCHITECTURE, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF BRR ARCHITECTURE, INC. IS STRICTLY PROHIBITED. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. BRR ARCHITECTURE, INC. DOES NOT WARRANT THE ACCURACY OF THIS DRAWING OR THE RESULTS OF ANY PROJECT PERFORMED HEREON. BRR ARCHITECTURE, INC. SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

**CONSULTANTS**  
**Kimley-Horn**

© 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
100 S. TRANQUIL CANYON ROAD, SUITE 200  
PUEBLO, CO 81001  
WWW.KIMLEY-HORN.COM

**Walmart\***

**VISALIA, CA**  
1320 N. DEMAREE STREET  
STORE NO. 5635

09465870 | PHOTO: 208 SC

2022 SPRB-R

**ISSUE BLOCK**

NO.	DESCRIPTION	DATE

CHECKED BY: JG  
DRAWN BY: EAO  
PROTO CYCLE: 04/28/2022  
DOCUMENT DATE: 04/28/2022



**STRIPING PLAN 2**

SHEET:  
**C5.0**

3/10/2024 1:07:55 AM  
C:\Users\Engineering\OneDrive\Desktop\C5\_00\_BRR\_ARCH\_VISALIA\_VISALIA\_PROJECT.dwg









ARCHITECT OF RECORD:  
**BRR ARCHITECTURE, INC.**  
 815 METCAL AVENUE  
 OVERLAND PARK, KS 66224  
 www.brrarch.com  
 TEL: 913-262-9095  
 FAX: 913-262-9046

**STIPULATION FOR REUSE**  
 THIS STRIPING PLAN IS INTENDED FOR THE PROJECT AND SITE SHOWN ON THESE SHEETS. ANY REUSE OF THIS STRIPING PLAN FOR ANY OTHER PROJECT OR AT ANY OTHER LOCATION WITHOUT THE WRITTEN CONSENT OF BRR ARCHITECTURE, INC. IS PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR ANY INADEQUACIES OR OMISSIONS IN THE STRIPING PLAN WHEN REUSED FOR ANY OTHER PROJECT OR AT ANY OTHER LOCATION.

CONSULTANTS  
**Kimley-Horn**  
 5000 KIMLEY-HORN AVENUE  
 SUITE 1000  
 WASHINGTON, DC 20007  
 TEL: 703-455-2100  
 WWW.KIMLEY-HORN.COM

**Walmart\***  
 VISALIA, CA  
 1320 N DEWAREE STREET  
 STORE NO. 5835  
 JOB NUMBER: 094658570 I PROJECT: 208 SC

2022 SPRB-R

ISSUE BLOCK

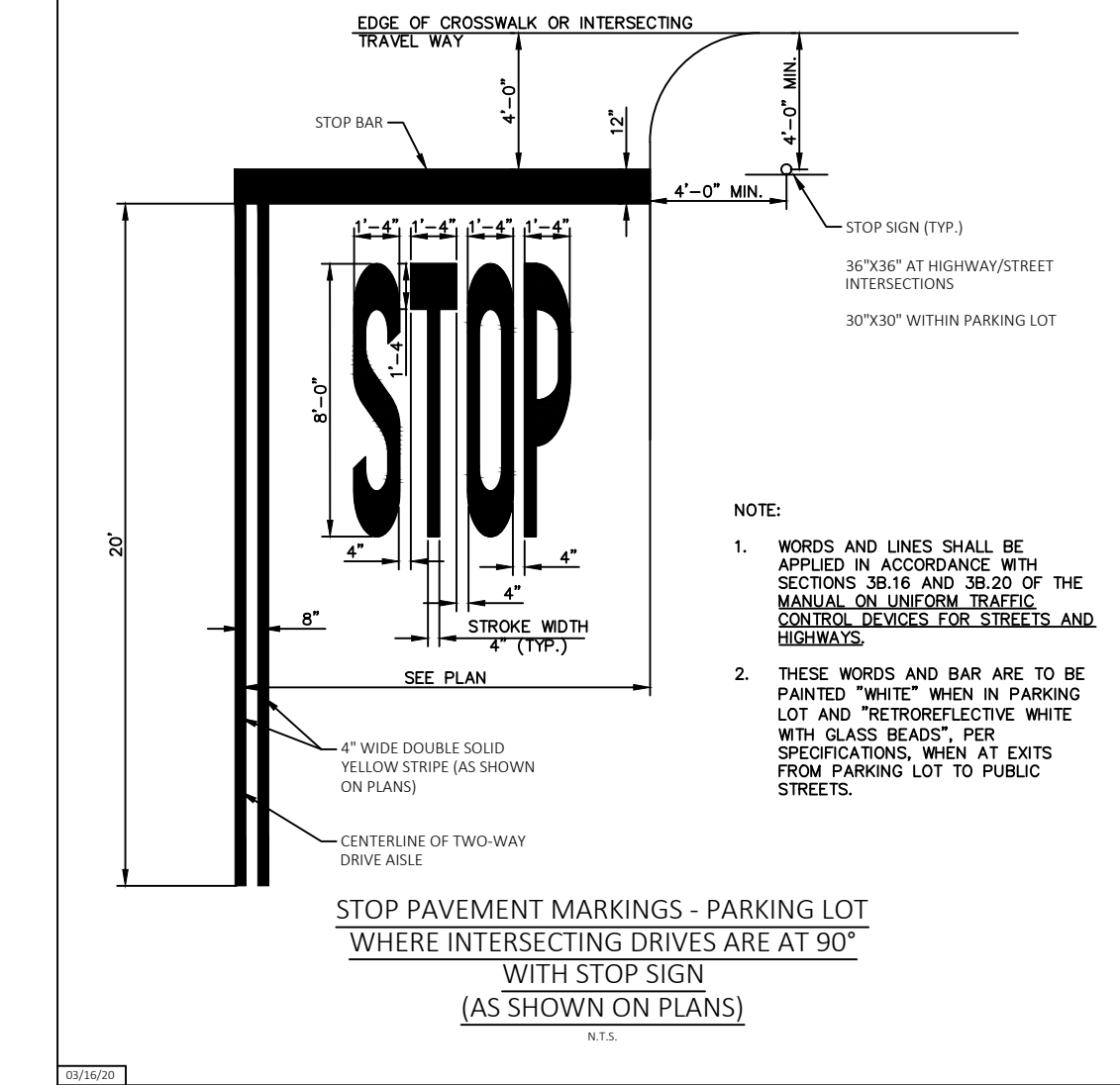
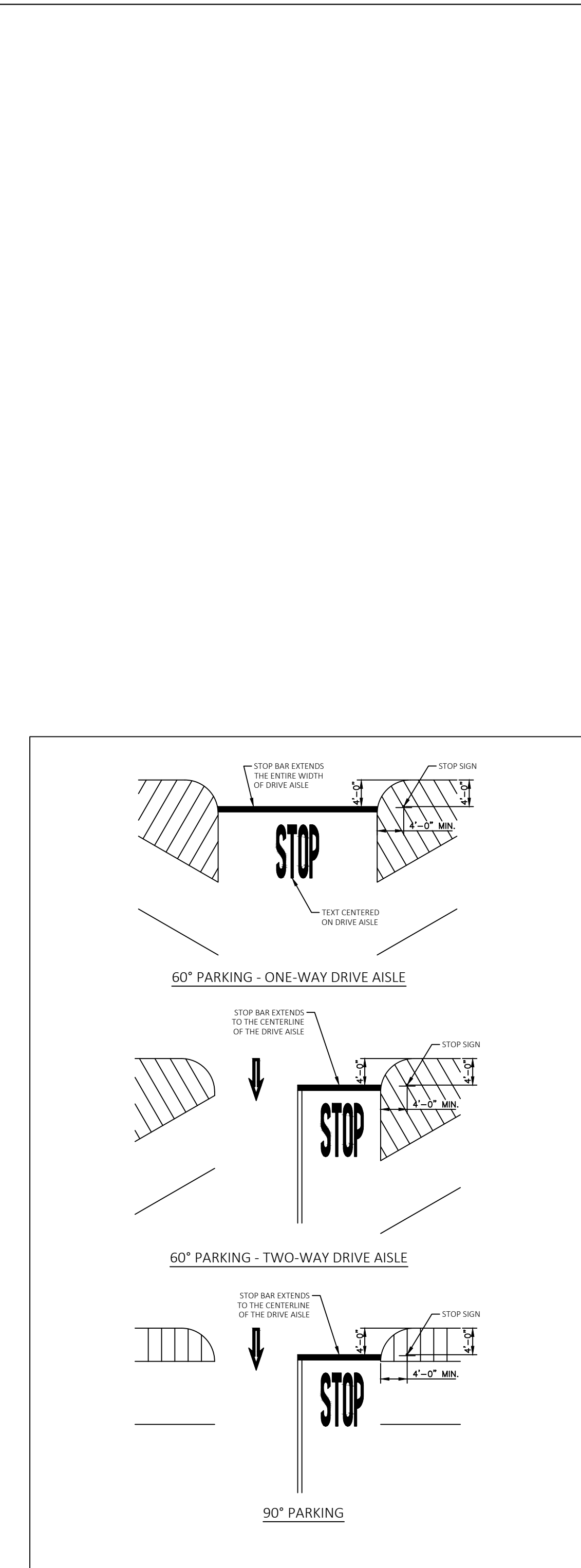
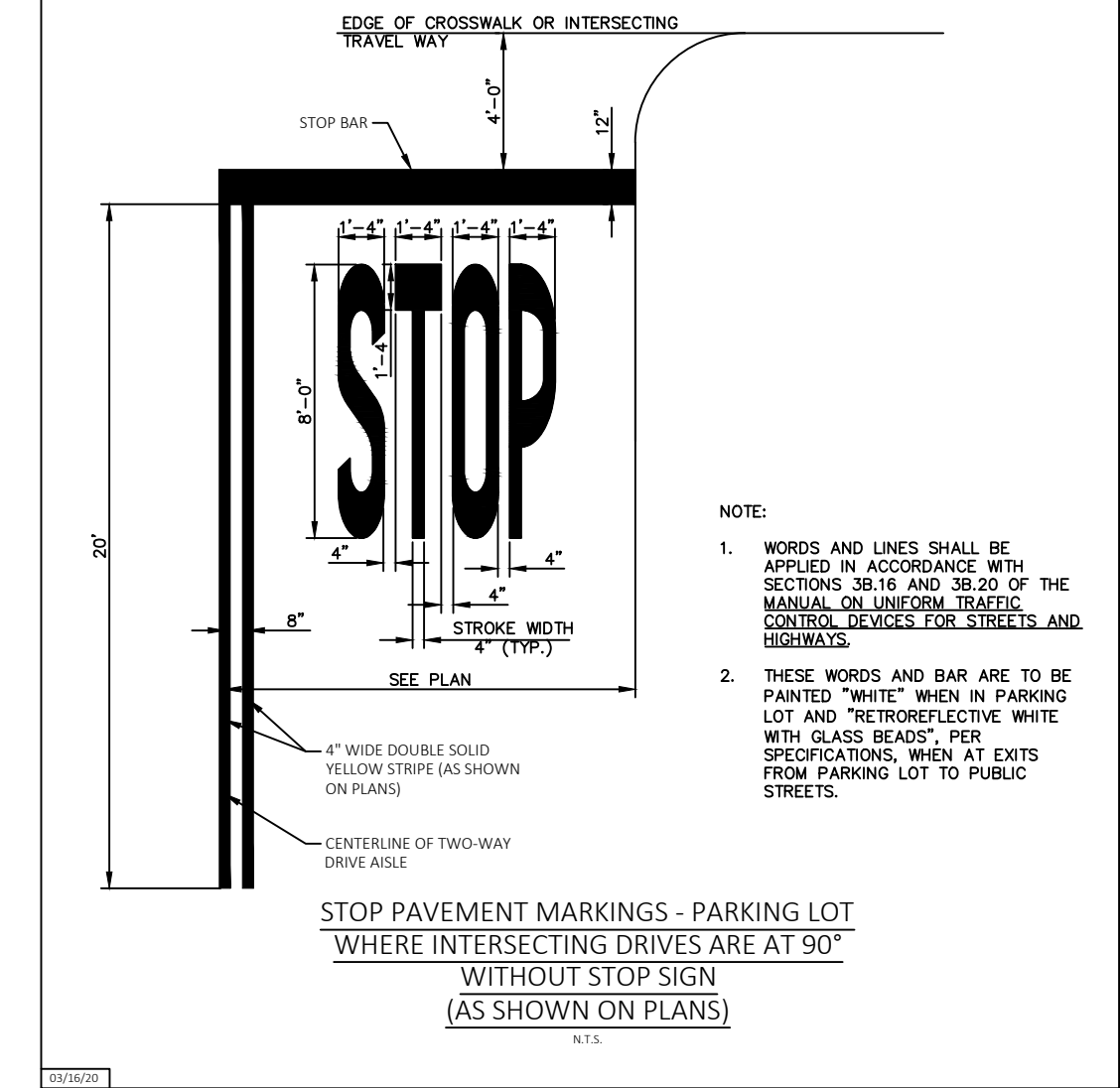
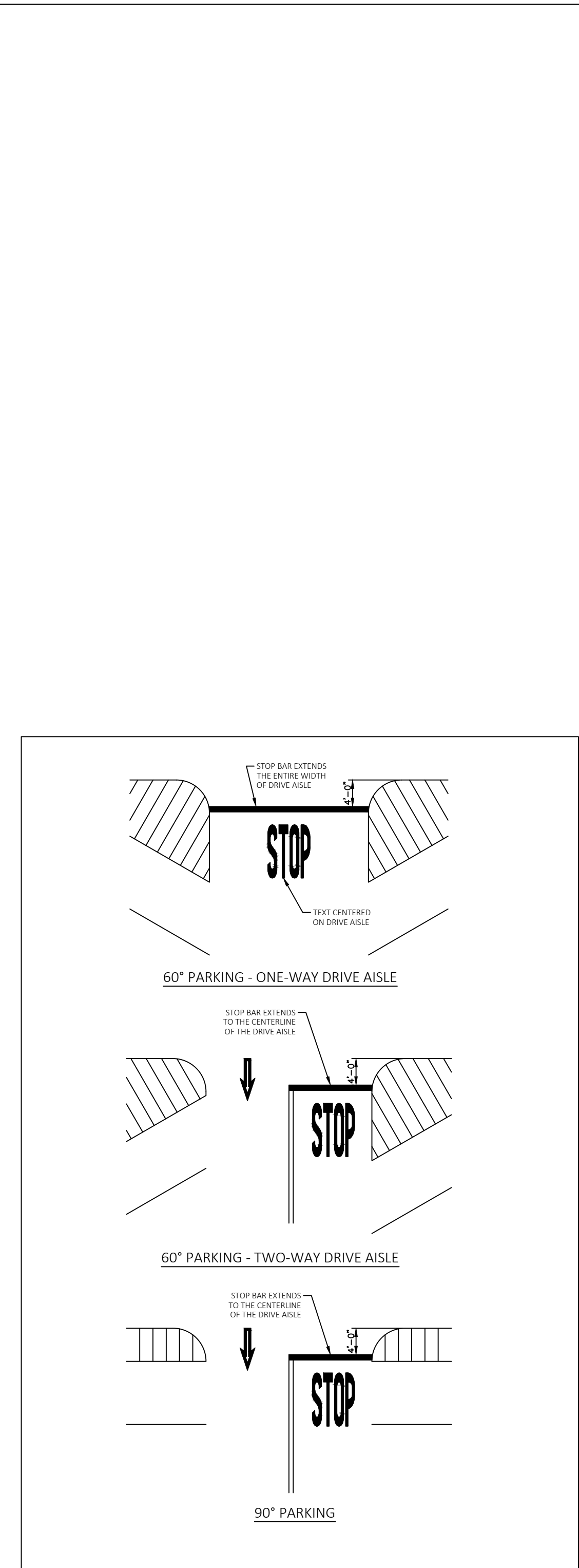
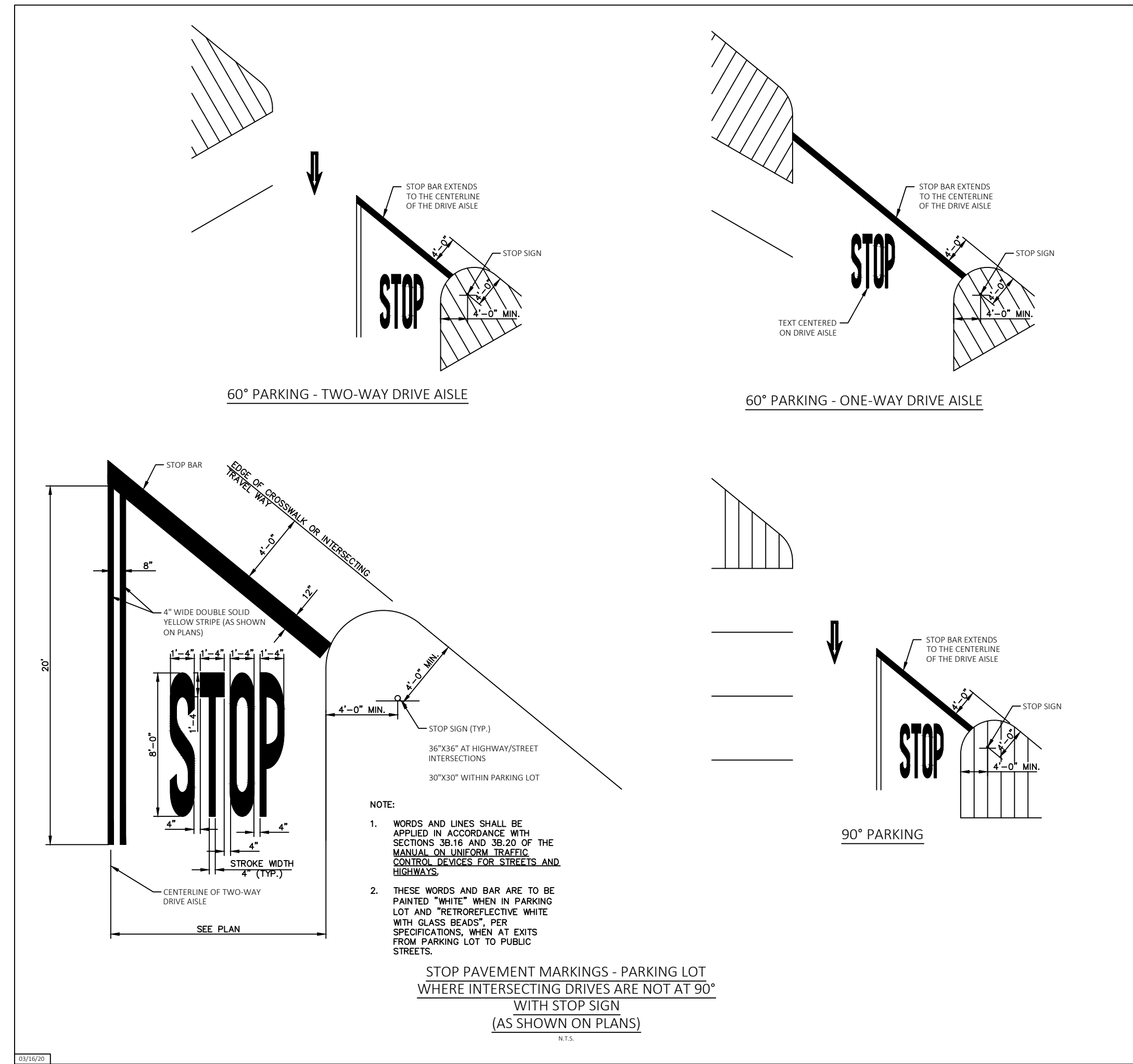
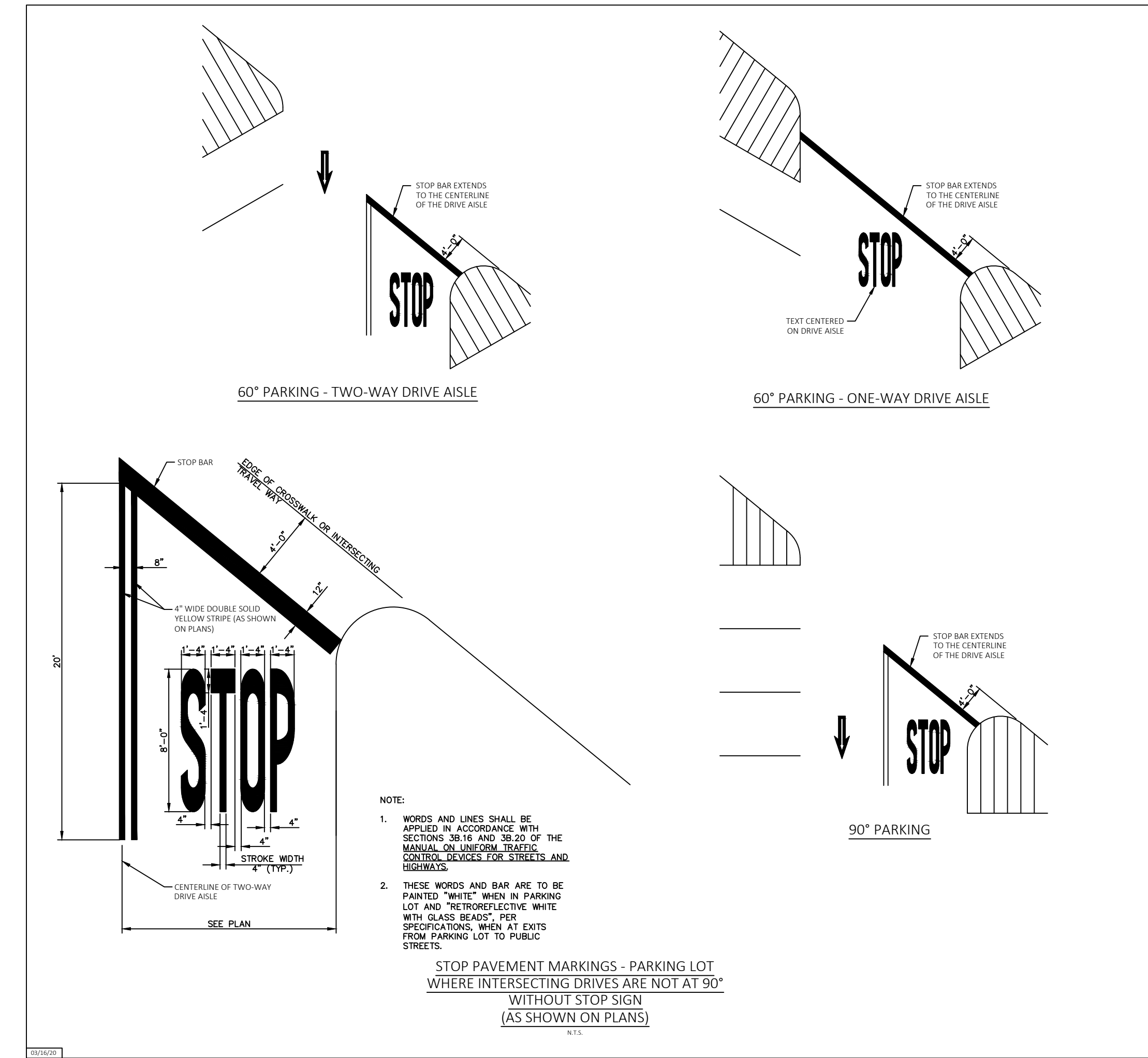
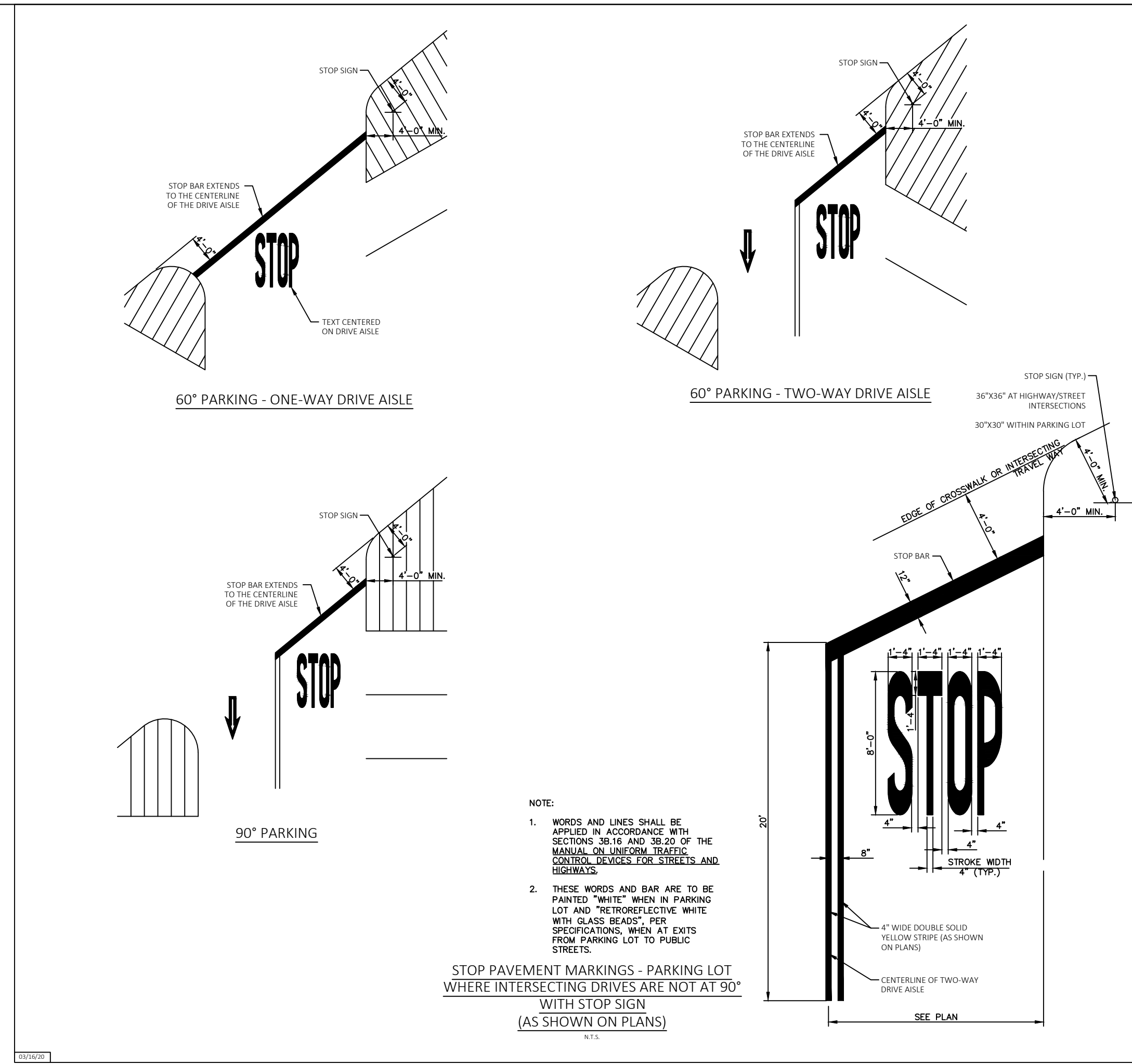
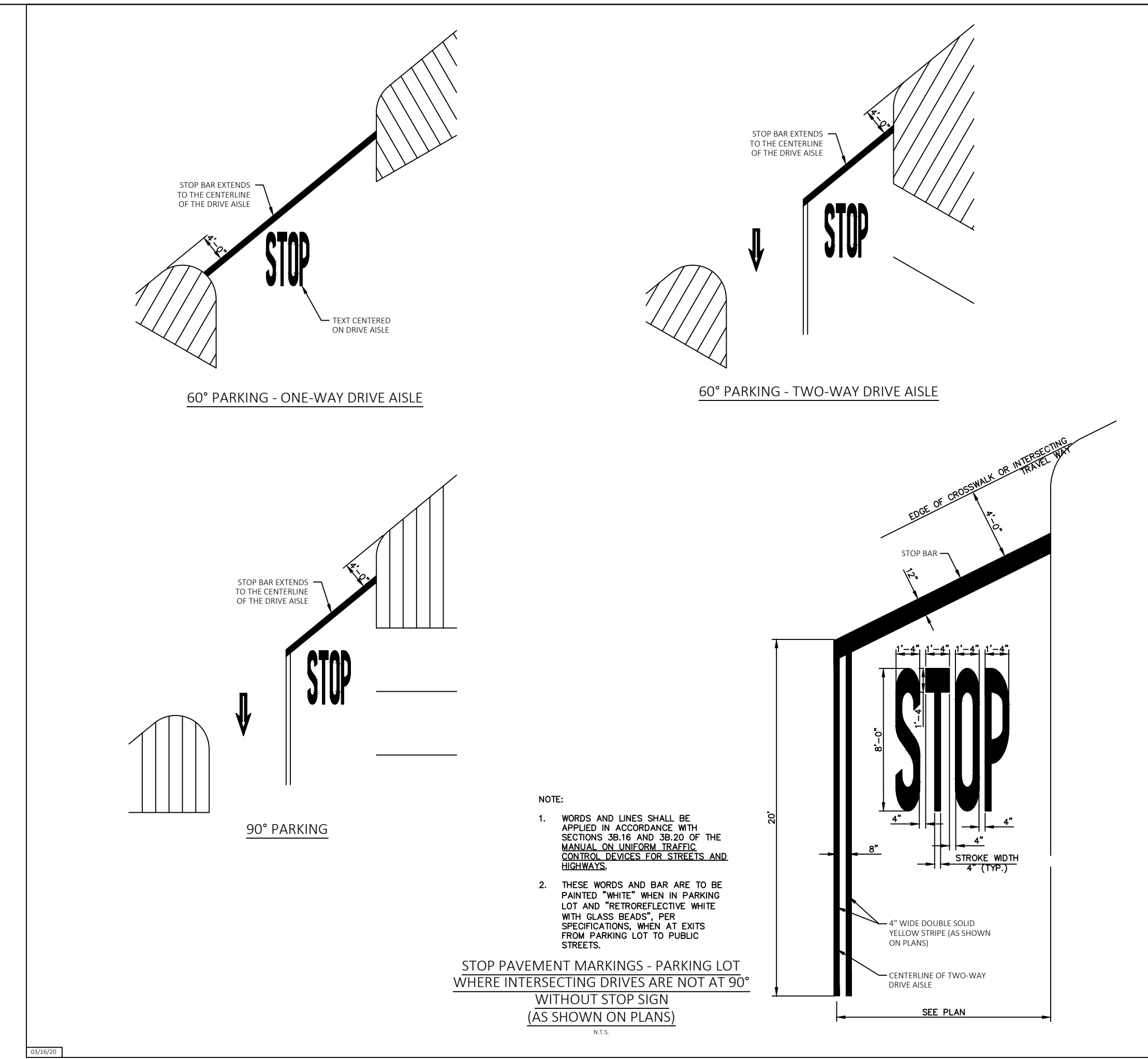
NO.	DESCRIPTION	DATE

CHECKED BY: JG  
 DRAWN BY: EAO  
 PROTO CYCLE: 04/28/2022  
 DOCUMENT DATE: 04/28/2022



STRIPING PLAN  
 DETAIL 2

SHEET:  
 C7.0



3/16/2022 1:07:03 AM  
 C:\Users\mpalmerj\OneDrive\Desktop\AutoCAD\04\000\04\_016\04\_016\_001.dwg



STIPULATION FOR REUSE  
THIS DOCUMENT IS THE PROPERTY OF THE ARCHITECT OF RECORD AND MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT OF RECORD. THE ARCHITECT OF RECORD SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL RIGHTS AND INTERESTS OF THE ARCHITECT OF RECORD IN THIS DOCUMENT.

CONSULTANTS  
**Kimley-Horn**  
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
1000 B. THURMAN DRIVE, SUITE 1000  
DENVER, COLORADO 80202  
PH: 303.733.8900  
WWW.KIMLEY-HORN.COM

**VISALIA, CA**  
1320 N. DENAWARE STREET  
STORE NO. 5635  
JOB NUMBER: 09468570 | PHOTO: 208 SC  
2022 SPRB-R

ISSUE BLOCK	

CHECKED BY:	JG
DRAWN BY:	EAO
PROTO CYCLE:	04/28/2022
DOCUMENT DATE:	04/28/2022



**TRAFFIC SIGNS AND SIGNALS SPECIFICATION**

PART 1 - GENERAL

1.1 SUMMARY

A. Section Includes:

- Traffic control signs.

B. Related Requirements:

- Section 09900 - Painting. Painting for painted posts where shown on the Drawings.

1.2 REFERENCES

A. The publications listed below form a part of this specification to the extent referenced. Publications are referenced within the text by the basic designation only.

B. ASTM International (ASTM):

- ASTM A53 - Pipe, Steel, Black and Hot\_Dipped, Zinc\_Coated Welded and Seamless.
- ASTM C94 - Ready Mix Concrete
- ASTM D4956 - Retroreflective Sheeting for Traffic Control.

C. US Department of Transportation, Federal Highway Administration:

- Manual on Uniform Traffic Control Devices (MUTCD).

PART 2 - PRODUCTS

2.1 SIGNS

A. Conform to US Department of Transportation MUTCD. Sign classification, type, size, and color shall be as shown on the drawings

B. Retroreflectivity: Microprismatic type, diamond grade reflective sheeting conforming to ASTM D 4956, Type XI.

2.2 POSTS

A. Square Post: Square tubular steel sign post, galvanized, 12 ga, perforated full-length with 7/16 inch holes on four sides. Post size shall be as shown on the Drawings.

B. Steel Pipe: ASTM A 53, Type E (electric-resistance welded) or Type S (seamless), Grade B, Schedule 40, size as shown on the Drawings.

2.3 CONCRETE

A. Mix concrete and deliver in accordance with ASTM C 94.

B. Design mix to produce normal weight concrete consisting of Portland cement, aggregate, water\_reducing admixture, air\_entraining admixture, and water to produce following:

- Compressive Strength: 3,500 psi, minimum at 28 days, unless otherwise indicated on the Drawings.
- Slump Range: 1 to 3-inches at time of placement
- Air Entrainment: 5 to 8 percent

PART 3 - EXECUTION

3.1 PREPARATION

A. Field verify underground utilities prior to sign installation. Primary utilities of concern of shallow depths are lawn sprinkler systems, electric, telephone, fiber optic, cable and gas.

3.2 INSTALLATION

A. Install signs as shown on the Drawings and in accordance with MUTCD and manufacturer's instructions.

B. Install signs of the type and at locations shown on the Drawings.

C. Install posts of the type as shown on the drawing.

D. Where shown as painted, field paint steel pipe posts in accordance with Section 09900.

END OF SECTION

**SEAL COAT SHALL BE APPLIED WHERE EXISTING MARKINGS ARE REMOVED.**

**SMALL PROJECT SEAL COAT SPECIFICATION:**

IN GENERAL:

- CRACK FILLING AND OIL SPOT TREATMENTS ARE NOT REQUIRED PRIOR TO SEAL COAT. OTHER THAN THESE EXCEPTIONS, PREPARE AND CLEAN AREA TO BE SEAL COATED CONSISTENT WITH MANUFACTURER'S INSTRUCTIONS AND SPECIFICATION.

APPROVED MATERIALS:

- STAR PRODUCTS
  - MICRO-PAVE PRO-BLEND WITH ADDED SAND
  - SINGLE COAT
- SEAL MASTER
  - POLYMER MODIFIED MASTERSEAL WITH ADDED SAND
  - SINGLE COAT
- GEM SEAL BLACK DIAMOND XL
  - WITH ADDED SAND
  - SINGLE COAT

MATERIALS IDENTIFIED IN SPECIFICATION SECTION 02787 CAN BE USED. COAL TAR BASED SEAL COAT MATERIALS IN ANY FORM ARE PROHIBITED.

**PAVEMENT MARKINGS SPECIFICATION**

PART 1 - GENERAL

1.1 SUMMARY

A. Section Includes:

- Painting and marking of pavements, curbs, and guard posts (bollards)..

1.2 REFERENCES

A. The publications listed below form a part of this specification to the extent referenced. Publications are referenced within the text by the basic designation only.

B. American Association of State Highway and Transportation (AASHTO):

- AASHTO M247 - Glass Beads Used in Traffic Paints
- AASHTO M248 - Ready-Mixed White and Yellow Traffic Paints

C. Master Painter's Institute (MPI):

- MPI 32 - Traffic Marking Paint, Solvent Based.
- MPI 97 - Traffic Marking Paint, Latex.

D. ASTM International (ASTM):

- ASTM D4114 - Standard Practice for Measurement of Wet Film Thickness by Notched Gauges.

E. Federal Specifications (FS):

- FS A-A-2886 - Paint, Traffic, Solvent Based (supersedes FS TT-P-85 and FS TT-P-115, Type I)
- FS TT-B-1325 - Beads (Glass Spheres) Retro-Reflective
- FS TT-P-1952 - Paint, Traffic And Airfield Marking, Waterborne

1.3 PROJECT CONDITIONS

A. Maintain access for vehicular and pedestrian traffic as required for other construction activities. Utilize flagmen, barricades, warning signs, and warning lights as required.

PART 2 - PRODUCTS

2.1 MATERIALS

A. Paint shall be waterborne or solvent borne, colors as shown or specified herein. Pavement marking paints shall comply with applicable state and local laws enacted to ensure compliance with Federal Clean Air Standards. Paint materials shall conform to the restrictions of the local Air Pollution Control District.

B. Waterborne Paint: Paints shall conform to FS TT-P-1952 and have MPI 97 approval.

C. Solvent Borne Paint: Paint shall conform to FS A-A-2886 or AASHTO M248 and have MPI 32 approval. Paint shall be non\_bleeding, quick\_drying, and alkyl petroleum base paint suitable for traffic\_bearing surface and be mixed in accordance with manufacturer's instructions before application for colors White, Yellow, Blue, and Red.

D. Glass Beads: AASHTO M 247, Type 1 or FS TT-B-1325, Type 1, Gradation A.

PART 3 - EXECUTION

3.1 EXAMINATION

A. Examine the work area and correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected.

3.2 PREPARATION

A. Sweep and clean surface to eliminate loose material and dust.

B. Where existing pavement markings are indicated on Construction Drawings to be removed or would interfere with adhesion of new paint, a motorized abrasive device or soda blasting shall be used to remove the markings. Equipment employed shall not damage existing paving or create surfaces hazardous to vehicle or pedestrian traffic.

3.3 CLEANING EXISTING PAVEMENT MARKINGS

A. Remove existing pavement markings which are in good condition but interfere or conflict with the newly applied marking patterns and as noted on plans. Deteriorated or obscured markings that are not misleading or confusing or do not interfere with the adhesion of the new marking material do not require removal. Conduct grinding, soda blasting or other operations in such a manner that the finished pavement surface is not damaged or left in a pattern that is misleading or confusing. Use dust collection system when removing existing pavement markings. Comply with the requirements of Section 01351 Regulatory Compliance Supplement for management and disposal of hazardous wastes.

3.4 APPLICATION

A. Apply two coats of same color of paint as specified below, at manufacturer's recommended rate, without addition of thinner, with maximum of 100 square feet per gallon or as required to provide a minimum wet film thickness of 15 mils and dry film thickness of 7 1/2 mils per coat. Paint shall be applied for a total dry film thickness of 15 mils. Apply with mechanical equipment to produce uniform straight edges. At sidewalk curbs and crosswalks, use straightedge to ensure uniform, clean, and straight stripe.

B. Install pavement markings according to manufacturer's recommended procedures for the specified material.

C. Following items shall be painted with colors noted below:

- Pedestrian Crosswalks: White
- Exterior Sidewalk Curbs and Guard posts: Yellow
- Exterior Light Pole Bases: Yellow (unless otherwise noted on Construction Detail).
- Fire Lanes: Red or per local code.
- Lane Striping where separating traffic moving in opposite directions: Yellow.
- Lane Striping where separating traffic moving in the same direction: White.
- ADA Symbols: Blue or per local code.
- ADA parking space markings as shown on the drawings.
- Parking Stall Striping: Yellow, unless otherwise noted on Construction Drawings.
- Associate Parking Area: White, unless otherwise noted on Construction Drawings.

D. Apply glass beads at pedestrian crosswalk striping and at lane striping and arrows at driveways connecting to public streets. Broadcast glass beads uniformly into wet markings at a rate of 6 lb/gal.

3.5 FIELD QUALITY CONTROL

A. Field quality control shall be the responsibility of the Contractor. Field quality control testing and inspection shall be at the discretion of the Contractor as necessary to assure compliance with Contract requirements.

3.6 CLEANING

A. Waste materials shall be removed at the end of each workday. Upon completion of the work, all containers and debris shall be removed from the site. Paint spots upon adjacent surfaces shall be carefully removed by approved procedures that will not damage the surfaces and the entire job left clean and acceptable.

END OF SECTION

**SITE DEMOLITION SPECIFICATION**

PART 1 - GENERAL

1.1 SUMMARY

A. Section Includes:

- Demolition of structures, paving, and utilities.
- Patching and filling voids created as a result of removals or demolition.

1.2 REGULATORY REQUIREMENTS

A. Compliance with all laws, including Safety Laws, Environmental Laws, Stormwater Laws and Worker Verification Laws as well as requirements found within the Contract Documents and these Specifications, that pertain to Safety Compliance, Environmental Compliance, Stormwater Compliance and Worker Verification Compliance. Obtain required permits and licenses from appropriate authorities. Pay associated fees including disposal charges.

B. Notify affected utility companies before starting work and comply with their requirements.

C. Do not close or obstruct public or private roadways, sidewalks, or fire hydrants without appropriate permits or written authorization.

D. If hazardous, contaminated materials or other environmental related conditions are discovered, stop work immediately and notify the Wal-Mart Construction Manager for action to be taken. Do not resume work until specifically authorized by the Construction Manager.

1.3 PROJECT CONDITIONS

A. Conditions existing at time of inspection for bidding purposes will be maintained by Owner as reasonably practical.

B. Unless otherwise indicated in Contract Documents or specified by the Owner, items of salvageable value to Contractor shall be removed from site and structures. Storage or sale of removed items on site will not be permitted and shall not interfere with other work specified.

PART 2 - PRODUCTS

2.1 FILL MATERIALS

A. Fill material shall be aggregate fill materials consisting of stone, gravel, or sand free from debris, trash, frozen materials, roots, and other organic matter.

2.2 CONCRETE

A. Mix concrete and deliver in accordance with ASTM C 94.

B. Design mix to produce normal weight concrete consisting of Portland cement, aggregate, water\_reducing admixture, air\_entraining admixture, and water to produce following:

- Compressive Strength: 3,500 psi, minimum at 28 days, unless otherwise indicated on the Drawings.
- Slump Range: 1 to 3-inches at time of placement
- Air Entrainment: 5 to 8 percent

PART 3 - EXECUTION

3.1 PREPARATION

A. Provide, erect, and maintain erosion control devices, temporary barriers, and security devices at locations indicated on Construction Drawings. Provide a comprehensive construction phasing plan for this work to the store manager 7 days prior to starting any work. It is to provide for dates, times and duration of lane closures, temporary vehicle and pedestrian traffic control.

B. Protect existing landscaping materials, appurtenances, and structures, which are not to be demolished. Repair damage to existing items to remain caused by demolition operations.

C. Prevent movement or settlement of adjacent structures. Provide bracing and shoring as necessary.

D. Mark location of utilities. Protect and maintain in safe and operable condition utilities that are to remain. Prevent interruption of existing utility service to occupied or used facilities, except when authorized in writing by authorities having jurisdiction. Provide temporary services during interruptions to existing utilities as acceptable to governing authorities and Owner.

E. For work on operating Walmart sites, prior to any underground excavation, contractor is expected to obtain current and representative underground utility plans from Walmart for private utilities that are not located by others. This is specifically intended to provide approximate locations for Walmart private utilities including water, sewer, electrical, telephone and data services.

F. Notify adjacent property owners of work that may affect their property, potential noise, utility outages, or other disruptions. Obtain written permission from adjacent property owners when demolition equipment will traverse, infringe upon, or limit access to their property. Coordinate notice with Owner.

3.2 GENERAL DEMOLITION REQUIREMENTS

A. Conduct demolition to minimize interference with adjacent structures or pavements to remain.

B. Cease operations immediately if adjacent structures appear to be in danger. Notify authority having jurisdiction. Do not resume operations until directed by authority.

C. Conduct operations with minimum of interference to public or private access. Maintain ingress and egress at all times other than in specific areas where work is in progress.

D. Sprinkle work with water to minimize dust. Provide hoses and water connections for this purpose.

E. Comply with governing regulations pertaining to environmental protection.

F. Clean adjacent structures and improvements of dust, dirt, and debris caused by demolition operations. Return adjacent areas to condition existing prior to start of work.

3.3 DEMOLITION

A. Demolish site improvements designated to be removed as shown on the drawings. Site improvements shall include but not be limited to structures, foundations, pavements, curbs and gutters, drainage structures, utilities, signage or landscaping.

B. Disconnect and cap or remove utilities to be abandoned as shown on the drawings.

C. Fill or remove piping and appurtenances as shown.

D. Demolish concrete and masonry in small sections. Break up concrete slabs on grade that are 2-feet or more below proposed subgrade to permit moisture drainage. Remove slabs-on-grade and below grade construction within 2-feet of proposed subgrade.

3.4 PATCHING

A. Where improvements are removed from paved areas, pavements shall be sawcut in straight lines at the perimeter and patched. Damaged pavement adjacent to removed improvements shall also be removed and patched.

B. Pavement patches shall be paved with minimum 6" concrete, broom finished and flush with adjacent grades.

3.5 FILLING VOIDS

A. Completely fill below grade areas and voids resulting from demolition or removal of structures, etc., using aggregate fill materials consisting of stone, gravel, or sand free from debris, trash, frozen materials, roots, and other organic matter.

B. Areas to be filled shall be free of standing water, frost, frozen or unsuitable material, trash, and debris prior to fill placement.

C. Place fill materials in lifts not to exceed 6 inches loose measure and compacted to 95 percent of maximum laboratory density per ASTM D698 with moisture content of not less than 1 percent below and not more than 3 percent above optimum moisture content.

D. Grade surface to match adjacent grades and to provide flow of surface drainage after fill placement and compaction.

3.6 DISPOSAL OF DEMOLISHED MATERIALS

A. Remove from site debris, rubbish, and other materials resulting from demolition operations. Leave areas of work in clean condition.

B. No burning of any material, debris, or trash on site or off site will be allowed.

C. Transport materials removed from demolished structures with appropriate vehicles and dispose off-site to areas that are approved for disposal by governing authorities and appropriate property owners.

END OF SECTION



**STIPULATION FOR REUSE**  
THIS DOCUMENT IS THE PROPERTY OF BRR ARCHITECTURE, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BRR ARCHITECTURE, INC. THIS DOCUMENT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BRR ARCHITECTURE, INC.

**CONSULTANTS**  
**Kimley-Horn**  
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
1100 S. TULSA DRIVE, SUITE 300  
WARRICK, IN 46783  
PHOTO: WWW.PHOTO.COM

**Walmart\***  
**VISALIA, CA**  
1320 N DEWAREE STREET  
STORE NO. 5635  
JOB NUMBER: 09468670 | PHOTO: 208 SC

2022 SPRB-R

ISSUE BLOCK	

CHECKED BY: JG  
DRAWN BY: EAO  
PROTO CYCLE: 04/28/2022  
DOCUMENT DATE: 04/28/2022



**SPECIFICATION SHEET 2**

SHEET: **C9.0**

**SEAL COAT SPECIFICATION**  
**PART 1 - GENERAL**

- 1.1 **SUMMARY**  
A. Section Includes:  
1. Seal coats using a polymer-modified asphalt emulsion blended with fine aggregate.  
B. Related Requirements:  
1. Site Demolition Specification  
2. Pavement Markings Specification  
3. Traffic Signs and Signals Specification

- 1.2 **REFERENCES**  
A. The publications listed below form a part of this specification to the extent referenced. Publications are referenced within the text by the basic designation only.  
B. ASTM International (ASTM)  
1. ASTM C 136 - Method of Sieve Analysis of Fine and Coarse Aggregate  
2. ASTM D 217 - Method for Cone Penetration of Lubricating Grease  
3. ASTM D 244 - Test Methods for Emulsified Asphalts  
4. ASTM D 562 - Method for Consistency of Paints Measuring Krebs Unit (KU) Viscosity Using a Stormer-Type Viscometer  
5. ASTM D 977 - Emulsified Asphalt  
6. ASTM D 2397 - Cationic Emulsified Asphalt  
7. ASTM D 2042 - Method for solubility of Asphalt Materials in Trichloroethylene  
8. ASTM D 3910 - Practice for Design, Testing, and Construction of Slurry Seal  
9. ASTM D 6690 - Joint and Crack Sealants, Hot Applied, for Concrete and Asphalt Pavements

- 1.3 **ADMINISTRATIVE REQUIREMENTS**  
A. Pre-Installation Meeting: Convene a pre-installation meeting at the site at least two weeks prior to commencing work of this Section. Require attendance of parties directly affecting work of this Section, including, but not limited to, the store manager, Contractor, and job foreman.  
1. Contact Wal-Mart Construction Manager three weeks prior to pre-installation conference to confirm schedule.  
2. Record discussions of meeting and decisions, agreements reached, and furnish copy of record to each party attending. Review foreseeable methods and procedures related to paving work, including the following:  
a. Review preparation and installation procedures and coordinating and scheduling required with related work (including all required striping).  
b. Review proposed sources of materials.  
c. Tour, inspect, and discuss condition of existing pavement and other preparatory work such as patching and crack sealing. If crack sealing is needed (reference section 2.4.C below) or other areas of pavement distress are noted during tour, submit appropriate RFI to project team for review.  
d. Review requirements for protecting paving work, including restriction and redirection of traffic during installation and curing period.  
e. Review and finalize construction schedule and verify availability of materials, installer's personnel, equipment, traffic control devices, and facilities needed to make progress and avoid delays.  
f. Review paving requirements (drawings, specifications, and other contract documents).  
g. Review weather and forecasted weather conditions, and procedures for coping with unfavorable conditions.  
h. Review health and safety precautions relating to handling and placement of seal coat.  
1.4 **QUALITY ASSURANCE**  
A. Contractor Qualifications: The seal coat applicator shall have not less than 3 years documented experience in the application of emulsion seal coats.

- 1.5 **SITE CONDITIONS**  
A. Weather Limitations: Apply seal coat only under the following weather conditions:  
1. The atmospheric temperature is between 50 and 90 F and is expected to remain above 50 F for 24 hours.  
2. Pavement temperature is above 55 F.  
3. Surface is dry and no moisture is expected within 24 hours.  
4. Weather and wind conditions are such that overspray is preventable and will allow proper curing and opening to traffic within a reasonable time.  
B. Maintain access for vehicular and pedestrian traffic as required by the Wal-Mart Store and Construction Manager. Utilize temporary striping, flagmen, barricades, warning signs, and warning lights as required.

**PART 2 - PRODUCTS**

- 2.1 **MATERIALS**  
A. Aggregate: Aggregate shall be 100 percent passing the No. 16 (1.18 mm) sieve when tested in accordance with ASTM C 136. Aggregate shall consist of hard, washed, dry natural or manufactured particles free of dust, trash, clay, organic materials or other contaminants.  
B. Asphalt Emulsion: Comply with ASTM D977 or ASTM D2397 for SS-1h or CSS-1h. The penetration of the residue from the distillation test shall be 20 to 60. Clay stabilized emulsion, with a ph not greater than 7.0, and solids content not less than 45 percent may be used. The polymer material shall be milled or blended into the asphalt or emulsifier solution prior to the emulsification process. The minimum amount and type of polymer modifier shall be determined by the laboratory performing the mix design.  
C. Coal Tar: Coal tar emulsion or coal tar/asphalt emulsion shall not be used as a substitute for asphalt emulsion.  
D. Water: Water shall be potable and free of harmful soluble salts or reactive chemicals and any other contaminants and at least 50 F.  
E. Additives: Additives shall be included and approved as part of the mix design and be compatible with the other components of the mix.  
F. Crack Sealant: Crack sealant shall conform to ASTM D6690, Type II or higher and compatible with the specified seal coat emulsion.

- 2.2 **COMPOSITION**  
A. Composition. Seal coat shall consist of a mixture of the specified emulsion, water, aggregate, and additives and be proportioned to meet the requirements shown in the following Table 1.

TABLE 1 - Undiluted Seal Coat Design Properties

Method	Minimum	Maximum
Weight (per gallon), ASTM D 244, lbs	9.0	
Cone Penetration, ASTM D 217, mm	340	700
% Non-Volatile <sup>1</sup>	50	
% Non-Volatile Residue Soluble in Trichloroethylene, ASTM D 2042	10	35
Wet Track Abrasion Loss, ASTM D 3910, g		35
Viscosity, ASTM D 562, KU	75	
Dried Film Color	Black	

<sup>1</sup>Weigh 10 g of homogeneous product into a previously tared, small ointment can. Place in an oven at 325°F for 90 minutes. Cool, reweigh and calculate non-volatile residue as a percent of the original mass.

2.3 **EQUIPMENT**

- A. Distributors. Distributors or spray units used for the spray application of the seal coat shall be self-propelled and capable of uniformly applying 0.10 to 0.30 gallons per square yard of material over the required width of application. Distributors shall be equipped with tachometers, pressure gauges, and volume measuring devices. The mix tank shall have a mechanically powered, full sweep, mixer with sufficient power to move and homogeneously mix the entire contents of the tank.  
B. Spray Nozzles. Nozzles shall be free from clogs and debris and set at the same angle.  
C. Mixing Equipment. The mixing machine shall have a continuous flow mixing unit capable of accurately delivering a predetermined proportion of aggregate, water, and emulsion, and of discharging the thoroughly mixed product on a continuous basis. The mixing unit shall be capable of thoroughly blending all ingredients together and discharging the material without segregation.  
D. Spreading Equipment. Spreading equipment shall be a mechanical type squeegee/brush distributor attached to the mixing machine, equipped with flexible material in contact with the surface to prevent loss of slurry from the spreader box. It shall be maintained to prevent loss of slurry on varying grades and adjusted to assure uniform spread. There shall be a lateral control device and a flexible strike-off capable of being adjusted to lay the slurry at the specified rate of application. The spreader box shall have an adjustable width. The box shall be kept clean. Emulsion and aggregate build up on the box shall not be permitted.  
E. Clean equipment with a petroleum solvent if previously used with a different material.  
F. Hand Squeegee or Brush Application. Hand spreading application shall be used only in places not accessible to the mechanized equipment or to accommodate neat trim work at curbs, etc. Material that is applied by hand shall meet the same standards as that applied by machine.  
G. Calibration. Spreading equipment shall be provided with a method of calibration by the manufacturer. Equipment shall be calibrated to assure that it will produce and apply a mix that conforms to the job mix formula. Calibrations shall be made with the approved job materials prior to application of the seal coat.

2.4 **PREPARATION**

- A. Remove all existing striping in areas subject to seal coating as noted in plans. Reference applicable specification section in Site Demolition.  
B. Remediate distressed areas of existing pavement by saw-cutting and removing existing pavement, regrading and compacting the underlying base course and replacing with full depth asphalt at locations and as shown on the drawings.  
1. Repairs not specifically shown on the plans but considered necessary by the contractor, store manager or construction manager (CM) shall be identified and submitted as an RFI to the project team prior to commencement of repairs.  
2. Repairs submitted by RFI and approved shall be performed as directed by the CEC. Cost for such work directed and performed will be paid for in accordance with the "Changes in the Work" Clause of the General Conditions.  
C. Longitudinal and traverse cracks in excess of 0.25 inch, but less than 1 inch shall be sealed with a crack sealant. Cracks that contain weed or other live vegetable matter shall be treated with a locally approved, non-oil based sterilant prior to applying the crack filler.  
D. Existing crack sealants in the parking lot shall be evaluated for compatibility with the specified emulsion. If not compatible with each other they can't be used together. Immediately prior to applying the seal coat, the surface shall be cleared of all loose material, dirt, dust, grease, oil, vegetation and other objectionable material. If water is used, cracks shall be allowed to dry thoroughly before applying the seal coat.  
E. Protect existing manholes, inlets, vaults, valve boxes, meter boxes, etc. as necessary to maintain free accessibility upon completion of seal coat application. Surfaces adjacent to seal coat application areas such as sidewalks, curb and/or gutter, storefronts, etc. shall be protected by use of felt paper anchored with clean aggregate, or by shielding components with plywood during application.  
F. Coordinate limits of seal coat application operations with Owner's Construction Manager and Store Manager to avoid interruption to store operations. Protect adjacent areas of the parking lot outside of current seal coat application limits to avoid tracking onto adjacent areas. Partition off limits of current seal coat operations until surface is traffic ready.  
G. Coordinate with Store Manager to deactivate lawn sprinkler systems least 48 hours prior to placing the seal coat and remain off for at least 24 hours after the seal coat application.

2.5 **APPLICATION**

- A. Apply seal coat at a total rate (undiluted) of 0.17 gal./SY.  
B. Dampen pavement with a fog spray of water if ambient temperatures exceed 80°F. No standing water shall remain on the surface.  
C. Apply the coat uniformly in a manner such that the combined application of the coat equals the total rate specified above.  
D. Suspend application when the distribution tank has less than 100 gallons left and refill to prevent irregular patterns or misses.  
E. The coat shall be allowed to dry and cure initially a minimum of 2-4 hours before applying any markings. The initial drying shall allow evaporation of water of the applied mixture, resulting in the coating being able to sustain light foot traffic. The initial curing shall enable the mixture to withstand vehicle traffic without damage to the seal coat.  
F. The finished surface shall present a uniform texture with no streaks.  
G. The single coat shall be allowed to dry a minimum of eight hours in dry daylight conditions before opening to traffic, and initially cure enough to support vehicular traffic without damage to the seal coat.  
H. Where marginal weather conditions exist during the eight hour drying time, additional drying time shall be allowed. The length of time shall be as specified by the supplier. The surface shall be checked after the additional drying time for trafficability before opening the section to vehicle traffic.

END OF SECTION

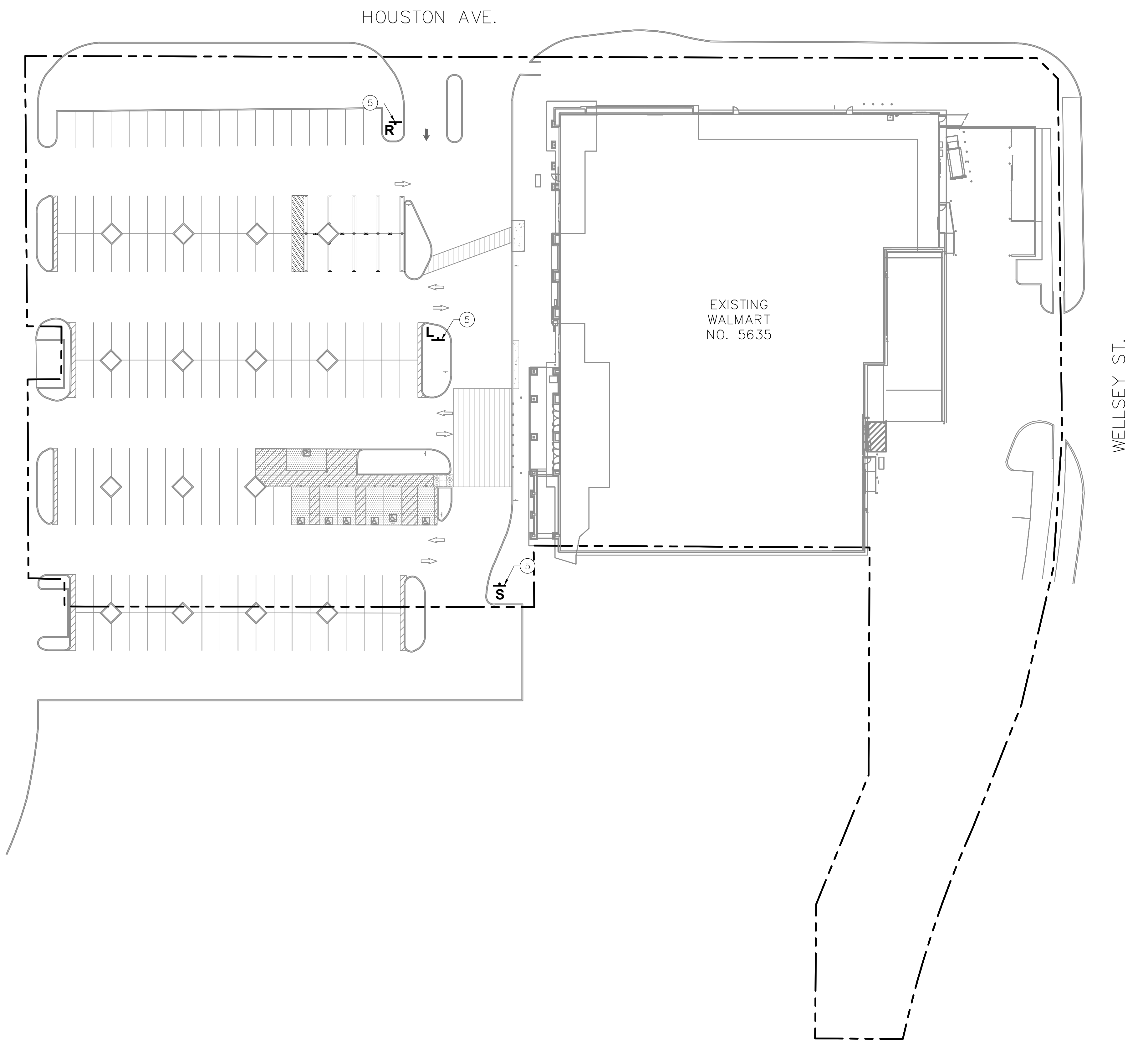


SIGNAGE LEGEND		DIRECTIONAL SIGN SCHEDULE		
DIRECTIONAL SIGN	SIGN ARROW DIRECTION	ARROW	NUMBER	MOUNTING TYPE
DIRECTIONAL SIGN	L=LEFT	↔	1	Pole
	R=RIGHT	↔	1	Pole
	S=STRAIGHT	↔	1	Pole

**brr**  
 ARCHITECT OF RECORD:  
 BRR ARCHITECTURE, INC  
 812 METCAL AV  
 OVERLAND PARK, KS 66204  
 www.brrarch.com  
 TEL: 913-262-9095  
 FAX: 913-262-9044

**SHEET NOTES**

1. ON PROJECTS WHERE PICKUP IS IN OPERATION AND PICKUP SIGNAGE EXISTS ON SITE, VERIFY THAT SIGN LOCATIONS MATCH THE NEW PROPOSED SIGN LOCATIONS SHOWN IN THIS SET. REMOVE ANY EXISTING PICKUP SIGNS THAT DO NOT MATCH THE SIGN TYPES AND LOCATIONS PROVIDED IN THIS SET. CONSULT WITH WM CONSTRUCTION MANAGER PRIOR TO REMOVING EXISTING PICKUP SIGNAGE. PATCH AND REPAIR PAVEMENT TO MATCH EXISTING AND PROVIDE FLUSH WITH EXISTING TOP OF PAVEMENT.



**LEGEND**

----- PROPERTY LINE

- CONSTRUCTION NOTES**
- 1 STRIPE PICKUP PARKING STALLS PER DETAIL 3, SHEET C12.0.
  - 2 INSTALL DUAL PICKUP SIGN ON POST AND BOLLARD PER DETAIL 1 AND 2, SHEET C12.0.
  - 3 STRIPE WHITE 4" STRIPE, 60 DEGREES, SPACED AT 24" O.C.
  - 4 PICKUP 2.0 EXPANSION. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.
  - 5 INSTALL DIRECTIONAL PICKUP SIGN ON POST PER DETAIL 1 AND 2, SHEET C12.0.
  - 6 INSTALL "STOP HERE FOR PEDESTRIANS" SIGN ON POST PER DETAIL 3, SHEET C3.0 AND "SIGN MOUNTING AND BASE ON SHEET C6.0.

**STIPULATION FOR REUSE**  
 THIS DOCUMENT IS THE PROPERTY OF BRR ARCHITECTURE, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OF THIS DOCUMENT FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF BRR ARCHITECTURE, INC. IS STRICTLY PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THIS DOCUMENT.

**CONSULTANTS**  
**Kimley-Horn**  
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
 100 S. THURGOOD STREET, SUITE 300  
 WASHINGTON, DC 20004  
 WWW.KIMLEY-HORN.COM

**Walmart\***  
**VISALIA, CA**  
 1320 N. DEMAREE STREET  
 STORE NO. 5635  
 JOB NUMBER: 09465870 | PHOTO: 206 SC  
 2022 SPRB-R

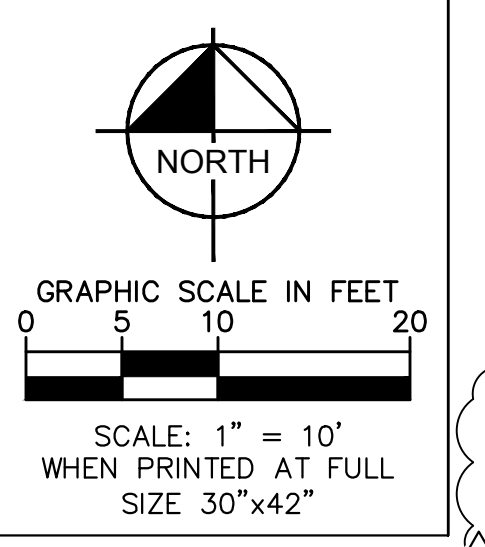
**ISSUE BLOCK**

PR #1	DATE

CHECKED BY: JG  
 DRAWN BY: KMJ  
 PROTO CYCLE: 04/28/2022  
 DOCUMENT DATE: 04/28/2022



**OVERALL SITE PLAN**

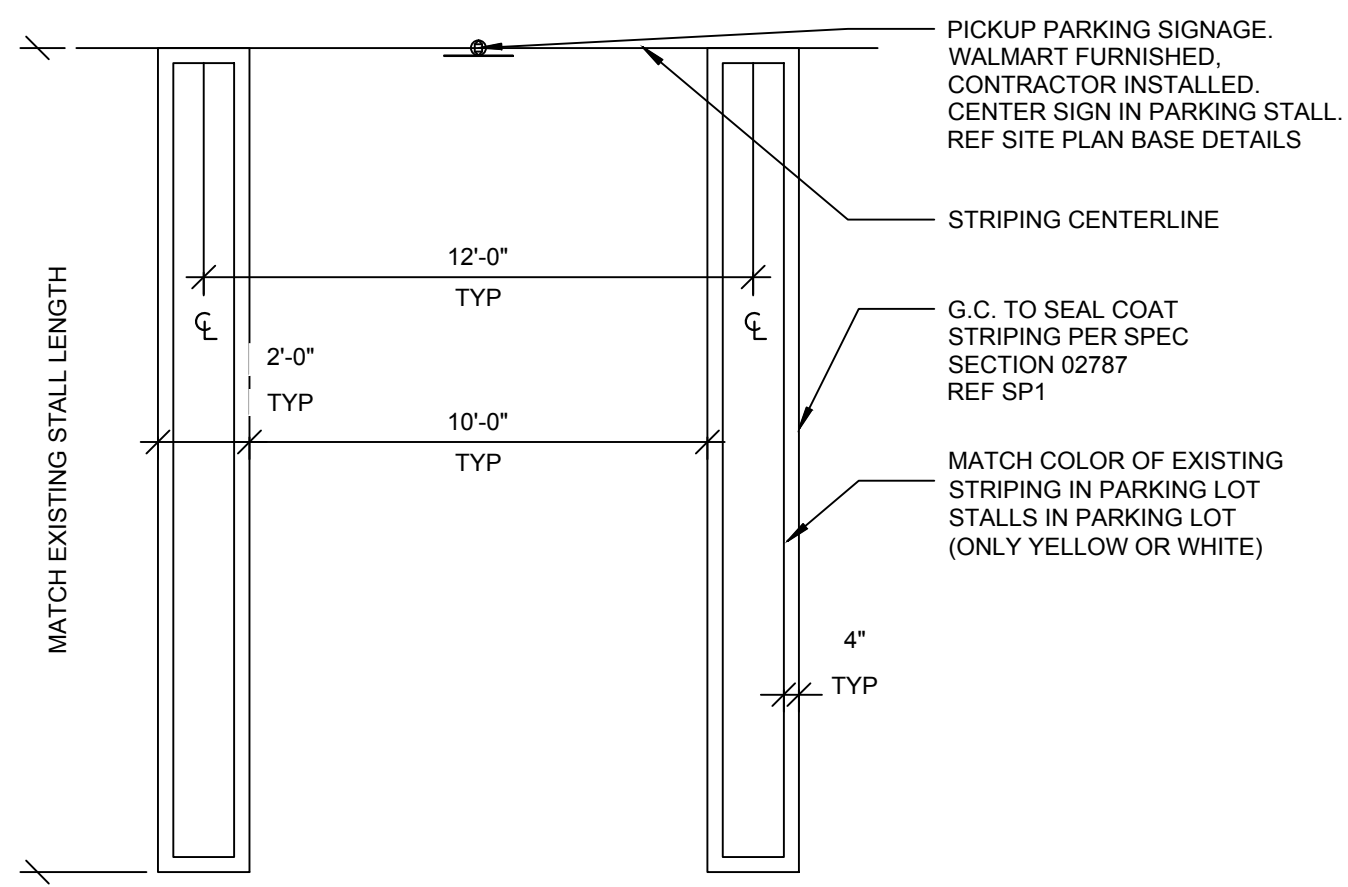


SHEET:  
**C10.0**

3/10/2022 1:57:55 AM  
 C:\Users\jgarcia\Desktop\2022\_SPRB-R\_09465870\206\_Sc.dwg







**NOTE TO CONTRACTOR:**  
 INSTALL SEAL COAT ON EXISTING ASPHALT PAVING AT ANY STRIPED AREA THAT IS PART OF THE PICKUP SCOPE OF WORK. FOR EXISTING CONCRETE SURFACES, G.C. TO PREPARE SURFACE FOR PAINT ONLY.

PICKUP PARKING STALL  
 SCALE: N.T.S. ③

For pickup, please call:  
 555-555-5555  
 CALL IN SIGN  
 18" X 18"

**Pickup**  
 LOGO SIGNS (LARGE)  
 36" X 8"

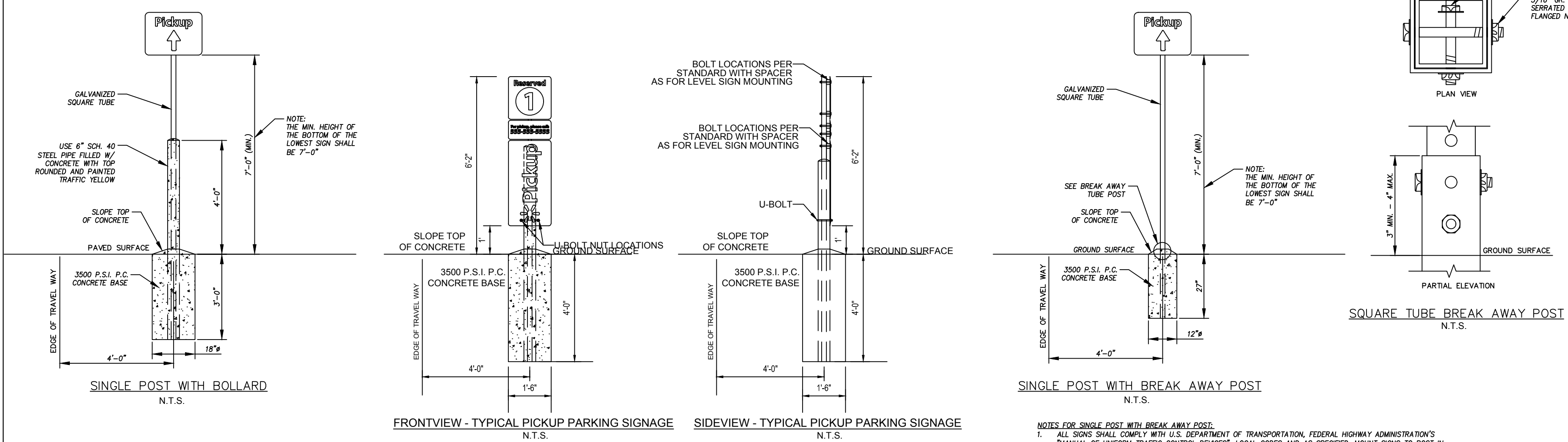
**Reserved**  
 REFERENCE SITE PLAN FOR SIGN NUMBERING  
 STALL DESTINATION SIGN 18" X 18"



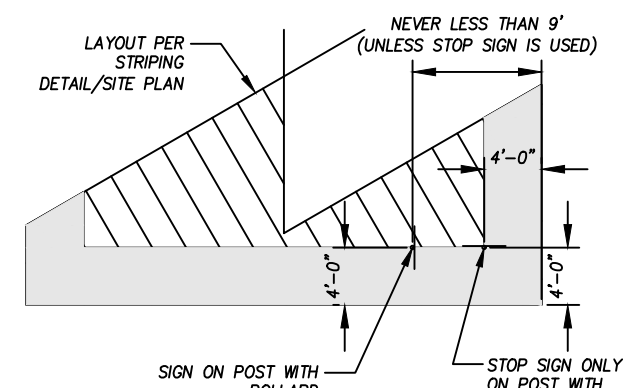
DIRECTIONAL SIGNS (LEFT / STRAIGHT / RIGHT)  
 18" X 24"

- NOTES:**
- SEE PLAN FOR DIRECTION OF ARROW.
  - UNLESS OTHERWISE NOTED:  
 BACKGROUND COLOR SHALL BE WALMART BLUE (SW#076)  
 WALMART "SPARK" COLOR SHALL BE GUSTO GOLD (SW#6904).  
 LEGEND AND ARROWS SHALL BE WHITE.
  - SIGNS SUPPLIED BY WALMART. INSTALLATION BY CONTRACTOR. SIGN DELIVERY TO BE COORDINATED BY CONTRACTOR.

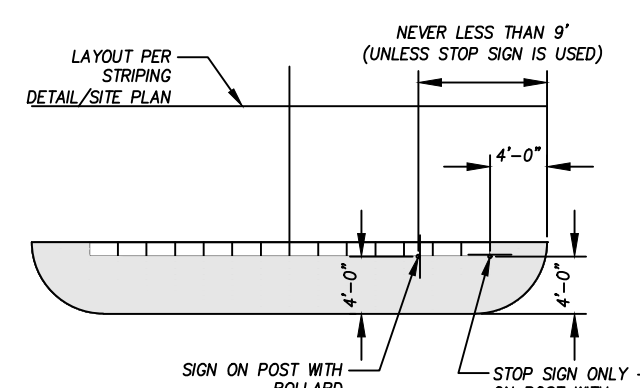
PICKUP SIGNAGE  
 SCALE: N.T.S. ②



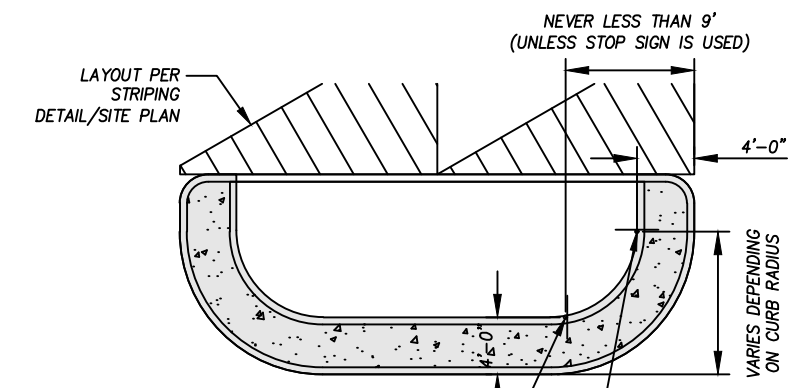
**NOTES FOR SINGLE POST WITH BOLLARD:**  
 1. ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.  
 2. GALVANIZED SQUARE TUBE  
 POST TUBES - 2"x2"x2x1/8  
 POST TUBE SHALL MEET ASTM A1011 GRADE 50.  
 POST TUBE GALVANIZED AS PER ASTM A653 GRADE 90.  
 ANCHOR TUBE - 2"x1/4"x2-1/4x1/8  
 HEAVY DUTY ANCHOR TUBE SHALL MEET ASTM A505 GRADE B. STRUCTURAL TUBE AND STEEL SHALL BE HOT DIP GALVANIZED PER ASTM A123.  
 THE UPPER SIGN POST SHALL TELESCOPE INSIDE THE ANCHOR TUBE A MINIMUM OF 12". THE ANCHOR TUBE SHALL BE A MINIMUM 27" DEEP WITH 3" MIN. 4" MAX. EXPOSED ABOVE FINISH GRADE.



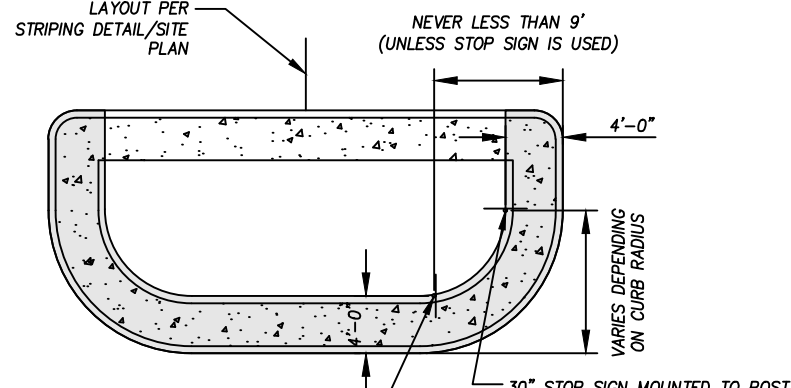
PAINTED ENDCAP - 60°  
 SIGN LOCATIONS - 60° PARKING



PAINTED ENDCAP - 90°  
 SIGN LOCATIONS - 90° PARKING



CURBED ISLAND - 60°  
 SIGN LOCATIONS - 60° PARKING



CURBED ISLAND - 90°  
 SIGN LOCATIONS - 90° PARKING

PICKUP SIGN MOUNTING AND BASE  
 SCALE: N.T.S. ①

**STIPULATION FOR REUSE:**  
 THESE DRAWINGS AND INFORMATION ARE THE PROPERTY OF BRR ARCHITECTURE, INC. AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OF THESE DRAWINGS OR INFORMATION FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF BRR ARCHITECTURE, INC. IS STRICTLY PROHIBITED. ANY REUSE OF THESE DRAWINGS OR INFORMATION FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF BRR ARCHITECTURE, INC. SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO BRR ARCHITECTURE, INC.

**CONSULTANTS**  
**Kimley-Horn**  
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
 1000 B STREET, SUITE 1000  
 OVERLAND PARK, KS 66204  
 PHONE: 913-241-4400  
 WWW.KIMLEY-HORN.COM

**Walmart**  
 VISALIA, CA  
 1320 N DEWAREE STREET  
 STORE NO. 9335  
 JOB NUMBER: 094658570 | PHOTO: 208 SC

2022 SPRB-R

ISSUE BLOCK		
PR #1	DATE	DESCRIPTION
	08/24/22	

CHECKED BY: JG  
 DRAWN BY: KMJ  
 PROTO CYCLE: 04/28/2022  
 DOCUMENT DATE: 04/28/2022



3/16/2022 1:57:55 AM  
 C:\Users\jpratt\Documents\Drawings\_CAD\2022\_BRR\BRR\_KH\_VIS\_VISALIA\VISALIA\_CAD.dwg

# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website ([www.visalia.city](http://www.visalia.city)) or by calling (559) 713-4440-



This application **MUST** be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on **Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present** -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Mooney & 264 Overall Layout Date: 10/12/2022

Project Description: \_\_\_\_\_

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: \_\_\_\_\_

Property Owner: John F. George Enterprise & Donna J Family Revocable Trust

Applicant(s) Name: Cris George

Project Address/Location: Near the Northeast corner of Mooney Blvd. and Ave. 264

Assessor Parcel Number: 126-340-016, 126-340-017, 126-340-018, 126-340-019, 126-340-024, 126-340-025, 126-340-011

Parcel Size (Acreage or Square Feet): \_\_\_\_\_ Building or Suite Square Footage: \_\_\_\_\_

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ \_\_\_\_\_

Describe All Proposed Building Modifications: \_\_\_\_\_

No proposed building modifications.

- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received: 10/13/2022

SPR Agenda: 10/19/22 Item No. \_\_\_\_\_

Zone: C-MU SPR No. 22-166

Historic District: Yes  No

Flood Zone:  AE  X/AE

- - **A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS** - -

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: N/A

Proposed Building Use: \_\_\_\_\_

Proposed Hours of Operation: \_\_\_\_\_

Days of Week In Operation (Circle):      Su   M   T   W   Th   F   Sa

Number of Employees Per Day:                      Existing      \_\_\_\_\_      Proposed      \_\_\_\_\_

Number of Customers Per Day (Estimated):      Existing      \_\_\_\_\_      Proposed      \_\_\_\_\_

Predicted Peak Operating Hour: \_\_\_\_\_

Describe Any Truck Delivery Schedule & Operations: \_\_\_\_\_

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): \_\_\_\_\_

Describe Any Special Events Planned for the Facility: \_\_\_\_\_



**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ➔ Submit a digital copy of the site plan, site plan completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ➔ Digital copies must be clear legible and a 11" x 17" layout sized appropriately to convey all necessary project information.
- ➔ Site plan shall provide for and indicate all of the following:
  - North arrow
  - Existing & proposed structures
  - Loading/unloading areas
  - All existing & proposed site features
  - Adjacent street names
  - Accessible path of travel from right of way
  - Site dimensions including building
  - Refuse enclosures & containers
  - Accessible path of travel from ADA stall
  - Existing and proposed fencing at site
  - Valley oak trees (show drip line)
  - Location and width of drive approaches to site
  - Public improvements (curbs, sidewalks)
  - Existing & proposed landscaping
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
  - Utility poles, hydrants, street lights, etc.
  - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Chris George Signature of Owner or Authorized Agent\* \_\_\_\_\_

Address: 315 E. Tulare Ave \_\_\_\_\_

City, State, Zip: Visalia, CA 93277 Owner \_\_\_\_\_ Date \_\_\_\_\_

Phone: 559-651-1788 \_\_\_\_\_

Email: margie@olive.pw.com Authorized Agent\* \_\_\_\_\_ Date \_\_\_\_\_

\* If signed by an authorized agent, the "Agent Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:

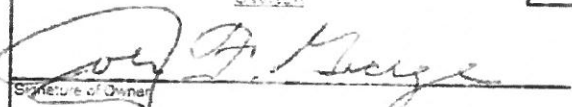

I, John F. George declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN) 126-340-016, 126-340-017, 126-340-018, 126-340-019, 126-340-024, 126-340-025, 126-340-011

AGENT:

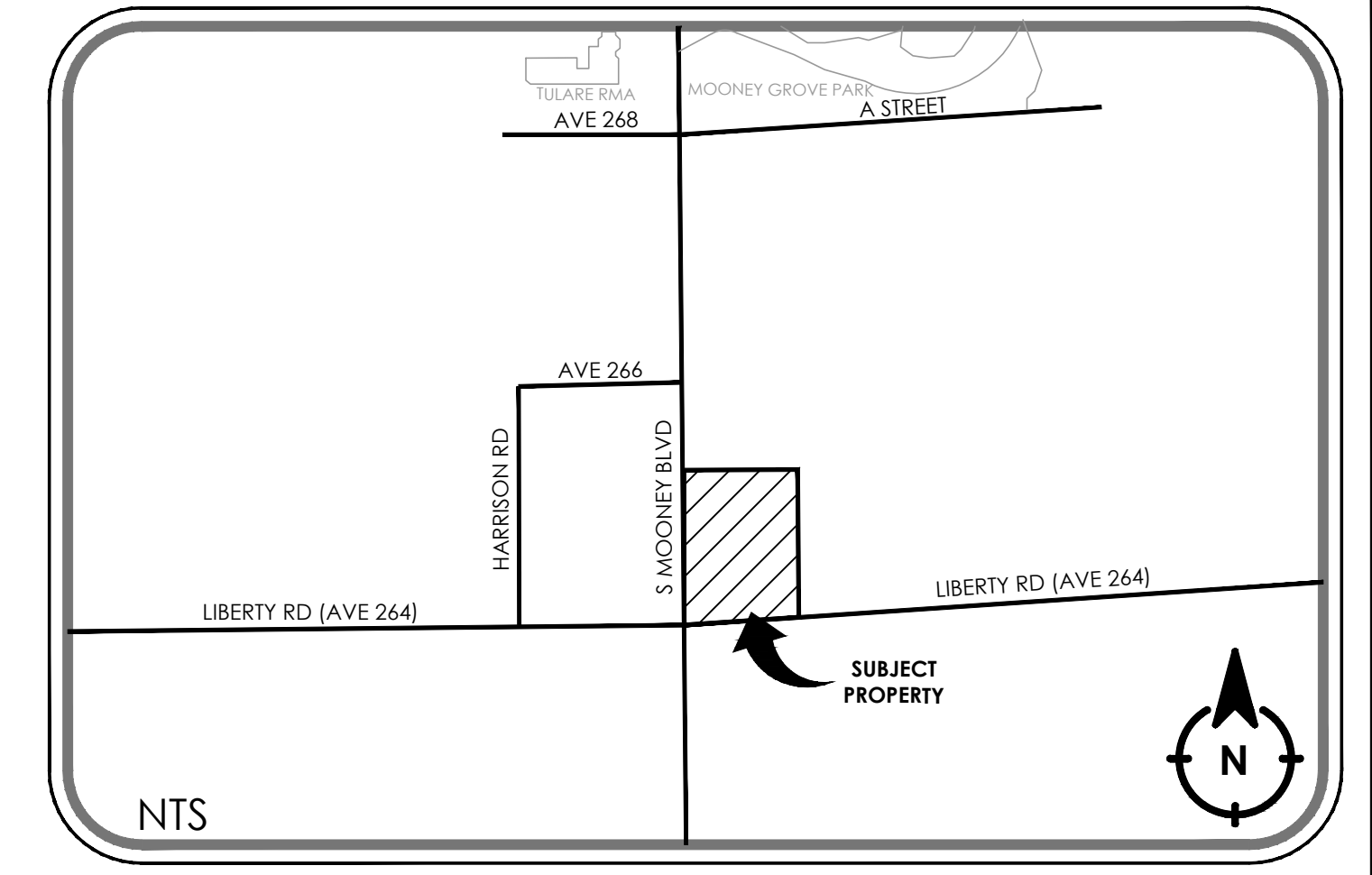
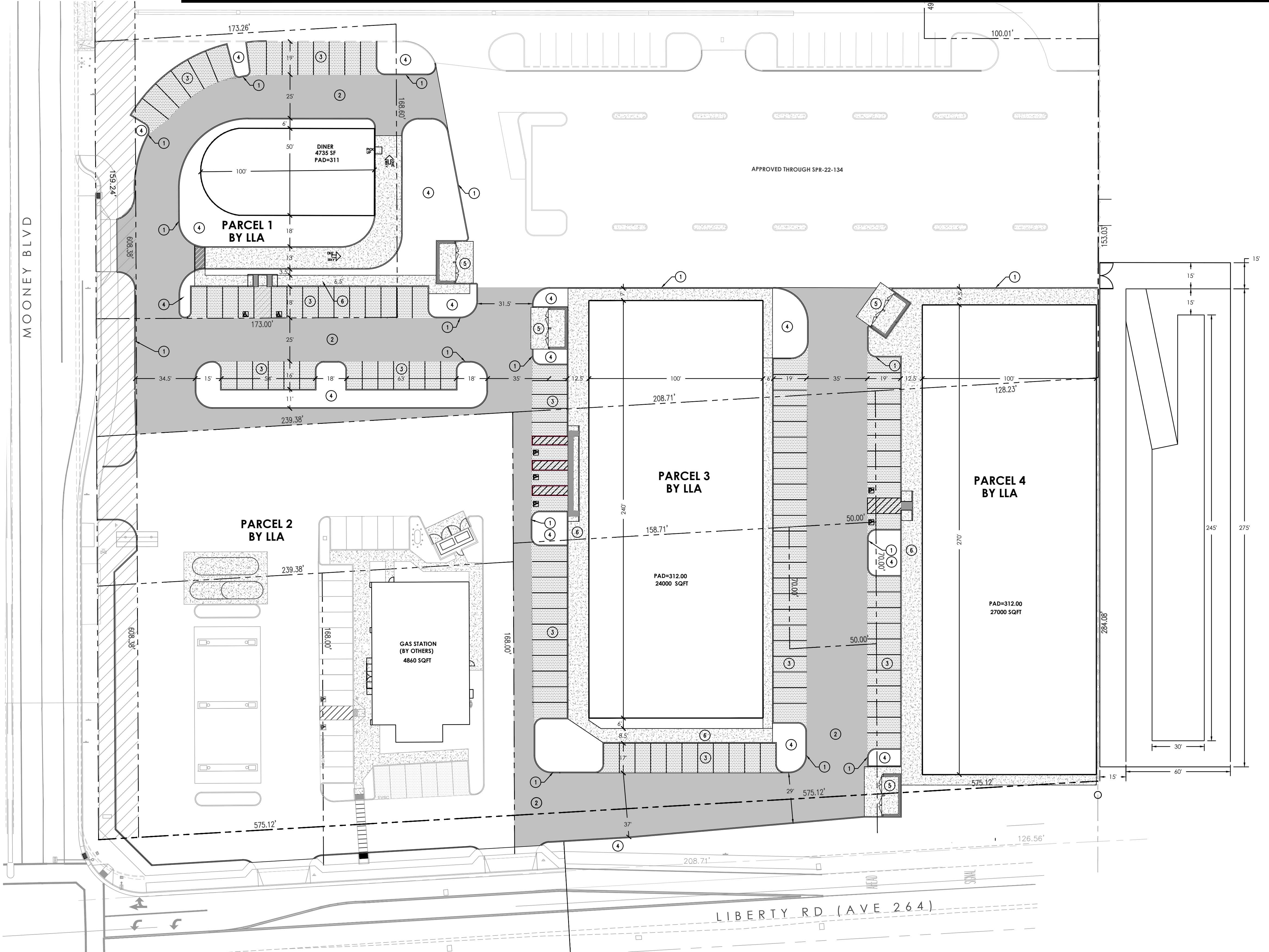
I designate Ken Wilans to act as my duly authorized agent for all purposes necessary to file an application for and obtain a permit to Site Plan Review relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_.

OWNER	AGENT
Signatures	Signatures
	
Signature of Owner	Signature of Agent
<u>315 E. Tulare Ave</u>	<u>147 N. Carl Dr.</u>
Owner Mailing Address	Agent Mailing Address
<u>Visalia, CA 93277</u>	<u>Visalia, CA 93291</u>
<u>559-651-1788</u>	<u>559-679-0773</u>
Owner Phone Number	Agent Phone Number

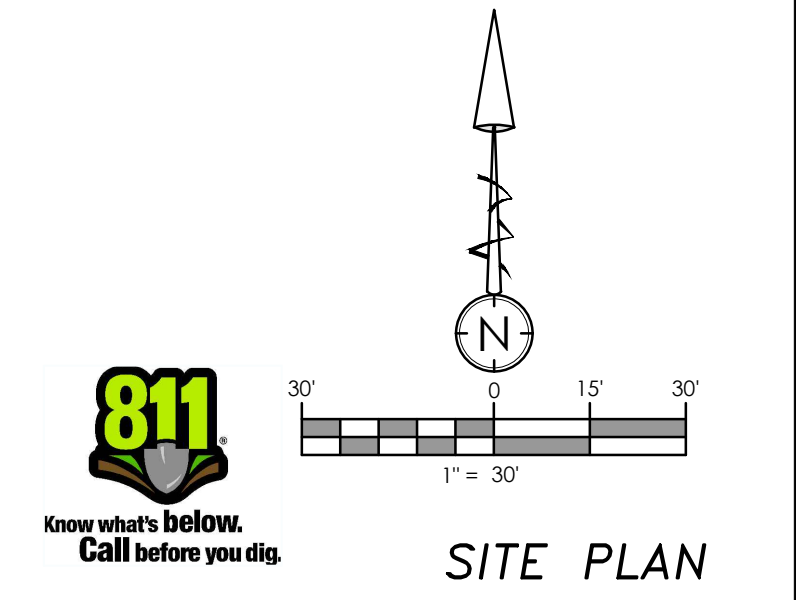
MATCHLINE: SEE SHEET C2 FOR CONTINUATION



**LEGEND**

ASPHALT	AC	EXISTING GAS	(GAS)
ADJACENT GRADE	AG	EXISTING SEWER	(SS)
BUILDING	BLDG	EXISTING STORMDRAIN	(SD)
CONCRETE	C	EXISTING WATER	(W)
CROWN OF ROAD	CRN	EXISTING FENCE	(FENCE)
DRIVE APPROACH	DA	LIGHT DUTY ASPHALT	(Dotted)
DRAIN INLET	DI	SEE DETAIL A THIS SHEET	
EXISTING GRADE	EG	HEAVY DUTY ASPHALT	(Solid)
EDGE OF PAVEMENT	EP	SEE DETAIL B THIS SHEET	
FLOW LINE	FL	WORK SUBMITTED WITH SEPARATE CITY PERMIT	(Hatched)
FINISH FLOOR	FF	CONCRETE	(Cross-hatched)
FENCE	FNC		
LIP OF CURB	LIP		
MANHOLE	MH		
SIDEWALK	SW		
TOP OF CURB	TC		
WATER VALVE	WV		
BACKFLOW PREVENTER	(Symbol)	<b>BASIN CALCULATIONS</b>	
CLEANOUT	(Symbol)	VOLUME REQUIRED = 1.61 AC FT	
DRAIN INLET	(Symbol)	VOLUME PROVIDED = 2.77 AC FT	
HANDICAP SYMBOL	(Symbol)	DEPTH = 6"	
STORM DRAIN MANHOLE	(Symbol)	<b>AREA</b>	
SANITARY SEWER MANHOLE	(Symbol)	SGFT = 149729	
WATER VALVE	(Symbol)	ACRES = 3.43	
EXISTING ELEVATION	(XXX.XX)	<b>PARKING</b>	
PROPOSED ELEVATION	XXX.XX	OVERALL NEW PARKING = 120 PARKING SPACES TOTAL	
		STANDARD = 113	
		STANDARD ADA = 7	

- KEYNOTES**
- INSTALL NEW CURB ONLY PER CITY STANDARD DETAIL C-8
  - INSTALL NEW HEAVY DUTY PAVEMENT
  - INSTALL NEW LIGHT DUTY PAVEMENT
  - LANDSCAPING BY OTHERS
  - INSTALL TRASH ENCLOSURE PER CITY OF VISALIA STANDARD R-3
  - INSTALL SIDEWALK PER CITY OF VISALIA STANDARD C-11



REVISIONS	REV. BY	DATE

APPROVED  
 Jesse Allen Williams R.C.E. 64742

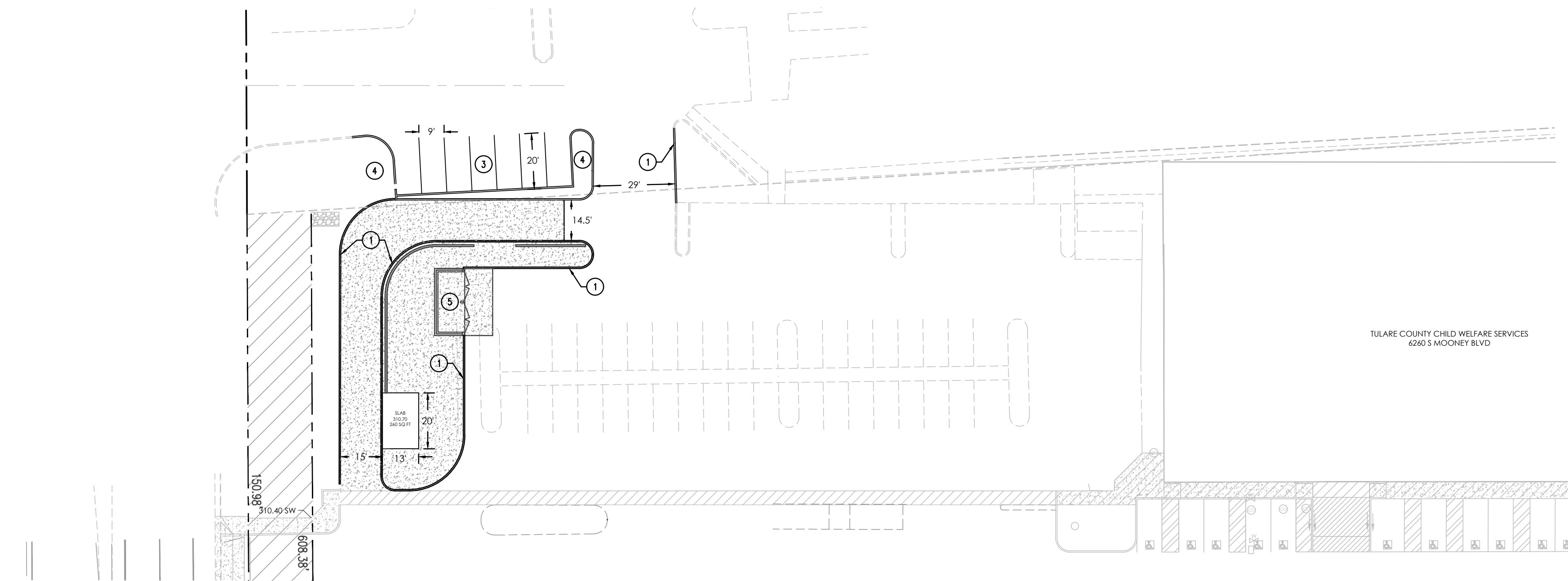
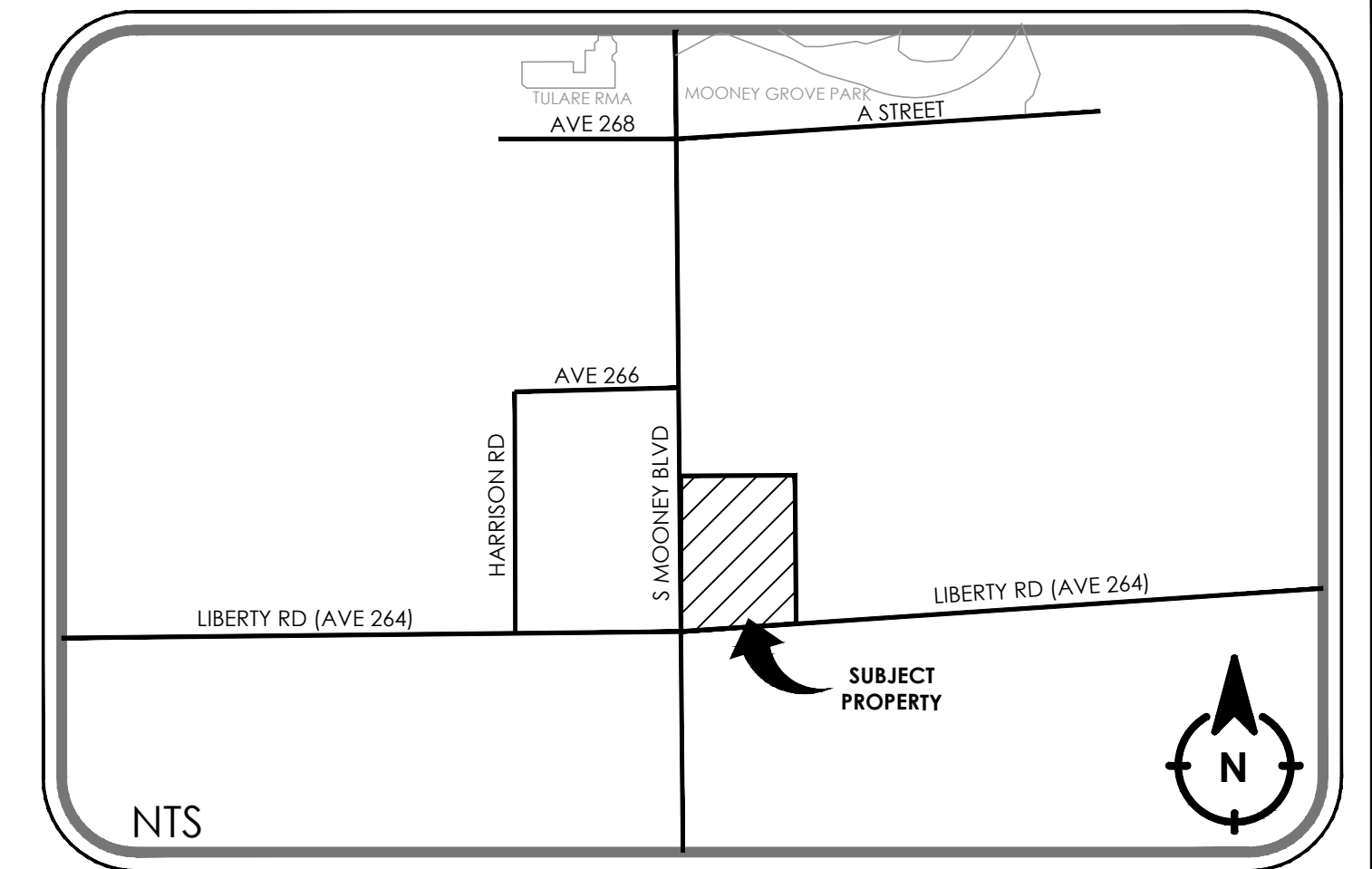
**AWEngineering**  
 801 W ACEQUIA AVENUE  
 VISALIA CA 93291  
 (559) 713-6139

**MOONEY RETAIL**  
 MIXED USE COMMERCIAL

SCALE: 1" = 30'  
 JOB #: 21021  
 DRAWN BY: R.J.Y.  
 FLOOD ZONE: "X"  
**C1**  
 SHEET

0: 1/14/2023 10:02:00 AM Job: 21021 - Mooney Retail - 10 - 21021.dwg





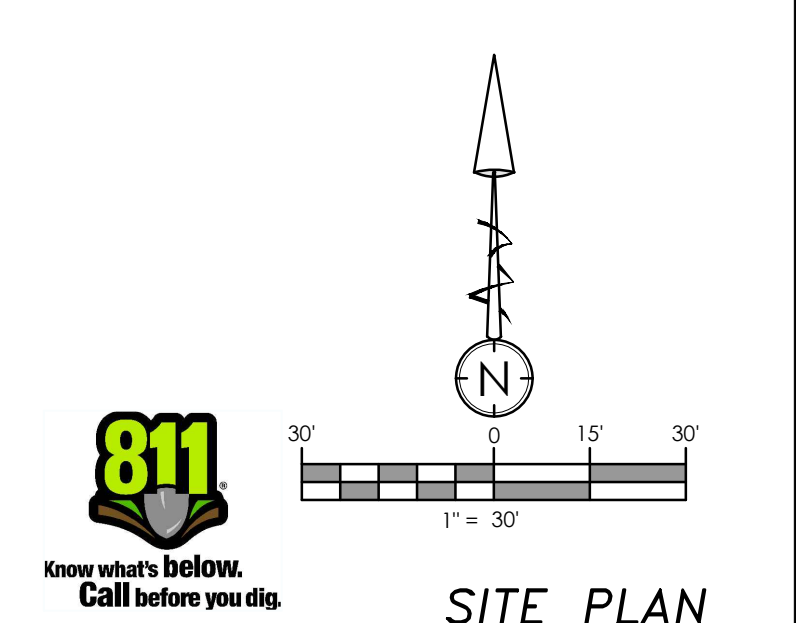
MATCHLINE: SEE SHEET C1 FOR CONTINUATION

LEGEND

ASPHALT	AC	EXISTING GAS	(GAS)
ADJACENT GRADE	AG	EXISTING SEWER	(SS)
BUILDING	BLDG	EXISTING STORMDRAIN	(SD)
CONCRETE	C	EXISTING WATER	(W)
CROWN OF ROAD	CRN	EXISTING FENCE	—○—○—○—
DRIVE APPROACH	DA	LIGHT DUTY ASPHALT	[Pattern]
DRAIN INLET	DI	SEE DETAIL A THIS SHEET	
EXISTING GRADE	EG	HEAVY DUTY ASPHALT	[Pattern]
EDGE OF PAVEMENT	EP	SEE DETAIL B THIS SHEET	
FLOW LINE	FL	WORK SUBMITTED WITH	[Pattern]
FINISH FLOOR	FF	SEPARATE CITY PERMIT	[Pattern]
FENCE	FNC	CONCRETE	[Pattern]
LIP OF CURB	LIP		
MANHOLE	MH		
SIDEWALK	SW		
TOP OF CURB	TC		
WATER VALVE	WV		
BACKFLOW PREVENTER	○		
CLEANOUT	⊙		
DRAIN INLET	⊙		
HANDICAP SYMBOL	♿		
STORM DRAIN MANHOLE	⊙		
SANITARY SEWER MANHOLE	⊙		
WATER VALVE	⊙		
EXISTING ELEVATION	XXXX.XX		
PROPOSED ELEVATION	XXXX.XX		
		AREA	
		SGFT = 163160	
		ACRES = 3.75	
		PARKING	
		OVERALL NEW PARKING = 127 PARKING SPACES TOTAL	
		STANDARD = 120	
		STANDARD ADA = 7	

KEYNOTES

- 1 INSTALL NEW CURB ONLY PER CITY STANDARD DETAIL C-8
- 2 INSTALL NEW HEAVY DUTY PAVEMENT
- 3 INSTALL NEW LIGHT DUTY PAVEMENT
- 4 LANDSCAPING BY OTHERS
- 5 INSTALL TRASH ENCLOSURE PER CITY OF VISALIA STANDARD R-3
- 6 INSTALL SIDEWALK PER CITY OF VISALIA STANDARD C-11

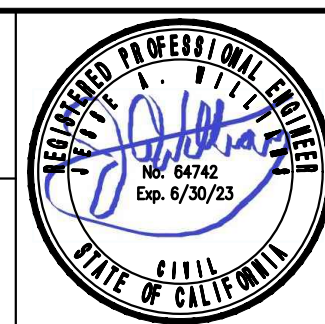


REVISIONS

REV. BY	DATE	DESCRIPTION

APPROVED

Jesse Allen Williams R.C.E. 64742



AWEngineering

801 W ACEQUIA AVENUE  
VISALIA CA 93291  
(559) 713-6139

MOONEY RETAIL  
MIXED USE COMMERCIAL



SITE PLAN

SCALE:  
1" = 30'

JOB #: 21021  
DRAWN BY: RJY

FLOOD ZONE:  
"X"

C2  
SHEET



# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application **MUST** be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Walmart Neighborhood Market Store #5635 Date: 10/10/22  
 Project Description: Replacing precast screenwall caps near the bale and pallet storage, constructing new stoop at new exterior surface mounted slider door, removing/replacing existing bollards, restriping the existing six (6) pickup parking stalls and adding two (2) new pickup parking stalls (this will result in the loss of four (4) typical parking stalls, restriping stop signs and handicap stalls in the parking lot, installing new truncated domes where we are removing/replacing bollards, removing/replacing a section of the existing sidewalk for ADA compliance, exterior maintenance paint, and exterior signage updates.  
 Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: N/A  
 Property Owner: Walmart Real Estate Business Trust  
 Applicant(s) Name: Teresa Jones, BRR Architecture, Inc.  
 Project Address/Location: 1320 N Demaree Street, Visalia, CA 93291  
 Assessor Parcel Number: 0 8 9 4 9 0 0 3 0  
 Parcel Size (Acreage or Square Feet): 150,491 sf Unchanged Building or Suite Square Footage: 41,179 sf Existing  
15,000 sf Remodel Area

Are There Any Proposed Building Modifications: Yes  No   
 Estimated Cost of Modifications to Building: \$                                   
 Describe All Proposed Building Modifications: No building modifications.  
Exterior of the building is being painted and the existing exterior wall signs are being removed/replaced.

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 10/10/2022  
 SPR Agenda: 10/19/22 Item No.                                   
 Zone: CA SPR No. 22-165  
 Historic District: Yes  No   
 Flood Zone: X  AE  X/AE

**-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --**

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Retail Store  
 Proposed Building Use: No change.  
 Proposed Hours of Operation: Unchanged  
 Days of Week In Operation (Circle): Su M T W Th F Sa  
 Number of Employees Per Day: Existing Unchanged Proposed Unchanged  
 Number of Customers Per Day (Estimated): Existing Unchanged Proposed Unchanged  
 Predicted Peak Operating Hour: Unchanged  
 Describe Any Truck Delivery Schedule & Operations: This project will not result in any changes to the current delivery schedule or operations at this existing store.  
 Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): No change to traffic patterns at this existing store.  
 Describe Any Special Events Planned for the Facility: N/A




**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
  - North arrow
  - All existing & proposed site features
  - Site dimensions, including building
  - Existing and proposed fencing at site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed structures
  - Adjacent street names
  - Refuse enclosures & containers
  - Valley oak trees (show drip line)
  - Existing & proposed landscaping
  - Parking stalls (include ADA)
  - Loading/unloading areas
  - Accessible path of travel from right of way
  - Accessible path of travel from ADA stall
  - Location and width of drive approaches to site
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Teresa Jones  
BRR Architecture, Inc.      Signature of Owner or Authorized Agent\*       10/10/22

Address: 8131 Metcalf Avenue, Suite 300      Taylor Reamer, Sr. Project Manager      Date  
City, State, Zip Overland Park, KS 66204      on behalf of Walmart Real Estate Business Trust

Phone: (913) 236-3371      Teresa Jones      10/10/22  
Email: teresa.jones@brrarch.com      Authorized Agent      Date  
Digitally signed by Teresa Jones  
DN: cn=Teresa Jones, o=BRR Architecture, Inc., ou=BRR Architecture, Inc., email=teresa.jones@brrarch.com, c=US  
Reason: I am the author of this document  
Date: 2022.10.10 09:08:19 -0500

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

**OWNER:**  
Taylor Reamer on behalf of  
I, Walmart Real Estate Business Trust, declare as follows; I am the owner of certain real property bearing assessor's  
parcel number (APN):  
089-490-030

**AGENT:**  
I designate BRR Architecture, Inc., to act as my duly authorized agent for all purposes necessary to file  
an application for, and obtain a permit to make upgrades to site for ADA compliance and pickup service  
relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.  
Executed this 10th day of October, 2022.

<u>OWNER</u>	<u>AGENT</u>
<u></u>	<u>Teresa Jones</u>
Signature of Owner	Signature of Agent
<u>2608 SE J Street, Bentonville, AR 72716</u>	<u>8131 Metcalf Avenue, Suite 300</u>
Owner Mailing Address	Agent Mailing Address
<u>(479) 445-8409</u>	<u>(913) 236-3371</u>
Owner Phone Number	Agent Phone Number