

# SITE PLAN REVIEW AGENDA

7/27/2022 - 9:00 A.M.

Conference Room #4

315 E. Acequia Avenue

## ITEM NO: 1 Resubmit

SITE PLAN NO: SPR22063

PROJECT TITLE: Demaree Apartments

DESCRIPTION: This is a 228 Unit, 30 DU/AC, 100% Affordable, Multi-family Residential Project. (O-P/ R-M-3)

APPLICANT:

OWNER: DAVIS KAP SU (TR)

DAVIS KAP(SURV TR OF DAVIS FAM TR)

DAVIS KAP SU (TR)(FAM REV TR)

APN: 077660022

077660024

077660021

LOCATION: 1311 N DEMAREE ST

## ITEM NO: 2 Resubmit

SITE PLAN NO: SPR22110

PROJECT TITLE: Sweet Ave Main Home and ADU (lot split)

DESCRIPTION: Split Existing Single Family Lot into Two Lots (6058 sf and 5268 sf) to develop into a Single Family Two-Story Home of 1658 sf with an Attached ADU of 1075 sf

APPLICANT: Victor Huerta

OWNER: NUNEZ VICTOR MANUEL HUERTA

APN: 091072018

LOCATION: 1241 E SWEET AVE

## ITEM NO: 3

SITE PLAN NO: SPR22124

PROJECT TITLE: Lady's Chicken and Rice

DESCRIPTION: New 1597 sf Drive-thru and Walk-up Restaurant with New Parking Lot/Layout. (C-MU)

APPLICANT: Bounleuk and Jimmy Thongseng

OWNER: THONGSENG JIMMY & BOUNLEUK Y

APN: 094130049

LOCATION: Corner of E. Houston Ave & N. Santa Fe St

## ITEM NO: 4

SITE PLAN NO: SPR22125

PROJECT TITLE: Novaesthetix, LLC

DESCRIPTION: No Planned Project

APPLICANT: Arlene Robles

OWNER: PACHECO BENJAMIN A

APN: 123240009

LOCATION: 350 W CALDWELL AVE

## ITEM NO: 5

SITE PLAN NO: SPR22126

PROJECT TITLE: Lot Split in Half Per SB9

DESCRIPTION: Split a lot in Half, Per SB9. Currently, Lot is Completely Vacant with no Buildings, Utilities or Sidewalks.

APPLICANT: Feliciano & Patricia Haro

OWNER: SULLIVAN DIANA LIN

AFTER REVIEW OF REGULAR AGENDA ITEMS, THE COMMITTEE WILL BE AVAILABLE TO REVIEW OFF-AGENDA ITEMS FOR INFORMAL REVIEW. THE COMMITTEE WILL BE AVAILABLE TO ANSWER QUESTIONS AT THAT TIME.

# **SITE PLAN REVIEW AGENDA**

**7/27/2022 - 9:00 A.M.**

**Conference Room #4**

**315 E. Acequia Avenue**

APN: 123340066

LOCATION: 1239 E K AVE

## **ITEM NO: 6**

SITE PLAN NO: SPR22127

PROJECT TITLE: A New Adult Daycare Facility

DESCRIPTION: A New 25,000 SF All-inclusive Care for the Elderly (D-MU)

APPLICANT: Eric McConnaughey

OWNER: CUSENZA FAMILY LIMITED PARTNERSHIP N

APN: 094250039

094250038

LOCATION: 500 E SCHOOL AVE

**AFTER REVIEW OF REGULAR AGENDA ITEMS, THE COMMITTEE WILL BE AVAILABLE TO REVIEW OFF-AGENDA ITEMS FOR INFORMAL REVIEW. THE COMMITTEE WILL BE AVAILABLE TO ANSWER QUESTIONS AT THAT TIME.**

# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website ([www.visalia.city](http://www.visalia.city)) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -  
 - Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Demaree Apartments Date: ~~07/22/22~~ 07/21/2022

Project Description: This is a 243 unit, 31.88 DU/AC, 100% affordable, multi-family family residential project.

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Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: 22-063

Property Owner: Kap Su Davis, Trustee

Applicant(s) Name: Maracor Development, Inc.

Project Address/Location: Southwest corner of Houston Avenue and Demaree Street.

Assessor Parcel Number: 0 7 7 - 6 6 0 - 0 2 1

Parcel Size (Acreage or Square Feet): 7.6 Acres Building or Suite Square Footage: \_\_\_\_\_

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ 0

Describe All Proposed Building Modifications: None

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- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received: 07/21/2022

SPR Agenda: 07/27/2022 Item No. \_\_\_\_\_

O-P/ R-M-3

Zone: \_\_\_\_\_ SPR No. 22-063

Historic District: Yes  No

Flood Zone: X  AE  X/AE

- - **A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS** - -

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Vacant

Proposed Building Use: Multi-family residential

Proposed Hours of Operation: 24 hrs.

Days of Week In Operation (Circle):    Su   M   T   W   Th   F   Sa

Number of Employees Per Day:                      Existing 0                      Proposed 3 to 5

Number of Customers Per Day (Estimated):    Existing 0                      Proposed 0

Predicted Peak Operating Hour: 7:00 am & 6:00 pm

Describe Any Truck Delivery Schedule & Operations: Light duty Amazon, UPS, USPS, etc.

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Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees  
 (Provide Separate Attachment if Necessary): Main entrance on Houston and secondary on existing Connely Ave.

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Describe Any Special Events Planned for the Facility: N/A

**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
  - North arrow
  - All existing & proposed site features
  - Site dimensions, including building
  - Existing and proposed fencing at site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed structures
  - Adjacent street names
  - Refuse enclosures & containers
  - Valley oak trees (show drip line)
  - Existing & proposed landscaping
  - Parking stalls (include ADA)
  - Loading/unloading areas
  - Accessible path of travel from right of way
  - Accessible path of travel from ADA stall
  - Location and width of drive approaches to site
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Maracor Development, Inc. Signature of Owner or Authorized Agent\*

Address: 61 Moraga Way, Ste. 4

City, State, Zip Orinda, CA. 94563 Owner \_\_\_\_\_ Date \_\_\_\_\_

Phone: 925-389-6836   Date 4/19/22

Email: chawke@maracordev.com Authorized Agent \_\_\_\_\_ Date \_\_\_\_\_

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:

I, Kap Su Davis, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

077-660-021, 022 & 024

AGENT:

I designate Maracor Development, Inc. to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to develop this 228 unit multi-family residential project relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

OWNER	Signatures	AGENT
Signature of Owner	<input checked="" type="checkbox"/>	<u></u>
<u>410 N. Powell Crt.</u>		Signature of Agent
Owner Mailing Address		<u>61 Moraga Way, Ste. 4</u>
<u>Visalia, CA. 93291</u>		Agent Mailing Address
		<u>Orinda, CA. 94563</u>
<u>559-827-7567</u>		<u>925-389-6836</u>
Owner Phone Number		Agent Phone Number

**Demaree Apartments**  
**Visalia, CA**  
**June 8, 2022**

## **Statement of Design Intent**

### **Summary**

The Demaree Apartments are a 100% Affordable Apartment project. There are 243 units made up of 1-, 2-, and 3-bedroom apartments arranged in 18,24,30, and 33 unit, 3 story walk-up style apartment buildings on the approximate 7.6 acre site.

### **Affordability**

The Demaree Apartments is a 100% affordable project with the following affordable components:

- (24) units at 30% AMI
- (48) units at 50% AMI
- (108) units at 60% AMI
- (60) units at 80% AMI

The project also has 3 unrestricted manager's units

### **Site Design**

The primary site entry is from North Demaree Street, and we are providing a secondary access to Houston Avenue. The Community Building for the site is aligned with the primary entry point to the site and is combined with the Central Green of the project, which includes the Community Building, Pool, and Children's Play Area.

Parking is evenly distributed throughout the interior of the site. There are carports distributed evenly across the site to provide at least one covered parking space per unit.

Trash collection locations are also evenly distributed in 9 locations across the site.

The site will be illuminated by 20' LED shielded light standards in the open parking areas, and by LED down lighting within the carport areas.

### **Building Design**

The buildings are comprised of 1-, 2- and 3-bedroom units ranging from 600 to 1,118 sf. The units are arranged around stair and corridor circulation elements into the various building types. Each unit has a substantial private deck or patio for private open space, and the decks and patios include additional private storage space. The buildings are 3 stories tall. The community Building is approximately 6,600 sf and includes entertainment areas, an exercise room and yoga room, offices for management and leasing, restrooms and storage.

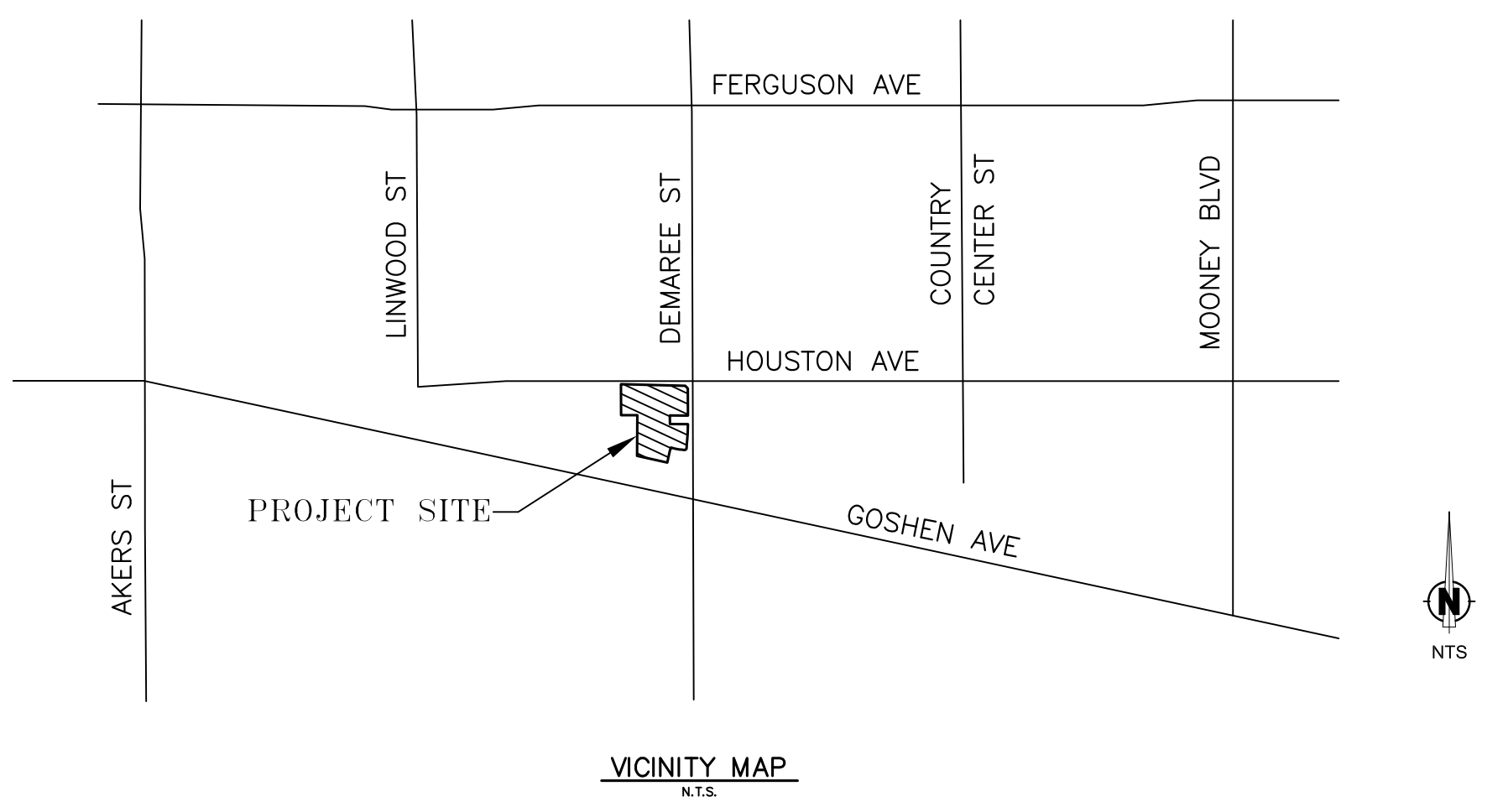
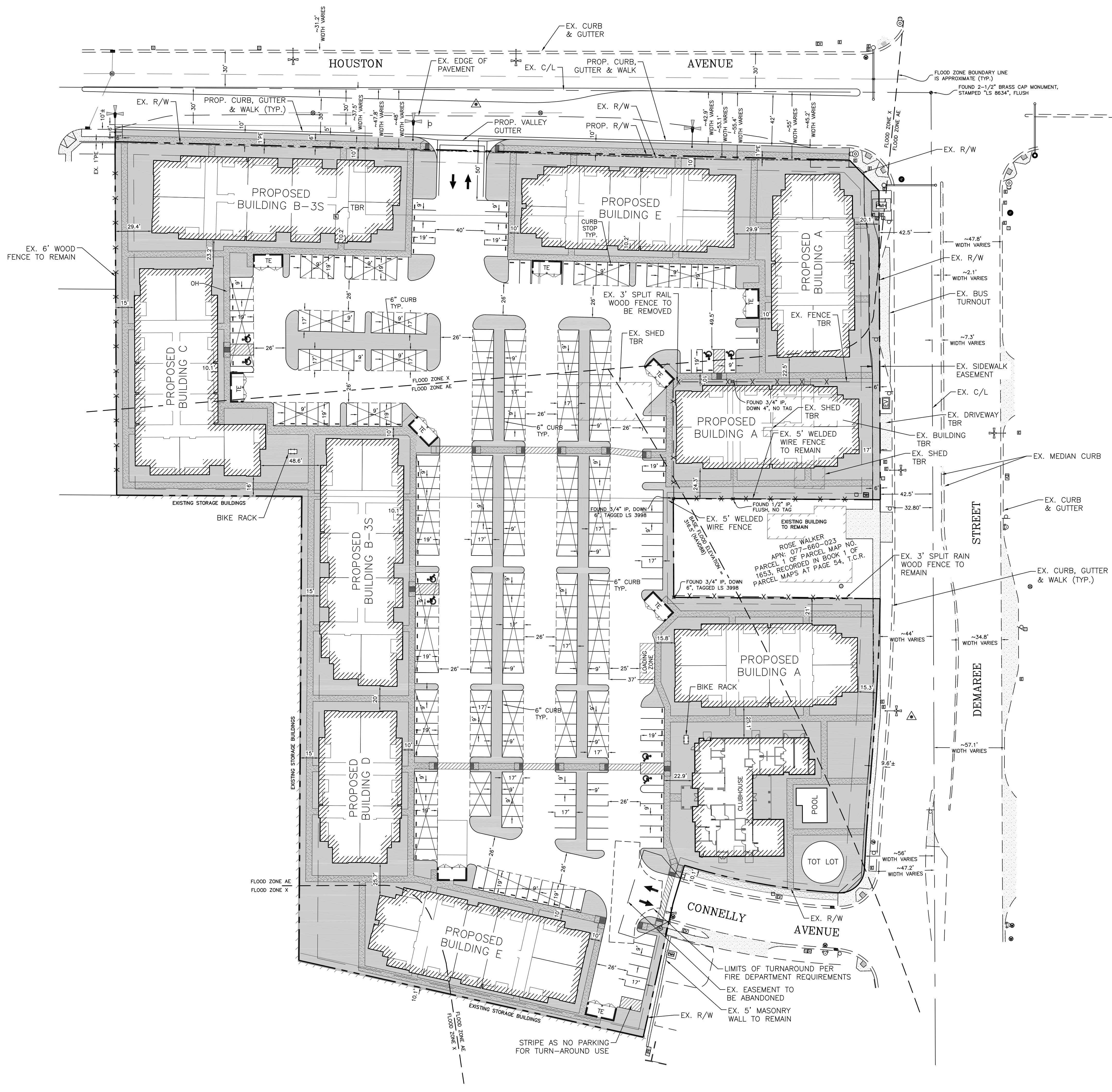
### **Exterior Elevations**

The buildings are elevated in a contemporary style. The units are individually articulated within the overall building form. Shed roof forms and parapet roof forms create a rhythm of varied heights at the edge of the facade while still allowing a main sloped roof form to allow for the best configuration for solar roof panels. The elevational articulation is enhanced by the building colors and materials. Window patterns also enhance these effects. Horizontal patio privacy screens and deck railings create a consistent visual element on the buildings. Deep recesses, varied elevation planes and metal canopies provide shade and shadow relief on the building facade.

All air conditioner condensers are screened from view and there is no mechanical equipment on the roofs. There will be solar panels on the roofs.

The exterior materials are noted on the exterior elevation sheet A7, and the color and materials sheet A10 for the Community Building .

The Community Building is elevated in a contemporary style to be consistent with the apartment buildings. It is a single-story building with parapet and hipped roof forms. The exterior plaster walls are articulated with control joints to accentuate the window patterns and details and colors enhance the building form. Metal canopies and deep front and rear porches add visual depth to the building elevations.



**EXISTING BUILDINGS**  
EXISTING BUILDINGS TO BE REMOVED

**EXISTING TREES**  
EXISTING TREES TO BE REMOVED

**EXISTING GENERAL PLAN LAND USE**  
RURAL RESIDENTIAL, LOW-DENSITY RESIDENTIAL

**EXISTING ZONING**  
R-M-3 & O-PA

**PROPOSED ZONING**  
R-M-3 & O-PA

**SOURCE OF WATER**  
CITY OF VISALIA

**SOURCE OF SEWAGE DISPOSAL**  
CITY OF VISALIA

**SOURCE OF WASTE DISPOSAL**  
CITY OF VISALIA

**SOURCE OF ELECTRICITY**  
PG&E

**SOURCE OF DATA**  
RECORD INFORMATION

**SOURCE OF GAS**  
SOUTHERN CALIFORNIA EDISON

**SOURCE OF CABLE T.V.**  
COMCAST

**SOURCE OF TELEPHONE**  
AT&T

**ASSESSOR'S PARCEL NUMBER**  
077-660-021, 077-660-022, 077-660-024

**SITE AREA**  
7.6 AC. (GROSS & NET)

**DENSITY**  
243 UNITS  
31.88 UNITS PER ACRE

**OPEN SPACE**  
16,553 SF REQUIRED  
113,692 SF PROPOSED  
32,228 SF PORCHES & DECKS  
145,920 SF TOTAL PROVIDED (44% OF SITE AREA)

■ = PROPOSED OPEN SPACE

**PARKING**  
REQUIRED:  
365 RESIDENT STALLS  
61 GUEST STALLS  
425 REQUIRED STALLS (1.5 SP/UNIT RESIDENT;  
0.25 SP/UNIT GUEST)

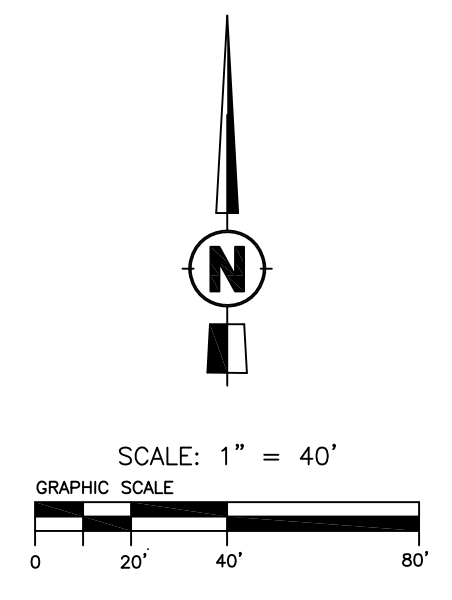
PROPOSED:  
243 COVERED STALLS (CARPORTS)  
72 OPEN STALLS  
8 ACCESSIBLE STALLS  
323 PROPOSED STALLS

**NOTES:**

- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEERING PRIOR TO OCCUPANCY.
- ANY SURVEY MONUMENT WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OF LICENSED SURVEYOR.
- TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATION WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS. ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICE ALERT (USA). CALL 1-800-642-2444.
- TWO MEANS OF INGRESS/EGRESS MUST BE MAINTAINED DURING ALL PHASES OF DEVELOPMENT.
- PROJECT TO EXTEND SEWER AND STORM MAINS AS REQUIRED BY CITY ENGINEER AND PER CITY MASTER PLANS.
- PUBLIC STREET IMPROVEMENTS SHALL INCLUDE, BUT MAY NOT BE LIMITED TO, SIDEWALKS, PARKWAY LANDSCAPING, CURBS AND GUTTER, STREET LIGHTING, UTILITY RELOCATIONS, DRIVE APPROACHES, PAVEMENT, AND SIGNAGE AND STRIPING.
- ALL BACKFLOW AND FIRE APPARATUS SHALL BE INSTALLED ONSITE AND NOT IN THE PUBLIC RIGHT-OF-WAY.
- THIS AREA IS WITHIN FLOODZONE 'X' AND 'AE'

**LEGEND:**

- PE PROPOSED PEDESTRIAN EASEMENT NOW DEDICATED FOR PUBLIC USE
- OH 2' PARKING OVERHANG SETBACK
- TE TRASH ENCLOSURE
- △ INDICATES STREETS PREVIOUSLY DEDICATED FOR PUBLIC USE
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- PROPOSED CARPORT
- TBR TO BE REMOVED
- EX. BACK FLOW PREVENTER
- EX. WATER METER
- EX. STORM DRAIN GRATE
- EX. GAS VALVE
- EX. MAILBOX
- EX. STORM DRAIN MANHOLE
- EX. WATER VALVE
- EX. SANITARY SEWER MANHOLE
- EX. STREET LIGHT
- EX. FIRE HYDRANT
- EX. ELECTRIC BOX
- EX. TELEPHONE BOX
- EX. TELEPHONE MANHOLE
- EX. TRAFFIC SIGNAL POLE
- EX. TRAFFIC LIGHT POLE
- EX. SIGN
- EX. ELECTRIC VAULT
- EX. FENCE AS NOTED
- EX. STORM DRAIN MANHOLE
- EX. UNDERGROUND TELEPHONE LINE
- HANDICAP STALL



<b>SITE PLAN REVIEW</b>							
OWNER <b>Kap Su Davis, Trustee</b> 418 N. POWELL CT. VISALIA, CA 93291							
<b>Harbour &amp; Associates</b> Civil Engineers 389 Clovis Avenue, Suite 300 • Clovis, California 93612 (559) 325-7976 • Fax (559) 325-7959 • e-mail: hba@harbour-engineering.com	REVISIONS <table border="1"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>						
DATE: 7-21-22 SCALE: 1" = 40' DRAWN BY: SDH	SHEET NO. <table border="1"> <tr><td>1</td></tr> <tr><td>OF</td></tr> <tr><td>1</td></tr> </table>	1	OF	1			
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**SITE PLAN KEY NOTES**

- (A) RED PAINTED CURB - NO PARKING
- (B) BIKE RACK 1 - 12 SPACES
- (C) BIKE RACK 2 - 12 SPACES
- (D) CARPORT, TYP.
- (E) STRIPE AS "NO PARKING"
- (F) LOADING ZONE

- BUILDINGS
- CLUBHOUSE
- COVERED PARKING
- TRASH ENCLOSURE

**PROJECT DATA**

Jurisdiction	Visalia, CA	
Existing Zoning	OPA - Professional / Admin. Office	
Proposed Zoning	R-M-3	
Gross Land Area (Including Easements and Dedications)	331,999 S.F.	7.62 ACRES
Net Land Area (Not Including Easements and Dedications)	331,999 S.F.	7.62 ACRES
<b>Total Units Proposed</b>	<b>243</b>	
Density Proposed (DU/AC.)	31.88	
Density Proposed per Net Acre (DU/AC.)	31.88	

**LOT COVERAGE**

BUILDING FOOTPRINT PROPOSED						
	Bldg. A 24 Units 3 STORY	Bldg. B 30 Units 3 STORY	Bldg. C 33 Units 3 STORY	Bldg. D 18 Units 3 STORY	Clubhouse with Laundry Building	Total
Footprint (sf)	6,370	8,813	8,650	5,170	6634	
Count	3	2	1	1	1	
<b>Total</b>	<b>19,110</b>	<b>17,626</b>	<b>8,650</b>	<b>5,170</b>	<b>6634</b>	
Footprint (sf)	7,570					
Count	2					10
<b>Total</b>	<b>15,140</b>					<b>72,330 S.F.</b>
<b>Lot Area</b>						<b>331,999 S.F.</b>
<b>Lot Coverage Proposed (With Easements)</b>						<b>22%</b>

**SITE DATA**

OPEN SPACE CALCULATIONS	
Open Space - S.F.	103,150 S.F.
Porches & Decks - S.F. (5'-0" x 8'-0" min.)	32,228 S.F.
Total open area - S.F.	<b>135,378 S.F.</b>
Open area ratio proposed	41%
Open space required 5% of Site	16,600
Parking lot area	<b>134,417 S.F.</b>
Parking lot landscape area required - 10% of parking lot	13,442 S.F.
Parking lot landscape area provided	<b>22,388 S.F.</b>
Parking lot landscape area ratio proposed	17%

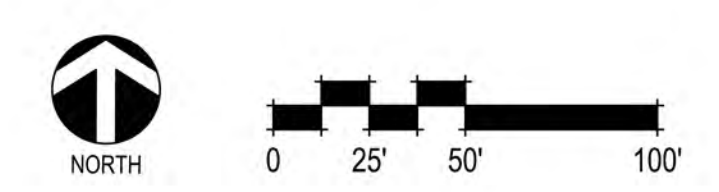
SETBACKS AND HEIGHTS		
Zoning Setbacks	OPA - Professional / Admin. Office	R-M-3
FRONT	N/A	15'-0"
SIDE	N/A	5'-0"
REAR	N/A	15'-0"
Building Height Limit	N/A	4 STORIES - 45'-0"

PARKING SUMMARY		
Standard Stalls		315
Compact Stalls	96.9	0
Accessible Stalls		8
<b>Total Proposed</b>		<b>323</b>
<b>Total Required</b>	1.5 SPACES PER UNIT RESIDENT	365
	0.25 SPACES PER UNIT GUEST	61
		<b>425</b>
Covered Parking		243

PROJECT SUMMARY				
1BED	U1	600 S.F.	108	44.44%
	U2A	848 S.F.	30	29.63%
2 BED	U2B	867 S.F.	42	
	U3	1,118 S.F.	60	25.93%
3 BED	U3A	1,118 S.F.	3	
	<b>TOTALS UNITS</b>		<b>243</b>	<b>100%</b>

RENTABLE UNIT TOTAL				
1BED	U1	600 S.F.	108	45.00%
	U2A	848 S.F.	30	30.00%
2 BED	U2B	867 S.F.	42	
	U3	1,118 S.F.	57	25.00%
3 BED	U3A	1,118 S.F.	3	
	<b>TOTALS RENTAL UNITS</b>		<b>240</b>	<b>100%</b>

MANAGERS UNIT				
3 BED	U3	1,118	3	1%
	<b>TOTALS MANAGER UNITS</b>		<b>3</b>	<b>1%</b>



399.220 TPC DEMAREE APARTMENTS  
 Visalia, CA  
 July 15, 2022

SITE PLAN  
 TS

FLOOR AREA PROPOSED (Private Balcony area & Garages Excluded)						
	Bldg. A 24 Units 3 STORY	Bldg. B 30 Units 3 STORY	Bldg. C 33 Units 3 STORY	Bldg. D 18 Units 3 STORY	Clubhouse with Laundry Building	Total
Level 1	6,370	8,813	8,650	5,170	6634	
Level 2	6,370	8,813	8,650	5,170	0	
Level 3	6,370	8,813	8,650	5,170	0	
Building Floor Area	19,110	26,439	25,950	15,510	6634	
Total Floor Area (sf)	<b>57,330</b>	<b>52,878</b>	<b>25,950</b>	<b>15,510</b>	<b>6634</b>	
	Bldg. E 30 Units 3 STORY					Total
Level 1	7,570					
Level 2	7,570					
Level 3	7,570					
Building Floor Area	22,710					
Total Floor Area (sf)	<b>45,420</b>					
<b>Total Gross Floor Area Proposed</b>						<b>203,722 S.F.</b>
<b>Floor Area Ratio Proposed (With Easements)</b>						<b>0.61</b>

PORCHES & DECKS			
	1st FLOOR	2nd FLOOR	3rd FLOOR
U1	142 S.F.	142 S.F.	114 S.F.
U2A	143 S.F.	143 S.F.	82 S.F.
U2B	120 S.F.	120 S.F.	78 S.F.
U3	160 S.F.	160 S.F.	146 S.F.
U3A	160 S.F.	160 S.F.	128 S.F.
			TOTAL
BUILDING A	1,128 S.F.	1,128 S.F.	904 S.F.
BUILDING B	1,456 S.F.	1,456 S.F.	1,072 S.F.
BUILDING C	1,618 S.F.	1,618 S.F.	1,268 S.F.
BUILDING D	844 S.F.	844 S.F.	676 S.F.
BUILDING E	1,412 S.F.	1,412 S.F.	1,132 S.F.

ADDITIONAL BUILDING	
CLUBHOUSE with LAUNDRY	6,634 S.F.

BUILDING TYPE SUMMARY							
BUILDING TYPE	UNIT TYPE	UNIT	UNITS PER FLOOR	BUILDING UNIT TOTALS	BUILDING TOTALS	SITE UNIT TOTALS	UNIT %
<b>A</b> 24 UNITS 3 STORY	1 BED	U1	4	12	3	36	50%
	2 BED	U2A	0	0		0	0%
		U2B	2	6		18	25%
	3 BED	U3	2	6		18	25%
		U3A	0	0		0	0%
<b>TOTALS</b>			<b>8</b>	<b>24</b>	<b>72</b>	<b>100%</b>	

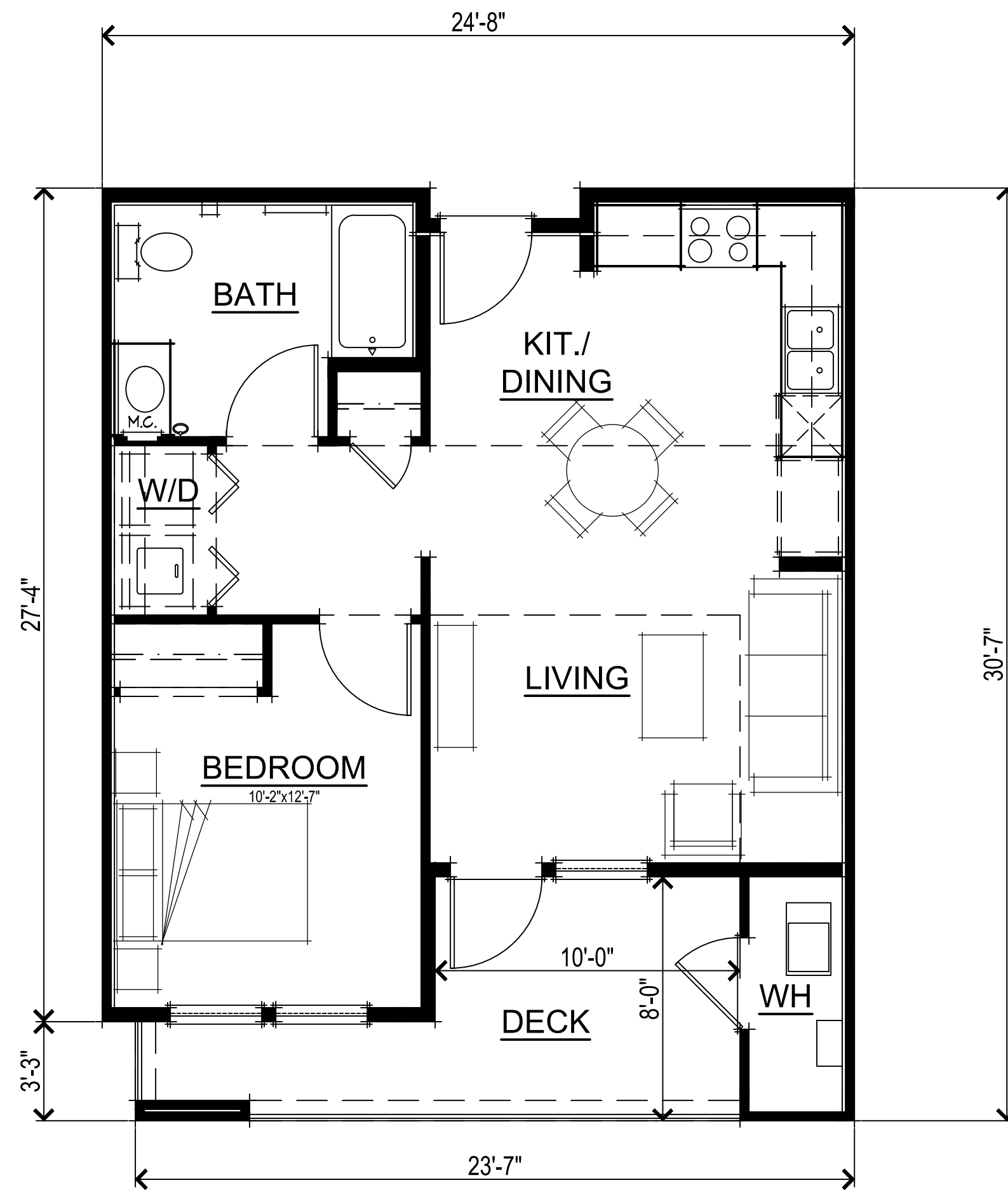
<b>B</b> 30 UNITS 3 STORY	1 BED	U1	2	6	2	12	20%
	2 BED	U2A	4	12		24	40%
		U2B	1	3		6	10%
	3 BED	U3	3	9		18	30%
		U3A	0	0		0	0%
<b>TOTALS</b>			<b>10</b>	<b>30</b>	<b>60</b>	<b>100%</b>	

<b>C</b> 33 UNITS 3 STORY	1 BED	U1	6	18	1	18	55%
	2 BED	U2A	2	6		6	18%
		U2B	0	0		0	0%
	3 BED	U3	2	6		6	18%
		U3A	1	3		3	9%
<b>TOTALS</b>			<b>11</b>	<b>33</b>	<b>33</b>	<b>100%</b>	

<b>D</b> 18 UNITS 3 STORY	1 BED	U1	2	6	1	6	33%
	2 BED	U2A	0	0		0	0%
		U2B	2	6		6	33%
	3 BED	U3	2	6		6	33%
		U3A	0	0		0	0%
<b>TOTALS</b>			<b>6</b>	<b>18</b>	<b>18</b>	<b>100%</b>	

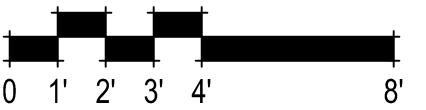
<b>E</b> 30 UNITS 3 STORY	1 BED	U1	6	18	2	36	60%
	2 BED	U2A	0	0		0	0%
		U2B	2	6		12	20%
	3 BED	U3	2	6		12	20%
		U3A	0	0		0	0%
<b>TOTALS</b>			<b>10</b>	<b>30</b>	<b>60</b>	<b>100%</b>	



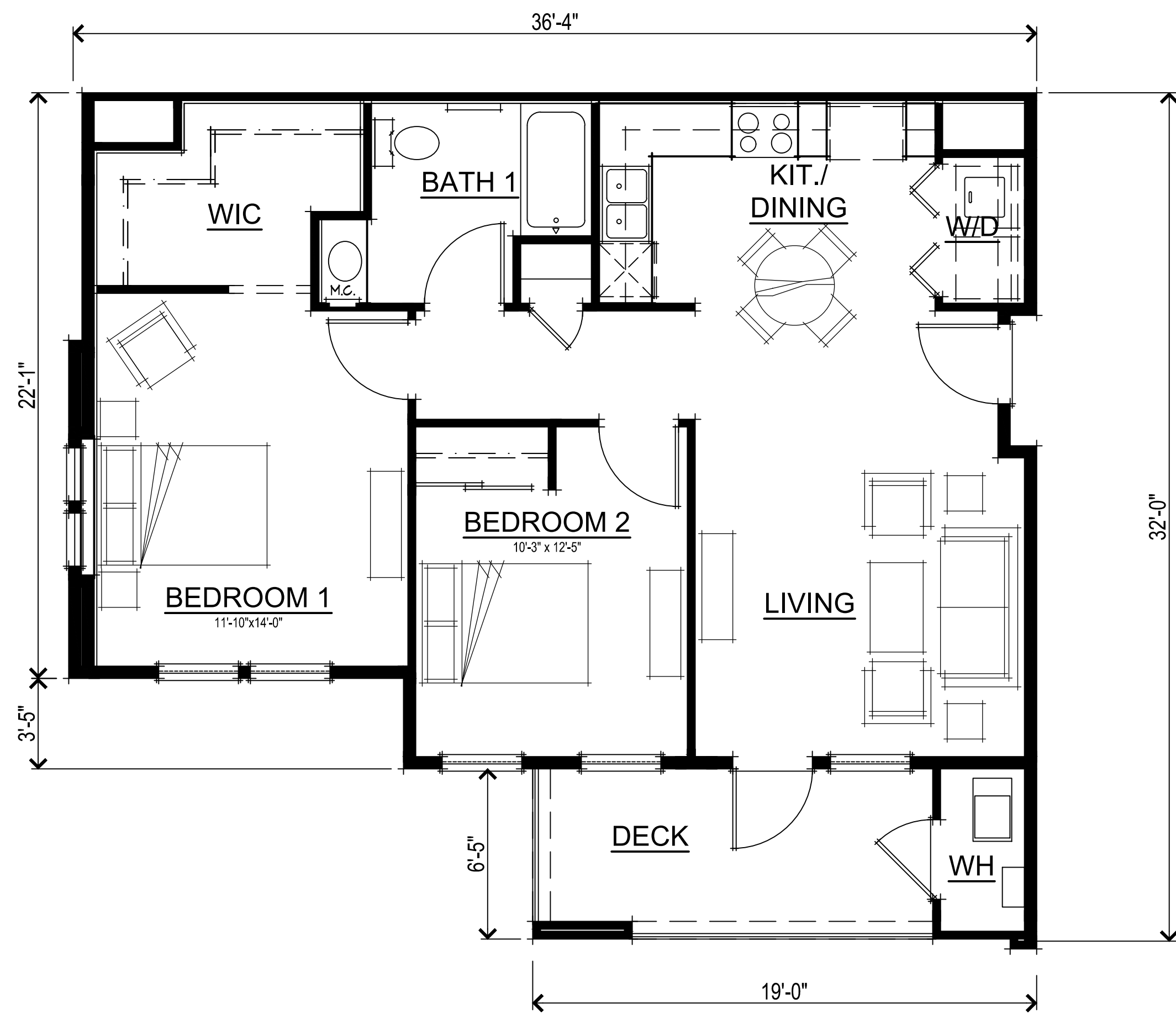


FLOOR PLAN - UNIT 1

UNIT 1 SQUARE FOOTAGE	
NET LIVING	564 SQ. FT.
GROSS LIVING	600 SQ. FT.



UNIT 1 FLOOR PLAN  
A1



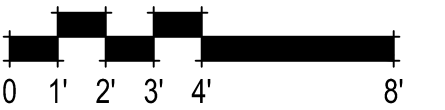
FLOOR PLAN - UNIT 2B

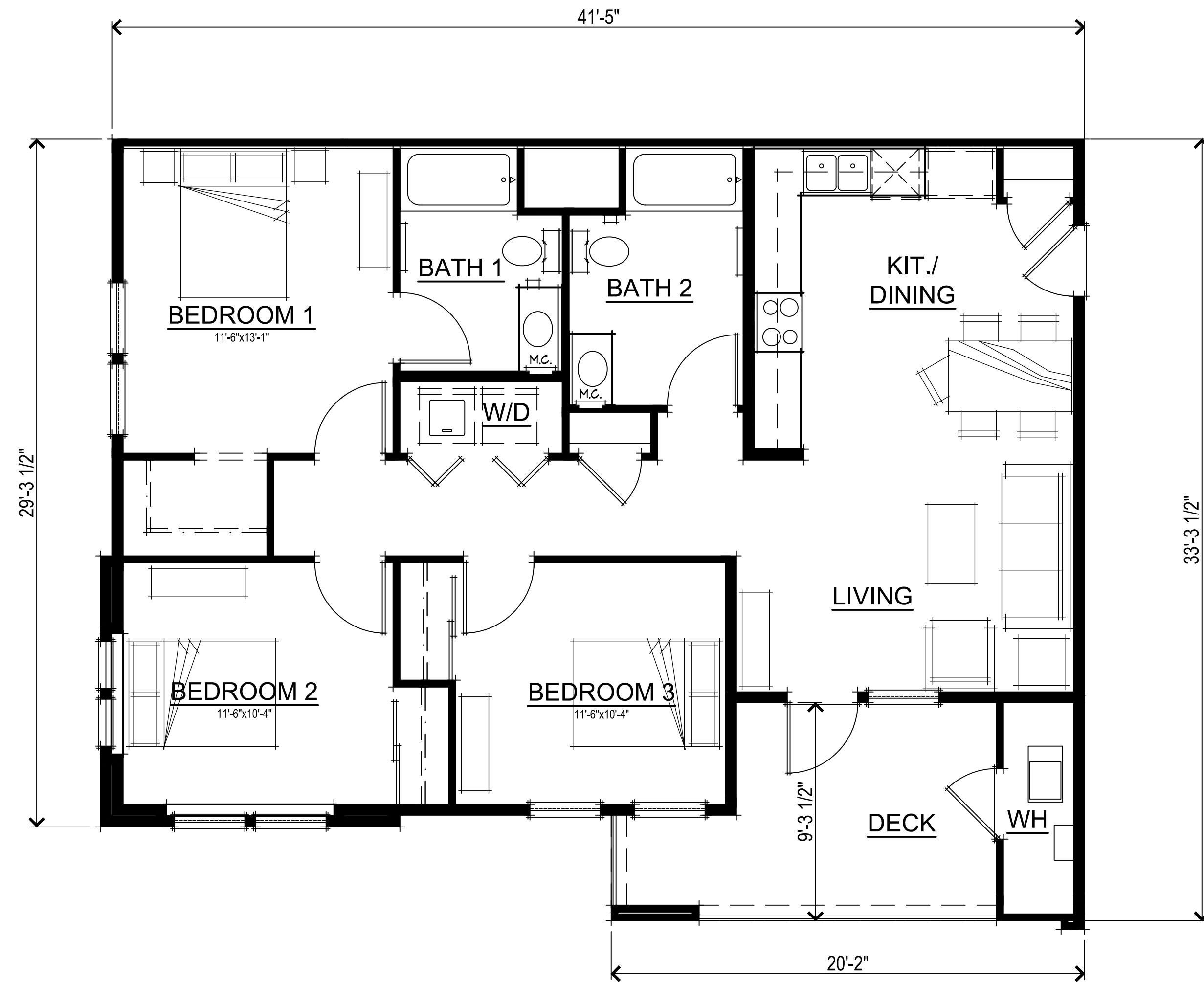
UNIT 2B SQUARE FOOTAGE	
NET LIVING	821 SQ. FT.
GROSS LIVING	867 SQ. FT.



FLOOR PLAN - UNIT 2A

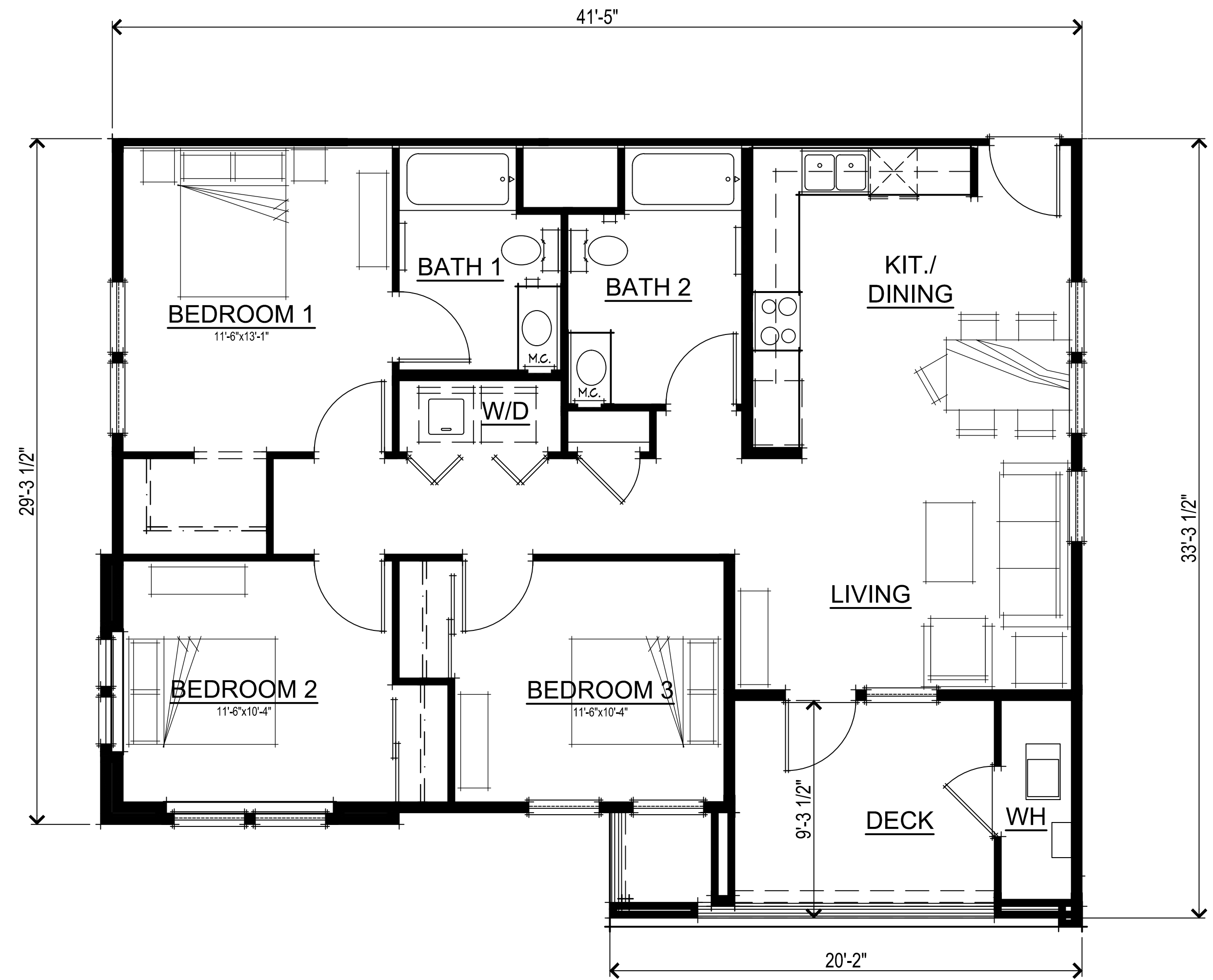
UNIT 2A SQUARE FOOTAGE	
NET LIVING	810 SQ. FT.
GROSS LIVING	848 SQ. FT.





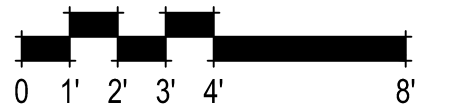
FLOOR PLAN - UNIT 3

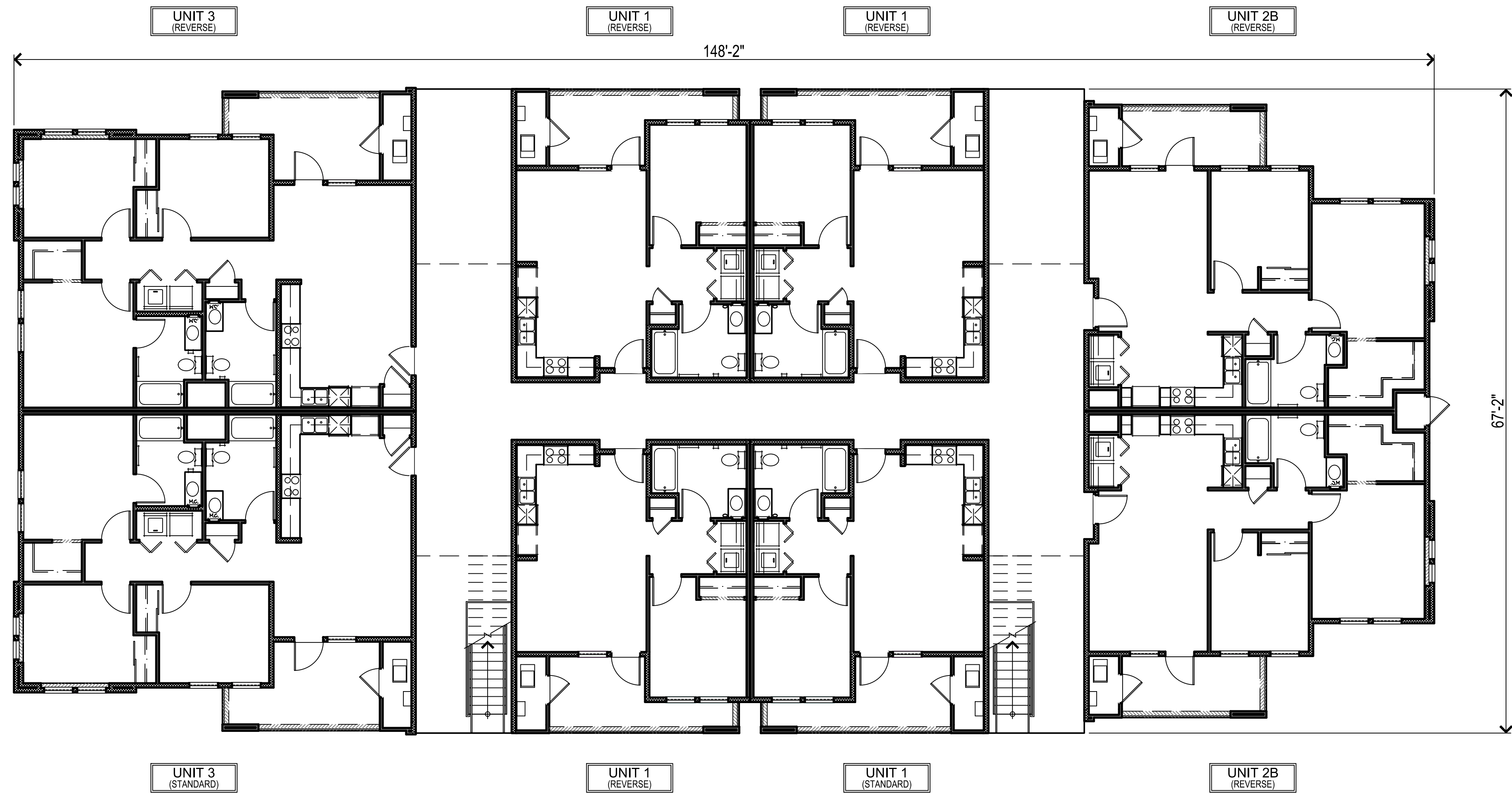
UNIT 3 SQUARE FOOTAGE	
NET LIVING	1065 SQ. FT.
GROSS LIVING	1118 SQ. FT.



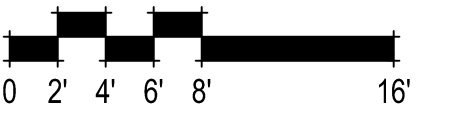
FLOOR PLAN - UNIT 3A

UNIT 3A SQUARE FOOTAGE	
NET LIVING	1065 SQ. FT.
GROSS LIVING	1118 SQ. FT.





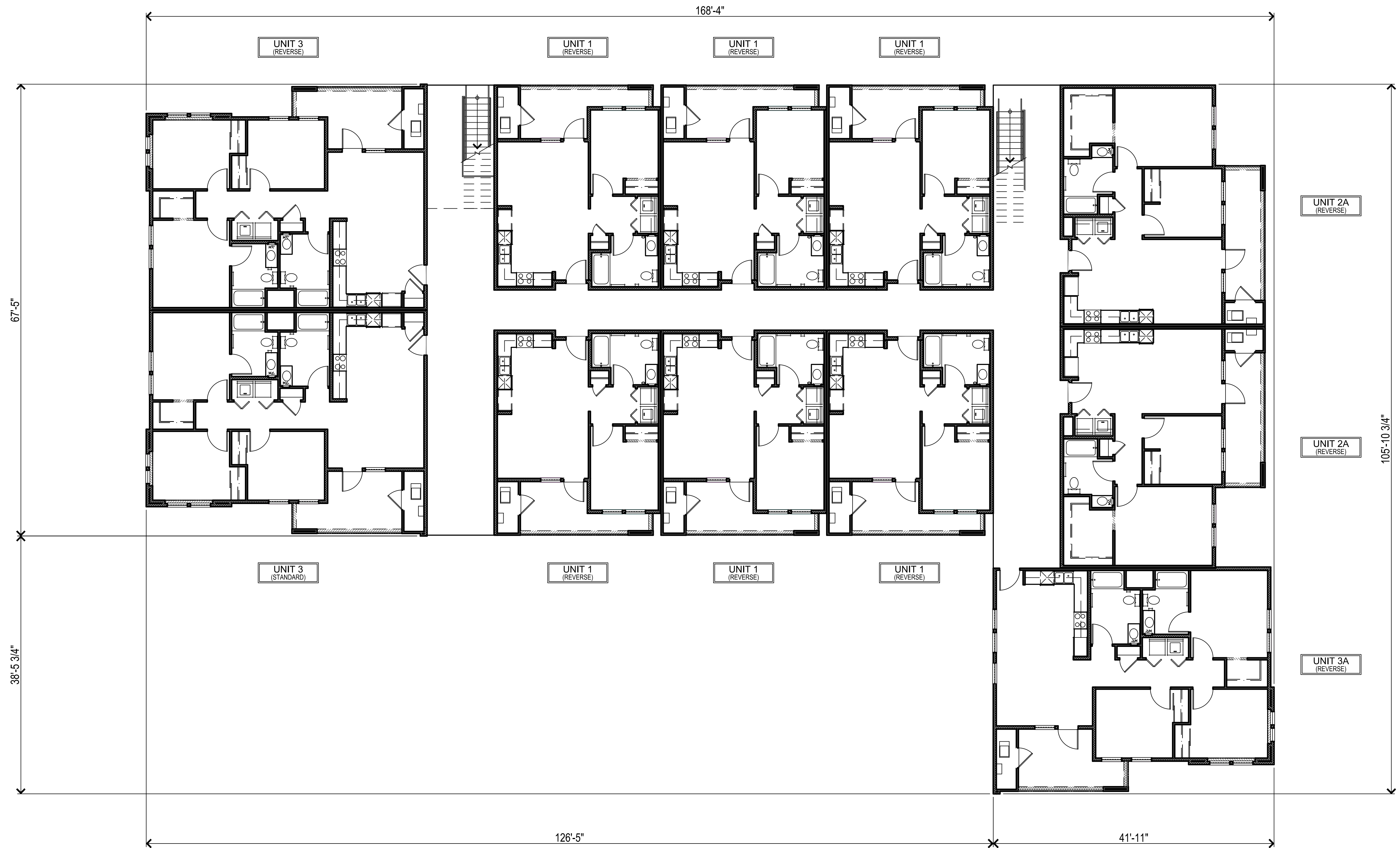
BUILDING TYPE A (24 UNIT BLDG) - TYPICAL FLOOR PLAN



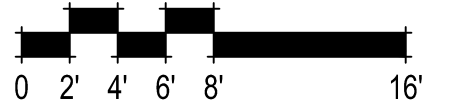


BUILDING TYPE B (30 UNIT BLDG) - TYPICAL FLOOR PLAN





BUILDING TYPE C (33 UNIT BLDG) - TYPICAL FLOOR PLAN





UNIT 3  
1,118 SF

UNIT 3  
1,118 SF

LEFT ELEVATION



UNIT 2B  
867 SF

UNIT 2B  
867 SF

RIGHT ELEVATION



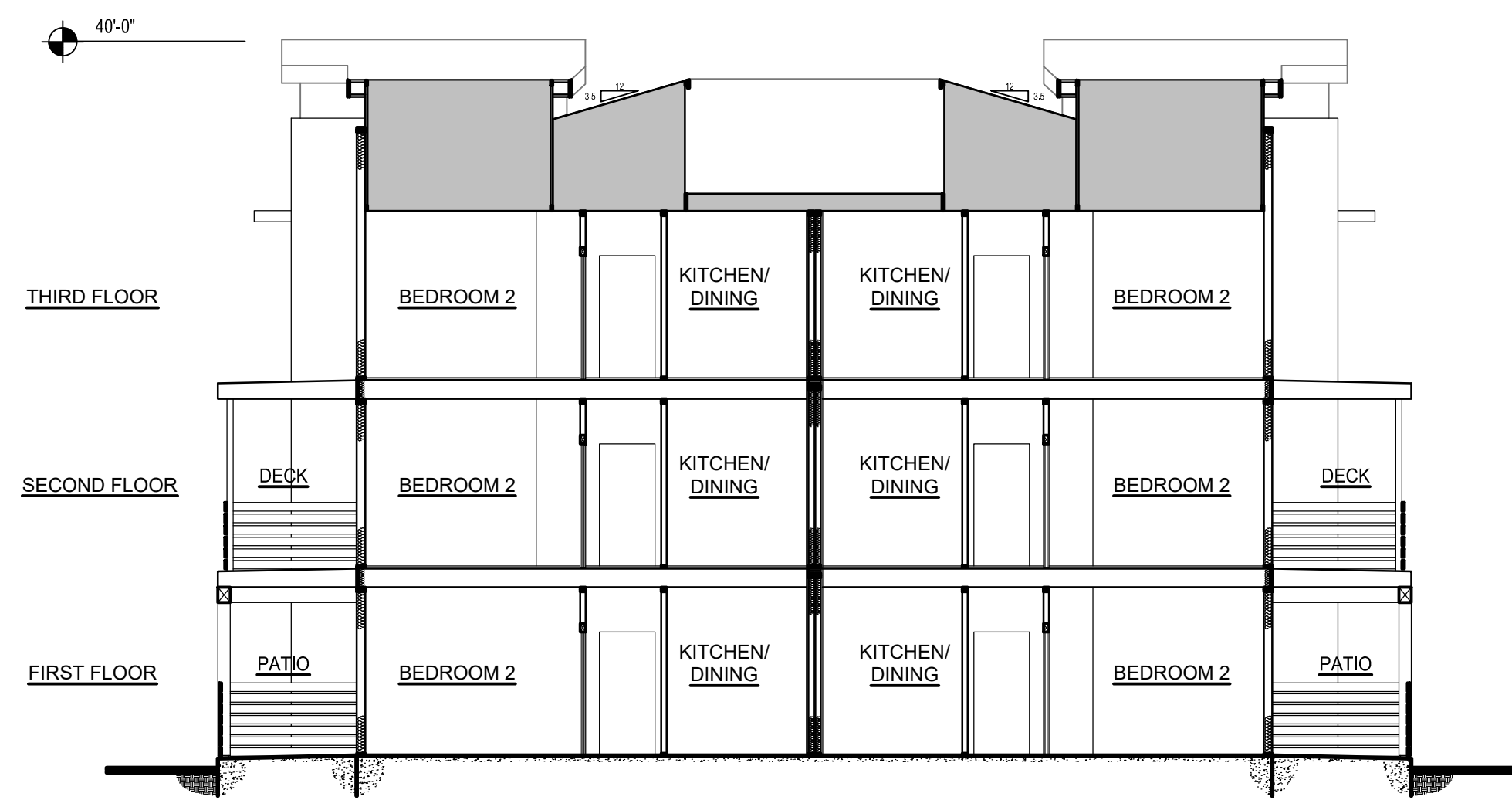
UNIT 3  
1,118 SF

UNIT 1  
600 SF

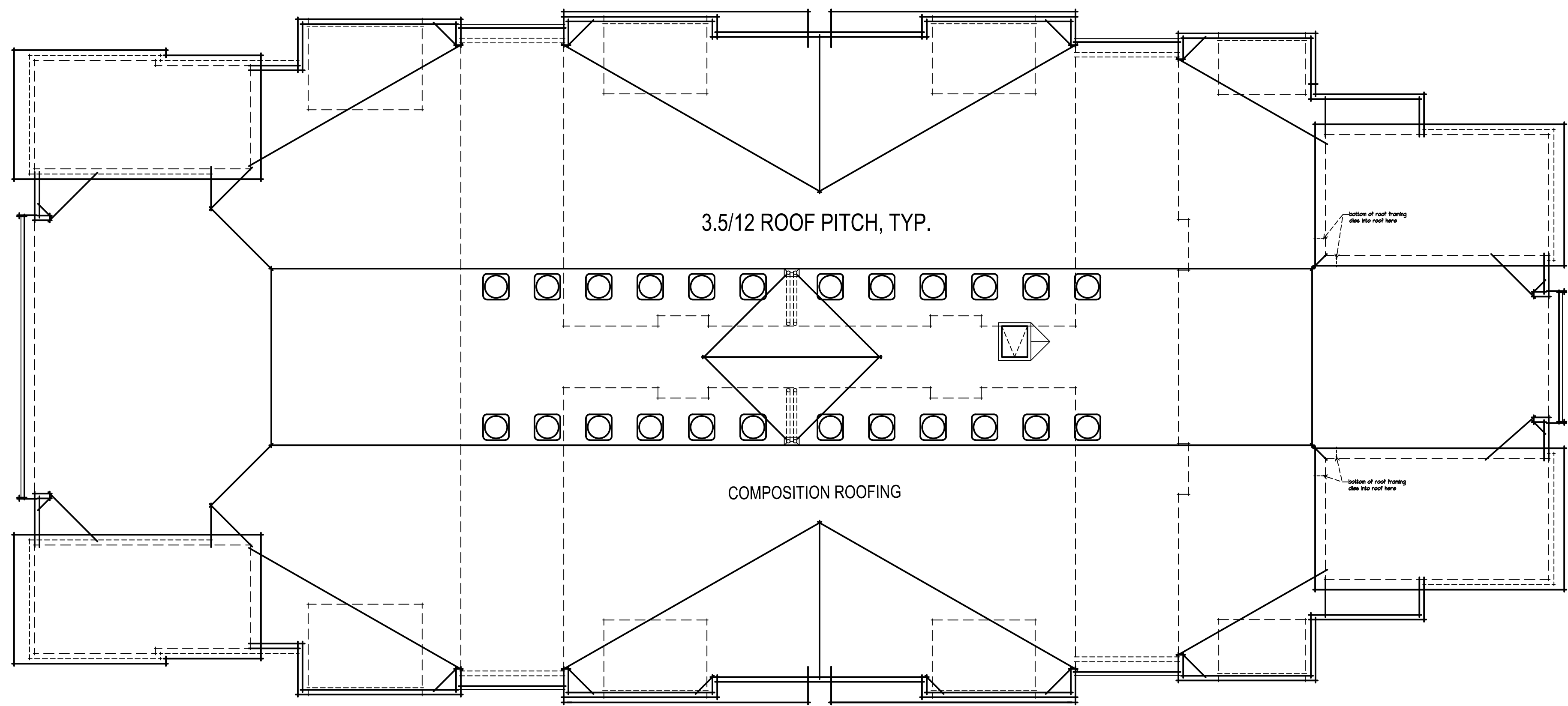
UNIT 1  
600 SF

UNIT 2B  
867 SF

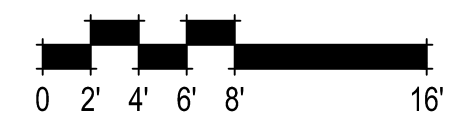
FRONT ELEVATION



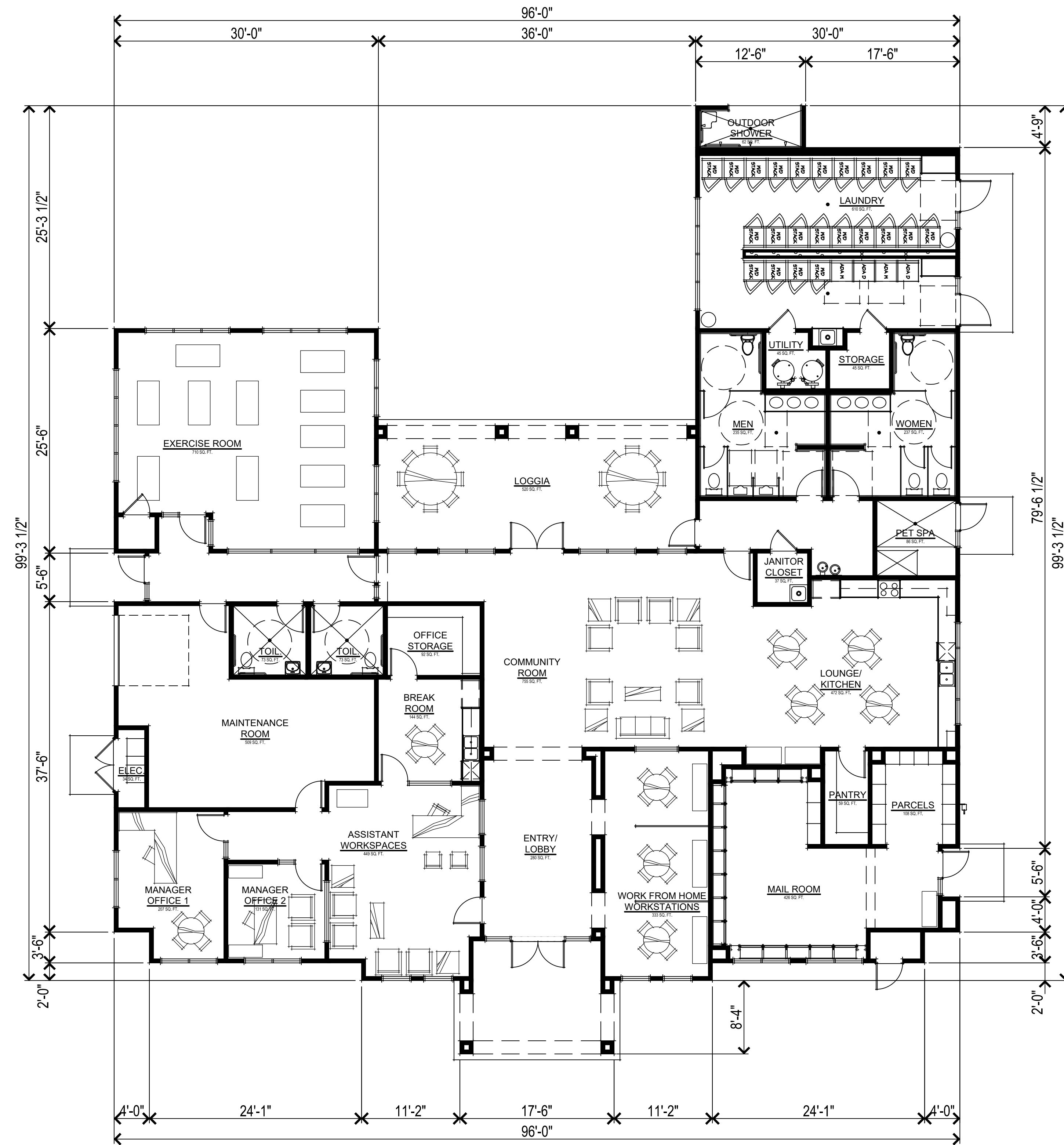
TYPICAL SECTION



ROOF PLAN

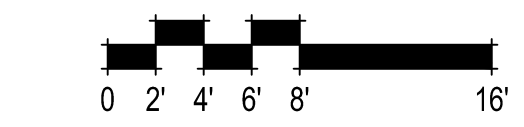






FLOOR PLAN

CLUBHOUSE BUILDING SQUARE FOOTAGE





RIGHT ELEVATION



REAR ELEVATION



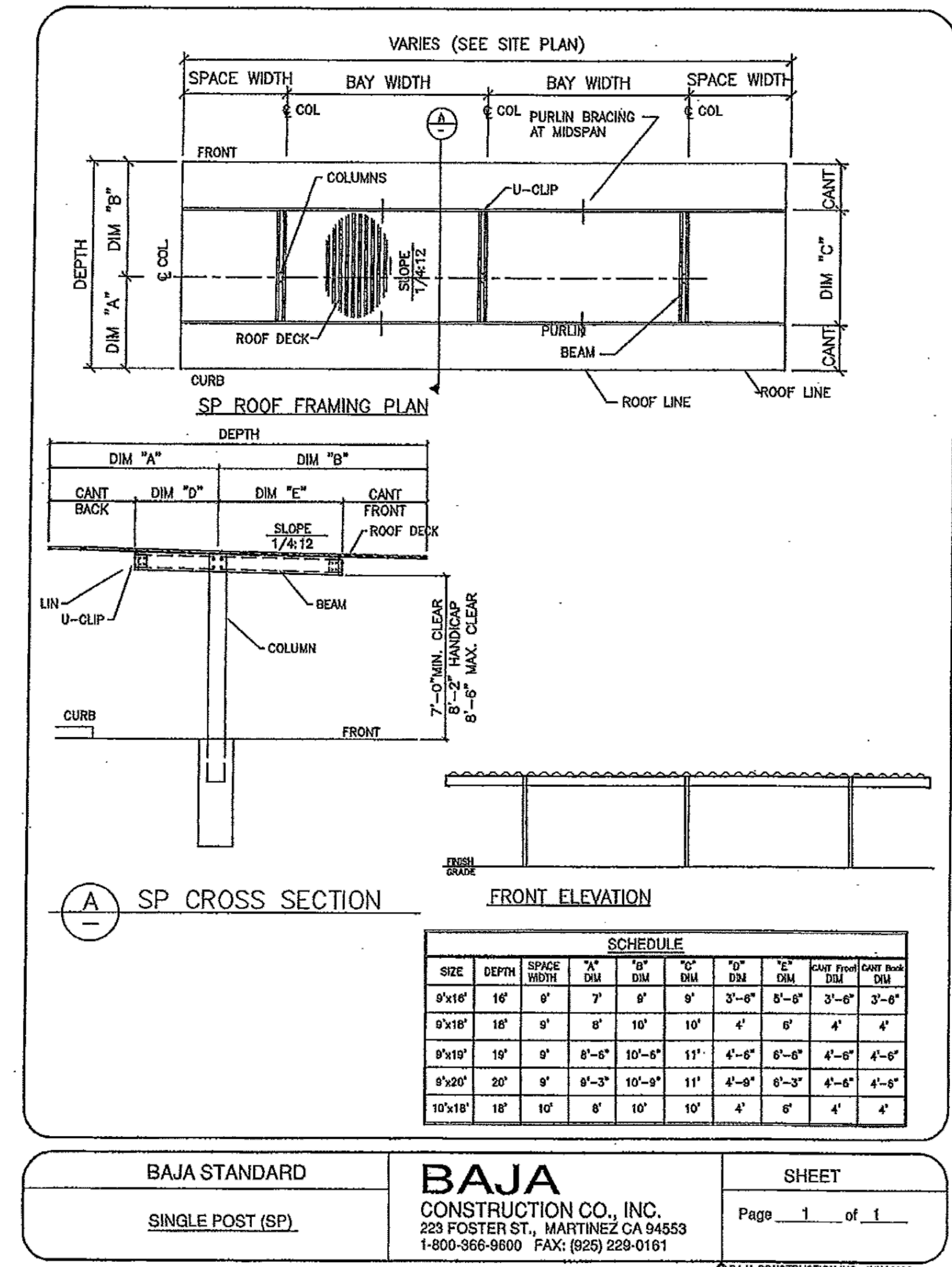
LEFT ELEVATION



FRONT ELEVATION



CARPORT EXAMPLE PHOTO



CARPORT TYPICAL DETAIL

EXHIBIT C

**SPECIAL AUTHORIZATION TO ACT ON BEHALF OF OWNER**

**APN'S: 077-660-021, 077-660-022 AND 077-660-024**

The undersigned is the Owner of the above-referenced parcels of real property located in the City of Visalia, County of Tulare, State of California (the "**Property**"). Maracor Development, Inc. ("**Maracor**") is under contract to acquire the Property from Owner and in connection with such acquisition is seeking approval of a residential project (the "**Project**") to develop on the Property.

Owner hereby grants to Maracor, its assigns, engineers, architects and other consultants the right to process, at Maracor's sole cost and expense, all entitlements for the Project which are required by the City, County and any other governmental authorities having jurisdiction over the Property, including, without limitation, any subdivision maps, design review process, site plans, CEQA certifications, permits, and any and all other approvals required to develop the Project. Owner also grants to Maracor the right to execute all applications and other documents required to process the above-referenced entitlements.

**SELLER**

DocuSigned by:  
*Sue Davis* 6/22/2021  
Sue Davis \_\_\_\_\_ Date

# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Sweet Ave Main home and ADU (lot split) Date: ~~07/22/2022~~ 07/18/2022

Project Description: Split existing single family lot into to lots (6,058 sf and 5,268 sf) to develop into a single family two story home of 1,658 sf with an attached ADU of 1,075 sf

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: \_\_\_\_\_

Property Owner: Victor Huerta

Applicant(s) Name: Victor and Rosie Huerta

Project Address/Location: 1241 East Sweet Ave. Visalia Ca.

Assessor Parcel Number: 0 9 1 - 0 7 2 - 0 1 8

Parcel Size (Acreage or Square Feet): 11,326 sf Building or Suite Square Footage: \_\_\_\_\_

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ \_\_\_\_\_

Describe All Proposed Building Modifications: No building modifications.  
Proposing two projects, two two story homes each with an attached ADU each on their own lot respectively.

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 07/18/2022

SPR Agenda: 07/27/2022 Item No. \_\_\_\_\_

Zone: \_\_\_\_\_ SPR No. 22-110

Historic District: Yes  No

Flood Zone: X  AE  X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Single family residence

Proposed Building Use: Single family residence

Proposed Hours of Operation: n/a

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Number of Customers Per Day (Estimated): Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Predicted Peak Operating Hour: \_\_\_\_\_

Describe Any Truck Delivery Schedule & Operations: \_\_\_\_\_

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): \_\_\_\_\_

Describe Any Special Events Planned for the Facility: \_\_\_\_\_

**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
  - North arrow
  - Existing & proposed structures
  - Loading/unloading areas
  - All existing & proposed site features
  - Adjacent street names
  - Accessible path of travel from right of way
  - Site dimensions, including building
  - Refuse enclosures & containers
  - Accessible path of travel from ADA stall
  - Existing and proposed fencing at site
  - Valley oak trees (show drip line)
  - Location and width of drive approaches to site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed landscaping
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
  - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Victor Huerta</u>	Signature of Owner or Authorized Agent*	
Address: <u>3228 West Elowin Ave.</u>		<u>6-21-22</u>
City, State, Zip: <u>Visalia, CA. 93291</u>	Owner	Date
Phone: <u>559-333-5893</u>	<u>6-21-22 9:06:21 PM PDT</u>	<u>6-21-22</u>
Email: <u>victory-tech@hotmail.com</u>	Authorized Agent*	Date

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:

I, Victor Huerta, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

091-072-018-000

AGENT:

I designate Alex Ceballos, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to split existing lot and for building new homes relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 21 day of June, 20 22.

OWNER	Signatures	AGENT
<p></p> <p>Signature <u>Victor Huerta</u></p> <p><u>3228 West Elowin Ave.</u></p> <p>Owner Mailing Address</p> <p><u>Visalia, CA. 93291</u></p> <p><u>559-333-5893</u></p> <p>Owner Phone Number</p>	<p></p> <p>Signature of Agent</p>	<p><u>17766 Cole Ranch Dr.</u></p> <p>Agent Mailing Address</p> <p><u>Springville, Ca. 93265</u></p> <p><u>559-359-8789</u></p> <p>Agent Phone Number</p>



P.O. BOX 783  
 SPRINGVILLE, CA. 93265  
 t: (559) 359-8789  
 www.AlexCeballos.com

Email: alex@alexceballos.com

CONSULTANT SEAL

NOT FOR  
 CONSTRUCTION

PROJECT

HUERTA RESIDENCE  
 1241 EAST SWEET AVE.  
 VISALIA, CA. 93292

CLIENT

VICTOR AND ROSIE  
 OWNER STREET  
 OWNER CITY, STATE ZIP

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REVISIONS

REV # | REV DATE | REV DESCRIPTION

SHEET TITLE

SITE PLAN

DATE: 07/15/2022

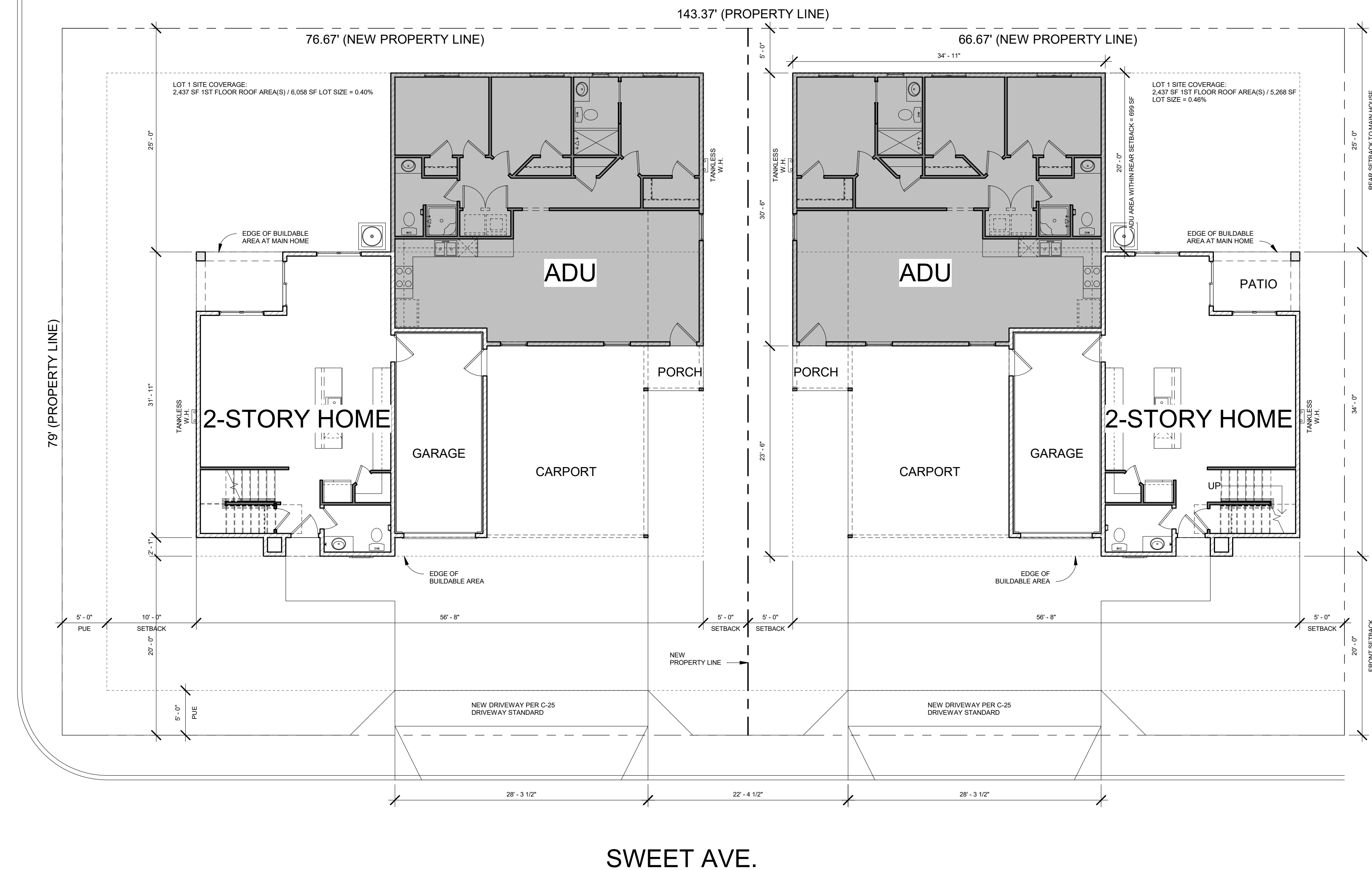
TECHNICIAN: AC

PROJECT MANAGER: AC

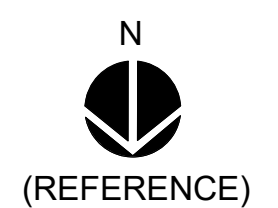
JOB NUMBER: 2022-08  
 SHEET NUMBER

A1.0

BEN MADDOX WAY



44 SITE PLAN  
 1/8" = 1'-0"



NOTE:  
 UNDER SBA, OWNER MUST  
 RESIDE ON ONE OF THE UNITS

**GENERAL NOTES: FLOOR PLAN**

- WATER HAMMER ARRESTORS SHALL BE INSTALLED AT THE FOLLOWING QUICK-ACTING SHUT-OFF VALVES.
  - AUTOMATIC WASHING MACHINE (HOT AND COLD WATER)
  - ICEMAKER
  - DISHWASHER
  - FRONT AND REAR SPRINKLER OUTLETS
- HOUSEHOLD COOKING APPLIANCES SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS OR PROVIDE MINIMUM CLEARANCE TO COMBUSTIBLE MATERIALS
- KITCHEN EXHAUST OUTLETS SHALL TERMINATE AT LEAST TWO FEET ABOVE THE ROOF AND SHALL EXTEND AT LEAST TEN FEET ABOVE THE ADJOINING GRADE LEVEL
- ENERGY NOTES:
  - AFTER INSTALLING WALL, CEILING, OR FLOOR INSULATION, THE INSTALLER SHALL MAKE AVAILABLE TO THE ENFORCEMENT AGENCY OR POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION IS CONSISTENT WITH THE PLANS AND SPECS. THE CERTIFICATE SHALL ALSO STATE THE MFR'S NAME AND MATL. IDENTIFICATION, THE INSTALLED R-VALUE, AND (IN APPLICATIONS OF LOOSE FILL INSULATION) THE MIN. INSTALLED WEIGHT PER SQ. FT. CONSISTENT WITH THE MFR'S LABELED INSTALLED DESIGN DENSITY FOR THE DESIRED R-VALUE
  - THE INSULATION SHALL CONFORM TO THE FLAME SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF (CRC R302.10)
  - JOINTS AND OTHER OPENINGS IN THE BLDG ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, EQUIPPED WITH GASKETS, WEATHERSTRIPPED, OR OTHERWISE SEALED TO LIMIT INT. OR EXT. AIR FILTRATION
  - EVERY MANUFACTURED AND SITE-BUILT PENETRATION PRODUCT OR PENETRATION SYSTEM INSTALLED IN CONSTRUCTION SUBJECT TO TITLE 24, PART 6 SHALL HAVE ATTACHED TO IT A CLEARLY VISIBLE TEMPORARY LABEL OR HAVE AN ASSOCIATED LABEL CERTIFICATE THAT LISTS THE U-FACTOR, THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF THAT PRODUCT AND THE METHOD USED TO DERIVE THOSE VALUES, AND CERTIFIES COMPLIANCE WITH AIR LEAKAGE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE. THE LABEL SHALL NOT BE REMOVED UNTIL APPROVED BY THE BUILDING INSPECTOR
- GYPSUM BOARD USED AS THE BASE OR BACKER FOR ADHESIVE APPLICATION OF CERAMIC TILE OR OTHER REQUIRED NONABSORBENT FINISH MATERIAL SHALL CONFORM TO ASTM C1396, C1178. USE OF WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE PERMITTED ON CEILINGS.
 

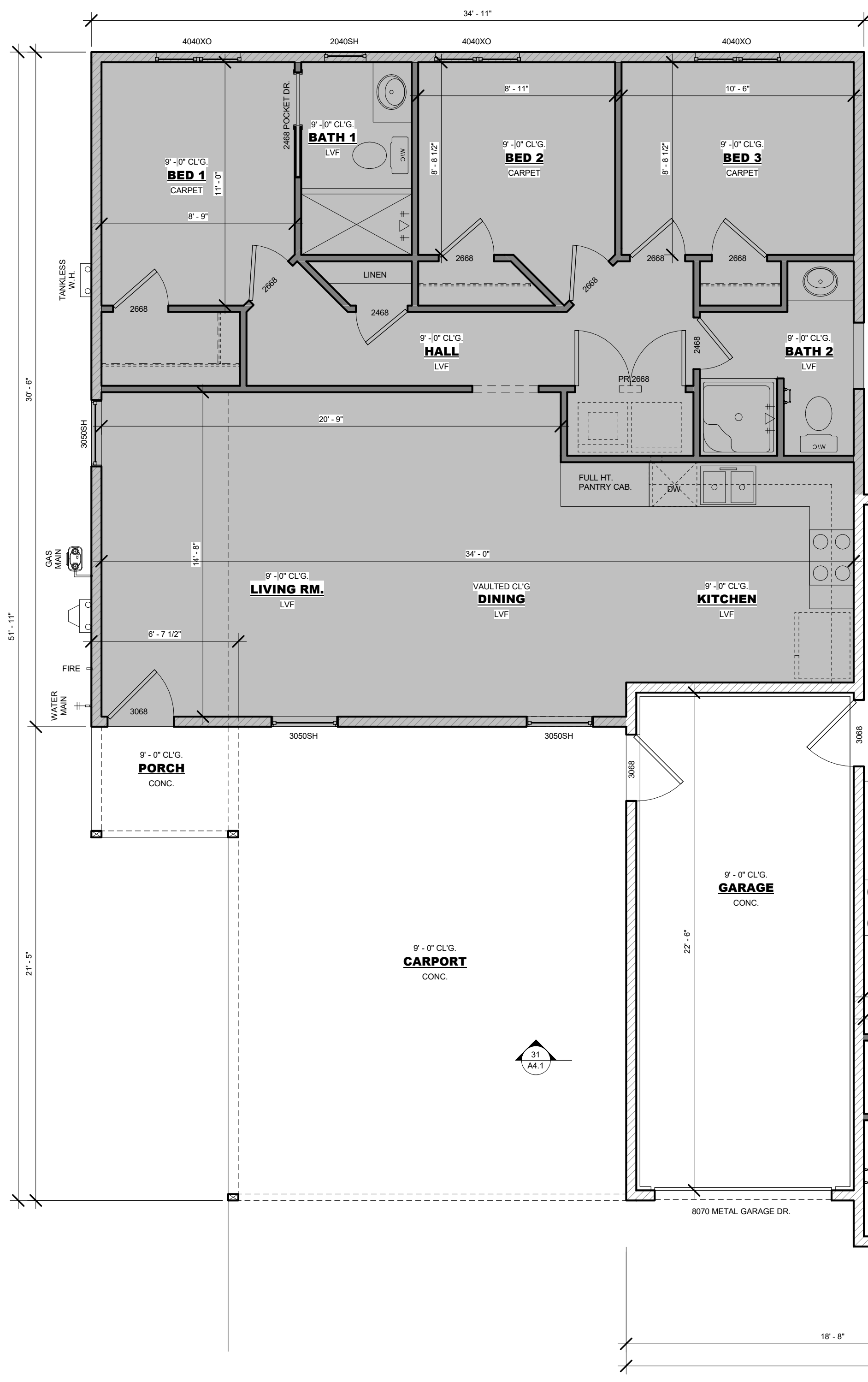
LIMITATIONS: WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY.
- MATERIALS USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS SHALL BE OF MATERIALS LISTED IN TABLE R702.4.2 AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. (GLASS MAT GYPSUM BACKING PANEL, FIBER-REINFORCED GYPSUM PANELS, NON-ASBESTOS FIBER-CEMENT BACKER BOARD, OR NON-ASBESTOS FIBER MAT REINFORCED CEMENTITIOUS BACKER UNITS)
- R308.4.6. GLAZING ADJACENT TO STAIRS AND RAMPS: GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. TEMPERED GLAZING IS REQUIRED.
- FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM OR FIBER-REINFORCED GYPSUM BACKERS SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS. (TABLE R702.4.2, R702.4.2 CRC)

**BUILDING AREA AND WALL / FIXTURE LEGEND:**

MAIN HOME LEVEL 1 (CONDITIONED) AREA	667 S.F.	STUB FOR NATURAL GAS/PROPANE
MAIN HOME LEVEL 2 (CONDITIONED) AREA	991 S.F.	HOSE BIB LOCATION
GARAGE	241 S.F.	LOCATION OF WATER MAIN INTO HOME
PORCH	8 S.F.	LOCATION OF GAS MAIN INTO HOME
PATIO	64 S.F.	LOCATION OF FIRE SPRINKLER LINE INTO HOME
TOTAL RESIDENCE LIVABLE AREA:	1658 S.F.	ELECTRICAL MAIN PANEL - RE: ELECT. DWGS.
TOTAL ROOF COVERED AREAS:	1,971 S.F.	ELECTRICAL SUB-PANEL (IF APPLICABLE)-RE: ELECT. DWGS.
ADU (CONDITIONED) AREA	1,040 S.F.	TV/CABLE BOX INTO HOME
CARPORCH	386 S.F.	
PORCH	31 S.F.	
TOTAL RESIDENCE LIVABLE AREA:	1,040 S.F.	
TOTAL ROOF COVERED AREAS:	1,457 S.F.	

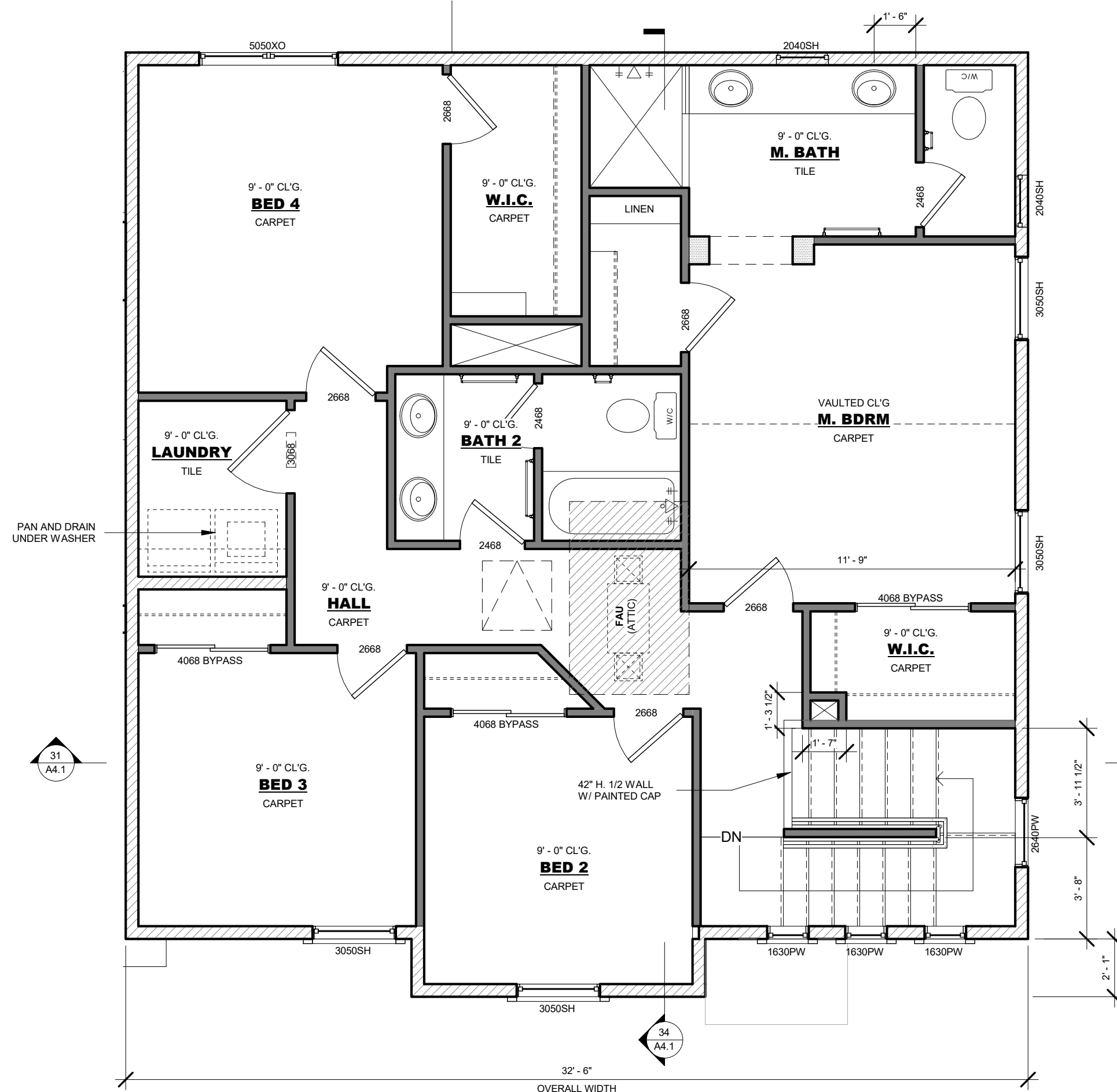
- 2x4 D.F. #2 CONTINUOUS STUD WALL @ 16" O.C. (PROVIDE 2x FIRE BLOCKING AT WALLS OVER 10'-0")
- 2x6 D.F. #2 CONTINUOUS STUD WALL @ 16" O.C. W/ 3/8" OSB SHEATHING (PROVIDE 2x FIRE BLOCKING AT WALLS OVER 10'-0")
- 2x8 OR 2x12 D.F. #3 STUD WALL - RE: FLOOR PLAN FOR WALL WIDTH
- 2X HALF WALL

**41 AREAS & WALL LEGEND**



**34 FIRST FLOOR (MAIN HOME AND ADU)**  
1/4" = 1'-0"

**24 SECOND FLOOR (MAIN HOME ONLY)**  
1/4" = 1'-0"



**51 GENERAL NOTES - FLOOR PLAN**

**KEYNOTES: FLOOR PLAN**

- PROVIDE (1) LAYER OF 1/2" TYPE 'X' GYP. BD. ON ALL WALLS AND CEILINGS (HOME) AND (1) LAYER OF 5/8" TYPE 'X' GYP. BD. ON CEILING AND WALLS (GARAGE) PER C.B.C. SECTIONS 302.4, TABLE 7-B ITEM 17-#1.3 & TABLE 7-C ITEM 21-#1.1.
- PROVIDE 1-3/8" SOLID CORE DOOR WITH SELF CLOSER (20-MIN LABELED) WITH 3 HINGES & 2 CLOSURES.
- 2" MAXIMUM STEP-DOWN AT THRESHOLD.
- 3' X 3' MINIMUM CONCRETE LANDING.
- +36" CABINET WITH SOLID SURFACE COUNTERTOP WITH BACKSPLASH.
- 36" COOKTOP WITH 36" HOOD & FAN WITH 300 CFM V.T.R
- DOUBLE COMPARTMENT SINK WITH GARBAGE DISPOSAL.
- 12" WIRE SHELF.
- FIBERGLASS SHOWER/TUB INSERT COMBO UNIT.
- 200AMP DISTRIBUTION PANEL - RE: SITE PLAN FOR MAIN PANEL LOCATION.
- 6" SQUARE DRYER VENT TO EXTERIOR WITH BACK DRAFT DAMPER SEE DETAIL 8/AD-2.0.
- LAVATORY.
- PROVIDE AN OPENING OF NOT LESS THAN 100 SQ.IN. FOR LAUNDRY MAKEUP AIR ABOVE DOOR OR BY ANOTHER APPROVED METHOD.
- PEDESTAL SINK.
- TOILET WITH LEVER FLUSH AND TOILET SEAT.
- BROOM FINISH CONCRETE.
- SOLID SURFACE COUNTER TOP & (1) SET OF (3) DRAWERS.
- CONDENSER UNIT FOR AC CONDENSER 36" X 36" FIBERGLASS PAD/PAN.
- TOWEL RING W/ BACKING.
- TOWEL BAR - PROVIDE 2X BACKING.
- FIBERGLASS SHOWER.
- ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFIT FITS PROTECTED ON THE ENCLOSED SIDE WITH 5/8" GYPSUM BOARD. CRC R302.7.
- NOT USED.
- MIRROR IS TO BE 36" TALL BY THE FULL LENGTH OF VANITY.
- (4) 16" WIRE SHELVES.
- DISHWASHER.
- 2X PONY WALL.
- REFRIGERATOR SPACE.
- ATTIC ACCESS 30" X 30" (22" X 30" MIN) ATTIC ACCESS DOORS SHALL HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS. THE ATTIC ACCESS SHALL BE GASKETED TO PREVENT AIR LEAKAGE CODE §150.0(A) 2.
- PROVIDE CONDENSATE DRAIN AND PAN AT FAU IN ATTIC.
- SHELF AND POLE.
- SOFFIT ABOVE.
- NOT USED.
- HOSE BIB TO BE EQUIPPED WITH NON-REMOVABLE BACK-FLOW PREVENTERS, TYP.

**54 KEYNOTES - FLOOR PLAN**



P.O. BOX 783  
SPRINGVILLE, CA. 93265  
t: (559) 359-8789  
www.AlexCeballos.com

Email: alex@alexcceballos.com

**CONSULTANT SEAL**

**NOT FOR CONSTRUCTION**

**PROJECT**  
HUERTA RESIDENCE  
1241 EAST SWEET AVE.  
VISALIA, CA. 93292

**CLIENT**  
VICTOR AND ROSIE  
OWNER STREET  
OWNER CITY, STATE ZIP

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**REVISIONS**

REV # | REV DATE | REV DESCRIPTION

**SHEET TITLE**

FLOOR PLAN

**DATE:** 07/15/2022

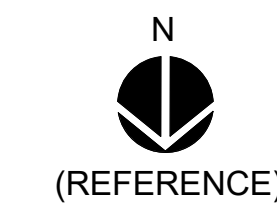
**TECHNICIAN:** AC

**PROJECT MANAGER:** AC

**JOB NUMBER:** 2022-08

SHEET NUMBER

**A2.1**



(REFERENCE)



**NOT FOR CONSTRUCTION**

**PROJECT**

HUERTA RESIDENCE  
 1241 EAST SWEET AVE.  
 VISALIA, CA. 93292

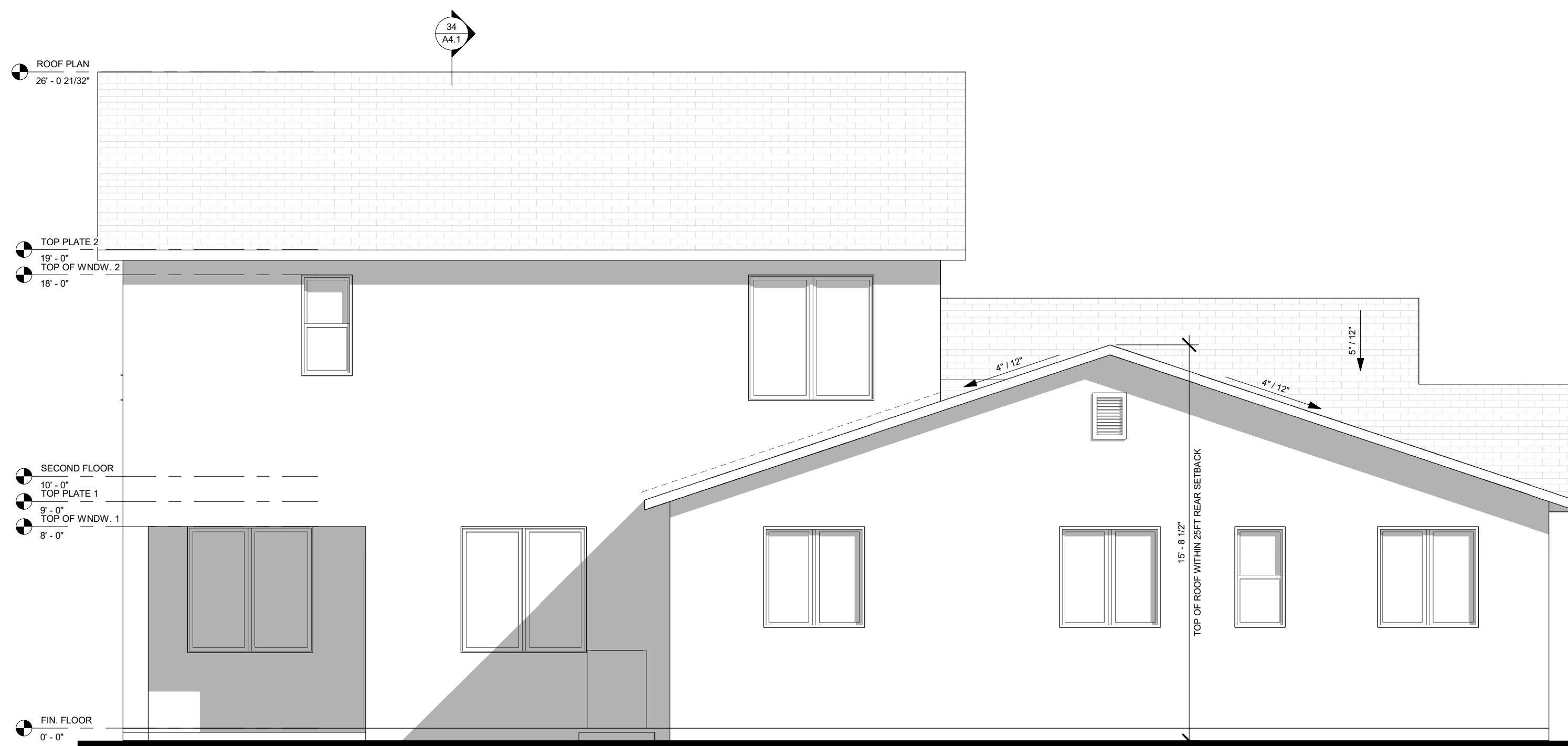
**CLIENT**

VICTOR AND ROSIE  
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 OWNER CITY, STATE ZIP

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**REVISIONS**

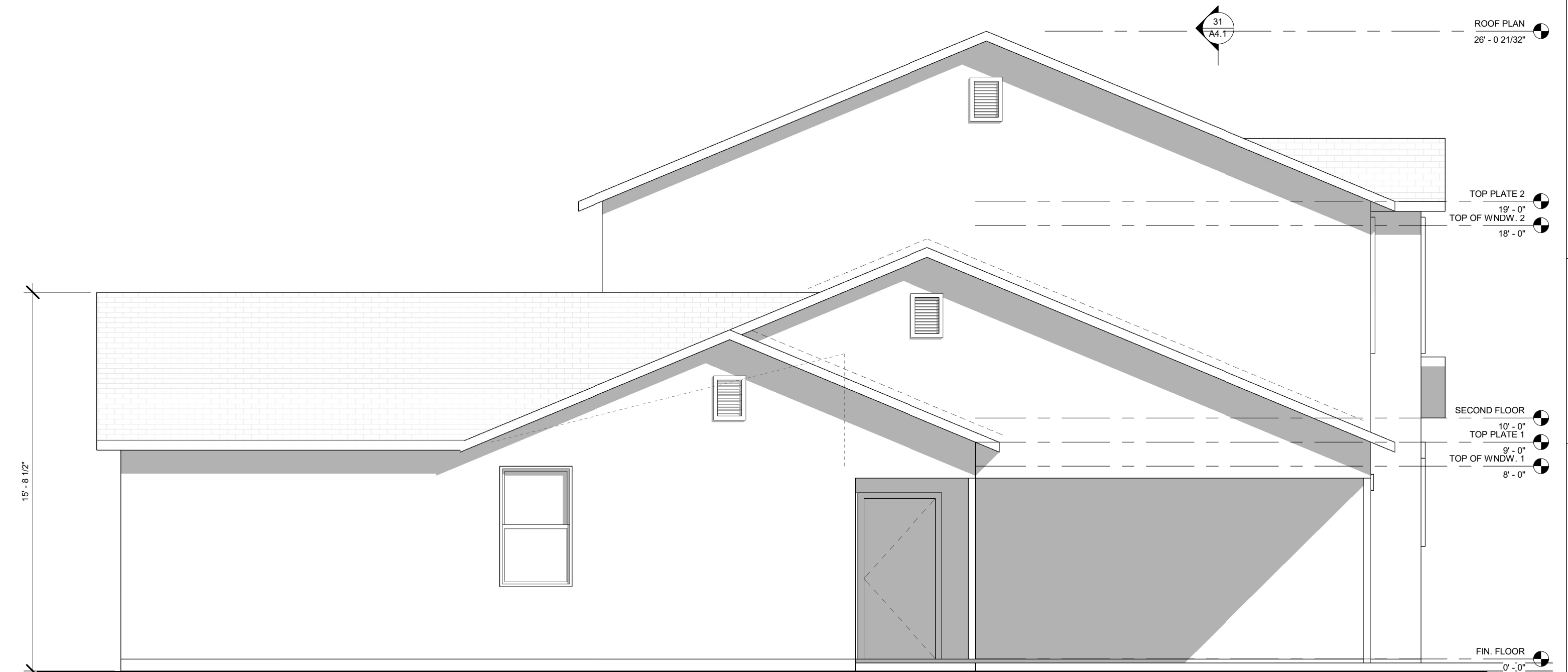
REV # | REV DATE | REV DESCRIPTION



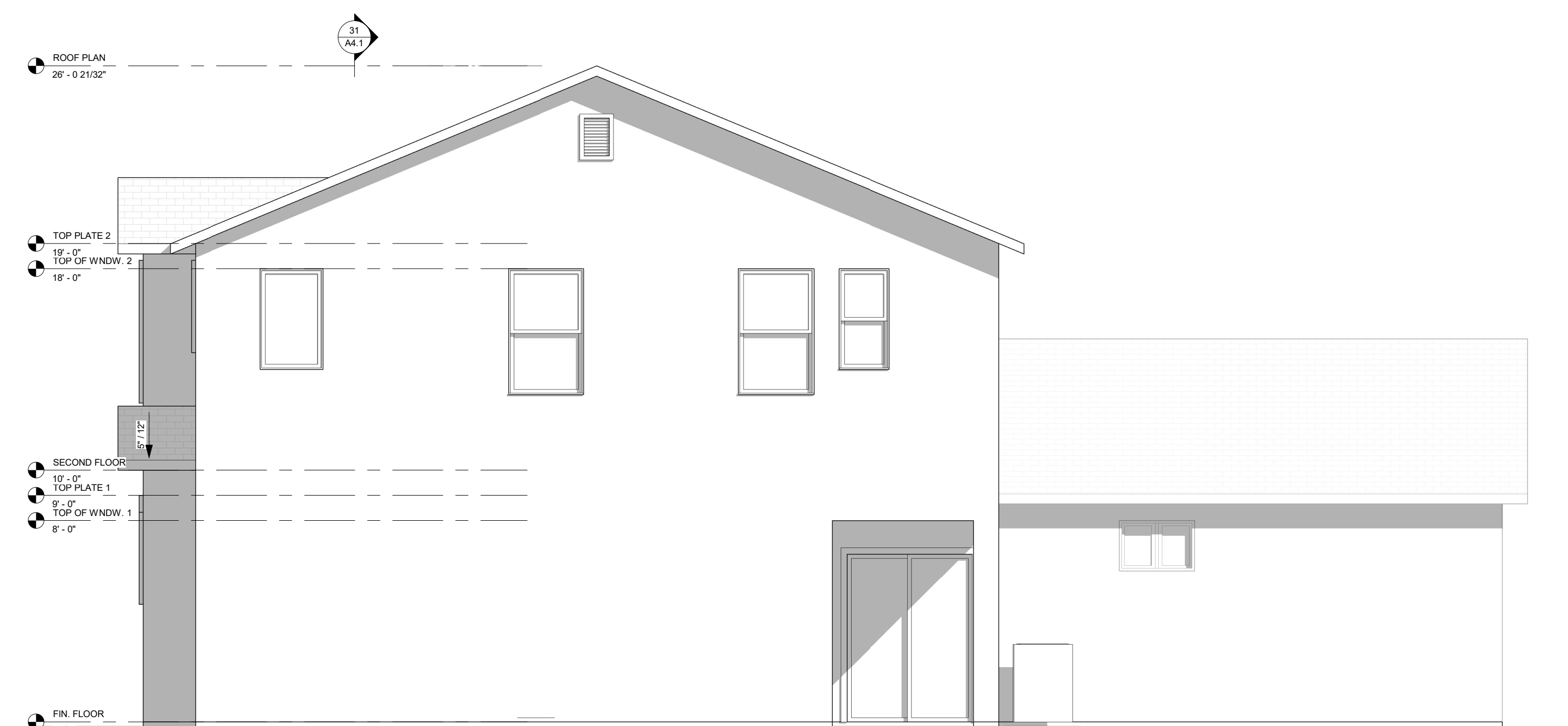
**51 BACK ELEVATION**  
 1/4" = 1'-0"



**21 FRONT ELEVATION**  
 1/4" = 1'-0"



**23 LEFT ELEVATION**  
 1/4" = 1'-0"



**54 RIGHT ELEVATION**  
 1/4" = 1'-0"

**GENERAL NOTES: ELEVATIONS**

1. PROVIDE (2) LAYERS OF TYPE "D" PAPER UNDERLAYMENT WHERE LATH IS APPLIED OVER WOOD SHEATHING.
2. ALL STUCCO COLUMNS AND CORNERS TO BE: 7/8" THICK STUCCO O/ W.P. WOVEN WIRE LATH W/ 16 GA.
3. PROVIDE 26 GA. G.S.M. FLASHING AT ROOF TO WALL INTERSECTIONS, STEP FLASHING AS REQUIRED.
4. PROVIDE 3/8" METAL RIB LATH AT ALL STUCCO EAVES AND OR ANY HORIZONTAL STUCCO SURFACES.
5. ONE LAYER OF No. 15 ASPHALT FELT, FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM-D226 FOR TYPE 1 FELT OR OTHER APPROVED WATER-RESISTIVE BOARD SHALL BE APPLIED OVER STUDS OR SOMETHING OF ALL EXTERIOR WALLS. No. 15 ASPHALT FELT SHALL BE APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2 INCHES.

**24 ELEVATION - GENERAL NOTES**

**KEYNOTES: ELEVATIONS**

1. 2 COAT STUCCO O/ METAL LATH W/ 16 G. STAPLES @ 1" O.C. O/ 1" RIGID FOAM O/ 2 LAYERS 15# GRADE D PAPER O/ OSB SHEATHING, FOAM INSULATION BOARD TO BE ATLAS MOLDED PRODUCTS ESR-1962
2. CONTINUOUS WEEP SCREED AT BOTTOM OF STUCCO.
3. COMPOSITION SHINGLE ROOFING OVER 30# BUILDING PAPER OVER 7/16" A.P.A. RATED SHEATHING EXP. 1, 32/16 WITH 6" X 12" O.C. (I.C.B.O. ER-2015P)
4. 2 X 6 D.F. PLUMB CUT FASCIA
5. 2x4 FOAM TRIM W/ STUCCO OVER, U.N.O.
6. NOT USED.
7. NOT USED.
8. EXTERIOR CORNER LIGHTS.

**14 ELEVATION - KEYNOTES**

**SHEET TITLE**

BUILDING ELEVATIONS

DATE: 07/15/2022

TECHNICIAN: AC

PROJECT MANAGER: AC

JOB NUMBER: 2022-08  
 SHEET NUMBER

A3.1

# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Lady's Chicken and Rice Date: 7-18-2022

Project Description: \_\_\_\_\_

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: \_\_\_\_\_

Property Owner: Brand new 1597 sf drive-thru and walk-up restaurant with new parking lot/layout

Applicant(s) Name: Alex Ceballos (AGD, Inc.)

Project Address/Location: 519 E Houston Ave. Visalia Ca. 93292

Assessor Parcel Number: 0 9 4 - 1 3 0 - 0 4 9

Parcel Size (Acreage or Square Feet): \_\_\_\_\_ Building or Suite Square Footage: 1597 sf

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ 450,000

Describe All Proposed Building Modifications: Brand new, ground up  
Brand new 1597 sf drive-thru and walk-up restaurant with new  
parking lot/layout and new landscape.

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 07/18/2022

SPR Agenda: 07/27/2022 Item No. \_\_\_\_\_

Zone: C-MU SPR No. 22-124

Historic District: Yes  No

Flood Zone: X  AE  X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Vacant land

Proposed Building Use: Drive-thru and walk-up restaurant

Proposed Hours of Operation: 10am to 5pm

Days of Week In Operation (Circle): Su

Number of Employees Per Day: Existing \_\_\_\_\_ Proposed 3-5

Number of Customers Per Day (Estimated): Existing \_\_\_\_\_ Proposed 100-200

Predicted Peak Operating Hour: \_\_\_\_\_

Describe Any Truck Delivery Schedule & Operations: \_\_\_\_\_

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): \_\_\_\_\_

Describe Any Special Events Planned for the Facility: \_\_\_\_\_

**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ⇩ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇩ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇩ Site plan shall provide for and indicate all of the following:
  - North arrow
  - All existing & proposed site features
  - Site dimensions, including building
  - Existing and proposed fencing at site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed structures
  - Adjacent street names
  - Refuse enclosures & containers
  - Valley oak trees (show drip line)
  - Existing & proposed landscaping
  - Parking stalls (include ADA)
  - Loading/unloading areas
  - Accessible path of travel from right of way
  - Accessible path of travel from ADA stall
  - Location and width of drive approaches to site
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Bounleuk And Jimmy Thongseng</u>	Signature of Owner or Authorized Agent*	
Address: <u>519 E Houston Ave.</u>	Authentisign Own <u>Jimmy Thongseng</u> 7/18/2022 10:42:02 AM PDT	Date <u>07/18/2022</u>
City, State, Zip <u>Visalia, CA. 93292</u>	Authentisign Author <u>Alex Ceballos</u> 7/18/2022 4:30:42 PM PDT	Date <u>07/18/2022</u>
Phone: <u>559-471-9084</u>		
Email: <u>visaliachickenandrice@gmail.com</u>		

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:

I, Bounleuk And Jimmy Thongseng, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):  
094-130-049-000

AGENT:

I designate Alex Ceballos (AGD, Inc.), to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to SRP and building permit relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 18 day of July, 2022.

OWNER	Signatures	AGENT
Authentisign Signature of Owner <u>Jimmy Thongseng</u> 7/18/2022 10:42:05 AM PDT		Authentisign Signature of Agent <u>Alex Ceballos</u> 7/18/2022 4:30:43 PM PDT
Owner Mailing Address		<u>311 N 2nd St. Suite B7 Porterville, CA. 93257</u> Agent Mailing Address
<u>559-471-9084</u> Owner Phone Number		<u>559-359-8789</u> Agent Phone Number



NOT FOR CONSTRUCTION

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**PROJECT**  
LADY'S CHICKEN AND RICE  
  
519 E. HOUSTON AVE.  
VISALIA, CA 93292  
  
**CLIENT**  
BOUNLEUK AND JIMMY THONGSENG

**REVISIONS**  
REV # | REV DATE | REV DESCRIPTION

LOCAL STORM WATER ORDINANCE  
A. SECTION 4.106.1 - GENERAL. PRESERVATION AND USE OF AVAILABLE NATURAL RESOURCES SHALL BE ACCOMPLISHED THROUGH EVALUATION AND CAREFUL PLANNING TO MINIMIZE NEGATIVE EFFECTS ON THE SITE AND ADJACENT AREAS. PRESERVATION OF SLOPES, MANAGEMENT OF STORM WATER DRAINAGE AND EROSION CONTROLS SHALL COMPLY WITH THIS SECTION.  
B. SECTION 4.106.2 - STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION IN ORDER TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION ONE OR MORE OF THE FOLLOWING MEASURES SHALL BE IMPLEMENTED TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE.  
1. RETENTION BASINS OF SUFFICIENT SIZE SHALL BE UTILIZED TO RETAIN STORM WATER ON THE SITE.  
2. WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, COLLECTION POINT, GUTTER, OR SIMILAR DISPOSAL METHOD, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATER, OR OTHER METHOD APPROVED BY THE ENFORCING AGENCY.  
3. COMPLIANCE WITH A LAWFULLY ENACTED STORM WATER MANAGEMENT ORDINANCE.  
C. SECTION 4.106.3 - SURFACE DRAINAGE. THE SITE SHALL BE PLANNED AND DEVELOPED TO KEEP SURFACE WATER FROM ENTERING BUILDINGS. CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE SURFACE WATER FLOWS. EXAMPLES OF METHODS TO MANAGE SURFACE WATER INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:  
1. SWALES  
2. WATER COLLECTION AND DISPOSAL SYSTEMS.  
3. FRENCH DRAINS  
4. WATER RETENTION GARDENS.  
5. OTHER WATER MEASURES WHICH KEEP SURFACE WATER AWAY FROM BUILDING AND AID IN GROUNDWATER RECHARGE.

**11 STORM WATER**

**SITE GRADING AND FOUNDATION ELEVATION**  
PER R401.3, LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 12 INCHES WITHIN THE FIRST 10 FEET, IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET (3048 MM) OF HORIZONTAL DISTANCE. A 5-PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2 PERCENT WHERE LOCATED WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.

EXCEPTION: WHERE CLIMATIC OR SOIL CONDITIONS WARRANT, THE SLOPE OF THE GROUND AWAY FROM THE BUILDING FOUNDATION IS PERMITTED TO BE REDUCED TO NOT LESS THAN ONE UNIT VERTICAL TO FOUR UNITS HORIZONTAL (2-PERCENT SLOPE). THE PROCEDURE USED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ADDITIONAL SETTLEMENT OF THE BACKFILL.

1808.7.4 FOUNDATION ELEVATION. ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12 INCHES (305 MM) PLUS 2 PERCENT. ALTERNATE ELEVATIONS ARE PERMITTED SUBJECT TO THE APPROVAL OF THE BUILDING OFFICIAL, PROVIDED IT CAN BE DEMONSTRATED THAT REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS ON THE SITE.

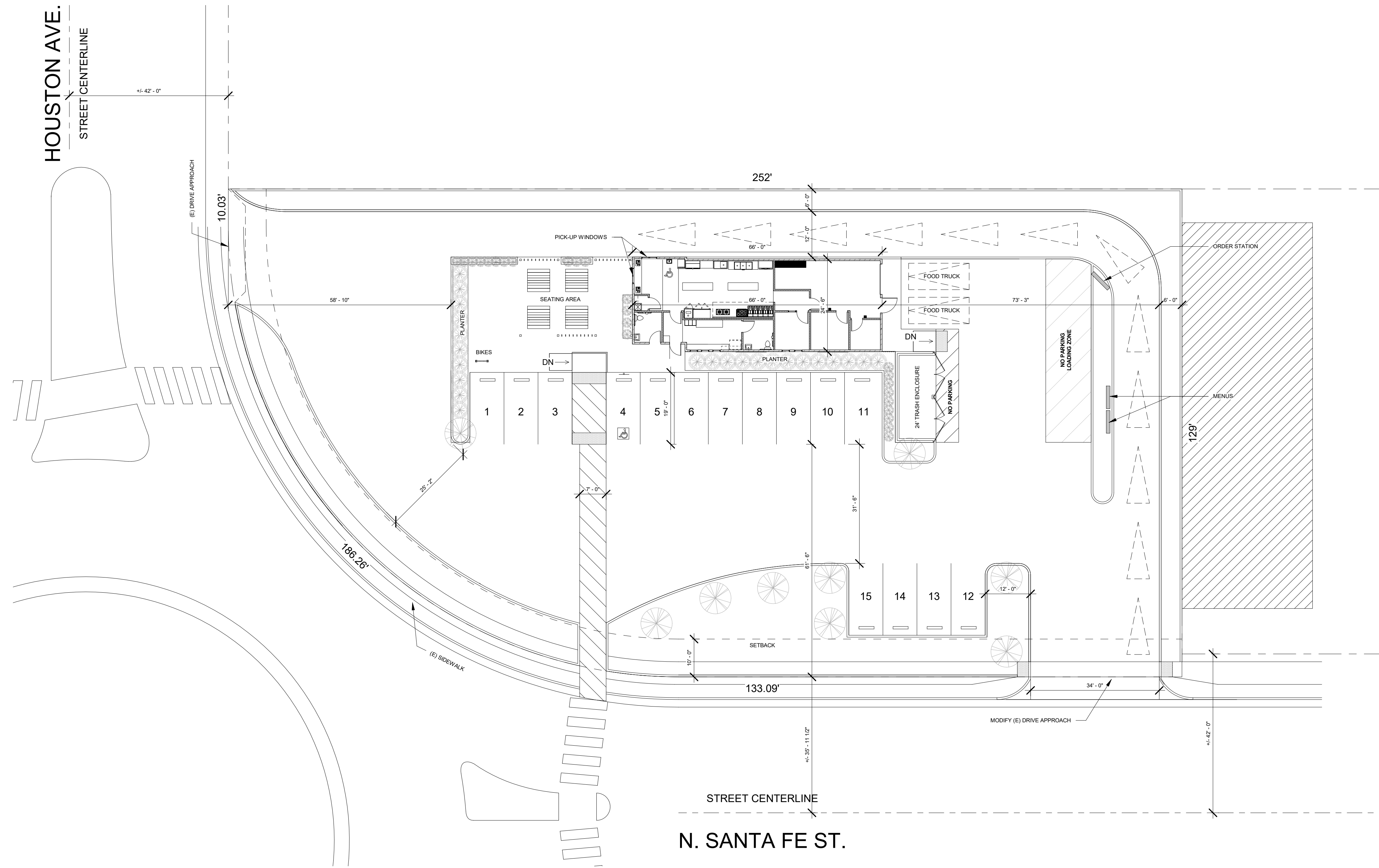
**12 SITE GRADING/FOUND. ELEV.**

THIS SHEET ONLY

1. (E) BUILDING OUTLINE (T.B.R.)
2. (E) CONCRETE SITE WALK
3. (E) CONCRETE CURB AND GUTTER
4. (E) ASPHALT (T.B.R.)
5. (N) ASPHALT PARKING LOT
6. (N) PARKING STALL (8FT WIDE TYP.)
7. (N) LANDSCAPE ISLAND
8. (N) PARKING LOT LIGHT POLE
9. (N) ACCESSIBLE PARKING SPACE(S)
10. (N) ACCESSIBLE PATH OF TRAVEL
11. (N) TOW AWAY SIGN
12. (N) ACCESSIBLE PATH OF TRAVEL SIGN
13. (N) CONC. SIDE WALK MAX 2% CROSS SLOPE
14. (N) STREET PARKING
15. (N) TRUNCATED DOME
16. (N) TRASH ENCLOSURE PER CITY OF PORTERVILLE STANDARDS
17. (E) DRIVE APPROACH (T.B.)
18. (E) ELECT. POLE
19. (E) WATER METER (FIELD VERIFY EXACT LOCATION)
20. (N) DRIVE APPROACH

**13 SITE PLAN KEYNOTES**

**PARKING COUNT:**  
1,588 SF / 150 SF = 11 SPACES REQ'D.  
15 PROVIDED



SEAL

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**PROJECT**  
 LADY'S CHICKEN AND RICE  
 519 E. HOUSTON AVE.  
 VISALIA, CA 93292

**CLIENT**  
 BOUNLEUK AND JIMMY THONGSENG

**REVISIONS**  
 REV # | REV DATE | REV DESCRIPTION

**SHEET TITLE**  
 FLOOR PLAN

**DATE:** 07/18/22

**TECHNICIAN:** KF

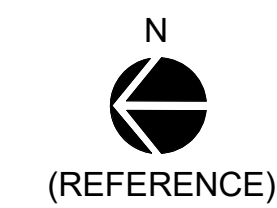
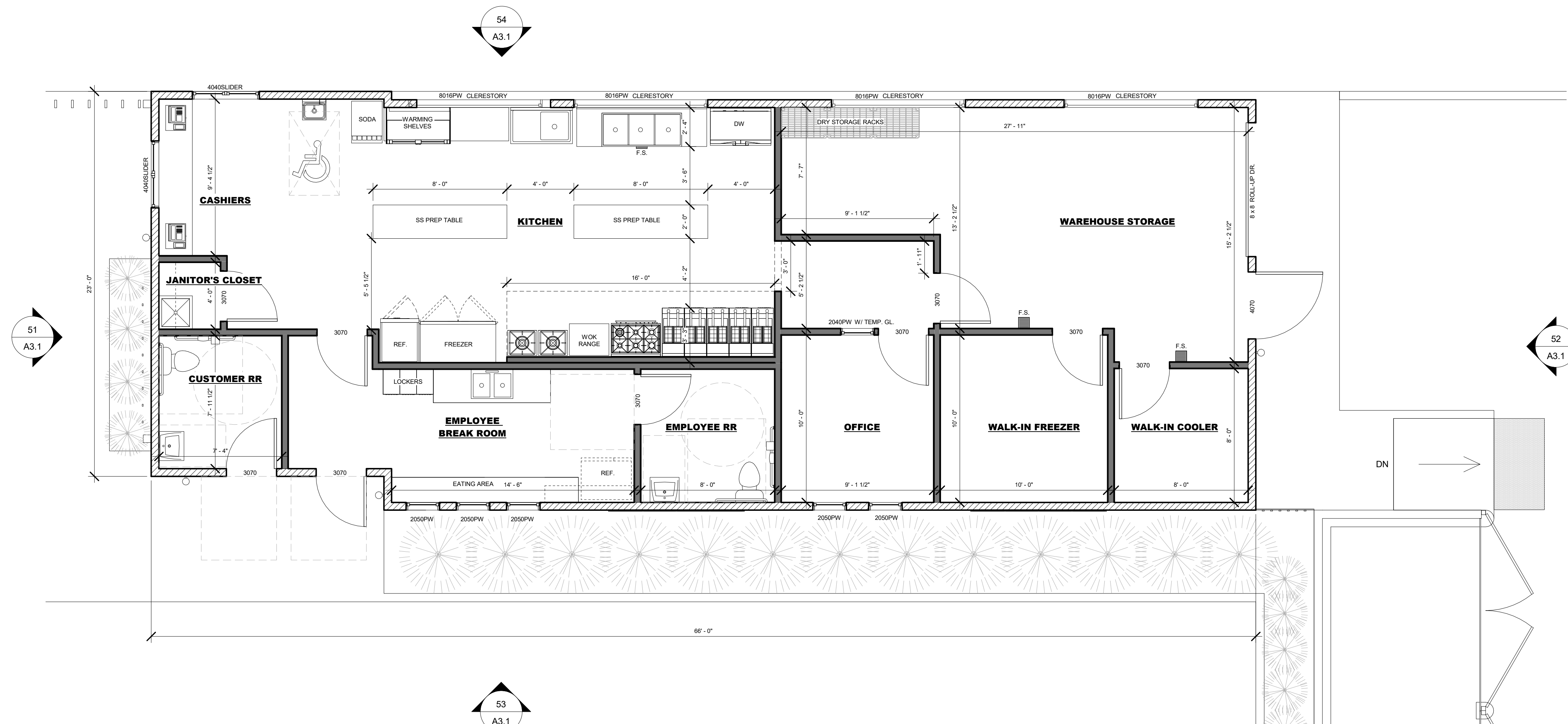
**PROJECT MANAGER:** AC

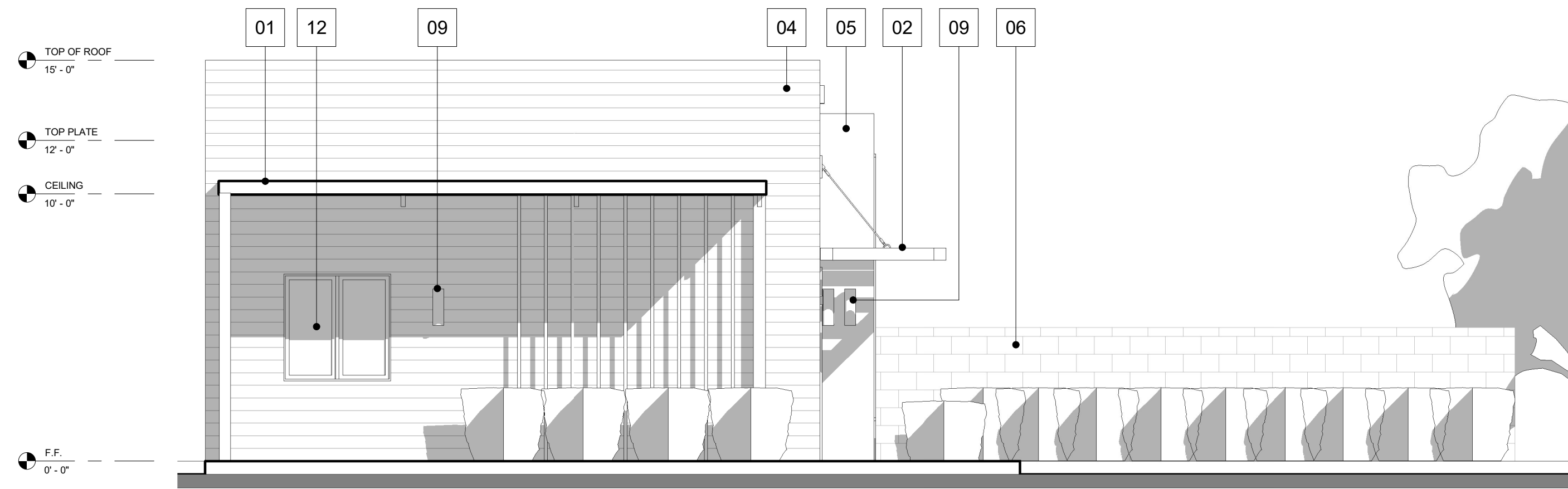
**JOB NUMBER:** 627  
 SHEET NUMBER

A2.1

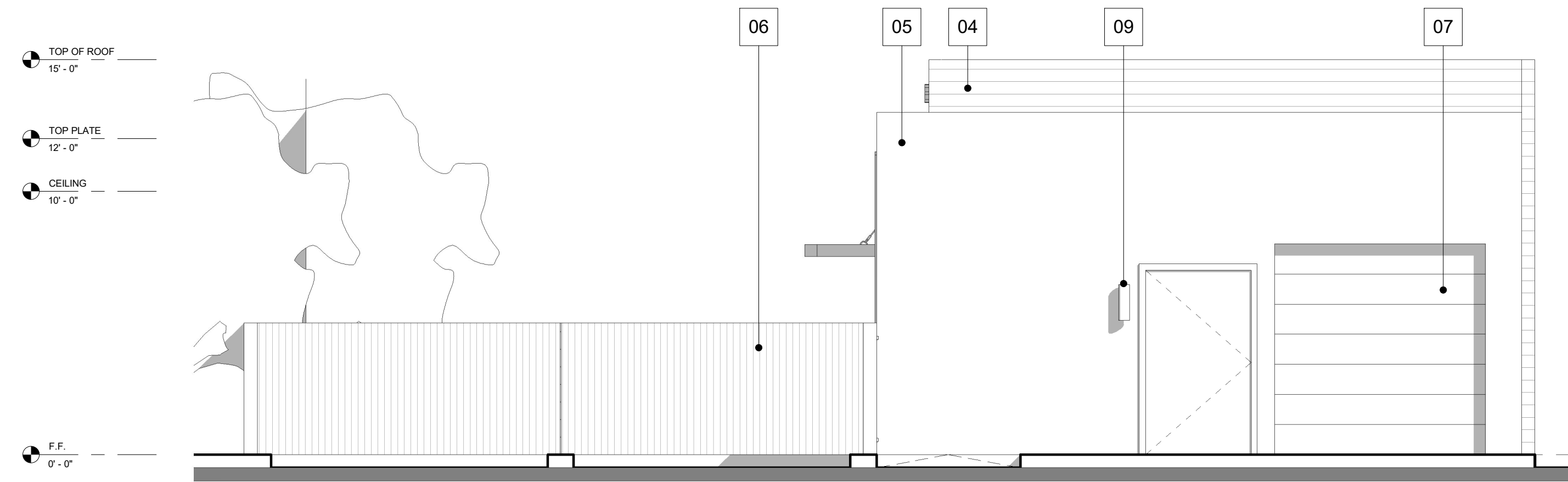
BUILDING AREA AND WALL / FIXTURE LEGEND:	
GENERAL KITCHEN/PREP AREA (INCLUDES RR/BREAK RM) STORAGE AREA	902 S.F. 695 S.F.
TOTAL BUILDING AREA:	1,597 S.F.
	2X4 D.F. #2 CONTINUOUS STUD WALL @ 16" O.C. (PROVIDE 2x FIRE BLOCKING AT WALLS OVER 10'-0")
	2X6 D.F. #2 CONTINUOUS STUD WALL @ 16" O.C. (PROVIDE 2x FIRE BLOCKING AT WALLS OVER 10'-0")
	2x8 OR 2x12 D.F. #3 STUD WALL - RE: FLOOR PLAN FOR WALL WIDTH
	2X HALF WALL

## 11 FLOOR PLAN - AREAS & WALL LEGEND

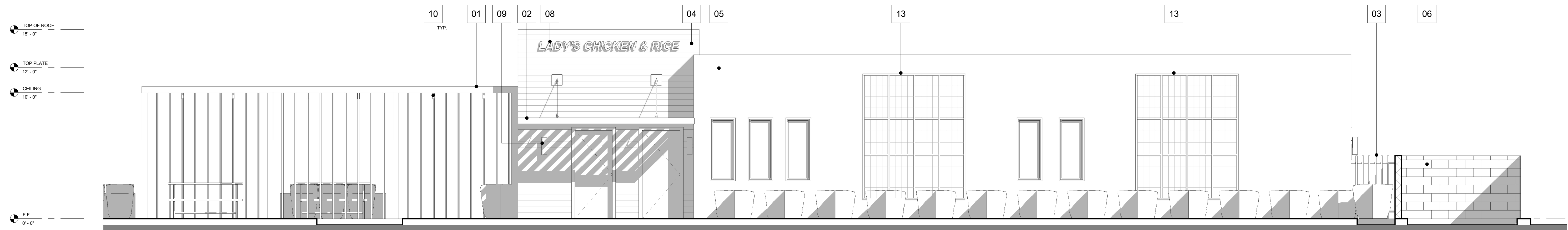




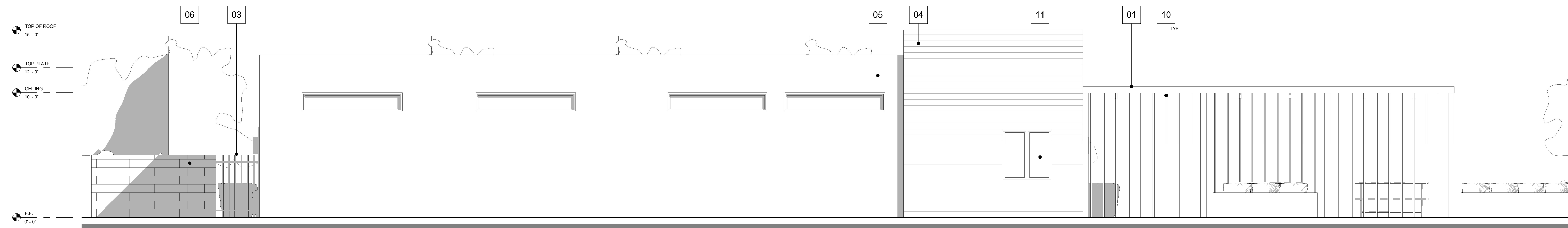
**51 NORTH ELEVATION**  
1/4" = 1'-0"



**52 SOUTH ELEVATION**  
1/4" = 1'-0"



**53 WEST ELEVATION**  
1/4" = 1'-0"



**54 EAST ELEVATION**  
1/4" = 1'-0"

**KEYNOTES: ELEVATIONS**

1. WOOD OR METAL PERGOLA
2. WOOD SHADE DEVICE
3. WOOD FENCE
4. METAL WALL PANELS
5. SMOOTH PLASTER FINISH
6. CMU TRASH ENCLOSURE WITH 20 GAUGE CORRUGATED METAL DOORS PER CITY STANDARDS
7. ROLL-UP DOOR
8. ILLUMINATED SIGN
9. WALL-MOUNTED LIGHT
10. SURFACE-MOUNTED PENDANT LIGHT
11. DRIVE-THRU SERVICE WINDOW
12. WALK-UP SERVICE WINDOW
13. WALL-MOUNTED PLANT FRAME

**11 ELEVATION - KEYNOTES**

SEAL

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**PROJECT**

LADY'S CHICKEN AND RICE

519 E. HOUSTON AVE.  
VISALIA, CA 93292

**CLIENT**

BOUNLEUK AND JIMMY THONGSENG

**REVISIONS**

REV # | REV DATE | REV DESCRIPTION

**SHEET TITLE**

BUILDING ELEVATIONS

DATE: 07/18/22

TECHNICIAN: KF

PROJECT MANAGER: AC

JOB NUMBER: 627  
SHEET NUMBER

SEAL

**NOT FOR CONSTRUCTION**

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**PROJECT**  
LADY'S CHICKEN AND RICE  
519 E. HOUSTON AVE.  
VISALIA, CA 93292

**CLIENT**  
BOUNLEUK AND JIMMY THONGSENG

**REVISIONS**  
REV # | REV DATE | REV DESCRIPTION

**SHEET TITLE**  
3D VIEWS

**DATE:** 06/20/22

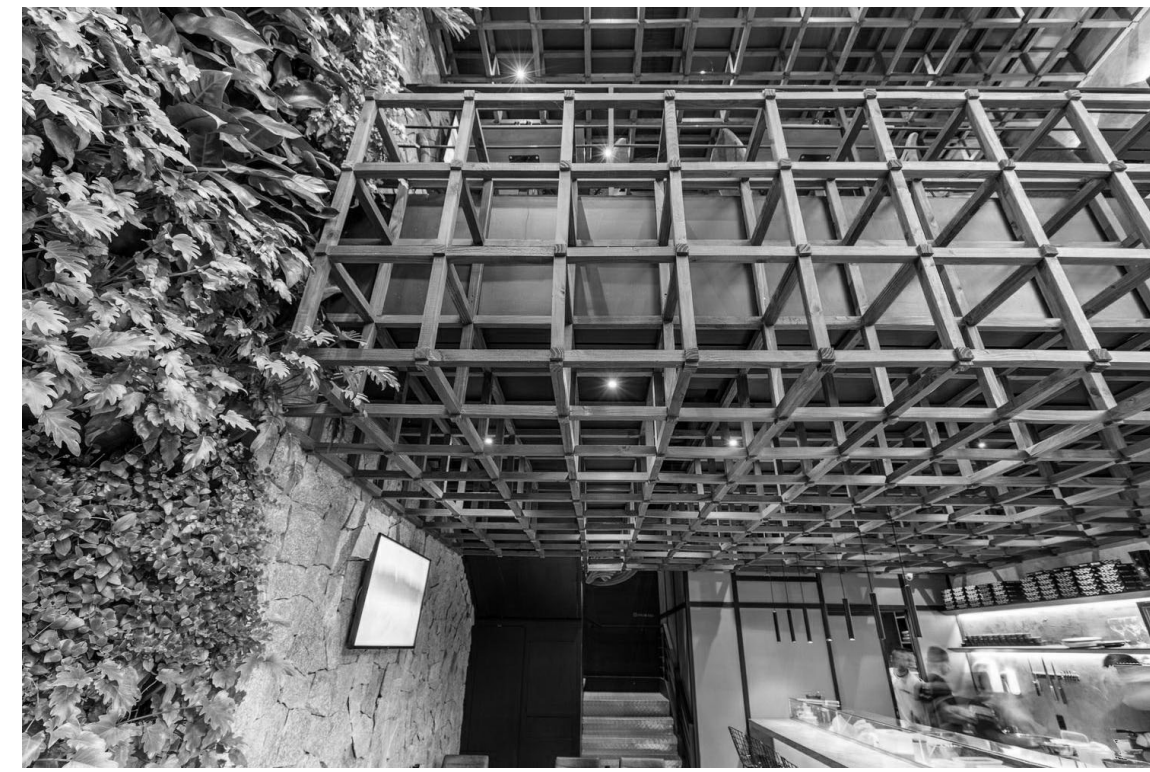
**TECHNICIAN:** KF

**PROJECT MANAGER:** AC

**JOB NUMBER:** 627  
SHEET NUMBER

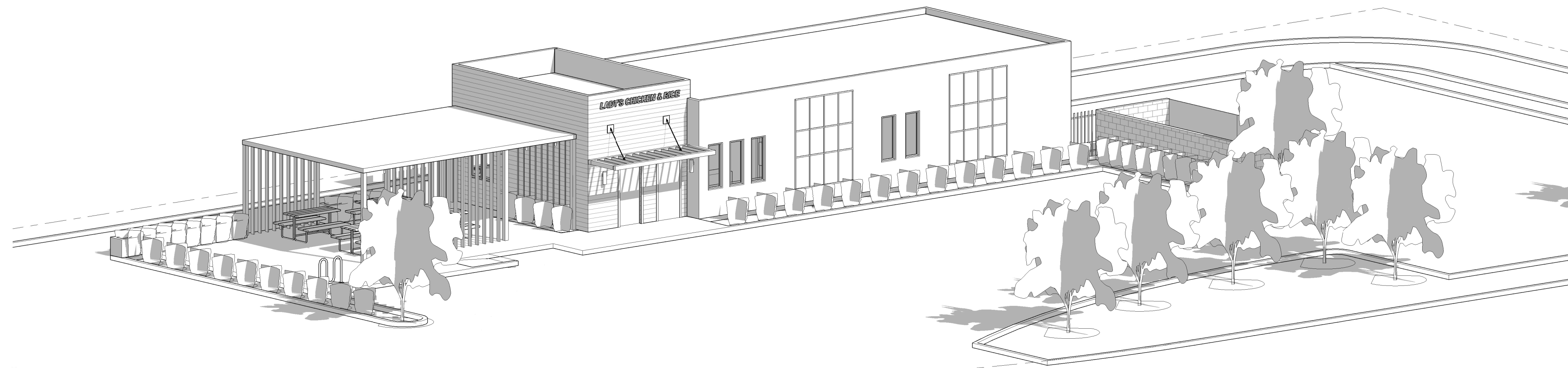


WRAPPING WOOD SHADE STRUCTURE

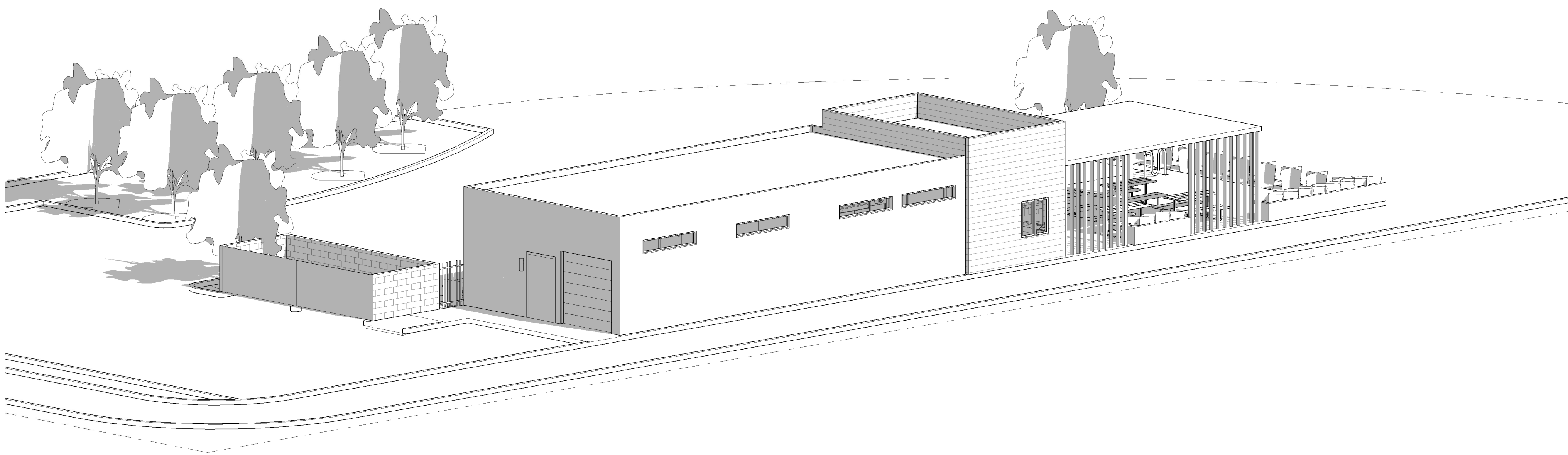


WOOD PERGOLA

**51** PRECEDENT IMAGERY



**53** ORTHO FRONT



**54** ORTHO BACK



No Fee

# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

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This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -  
- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Novaesthetix, LLC Date: 7/22/22

Project Description: no planned project.

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: \_\_\_\_\_

Property Owner: Sameh Nasr

Applicant(s) Name: Ariene Kobles

Project Address/Location: 350 W. Caldwell Ave.

Assessor Parcel Number: 123-240-009

Parcel Size (Acreage or Square Feet): \_\_\_\_\_ Building or Suite Square Footage: 820 SF

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ 0

Describe All Proposed Building Modifications:  
\_\_\_\_\_  
\_\_\_\_\_

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 07/20/2022

SPR Agenda: 07/27/2022 Item No. \_\_\_\_\_

Zone: D-PA SPR No. 22-125

Historic District: Yes  No

Flood Zone: X  AE  X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: VACANT

Proposed Building Use: eyelash services and supplies

Proposed Hours of Operation: 9-5pm

Days of Week In Operation (Circle): (Su) (M) (T) (W) (Th) (F) (Sa)

Number of Employees Per Day: 1-self Existing 0 Proposed 0

Number of Customers Per Day (Estimated): Existing 3 Proposed 10

Predicted Peak Operating Hour: 12-5pm

Describe Any Truck Delivery Schedule & Operations: n/a

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): none

Describe Any Special Events Planned for the Facility: none

Page 1 of 2 - Application continues on back of this page

SITE PLAN REQUIREMENTS

**SITE PLAN MINIMUM REQUIREMENTS**

- ⇓ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇓ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇓ Site plan shall provide for and indicate all of the following:
  - North arrow
  - Existing & proposed structures
  - Loading/unloading areas
  - All existing & proposed site features
  - Adjacent street names
  - Accessible path of travel from right of way
  - Site dimensions, including building
  - Refuse enclosures & containers
  - Accessible path of travel from ADA stall
  - Existing and proposed fencing at site
  - Valley oak trees (show drip line)
  - Location and width of drive approaches to site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed landscaping
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
  - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Arlene Robins Signature of Owner or Authorized Agent\*

Address: 212 W Whitendale Ave Owner \_\_\_\_\_ Date \_\_\_\_\_

City, State, Zip Visalia CA 93277 Authorized Agent\* \_\_\_\_\_ Date \_\_\_\_\_

Phone: 310 022-2957

Email: AYEDEEARE95@GMAIL.COM

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION FORM

**AGENCY AUTHORIZATION**

OWNER:


I, Sameh Nasr, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):  
123240009

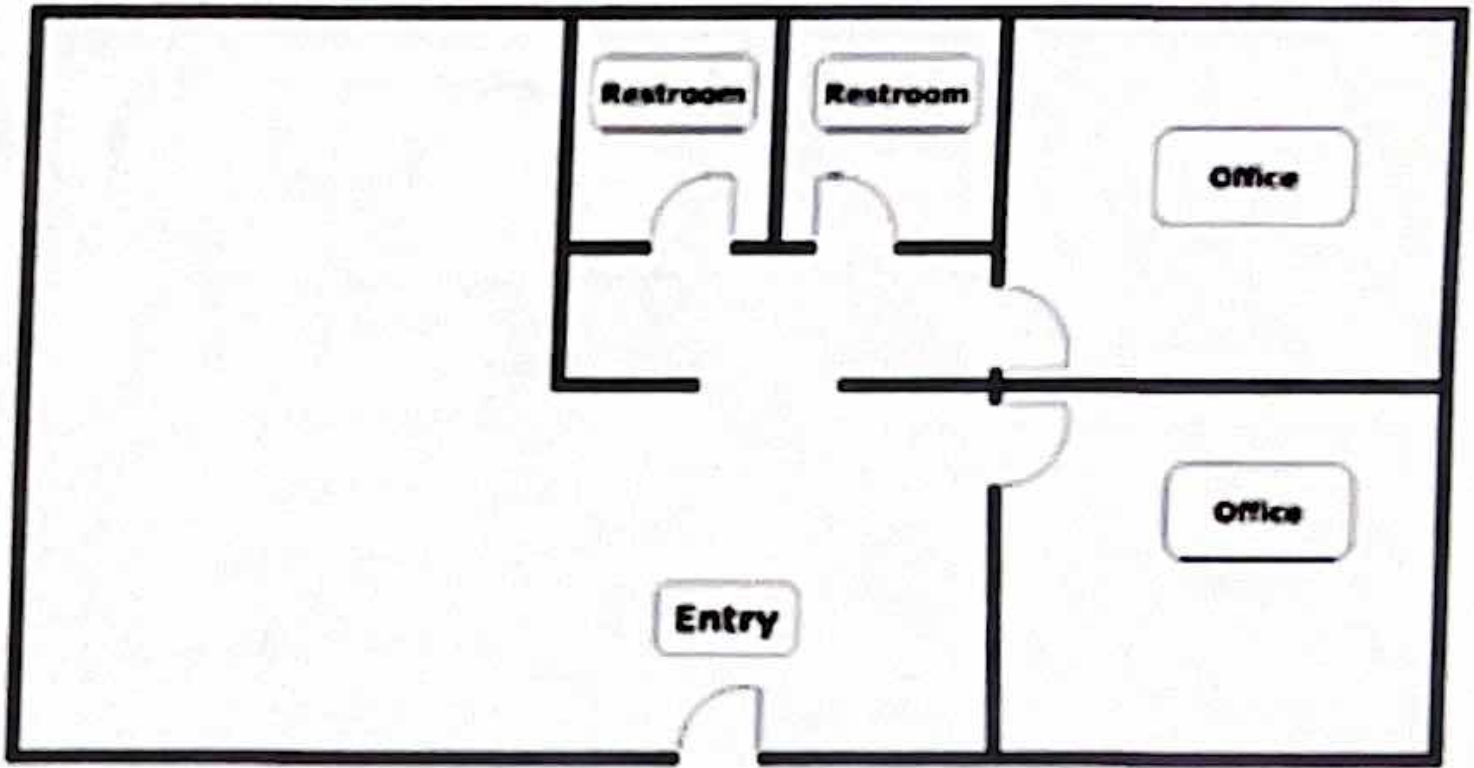
AGENT:

I designate \_\_\_\_\_ to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to \_\_\_\_\_ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

OWNER	AGENT
 Signature of Owner	_____ Signature of Agent
<u>PO Box 7270</u> Owner Mailing Address	_____ Agent Mailing Address
<u>Visalia Ca 93290</u> Owner Phone Number	_____ Agent Phone Number
<u>510 406 4898</u>	



**350 W Caldwell**

# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

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- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Lot Split in Half Per SB9 Date: 7/14/2022  
 Project Description: Split a lot in half, per SB9. Currently, lot is completely vacant with no buildings, utilities, or sidewalks  
 Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: \_\_\_\_\_  
 Property Owner: Feliciano Haro / Patricia Haro  
 Applicant(s) Name: Feliciano Haro and Patricia Haro  
 Project Address/Location: 1239 E. K Ave., Visalia, CA 93292  
 Assessor Parcel Number: 123-340-066-000  
 Parcel Size (Acreage or Square Feet): 0.36 acre Building or Suite Square Footage: empty lot/all land

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ N/A

Describe All Proposed Building Modifications: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 7/20/22

SPR Agenda: 7/27/22 Item No. \_\_\_\_\_

Zone: R-1-5 SPR No. 22-126

Historic District: Yes  No

Flood Zone:  AE  X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: N/A All land/empty lot

Proposed Building Use: \_\_\_\_\_

Proposed Hours of Operation: \_\_\_\_\_

Days of Week In Operation (Circle):    Su   M   T   W   Th   F   Sa

Number of Employees Per Day:                      Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Number of Customers Per Day (Estimated):    Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Predicted Peak Operating Hour: \_\_\_\_\_

Describe Any Truck Delivery Schedule & Operations: \_\_\_\_\_  
 \_\_\_\_\_

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees  
 (Provide Separate Attachment if Necessary): \_\_\_\_\_  
 \_\_\_\_\_

Describe Any Special Events Planned for the Facility: \_\_\_\_\_  
 \_\_\_\_\_

**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ⇓ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇓ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇓ Site plan shall provide for and indicate all of the following:
  - North arrow
  - Existing & proposed structures
  - Loading/unloading areas
  - All existing & proposed site features
  - Adjacent street names
  - Accessible path of travel from right of way
  - Site dimensions, including building
  - Refuse enclosures & containers
  - Accessible path of travel from ADA stall
  - Existing and proposed fencing at site
  - Valley oak trees (show drip line)
  - Location and width of drive approaches to site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed landscaping
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
  - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Feliciano B. Haro Signature of Owner or Authorized Agent\*

Address: 17116 S. Grand St. Feliciano B. Haro Patricia B. Haro 7/20/2022  
Owner Date

City, State, Zip: Visalia, CA 93292

Phone: 559-741-9676

Email: patyharo63@gmail.com Authorized Agent\* Date

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:

I, \_\_\_\_\_, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

\_\_\_\_\_

AGENT:


I designate \_\_\_\_\_, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to \_\_\_\_\_ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number

# RESIDENTIAL SITE PLAN

  
SCALE 1" = 10'

## LOT DESCRIPTION

A.P.N.: 123-340-066-000  
ADDRESS: 1239 E. K AVE., VISALIA, CA 93292

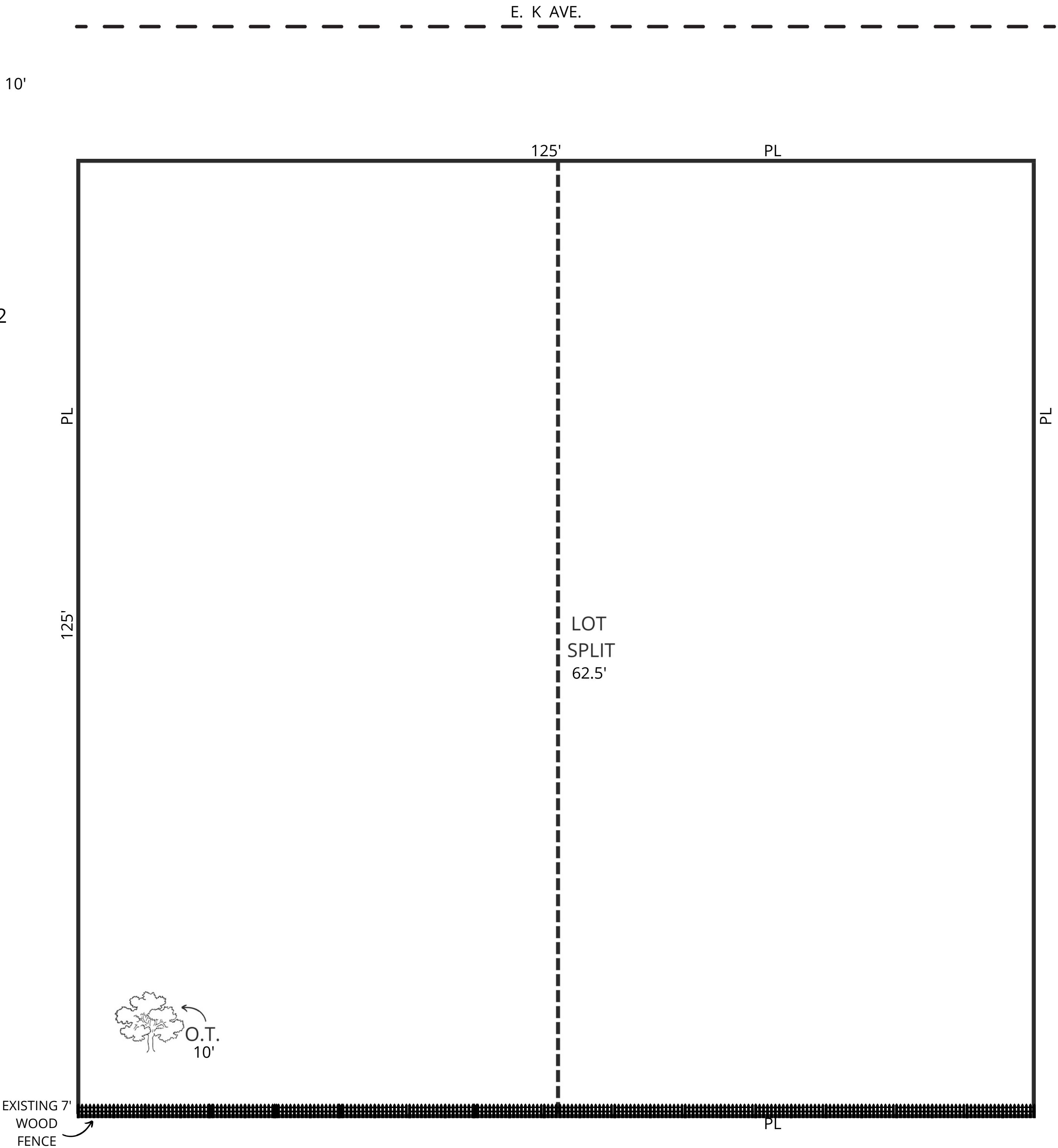
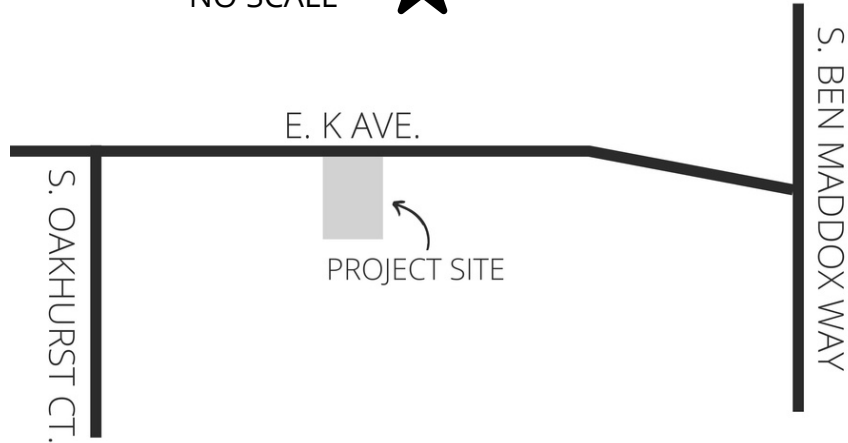
LEGAL OWNERS: FELICIANO & PATRICIA HARO  
1716 S. GRAND ST, VISALIA, CA 93292  
PHONE: 559.741.9676

## LEGEND

- PL PROPERTY LINE
- CL CENTER LINE OF STREET
- O.T. OAK TREE
- - - PROPOSED LOT SPLIT
- PROPERTY LINE
- ▤ EXISTING FENCE

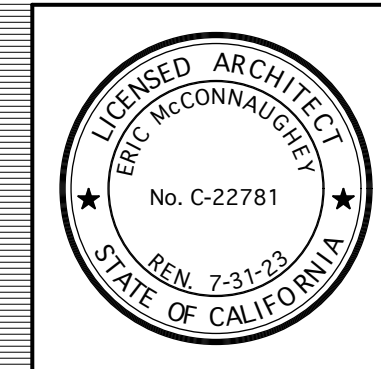
## VICINITY MAP

NO SCALE





**DESIGN GROUP**  
INCORPORATED  
ARCHITECTS



4412 W. FERGUSON  
VISALIA, CA. 93291  
(559) 732-9236  
FAX: 732-5836

SCALE: AS NOTED  
JOB #: 21-007

A NEW PAGE FACILITY FOR  
**FAMILY HEALTH CARE NETWORK**  
VISALIA, CA

DATE: 7-18-22  
REVISIONS:  
REVISIONS:  
REVISIONS:  
REVISIONS:  
REVISIONS:

Sheet:  
**A-1**

**PARKING:**

<b>PARKING REQUIREMENT</b>		
SENIOR DAYCARE:	25,000 SQ. FT. @ 200	= 125
	PARKING REQUIREMENT:	= 125
<b>ACCESSIBLE PARKING REQUIREMENT</b>		
GENERAL:	125 @ (101 TO 150)	= 5
	VAN ACCESSIBLE REQUIRED: (2 REQD/6)	= 2
<b>PARKING PROVIDED</b>		
STANDARD:		= 94
COMPACT:		= 15
ACCESSIBLE (STANDARD):		= 3
ACCESSIBLE (VAN):		= 2
	TOTAL PARKING PROVIDED	= 114

**PROJECT INFORMATION:**

ADDRESS: SCHOOL AVE., VISALIA CA., 93291

APN: 094-250-036 8039

OCCUPANCY: B

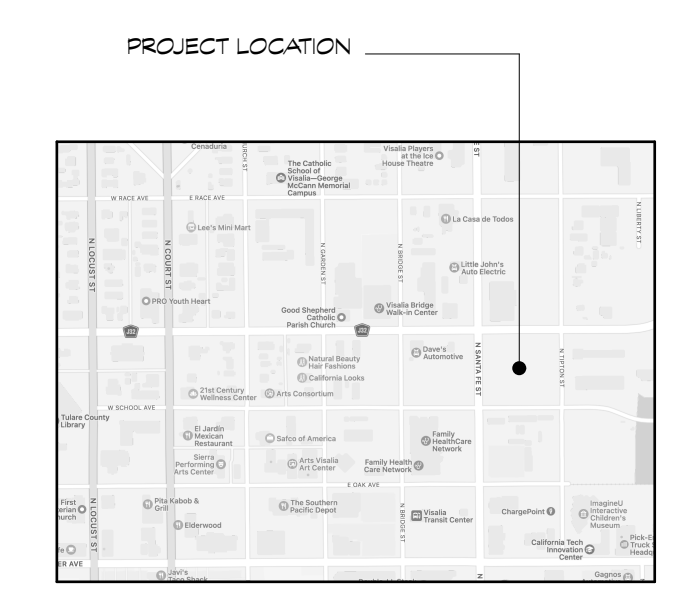
CONSTRUCTION TYPE: V-B

ZONING: C-MU

FLOOD ZONE: AE

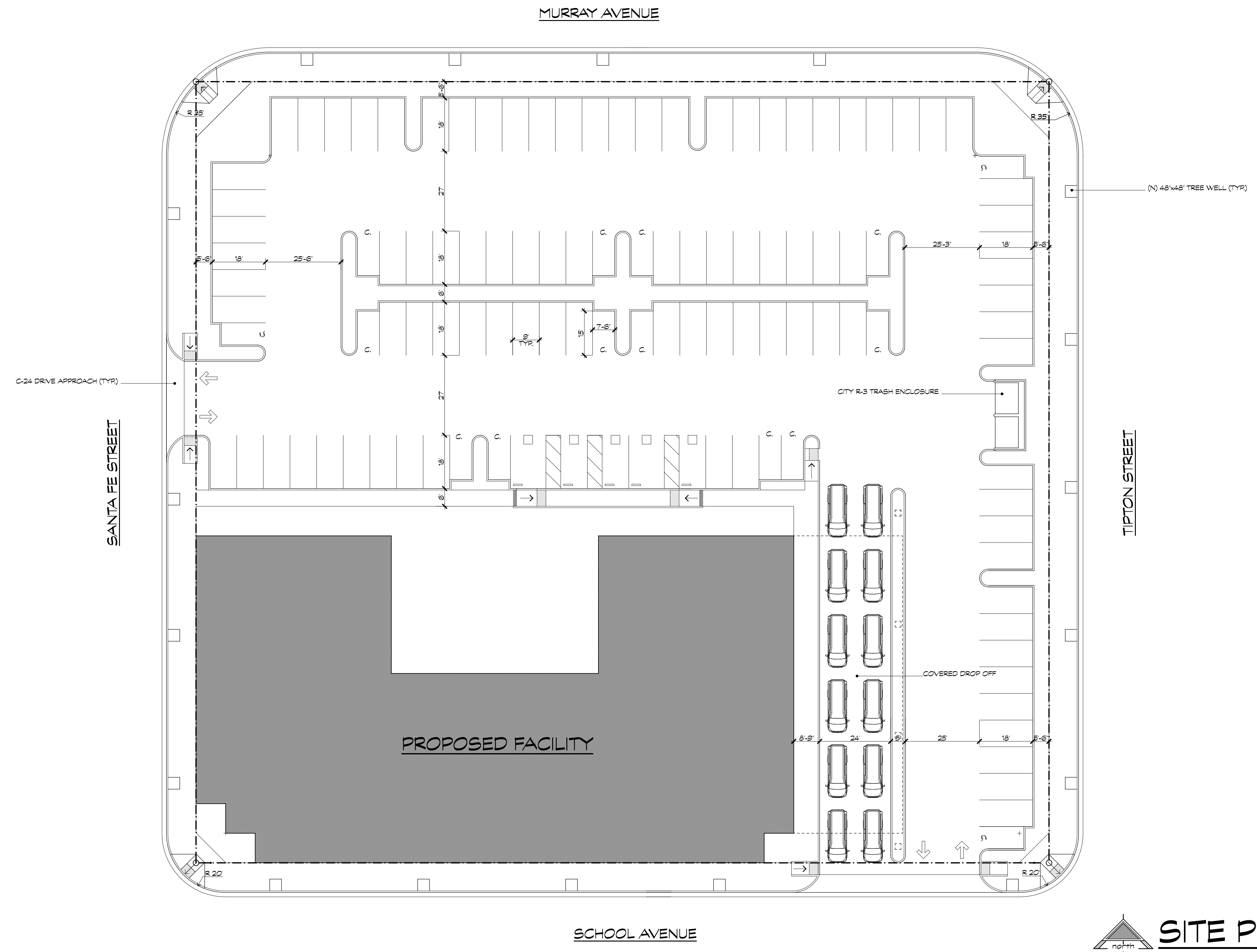
GROSS ACREAGE: 1.79 ACRES

BUILDING AREA: 25,000 S.F.



**PROJECT NARRATIVE:**

THIS PROJECT IS A FUTURE 25,000 SQ. FT. ADULT DAYCARE FACILITY. CLIENTS WILL BE PICKED UP BY VANS, BROUGHT TO THE FACILITY IN THE MORNING AND RETURNED HOME IN LATE AFTERNOON. THIS IS A DAY USE ONLY FACILITY. PARKING IS FOR STAFF AND VISITORS.



**SITE PLAN**  
SCALE: 1" = 20'-0"

# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application **MUST** be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on **Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present** -  
 - Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: A new adult daycare facility Date: 7/21/22

Project Description: A new 25,000 s.f. All-inclusive Care for the Elderly

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: \_\_\_\_\_

Property Owner: Family Health Care Network

Applicant(s) Name: Family Health Care Network

Project Address/Location: E. School Ave. & Santa Fe

Assessor Parcel Number: 0 9 4 - 2 5 0 - 0 3 8 , 039

Parcel Size (Acreage or Square Feet): 1.75 acres Building or Suite Square Footage: 25,000

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ none

Describe All Proposed Building Modifications: none

\_\_\_\_\_

\_\_\_\_\_

- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received: 07/21/2022

SPR Agenda: 07/27/2022 Item No. \_\_\_\_\_

Zone: D-MU SPR No. 22-127

Historic District: Yes  No

Flood Zone: X  AE  X/AE

OPERATIONS & TRAFFIC INFORMATION

**- - A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS - -**

Existing/Prior Building Use: None

Proposed Building Use: Adult daycare

Proposed Hours of Operation: 8am - 5pm

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing 0 Proposed 40

Number of Customers Per Day (Estimated): Existing 0 Proposed 80

Predicted Peak Operating Hour: 8-9am & 4-5pm

Describe Any Truck Delivery Schedule & Operations: none scheduled, periodic supply deliveries.

\_\_\_\_\_

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees  
 (Provide Separate Attachment if Necessary): none

\_\_\_\_\_

Describe Any Special Events Planned for the Facility: none

\_\_\_\_\_



**SITE PLAN MINIMUM REQUIREMENTS**

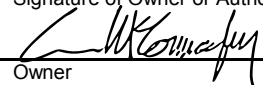
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- Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)	- Existing & proposed landscaping	- Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
	- Parking stalls (include ADA)	

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Eric McConnaughey</u>	Signature of Owner or Authorized Agent*	
Address: <u>4412 W. Ferguson Ave.</u>		<u>7/21/22</u>
City, State, Zip <u>Visalia, CA 93291</u>	Owner	Date
Phone: <u>732-9236</u>		
Email: <u>Eric@ebmdesigngroup.com</u>	Authorized Agent*	Date

\* If signed by an authorized agent , the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

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Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number