

SITE PLAN REVIEW AGENDA

6/15/2022 - 9:00 A.M.

Conference Room #4

315 E. Acequia Avenue

ITEM NO: 1 Resubmit

SITE PLAN NO: SPR21141

PROJECT TITLE: Belissa Multi-Family CUP

DESCRIPTION: Proposing 168 multi-family units on an approximately 7.15+ acre site. (X)

APPLICANT: David Duda

OWNER: O & B CRANDELL LLC

APN: 077050006

LOCATION:

ITEM NO: 2 Resubmit

SITE PLAN NO: SPR22063

PROJECT TITLE: Demaree Apartments

DESCRIPTION: This is a 228 Unit, 30 DU/AC, 100% Affordable, Multi-family Residential Project. (O-P/ R-M-3)

APPLICANT:

OWNER: DAVIS KAP SU (TR)

DAVIS KAP(SURV TR OF DAVIS FAM TR)

DAVIS KAP SU (TR)(FAM REV TR)

APN: 077660022

077660024

077660021

LOCATION: 1311 N DEMAREE ST

ITEM NO: 3 Resubmit

SITE PLAN NO: SPR22065

PROJECT TITLE: Ben Maddox Way Apartments

DESCRIPTION: This is a 330 unit, 30.5 DU/AC, 100% affordable, Multi-family Residential Project. (

APPLICANT: Maracor

OWNER: CONGLETON GEORGE & PATRICIA(TRS)

APN: 126120066

126120065

LOCATION: Southwest Corner of K Ave & Ben Maddox Way

ITEM NO: 4 Resubmit

SITE PLAN NO: SPR22077

PROJECT TITLE: Vang Inc Consulting Engineers

DESCRIPTION: Proposed 4 Unit Multifamily Project (R-M-3)

APPLICANT: Ken Vang

OWNER: LOOPER DALE & KATHY

APN: 094041006

LOCATION: 201 NW 3RD AVE

ITEM NO: 5

SITE PLAN NO: SPR22098

PROJECT TITLE: Rancho Colegio

DESCRIPTION: New Affordable Rental Community Comprised of One, Two and Three-bedroom Units, with 80 Total Unit on-site. Project Includes a Community Center and Outdoor Shared Community Amenities.

APPLICANT: Jamie Steinmetz

OWNER: COLEGIO DE LA TIERRA

AFTER REVIEW OF REGULAR AGENDA ITEMS, THE COMMITTEE WILL BE AVAILABLE TO REVIEW OFF-AGENDA ITEMS FOR INFORMAL REVIEW. THE COMMITTEE WILL BE AVAILABLE TO ANSWER QUESTIONS AT THAT TIME.

SITE PLAN REVIEW AGENDA

6/15/2022 - 9:00 A.M.

Conference Room #4

315 E. Acequia Avenue

APN: 079071030

LOCATION: Parcel on the Southeast Corner of Court St & Esquivel Ave.

ITEM NO: 6

SITE PLAN NO: SPR22099

PROJECT TITLE: Medical SPR

DESCRIPTION: The Existing Site Currently Consists of 3 Rooms with 4 Existing Parking Spaces. This is not a Walking in Clinic, by Appointment Only. Renovate and Upgrade the Property. Add Sinks in each Office.

APPLICANT: Larry Lewis

OWNER: LAURIE DRESSER D O INC

APN: 096142017

LOCATION: 523 W NOBLE AVE

ITEM NO: 7

SITE PLAN NO: SPR22100

PROJECT TITLE: Maplewood Apartments

DESCRIPTION: Replace 2-Story 4 Unit Building (lost to Fire) with new 3-Story 6 Unit Building & Construct Separate new 3-Story 6 Unit Building in Southeast Corner of Property. (R-M-3)

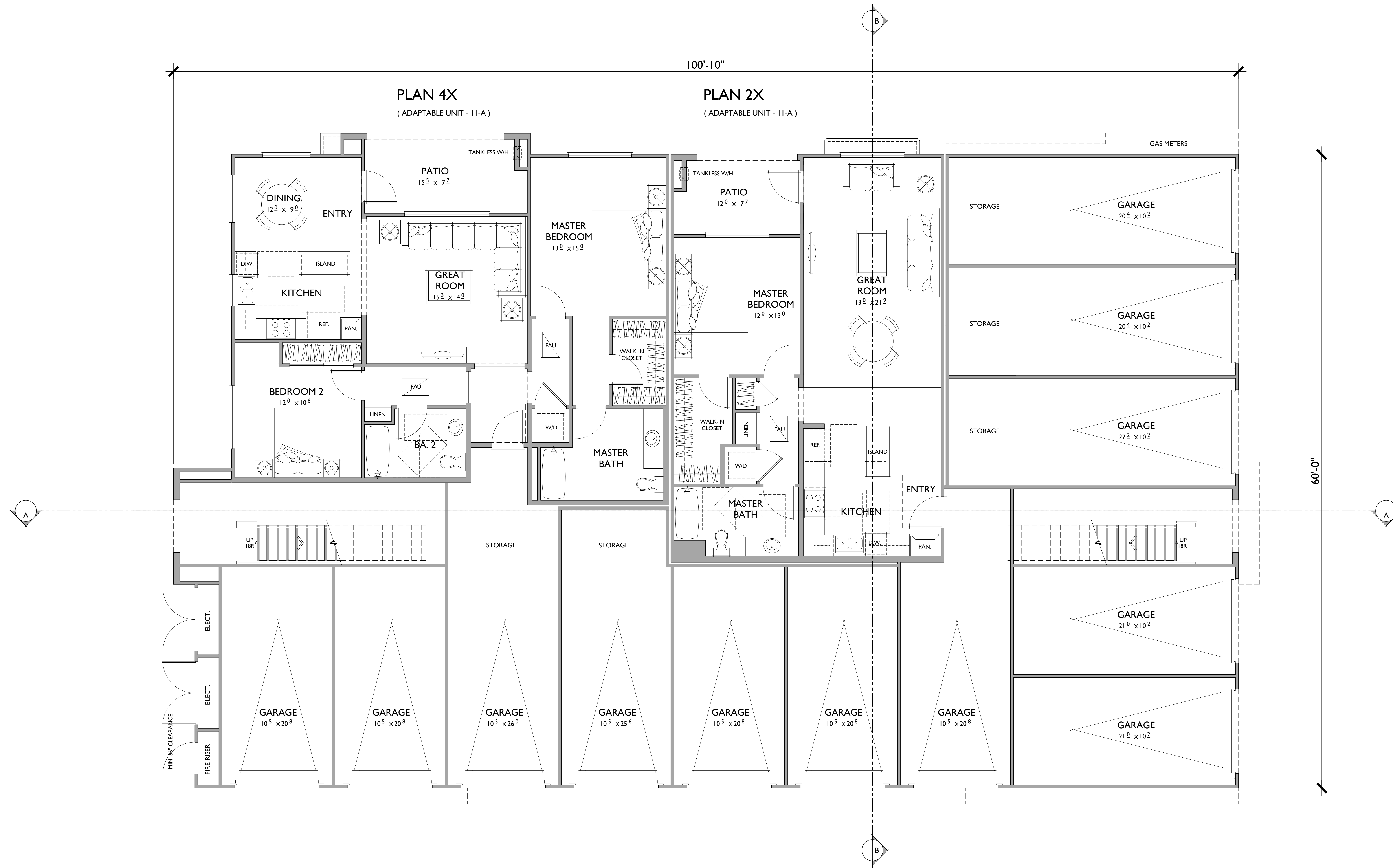
APPLICANT: Daniel Drowns

OWNER: MAPLEWOOD-DROWN LLC

APN: 126290035

LOCATION: 3940 S SHADY CT

AFTER REVIEW OF REGULAR AGENDA ITEMS, THE COMMITTEE WILL BE AVAILABLE TO REVIEW OFF-AGENDA ITEMS FOR INFORMAL REVIEW. THE COMMITTEE WILL BE AVAILABLE TO ANSWER QUESTIONS AT THAT TIME.



PLAN 2 / 2X

901 SQ. FT.
 1 BEDROOMS / 1 BATHS
 1 - CAR GARAGE

FLOOR AREA TABLE

1ST FLOOR	901 SQ. FT.
DECK	93 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

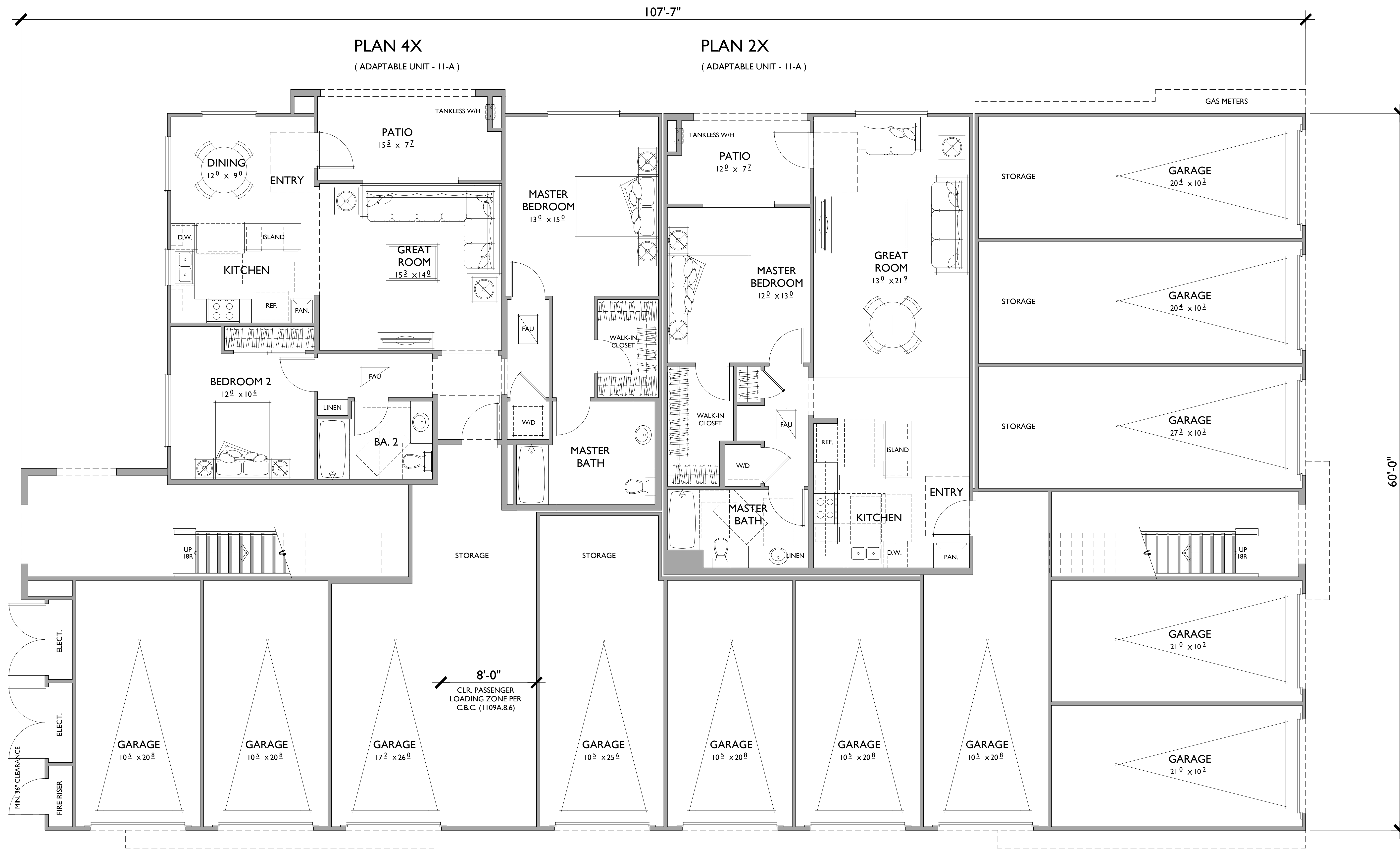
PLAN 4 / 4X

1,212 SQ. FT.
 2 BEDROOMS / 2 BATHS
 1 - CAR GARAGE

FLOOR AREA TABLE

1ST FLOOR	1,212 SQ. FT.
DECK	118 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



PLAN 2 / 2X

901 SQ. FT.
 1 BEDROOMS / 1 BATHS
 1 - CAR GARAGE

FLOOR AREA TABLE

1ST FLOOR	901 SQ. FT.
DECK	93 SQ. FT.

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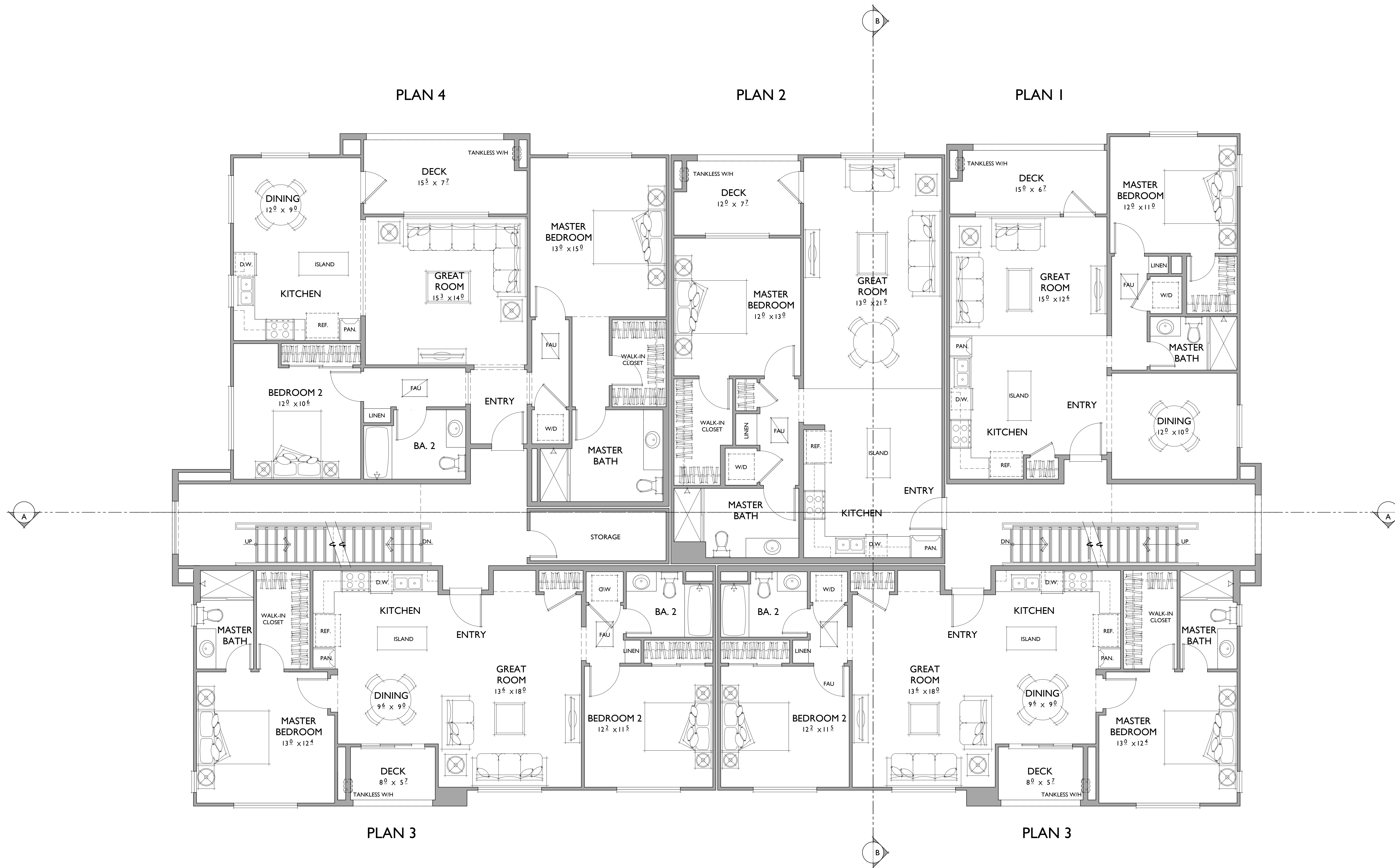
PLAN 4 / 4X

1,212 SQ. FT.
 2 BEDROOMS / 2 BATHS
 1 - CAR GARAGE

FLOOR AREA TABLE

1ST FLOOR	1,212 SQ. FT.
DECK	118 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



PLAN 1
 793 SQ. FT.
 1 BEDROOMS / 1 BATHS
 1 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	793 SQ. FT.
DECK	100 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

PLAN 2 / 2X
 901 SQ. FT.
 1 BEDROOMS / 1 BATHS
 1 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	901 SQ. FT.
DECK	93 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

PLAN 3
 1,020 SQ. FT.
 2 BEDROOMS / 2 BATHS
 1 - CAR GARAGE

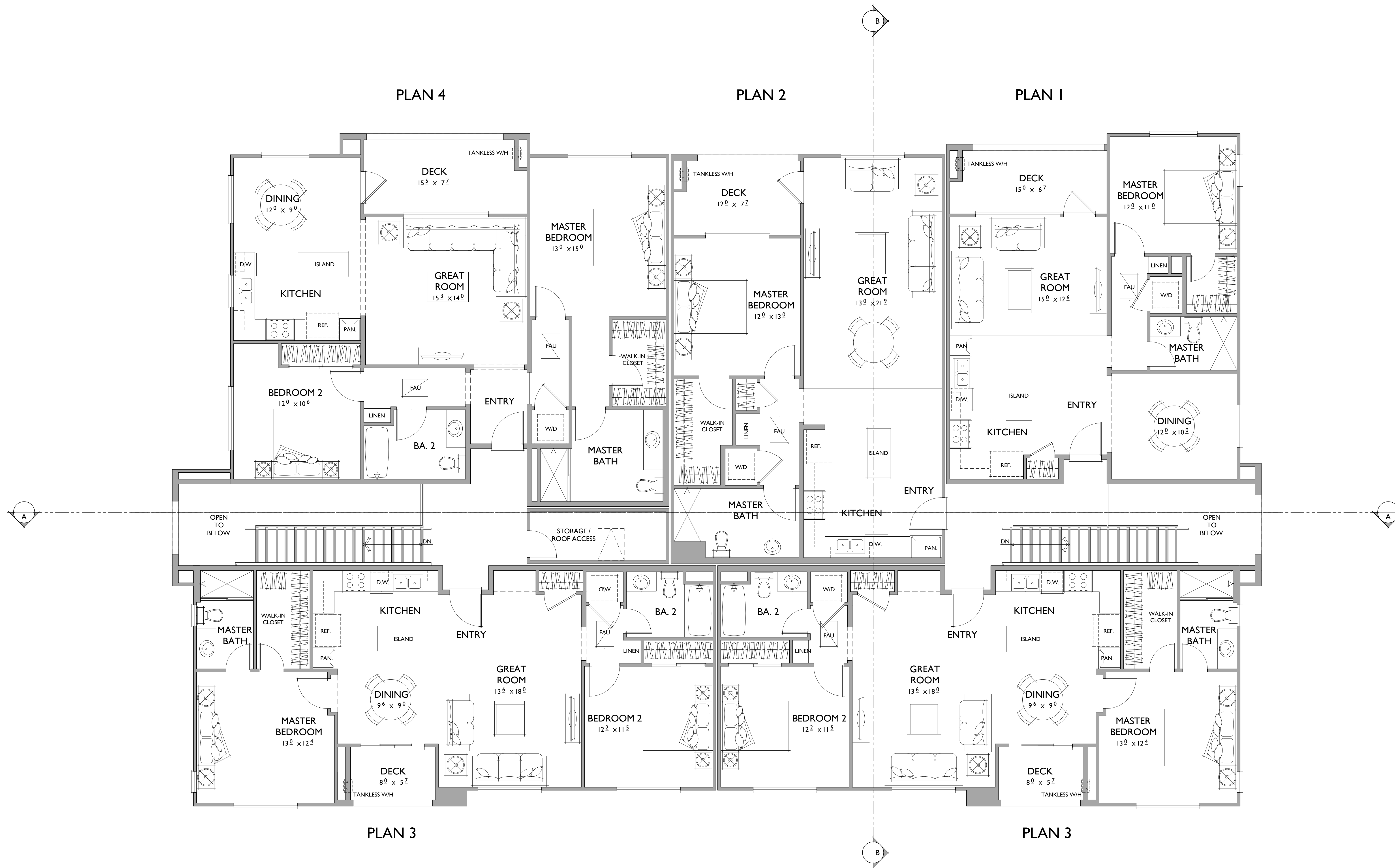
FLOOR AREA TABLE	
1ST FLOOR	1,020 SQ. FT.
DECK	51 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

PLAN 4 / 4X
 1,212 SQ. FT.
 2 BEDROOMS / 2 BATHS
 1 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,212 SQ. FT.
DECK	118 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



PLAN 1
793 SQ. FT.
 1 BEDROOMS / 1 BATHS
 1 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	793 SQ. FT.
DECK	100 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

PLAN 2 / 2X
901 SQ. FT.
 1 BEDROOMS / 1 BATHS
 1 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	901 SQ. FT.
DECK	93 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

PLAN 3
1,020 SQ. FT.
 2 BEDROOMS / 2 BATHS
 1 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,020 SQ. FT.
DECK	51 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

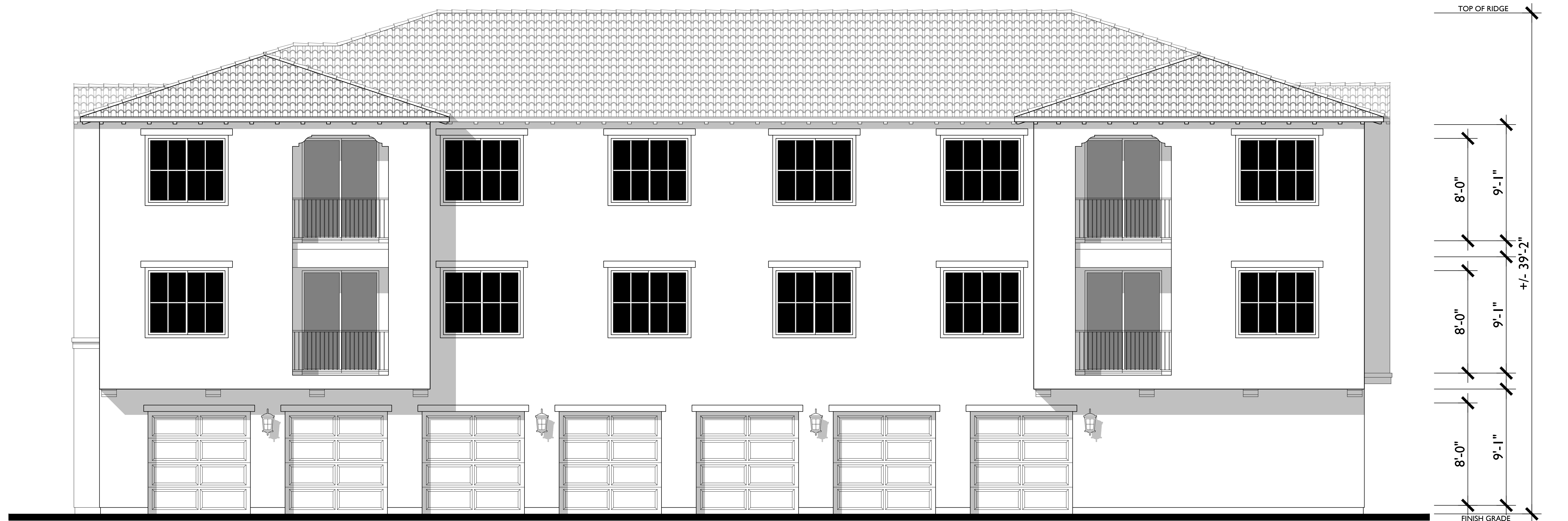
PLAN 4 / 4X
1,212 SQ. FT.
 2 BEDROOMS / 2 BATHS
 1 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	1,212 SQ. FT.
DECK	118 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



FRONT



REAR

12- PLEX - CONCEPTUAL FLOOR PLAN

Front & Rear Elevations

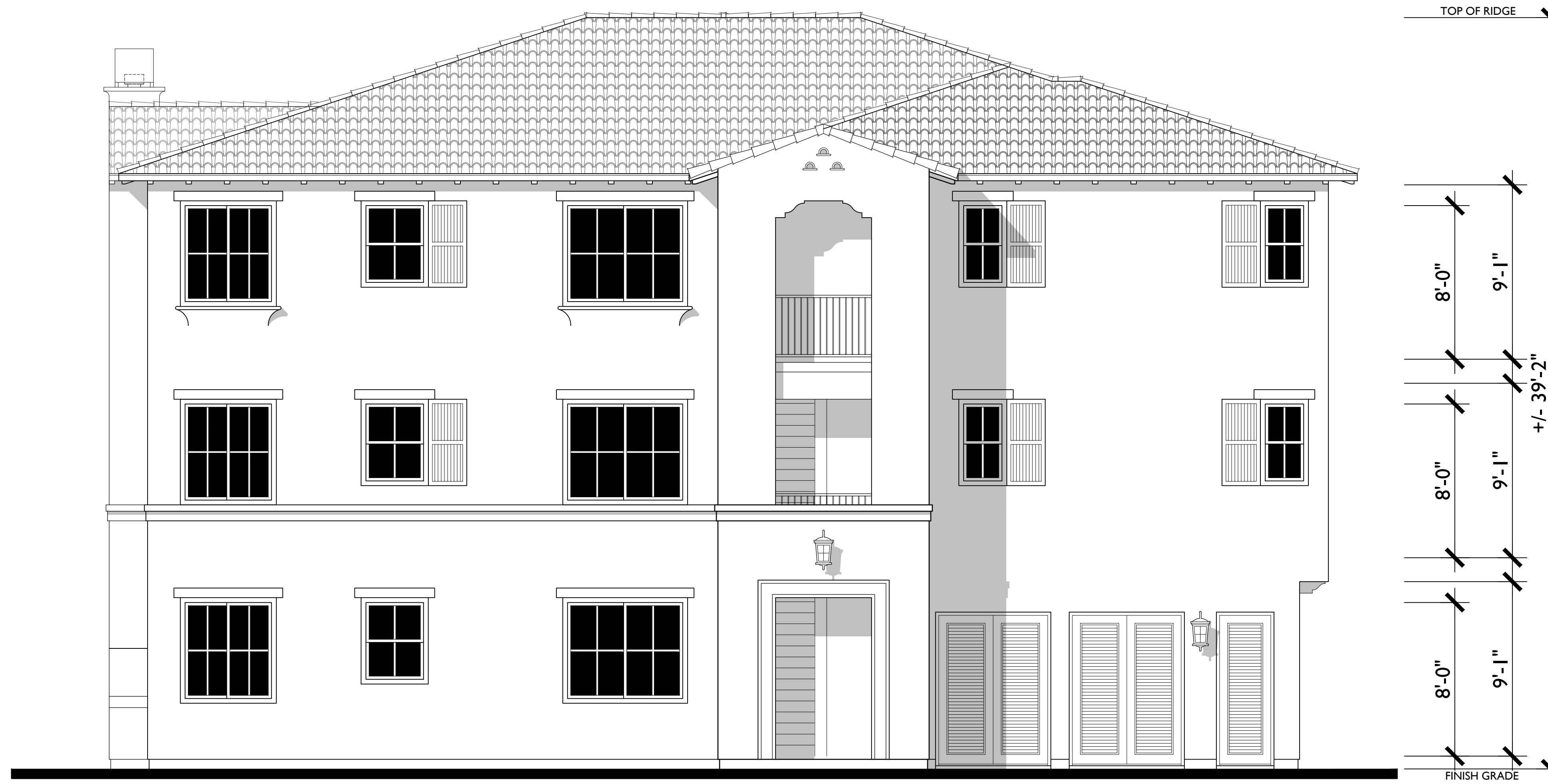
WICKS APARTMENTS

Clovis , CA

0 2 4 8 457.19124



LEFT



RIGHT

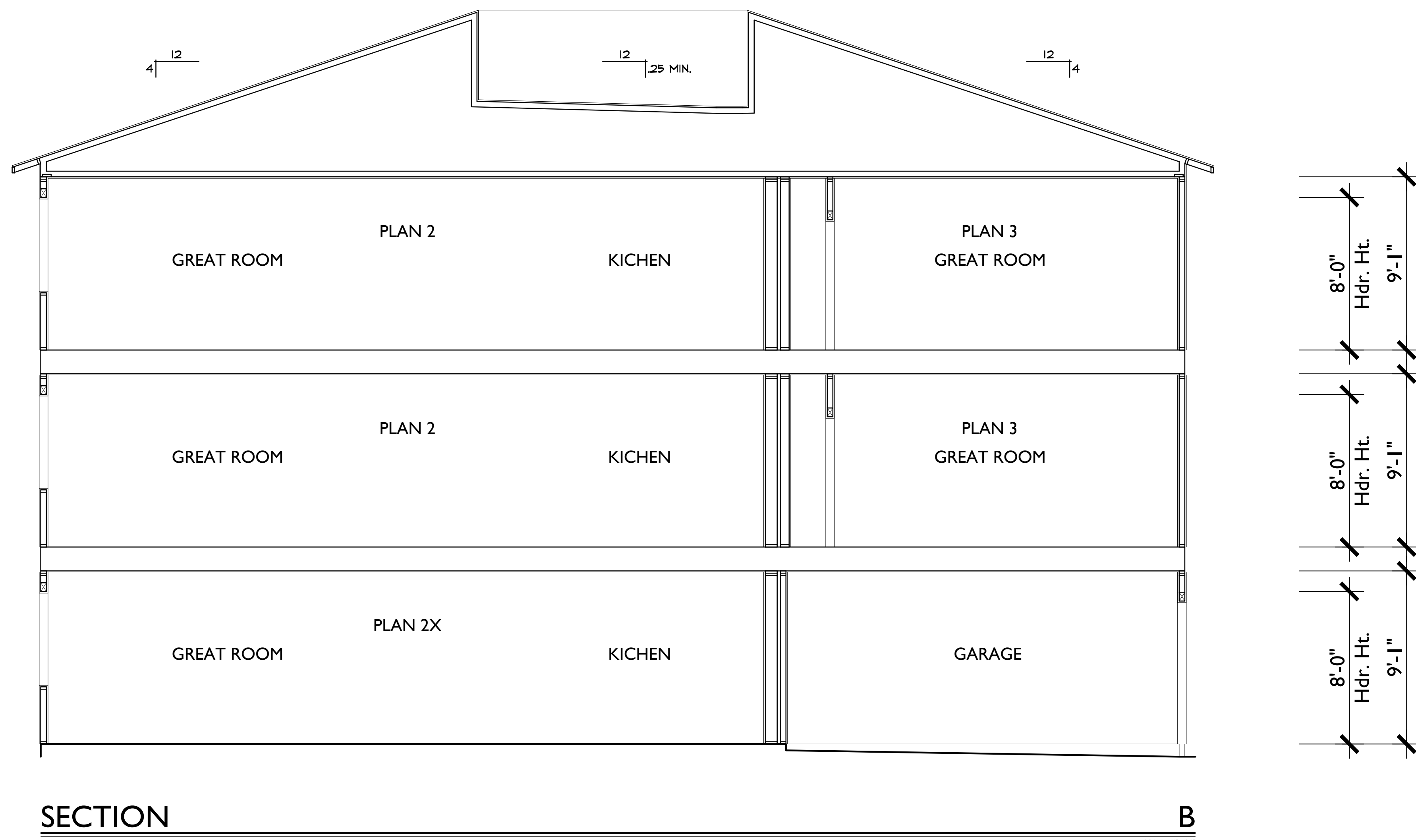
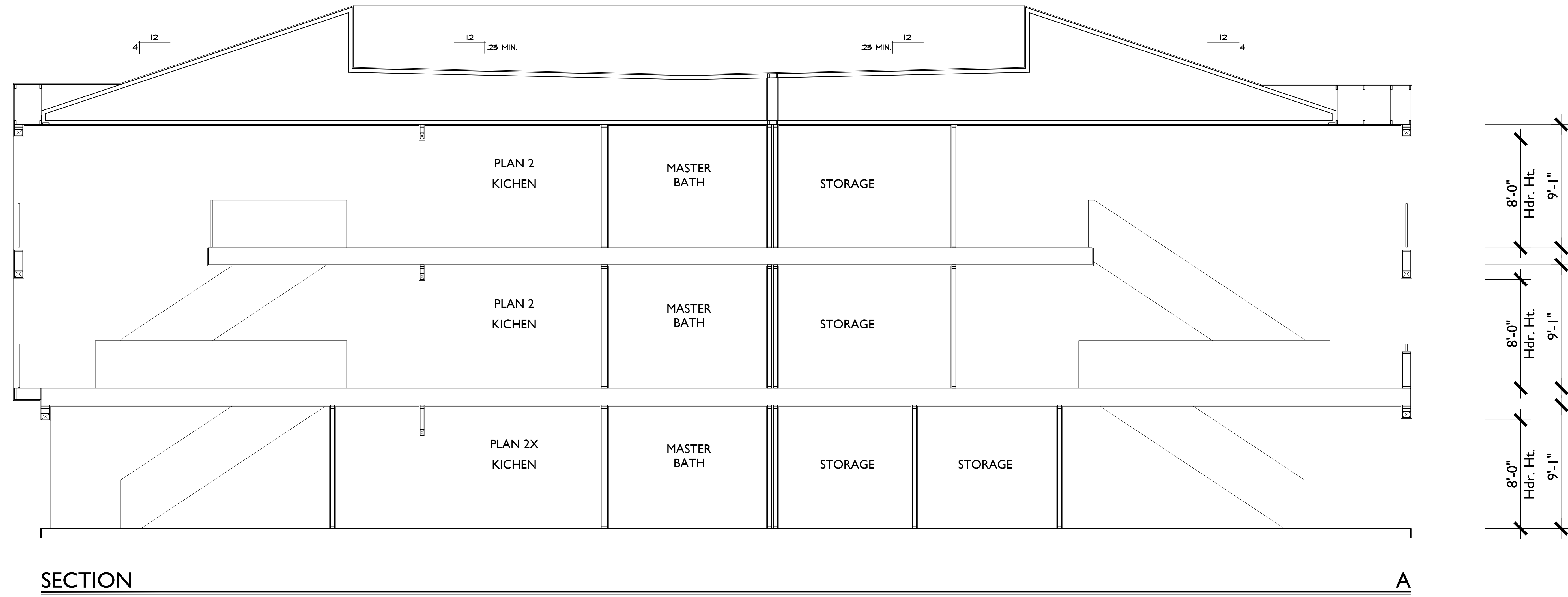
12- PLEX - CONCEPTUAL FLOOR PLAN

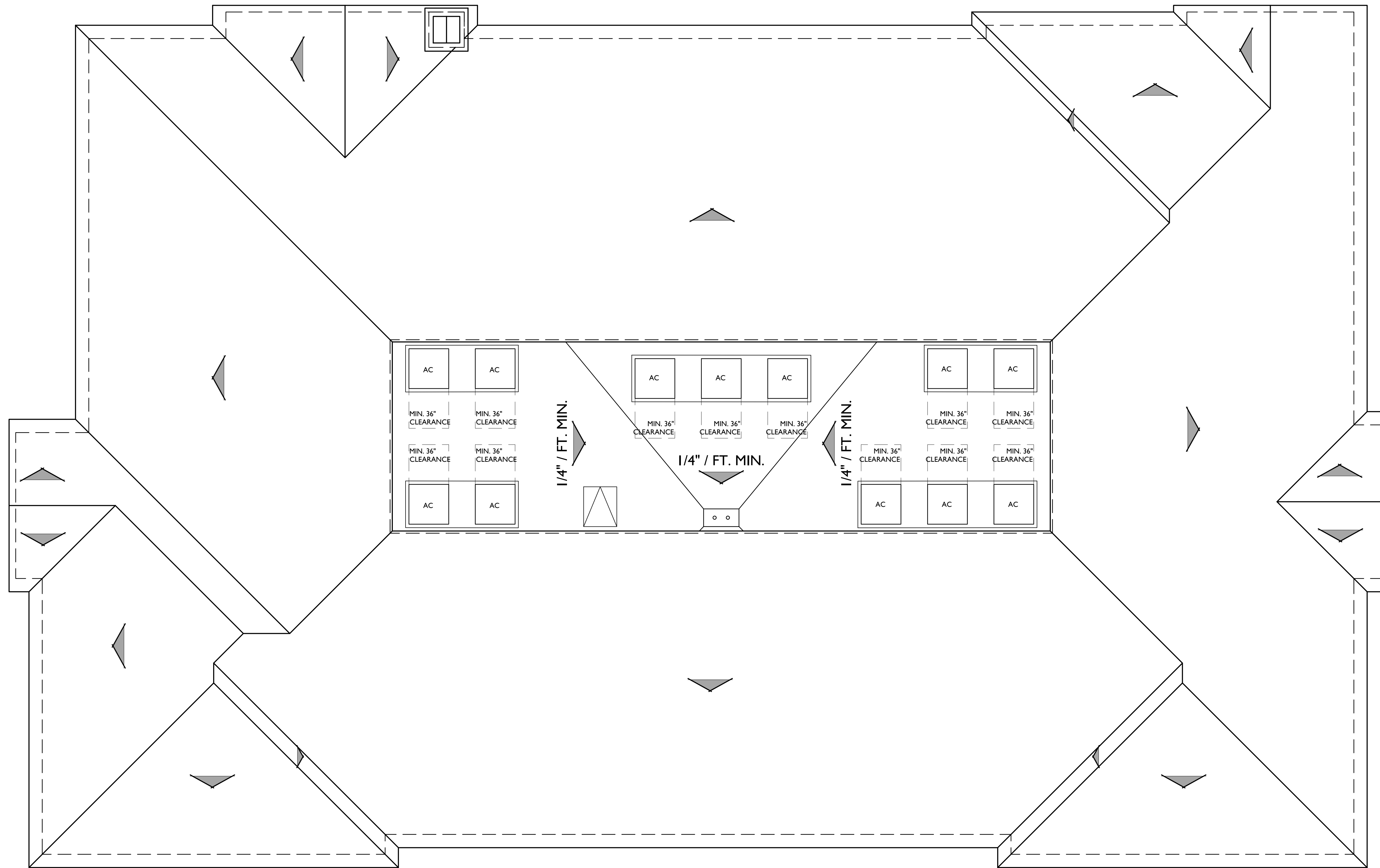
Left & Right Elevations

WICKS APARTMENTS

Clovis, CA

0 2 4 8 457.19124





BUILDING ROOF PLAN

PITCH: 4:12 U.N.O.
 RAKE: TIGHT
 EAVE: 18"
 ROOF MATERIAL: CONCRETE 'S' TILE

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application **MUST** be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirement details below). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) mu be present --

Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Oak Place (Belissa Multi-Family CUP) Date: 6/7/22

Project Description: Proposing 168 multi-family units on an approximately 7.15 ± acre site. The apartment complex will be un gated. The recreational space will include a clubhouse (which will include a leasing office) a pool, and a play area with amenities TBD

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: 2021-141

Property Owner: JPA Investments, LLC

Applicant(s) Name: 4Creeks, Inc.

Project Address/Location: NW CORNER OF DEMAREE ST. AND RIVERWAY DRIVE

Assessor Parcel Number: 0 7 7 - 0 5 0 - 0 0 6

Parcel Size (Acreage or Square Feet): 7.15 AC Building or Suite Square Footage: _____

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ _____

Describe All Proposed Building Modifications: _____

- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received: 06/07/2022

SPR Agenda: 06/15/2022 Item No. _____

Zone: _____ SPR No. 21-141

Historic District: Yes No

Flood Zone: X AE X/AE

- - A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS - -

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Agriculture

Proposed Building Use: _____

Proposed Hours of Operation: _____

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing _____ Proposed _____

Number of Customers Per Day (Estimated): Existing _____ Proposed _____

Predicted Peak Operating Hour: _____

Describe Any Truck Delivery Schedule & Operations: _____

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees
 (Provide Separate Attachment if Necessary): _____

Describe Any Special Events Planned for the Facility: _____

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Plan(s) must be clear, legible, and on a sheet size appropriate to easily convey all necessary project information. Suggested minimum sheet size for site plans is 11"x17" (Excludes tentative parcel and final maps)
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - Existing & proposed structures
 - Loading/unloading areas
 - All existing & proposed site features
 - Adjacent street names
 - Accessible path of travel from right of way
 - Site dimensions, including building
 - Refuse enclosures & containers
 - Accessible path of travel from ADA stall
 - Existing and proposed fencing at site
 - Valley oak trees (show drip line)
 - Location and width of drive approaches to site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed landscaping
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
 - Parking stalls (include ADA)
- ⇒ Submit 20 copies of the site plan with this application, folded to a legal size of 9" x 12" with the print on the outside (no rolled plans)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: David Duda, 4Creeks, Inc Signature of Owner or Authorized Agent* _____

Address: 324 S Santa Fe St A _____

City, State, Zip Visalia, CA 93292 Owner _____ Date _____

Phone: (559)-802-3052 _____ 6/7/22

Email: david.duda@4-creeks.com Authorized Agent* _____ Date _____

* If signed by an authorized agent , the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, JPA INVESTMENTS, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

077-050-006

AGENT:

I designate David Duda, 4Creeks, Inc., to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to PROCESS SITE PLAN REVIEW AND ASSOCIATED ENTITLEMENTS relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

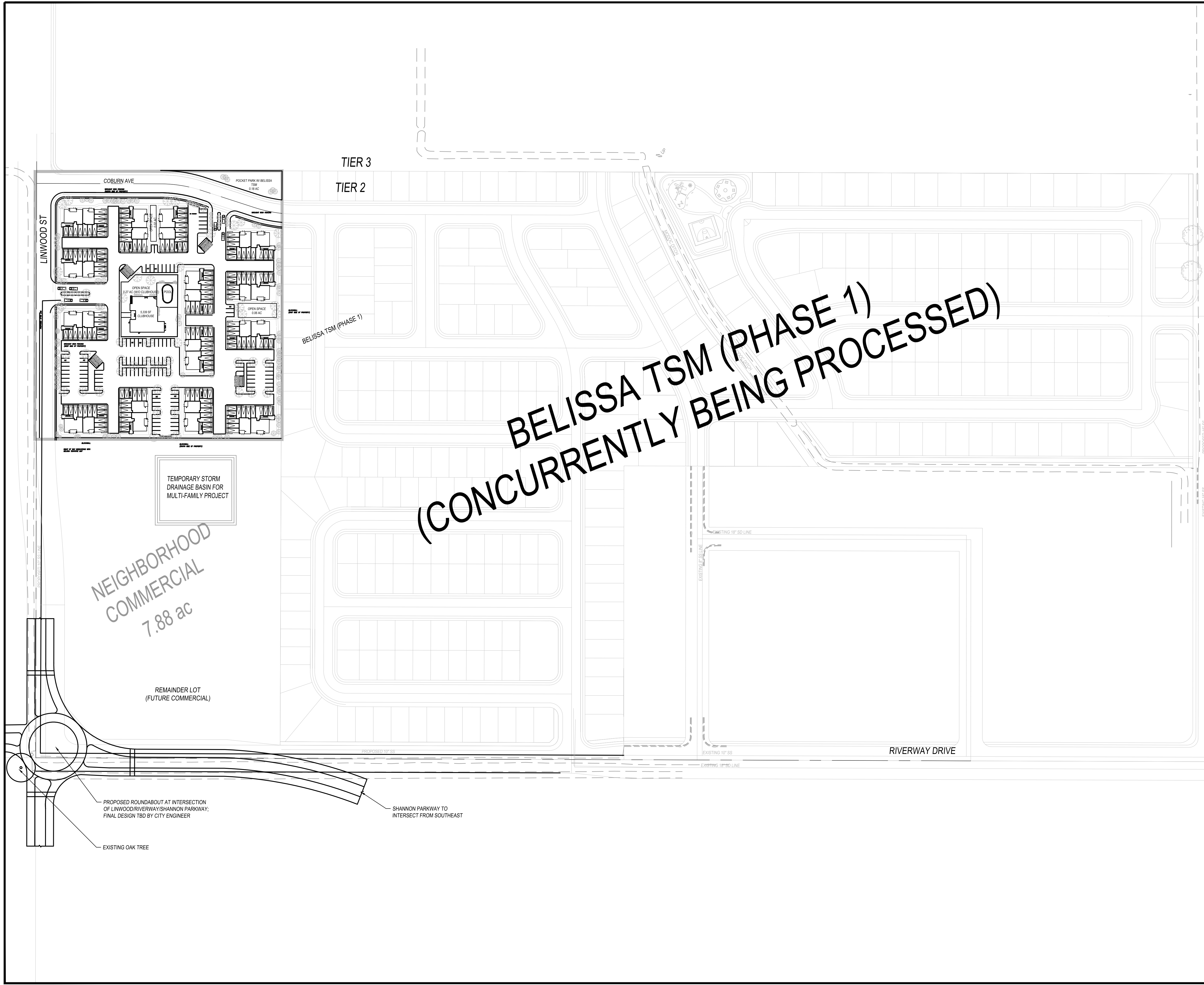
Executed this _____ day of _____, 20____.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner		
Owner Mailing Address		Signature of Agent <u>David Duda, 4Creeks, Inc.</u>
Owner Phone Number		Agent Mailing Address <u>324 S. Santa Fe St., Ste A, Visalia, CA 93292</u>
		Agent Phone Number <u>(559)-802-3052</u>

OAK PLACE - BELISSA MASTER SITE PLAN

A PORTION OF LOT 2 OF SHANNON RANCH CENTRAL SUBDIVISION, RECORDED IN VOL. 40 OF MAPS, AT PAGE 99, TCR, LOCATED IN THE SE 1/4 OF SECTION 14, TOWNSHIP 18 SOUTH, 24 EAST, MDB&M, IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA

BELISSA TSM - REQUESTING CUP FOR DENSITY SPREAD AND LOT SIZES THAT DO NOT MEET THE R-1 AND RM ZONING STANDARDS.



**BELISSA TSM (PHASE 1)
(CONCURRENTLY BEING PROCESSED)**

SITE DATA:

APN:	077-050-004 077-050-006
TOTAL AREA:	58.78 AC. (GROSS) ±
EXISTING ZONING:	AE-40 (COUNTY)
PROPOSED ZONING:	R-1-5 (PD)
EXISTING USE:	VACANT
PROPOSED USE:	RESIDENTIAL
GENERAL PLAN DESIGNATION:	LOW RESIDENTIAL MED DENSITY HIGH DENSITY NEIGHBORHOOD COMMERCIAL
FLOOD ZONE:	AE and X
JURISDICTION:	TULARE COUNTY - TO BE ANNEXED
VISALIA UDB TIER:	TIER 2

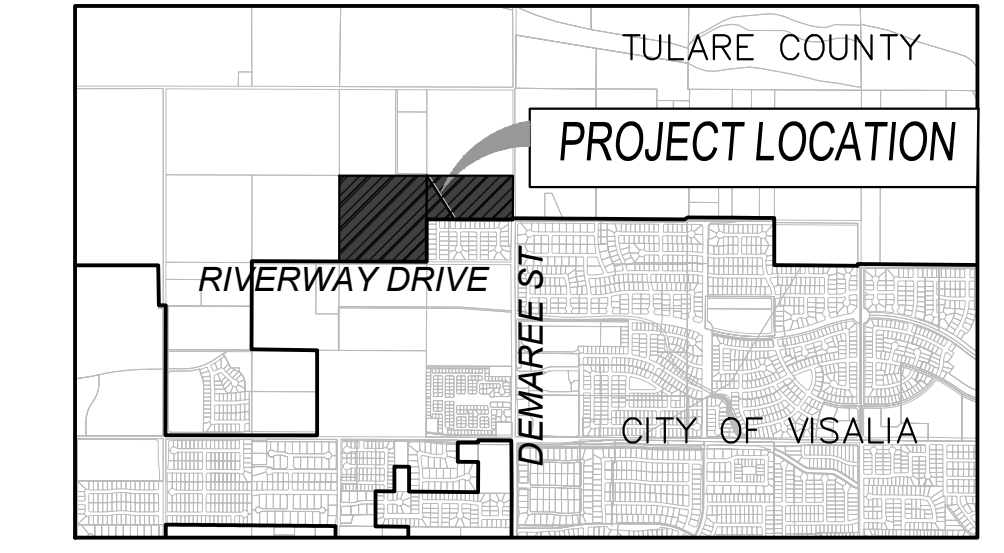
LAND USE TOTALS:	AREA	LOTS
LOW DENSITY RESIDENTIAL:	28.88 AC	160
MEDIUM DENSITY RESIDENTIAL:	14.87 AC	150
HIGH DENSITY RESIDENTIAL:	7.15 AC	168
NEIGHBORHOOD COMMERCIAL:	6.88 AC	
STORM DRAINAGE BASIN	1.00 AC	

MEDIUM DENSITY RESIDENTIAL: ~10% TO BE ONE-GARAGE PRODUCT

PHASE 1 (LDR):	28.88 AC	160	5.54 DU/AC
PHASE 1 (MDR):	14.87 AC	150	10.08 DU/AC
PHASE 2 (HDR):	7.15 AC	168	22.49 DU/AC

PARK/OPEN SPACE 0.35 AC (5% OF HDR AREA)
MIN. REQUIRED (5% OF HDR AREA): 0.35 AC

SANITARY SEWER AND WATER UTILITIES TO TIE INTO EXISTING LINES ALONG RIVERWAY DRIVE AND DEMAREE STREET



VICINITY MAP

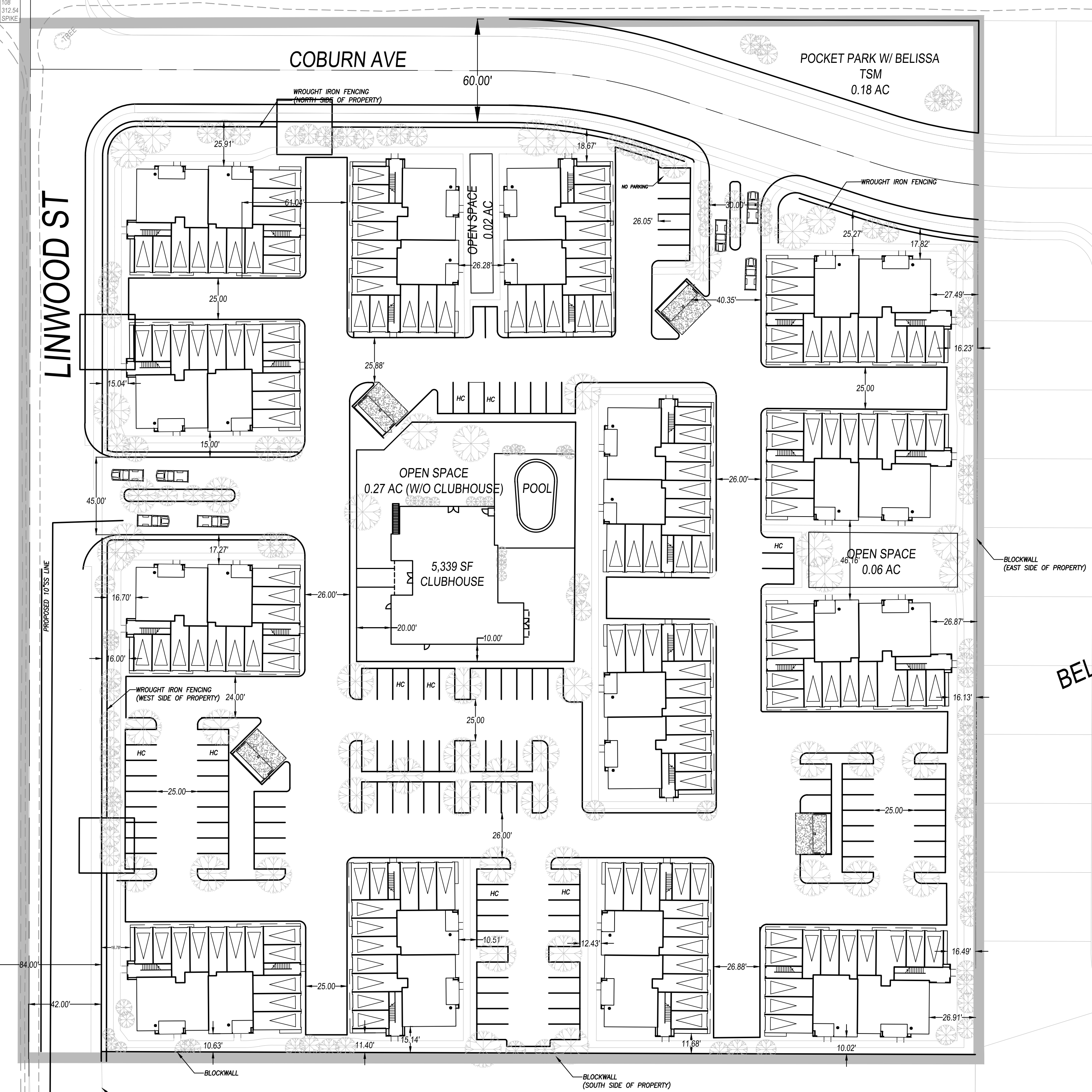
PREPARED BY:

 324 S. SANTA FE ST., STE. A
 P.O. BOX 7593
 VISALIA, CA 93292
 TEL: 559.802.3052
 FAX: 559.802.3215

OAK PLACE MULTI-FAMILY COMMUNITY CONDITIONAL USE PERMIT

A PORTION OF LOT 2 OF SHANNON RANCH CENTRAL SUBDIVISION, RECORDED IN VOL. 40 OF MAPS, AT PAGE 99, TCR, LOCATED IN THE SE 1/4 OF SECTION 14, TOWNSHIP 18 SOUTH, 24 EAST, MDB&M, IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA

TIER 3
TIER 2



BELISSA TSM (PHASE 1)

TEMPORARY STORM DRAINAGE BASIN FOR MULTI-FAMILY PROJECT

SITE DATA:

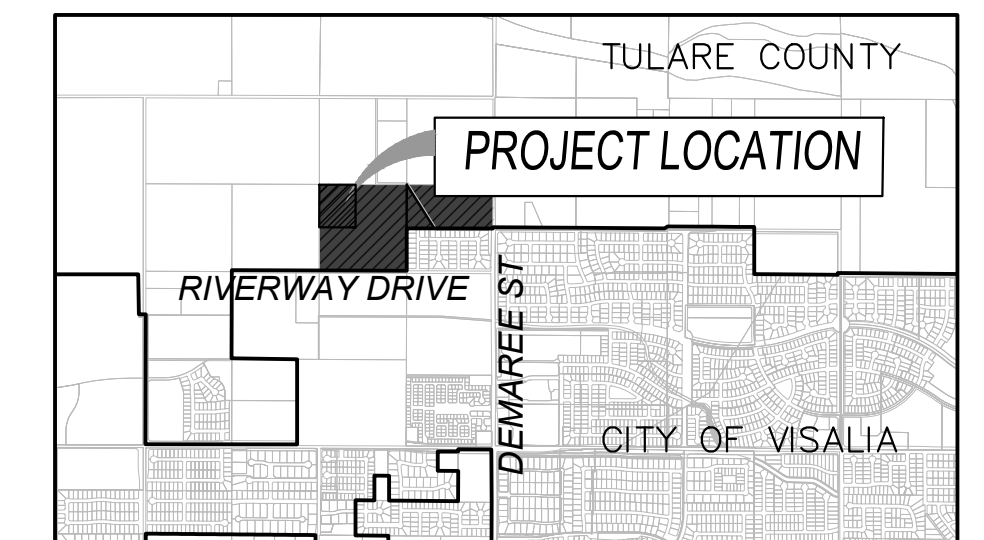
APN:	077-050-006
TOTAL AREA:	7.15 (GROSS) ±
EXISTING ZONING:	AE-40 (COUNTY)
PROPOSED ZONING:	RM-3
EXISTING USE:	VACANT
PROPOSED USE:	RESIDENTIAL
GENERAL PLAN DESIGNATION:	HIGH DENSITY RESIDENTIAL
FLOOD ZONE:	X02
JURISDICTION:	TULARE COUNTY - TO BE ANNEXED
VISALIA UDB TIER:	TIER 2

TOTAL BUILDINGS:	14 (4 VAN ACCESSIBLE)
TOTAL UNITS:	168
REQUIRED PARKING:	252 (1.5 SPACES PER DU)
PROPOSED PARKING:	279 (168 GARAGE)
DENSITY:	23.5 DU/AC

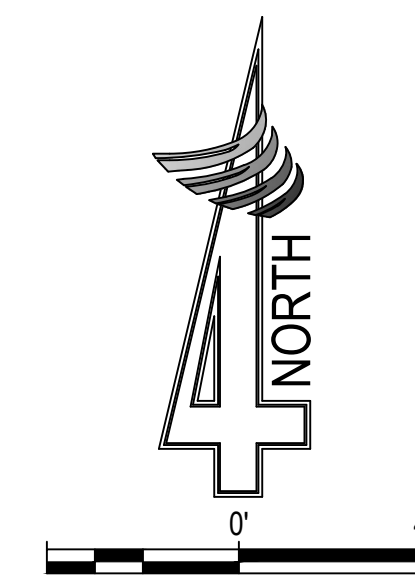
OPEN SPACE: 0.35 AC (5% OF PARCEL)

NOT A GATED COMMUNITY

SANITARY SEWER AND WATER UTILITIES TO TIE INTO FUTURE LINES ALONG LINWOOD AS DEVELOPED AND CONDITIONED WITH THE BELISSA TENTATIVE SUBDIVISION MAP.
TEMPORARY STORM DRAIN BASIN TO BE LOCATED ON COMMERCIAL PARCEL FOR THE MULTI-FAMILY DEVELOPMENT



VICINITY MAP



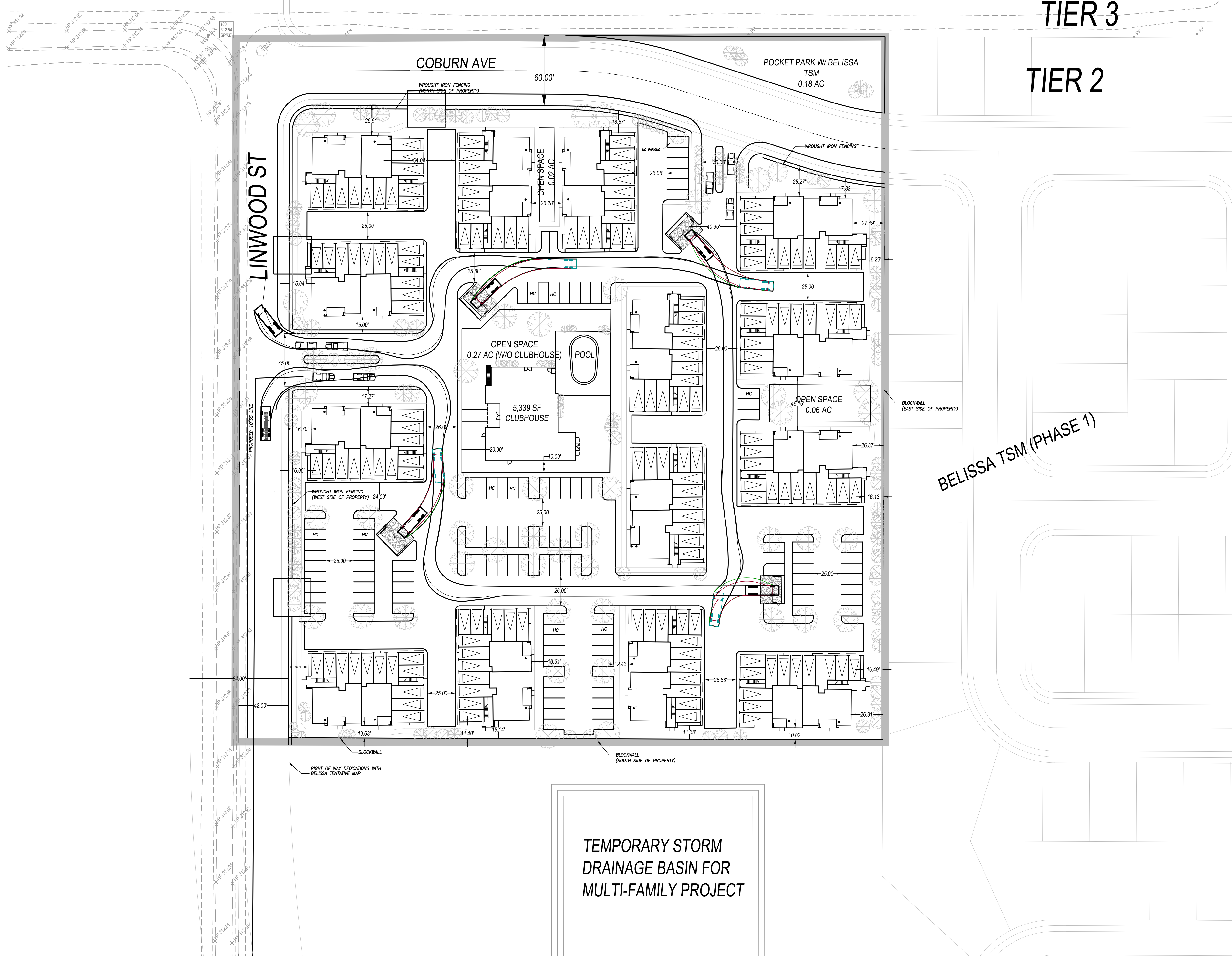
PREPARED BY:
4CREEKS
324 S. SANTA FE ST., STE. A
P.O. BOX 7593
VISALIA, CA 93292
TEL: 559.802.3052
FAX: 559.802.3215

OAK PLACE MULTI-FAMILY COMMUNITY CONDITIONAL USE PERMIT

TRASH EXHIBIT

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TIER 3
TIER 2



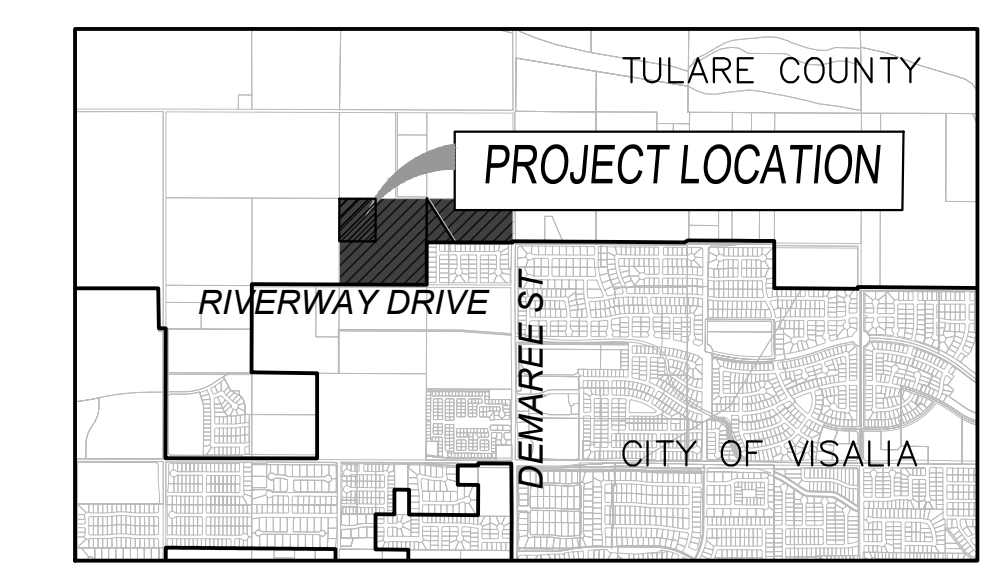
SITE DATA:

APN:	077-050-006
TOTAL AREA:	7.15 (GROSS) ±
EXISTING ZONING:	AE-40 (COUNTY)
PROPOSED ZONING:	RM-3
EXISTING USE:	VACANT
PROPOSED USE:	RESIDENTIAL
GENERAL PLAN DESIGNATION:	HIGH DENSITY RESIDENTIAL
FLOOD ZONE:	X02
JURISDICTION:	TULARE COUNTY - TO BE ANNEXED
VISALIA UDB TIER:	TIER 2
TOTAL BUILDINGS:	14 (4 VAN ACCESSIBLE)
TOTAL UNITS:	168
REQUIRED PARKING:	252 (1.5 SPACES PER DU)
PROPOSED PARKING:	279 (168 GARAGE)
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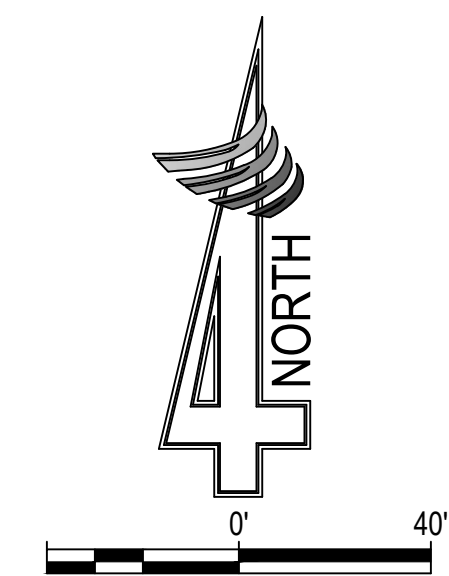
OPEN SPACE: 0.35 AC (5% OF PARCEL)

NOT A GATED COMMUNITY

SANITARY SEWER AND WATER UTILITIES TO TIE INTO FUTURE LINES ALONG LINWOOD AS DEVELOPED AND CONDITIONED WITH THE BELISSA TENTATIVE SUBDIVISION MAP.
TEMPORARY STORM DRAIN BASIN TO BE LOCATED ON COMMERCIAL PARCEL FOR THE MULTI-FAMILY DEVELOPMENT



VICINITY MAP



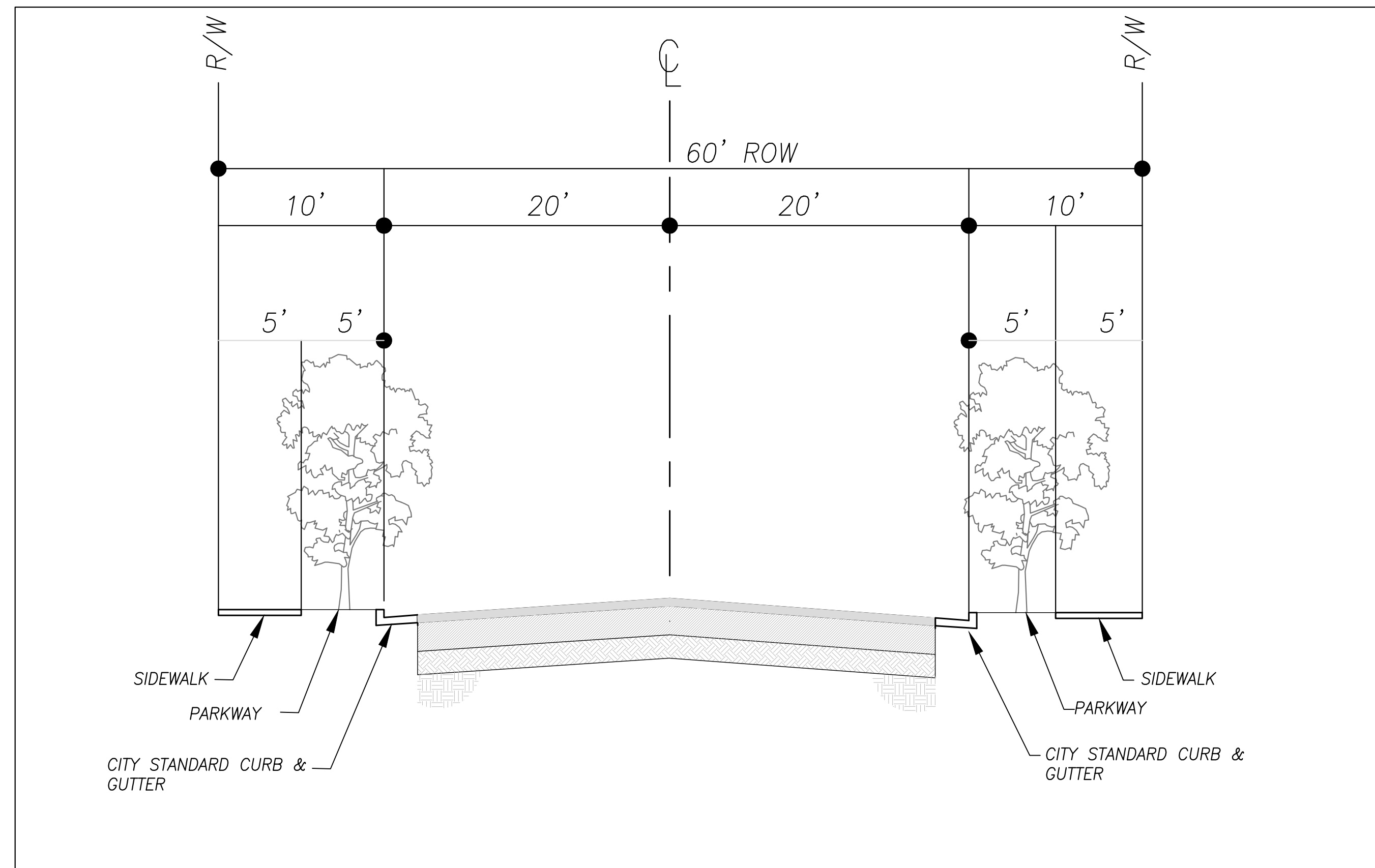
PREPARED BY:
 4CREEKS
324 S. SANTA FE ST., STE. A
P.O. BOX 7593
VISALIA, CA 93292
TEL: 559.802.3052
FAX: 559.802.3215

TEMPORARY STORM
DRAINAGE BASIN FOR
MULTI-FAMILY PROJECT

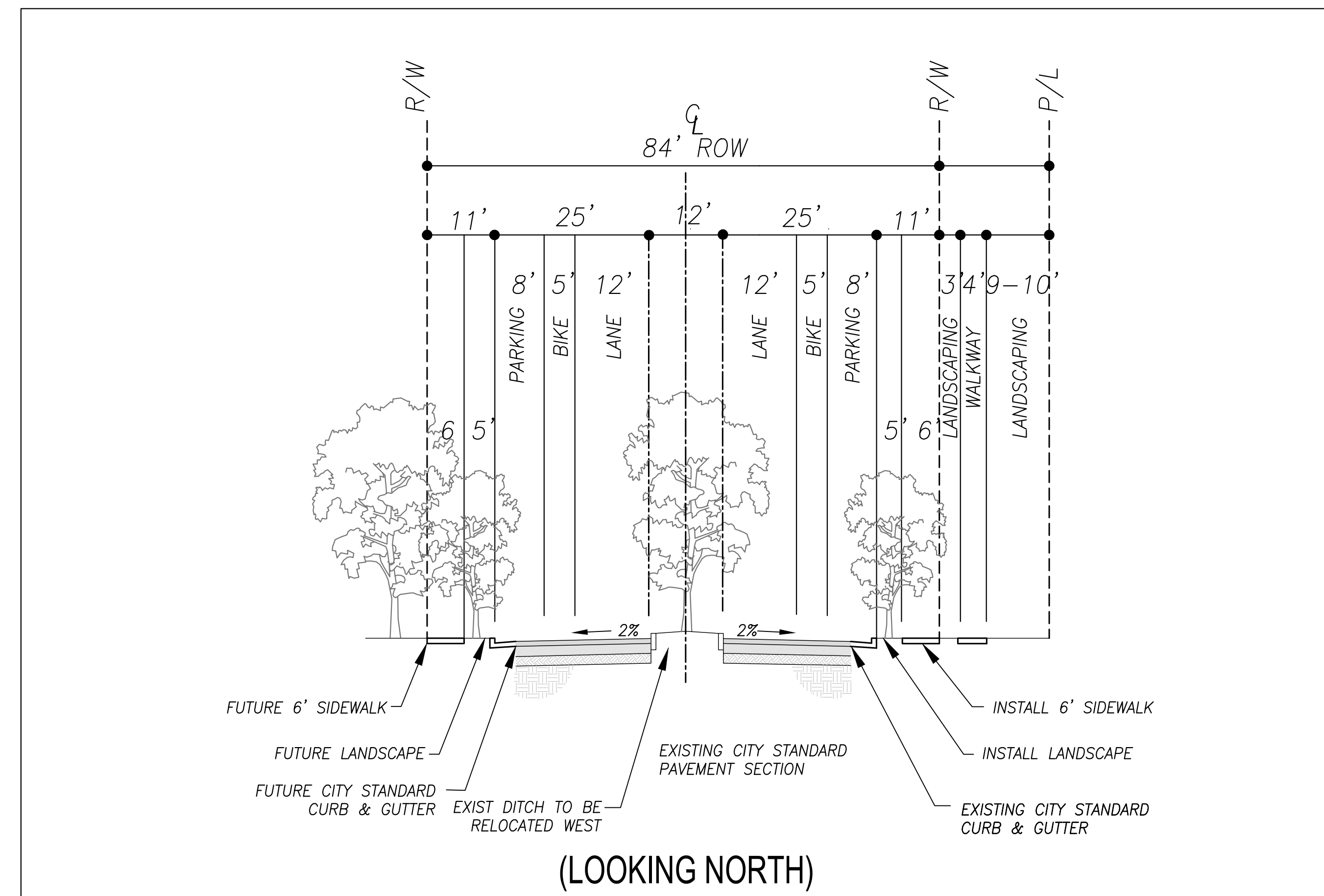
OAK PLACE CONDITIONAL USE PERMIT CROSS SECTION DETAILS

A PORTION OF LOT 2 OF SHANNON RANCH CENTRAL SUBDIVISION, RECORDED IN VOL. 40 OF MAPS, AT PAGE 99, TCR, LOCATED IN THE SE 1/4 OF SECTION 14, TOWNSHIP 18 SOUTH, 24 EAST, MDB&M, IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA

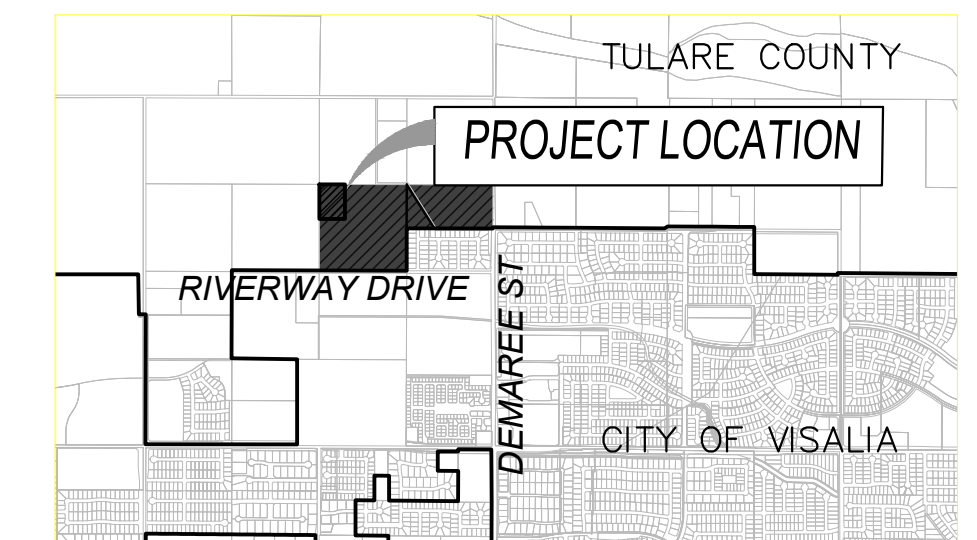
REQUESTING CUP FOR DENSITY SPREAD AND LOT SIZES THAT DO NOT MEET THE R-1 AND RM ZONING STANDARDS.



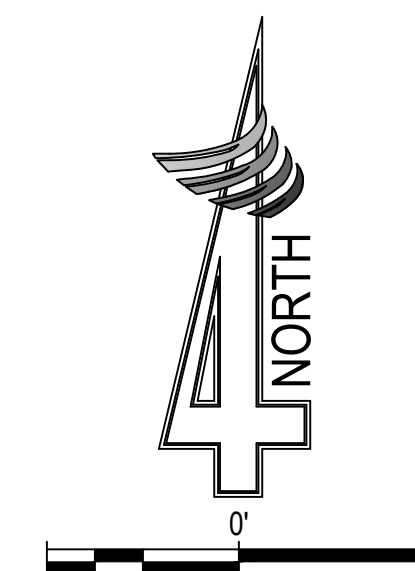
PROPOSED LOCAL ROAD (COBURN ST) NTS



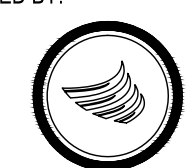
LINWOOD STREET CROSS SECTION - HALF ST. IMPROVEMENTS REQUIRED NTS



VICINITY MAP

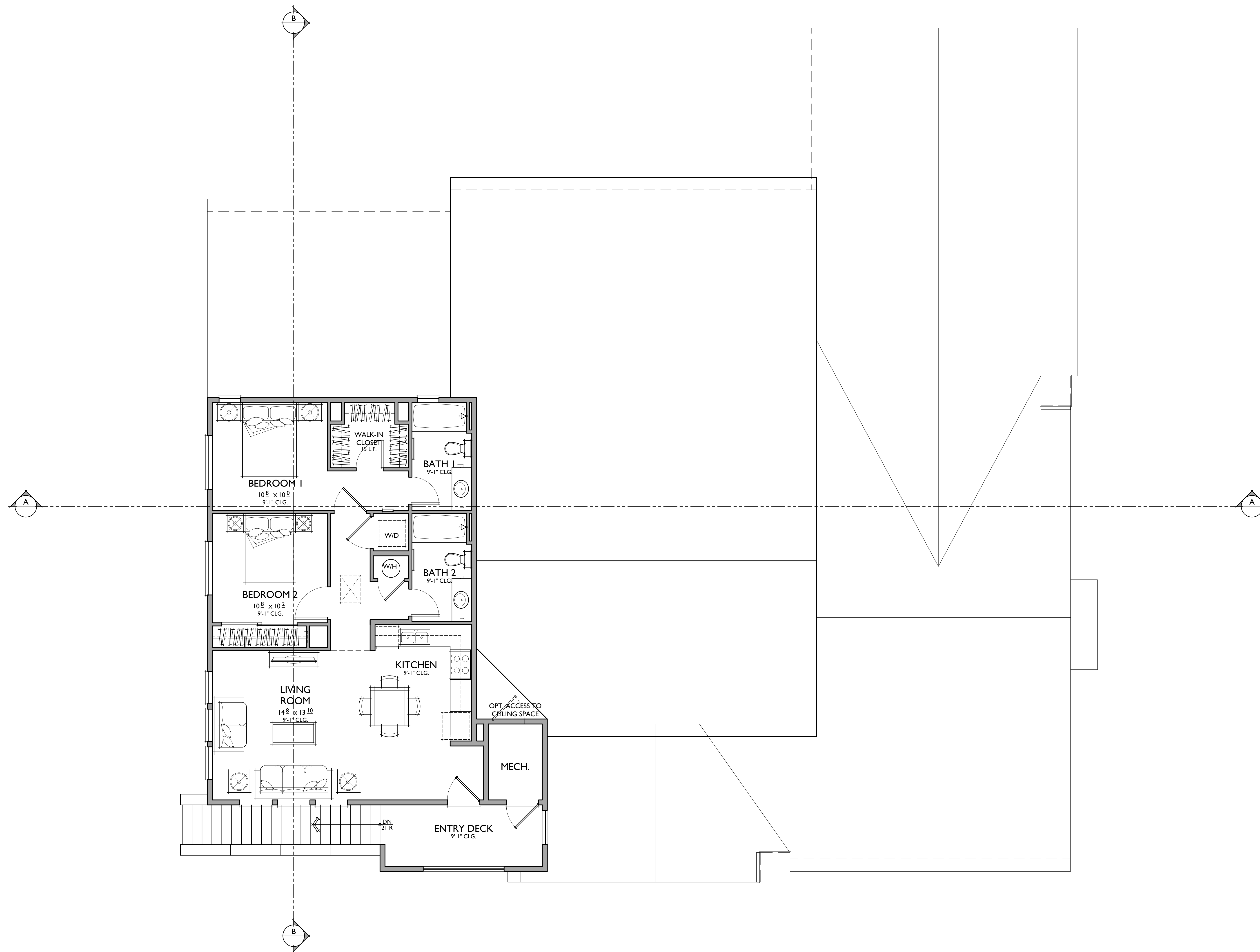


PREPARED BY:



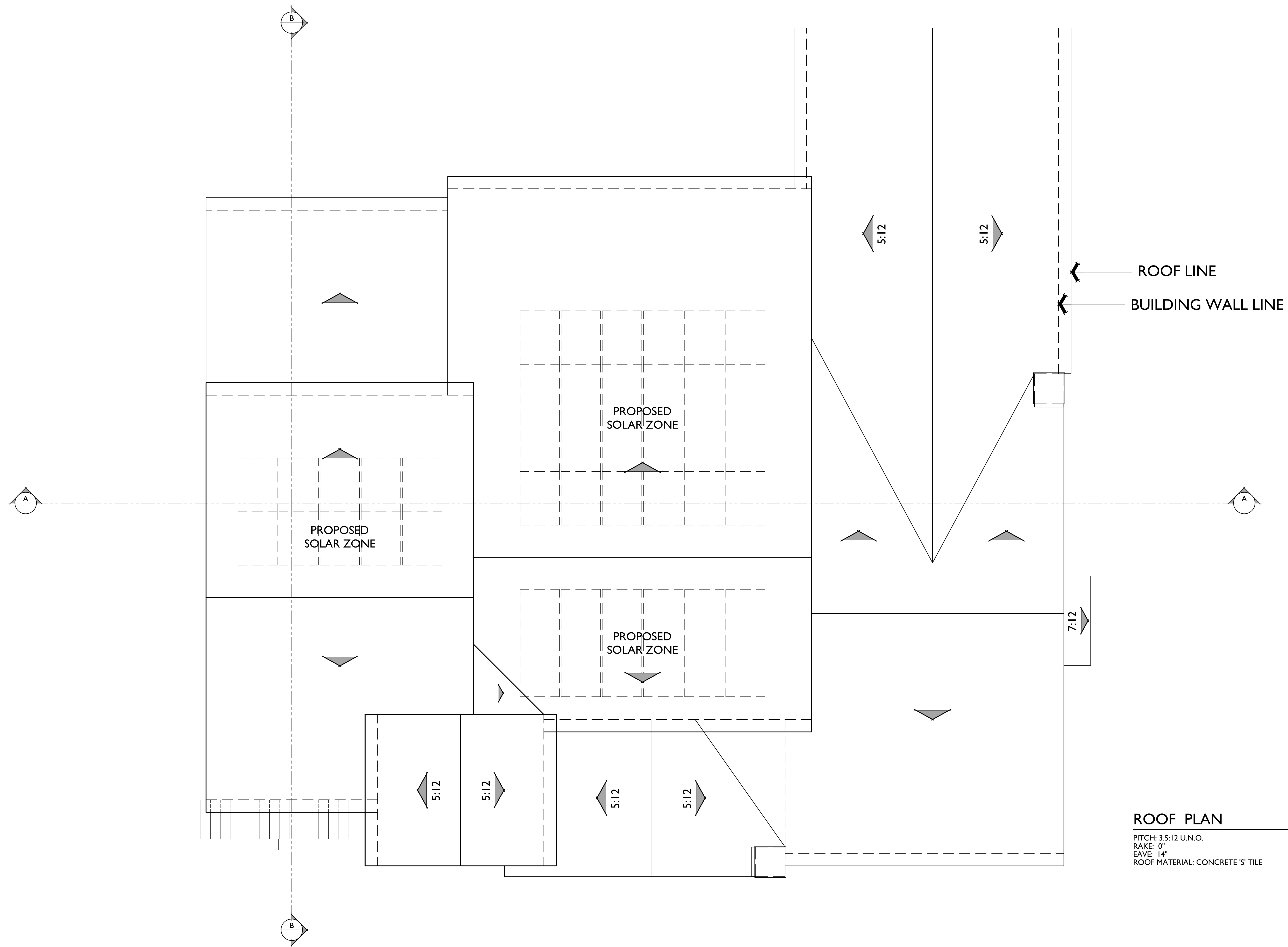
4CREEKS

324 S. SANTA FE ST., STE. A
P.O. BOX 7593
VISALIA, CA 93292
TEL: 559.802.3052
FAX: 559.802.3215



FLOOR AREA TABLE	
ENTRY & CLUBROOM	969 SQ. FT.
FITNESS	739 SQ. FT.
PREP. KITCHEN	168 SQ. FT.
RESTROOM	525 SQ. FT.
OFFICE	300 SQ. FT.
MAILBOXES	304 SQ. FT.
MAINTENANCE ROOM	232 SQ. FT.
POOL RESTROOM	389 SQ. FT.
POOL EQUIPMENT	311 SQ. FT.
SECURITY / SERVER ROOM	89 SQ. FT.
M.E.P.	70 SQ. FT.
HALLWAY	154 SQ. FT.
MANAGER'S UNIT	1090 SQ. FT.
TOTAL INDOOR AREA	5,339 SQ. FT.
OUTDOOR EVENT	644 SQ. FT.
ENTRY PORCH	356 SQ. FT.
CIRCULATION	88 SQ. FT.

TOTAL 6,427 SQ. FT.
 NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



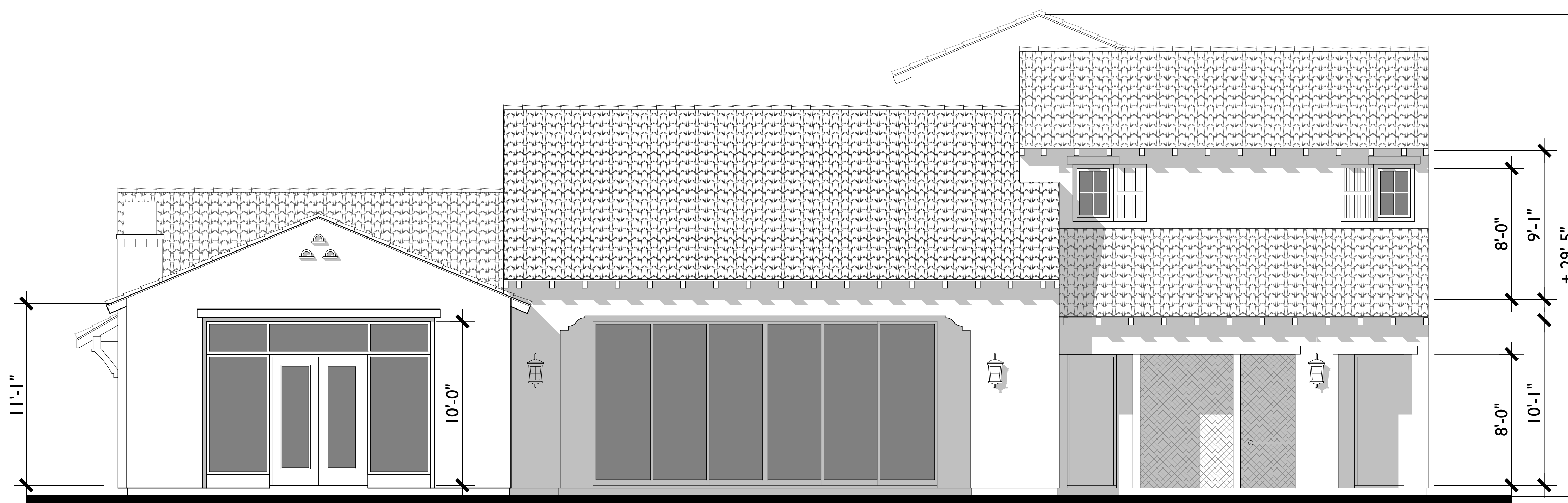
ROOF PLAN

PITCH: 3.5:12 U.N.O.
 RAKE: 0"
 EAVE: 14"
 ROOF MATERIAL: CONCRETE 'S' TILE

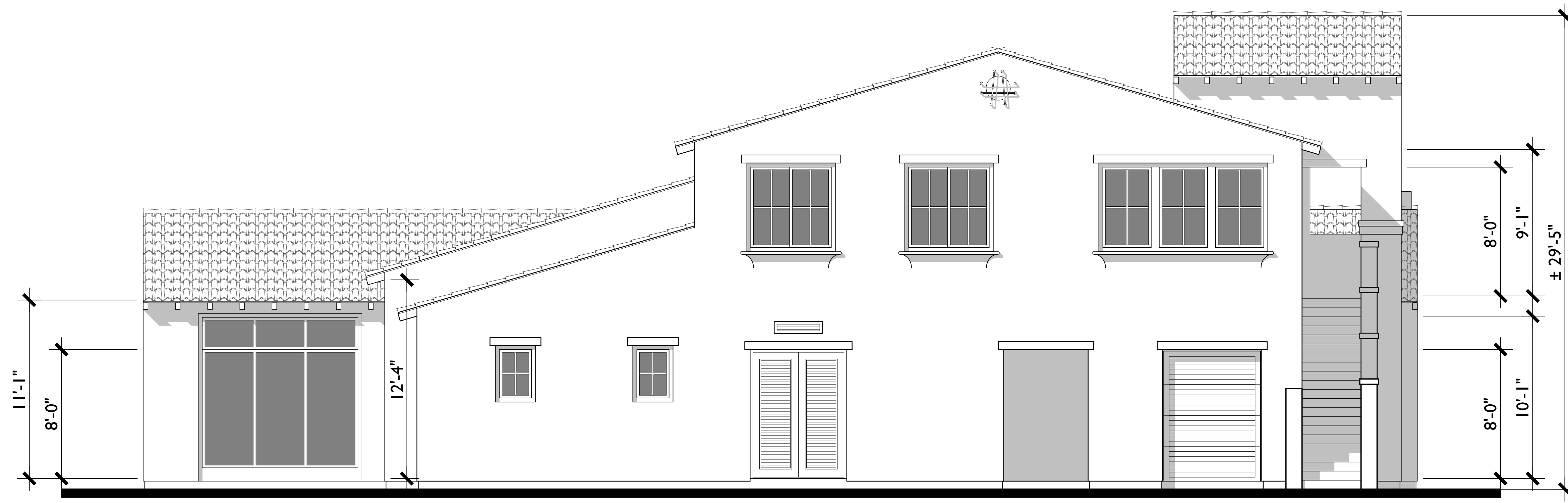


FRONT

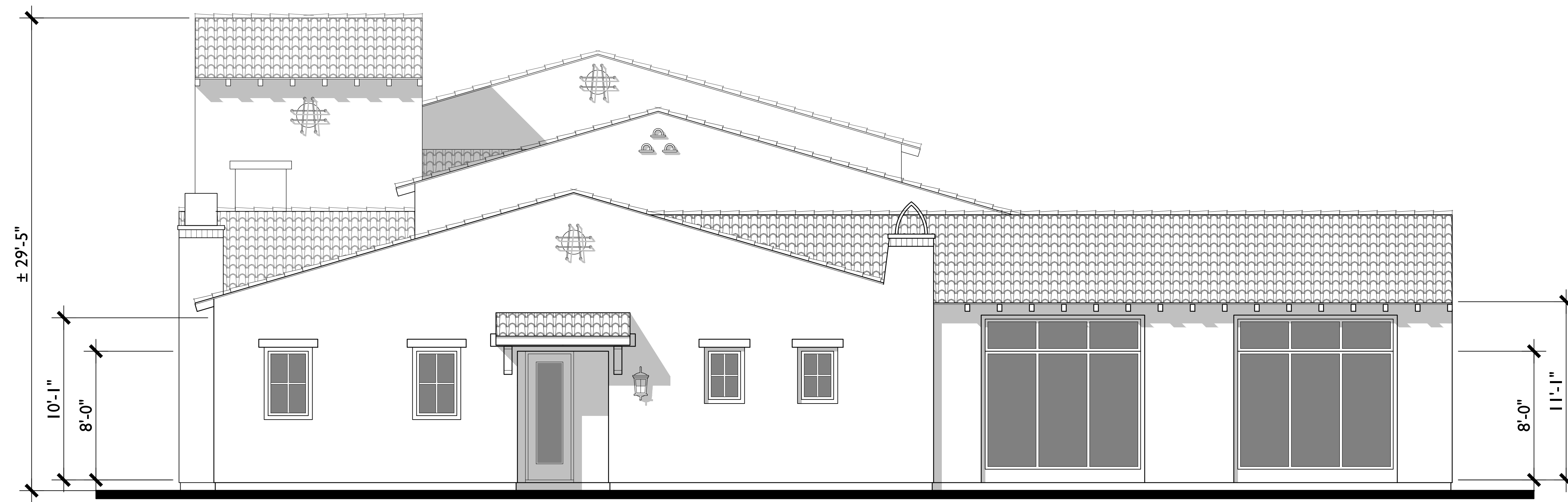
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1/4"=1'-0"



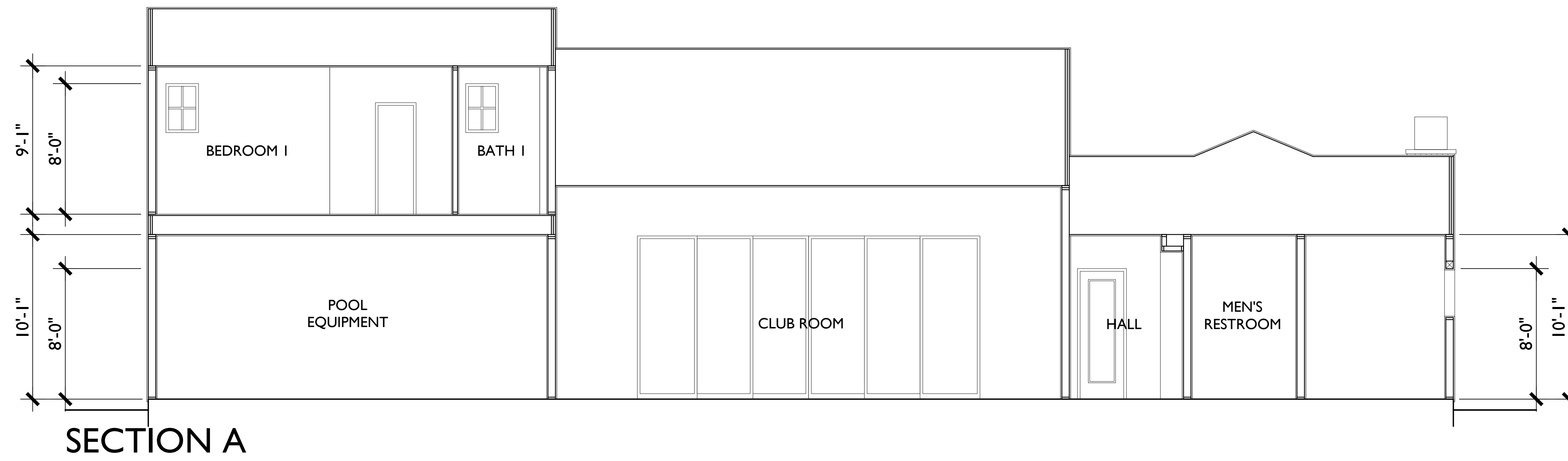
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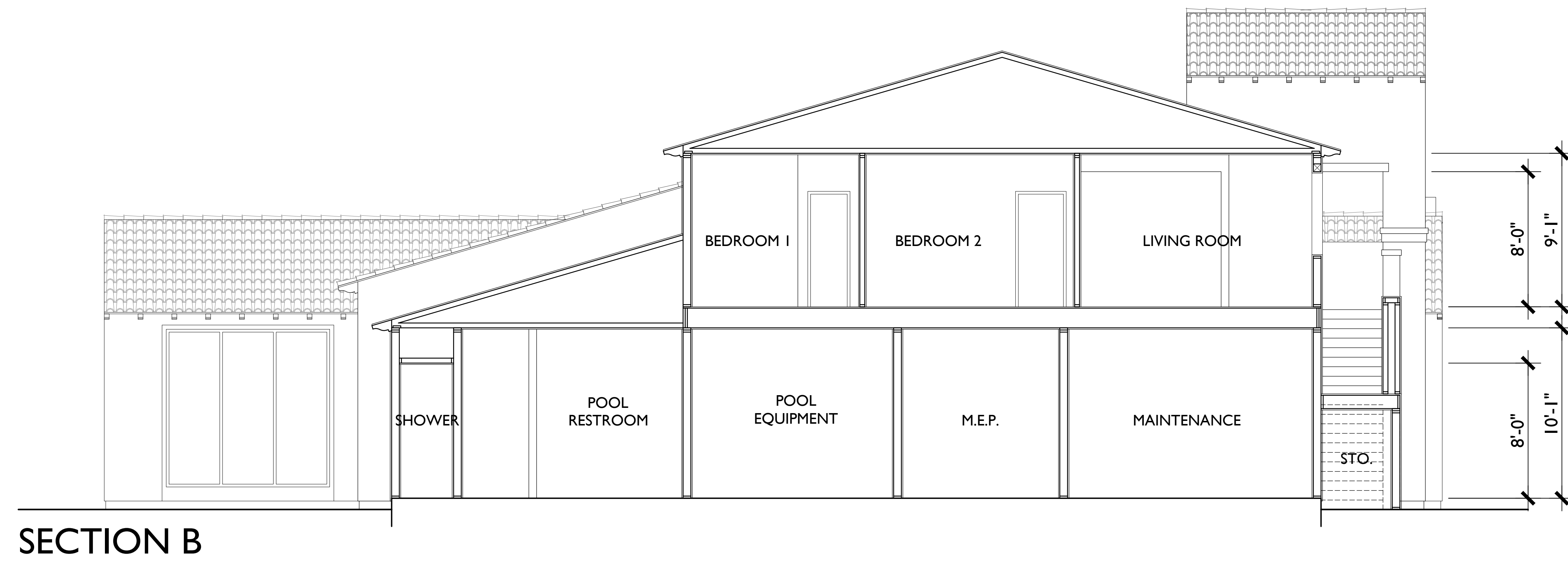
LEFT



RIGHT



SECTION A



SECTION B

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application **MUST** be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- **Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present** -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Demaree Apartments Date: 6-2-22

Project Description: This is a 243 unit, 31.88 DU/AC, 100% affordable, multi-family family residential project.

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: Kap Su Davis, Trustee

Applicant(s) Name: Maracor Development, Inc.

Project Address/Location: Southwest corner of Houston Avenue and Demaree Street.

Assessor Parcel Number: 0 7 7 - 6 6 0 - 0 2 1

Parcel Size (Acreage or Square Feet): 7.6 Acres Building or Suite Square Footage: _____

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ 0

Describe All Proposed Building Modifications: None

- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received: _____

SPR Agenda: _____ Item No. _____

Zone: _____ SPR No. 22-063

Historic District: Yes No

Flood Zone: X AE X/AE

- - **A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS** - -

Existing/Prior Building Use: Vacant

Proposed Building Use: Multi-family residential

Proposed Hours of Operation: 24 hrs.

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing 0 Proposed 3 to 5

Number of Customers Per Day (Estimated): Existing 0 Proposed 0

Predicted Peak Operating Hour: 7:00 am & 6:00 pm

Describe Any Truck Delivery Schedule & Operations: Light duty Amazon, UPS, USPS, etc.

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): Main entrance on Houston and secondary on existing Connelly Ave.

Describe Any Special Events Planned for the Facility: N/A

OPERATIONS & TRAFFIC INFORMATION

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - All existing & proposed site features
 - Site dimensions, including building
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
 - Adjacent street names
 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Maracor Development, Inc. Signature of Owner or Authorized Agent*

Address: 61 Moraga Way, Ste. 4

City, State, Zip Orinda, CA. 94563 Owner _____ Date _____

Phone: 925-389-6836  Date 4/19/22

Email: chawke@maracordev.com Authorized Agent _____ Date _____

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, Kap Su Davis, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

077-660-021, 022 & 024

AGENT:

I designate Maracor Development, Inc. to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to develop this 228 unit multi-family residential project relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20____.

OWNER	Signatures	AGENT
Signature of Owner	<input checked="" type="checkbox"/>	<u></u>
<u>410 N. Powell Crt.</u>		Signature of Agent
Owner Mailing Address		<u>61 Moraga Way, Ste. 4</u>
<u>Visalia, CA. 93291</u>		Agent Mailing Address
<u>559-827-7567</u>		<u>Orinda, CA. 94563</u>
Owner Phone Number		Agent Phone Number
		<u>925-389-6836</u>

Demaree Apartments
Visalia, CA
June 8, 2022

Statement of Design Intent

Summary

The Demaree Apartments are a 100% Affordable Apartment project. There are 243 units made up of 1-, 2-, and 3-bedroom apartments arranged in 18,24,30, and 33 unit, 3 story walk-up style apartment buildings on the approximate 7.6 acre site.

Affordability

The Demaree Apartments is a 100% affordable project with the following affordable components:

- (24) units at 30% AMI
- (48) units at 50% AMI
- (108) units at 60% AMI
- (60) units at 80% AMI

The project also has 3 unrestricted manager's units

Site Design

The primary site entry is from North Demaree Street, and we are providing a secondary access to Houston Avenue. The Community Building for the site is aligned with the primary entry point to the site and is combined with the Central Green of the project, which includes the Community Building, Pool, and Children's Play Area.

Parking is evenly distributed throughout the interior of the site. There are carports distributed evenly across the site to provide at least one covered parking space per unit.

Trash collection locations are also evenly distributed in 9 locations across the site.

The site will be illuminated by 20' LED shielded light standards in the open parking areas, and by LED down lighting within the carport areas.

Building Design

The buildings are comprised of 1-, 2- and 3-bedroom units ranging from 600 to 1,118 sf. The units are arranged around stair and corridor circulation elements into the various building types. Each unit has a substantial private deck or patio for private open space, and the decks and patios include additional private storage space. The buildings are 3 stories tall. The community Building is approximately 6,600 sf and includes entertainment areas, an exercise room and yoga room, offices for management and leasing, restrooms and storage.

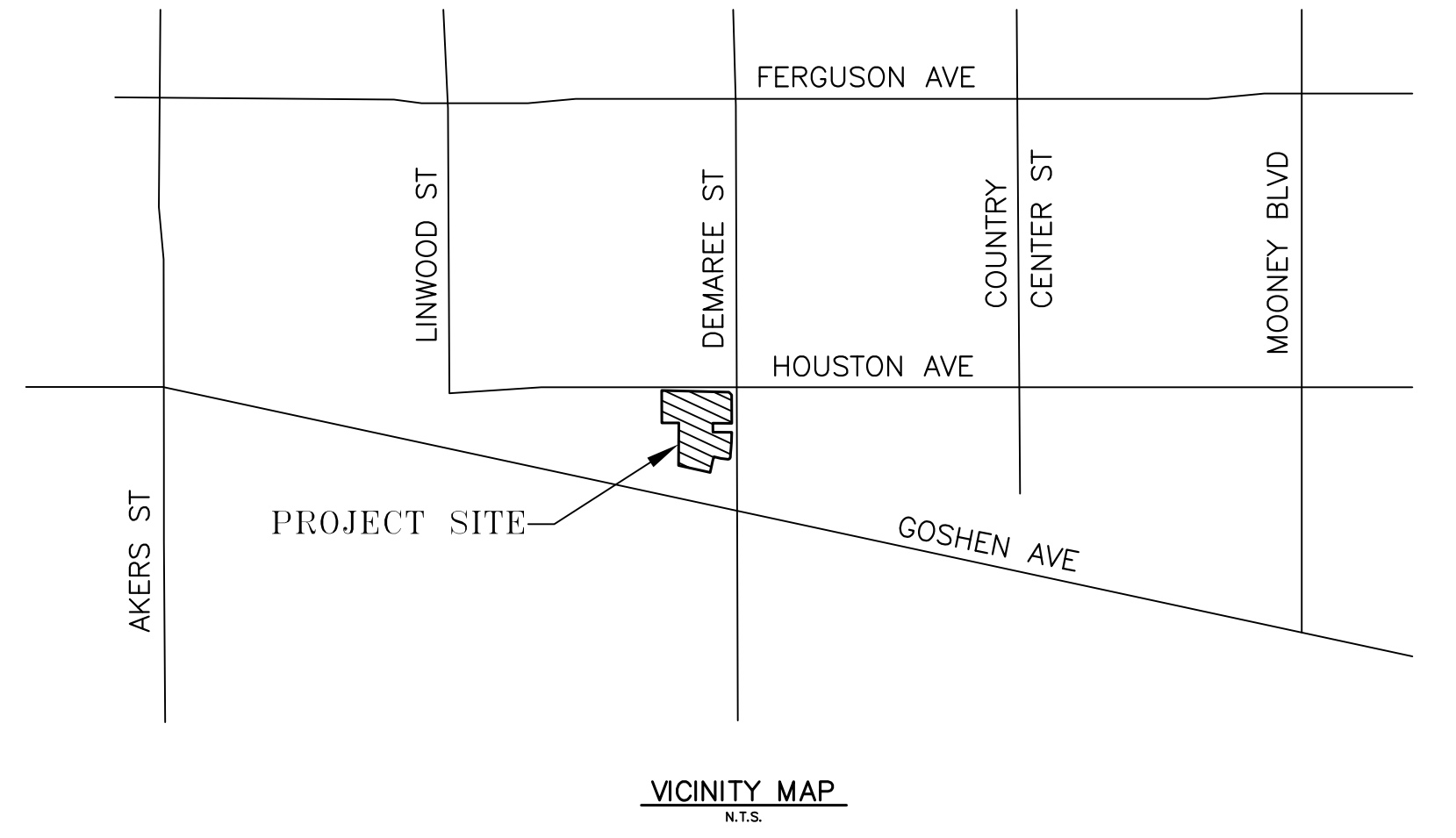
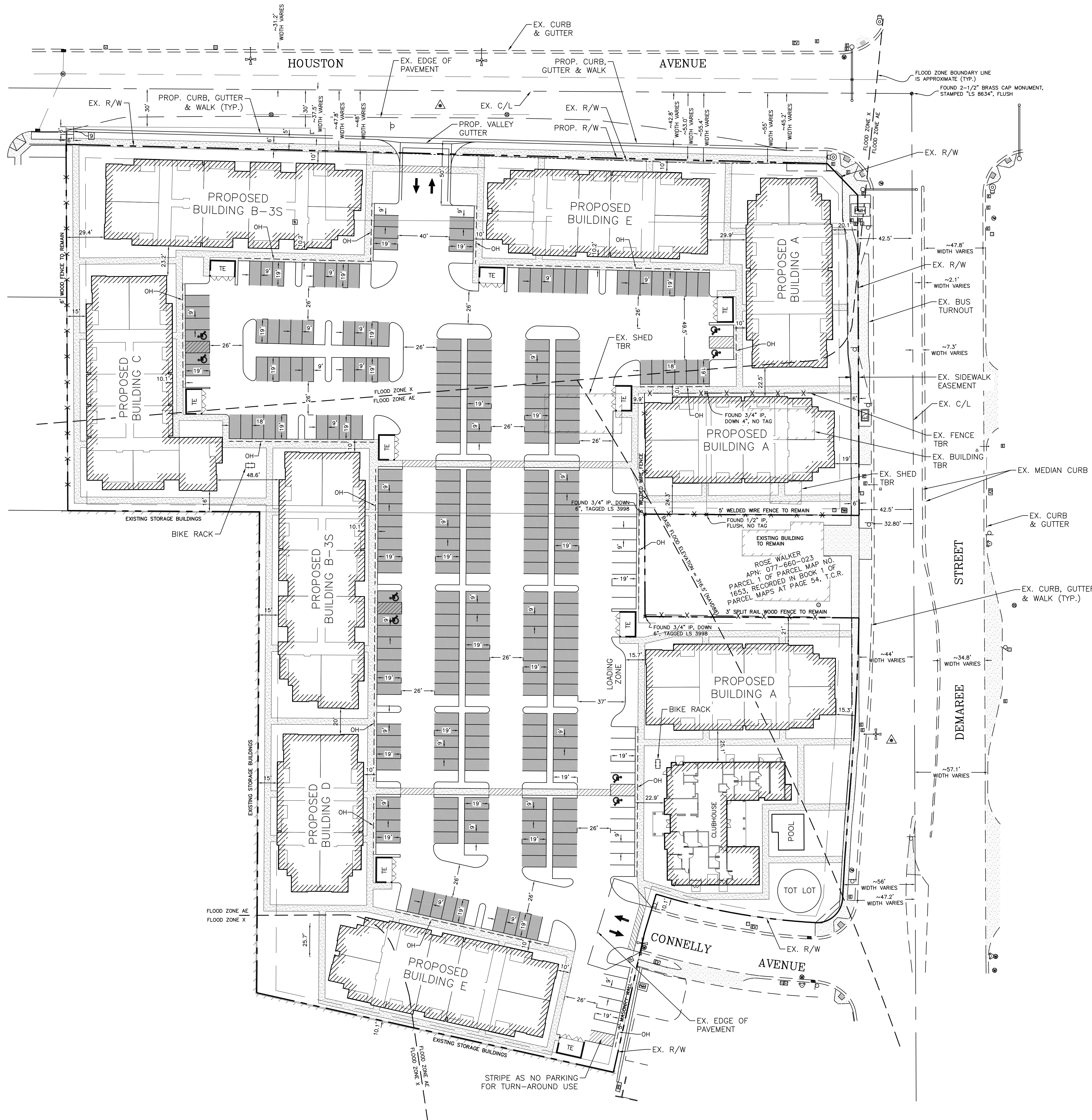
Exterior Elevations

The buildings are elevated in a contemporary style. The units are individually articulated within the overall building form. Shed roof forms and parapet roof forms create a rhythm of varied heights at the edge of the facade while still allowing a main sloped roof form to allow for the best configuration for solar roof panels. The elevational articulation is enhanced by the building colors and materials. Window patterns also enhance these effects. Horizontal patio privacy screens and deck railings create a consistent visual element on the buildings. Deep recesses, varied elevation planes and metal canopies provide shade and shadow relief on the building facade.

All air conditioner condensers are screened from view and there is no mechanical equipment on the roofs. There will be solar panels on the roofs.

The exterior materials are noted on the exterior elevation sheet A7, and the color and materials sheet A10 for the Community Building .

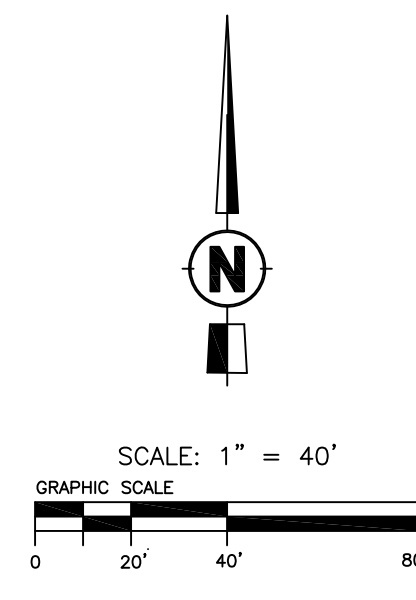
The Community Building is elevated in a contemporary style to be consistent with the apartment buildings. It is a single-story building with parapet and hipped roof forms. The exterior plaster walls are articulated with control joints to accentuate the window patterns and details and colors enhance the building form. Metal canopies and deep front and rear porches add visual depth to the building elevations.



- EXISTING BUILDINGS**
EXISTING BUILDINGS TO BE REMOVED
- EXISTING TREES**
EXISTING TREES TO BE REMOVED
- EXISTING GENERAL PLAN LAND USE**
RURAL RESIDENTIAL, LOW-DENSITY RESIDENTIAL
- EXISTING ZONING**
R-M-3 & O-PA
- PROPOSED ZONING**
R-M-3 & O-PA
- SOURCE OF WATER**
CITY OF VISALIA
- SOURCE OF SEWAGE DISPOSAL**
CITY OF VISALIA
- SOURCE OF WASTE DISPOSAL**
CITY OF VISALIA
- SOURCE OF ELECTRICITY**
PG&E
- SOURCE OF DATA**
RECORD INFORMATION
- SOURCE OF GAS**
SOUTHERN CALIFORNIA EDISON
- SOURCE OF CABLE T.V.**
COMCAST
- SOURCE OF TELEPHONE**
AT&T
- ASSESSOR'S PARCEL NUMBER**
077-660-021, 077-660-022, 077-660-024
- SITE AREA**
7.6 AC. (GROSS & NET)
- DENSITY**
243 UNITS
31.88 UNITS PER ACRE
- OPEN SPACE**
16,553 SF REQUIRED
99,986 SF PROPOSED
32,228 SF PORCHES & DECKS
132,214 SF TOTAL PROVIDED
- PARKING**
REQUIRED:
365 RESIDENT STALLS
61 GUEST STALLS
425 REQUIRED STALLS (1.5 SP/UNIT RESIDENT;
0.25 SP/UNIT GUEST)
PROPOSED:
317 STANDARD STALLS (243 COVERED)
8 ACCESSIBLE STALLS
325 PROPOSED STALLS

- NOTES:**
1. REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEERING PRIOR TO OCCUPANCY.
 2. ANY SURVEY MONUMENT WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OF LICENSED SURVEYOR.
 3. TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATION WITHIN THE STREET RIGHT-OF WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICE ALERT (USA), CALL 1-800-642-2444.
 4. TWO MEANS OF INGRESS/EGRESS MUST BE MAINTAINED DURING ALL PHASES OF DEVELOPMENT.

- LEGEND:**
- OH 2' PARKING OVERHANG SETBACK
 - TE TRASH ENCLOSURE
 - INDICATES STREETS PREVIOUSLY DEDICATED FOR PUBLIC USE
 - EXISTING SIDEWALK
 - PROPOSED SIDEWALK
 - PROPOSED CARPORT
 - TBR TO BE REMOVED
 - BACK FLOW PREVENTER
 - WATER METER
 - STORM DRAIN GRATE
 - GAS VALVE
 - MAILBOX
 - STORM DRAIN MANHOLE
 - WATER VALVE
 - SANITARY SEWER MANHOLE
 - STREET LIGHT
 - FIRE HYDRANT
 - ELECTRIC BOX
 - TELEPHONE BOX
 - TELEPHONE MANHOLE
 - TRAFFIC SIGNAL POLE
 - TRAFFIC LIGHT POLE
 - SIGN
 - ELECTRIC VAULT
 - FENCE AS NOTED
 - STORM DRAIN MANHOLE
 - HANDICAP STALL



SITE PLAN REVIEW									
OWNER Kap Su Davis, Trustee 418 N. POWELL CT. VISALIA, CA 93291									
 Harbour & Associates Civil Engineers 389 Clovis Avenue, Suite 300 • Clovis, California 93612 (559) 325-7976 • Fax (559) 325-7999 • e-mail: hba@harbour-engineering.com	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">REVISIONS</td> <td style="text-align: center;">SHEET NO.</td> </tr> <tr> <td style="text-align: center;"> </td> <td style="text-align: center;">1</td> </tr> <tr> <td style="text-align: center;"> </td> <td style="text-align: center;">OF</td> </tr> <tr> <td style="text-align: center;"> </td> <td style="text-align: center;">1</td> </tr> </table>	REVISIONS	SHEET NO.		1		OF		1
REVISIONS	SHEET NO.								
	1								
	OF								
	1								
DATE: 5-31-22	SCALE: 1" = 40'								
DRAWN BY: SDH									

EXHIBIT C

SPECIAL AUTHORIZATION TO ACT ON BEHALF OF OWNER

APN'S: 077-660-021, 077-660-022 AND 077-660-024

The undersigned is the Owner of the above-referenced parcels of real property located in the City of Visalia, County of Tulare, State of California (the "**Property**"). Maracor Development, Inc. ("**Maracor**") is under contract to acquire the Property from Owner and in connection with such acquisition is seeking approval of a residential project (the "**Project**") to develop on the Property.

Owner hereby grants to Maracor, its assigns, engineers, architects and other consultants the right to process, at Maracor's sole cost and expense, all entitlements for the Project which are required by the City, County and any other governmental authorities having jurisdiction over the Property, including, without limitation, any subdivision maps, design review process, site plans, CEQA certifications, permits, and any and all other approvals required to develop the Project. Owner also grants to Maracor the right to execute all applications and other documents required to process the above-referenced entitlements.

SELLER

DocuSigned by:
Sue Davis 6/22/2021
D1K3FB8U994T4AA
Sue Davis _____ Date



SITE PLAN KEY NOTES

- (A) RED PAINTED CURB - NO PARKING
- (B) BIKE RACK 1 - 12 SPACES
- (C) BIKE RACK 2 - 12 SPACES
- (D) CARPORT, TYP.
- (E) STRIPE AS "NO PARKING"
- (F) LOADING ZONE

- BUILDINGS
- CLUBHOUSE
- COVERED PARKING
- TRASH ENCLOSURE

PROJECT DATA

Jurisdiction	Visalia, CA	
Existing Zoning	OPA - Professional / Admin. Office	
Proposed Zoning	R-M-3	
Gross Land Area (Including Easements and Dedications)	331,999 S.F.	7.62 ACRES
Net Land Area (Not Including Easements and Dedications)	331,999 S.F.	7.62 ACRES
Total Units Proposed	243	
Density Proposed (DU/AC.)	31.88	
Density Proposed per Net Acre (DU/AC.)	31.88	

LOT COVERAGE

BUILDING FOOTPRINT PROPOSED						
	Bldg. A 24 Units 3 STORY	Bldg. B 30 Units 3 STORY	Bldg. C 33 Units 3 STORY	Bldg. D 18 Units 3 STORY	Clubhouse with Laundry Building	Total
Footprint (sf)	6,370	8,813	8,650	5,170	6634	
Count	3	2	1	1	1	
Total	19,110	17,626	8,650	5,170	6634	
Footprint (sf)	Bldg. E 30 Units 3 STORY					
Count	2					10
Total	15,140					72,330 S.F.
Lot Area						331,999 S.F.
Lot Coverage Proposed (With Easements)						22%

SITE DATA

OPEN SPACE CALCULATIONS	
Open Space - S.F.	99,986 S.F.
Porches & Decks - S.F. (5'-0" x 8'-0" min.)	32,228 S.F.
Total open area - S.F.	132,214 S.F.
Open area ratio proposed	40%
Open space required 5% of Site	16,600

SETBACKS AND HEIGHTS		
Zoning Setbacks	OPA - Professional / Admin. Office	R-M-3
FRONT	N/A	15'-0"
SIDE	N/A	5'-0"
REAR	N/A	15'-0"
Building Height Limit	N/A	4 STORIES - 45'-0"

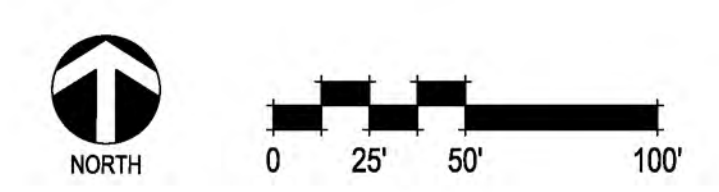
PARKING SUMMARY			
Standard Stalls			317
Compact Stalls		97.5	0
Accessible Stalls			8
Total Proposed			325
Total Required	1.5 SPACES PER UNIT RESIDENT	1.5	243
	0.25 SPACES PER UNIT GUEST	0.25	61
			425
Covered Parking			243

TRASH ENCLOSURES	
1 PER 25 UNITS	9.72
	9

PROJECT SUMMARY				
1BED	U1	600 S.F.	108	44.44%
	U2A	848 S.F.	30	29.63%
2 BED	U2B	867 S.F.	42	
	U3	1,118 S.F.	60	25.93%
3 BED	U3A	1,118 S.F.	3	
	TOTALS UNITS		243	100%

RENTABLE UNIT TOTAL				
1BED	U1	600 S.F.	108	45.00%
	U2A	848 S.F.	30	30.00%
2 BED	U2B	867 S.F.	42	
	U3	1,118 S.F.	57	25.00%
3 BED	U3A	1,118 S.F.	3	
	TOTALS RENTAL UNITS		240	100%

MANAGERS UNIT				
3 BED	U3	1,118	3	1%
TOTALS MANAGER UNITS			3	1%



399.220 TPC VISALIA
Visalia, CA
June 1, 2022

SITE PLAN
TS

FLOOR AREA PROPOSED (Private Balcony area & Garages Excluded)						
	Bldg. A 24 Units 3 STORY	Bldg. B 30 Units 3 STORY	Bldg. C 33 Units 3 STORY	Bldg. D 18 Units 3 STORY	Clubhouse with Laundry Building	Total
Level 1	6,370	8,813	8650	5,170		
Level 2	6,370	8,813	8650	5,170	0	
Level 3	6,370	8,813	8650	5,170	0	
Building Floor Area	19,110	26,439	25,950	15,510	6634	
Total Floor Area (sf)	57,330	52,878	25,950	15,510	6634	
	Bldg. E 30 Units 3 STORY					Total
Level 1	7,570					
Level 2	7,570					
Level 3	7,570					
Building Floor Area	22,710					
Total Floor Area (sf)	45,420					
Total Gross Floor Area Proposed						203,722 S.F.
Floor Area Ratio Proposed (With Easements)						0.61

PORCHES & DECKS				
	1st FLOOR	2nd FLOOR	3rd FLOOR	TOTAL
U1	142 S.F.	142 S.F.	114 S.F.	
U2A	143 S.F.	143 S.F.	82 S.F.	
U2B	120 S.F.	120 S.F.	78 S.F.	
U3	160 S.F.	160 S.F.	146 S.F.	
U3A	160 S.F.	160 S.F.	128 S.F.	
				TOTAL
BUILDING A	1,128 S.F.	1,128 S.F.	904 S.F.	3,160 S.F.
BUILDING B	1,456 S.F.	1,456 S.F.	1,072 S.F.	3,984 S.F.
BUILDING C	1,618 S.F.	1,618 S.F.	1,268 S.F.	4,504 S.F.
BUILDING D	844 S.F.	844 S.F.	676 S.F.	2,364 S.F.
BUILDING E	1,412 S.F.	1,412 S.F.	1,132 S.F.	3,956 S.F.

ADDITIONAL BUILDING	
CLUBHOUSE with LAUNDRY	6,634 S.F.

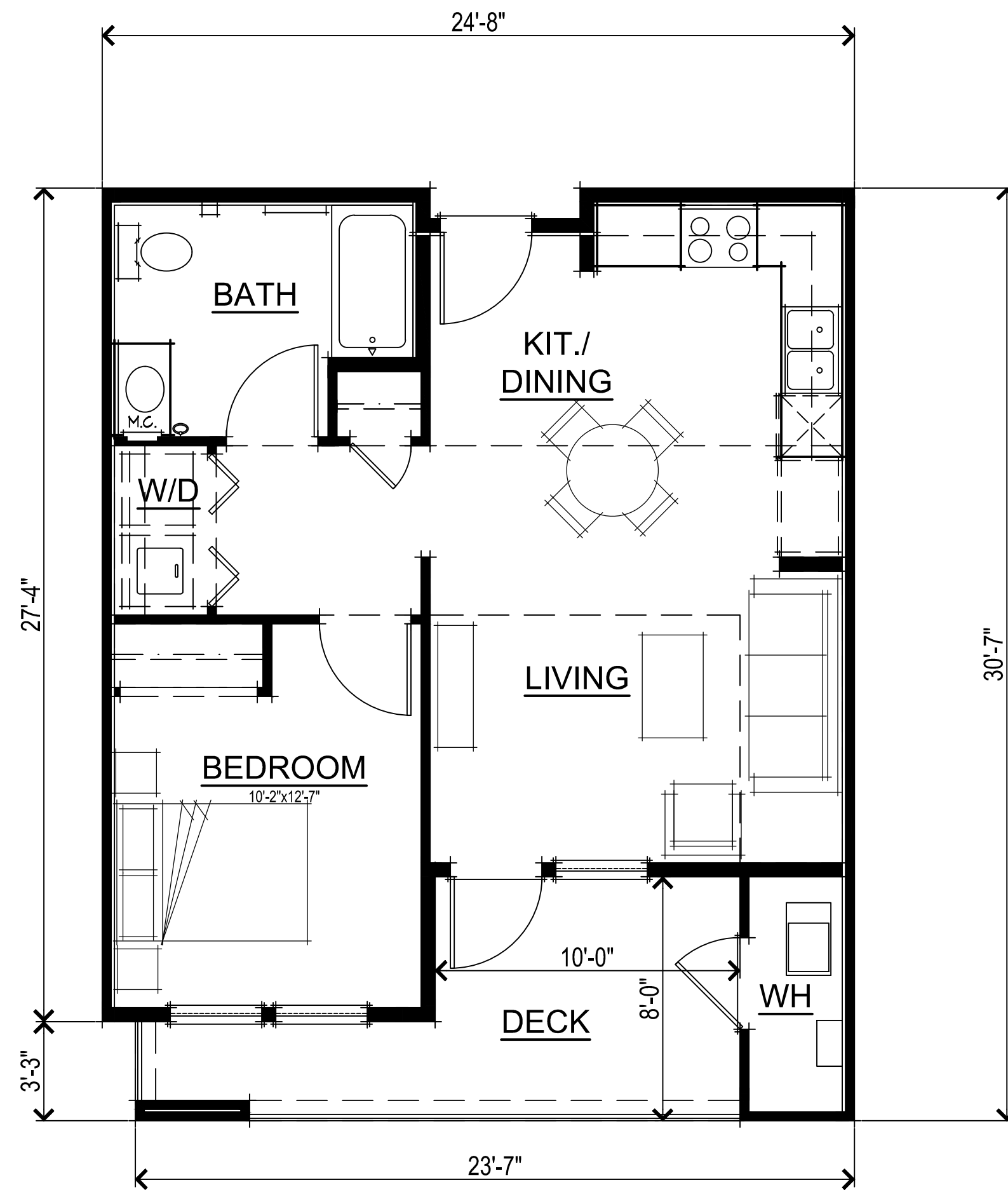
BUILDING TYPE SUMMARY							
BUILDING TYPE	UNIT TYPE	UNIT	UNITS PER FLOOR	BUILDING UNIT TOTALS	BUILDING TOTALS	SITE UNIT TOTALS	UNIT %
A 24 UNITS 3 STORY	1 BED	U1	4	12	3	36	50%
	2 BED	U2A	0	0		0	0%
		U2B	2	6		18	25%
	3 BED	U3	2	6		18	25%
		U3A	0	0		0	0%
TOTALS			8	24		72	100%

B 30 UNITS 3 STORY	1 BED	U1	2	6	2	12	20%
	2 BED	U2A	4	12		24	40%
		U2B	1	3		6	10%
	3 BED	U3	3	9		18	30%
		U3A	0	0		0	0%
TOTALS			10	30		60	100%

C 33 UNITS 3 STORY	1 BED	U1	6	18	1	18	55%
	2 BED	U2A	2	6		6	18%
		U2B	0	0		0	0%
	3 BED	U3	2	6		6	18%
		U3A	1	3		3	9%
TOTALS			11	33		33	100%

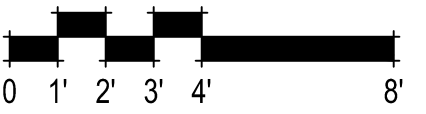
D 18 UNITS 3 STORY	1 BED	U1	2	6	1	6	33%
	2 BED	U2A	0	0		0	0%
		U2B	2	6		6	33%
	3 BED	U3	2	6		6	33%
		U3A	0	0		0	0%
TOTALS			6	18		18	100%

E 30 UNITS 3 STORY	1 BED	U1	6	18	2	36	60%
	2 BED	U2A	0	0		0	0%
		U2B	2	6		12	20%
	3 BED	U3	2	6		12	20%
		U3A	0	0		0	0%
TOTALS			10	30		60	100%

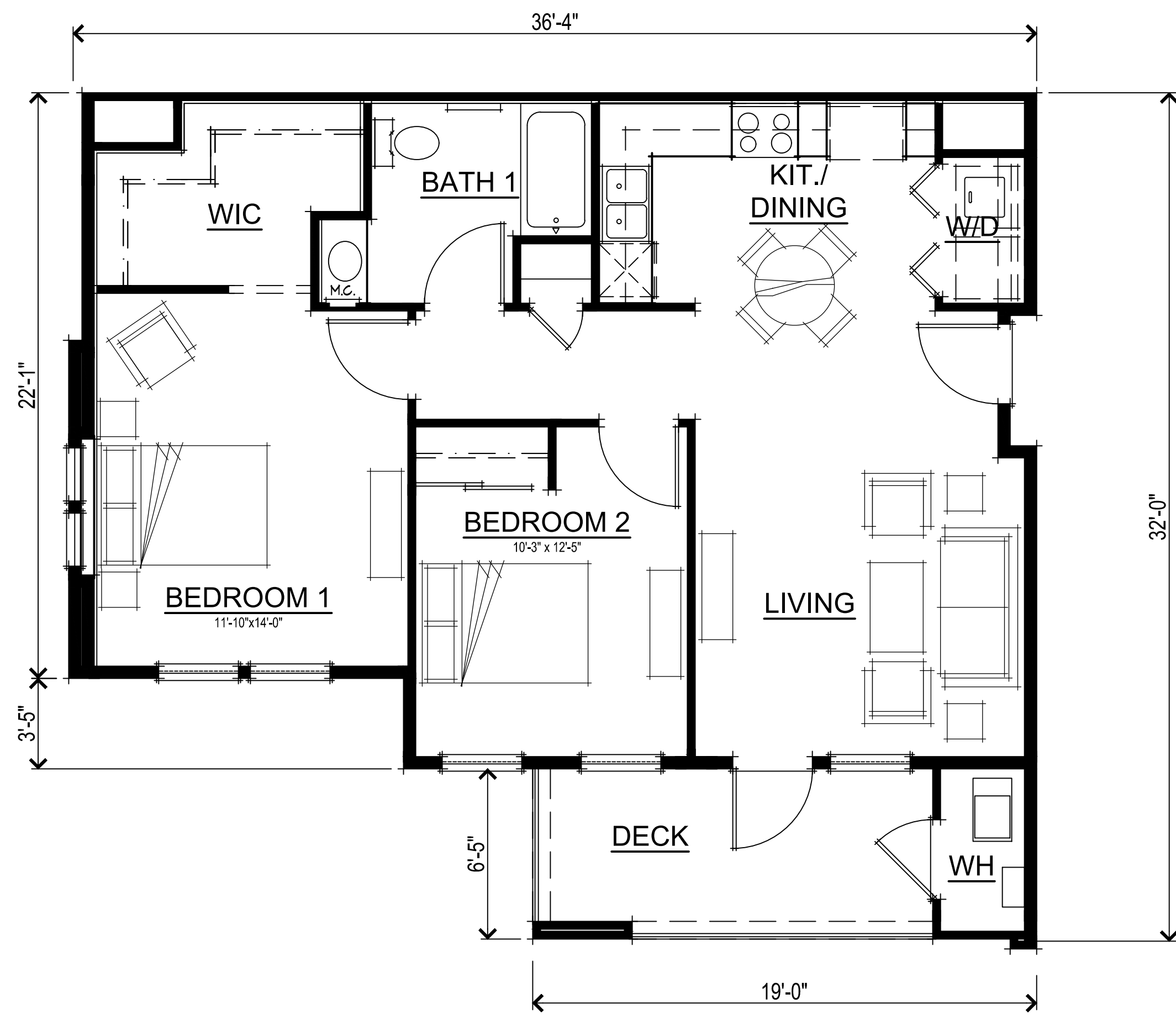


FLOOR PLAN - UNIT 1

UNIT 1 SQUARE FOOTAGE	
NET LIVING	564 SQ. FT.
GROSS LIVING	600 SQ. FT.



UNIT 1 FLOOR PLAN
A1



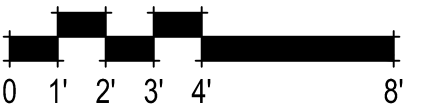
FLOOR PLAN - UNIT 2B

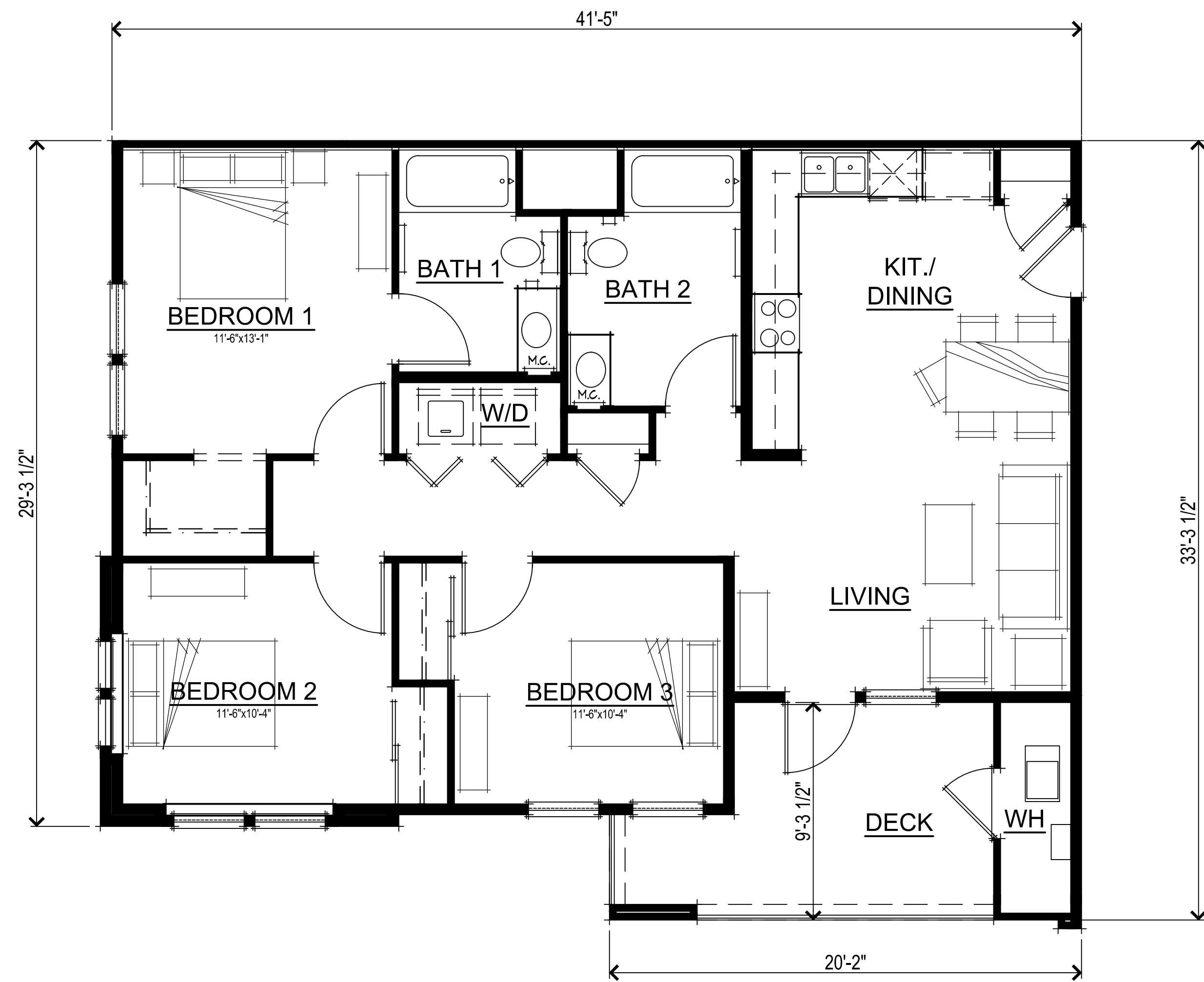
UNIT 2B SQUARE FOOTAGE	
NET LIVING	821 SQ. FT.
GROSS LIVING	867 SQ. FT.



FLOOR PLAN - UNIT 2A

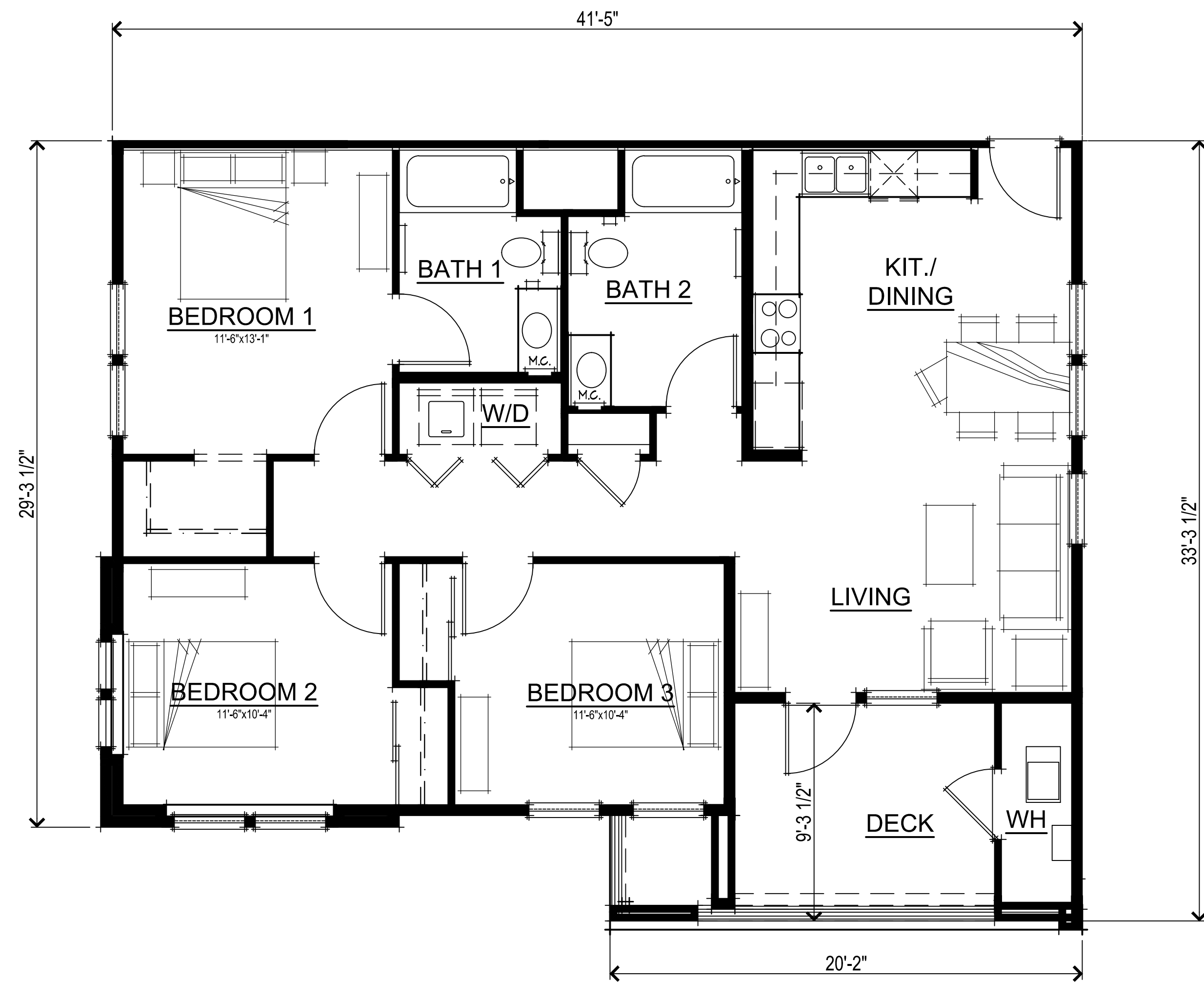
UNIT 2A SQUARE FOOTAGE	
NET LIVING	810 SQ. FT.
GROSS LIVING	848 SQ. FT.





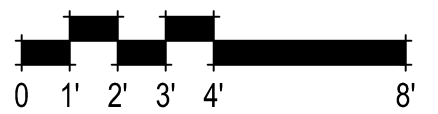
FLOOR PLAN - UNIT 3

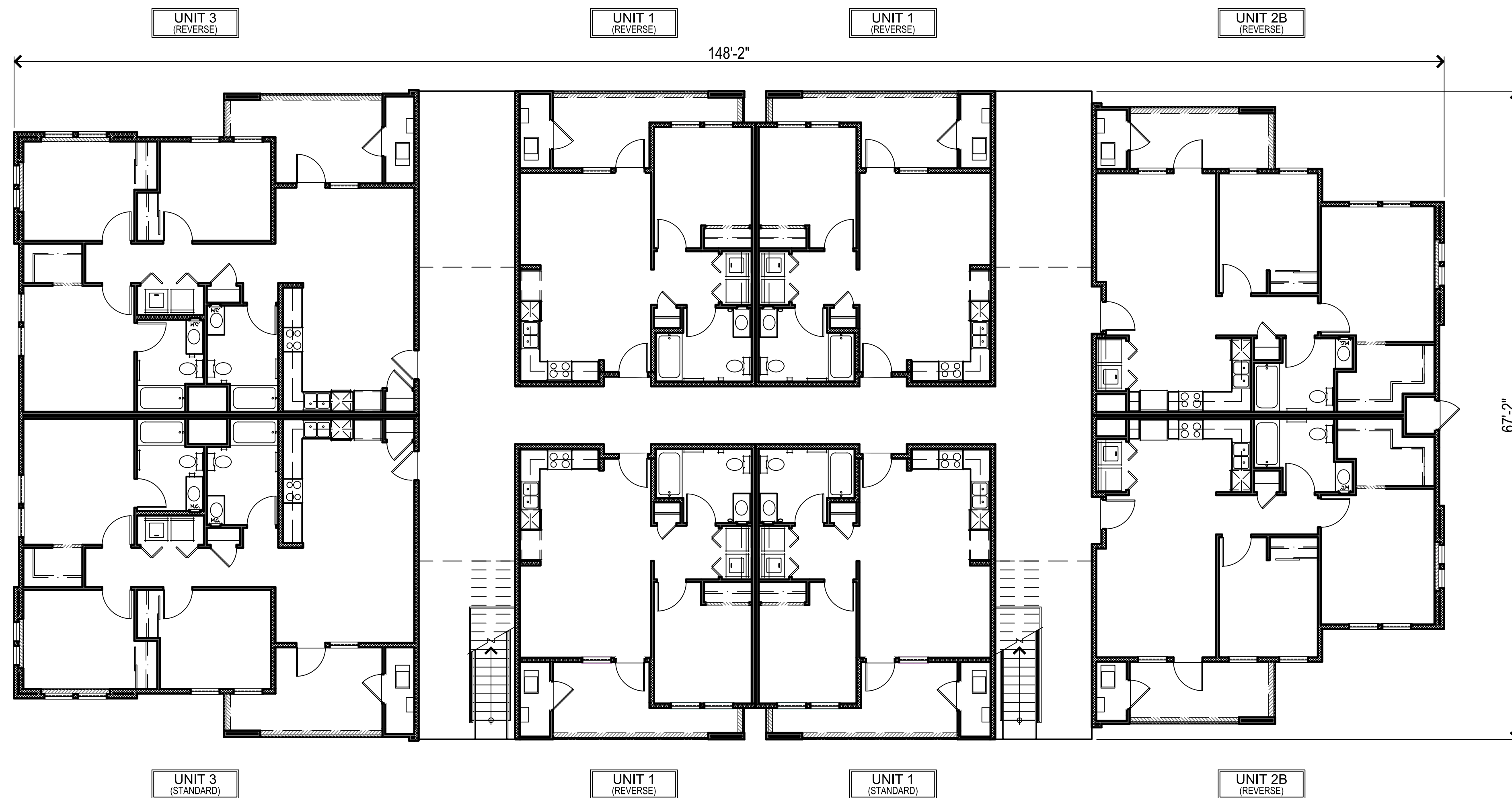
UNIT 3 SQUARE FOOTAGE	
NET LIVING	1065 SQ. FT.
GROSS LIVING	1118 SQ. FT.



FLOOR PLAN - UNIT 3A

UNIT 3A SQUARE FOOTAGE	
NET LIVING	1065 SQ. FT.
GROSS LIVING	1118 SQ. FT.



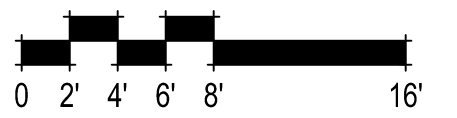


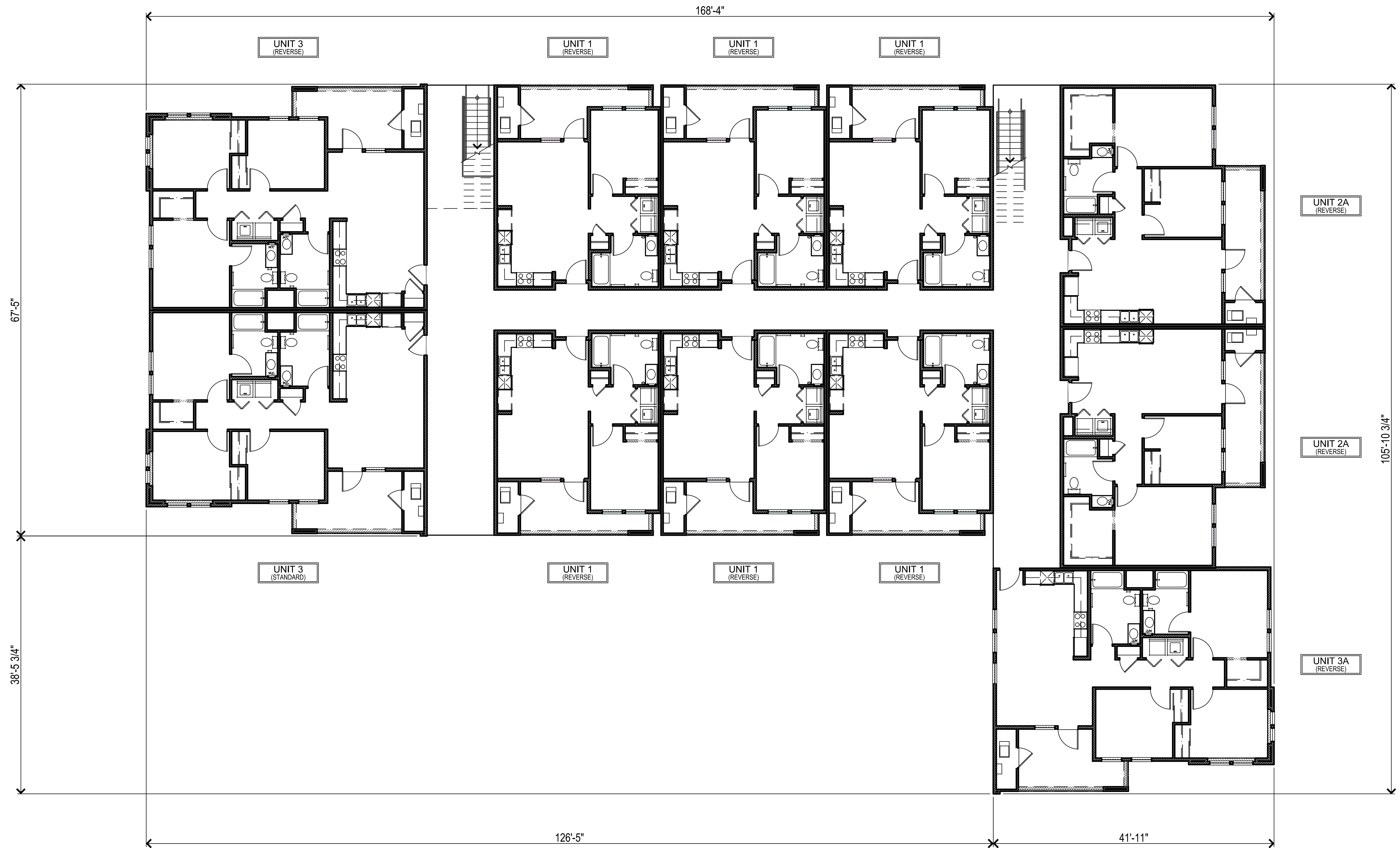
BUILDING TYPE A (24 UNIT BLDG) - TYPICAL FLOOR PLAN





BUILDING TYPE B (30 UNIT BLDG) - TYPICAL FLOOR PLAN





BUILDING TYPE C (33 UNIT BLDG) - TYPICAL FLOOR PLAN





UNIT 3
1,118 SF

UNIT 3
1,118 SF

LEFT ELEVATION



UNIT 2B
867 SF

UNIT 2B
867 SF

RIGHT ELEVATION



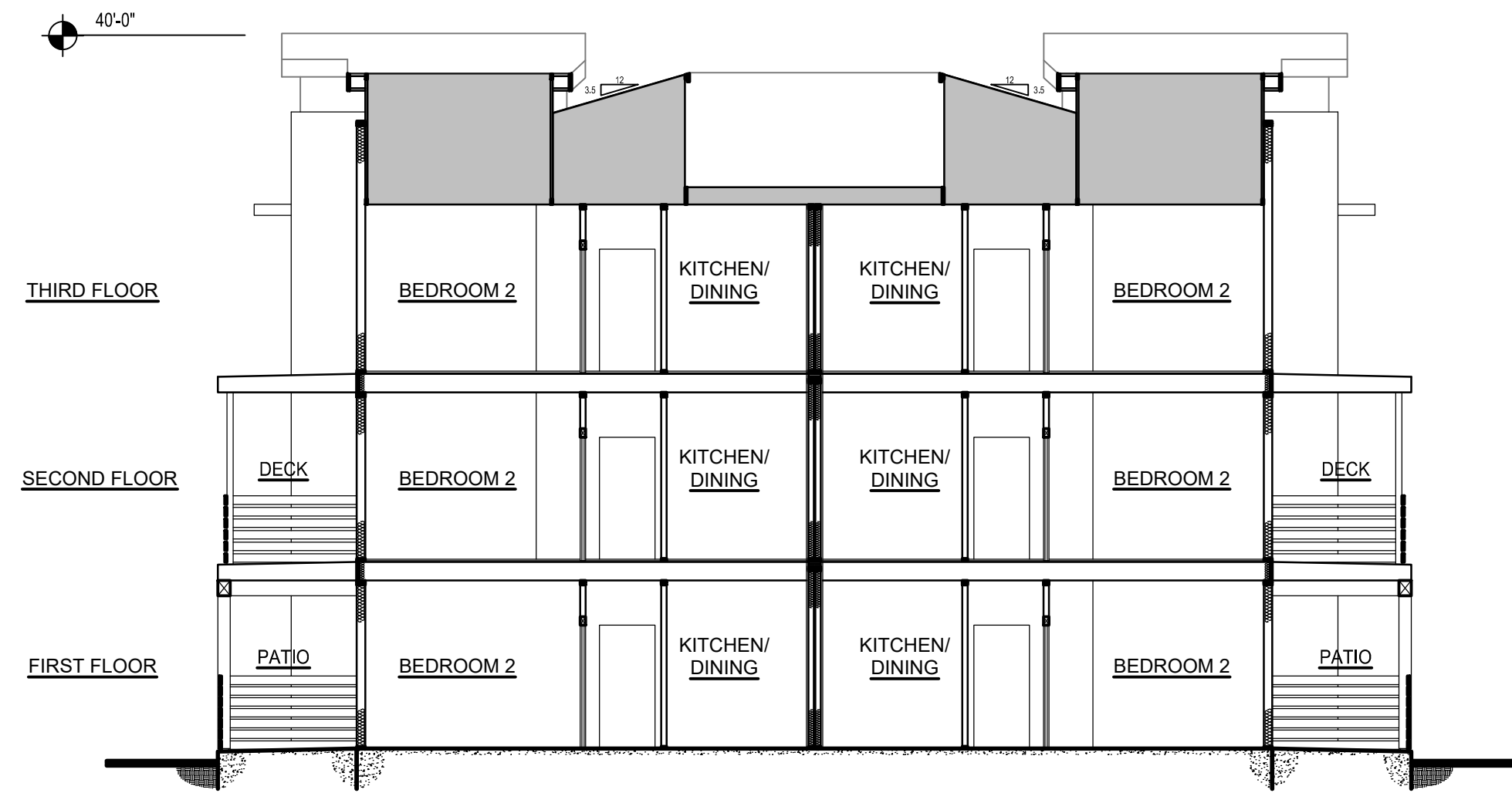
UNIT 3
1,118 SF

UNIT 1
600 SF

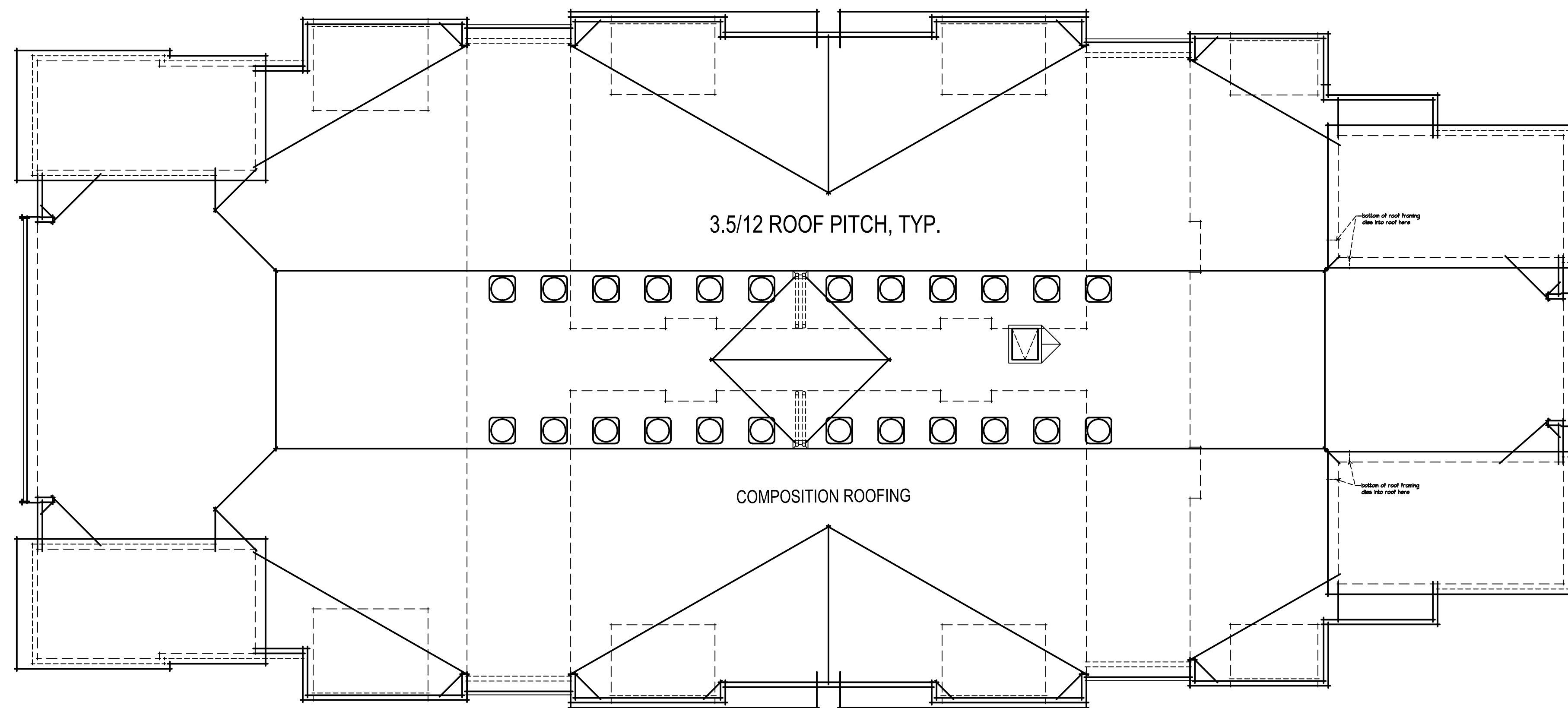
UNIT 1
600 SF

UNIT 2B
867 SF

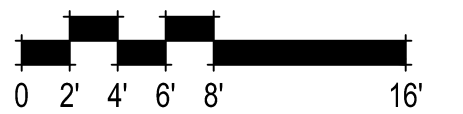
FRONT ELEVATION

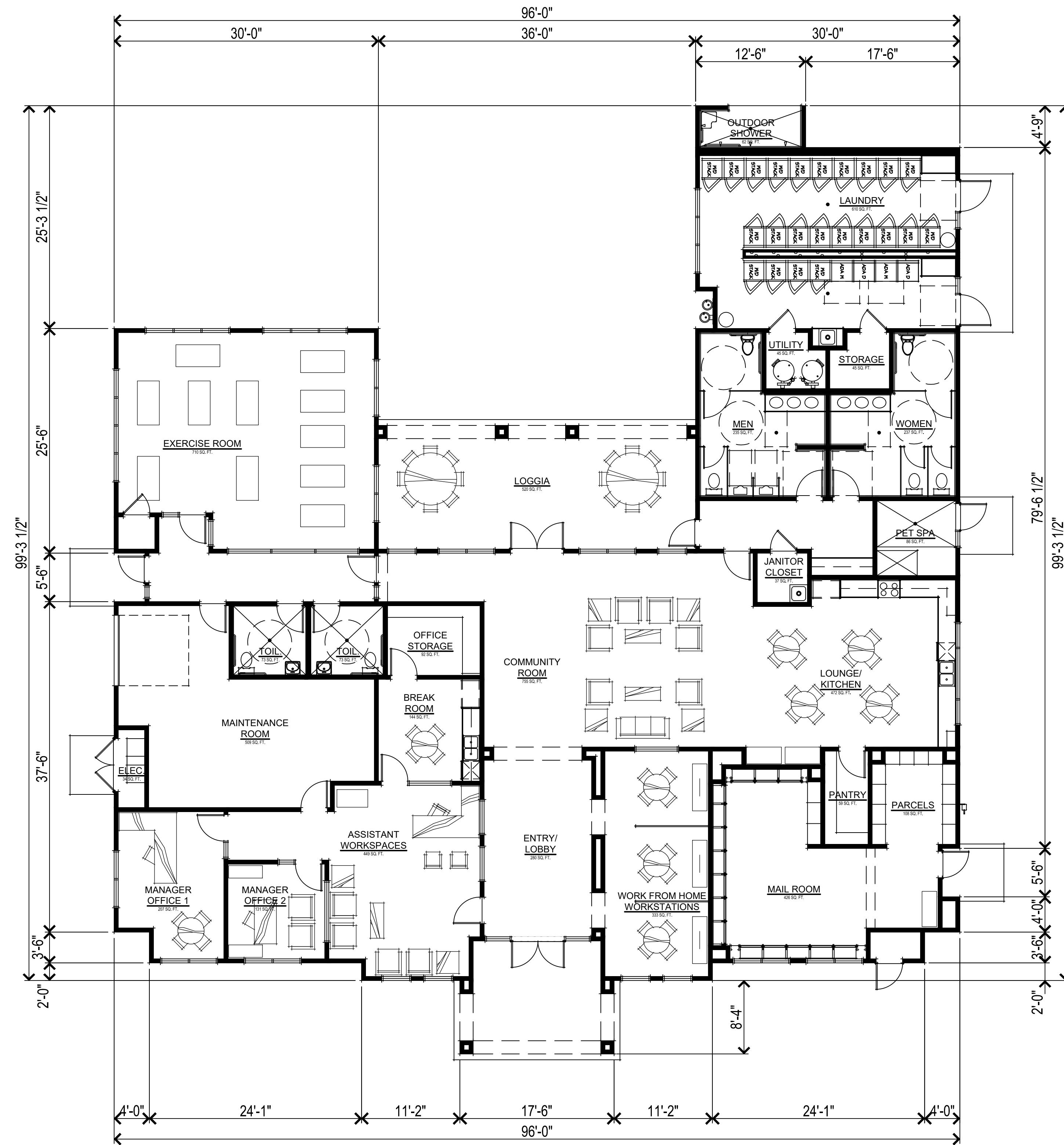


TYPICAL SECTION



ROOF PLAN





FLOOR PLAN

CLUBHOUSE BUILDING SQUARE FOOTAGE	
FLOOR AREA	6634 SQ. FT.



RIGHT ELEVATION



REAR ELEVATION



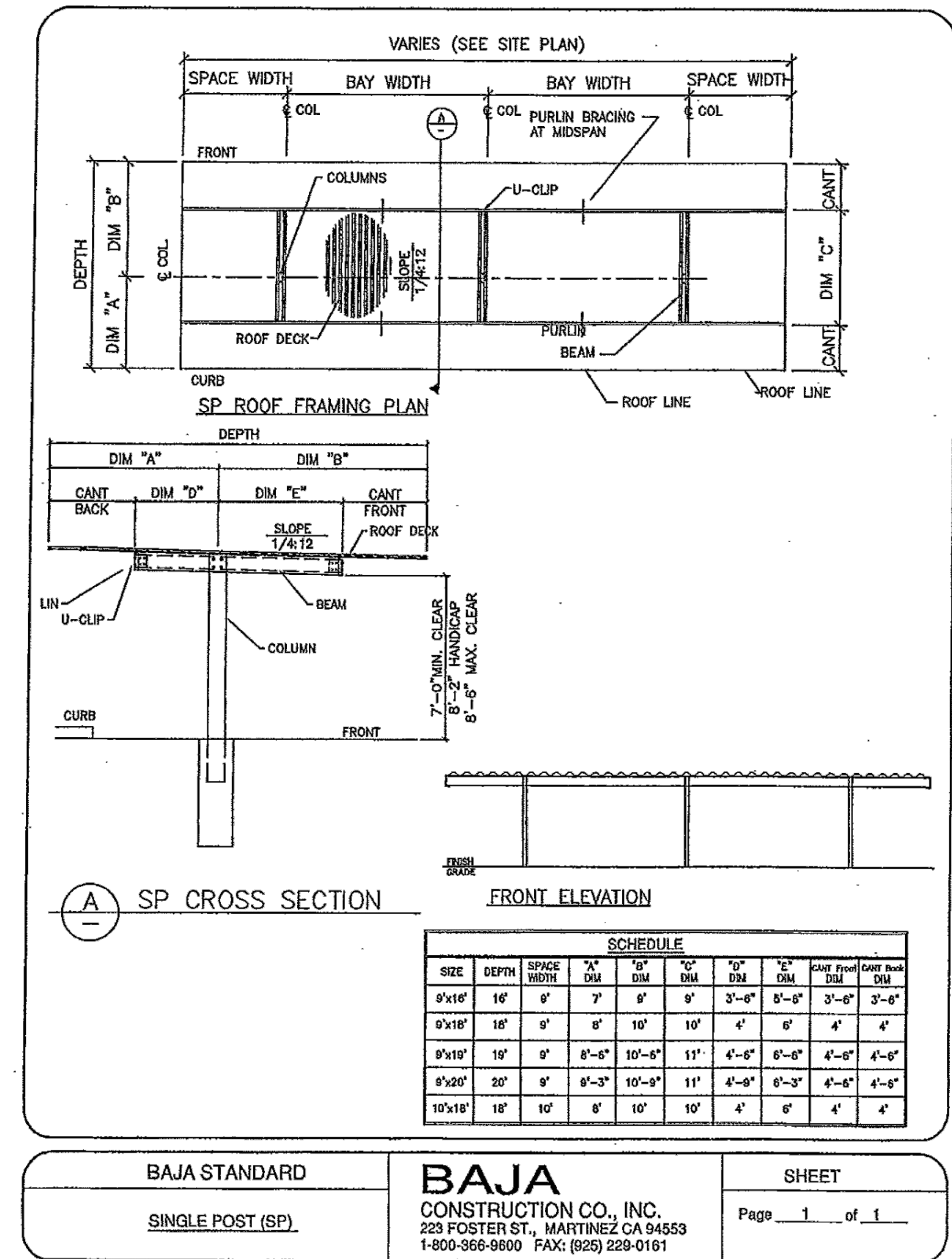
LEFT ELEVATION



FRONT ELEVATION



CARPORT EXAMPLE PHOTO



CARPORT TYPICAL DETAIL

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application **MUST** be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- **Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present** -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Ben Maddox Way Apartments Date: 6-2-22

Project Description: This is a 292 unit, 27.04 DU/AC, 100% affordable, multi-family residential project.

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: TRD 3-Brackenwood LLC (John Roberts)

Applicant(s) Name: Maracor Development, Inc.

Project Address/Location: Southwest corner of K Avenue and Ben Maddox Way.

Assessor Parcel Number: 126 - 750 - 050 & 051

Parcel Size (Acreage or Square Feet): 10.8 Acres Building or Suite Square Footage: _____

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ 0

Describe All Proposed Building Modifications: None

- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received: 06/07/2022

SPR Agenda: 06/15/2022 Item No. _____

Zone: _____ SPR No. 22-065

Historic District: Yes No

Flood Zone: X AE X/AE

- - **A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS** - -

Existing/Prior Building Use: Vacant

Proposed Building Use: Multi-family residential

Proposed Hours of Operation: 24 hrs.

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing 0 Proposed 3 to 5

Number of Customers Per Day (Estimated): Existing 0 Proposed 0

Predicted Peak Operating Hour: 7:00 am & 6:00 pm

Describe Any Truck Delivery Schedule & Operations: Light duty Amazon, UPS, USPS, etc.

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): Main entrance on "K" Ave. and secondary on existing Ben Maddox Ave.

Describe Any Special Events Planned for the Facility: N/A

OPERATIONS & TRAFFIC INFORMATION

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - All existing & proposed site features
 - Site dimensions, including building
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
 - Adjacent street names
 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Maracor Development, Inc.</u>	Signature of Owner or Authorized Agent*	
Address: <u>61 Moraga Way, Ste. 4</u>	Owner	Date
City, State, Zip <u>Orinda, CA. 94563</u>		<u>4/21/22</u>
Phone: <u>925-389-6836</u>	Authorized Agent	Date
Email: <u>chawke@maracordev.com</u>	<u>CHRISTOPHER HAWKE</u>	

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:
I, John Roberts, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):
126-750-050 & 051

AGENT:
I designate Maracor Development, Inc., to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to develop this 330 unit multi-family residential project relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.
Executed this _____ day of _____, 20____.


OWNER	Signatures	AGENT
See attached authorization.		
Signature of Owner		Signature of Agent
<u>1969 Hillman St.</u>		<u>61 Moraga Way, Ste. 4</u>
Owner Mailing Address		Agent Mailing Address
<u>Tulare, CA. 93724</u>		<u>Orinda, CA. 94563</u>
<u>760-707-4661</u>		<u>925-389-6836</u>
Owner Phone Number		Agent Phone Number

EXHIBIT "D"

SPECIAL AUTHORIZATION TO ACT ON BEHALF OF OWNER

APN: 126-075-050 & 126-075-051

The undersigned are the Owners of the above-referenced parcels of real property located in the City of Visalia, County of Tulare, State of California (the "Property"). Maracor Development, Inc. ("Maracor") is under contract to acquire the Property from Owner and in connection with such acquisition is seeking approval of a residential project (the "Project") to develop on the Property.

Owner hereby grants to Maracor, its assigns, engineers, architects, and other consultants the right to process, at Maracor's sole cost and expense, all entitlements for the Project which are required by the City, County and any other governmental authorities having jurisdiction over the Property, including, without limitation, any subdivision maps, design review process, site plans, CEQA certifications, permits, and any and all other approvals required to develop the Project. Owner also grants to Maracor the right to execute all applications and other documents required to process the above-referenced entitlements.

SELLER

TRD 3 – BRACKENWOOD, LLC,
a Delaware limited liability company

By: RGH Manager, LLC
a Delaware limited liability company
its Manager

By:  4/21/2022
John C. Roberts, Manager



First American

myFirstAm®

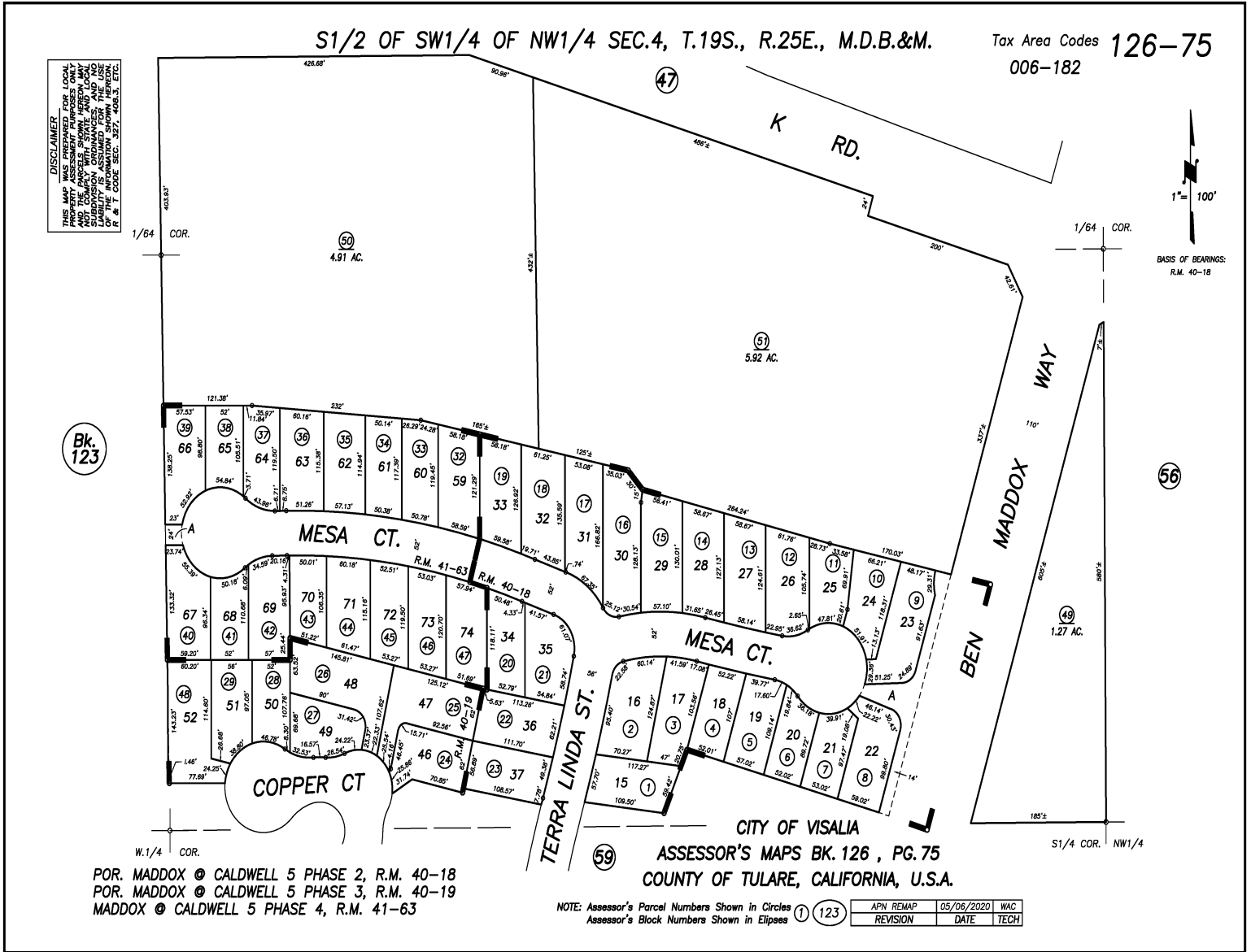
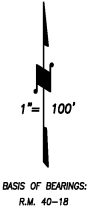
Tax Map

1312 E Mesa Ct, Visalia, CA 93292

S1/2 OF SW1/4 OF NW1/4 SEC.4, T.19S., R.25E., M.D.B.&M.

Tax Area Codes 126-75
006-182

DISCLAIMER
THIS MAP IS FOR LOCAL
PROPERTY ASSESSMENT PURPOSES ONLY
AND DOES NOT REPRESENT STATE AND LOCAL
PROPERTY TAXES. THE STATE AND LOCAL
TAXING AGENCIES ASSUME NO LIABILITY FOR
THE INFORMATION SHOWN HEREIN.
C.F.R. 1.251-10(b)(1), 251.10(b)(2)



POR. MADDOX @ CALDWELL 5 PHASE 2, R.M. 40-18
POR. MADDOX @ CALDWELL 5 PHASE 3, R.M. 40-19
MADDOX @ CALDWELL 5 PHASE 4, R.M. 41-63

NOTE: Assessor's Parcel Numbers Shown in Circles ① (123)
Assessor's Block Numbers Shown in Ellipses ① (123)

APN REMAP	05/06/2020	WAC
REVISION	DATE	TECH

This report is only for the myFirstAm user who applied for it. No one else can rely on it. As a myFirstAm user, you already agreed to our disclaimer regarding third party property information accuracy. You can view it here: www.myfirstam.com/Security/ShowEULA. ©2005-2022 First American Financial Corporation and/or its affiliates. All rights reserved.

Ben Maddux Way Apartments
Visalia, CA
June 8, 2022

Statement of Design Intent

Summary

The Ben Maddux Way Apartments are a 100% Affordable Apartment project. There are 228 units made up of 1-, 2-, and 3-bedroom apartments arranged in 16, 18, 24, 30 and 36 unit, 3 story walk-up style apartment buildings on the approximate 10.8 acre site.

Affordability

The Ben Maddux Way Apartments is a 100% affordable project with the following approximate affordable components:

- (29) units at 30% AMI
- (58) units at 50% AMI
- (130) units at 60% AMI
- (72) units at 80% AMI

The project also has 3 unrestricted manager's units

Site Design

The primary site entry is from East K Avenue, and we are providing a secondary access to Ben Maddux Way The Community Building for the site is aligned with the primary entry point to the site and is combined with the Central Green of the project, which includes the Community Building, Pool, and Children's Play Area.

Parking is evenly distributed throughout the interior of the site. There are carports distributed evenly across the site to provide at least one covered parking space per unit.

Trash collection locations are also evenly distributed in 10 locations across the site.

The site will be illuminated by 20' LED shielded light standards in the open parking areas, and by LED down lighting within the carport areas.

Building Design

The buildings are comprised of 1-, 2- and 3-bedroom units ranging from 600 to 1,118 sf. The units are arranged around stair and corridor circulation elements into the various building types. Each unit has a substantial private deck or patio for private open space, and the decks and patios include additional private storage space. The buildings are 3 stories tall. The community Building is approximately 6,000 sf and includes entertainment areas, an exercise room and yoga room, offices for management and leasing, restrooms and storage.

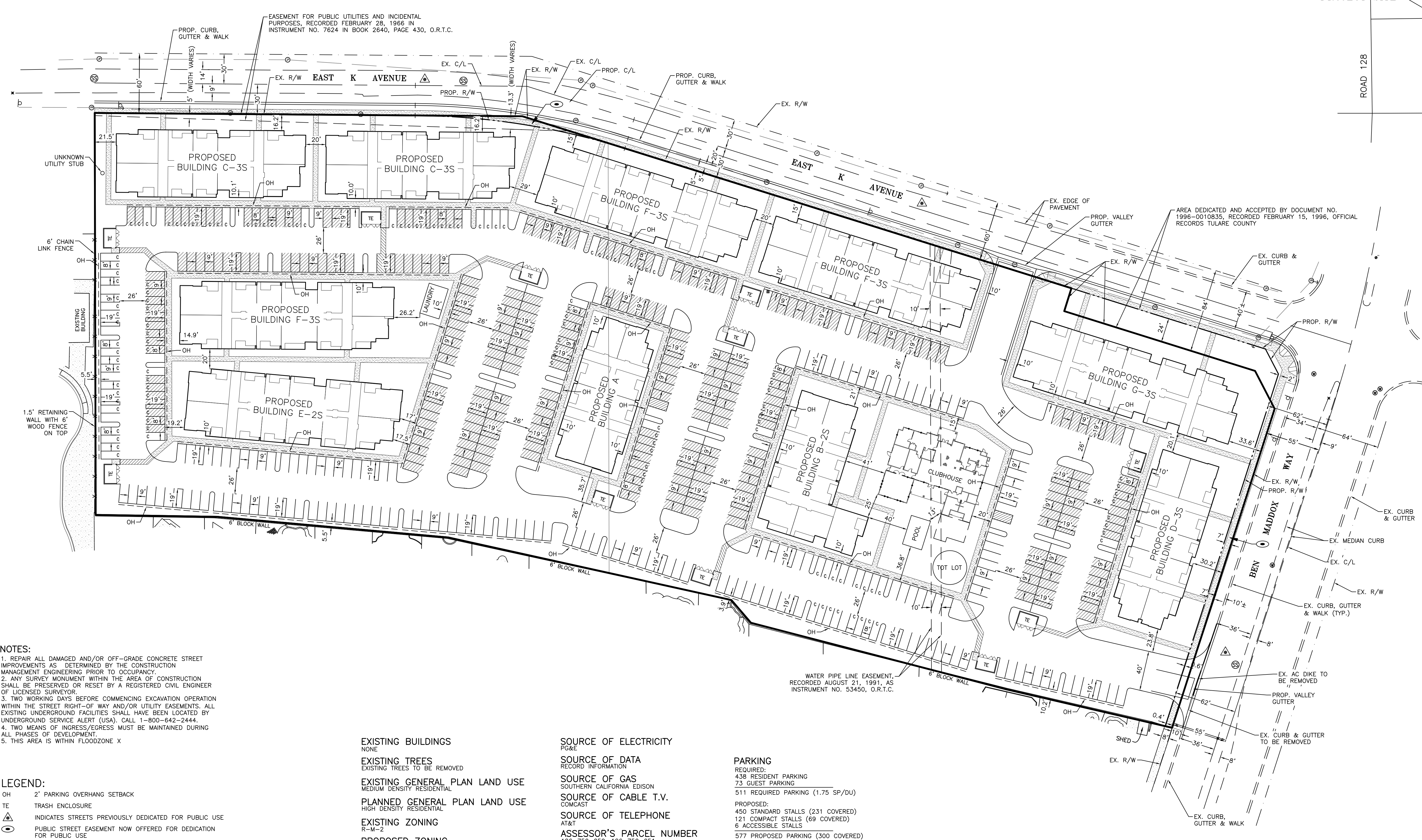
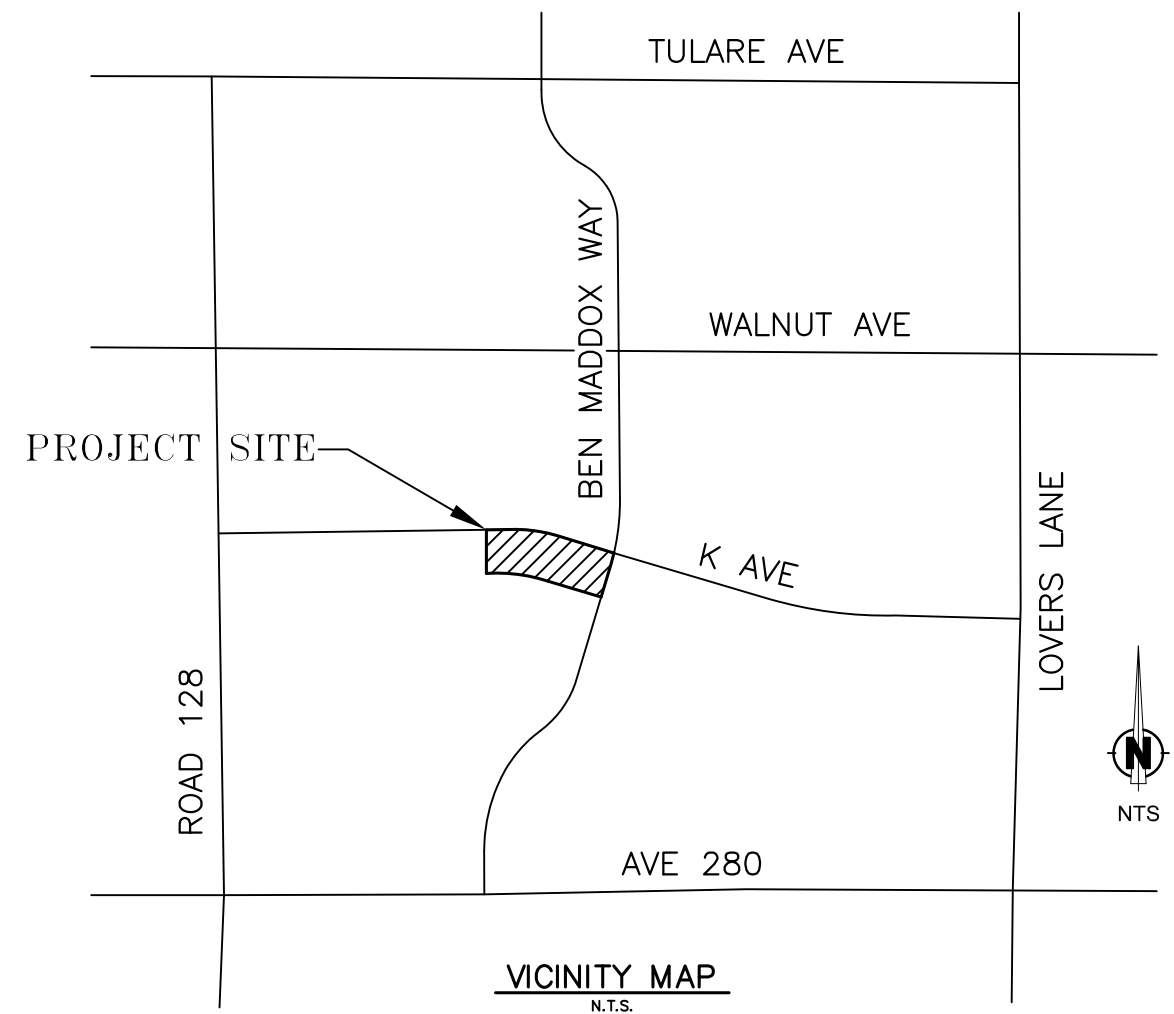
Exterior Elevations

The buildings are elevated in a contemporary style. The units are individually articulated within the overall building form. Shed roof forms and parapet roof forms create a rhythm of varied heights at the edge of the facade while still allowing a main sloped roof form to allow for the best configuration for solar roof panels. The elevational articulation is enhanced by the building colors and materials. Window patterns also enhance these effects. Horizontal patio privacy screens and deck railings create a consistent visual element on the buildings. Deep recesses, varied elevation planes and metal canopies provide shade and shadow relief on the building facade.

All air conditioner condensers are screened from view and there is no mechanical equipment on the roofs. There will be solar panels on the roofs.

The exterior materials are noted on the exterior elevation sheet A7 and A8, and the color and materials sheet A11 for the Community Building.

The Community Building is elevated in a contemporary style to be consistent with the apartment buildings. It is a single-story building with parapet and hipped roof forms. The exterior plaster walls are articulated with control joints to accentuate the window patterns and details and colors enhance the building form. Metal canopies and deep front and rear porches add visual depth to the building elevations.



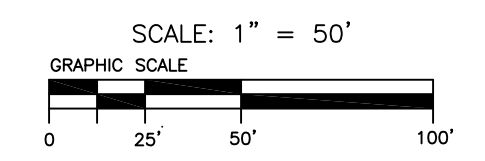
- NOTES:**
1. REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEERING PRIOR TO OCCUPANCY.
 2. ANY SURVEY MONUMENT WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OF LICENSED SURVEYOR.
 3. TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATION WITHIN THE STREET RIGHT-OF WAY AND/OR UTILITY EASEMENTS. ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICE ALERT (USA). CALL 1-800-642-2444.
 4. TWO MEANS OF INGRESS/EGRESS MUST BE MAINTAINED DURING ALL PHASES OF DEVELOPMENT.
 5. THIS AREA IS WITHIN FLOODZONE X

- LEGEND:**
- OH 2' PARKING OVERHANG SETBACK
 - TE TRASH ENCLOSURE
 - INDICATES STREETS PREVIOUSLY DEDICATED FOR PUBLIC USE
 - PUBLIC STREET EASEMENT NOW OFFERED FOR DEDICATION FOR PUBLIC USE
 - EXISTING SIDEWALK
 - PROPOSED SIDEWALK
 - PROPOSED CARPORT
 - WATER VALVE
 - SANITARY SEWER MANHOLE
 - POWER POLE
 - FENCE AS NOTED
 - SIGN
 - COMPACT PARKING STALLS

- EXISTING BUILDINGS**
NONE
- EXISTING TREES**
EXISTING TREES TO BE REMOVED
- EXISTING GENERAL PLAN LAND USE**
MEDIUM DENSITY RESIDENTIAL
- PLANNED GENERAL PLAN LAND USE**
HIGH DENSITY RESIDENTIAL
- EXISTING ZONING**
R-M-2
- PROPOSED ZONING**
R-M-3
- SOURCE OF WATER**
CITY OF VISALIA
- SOURCE OF SEWAGE DISPOSAL**
CITY OF VISALIA
- SOURCE OF WASTE DISPOSAL**
CITY OF VISALIA

- SOURCE OF ELECTRICITY**
PG&E
- SOURCE OF DATA**
RECORD INFORMATION
- SOURCE OF GAS**
SOUTHERN CALIFORNIA EDISON
- SOURCE OF CABLE T.V.**
COMCAST
- SOURCE OF TELEPHONE**
AT&T
- ASSESSOR'S PARCEL NUMBER**
126-750-050; 126-750-051
- SITE AREA**
10.8 AC. (GROSS & NET)
- DENSITY**
232 UNITS
27.04 UNITS PER ACRE

- PARKING**
- REQUIRED**
- 438 RESIDENT PARKING
 - 73 GUEST PARKING
 - 511 REQUIRED PARKING (1.75 SP/DU)
- PROPOSED:**
- 450 STANDARD STALLS (231 COVERED)
 - 121 COMPACT STALLS (69 COVERED)
 - 6 ACCESSIBLE STALLS
 - 577 PROPOSED PARKING (300 COVERED)



SITE PLAN REVIEW					
OWNER Trd 3-Brackenwood LLC 1963 HILLMAN ST. TULARE, CA 93274					
	REVISIONS				
Harbour & Associates Civil Engineers 389 Clovis Avenue, Suite 300 • Clovis, California 93612 (559) 325-7676 • Fax (559) 325-7699 • e-mail: h&a@harbour-engineering.com	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">SHEET NO.</td> <td style="width: 50%; text-align: center;">1</td> </tr> <tr> <td style="text-align: center;">OF</td> <td style="text-align: center;">1</td> </tr> </table>	SHEET NO.	1	OF	1
SHEET NO.	1				
OF	1				
DATE: 6-2-22	SCALE: 1" = 50'				
DRAWN BY: SDH					

PARKING SUMMARY			
Standard Stalls			450
Compact Stalls	173.1		121
Accessible Stalls			6
Total Proposed			577
	1.5 SPACES PER UNIT RESIDENT	1.5	292
	0.25 SPACES PER UNIT GUEST	0.25	73
Total Required			511
Covered Parking			292

PROJECT DATA	
Jurisdiction	Visalia, CA
Existing Zoning	R-M-2
Proposed Zoning	R-M-2 - WITH DENSITY BONUS
Gross Land Area (Including Easements and Dedications)	470,448 S.F. 10.80 ACRES
Net Land Area (Not including Easements and Dedications)	470,448 S.F. 10.80 ACRES
Total Units Proposed	292
Density Proposed (DU/AC.)	27.04
Density Proposed per Net Acre (DU/AC.)	27.04

- 2-STORY BUILDING
- 3-STORY BUILDING
- CLUBHOUSE
- COVERED PARKING
- TRASH ENCLOSURE

LOT COVERAGE						
BUILDING FOOTPRINT PROPOSED						
	Bldg. A 16 Units 2 STORY	Bldg. B 18 Units 2 STORY	Bldg. C 30 Units 3 STORY	Bldg. D 30 Units 3 STORY	Clubhouse Building	Total
Footprint (sf)	6,370	7,450	8,317	7,570	5946	
Count	1	1	2	1	1	
Total	6,370	7,450	16,634	7,570	5,946	
	Bldg. E 24 Units 2 STORY	Bldg. F 36 Units 3 STORY	Bldg. G 36 Units 3 STORY		Laundry Building	Total
Footprint (sf)	9,517	9,517	10,013		625	
Count	1	3	1		1	12
Total	9,517	28,551	10,013		625	92,676 S.F.
Lot Area						470,448 S.F.
Lot Coverage Proposed (With Easements)						20%



346.018 TPC BRACKENWOOD
 Visalia, CA
 June 9, 2022

SITE PLAN
 TS

BUILDING TYPE SUMMARY							
BUILDING TYPE	UNIT TYPE	UNIT	UNITS PER FLOOR	BUILDING UNIT TOTALS	BUILDING TOTALS	SITE UNIT TOTALS	UNIT %
A 16 UNITS 2 STORY	1 BED	U1	4	8	1	8	50%
	2 BED	U2A	0	0		0	0%
		U2B	2	4		4	25%
	3 BED	U3	2	4		4	25%
		U3A	0	0		0	0%
TOTALS			8	16	16	100%	

B 18 UNITS 2 STORY	1 BED	U1	4	8	1	8	44%
	2 BED	U2A	2	4		4	22%
		U2B	0	0		0	0%
	3 BED	U3	2	4		4	22%
		U3A	1	2		2	11%
TOTALS			9	18	18	100%	

C 30 UNITS 3 STORY	1 BED	U1	4	12	2	24	40%
	2 BED	U2A	2	6		12	20%
		U2B	1	3		6	10%
	3 BED	U3	3	9		18	30%
		U3A	0	0		0	0%
TOTALS			10	30	60	100%	

D 30 UNITS 3 STORY	1 BED	U1	6	18	1	18	60%
	2 BED	U2A	0	0		0	0%
		U2B	2	6		6	20%
	3 BED	U3	2	6		6	20%
		U3A	0	0		0	0%
TOTALS			10	30	30	100%	

E 24 UNITS 2 STORY	1 BED	U1	6	12	1	12	50%
	2 BED	U2A	2	4		4	17%
		U2B	1	2		2	8%
	3 BED	U3	3	6		6	25%
		U3A	0	0		0	0%
TOTALS			12	24	24	100%	

F 36 UNITS 3 STORY	1 BED	U1	6	18	3	54	50%
	2 BED	U2A	2	6		18	17%
		U2B	1	3		9	8%
	3 BED	U3	3	9		27	25%
		U3A	0	0		0	0%
TOTALS			12	36	108	100%	

G 36 UNITS 3 STORY	1 BED	U1	4	12	1	12	33%
	2 BED	U2A	4	12		12	33%
		U2B	1	3		3	8%
	3 BED	U3	3	9		9	25%
		U3A	0	0		0	0%
TOTALS			12	36	36	100%	

PROJECT SUMMARY				
1BED	U1	600 S.F.	136	46.58%
2 BED	U2A	848 S.F.	50	27.40%
	U2B	867 S.F.	30	
3 BED	U3	1,118 S.F.	74	26.03%
	U3A	1,118 S.F.	2	
TOTALS UNITS			292	100%

RENTABLE UNIT TOTAL				
1BED	U1	600 S.F.	136	47.06%
2 BED	U2A	848 S.F.	50	27.68%
	U2B	867 S.F.	30	
3 BED	U3	1,118 S.F.	71	25.26%
	U3A	1,118 S.F.	2	
TOTALS RENTAL UNITS			289	100%

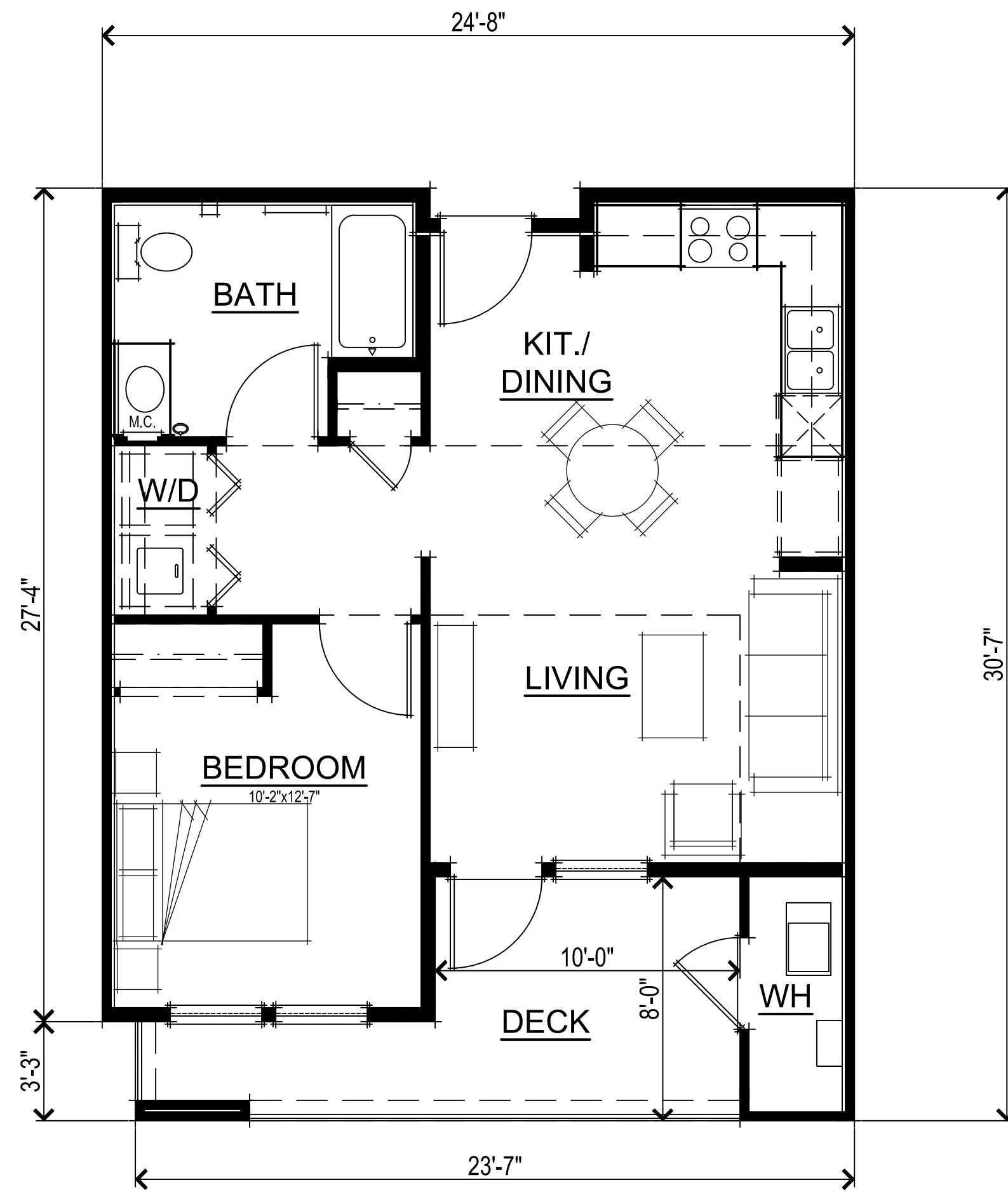
MANAGERS UNIT				
3 BED	U3	1,118	3	1%
TOTALS MANAGER UNITS			3	1%

FLOOR AREA PROPOSED (Private Balcony area & Garages Excluded)						
	Bldg. A 16 Units 2 STORY	Bldg. B 18 Units 2 STORY	Bldg. C 30 Units 3 STORY	Bldg. D 30 Units 3 STORY	Clubhouse Building	Total
Level 1	6,370	7,450	8317	7,570	5946	
Level 2	6,370	7,450	8317	7,570	0	
Level 3	0	0	8317	7,570	0	
Building Floor Area	12,740	14,900	24,951	22,710	5946	
Total Floor Area (sf)	12,740	14,900	49,902	22,710	5946	
	Bldg. E 24 Units 2 STORY	Bldg. F 36 Units 3 STORY	Bldg. G 36 Units 3 STORY		Laundry Building	Total
Level 1	9,517	9,517	10013		625	
Level 2	9,517	9,517	10013		0	
Level 3	0	9,517	10013		0	
Building Floor Area	19,034	28,551	30,039		625	
Total Floor Area (sf)	19,034	85,653	30,039		625	
Total Gross Floor Area Proposed						241,549 S.F.
Floor Area Ratio Proposed (With Easements)						0.51

PORCHES & DECKS				
	1st FLOOR	2nd FLOOR	3rd FLOOR	
U1	142 S.F.	142 S.F.	114 S.F.	
U2A	143 S.F.	143 S.F.	82 S.F.	
U2B	120 S.F.	120 S.F.	78 S.F.	
U3	160 S.F.	160 S.F.	146 S.F.	
U3A	160 S.F.	160 S.F.	128 S.F.	
				TOTAL
BUILDING A	1,128 S.F.	1,128 S.F.	904 S.F.	3,160 S.F.
BUILDING AB	1,334 S.F.	1,334 S.F.	1,040 S.F.	3,708 S.F.
BUILDING B	1,454 S.F.	1,454 S.F.	1,136 S.F.	4,044 S.F.
BUILDING BB	1,412 S.F.	1,412 S.F.	1,132 S.F.	3,956 S.F.
BUILDING C	1,738 S.F.	1,738 S.F.	1,364 S.F.	4,840 S.F.
BUILDING CB	1,738 S.F.	1,738 S.F.	1,364 S.F.	4,840 S.F.
BUILDING E	1,740 S.F.	1,740 S.F.	1,300 S.F.	4,780 S.F.
TOTAL	10,544 S.F.	10,544 S.F.	8,240 S.F.	29,328 S.F.

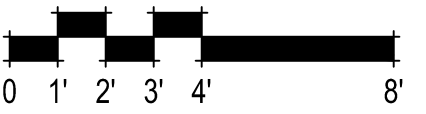
ADDITIONAL BUILDING	
CLUBHOUSE	5,946 S.F.
LAUNDRY	625 S.F.

SITE DATA		
OPEN SPACE CALCULATIONS		
Open Space - S.F.	145,668 S.F.	
Porches & Decks - S.F. (5'-0" x 8'-0" min.)	43,052 S.F.	
Total open area - S.F.	188,720 S.F.	
Open area ratio proposed	40%	
Open space required 5% of Site	23,522	
SETBACKS AND HEIGHTS		
Zoning Setbacks	Existing: R-M-2	Proposed: R-M-2 - WITH DENSITY BONUS
FRONT	15'-0"	15'-0"
SIDE	5'-0"	5'-0"
REAR	25'-0"	25'-0"
Building Height Limit	35'-0"	3 STORIES - 35'-0"

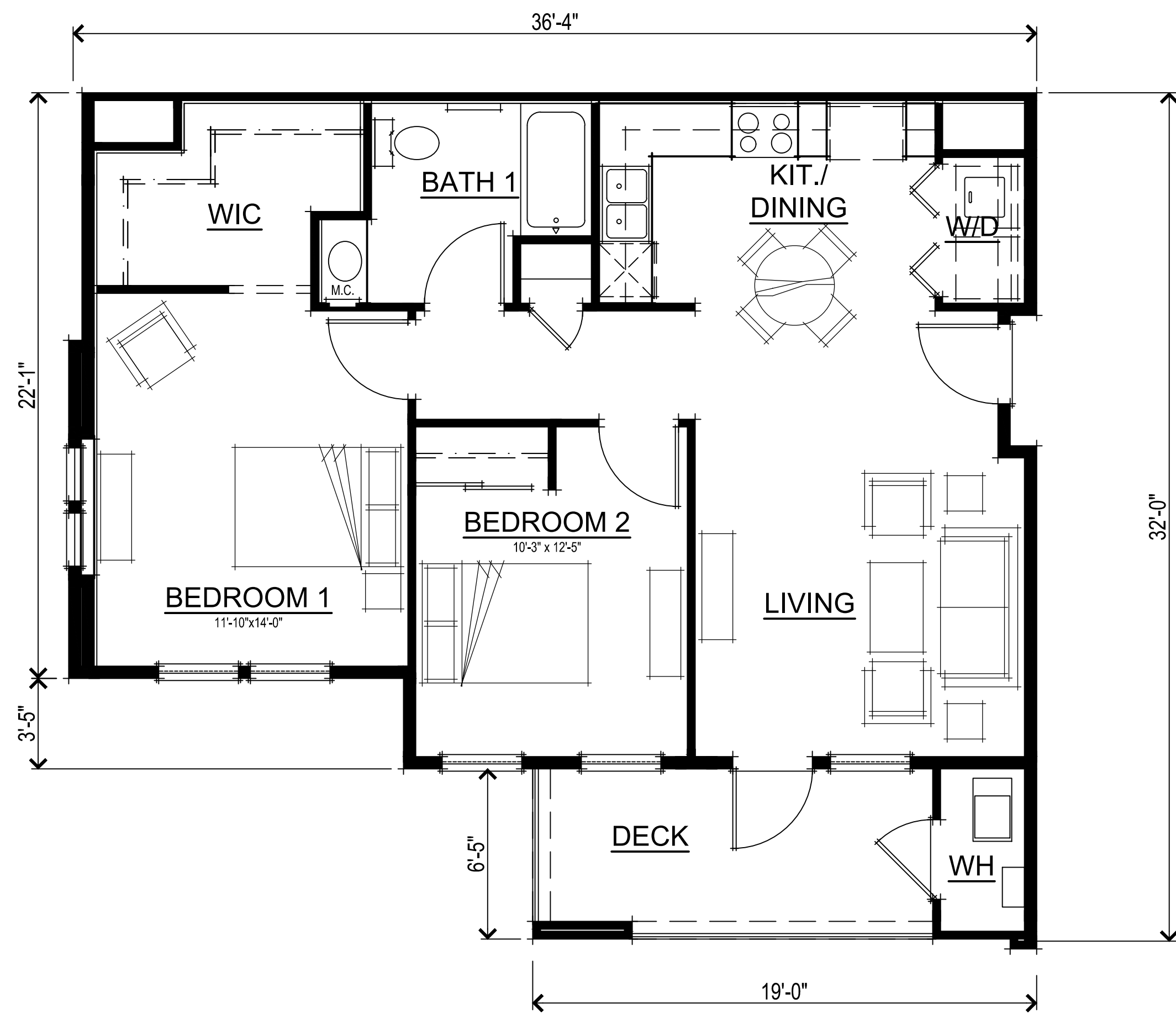


FLOOR PLAN - UNIT 1

UNIT 1 SQUARE FOOTAGE	
NET LIVING	564 SQ. FT.
GROSS LIVING	600 SQ. FT.
DECK	142 SQ. FT.



UNIT 1 FLOOR PLAN
A1



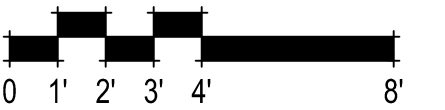
FLOOR PLAN - UNIT 2B

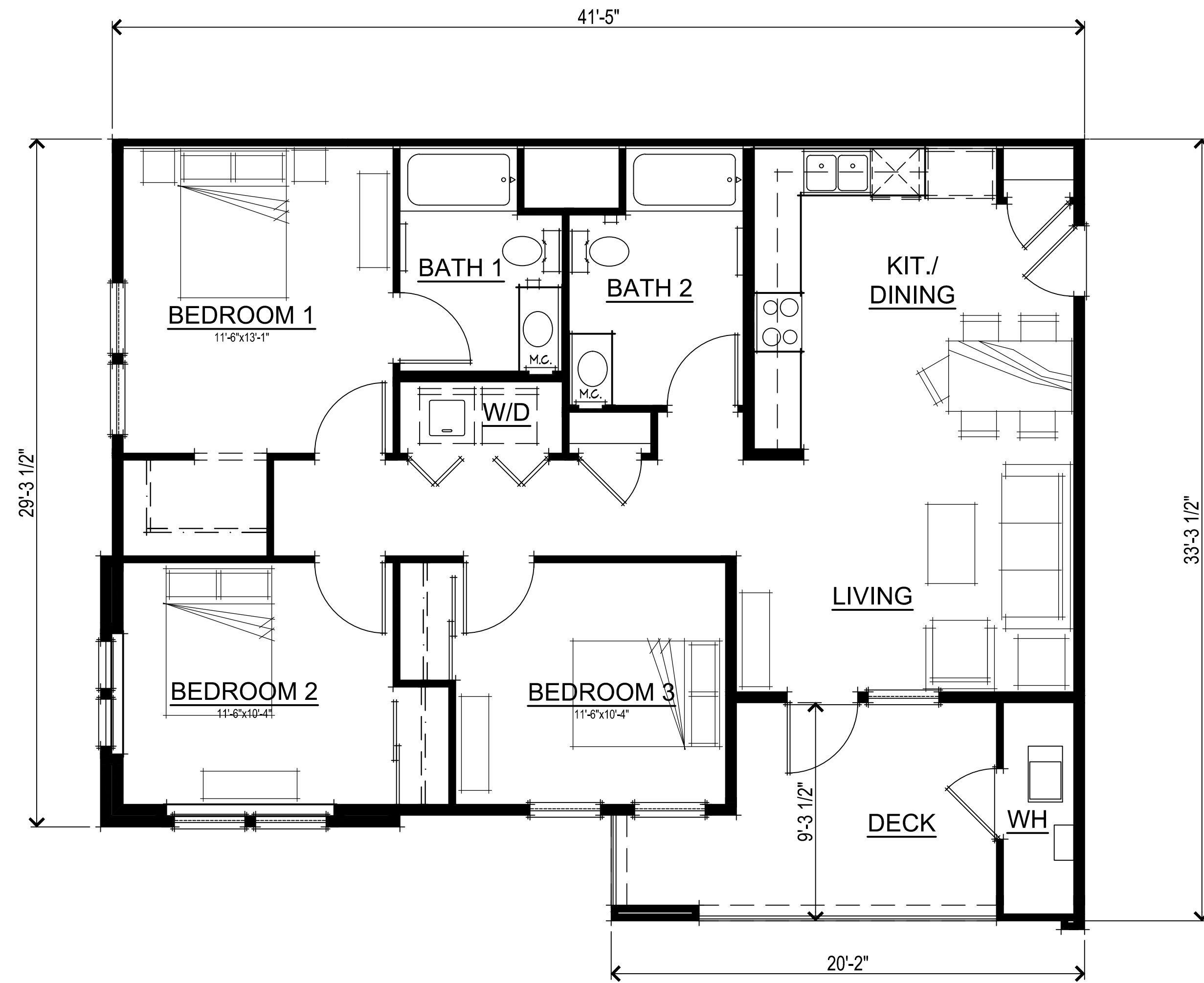
UNIT 2B SQUARE FOOTAGE	
NET LIVING	821 SQ. FT.
GROSS LIVING	867 SQ. FT.



FLOOR PLAN - UNIT 2A

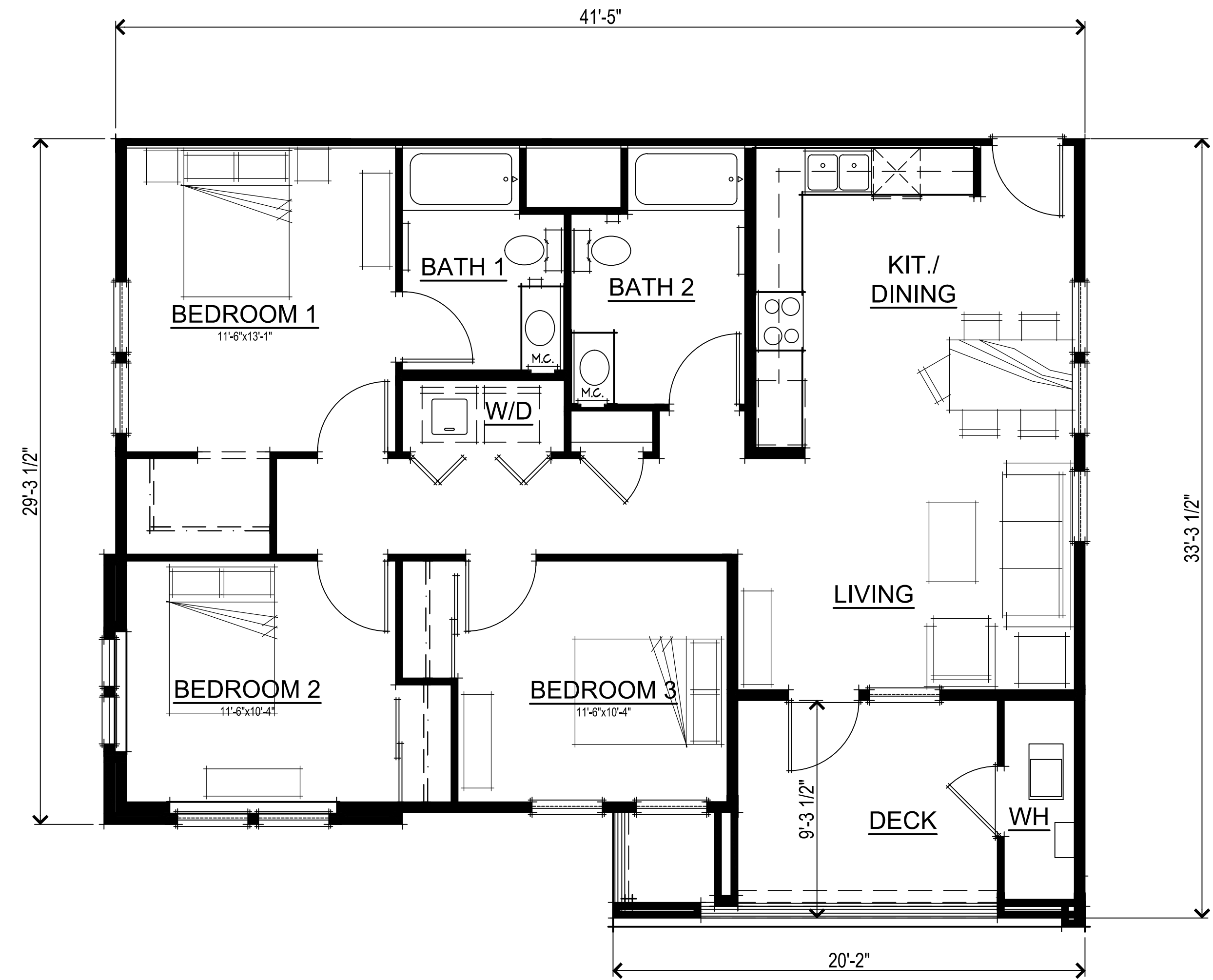
UNIT 2A SQUARE FOOTAGE	
NET LIVING	810 SQ. FT.
GROSS LIVING	848 SQ. FT.





FLOOR PLAN - UNIT 3

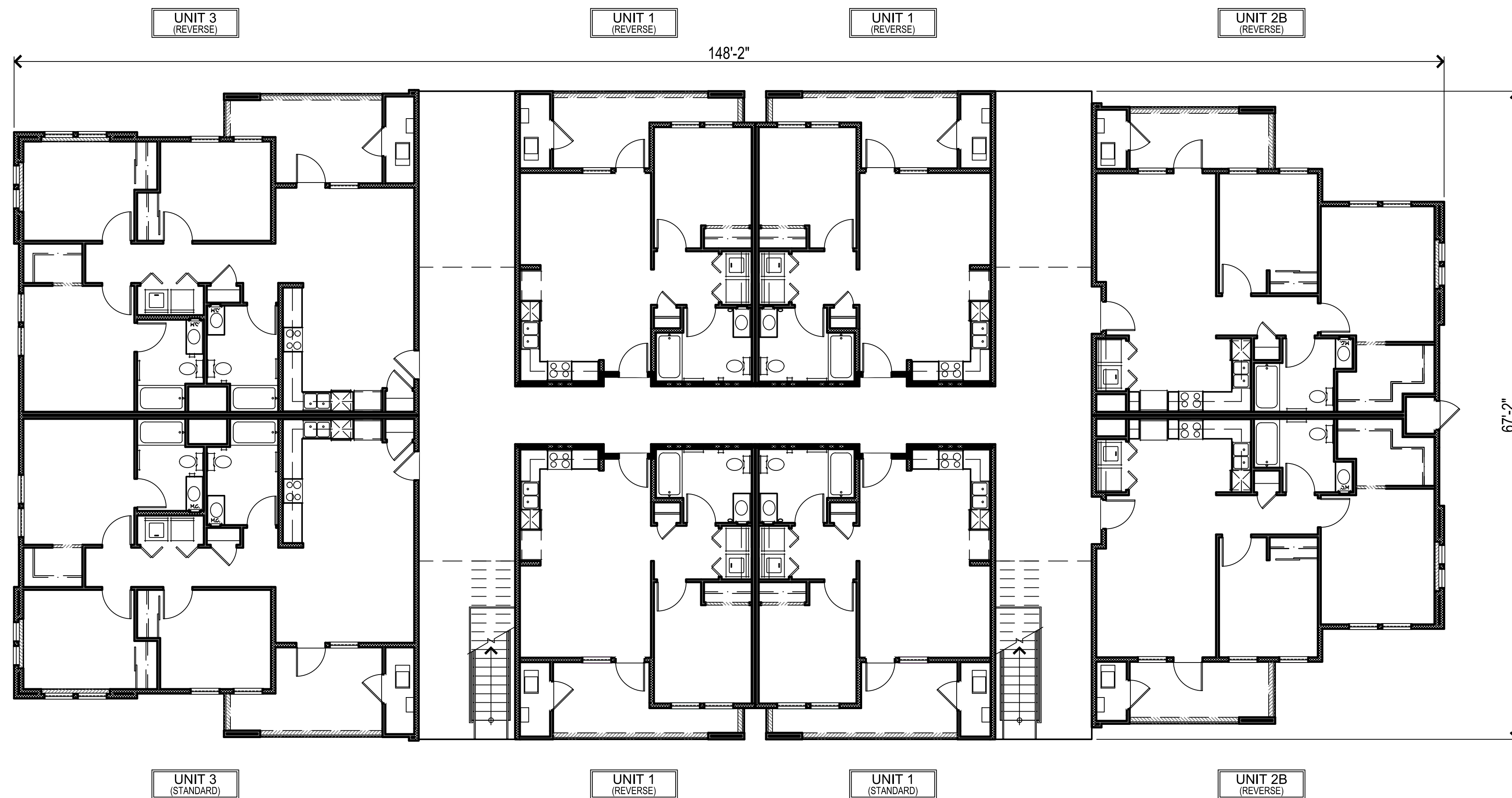
UNIT 3 SQUARE FOOTAGE	
NET LIVING	1065 SQ. FT.
GROSS LIVING	1118 SQ. FT.



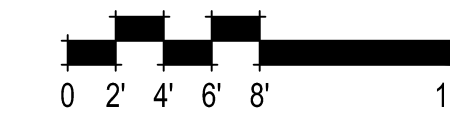
FLOOR PLAN - UNIT 3A

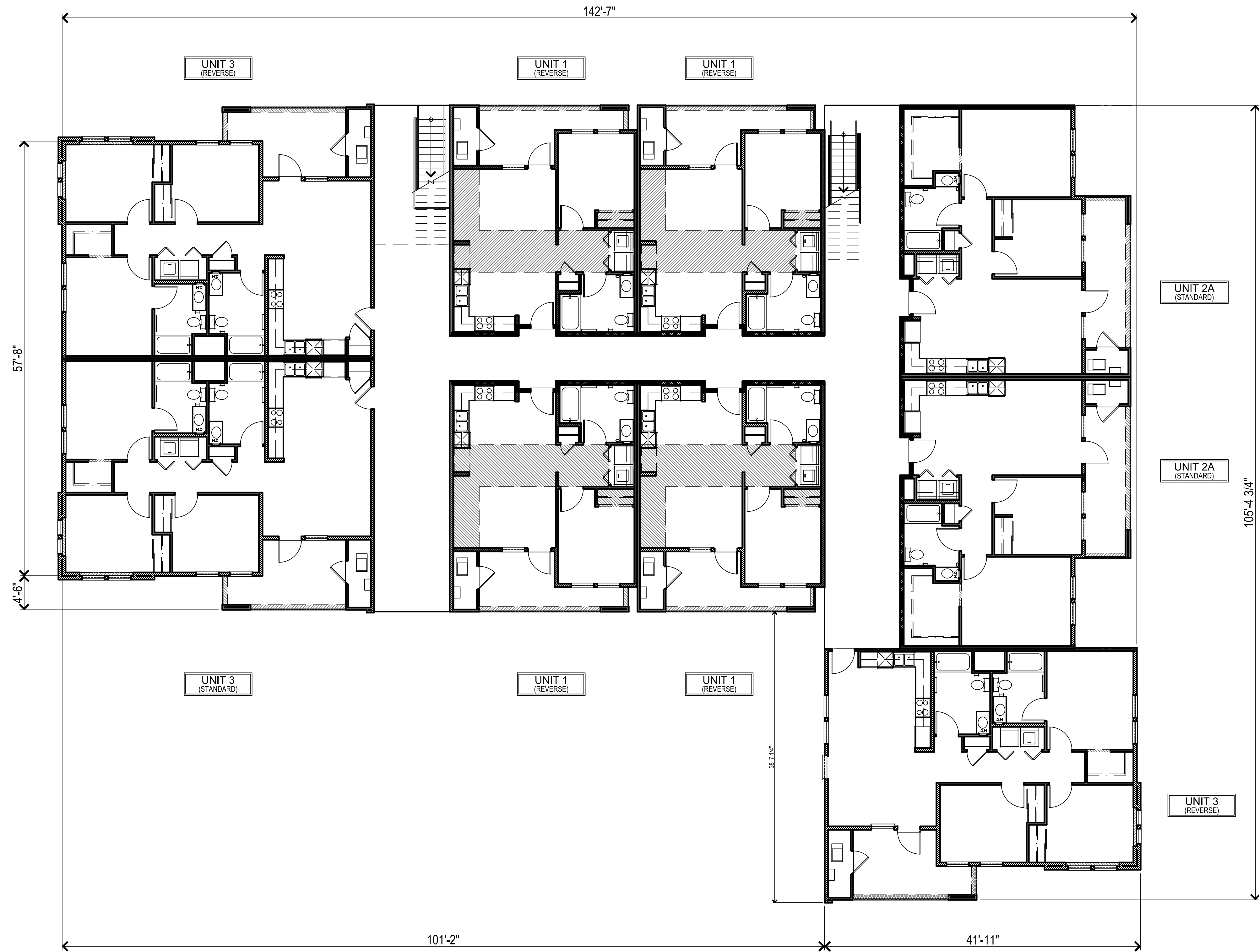
UNIT 3A SQUARE FOOTAGE	
NET LIVING	1065 SQ. FT.
GROSS LIVING	1118 SQ. FT.



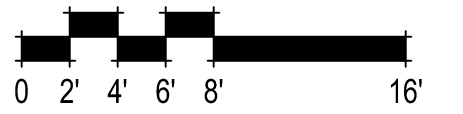


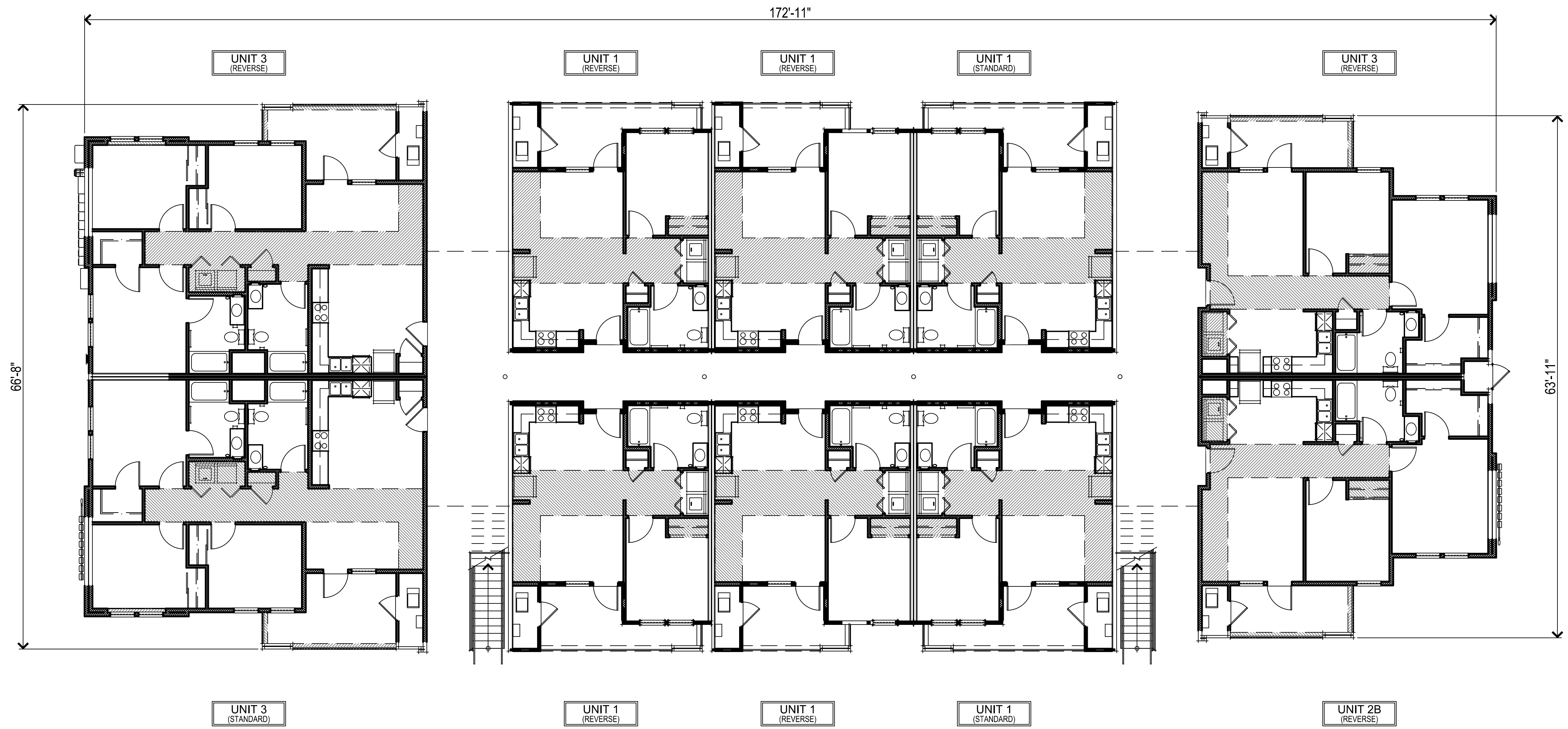
BUILDING A (16 UNIT BLDG) - TYPICAL FLOOR PLAN





BUILDING B (18 UNIT BLDG) - TYPICAL FLOOR PLAN





BUILDING D (30 UNIT BLDG) - TYPICAL FLOOR PLAN





LEFT ELEVATION

UNIT 3
1,118 SF

UNIT 3
1,118 SF



RIGHT ELEVATION

UNIT 2B
867 SF

UNIT 2B
867 SF



FRONT ELEVATION
REAR ELEVATION SIMILAR

UNIT 3
1,118 SF

UNIT 1
600 SF

UNIT 1
600 SF

UNIT 2B
867 SF



LEFT ELEVATION

UNIT 3
1,118 SF

UNIT 3
1,118 SF



RIGHT ELEVATION

UNIT 2B
867 SF

UNIT 2B
867 SF



40'-0" HEIGHT LIMIT

SW 7020 BLACK FOX

SW 7016 MINDFUL GRAY

SW 7004 SNOWBOUND

SW 7019 GAUNTLET GRAY

COMPOSITION SHINGLES

PARAPET ROOF FORMS

EXTERIOR PLASTER

EXTERIOR PRIVATE DECKS w/ COMPOSITE WOOD RAILING, TYP

SAND COLORED VINYL WINDOWS

FRONT ELEVATION
REAR ELEVATION SIMILAR

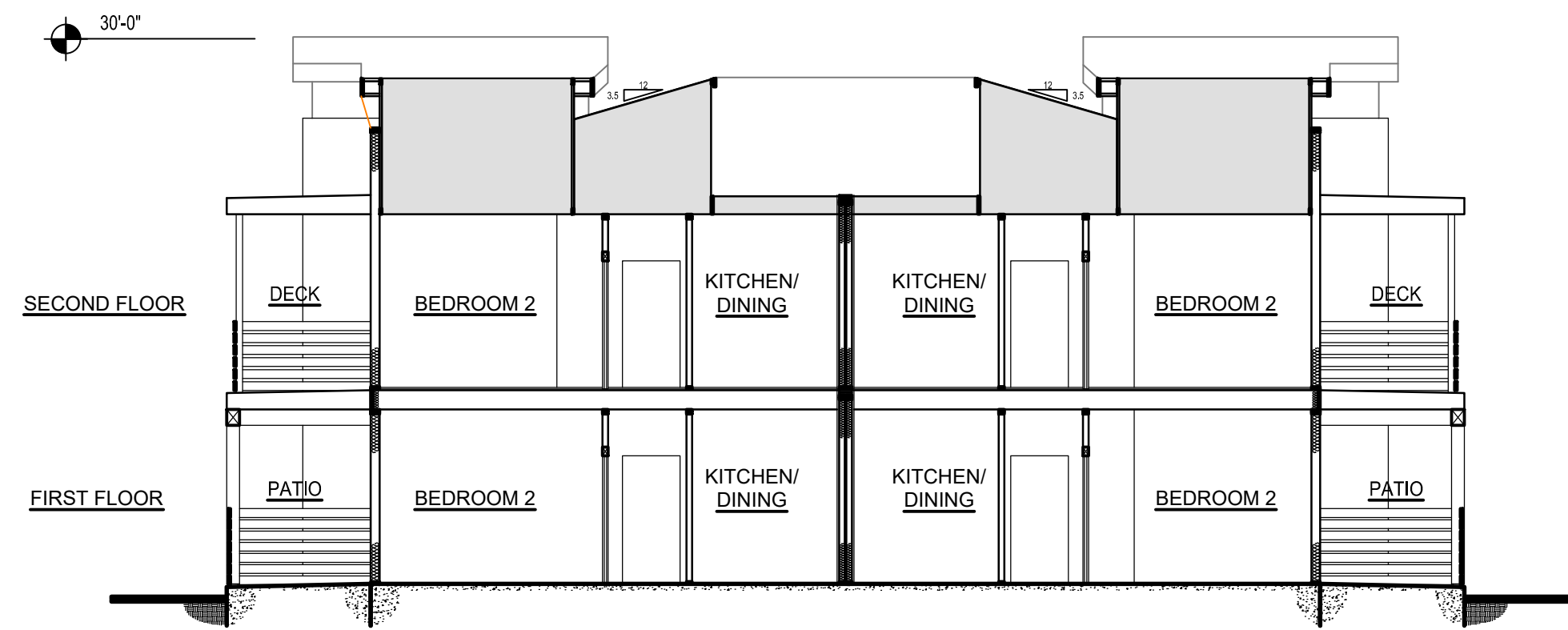
UNIT 3
1,118 SF

UNIT 1
600 SF

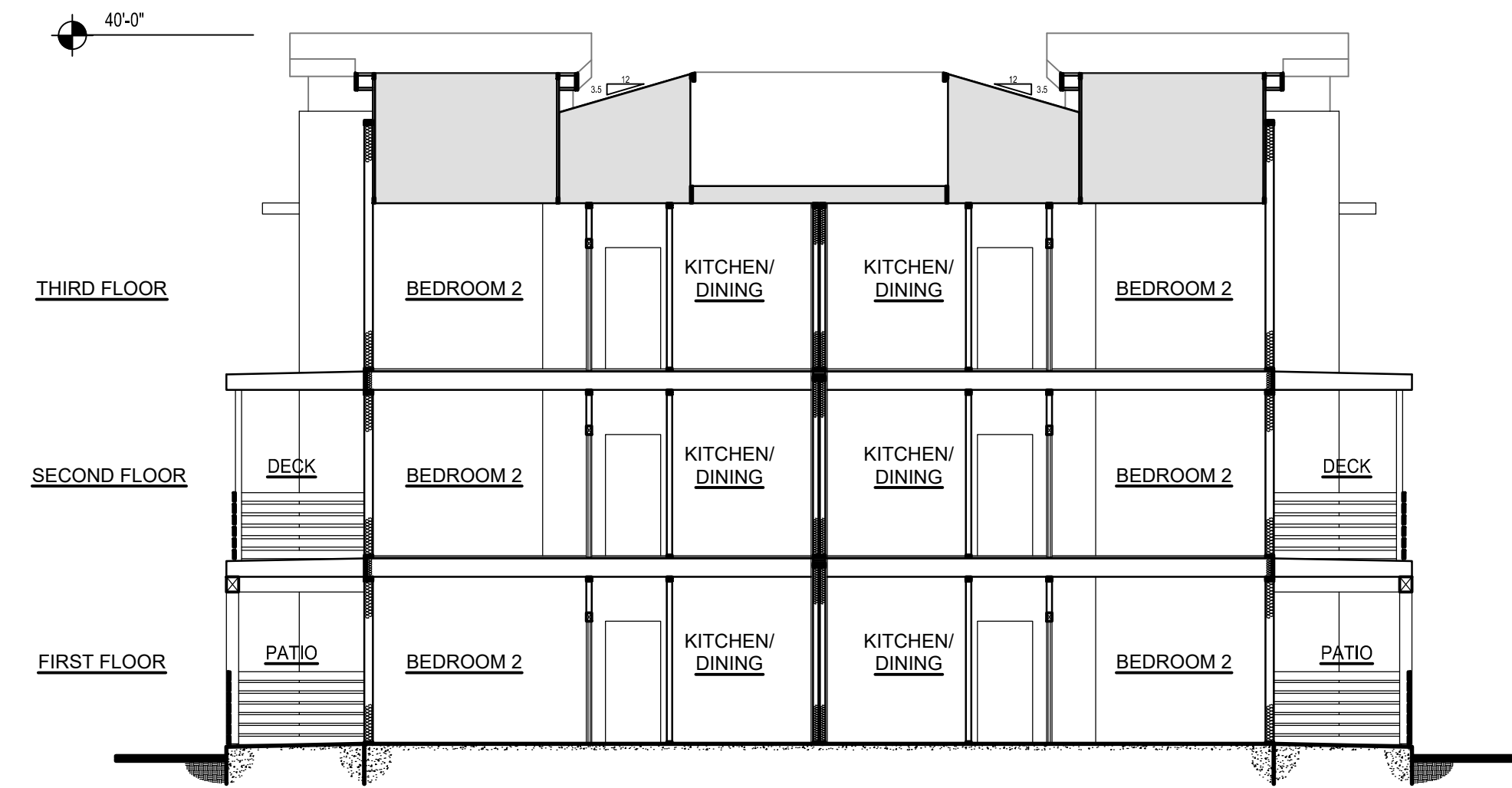
UNIT 1
600 SF

UNIT 1
600 SF

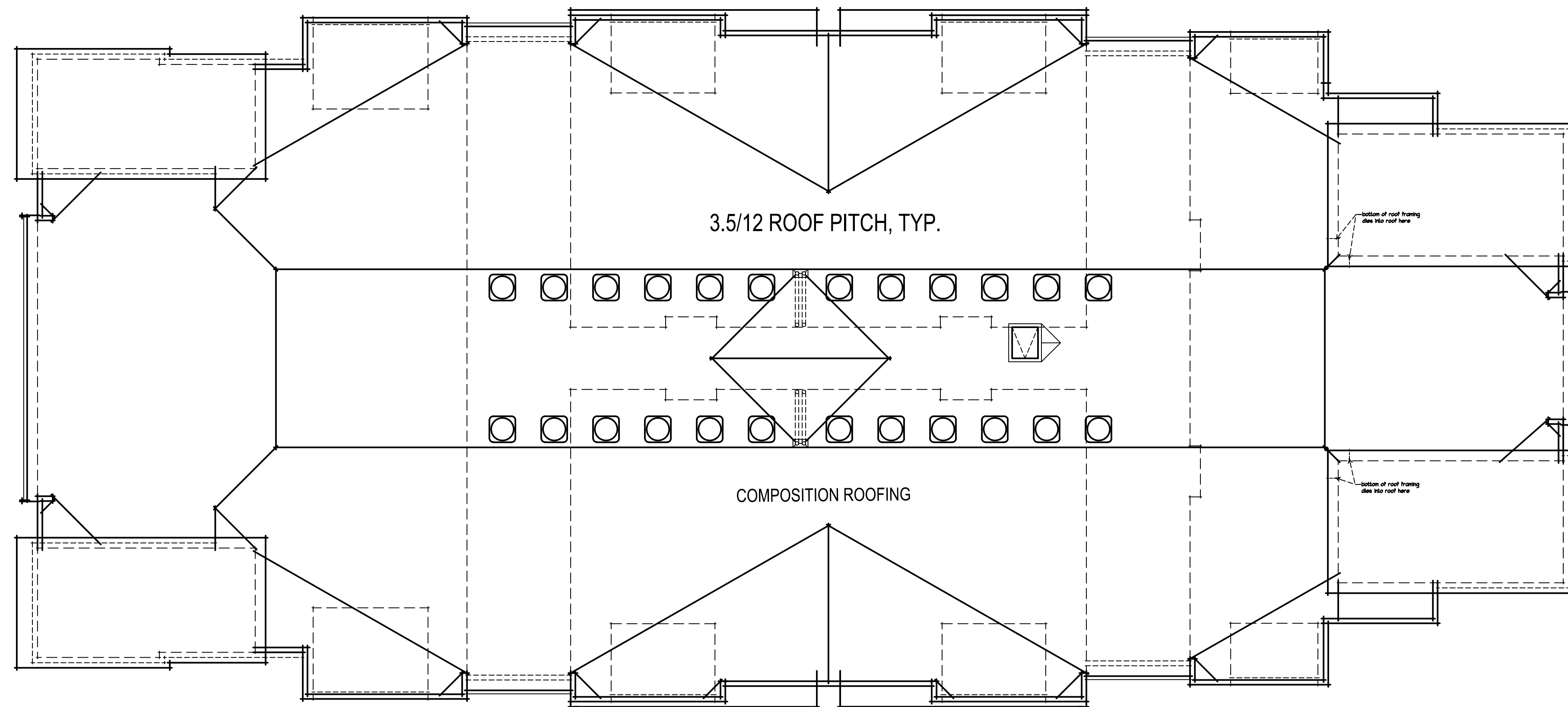
UNIT 2B
867 SF



TYPICAL 2 -STORY SECTION

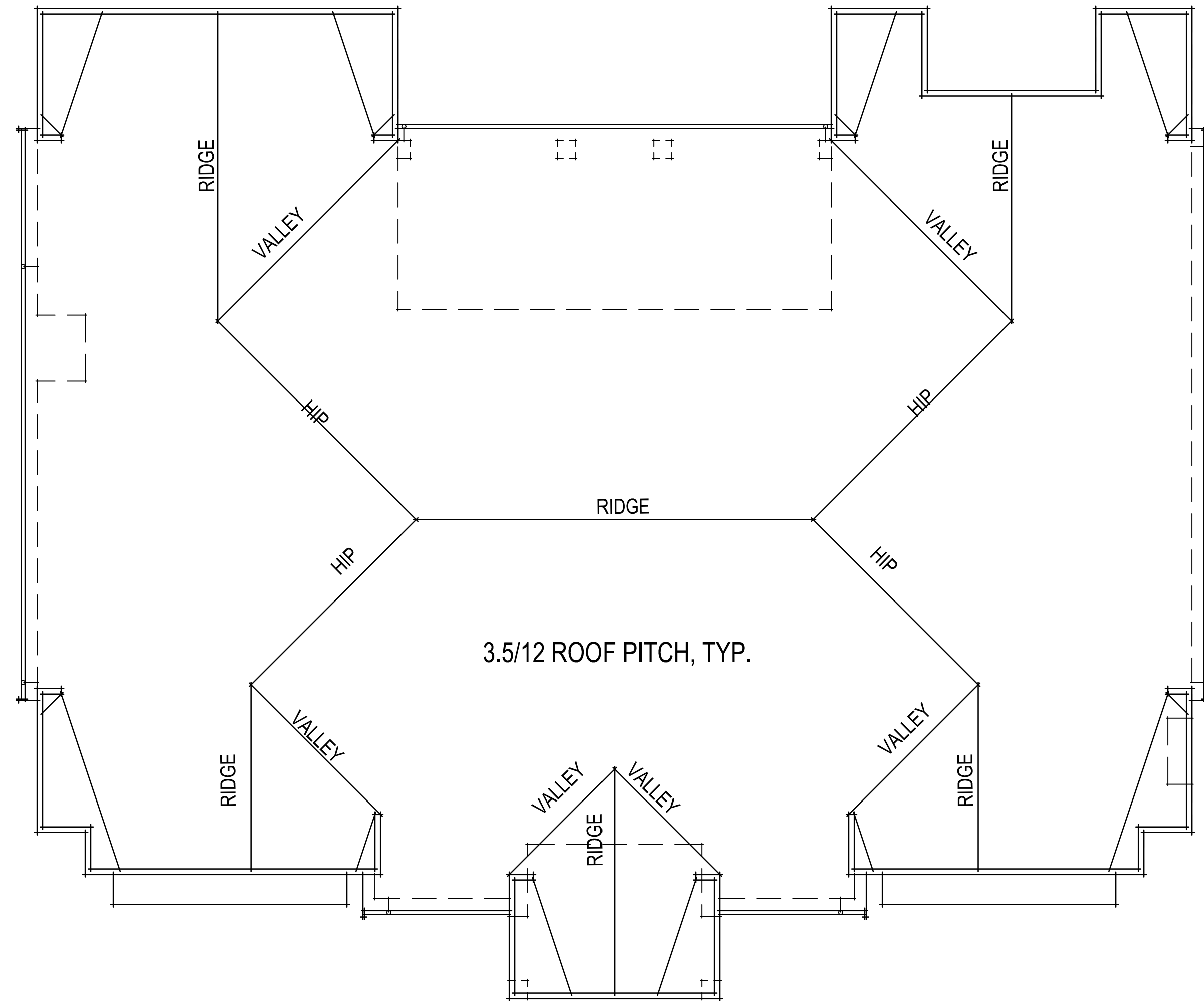


TYPICAL 3 - STORY SECTION

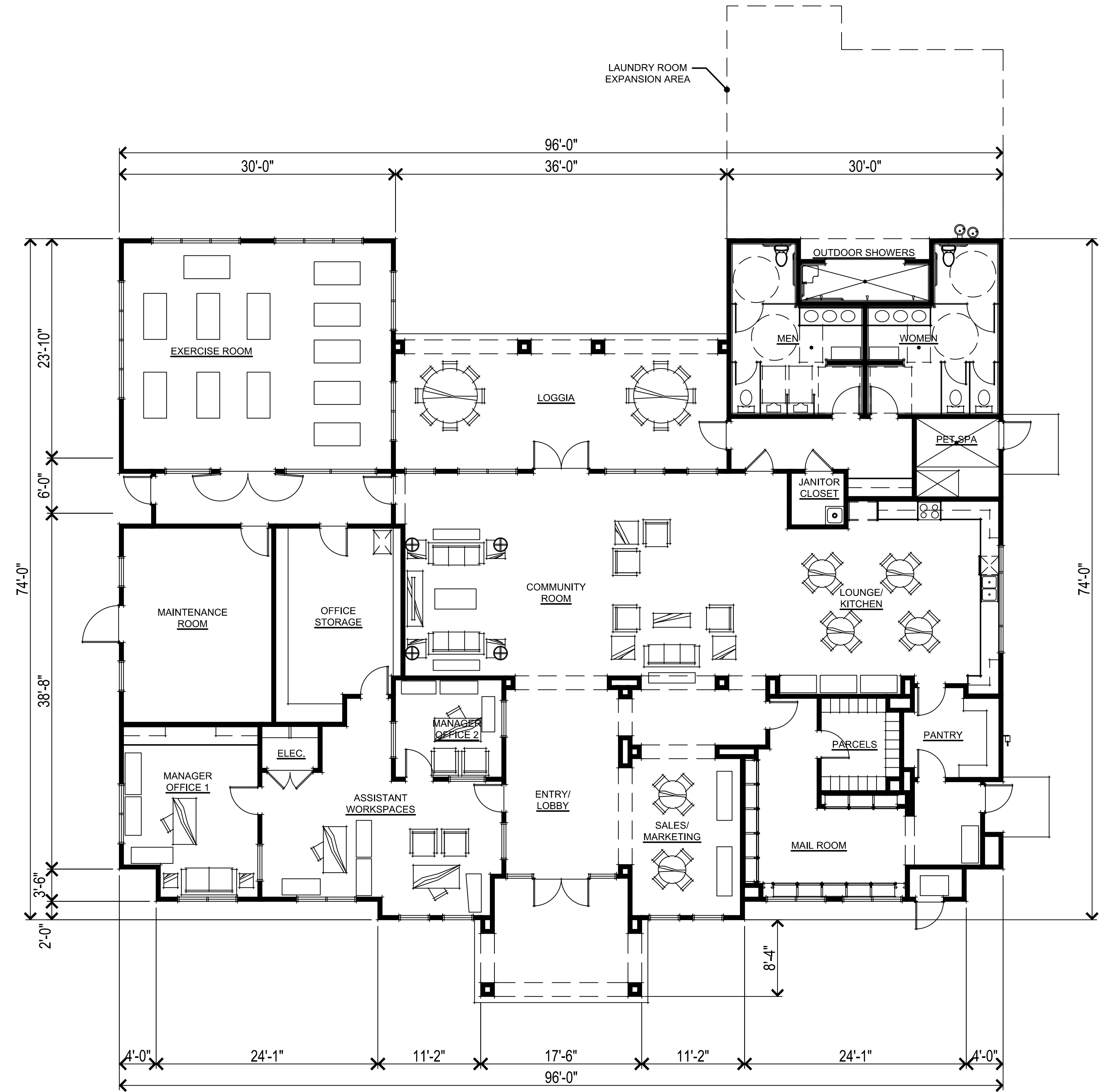


ROOF PLAN





ROOF PLAN



FLOOR PLAN

CLUBHOUSE BUILDING SQUARE FOOTAGE	
GROSS FLOOR AREA	5946 SQ. FT.





RIGHT ELEVATION



REAR ELEVATION



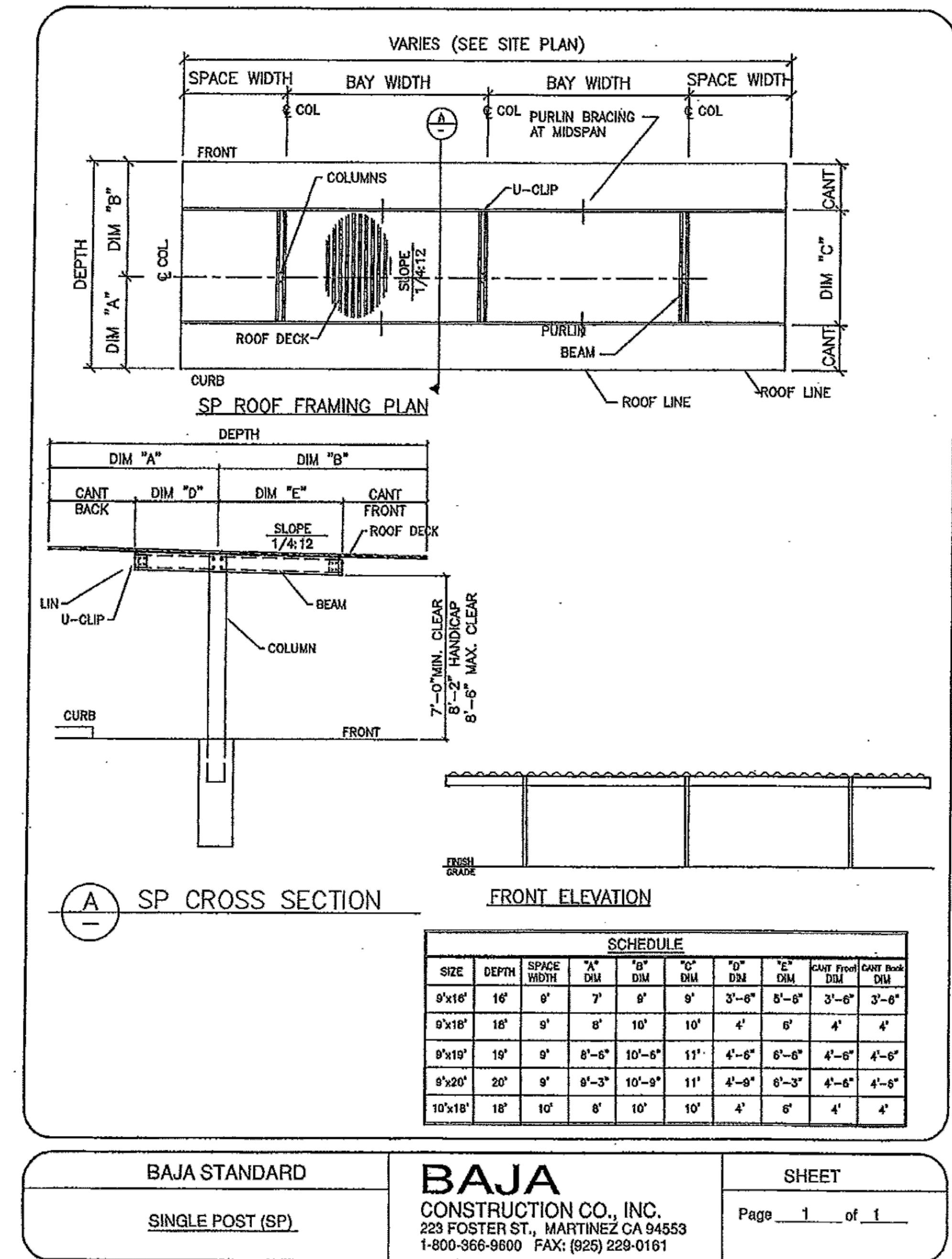
LEFT ELEVATION



FRONT ELEVATION



CARPORT EXAMPLE PHOTO



CARPORT TYPICAL DETAIL

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: VANG INC CONSULTING ENGINEERS Date: 6-07-2022

Project Description: PROPOSED 4 UNIT MULTIFAMILY PROJECT

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: KHENG VANG

Applicant(s) Name: VANG INC CONSULTING ENGINEERS

Project Address/Location: 201 NW THIRD ST VISALIA, CA 93291

Assessor Parcel Number: 094 - 041 - 05

Parcel Size (Acreage or Square Feet): 13,200 SF Building or Suite Square Footage: 7,000

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ 1.4M

Describe All Proposed Building Modifications: PROPOSED 4 UNIT MULTI
FAMILY RESIDENTIAL

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 06/07/2022

SPR Agenda: 06/15/2022 Item No. _____

Zone: _____ SPR No. 22-077

Historic District: Yes No

Flood Zone: X AE X/AE

OPERATIONS & TRAFFIC INFORMATION

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

Existing/Prior Building Use: VACANT

Proposed Building Use: MULTI-FAMILY RESIDENTIAL

Proposed Hours of Operation: DOES NOT APPLY

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing NA Proposed NA

Number of Customers Per Day (Estimated): Existing NA Proposed NA

Predicted Peak Operating Hour: NA

Describe Any Truck Delivery Schedule & Operations: NA

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): NA

Describe Any Special Events Planned for the Facility: NA

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - Existing & proposed structures
 - Loading/unloading areas
 - All existing & proposed site features
 - Adjacent street names
 - Accessible path of travel from right of way
 - Site dimensions, including building
 - Refuse enclosures & containers
 - Accessible path of travel from ADA stall
 - Existing and proposed fencing at site
 - Valley oak trees (show drip line)
 - Location and width of drive approaches to site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed landscaping
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
 - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>KEN VANG</u>	Signature of Owner or Authorized Agent*	
Address: <u>2491 ALLUVIAL AVE STE#15</u>	<u>Ken Vang</u>	<u>4-18-2022</u>
City, State, Zip: <u>CLOVIS, CA 93611</u>	Owner	Date
Phone: <u>559-775-0023</u>	<u>Ken Vang</u>	<u>4-18-2022</u>
Email: <u>KENVANG@VICE-FNGR.COM</u>	Authorized Agent*	Date

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, KHENG VANG, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):
094-041-06

AGENT:

I designate VANG INC CONSULTING ENGINEERS, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to CONSTRUCT 6 UNIT MULTI-FAMILY relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 18TH day of APRIL, 20 22.

OWNER	Signatures	AGENT
<u>Ken Vang</u>		<u>Ken Vang</u>
Signature of Owner		Signature of Agent
<u>2491 ALLUVIAL AVE STE#15</u>		<u>2491 ALLUVIAL AVE STE#15</u>
Owner Mailing Address		Agent Mailing Address
<u>CLOVIS, CA 93611</u>		<u>CLOVIS, CA 93611</u>
<u>559-492-8556</u>		<u>559-775-0023</u>
Owner Phone Number		Agent Phone Number

Operational Statement

To Whom It May Concern:

Mammoth Townhomes is being submitted by Ken Vang, Vang Inc Consulting Engineers, on behalf of Kheng Vang and Sue Vang. This proposed project is proposing 6 townhomes located at 201 NW Third Street Visalia, CA 93291.

The project proposes to construct a 4 townhomes with garages. The project also proposes to construct a community play area and outdoor picnic/bbq area.

The proposed project is located at 201 NW Third Street Visalia, CA 93291, further identified as APN number 094-041-06. The current zoning and General Plan Land Use is Residential Multi-Family (RM-3) . The RM-3 district is intended for high density multi-family residential land uses. The proposed townhomes conforms to the RM-3 zone district by constructing multi-family residential land uses. The proposed project implements the proposed uses and intended by the General Plan, and provides amenities to the proposed complex.

The proposed project consists of:

- 4 plex with 3 bed/2 ba with garage.

The site will have the required vehicular parking stalls, trash enclosure, open space, amenities, landscaping and irrigation.

Sewer, storm and solid waste services will be provided by the City of Visalia. Water services will be provided by CAL Water. Electric will be Southern Cal Edison. Natural gas will be provided by PG&E. Telephone services will be provided by AT&T, and fiber/internet will be provided by Comcast.

Security and lighting for the site is provided through a combination of wall-packs and pole-mounted lighting. The building will be equipped with comprehensive internal and external video surveillance/security cameras.

The subject parcel is currently vacant open space. The adjacent northerly parcel is existing multi family residential. The parcel on the south side of Pearl Street Avenue is residential. To the west is residential. To the east is existing quasi public use. The project will provide additional housing in an area of high demand.

The projects construction activities may generate temporary noise and dust, which will be mitigated by implementing dust control measures onsite and Construction activities will occur within daytime hours as allowed by the municipal code.

There are no foreseeable effects or impacts to the neighbors from the operation of the project site.



2022-0023440

Recorded		REC FEE	17.00
Official Records		TAX	82.50
County of			
Tulare			
TARA FREITAS, CPA			
CLERK RECORDER			
		NB	
01:13PM 18-Apr-2022		Page 1 of 2	

RECORDING REQUESTED BY:

First American Title Company

MAIL TAX STATEMENT

AND WHEN RECORDED MAIL DOCUMENT TO:

Kheng Vang and Sue Vang
2074 LESTER AVE
CLOVIS , CA 93619

Space Above This Line for Recorder's Use Only

A.P.N.: 094-041-006-000

File No.: 5405-6813693 (AC)

GRANT DEED

The Undersigned Grantor(s) Declare(s): DOCUMENTARY TRANSFER TAX **\$82.50**; CITY TRANSFER TAX **\$0.00**;
SURVEY MONUMENT FEE **\$0.00**

- computed on the consideration or full value of property conveyed, OR
- computed on the consideration or full value less value of liens and/or encumbrances remaining at time of sale,
- unincorporated area; City of **Visalia**, and

EXEMPT FROM BUILDING HOMES AND JOBS ACTS FEE PER GOVERNMENT CODE 27388.1(a)(2)

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, **Dale Looper and Kathy Looper, husband and wife**

hereby GRANTS to **Kheng Vang and Sue Vang, husband and wife as joint tenants**

the following described property in the City of **Visalia**, County of **Tulare**, State of **California**:

LOTS 9 AND 10 IN BLOCK 99 OF AUGHINBAUGH'S ADDITION, IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 3, PAGE 48 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

Mail Tax Statements To: **SAME AS ABOVE**

Date: **04/14/2022**

A.P.N.: 094-041-006-000

File No.: 5405-6813693 (AC)

Dated: April 14, 2022

Dale Hooper
Dale Hooper

Kathy Hooper
Kathy Hooper

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF California)SS

COUNTY OF Tulare)

On 4.14.22 before me, JM Vetterick, Notary Public, personally appeared

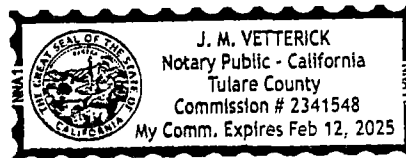
Dale Hooper & Kathy Hooper
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

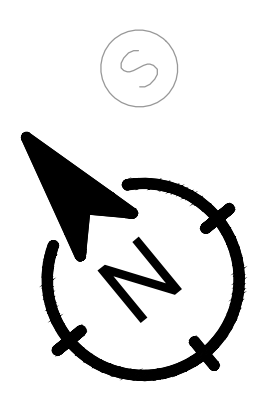
WITNESS my hand and official seal.

This area for official notarial seal.

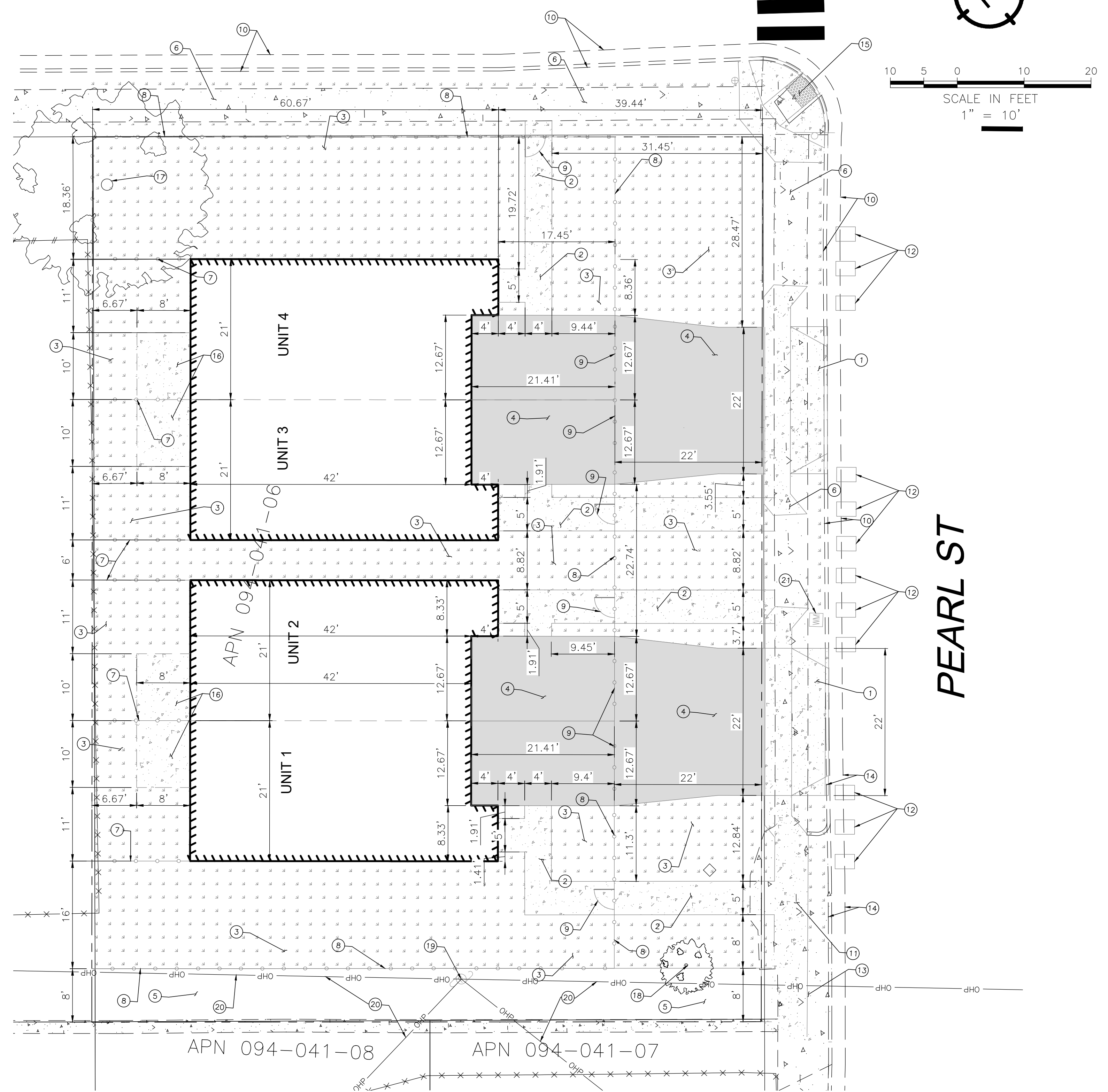
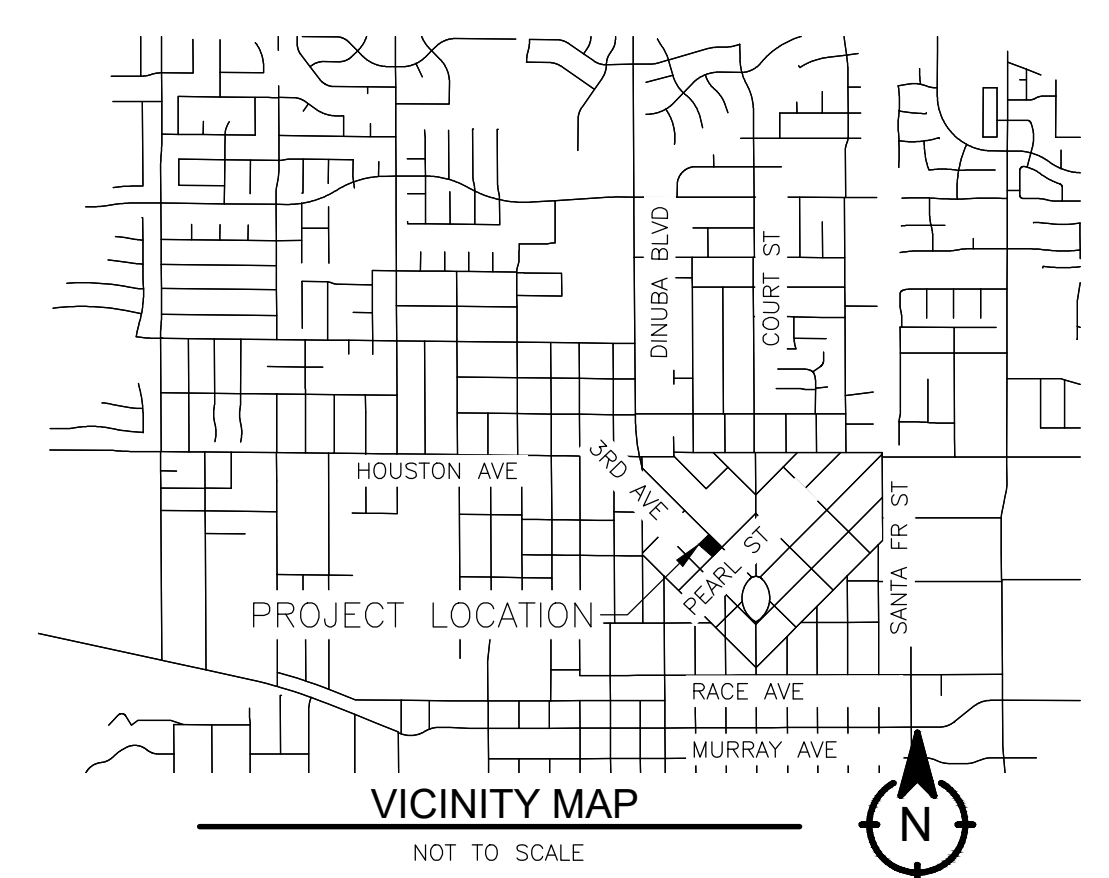
JM Vetterick
Notary Signature



3RD AVE



SCALE IN FEET
1" = 10'



KEYNOTES

- 1 PROPOSED DRIVE APPROACH PER CITY OF VISALIA STD C-23
2 PROPOSED SIDEWALK PER CITY OF VISALIA STD C-9
3 PROPOSED LANDSCAPING
4 PROPOSED PAVEMENT PER CITY OF VISALIA STD. P-1
5 EXISTING PAVEMENT
6 EXISTING SIDEWALK
7 PROPOSE 6' HIGH WOOD FENCE
8 PROPOSED 6' WROUGHT IRON FENCE
9 PROPOSE OPEN AND CLOSE GATE
10 EXISTING CURB AND GUTTER
11 EXISTING SIDEWALK TO BE REMOVE AND REPLACE WITH NEW SIDEWALK PER CITY OF VISALIA STD C-9
12 PROPOSE TRASH BIN PICK UP AREA
13 EXISTING DRIVE APPROACH
14 EXISTING CURB AND GUTTER TO BE REMOVE AND REPLACE WITH NEW CURB AND GUTTER PER CITY OF VISALIA C-4
15 EXISTING SIDEWALK RAMP TO BE REMOVE AND PROPOSE A NEW RADIIUS CURB RETURN SIDEWALK RAMP CONNECTION PER CITY OF VISALIA STD. C-13
16 PROPOSE PATIO AREA
17 EXISTING OAK TREE TO REMAIN
18 EXISTING TREE TO BE REMOVE
19 EXISTING POWER POLE
20 EXISTING OVERHEAD POWER LINE
21 EXISTING WATER METER

GENERAL NOTES

- 1. PROVIDE A 12' HIGH ADDRESS POSTING (6" IF WITHIN 50' OF THE STREET) WITH SUITE NUMBER 4" HIGH WITH MINIMUM 1/2" STRIKE, MOUNTED ON A CONTRASTING BACK GROUND CLEARLY BISIBLE FROM THE STREET.
2. JOB CARD REQUIRE TO BE AVAILABLE FOR SIGNATURE AT THE JOBSITE.
3. OFF-STREET PARKING SPACES SHALL BE MAINTAINED.
4. THE TERM CONTRACTOR OR "CONTRACTORS" AS USED IN THESE GENERAL NOTES SHALL REFER TO THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS.
5. LABOR, INSTALLATION, FABRICATION, ETC. SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS OF ALL GOVERNING AGENCIES.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, GRADES, AND ALL OTHER CONDITIONS AND CORRELATE AT THE JOBSITE, AND REPORT ANY DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION PRIOR TO COMMENCING ANY WORK. THE GENERAL CONTRACTOR AND ALL CONTRACTORS SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCY CONTAINED WITHIN THESE CONSTRUCTION DOCUMENTS WHICH ARE RELATED TO THE CONTRACTOR'S SCOPE OF WORK SHOULD AN ERROR APPEAR IN THESE CONSTRUCTION DOCUMENTS OR RELATED WORK PERFORMED BY OTHER CONTRACTORS AFFECTING THE CONTRACTOR'S SCOPE OF WORK, THE GENERAL CONTRACTOR AND ALL OTHER CONTRACTORS SHALL NOTIFY THE ARCHITECT AT ONCE FOR INSTRUCTIONS AS TO THE PROCEDURE FOR THE CONTINUATION OF THE WORK SHOULD THE CONTRACT OR PROCEED WITH WORK AFTER IDENTIFYING SUCH A CONFLICT WITHOUT FIRST OBTAINING INSTRUCTIONS FROM THE ARCHITECT. THE CONTRACTOR SHALL ASSUME THE FULL RESPONSIBILITY FOR ALL REMEDIAL WORK NECESSARY TO APPLICABLE BUILDING CODES AND REGULATIONS.
7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE COORDINATION OF ALL TRADES AND GOVERNING AGENCIES.
8. THE CONTRACTORS SHALL VERIFY EXISTING CONDITIONS WITH THOSE SHOWN ON THE DRAWINGS AND PROMPTLY REPORT ANY DISCREPANCIES TO THE GENERAL CONTRACTOR VERIFY EXISTING CONDITIONS WITH IN THE WORK AREA AND REVIEW MODIFICATIONS REQ'D TO SUIT EXISTING CONDITIONS PRIOR TO FABRICATION AND INSTALLATION OF NEW WORK OR MODIFICATIONS TO EXISTING CONDITIONS.
9. CONTRACTORS SHALL MAINTAIN THE JOB SITE IN A CLEAN, ORDERLY CONDITION, FREE OF DEBRIS AND LITTER. EACH CONTRACTOR SHALL IMMEDIATELY LIFT UP ON COMPLETION OF EACH PHASE OF HIS WORK, REMOVE ALL TRASH AND DEBRIS WHICH RESULTS FROM THE PERFORMANCE OF HIS WORK.
10. CONSTRUCTION MATERIALS STORED ON-SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USED. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
11. CONTRACTORS SHALL PROTECT NEW AND EXISTING FINISHES AND CONSTRUCTION FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION DAMAGES TO NEW AND OR EXISTING FINISHES AND CONSTRUCTION SHALL BE PREPARED OR REPLACED WITH IDENTICAL MATERIAL AT THE CONTRACTOR'S EXPENSE.
12. THE NOTATION "TYP" OR "TYP" SHALL MEAN TO REPEAT AT ALL LOCATIONS WHERE DESCRIBED OR DETAILED CONDITION OCCURS.
13. THE NOTATION "SIMILAR" OR "SIM" SHALL MEAN TO REPEAT AND MODIFY THE DESCRIBED OR DETAILED CONDITION AS REQUIRED TO SUIT THE CONDITION IN THE LOCATION IN WHICH IT OCCURS.
14. THE NOTATION "<E>" OR "EXIST" SHALL MEAN EXISTING IMPROVEMENTS.
15. THE NOTATION "CN" SHALL MEAN NEW IMPROVEMENTS TO BE INSTALLED AS PART OF THIS WORK ALL WORK SHOWN ON THESE DRAWINGS SHALL BE CONSTRUED AS BEING NEW WORK AND PART OF THIS CONTRACT UNLESS NOTED OTHER WISE.
16. A COMPLETE SET OF STAMPED APPROVED PLANS MUST BE ON THE JOB SITE AT ALL TIMES.
17. ALL CONTRACTORS AND SUBCONTRACTORS MUST HAVE VALID CURRENT BUSINESS LICENSES BEFORE INSPECTION "CS" CAN BE MADE.
18. CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE DESIGNER AND SUBMITTED TO THE COUNTY FOR REVIEW AND APPROVAL.
19. THESE PLANS AND RELATED DOCUMENTS MUST BE AVAILABLE AT THE JOB SITE DURING ANY INSPECTION ACTIVITY.
20. CONTRACTOR IS TO NOTIFY PROJECT ARCHITECT IF SITE CONDITIONS DISAGREE WITH INFORMATION SHOWN ON ACTIVITY.
21. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF THE LOCATION OF ALL EXISTING UTILITIES WHICH ARE IN OPERATION AND SHALL PROTECT THEM FROM DAMAGE IN THE FIELD. THE CONTRACTOR SHALL CALL USA TOLL FREE AT 800-642-2444. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL BEAR ALL OF THE REPAIR AND OR REPLACEMENT COSTS OF SAID UTILITIES DAMAGED BY CONTRACTORS' DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT.
22. THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS, AND IN THE EVENT THAT CONFLICT OCCURS, THE CONTRACTOR SHALL NOTIFY THE PROJECT ARCHITECT BEFORE PROCEEDING WITH ANY WORK CADESIGN OR THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE SITE PLAN OR PROPERTY LINE INFORMATION.
23. SEPARATE CONTRACTS FOR SUCH WORKS AS PAVING LANDSCAPING AND SIGN INSTALLATION MAY BE AWARDED BY THE CLIENT IN ADDITION CERTAIN SPECIALTY ITEMS SUCH AS LIGHTING FIXTURES, DISPENSERS, ETC. MAYBE PURCHASED DIRECTLY BY THE CLIENT FOR DELIVERY TO THE GENERAL CONTRACTOR, WHO WILL BE RESPONSIBLE FOR THEIR INSTALLATION COORDINATE SCOPE OF WORK WITH OWNER. THE GENERAL CONTRACTOR SHALL COOPERATE WITH AND COORDINATE THE WORK OF SEPARATE CONTRACTORS.
24. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF THE WORK AND OR POSSIBLE ERRORS OR OMISSIONS SHOWN OR INFERRED ON THE DRAWINGS OR THE PROPER EXECUTION OF THE SAME.
25. THESE SPECIFICATIONS ARE COMPLEMENTARY TO THE WORKING DRAWINGS.
26. SCALE IN THE DRAWINGS MIGHT NOT REFLECT ACCURACY, DIMENSIONS GOVERN.
27. A CONTRACTOR IS REQUIRED TO REQUEST A FINAL INSPECTION PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
28. ALL DECORATIONS USED SHALL BE NON-COMBUSTIBLE OR HAVE A FLAME SPREAD RATING PER CALIFORNIA BUILDING CODE.
29. ALL MATERIALS, FIXTURES, EQUIPMENTS, AND ACCESSORIES SHALL BE INSTALLED IN ACCORDANCE WITH ALL GOVERNING REGULATIONS TO THE MANUFACTURER'S RECOMMENDED STANDARDS PROVIDE ALL SUPPORTS, BACKING, REIN FOR CEMENT, OR OTHER PREPARATIONS REQUIRED TO RIGIDLY SECURE ALL ITEMS WORKING OR EVENT IMPOSED LOADS.
30. THIS PERMIT DOSE NOT INCLUDE ANY HIGH PILE STORAGE <PER CFC> OR RACK STORAGE OVER 8' HIGH. ANY SUCH PROPOSED STORAGE WILL REQUIRE PLANS SUBMITTED FOR REVIEW AND APPROVAL AND

SITE NOTES

- 1. OVER EXCAVATE THE SITE AS NEEDED TO REMOVE DEBRIS, ORGANICS AND FILLS THAT MAY BE LEFT FROM A PREVIOUS DEMOLISHED HOME. REPLACE FILLS AS NECESSARY WITH 90% COMPACTION. COMPACTION REPORT REQUIRED.
2. SURFACE WATER SHALL BE DRAINED AWAY FROM THE BUILDING AT A 5% SLOPE FOR AT LEAST THE FIRST 10' FROM THE BUILDING CONCRETE PAD OR EXTERIOR FOUNDATION FOOTING WITH A MIN. FALL OF 6". CRC R401.3, CALGREEN 4.106.3
3. PROVIDE A TWO PERCENT SLOPE AWAY FROM THE PROPOSED BUILDING FROM A MINIMUM OF FIVE FEET. FCOC 15.08.020
4. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL SLOPE A MINIMUM OF 2% AWAY FROM THE BUILDING.
5. LOT SHALL BE DRAINED FROM REAR TO FRONT W/ A MINIMUM OF 0.5% AND TO AN APPROVED DRAINAGE SYSTEM. INSTALLATION OF OBSTRUCTIONS, I.E., BLOCK FENCES, WOOD FENCES, ROCKS, LANDSCAPING, MOUNDS, ETC., CAN NOT BLOCK FLOW. ALL SITE GRADING OUTSIDE OF THE BUILDING ENVELOPE IS REQUIRED TO BE A MINIMUM OF 0.5% DIRECTED TOWARDS THE STREET.
6. DRIVEWAYS TO RESIDENTIAL GARAGES SHALL HAVE A MAXIMUM SLOPE OF TWELVE PERCENT (12%) FOR A MINIMUM DISTANCE OF TWENTY FEET (20') FROM THE GARAGE. NO PORTION OF THE DRIVEWAY SHALL EXCEED A GRADE OF EIGHTEEN PERCENT (18%).
7. NO ON-SITE WATER RETENTION OR DRAINAGE INTO ADJACENT PROPERTIES/DRAIN TO THE STREET OR DESIGNED BASING.
8. ANY VERTICAL CUT AND FILL DIFFERENTIAL IN EXCESS OF 12" BETWEEN ADJACENT PROPERTIES BY AN APPROVED RETAINING WALL. WOOD RETAINING WALLS SHALL NOT BE USED TO RETAIN MORE THAN 24" OF SOIL. RETAINING WALLS THAT ARE 2 FEET IN HEIGHT MEASURED FROM THE BOTTOM OF THE FOOTINGS, POST, KEYS OR STRUCTURE TO THE TOP OF THE WALL AND THAT RETAINS 12 INCHES OR MORE OF SOIL, REQUIRES PERMITS AND INSPECTIONS. SUBMIT ENGINEERED DESIGN.
9. REPAIR ALL DAMAGED AND/OR OFF GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
10. TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS. ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-624-2444.
11. ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
12. MAXIMUM SLOPES OF ADJOINING GUTTERS, ROAD SURFACE IMMEDIATELY ADJACENT TO THE CURB RAMP, OR ACCESSIBLE ROUTE SHALL NOT EXCEED 1:20 (5%) WITHIN 48" OF THE BOTTOM OF THE CURB RAMP.

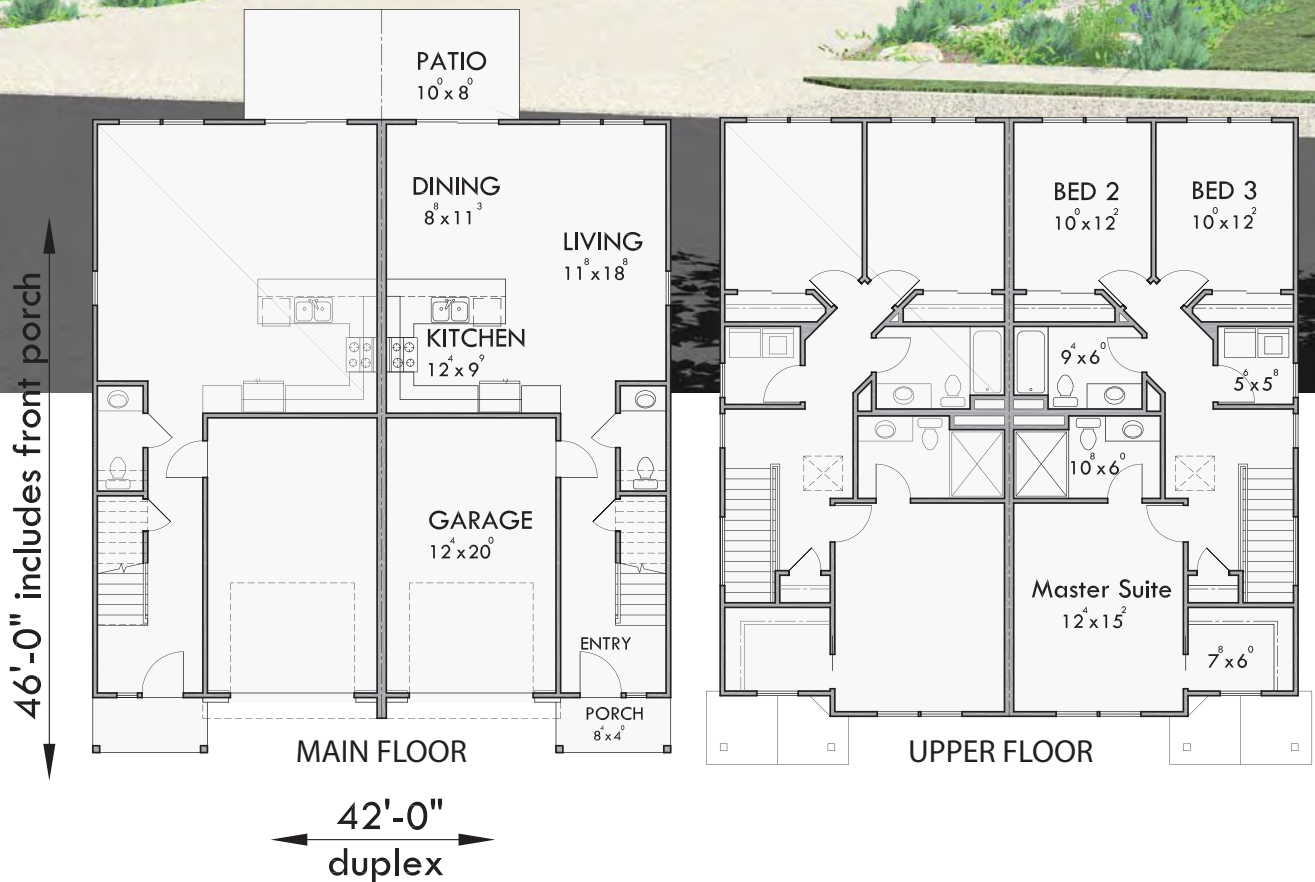
GENERAL FIRE PROTECTION NOTES

- 1. IF APPLICABLE, AN ALL WEATHER FIRE APPARATUS ROAD TO A POINT NO FARTHER AWAY THAN 150 FEET FROM THE MOST REMOTE POINT OF THE STRUCTURE.
2. THERE WILL BE MARKINGS FOR THE FIRE APPARATUS ACCESS LANES. THE LANES SHALL HAVE A 6 INCH WIDE RED STRIPE WITH 3 INCH TALL WHITE LETTERS STATING "NO PARKING-FIRE LANE", REPEATED EVERY 25 FEET ON CENTER.
3. THERE WILL BE 12 INCH TALL STREET ADDRESS NUMBERS. IF ONE ADDRESS IS UTILIZED FOR THE ENTIRE PROPERTY, THEN ALSO ASSIGN 6-8 INCH TALL BUILDING LETTER DESIGNATORS TO EACH BUILDING.
4. PROVIDE AN EXTERIOR KNOX BOX ON THE GROUND FLOOR ADJACENT TO THE MAIN ENTRANCE AT A HEIGHT OF 6 FEET FROM GRADE. KEYS PLACED IN THE KNOX SHALL BE IDENTIFIED WITH A TAGOR LABEL.

REVISIONS table, PROJECT INFO (PROJECT LOCATION, APN, PROJECT OWNER, GROSS ACREAGE, etc.), MAMMOTH TOWNHOMES SITE PLAN, DATE: 6/7/2022, PROJ. ENGR: LSV, PROJ. MNGR: KYV, PREPARED FOR: KHENG YINE YANG, SHEET NO. 1/1, PROJECT NUMBER 22-038

PLAN #D-602

MAIN FLR. 624 SQ. FT.
 UPPER FLR. 857 SQ. FT.
 TOTAL 1481 SQ. FT.
 GARAGE 258 SQ. FT.



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 1304 SW Bertha Blvd. Portland, Oregon 97219 (503-246-3022)



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REAR ELEVATION

SCALE: 1/4"=1'-0"



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RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

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NOTE:
 ALL NOTES TYPICAL
 FOR ALL ELEVATIONS



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LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"



© www.houseplans.pro

FRONT ELEVATION

SCALE: 1/4"=1'-0"

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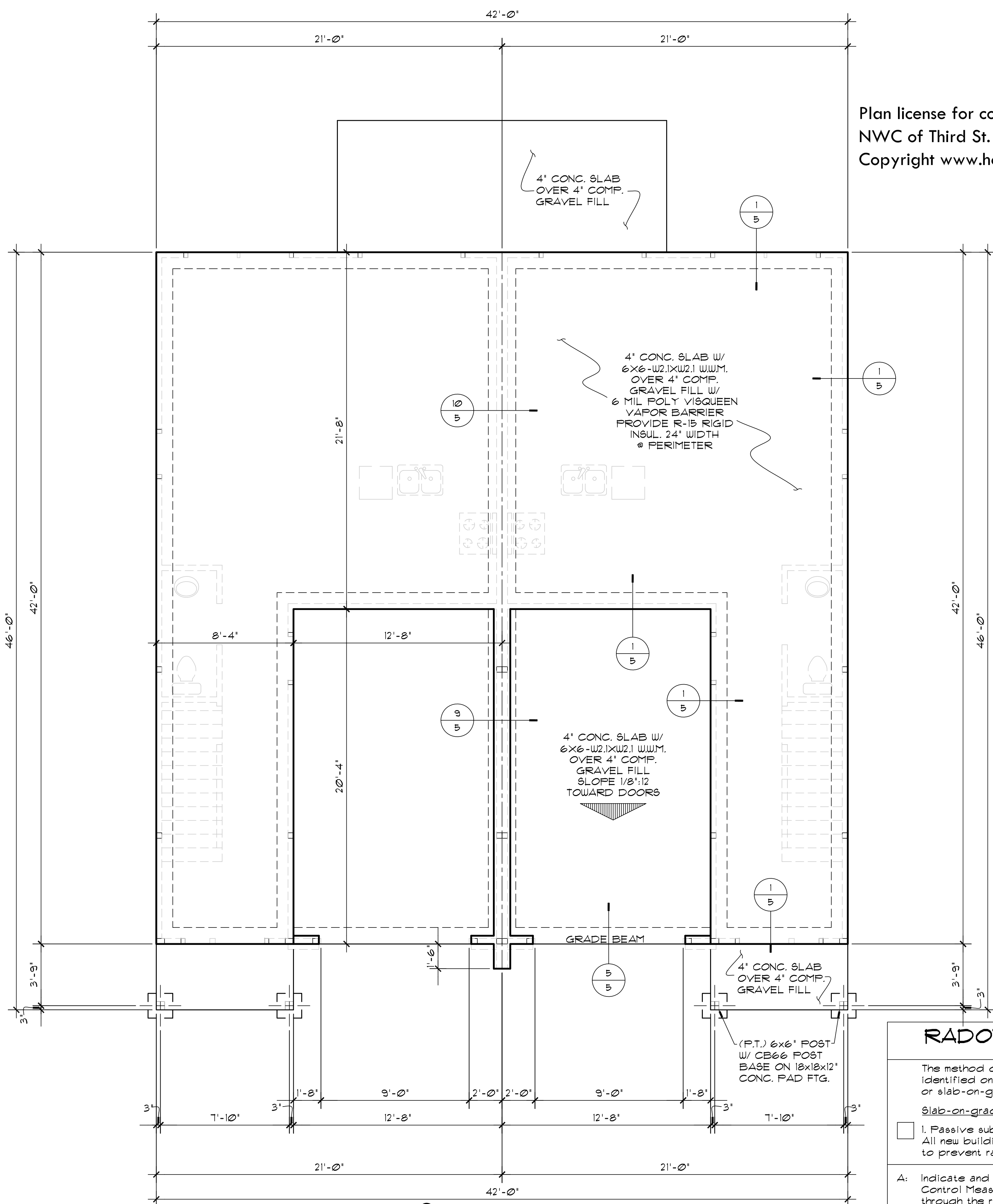
WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS SHOWN ON THESE DRAWINGS SHALL BE USED UNLESS OTHERWISE SPECIFIED. ANY VARIATIONS FROM THE CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

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REVISIONS	D-602
DRAWN BY:	CFB
CHECKED BY:	DAW
DATE:	12/20/18

SHEET
 1 OF 5
 PLAN NUMBER
 D-602



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RADON CONTROL

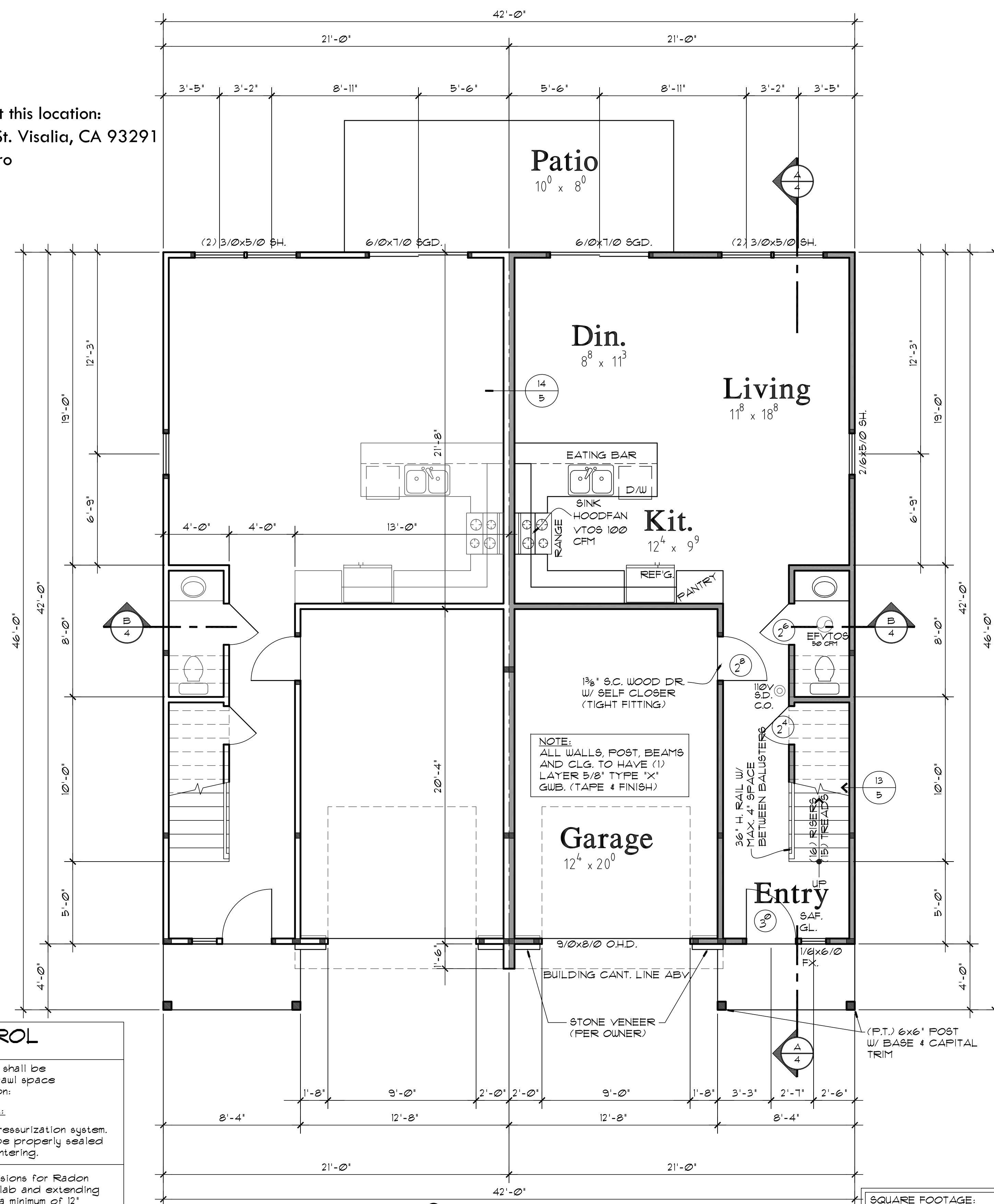
The method of radon control shall be identified on the plans for crawl space or slab-on-grade construction:

Slab-on-grade and basement:

- 1. Passive sub-membrane depressurization system. All new building floors shall be properly sealed to prevent radon gas from entering.
- A: Indicate and detail the provisions for Radon Control Measures under the slab and extending through the roof, to exhaust a minimum of 12' above the roof surface.
- B: Indicate the location of risers and manifold of multiple risers, where applicable.
- C: Indicate venting of each under-slab area separated by continuous walls or strip footings.
- E: Indicate the pipe size (diameter) and material specified for the system.
- F: Indicate a dedicated electrical circuit in either the attic or crawl space for the future connection of a dedicated exhaust fan for each system or systems.

110V © smoke/carbon monoxide detector

Provide one smoke/carbon monoxide detector (min.) per floor and one in each corridor accessing bedrooms & in bedrooms. All detectors located outside sleeping rooms shall be interconnected so that when one is tripped the all will sound. Provide battery backup for all units.



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MAIN FLOOR PLAN

SCALE: 1/4"=1'-0"

SQUARE FOOTAGE:	
MAIN FLOOR:	624#
UPPER FLOOR:	857#
TOTAL LIVING AREA: 1481#	
GARAGE:	258#
PORCH:	33#

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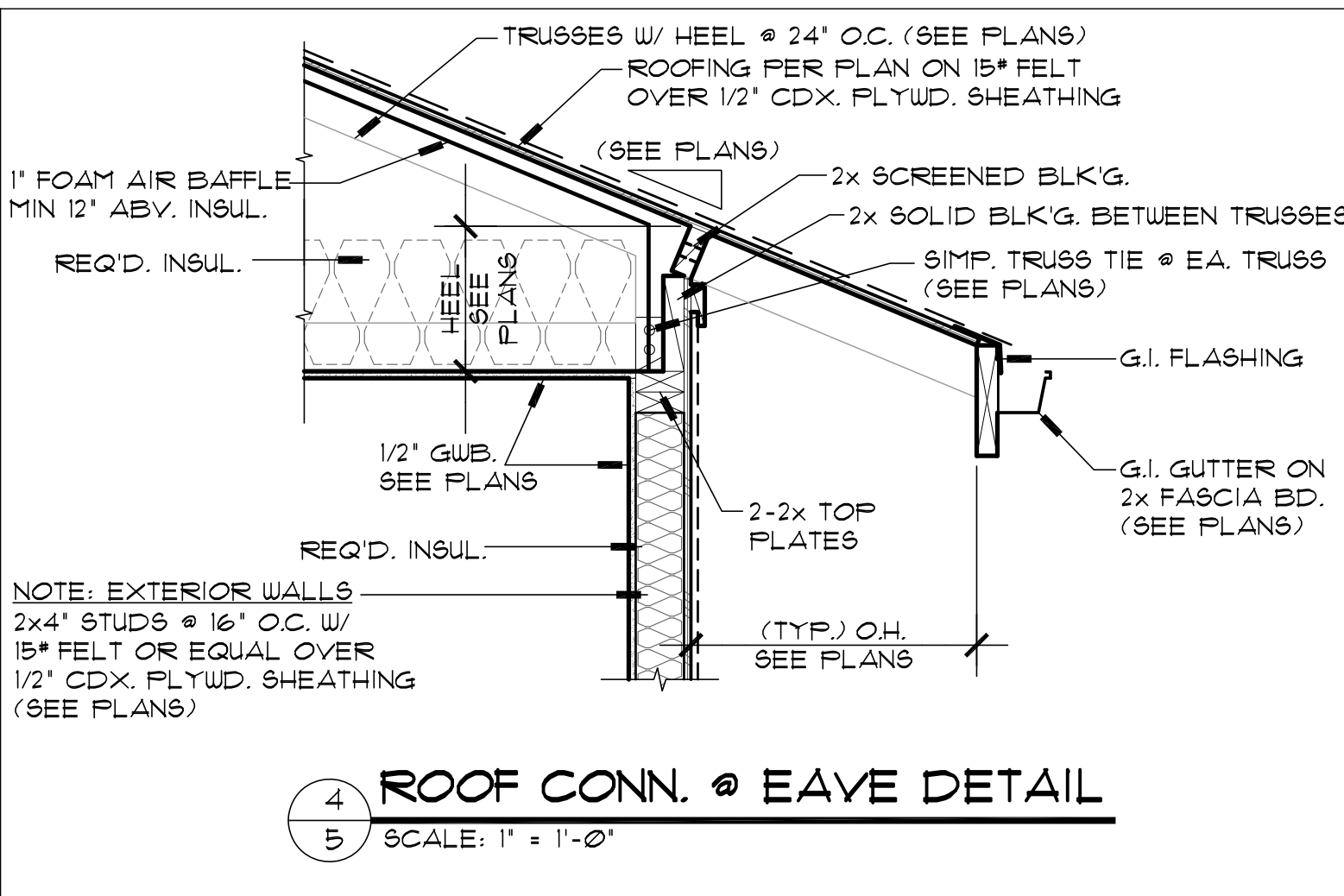
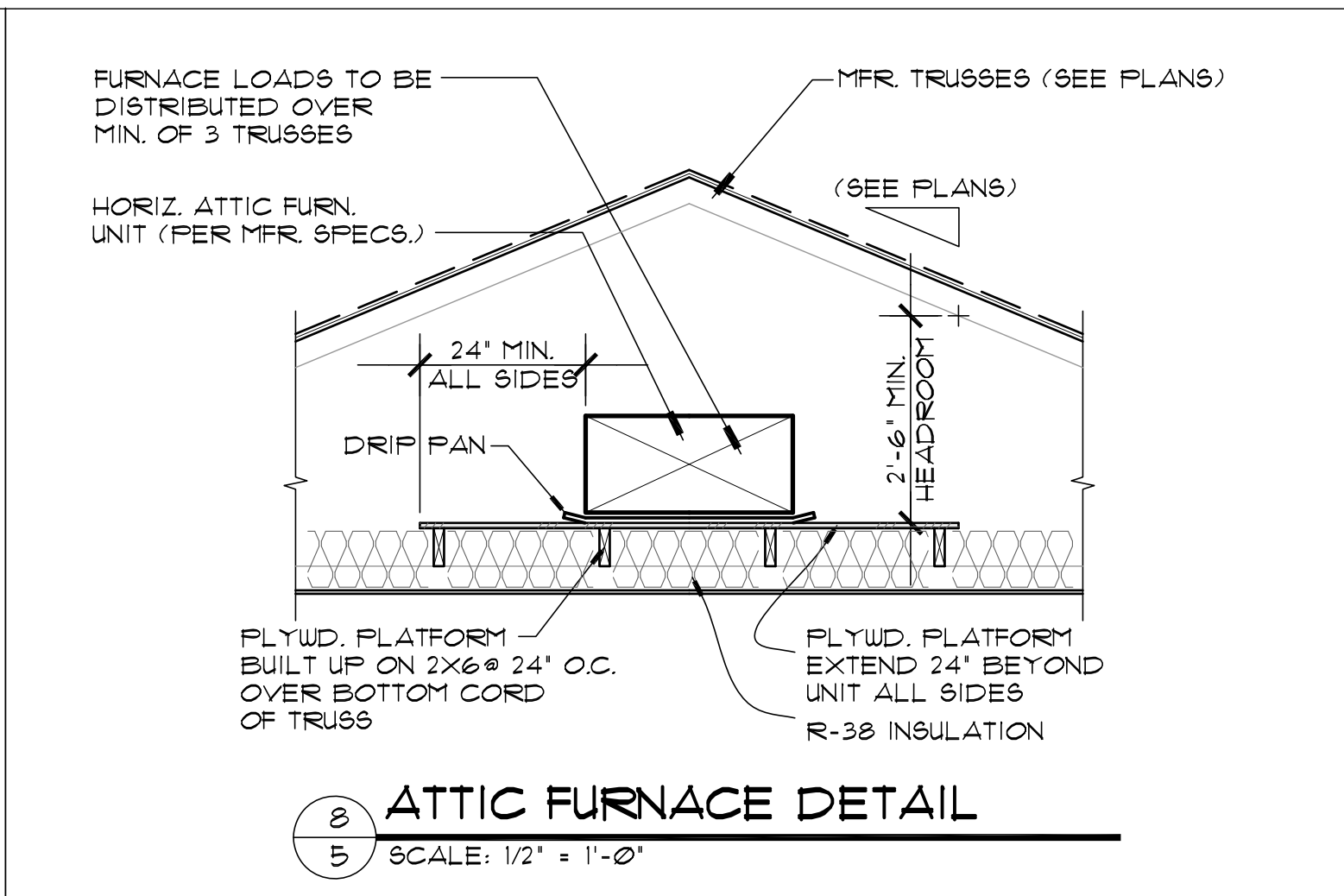
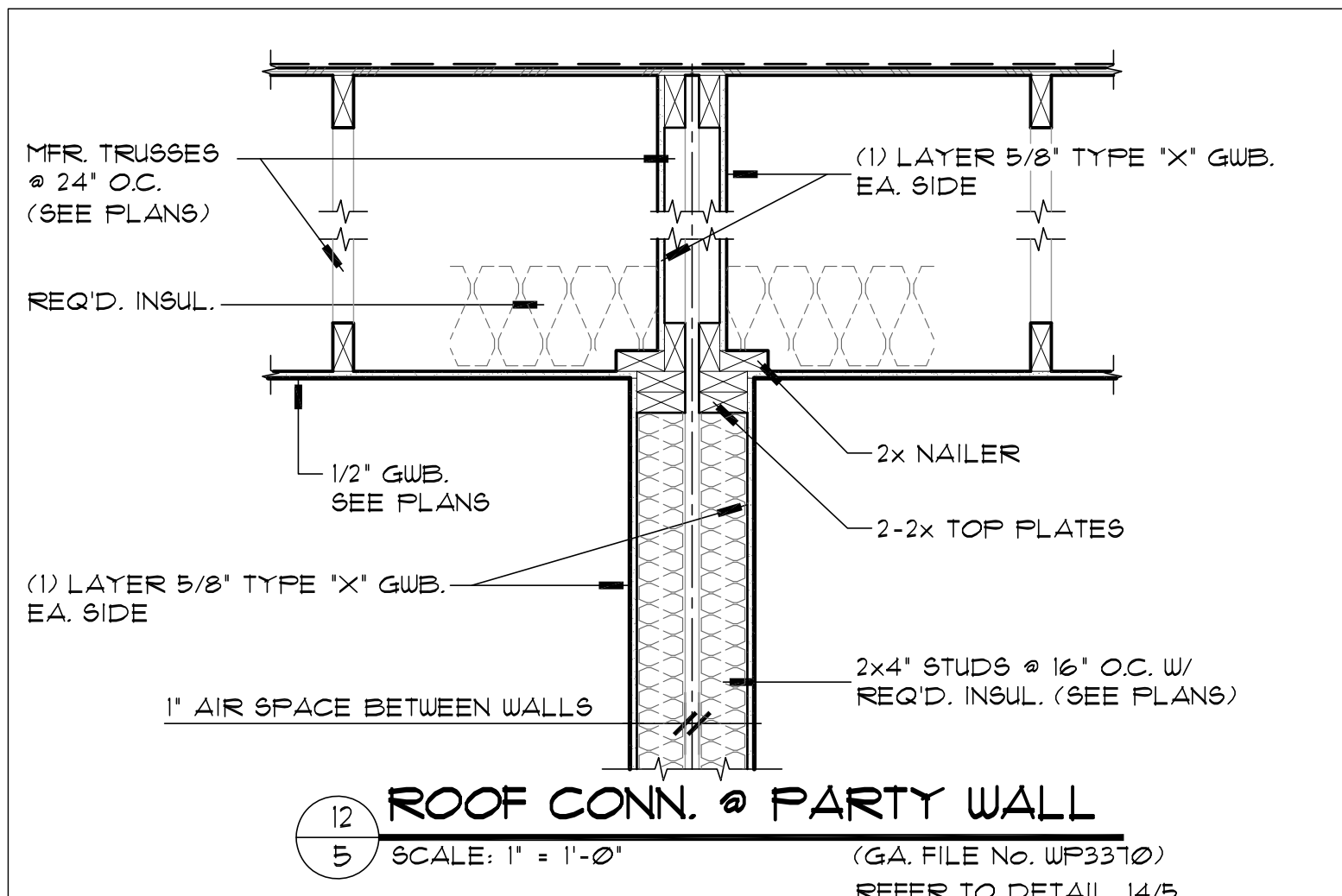
WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCANNED DIMENSIONS. WRITTEN DIMENSIONS SHALL BE USED TO RESOLVE ANY DISCREPANCIES. CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

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REVISIONS	CFB	DAW	12/20/18
D-602			
SHEET	2	OF	5
PLAN NUMBER	D-602		

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GA FILE NO. WP 3370

1 HOUR FIRE **45 TO 49 STC SOUND**

GYPSUM WALLBOARD, WOOD STUDS

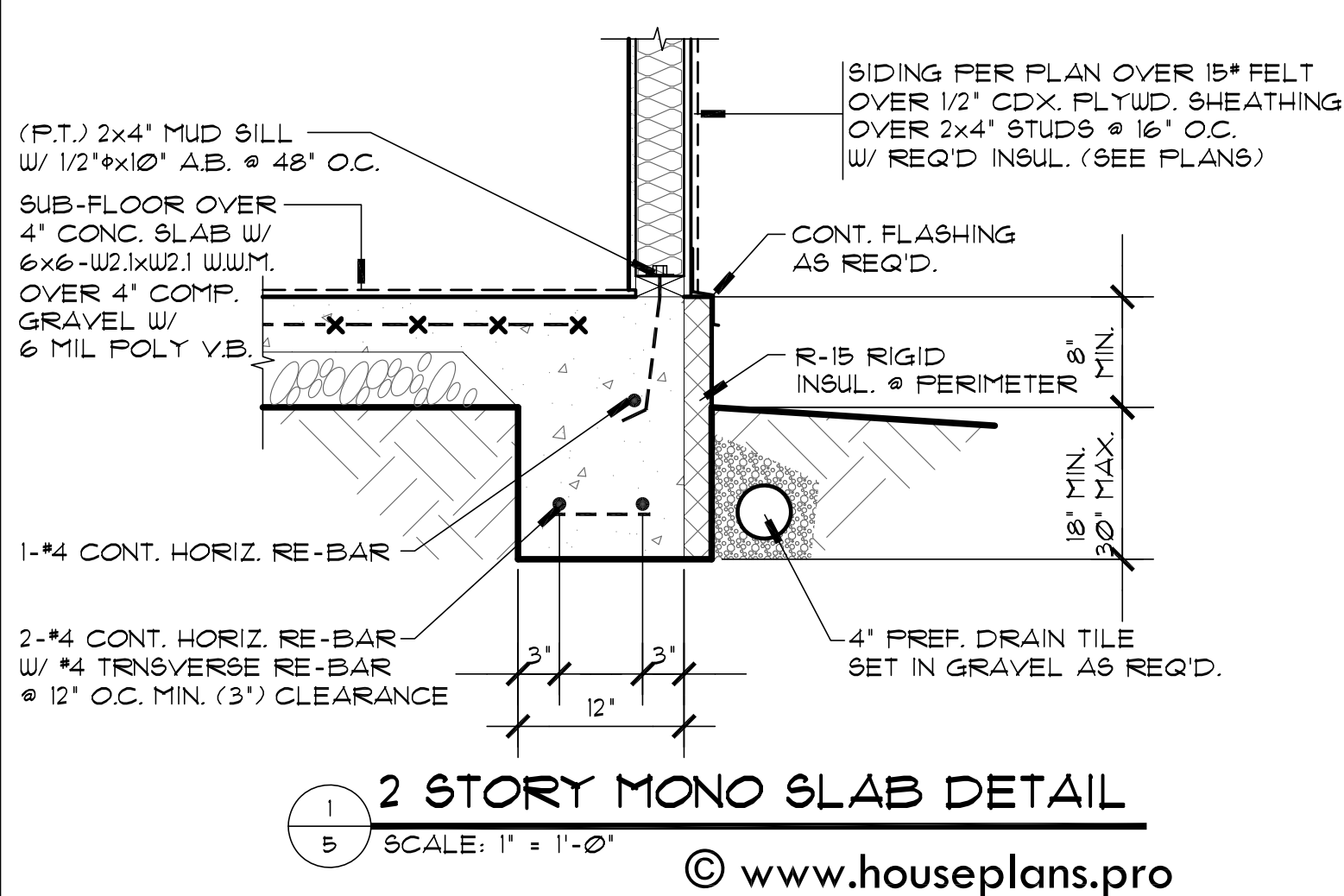
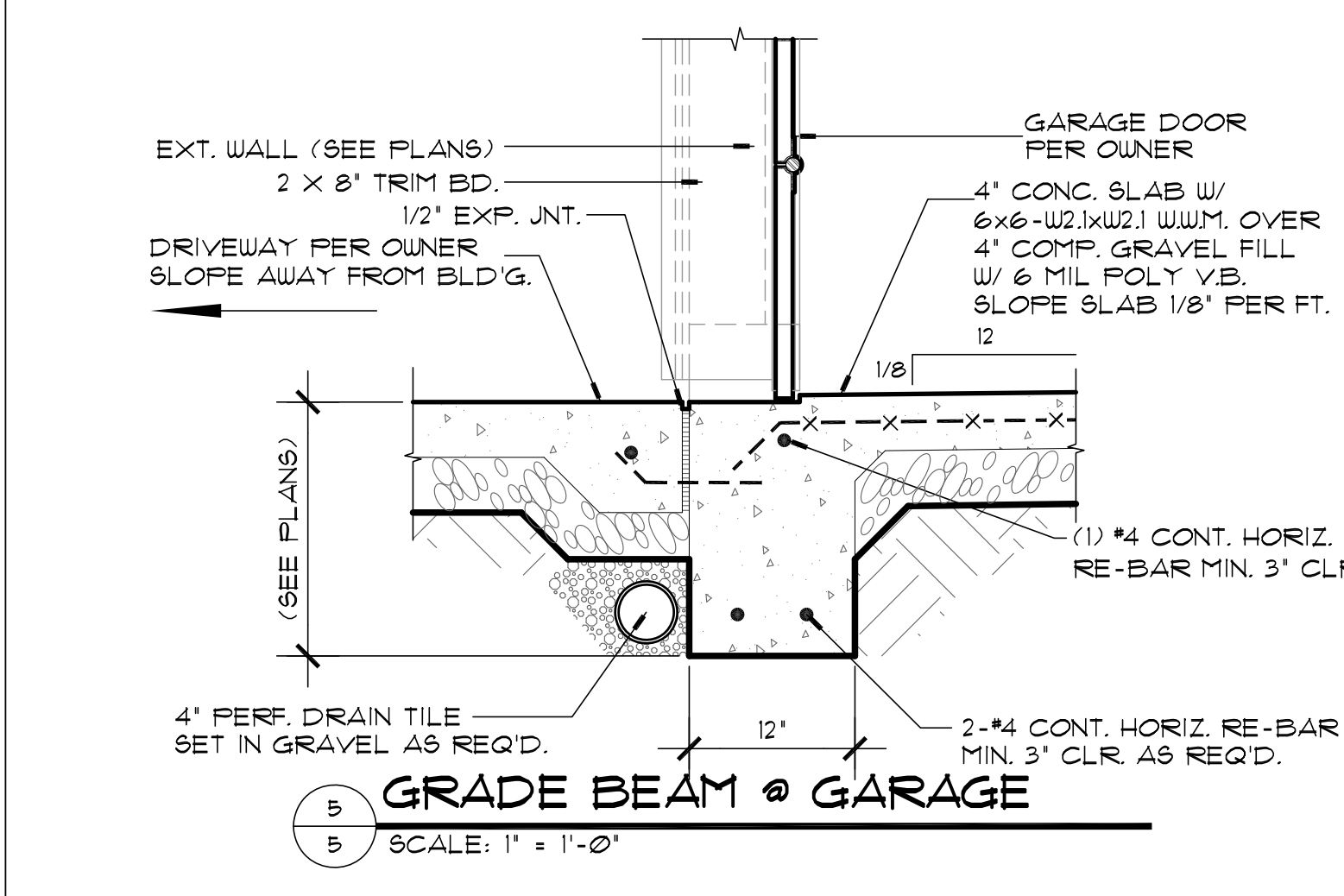
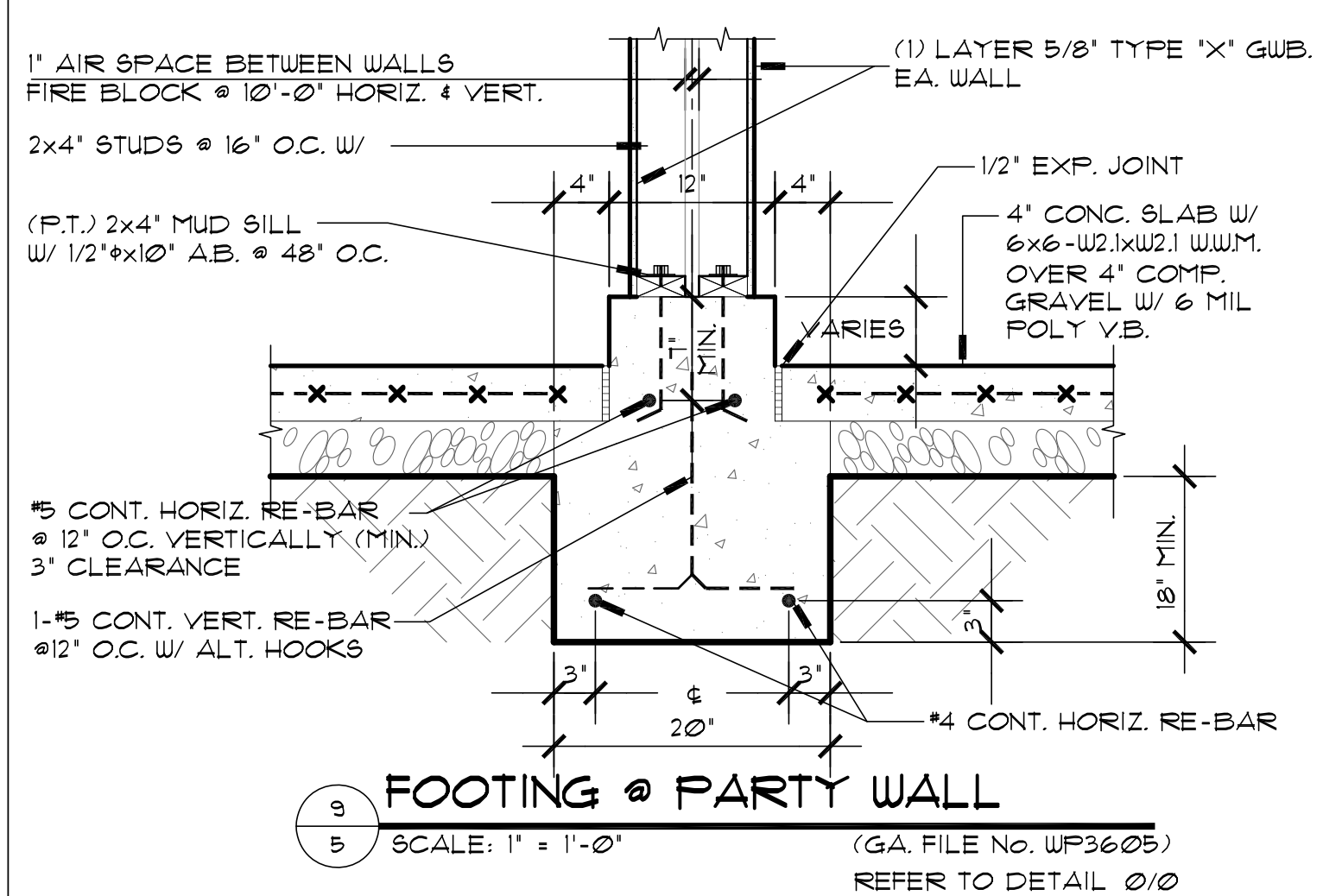
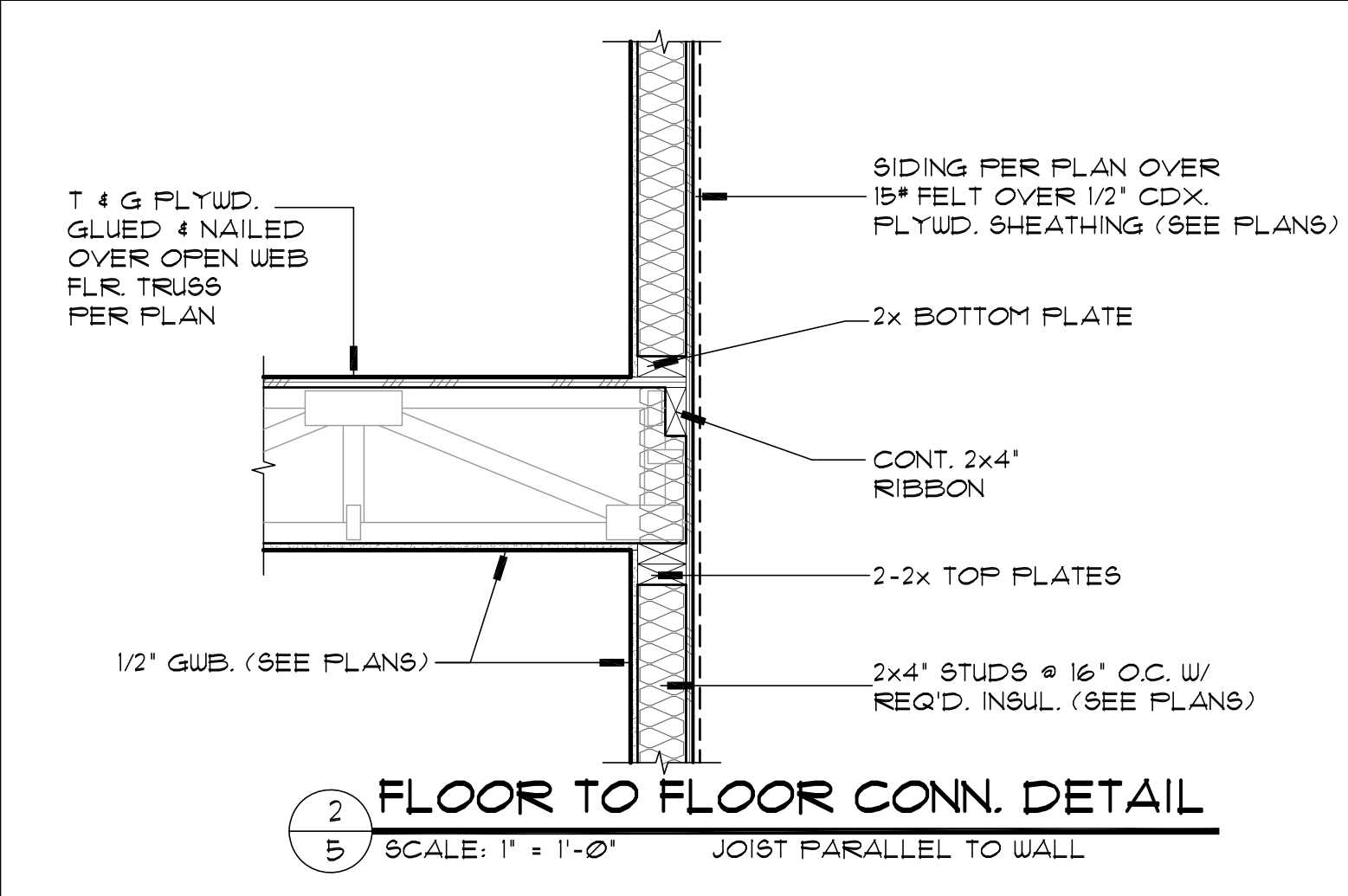
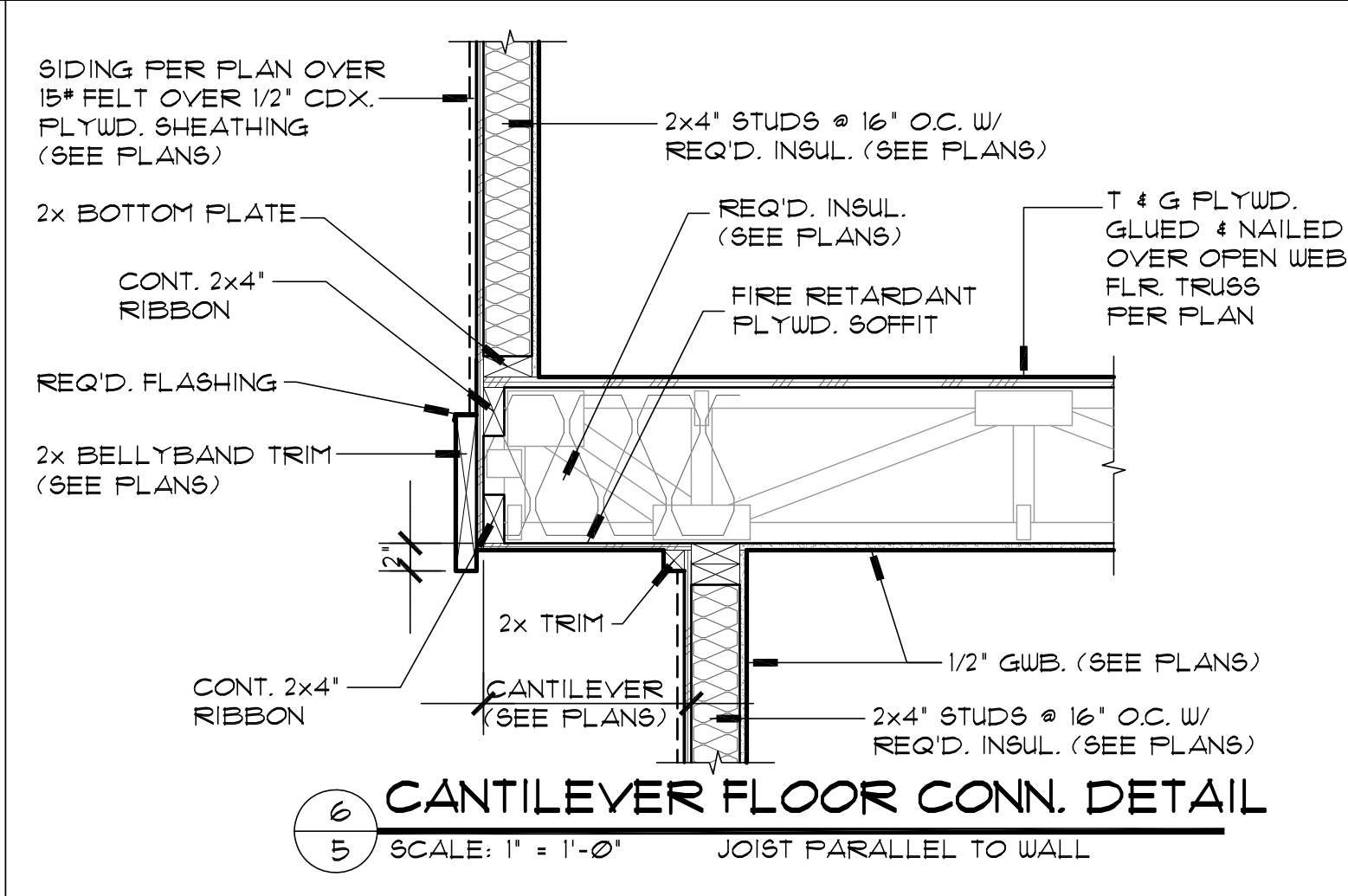
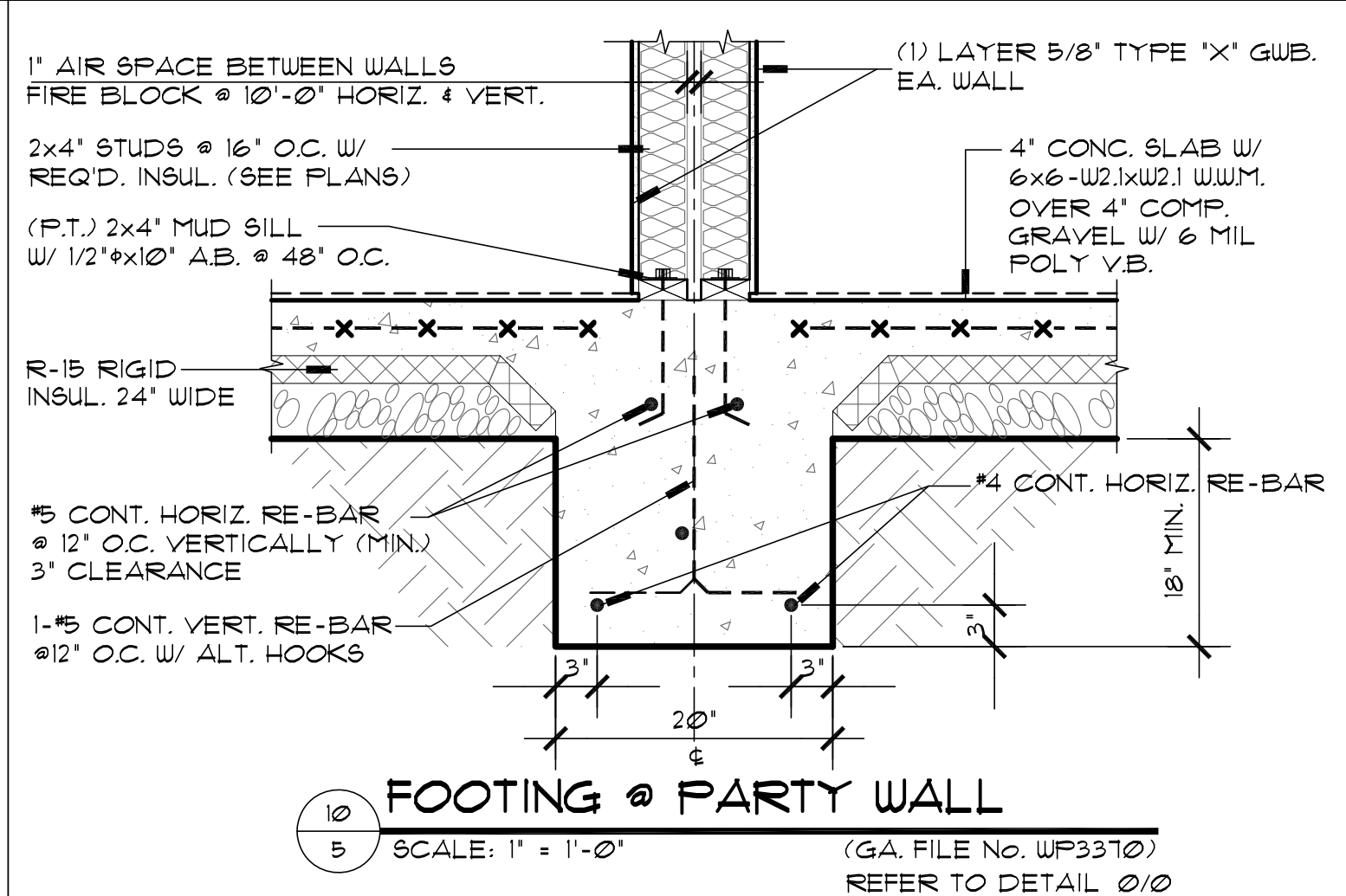
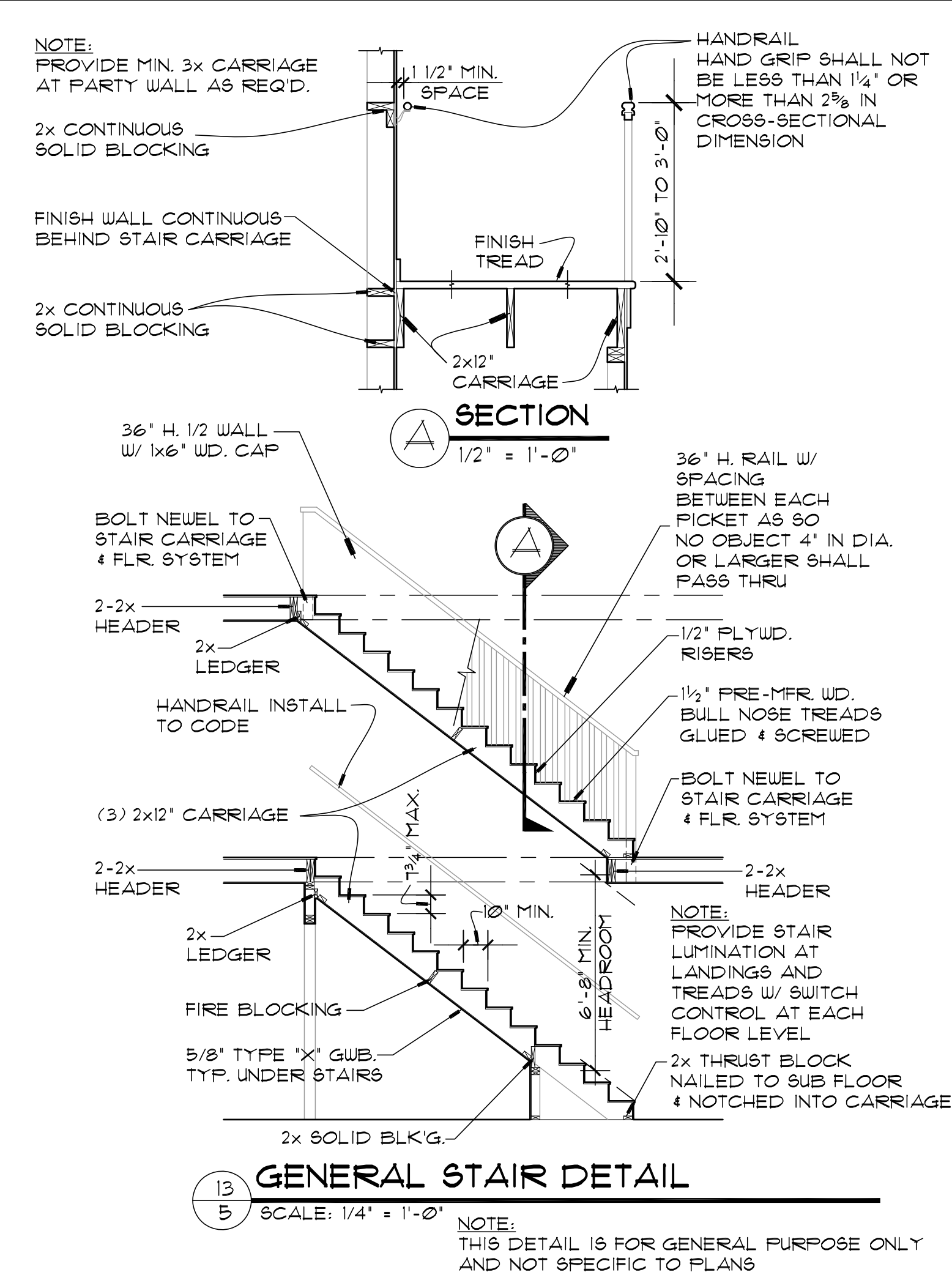
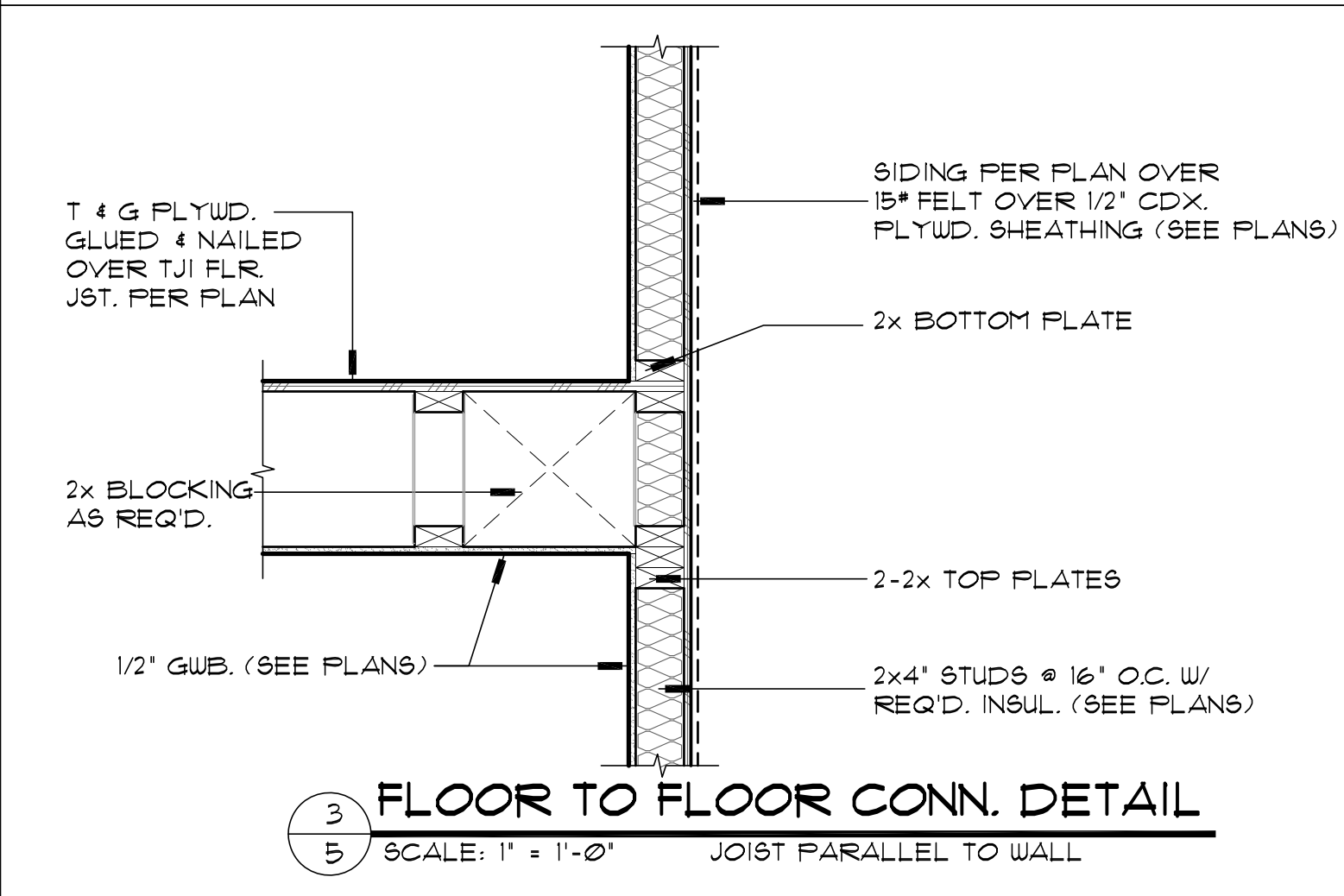
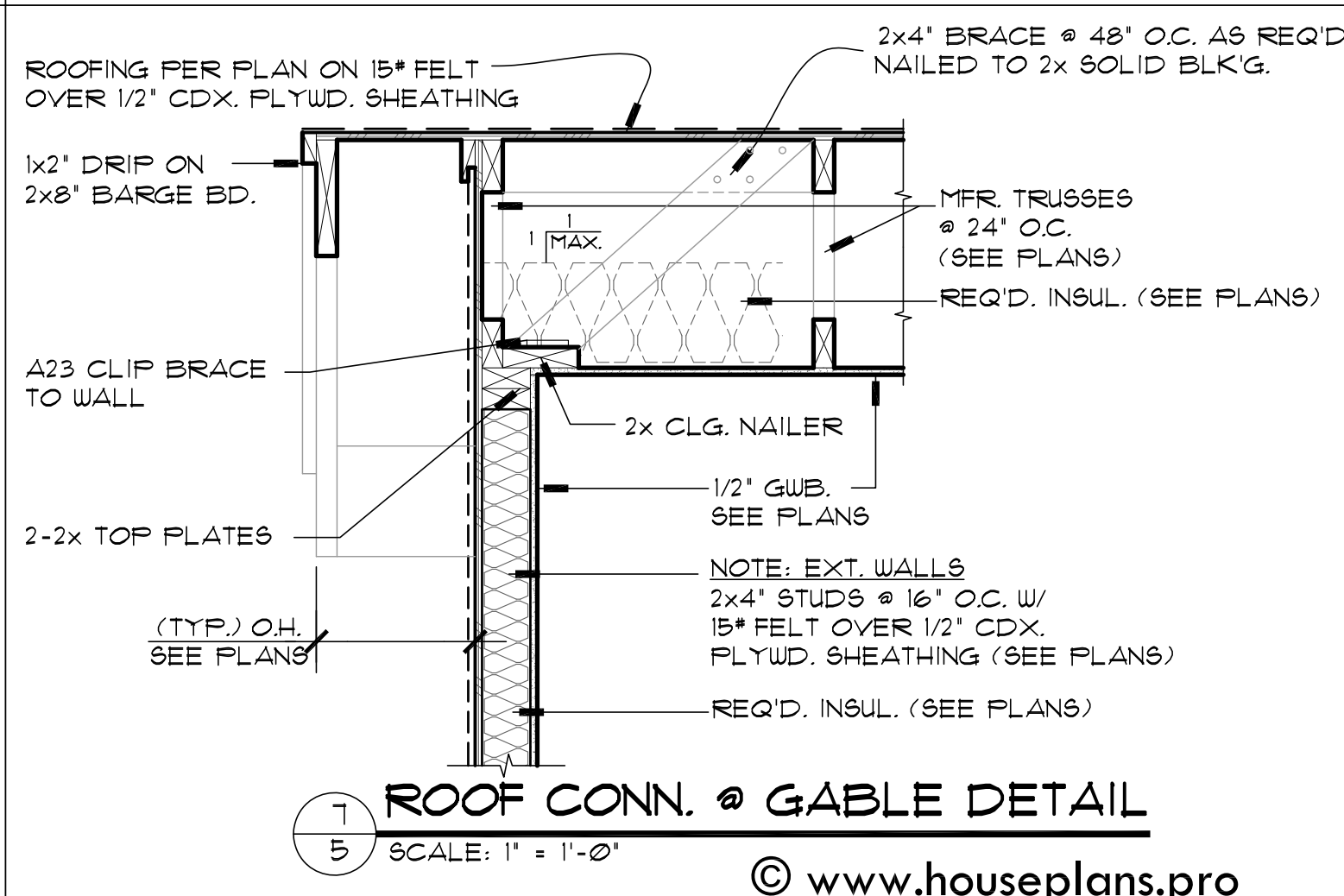
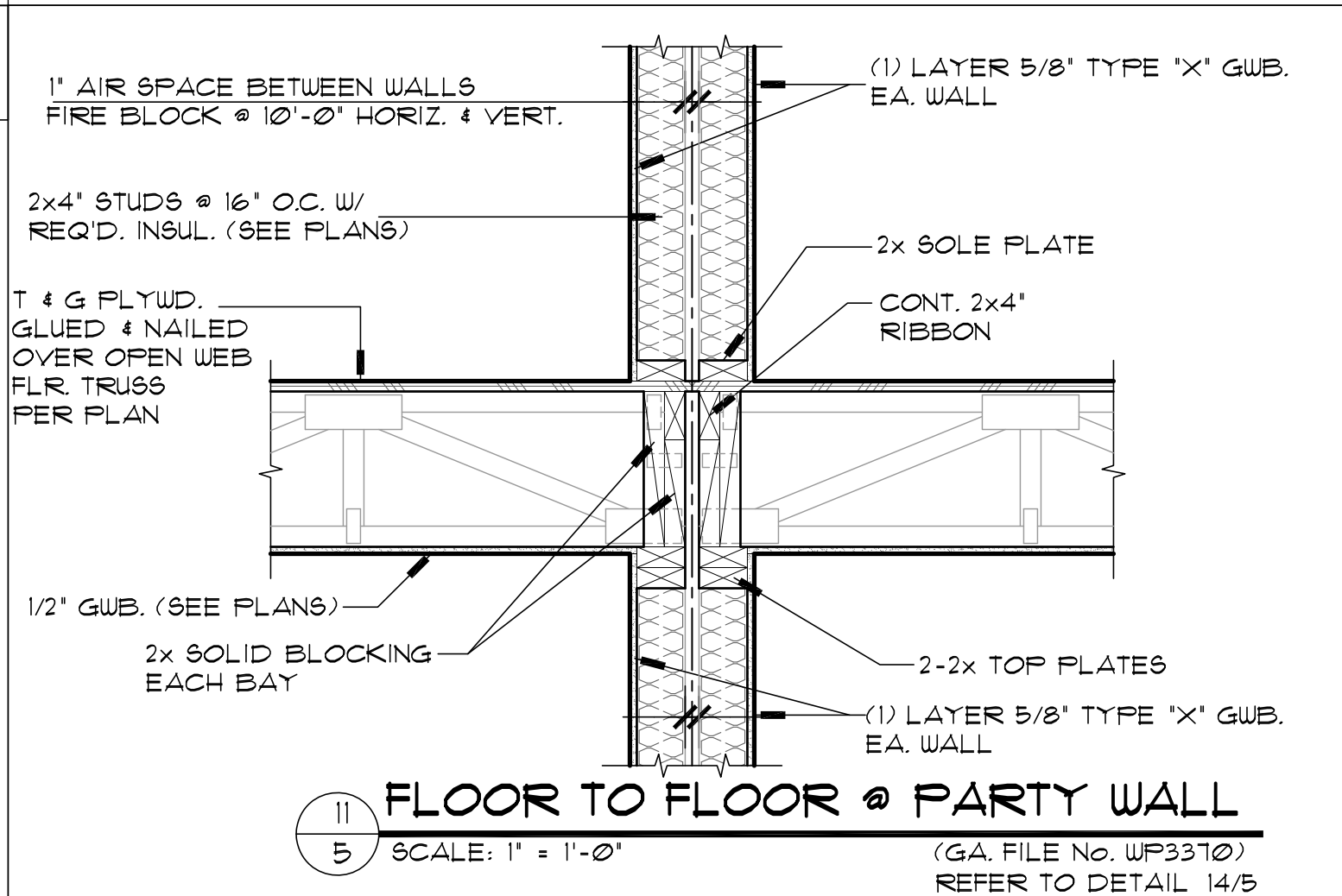
ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF DOUBLE ROW OF 2 X 4 WOOD STUDS 16" O.C. ON SEPARATE PLATES, 1" APART WITH 6D COATED NAILS, 1 7/8" LONG, 0.0915" SHANK, 1/4" HEADS, 7" O.C.

JOINTS STAGGERED 16" ON OPPOSITE SIDES. HORIZONTAL BRACING REQUIRED AT MID HEIGHT. (LOAD-BEARING)

THICKNESS: 1 1/2"
 APPROX. WEIGHT: 8 PSF
 FIRE TEST: SEE WP 3605 (UL R1319-4, 8, 6-17-52; UL R2717-39, 1-20-66; UL R3501-52, 3- 15-66, DESIGN U305; ULC DESIGN W301)
 SOUND TEST: ESTIMATED

14 GYPSUM WALLBOARD, WOOD STUDS
 NO SCALE
 (GA. FILE NO. WP3370)

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REVISIONS	D-602
DRAWN BY:	CFB
CHECKED BY:	DAW
DATE:	12/20/18
SHEET	5 OF 5
PLAN NUMBER	D-602

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application **MUST** be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- **Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present** -
 - Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Rancho Colegio Date: 06-09-2022

Project Description: New affordable renal community comprised of one, two, and three-bedroom units, with 80 total units on-site. Project includes a community center and outdoor shared community amenities.

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: Self-Help Enterprises

Applicant(s) Name: Jamie Steinmetz - Paul Halajian Architects

Project Address/Location: Parcel on the Southeast corner of Court St. and Esquivel Ave.

Assessor Parcel Number: 079 - 071 - 030

Parcel Size (Acreage or Square Feet): 3.39 acres Building or Suite Square Footage: 83,828 sf total

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ N/A - New Construction

Describe All Proposed Building Modifications: New Construction

- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received: 06/09/2022

SPR Agenda: 06/15/2022 Item No. _____

Zone: C-MU, R-M-2, R-M-3 SPR No. 22-098

Historic District: Yes No

Flood Zone: X AE X/AE

OPERATIONS & TRAFFIC INFORMATION

- - **A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS** - -

Existing/Prior Building Use: None existing; vacant site

Proposed Building Use: Multifamily Housing

Proposed Hours of Operation: 24 hours

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing _____ Proposed 1 FTE and 1 PTE

Number of Customers Per Day (Estimated): Existing _____ Proposed 2.5 / unit (200 max)

Predicted Peak Operating Hour: N/A - Housing to be operational 24 / 7

Describe Any Truck Delivery Schedule & Operations: Standard for multi-family housing (parcel deliveries)

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees
 (Provide Separate Attachment if Necessary): No unique or specific traffic patterns requiring accommodations anticipated

Describe Any Special Events Planned for the Facility: No special events anticipated


SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - All existing & proposed site features
 - Site dimensions, including building
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
 - Adjacent street names
 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u> Jamie Steinmetz </u> Address: <u> 389 Clovis Ave., Suite 100 </u> City, State, Zip <u> Clovis, CA 93612 </u> Phone: <u> 559-297-7900 </u> Email: <u> jamies@halajianarch.com </u>	Signature of Owner or Authorized Agent* Owner  Authorized Agent*	Date <u> 06-09-2022 </u> Date
---	---	---

* If signed by an authorized agent , the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

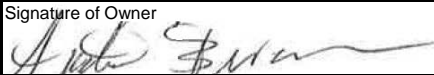

I, Anita Bivian , declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):
 079-071-030

AGENT:

I designate Jamie Steinmetz , to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to construct proposed multi-family project relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 9th day of June , 20 22 .

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner 		Signature of Agent 
Owner Mailing Address <u> 8445 W. Elowin Court </u> <u> P.O. Box 6520 </u>		Agent Mailing Address <u> 389 Clovis Ave., Suite100 </u>
<u> Visalia, CA 93290 </u>		<u> Clovis, CA 93612 </u>
Owner Phone Number <u> 559-802-1653 </u>		Agent Phone Number <u> 559-297-7900 </u>



Rancho Colegio

Operational Statement

Nature of the operation/project – What do you propose to do?

Rancho Colegio is a new affordable rental community being developed by Self-Help Enterprises (SHE) in Visalia. Located immediately east of the Visalia Navigation Center (approximately 3700 N Dinuba Blvd), Rancho Colegio offers one, two and three-bedroom units to serve working families, seniors, individuals and families experiencing homelessness and farmworker households. The project includes a fully integrated community offering multi-generational housing where seniors and young professionals live together in a service enriched environment. The project includes an approximately 3,000 square foot community center which will provide office space for the full-time on-site manager and resident services staff. The community center will be available for family gatherings and community workshops and will also provide space for the after-school program and a variety of resident services, including STEM programs for youth, computer lab and classes, financial literacy and budgeting, and various health and wellness activities such as Zumba, health screenings and obesity prevention. Rancho Colegio will serve residents earning 30-60% of area median income and rents will range from \$300-\$900 per month. This housing opportunity to allow families to pay an affordable rent, therefore allowing them to achieve housing stability and the ability to pursue other financial goals such as attending school or saving for homeownership. Rancho Colegio will be an all-electric project which includes renewable solar PV to offset 100% of the residential and common area electrical loads, resulting in a project that is also affordable to operate and zero net energy. SHE will also incorporate extensive water conservation measures including highly efficient drip irrigation systems, thoughtful hardscapes, and low water use landscaping.

What products will be produced or sold by the operation? None, this is a multifamily rental project.

What is the existing use of the site? Vacant

List the hours and days of operation during a typical work week? This is a multifamily rental project which will be occupied and open 24 hours a day, 7 days a week.

If Seasonal, list the months of operation. Not applicable.

Anticipated number of clients/customers at one given time? With an average occupancy of 2.5 persons per unit, we would expect 200 people at maximum capacity.

Number of employees and future employees? One full-time on-site manager and a part-time maintenance person.

Will any of the employees live on the site? Yes, one full-time on-site manager.

Number and type of service or delivery vehicles? Standard operations for construction and once occupied.



What equipment is used? Only equipment will be during construction and once open, potentially a riding lawn mower.

Will hazardous materials or waste be produced as part of this business? If yes, please explain. Not applicable.

Please include any other information that will provide a clear understanding of your business and its operation.

Self-Help Enterprises owns and operate approximately 2,000 units of affordable rental housing. This project will assist the City in meeting its RHNA goals and provide high quality housing for working families. SHE is not yet the owner of the site but has site control via a donation agreement. SHE intends to take ownership of the site by the end of the year.

NOT FOR CONSTRUCTION

GENERAL SITE INFORMATION

APN: 079-071-030
 Lot Area: 3.39 acres (147,870 sf)
 Lot Dimensions: 500' x 296'
 Zoning: R-M-3 (High Density Residential)

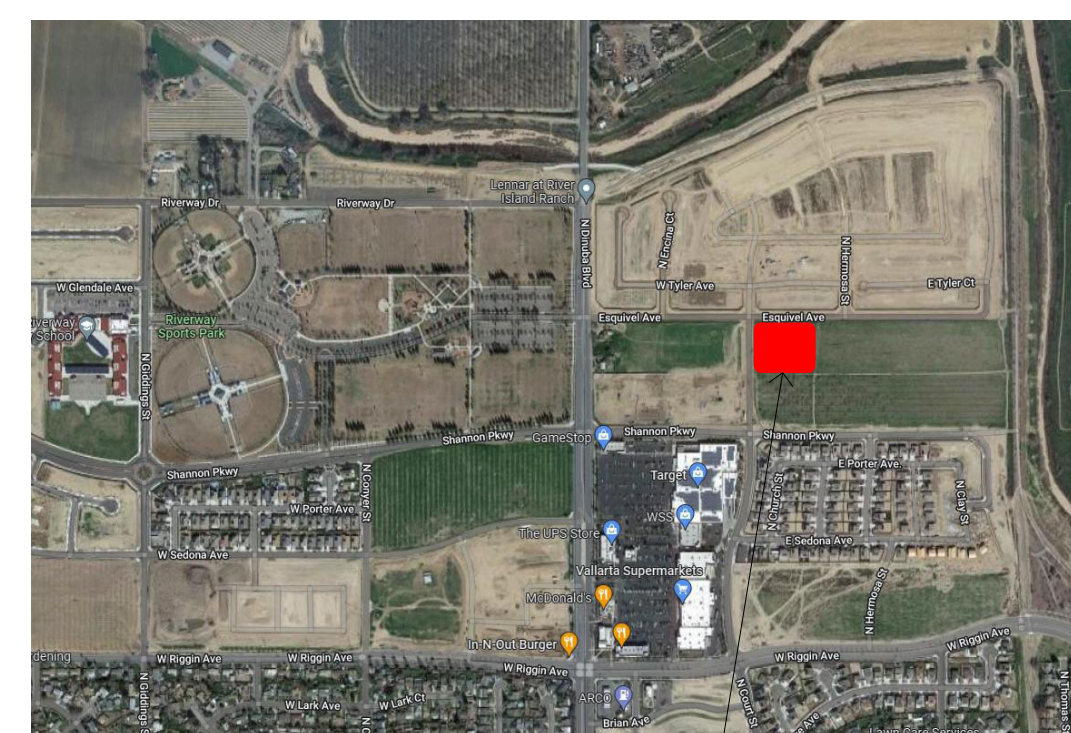
SITE REQUIREMENTS

	REQUIREMENT	PROVIDED
Density:	35 du / ac max > 80 du = CUP	23.6 du / ac 80 du total
Front Yard Setback:	15'-0"	15'-0"
Rear Yard Setback:	15'-0"	15'-0"
Side Yard Setback:	5'-0" Interior Side 10'-0" Street Side	5'-0" 10'-0"
Open Space:	5% min. 6,498 sf	34.5% provided 1,200 sf (Tot Lot) 1,554 sf (Youth Court) 11,102 sf (Outdoor Common Space) 30,988 sf (Landscape) 44,844 sf Total
Height:	35'-0" 4 Stories	Less than 35'-0" 2 / 3 Stories
Parking:	Per Visalia 1.5 sp / unit 0.25 sp / unit *guest	Per CA DBL 1.5 sp / 2&3 BR 1 sp / 1 BR
	140 sp required	102 sp required 122 sp provided (5 accessible)

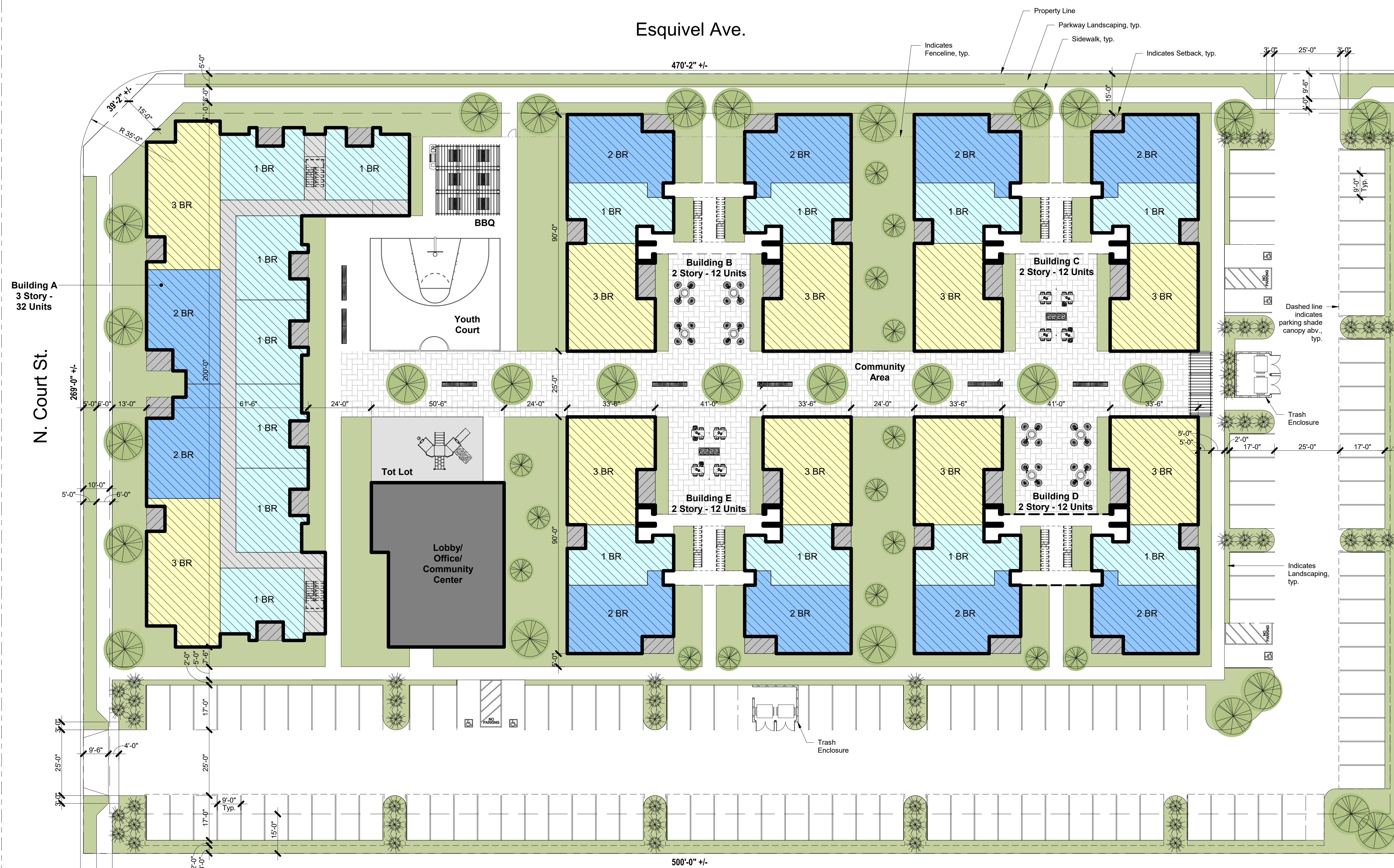
PROJECT INFO

Units:	36 - 1 Bedroom 22 - 2 Bedroom 22 - 3 Bedroom
	80 Total Units
Building Area:	Building 'A' = 35,924 gsf Building 'B' = 11,976 gsf Building 'C' = 11,976 gsf Building 'D' = 11,976 gsf Building 'E' = 11,976 gsf
	Total = 83,828 gsf
Occupancy:	R-2 Residential B - Office
Construction Type:	Type VB
Sprinklers:	NFPA 13 / 13R

VICINITY MAP



Project Site



1 Site Plan
 1" = 20'-0"

PROJECT:
 Self-Help Enterprises
 Rancho Colegio
 Court St. & Esquivel Ave. | Visalia, CA 93291

SHEET: Conceptual Site Plan

DRAWING SET INFORMATION:

06.09.2022	SPR Submittal
------------	---------------

REVISIONS:

PROJECT NUMBER:
2022-27

SHEET NUMBER:
A100

CITY OF VISALIA SITE PLAN REVIEW APPLICATION



- Additional information and help in filling out this application can be found at the City of Visalia website (www.ci.visalia.ca.us) or by calling (559) 713-4440.

This application MUST be filled out in its entirety and submitted with an acceptable site plan (see details below). Failure to provide all requested information may result in your application being rejected for additional information and excluded from the Site Plan Review agenda

- All plans to be considered on the next available agenda must be submitted by 4:00 p.m. on the Thursday prior to the meeting -

- Site plan review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant or representative must be present -

GENERAL PROJECT INFORMATION

Project/Business Name: MEDICAL SPA Date: 6/7/22

Project Description: SEE OPERATIONAL STATEMENT ON PLAN

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: Laurie Hagopian - Dresser

Applicant(s) Name: Laurie Hagopian - Dresser

Project Address/Location: 523 W. Noble Ave

Assessor Parcel Number: 0 9 6 . 1 4 2 . 0 1 7

Parcel Size (Acreage or Square Feet): 6324 sq Building or Suite Square Footage: 1510 sq.

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ 60,000

Describe All Proposed Building Modifications: ADD SIGN'S
IN EA OFFICE - MIN TOUCH - UP

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 06/07/2022

SPR Agenda: 06/15/2022 Item No. _____

Zone: O-C SPR No. 22-099

Historic District: Yes No

Flood Zone: AE X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: OFFICE

Proposed Building Use: SEE OPERATIONAL STATEMENT ON THE PLAN

Proposed Hours of Operation: 10 AM - 6 PM

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing _____ Proposed MAX OF 3 PEOPLE

Number of Customers Per Day (Estimated): Existing _____ Proposed ONE AT A TIME BY

Predicted Peak Operating Hour: _____ APPOINTMENT

Describe Any Truck Delivery Schedule & Operations: HA

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): _____

Describe Any Special Events Planned for the Facility: _____

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Plan(s) must be clear, legible, and on a sheet size appropriate to easily convey all necessary project information. Suggested minimum sheet size for site plans is 11"x17" (Excludes tentative parcel and final maps)
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - Existing & proposed structures
 - Loading/unloading areas
 - All existing & proposed site features
 - Adjacent street names
 - Accessible path of travel from right of way
 - Site dimensions, including building
 - Refuse enclosures & containers
 - Accessible path of travel from ADA stall
 - Existing and proposed fencing at site
 - Valley oak trees (show drip line)
 - Location and width of drive approaches to site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed landscaping
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
 - Parking stalls (include ADA)
- ⇒ Submit 20 copies of the site plan with this application, folded to a legal size of 9" x 12" with the print on the outside (no rolled plans)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Larry Lewis Signature of Owner or Authorized Agent* *Laure Hagopian-Dresser* 6/8/12
 Address: 820 W. Center St. Owner Date
 City, State, Zip Visalia, CA 93291
 Phone: 559-733-8399
 Email: llewisarch2@gmail.com Authorized Agent* Date

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered complete

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:
Laure Hagopian-Dresser declare as follows; I am the owner of certain real property bearing assessor' parcel number (APN):

AGENT:
 I designate _____, to act as my duty authorized agent for all purposes necessary to fill an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct
 Executed this _____ day of _____, 20____

OWNER	AGENT
Signatures	
Signature of Owner (Notary Required)	Signature of Agent
Owner Mailing Address	Agent Mailing Address
Owner Phone Number	Agent Phone Number

Approved by City of Visalia:
 By: _____ Date: _____

Operational statement

Project Description

Office Space Renovation is being submitted by LnM Medical Spa on behalf of Dr Laurie Hagopian Dresser and pertains to 0.14 acres of property located at 523 W Noble Ave Visalia CA 93277 and is zoned _____ with a planned land use of Medical Spa is requesting authorization to Renovate and upgrade the property.

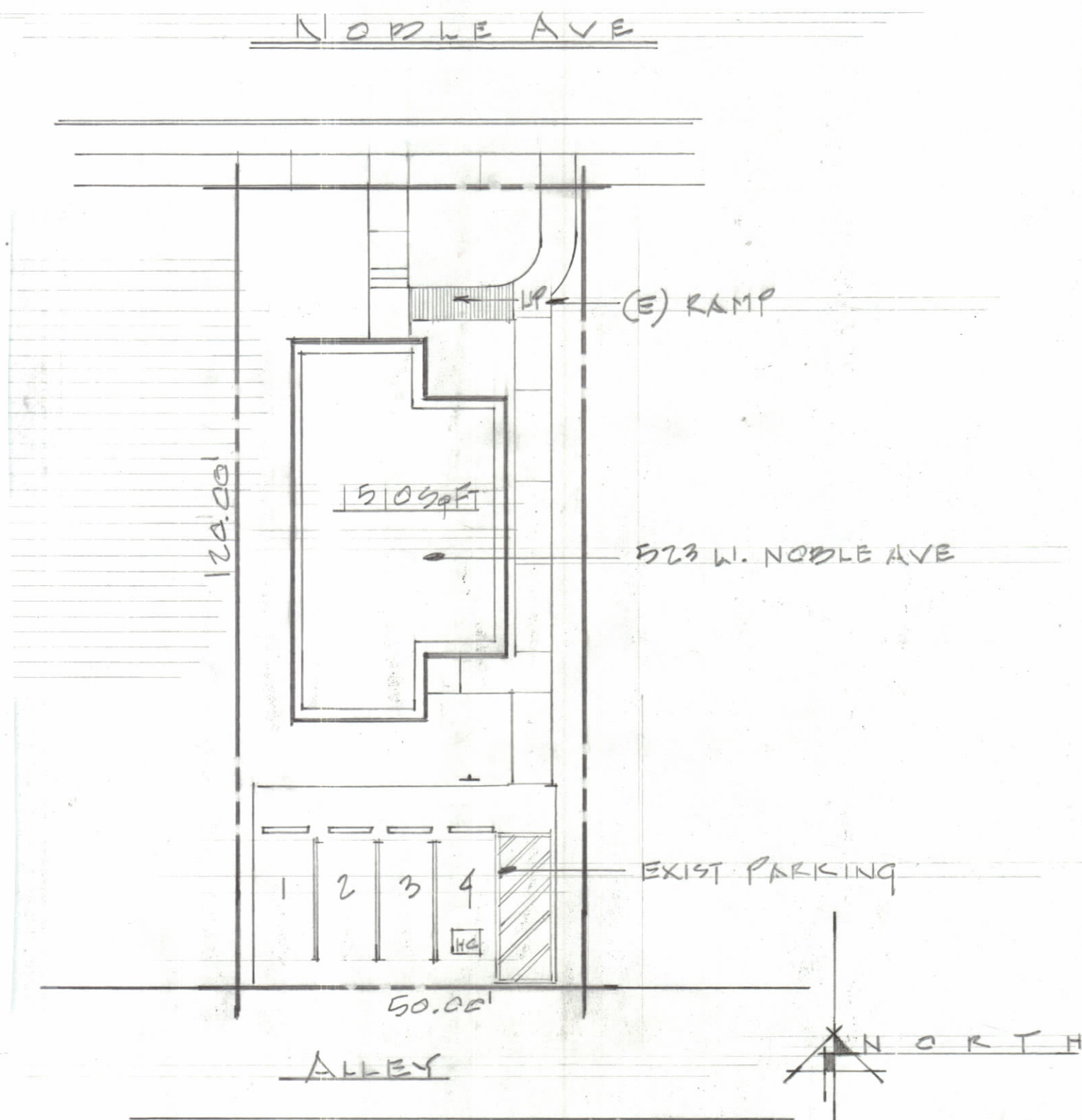
The proposed development will consist of:
 . Reception area . Adding four treatment rooms . electrical outlet in each room . excellent lighting . sink in each treatment room . new floor . new paint . Space for washer and dryer.

The existing site currently consists of 3 rooms with 4 existing parking spaces.
 The proposed hours of operation are from 10-6 Monday-Saturday.
 Other facts Pertinent to this project are as follows:

- Washer and dryer hookups
- 6 employees 2 RN(s) 1 Esthetician 3 Receptionist
- 1 Registered Nurse and one receptionist per day.
- This is not a walk in clinic by appointment only. Maximum one client seen per hour by one RN staff.
- Provide Aesthetic services Botox, Fillers, Hydrafacials, Platelet Rich Plasma, Laser treatments using Laser Equipment (Laser Hair Removal, tattoo Removal, Alma Duo for men)
- Hazardous Waste Includes Sharps that will be picked up by stericycle once every 2 -3 months.

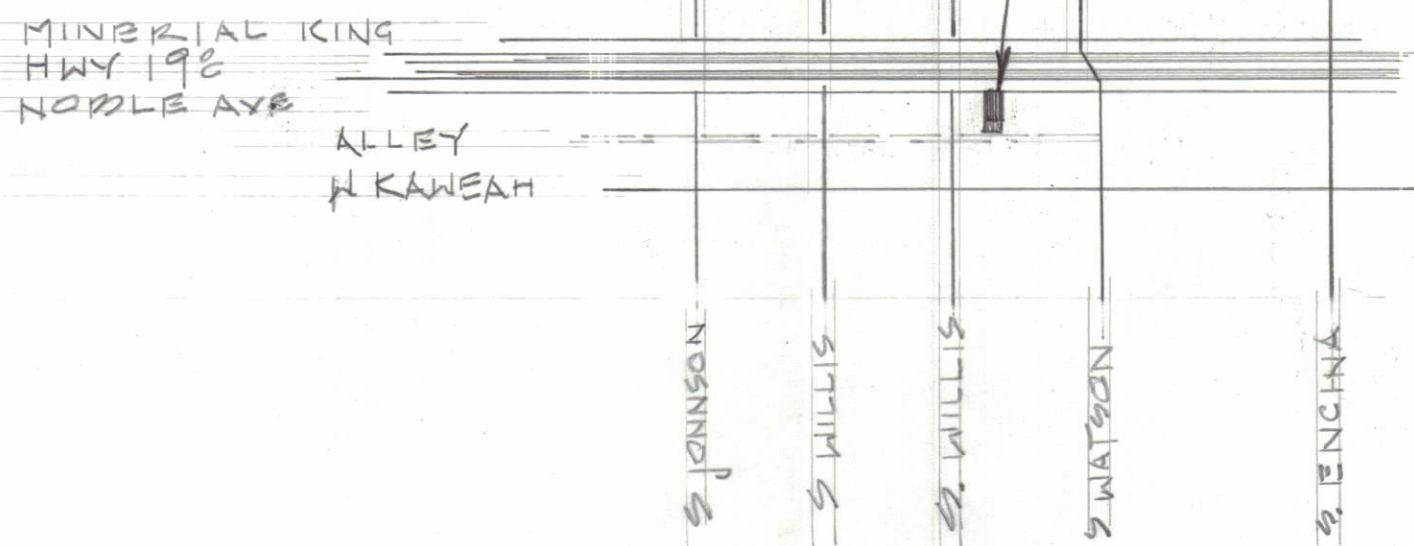
Any questions or concerns please call:

- Dr Laurie Hagopian Dresser (559) 972-4407
- RN Merlie Em Bui (559) 730-6968



SITE PLAN
 1" = 20'-0"

ZONE O-C
 BUILDING SQ FT 1910 #
 ADDRESS 523 W NOBLE AVE
 EXIST 4 STALLS
 THIS BLDG IS AN EXISTG OFFICE



L. LEWIS ARCHITECT

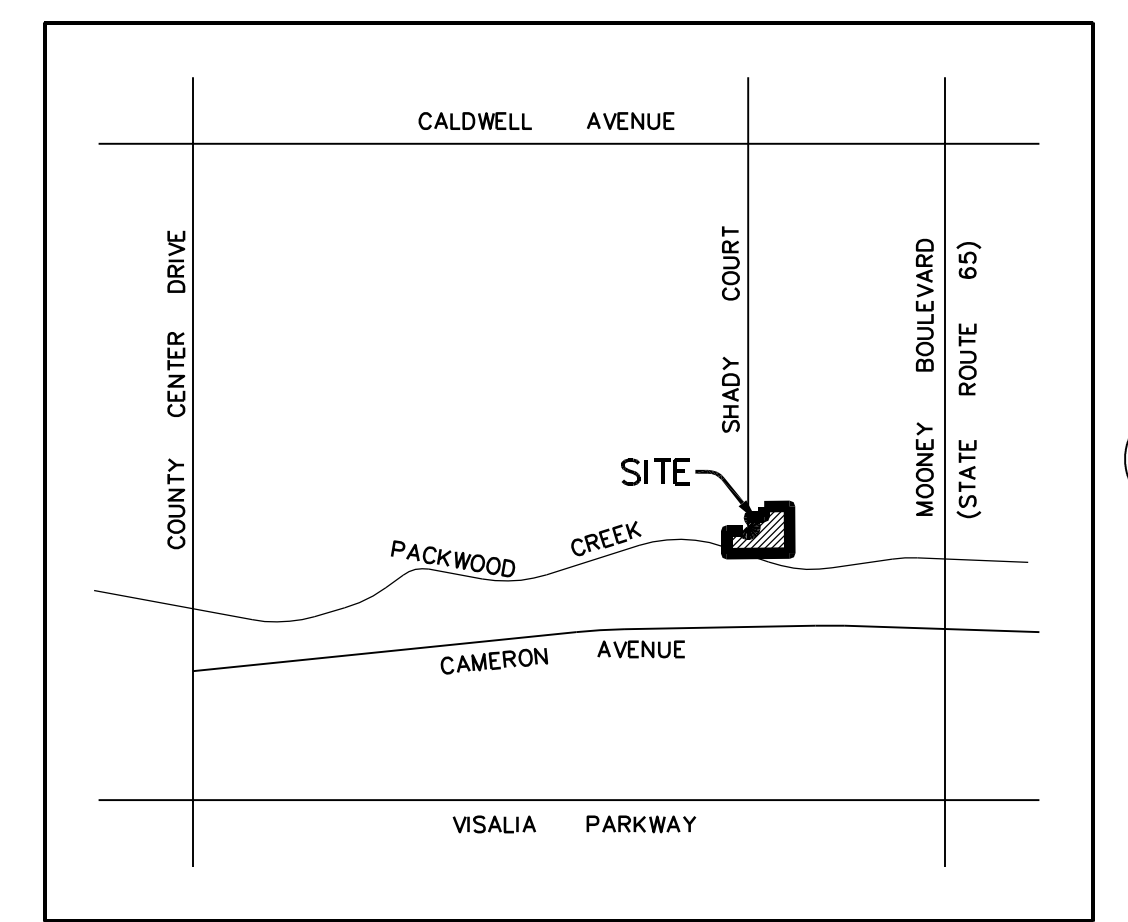
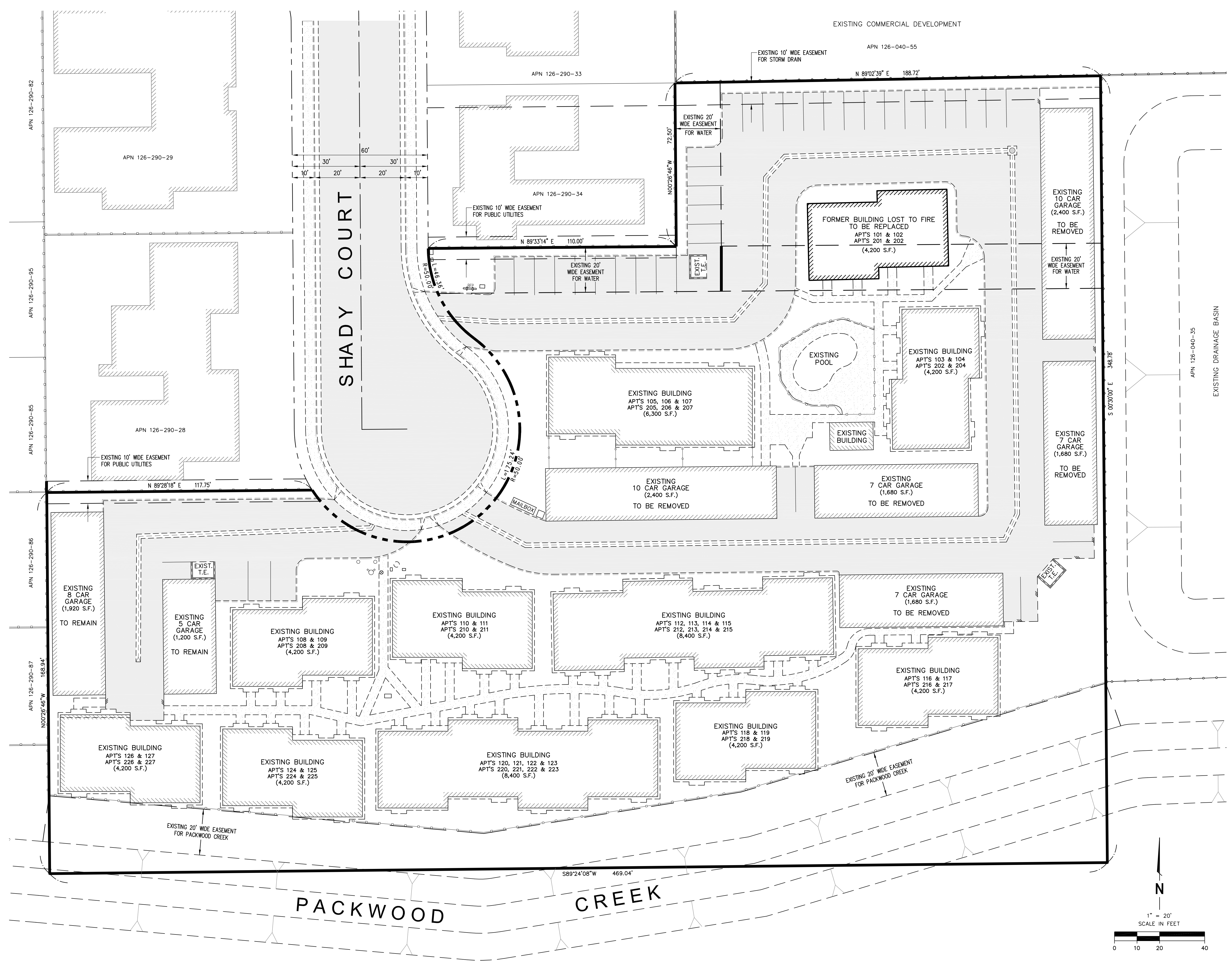
SHEET NO

JOB No:
 DATE:
 DRAWN BY:

ARCHITECTURE	PLANNING	INTERIORS
820 W. CENTER	VISALIA CA. 93291	(559) 733-8399

DELTA:	DATE:

Title: A PROPOSED MEDICAL SPA 523 W NOBLE AVE



VICINITY MAP
NOT TO SCALE

LEGEND:

- SUBJECT SITE PROPERTY LINE
- - - EXISTING PROPERTY LINE
- · - · - SUBJECT SITE RIGHT-OF-WAY LINE
- · - · - EXISTING RIGHT-OF-WAY LINE
- - - EXISTING CENTER LINE
- · - · - EXISTING CURB & GUTTER
- · - · - EXISTING VALLEY GUTTER
- · - · - EXISTING EDGE OF PAVEMENT
- · - · - EXISTING CHAINLINK FENCE
- · - · - EXISTING WROUGHT IRON FENCE OR WOOD FENCE
- · - · - EXISTING CMU WALL
- · - · - EXISTING SEWER MAIN, SIZE NOTED
- · - · - EXISTING WATER MAIN, SIZE NOTED
- · - · - EXISTING STORM DRAIN LINE, SIZE NOTED
- ⊙ EXISTING SEWER MANHOLE
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING WATER METER
- ⊙ EXISTING STORM DRAIN MANHOLE
- ⊙ EXISTING STORM DRAIN INLET
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING STORM DRAIN INLET
- ⊙ EXISTING STREET LIGHT
- ▭ EXISTING BUILDING FOOTPRINT
- ▭ EXISTING A.C. PAVEMENT
- ▭ EXISTING CONCRETE

OWNER/APPLICANT:

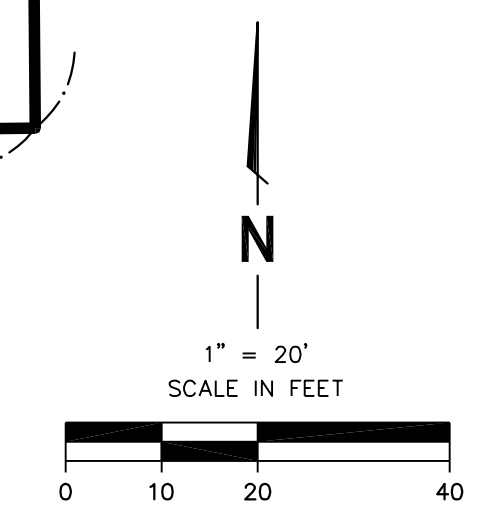
MAPLEWOOD-DROWN LLC
P.O. BOX 488
YOSEMITE NATIONAL PARK, CA 95389
CONTACT: DANIEL DROWN
(808) 295-7840

PROJECT INFORMATION:

ZONING:	R-M-3 MULTIFAMILY RESIDENTIAL
GENERAL PLAN DESIGNATION:	HIGH DENSITY RESIDENTIAL
ADDRESS:	3940 SOUTH SHADY COURT - VISALIA, CA 93277
APN:	126-290-35
LOT AREA:	120,753 SQ.FT. (2.77 AC)
NUMBER OF UNITS:	54 EXISTING UNITS (BEFORE FIRE DAMAGE)
NUMBER OF UNITS:	50 EXISTING UNITS & 12 NEW UNITS (PROPOSED)
UNIT DENSITY:	19.5 UNITS / ACRE (BEFORE FIRE DAMAGE)
UNIT DENSITY:	22.4 UNITS / ACRE (PROPOSED)
PARKING STALL COUNT:	78 STALLS: 5 COMPACT, 32 STANDARD & 41 GARAGE STALLS (BEFORE FIRE DAMAGE)
PARKING STALL COUNT:	91 STALLS: 39 COMPACT & 32 STANDARD STALLS (PROPOSED)
PARKING STALL DENSITY:	1.44 STALLS / UNIT (BEFORE FIRE DAMAGE)
PARKING STALL DENSITY:	1.47 STALLS / UNIT (PROPOSED)

LEGAL DESCRIPTION:

LOT 4 MOONET CALDWELL SUBDIVISION UNIT NO 2, IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 28, PAGE 100 PF MAPS, TULARE COUNTY RECORDS



Call Two Working Days
Before You Dig!



WHERE UNDERGROUND AND SURFACE STRUCTURES ARE SHOWN ON THE PLANS, THE LOCATIONS, DEPTH AND DIMENSIONS OF STRUCTURES ARE BELIEVED TO BE REASONABLY CORRECT, BUT ARE NOT GUARANTEED. SUCH STRUCTURES ARE SHOWN FOR THE INFORMATION OF THE CONTRACTOR, BUT INFORMATION SO GIVEN IS NOT TO BE CONSTRUED AS A REPRESENTATION THAT SUCH STRUCTURES WILL IN ALL CASES BE FOUND WHERE SHOWN, OR THAT THEY REPRESENT ALL THE STRUCTURES WHICH MAY BE ENCOUNTERED.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

M.A.R. N.L.C.
These drawings and all other project documents are the property of M.A.R. N.L.C. and are to be used only for the project and site identified herein. These plans are not to be reproduced, changed or altered in any way without the written consent of M.A.R. N.L.C. The engineer and architect shall be assigned to a third party without the written consent of M.A.R. N.L.C. Any reproduction of these plans for a third party, without the written consent of M.A.R. N.L.C., shall bear the cost of Charles A. Haran's legal fees associated with defending any attorney's fees rights.

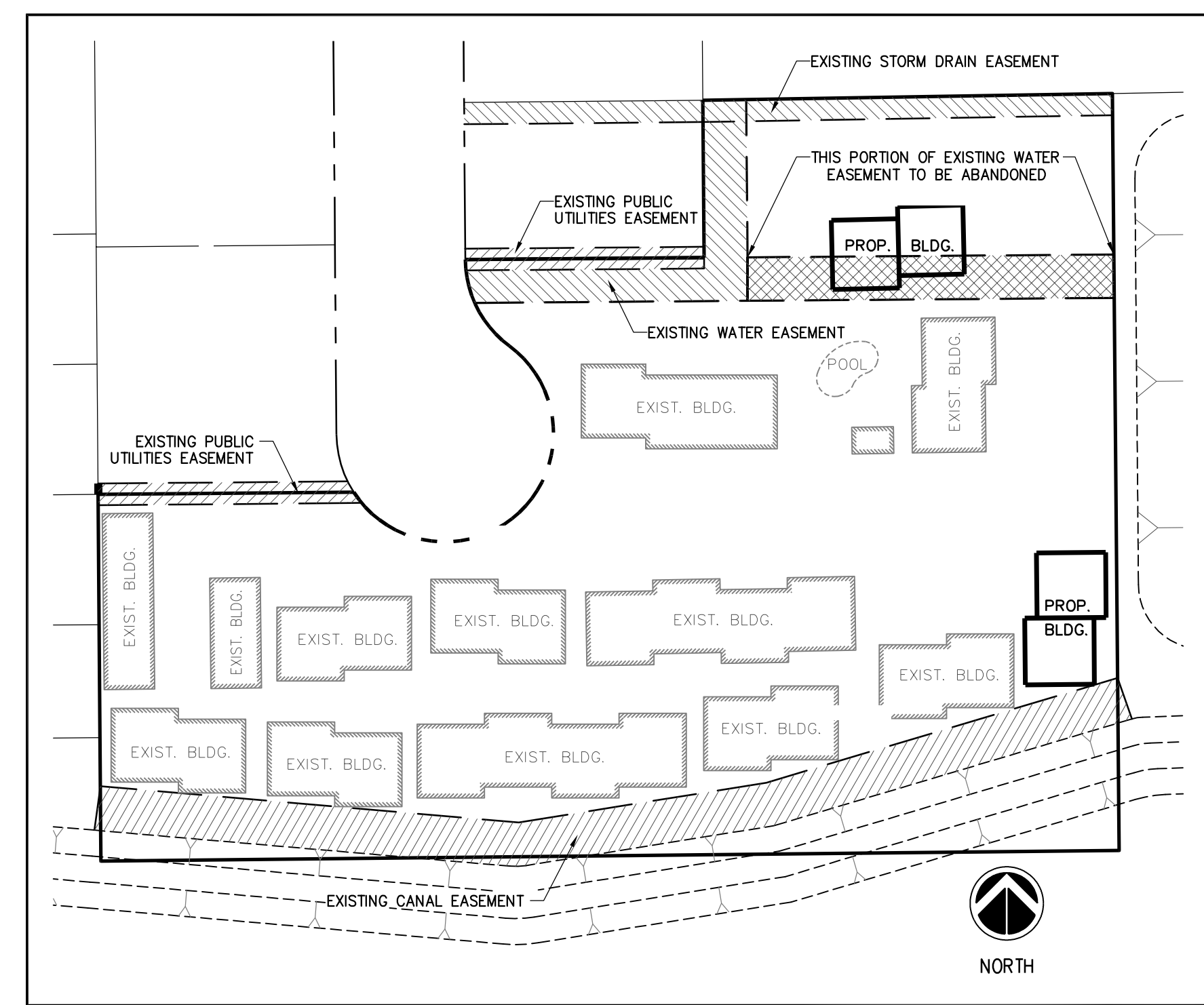
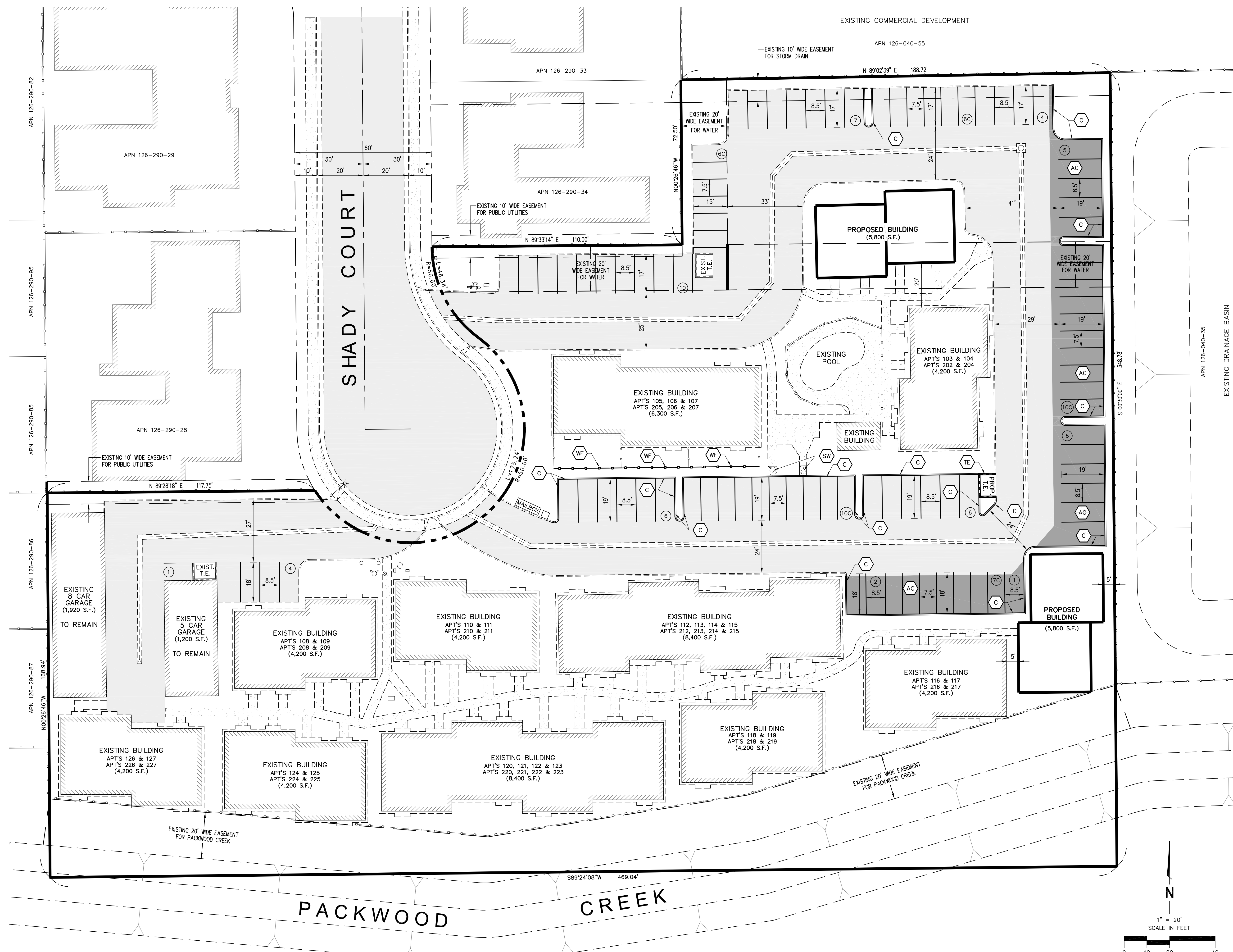
CHARLES A. HARAN
CONSULTING CIVIL ENGINEER
8887 NORTH BAKER AVENUE, FRESNO, CALIFORNIA 93720
(559) 824-3137 OFFICE

MAPLEWOOD APARTMENTS
3940 SOUTH SHADY COURT
VISALIA, CA 93277

REVISIONS:	BY:
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EXISTING SITE PLAN

SHEET:



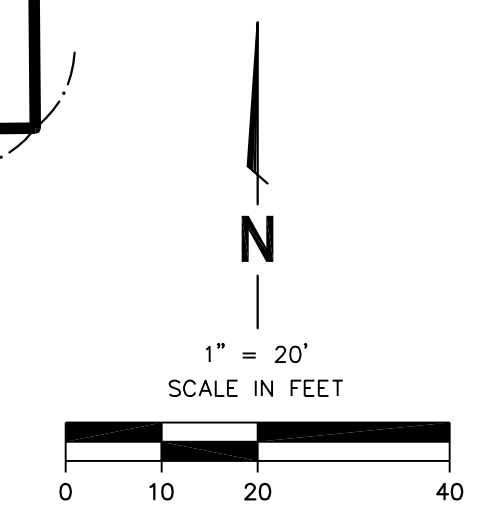
ON-SITE EASEMENT MAP
SCALE: 1" = 50'

LEGEND:

- PROPOSED CONCRETE CURB
- PROPOSED WOOD FENCE
- PROPOSED CMU WALL
- PROPOSED A.C. PAVEMENT
- PROPOSED CONCRETE
- EXISTING EASEMENT TO REMAIN
- EXISTING EASEMENT TO BE ABANDONED
- PARKING STALL COUNT

SITE PLAN KEYNOTES

- AC PROPOSED A.C. PAVEMENT: (2"AC/4"AB/6"CNS)
- C PROPOSED 6" HIGH CONCRETE CURB PER CITY OF VISALIA STD. DWG. C-4.
- PS PROPOSED PARKING STALL (SIZE AS NOTED AND STRIPING PER CITY PARKING MANUAL).
- SW PROPOSED CONCRETE SIDEWALK PER CITY OF VISALIA STD. DWG. C-9.
- TE PROPOSED RELOCATED TRASH ENCLOSURE PER CITY OF VISALIA STD. DWG. R-1.
- W2 PROPOSED 6'-0" HIGH WOOD FENCE (MATCH EXISTING WOOD FENCE STYLE).



M.A.R. N.L.C.
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CHARLES A. HARAN
CONSULTING CIVIL ENGINEER
8887 NORTH BACKER AVENUE, FRESNO, CALIFORNIA 93720
(559) 824-3137 OFFICE

MAPLEWOOD APARTMENTS
3940 SOUTH SHADY COURT
VISALIA, CA 93277

REVISIONS:	BY:

DRAWN: C.H.
CHECKED: C.H.
SCALE: AS SHOWN
JOB NO: 22-110
DATE: 06-02-22

TITLE:
PROPOSED SITE PLAN

SHEET:

Call Two Working Days Before You Dig!



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CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Maplewood Apartments Date: May 27, 2022

Project Description: Replace 2-story 4 unit building (lost to fire) with new 3-story 6 unit building & construct separate new 3-story 6 unit building in southeast corner of property.

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: Maplewood Drowns, LLC

Applicant(s) Name: Daniel Drowns

Project Address/Location: 3940 South Shady Court - Visalia, CA 93277

Assessor Parcel Number: 1 2 6 - 2 9 0 - ~~3 2 8~~ (035) 11,604 s.f. total

Parcel Size (Acreage or Square Feet): 2.77 acres Building or Suite Square Footage: 5,802 s.f. per building

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ 2,000,000

Describe All Proposed Building Modifications: 1) REPLACED FIRE DAMAGED TWO STORY BLDG WITH A THREE STORY BLDG. 2) ADD NEW (3) STORY BLDG & MODIFY THE EXISTING PARKING WITH MORE COVERED PARKING.

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 06/07/2022

SPR Agenda: 06/15/2022 Item No. _____

Zone: R-M-3 SPR No. 22-100

Historic District: Yes No

Flood Zone: X AE X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Multi-Family Residential

Proposed Building Use: Multi-Family Residential

Proposed Hours of Operation: n/a

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing _____ Proposed _____

Number of Customers Per Day (Estimated): Existing _____ Proposed _____

Predicted Peak Operating Hour: n/a

Describe Any Truck Delivery Schedule & Operations: n/a

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): n/a

Describe Any Special Events Planned for the Facility: n/a

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇓ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇓ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇓ Site plan shall provide for and indicate all of the following:
 - North arrow
 - Existing & proposed structures
 - Loading/unloading areas
 - All existing & proposed site features
 - Adjacent street names
 - Accessible path of travel from right of way
 - Site dimensions, including building
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 - Location and width of drive approaches to site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed landscaping
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
 - Parking stalls (include ADA)

Applicant Information (Final comments will be mailed to the name and address provided below)

REQUIRED SIGNATURE

Name: Daniel Drowns Signature of Owner or Authorized Agent*

Address: P.O. Box 488

City, State, Zip: YOSEMITE, CA 95389 Owner DocuSigned by: Percy L Williams Date: 5/27/2022

Phone: (808) 295-7840 Authorized Agent* Date: _____

Email: danielhdrowns@gmail.com

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, DANIEL H. DROWNS, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

126-290-35

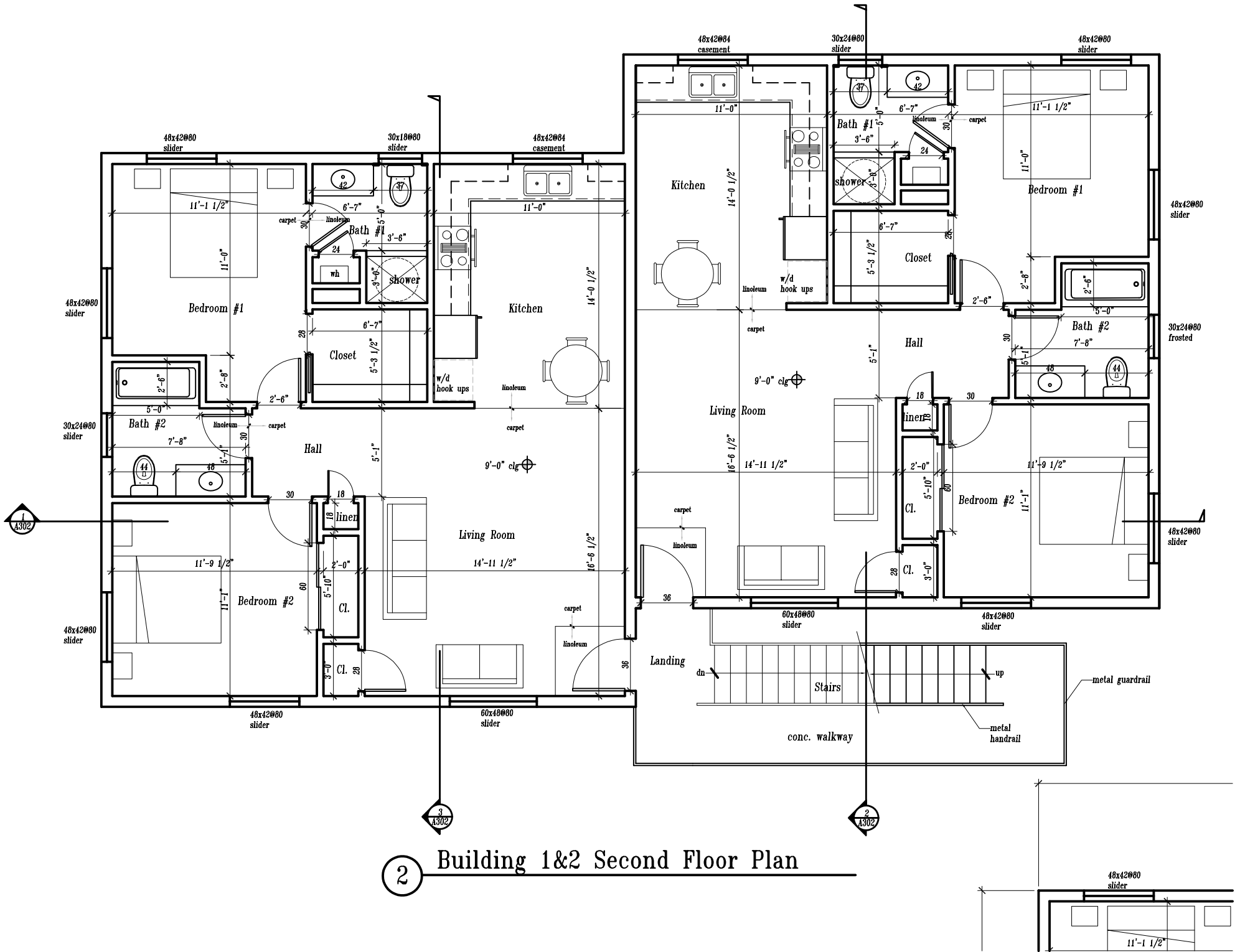
AGENT:

I designate PERCY L. WILLIAMS, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to REPLACE FIRE DAMAGED UNITS & CONSTRUCTION OF NEW UNITS relative to the property mentioned herein.

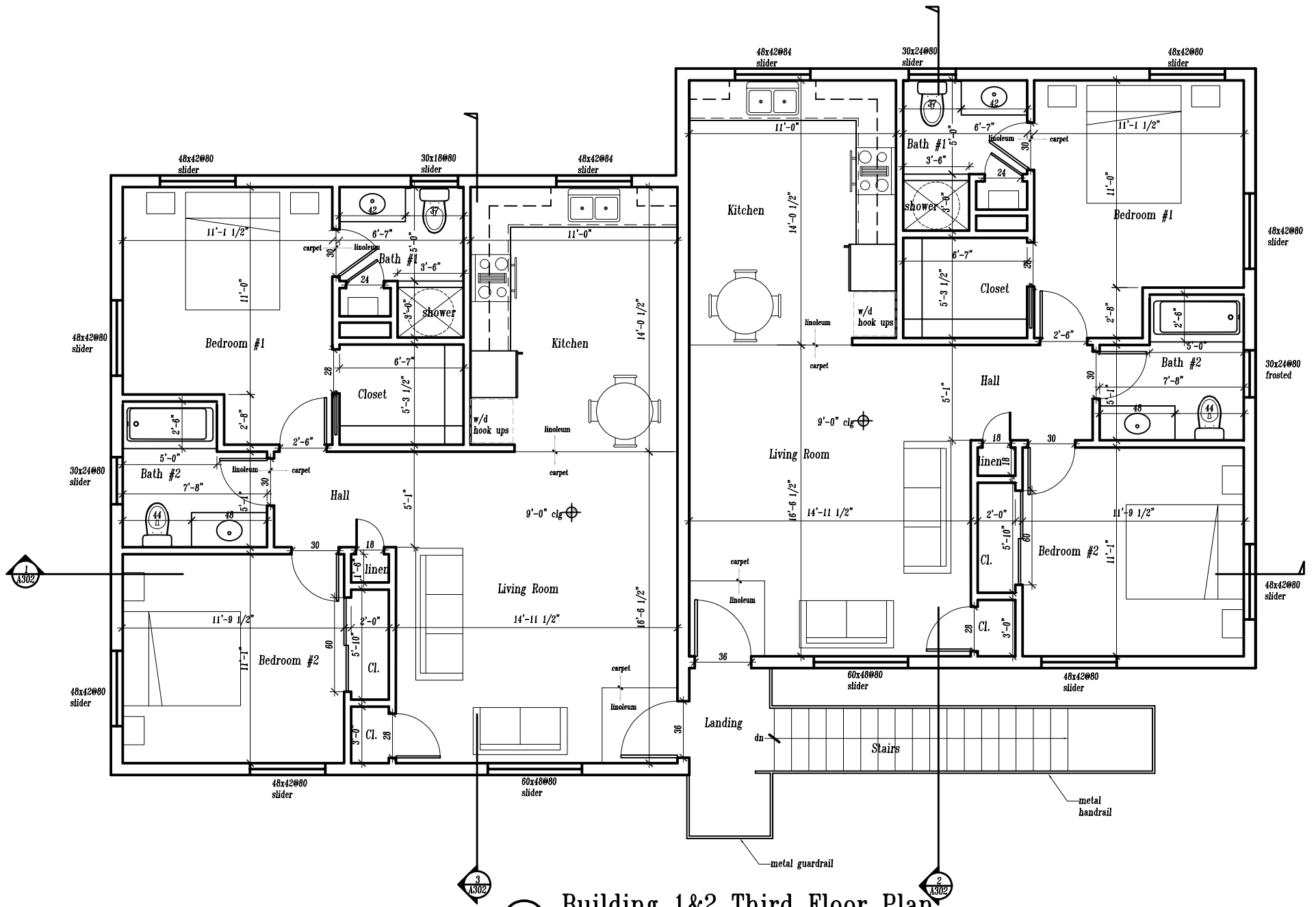
I declare under penalty of perjury the foregoing is true and correct.

Executed this 27th day of MAY, 2022

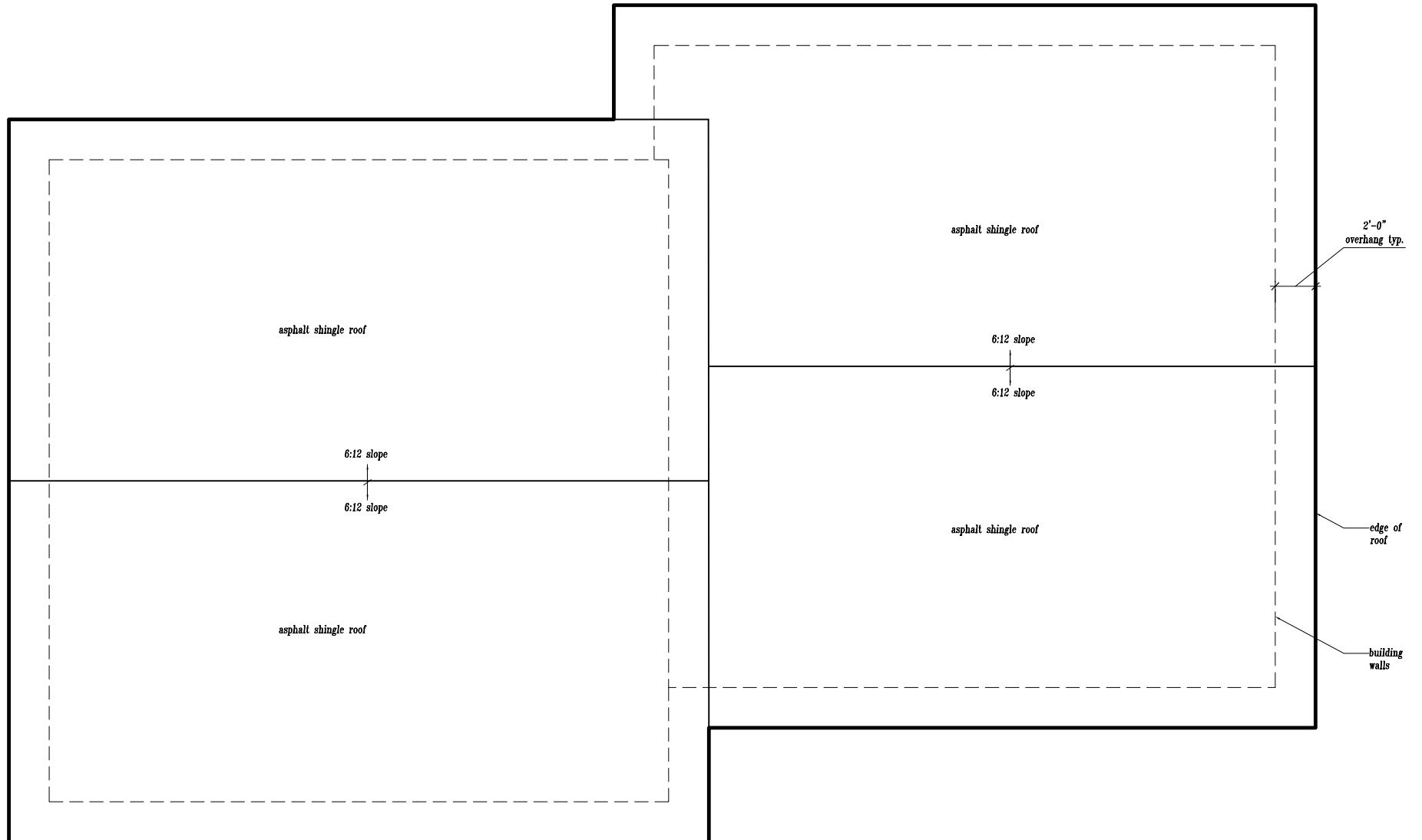
OWNER	AGENT
DocuSigned by: <u>Daniel Drowns</u>	DocuSigned by: <u>Percy L Williams</u>
Signature of Owner <u>P.O. BOX 488, YOSEMITE, CA. 95389</u>	Signature of Agent <u>5067 N. MARIPOSA ST.</u>
Owner Mailing Address	Agent Mailing Address <u>SUITE 102, FRESNO, CA. 93710</u>
Owner Phone Number <u>808-295-7840</u>	Agent Phone Number <u>(559) 288-7400</u>



2 Building 1&2 Second Floor Plan



3 Building 1&2 Third Floor Plan



④ Building 1&2 Roof Plan



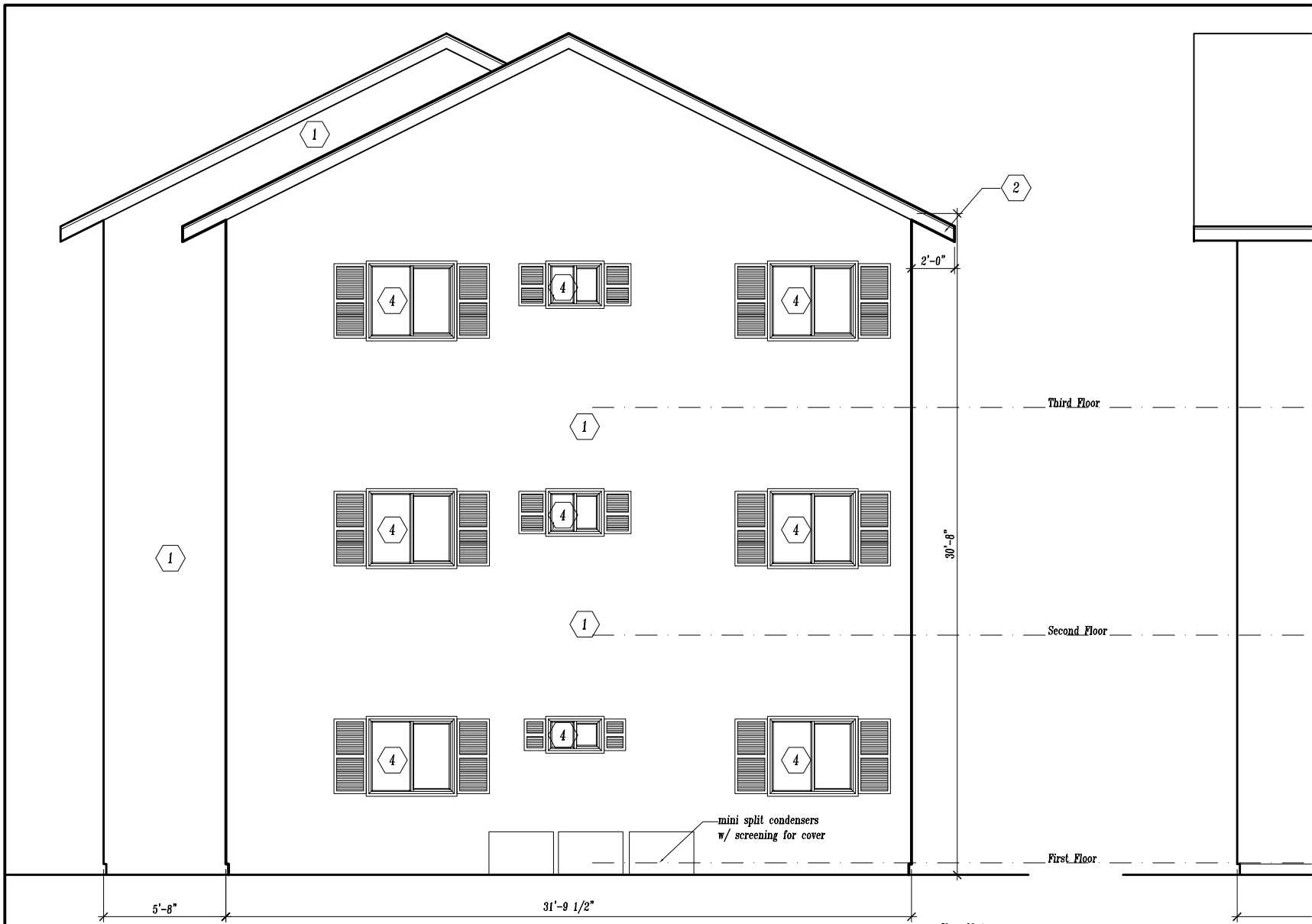
① Building 1&2 Front Elevation

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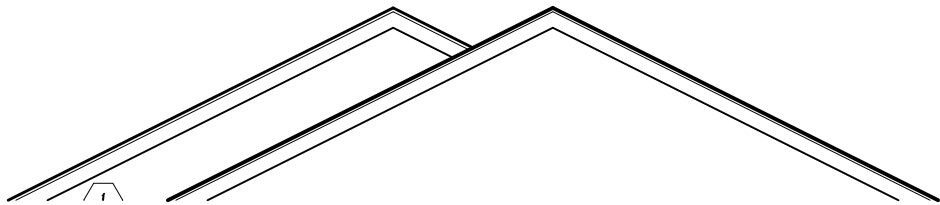
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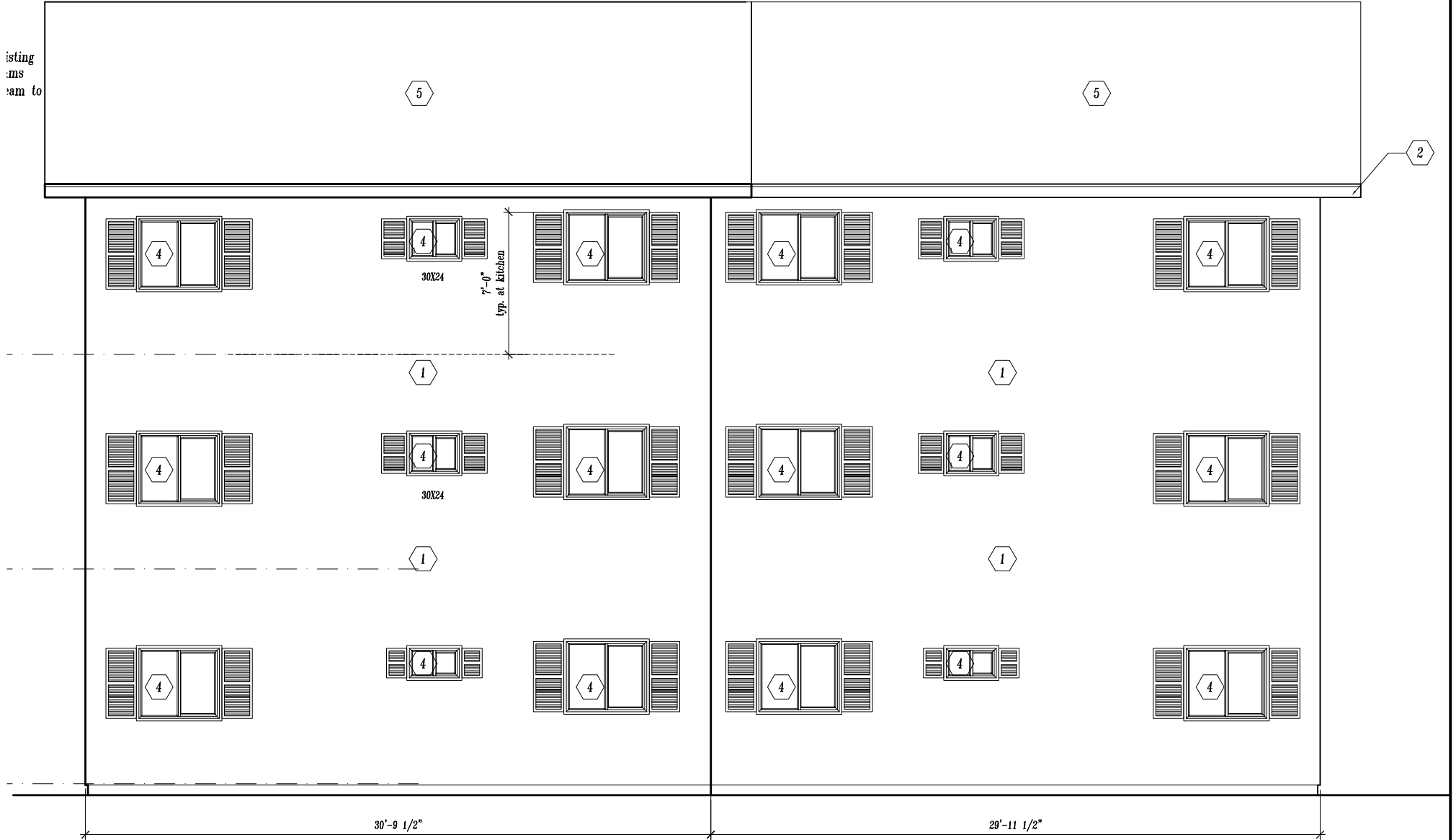
② Building 1&2 Left Elevation

- Key Notes
1. Painted stucco
 2. Painted wood trim, with painted soffit, painted metal gutters and downspouts
 3. Painted metal door with painted wood trim
 4. Double glaze window with painted wood trim, and painted shutters
 5. Asphalt shingle roof
 6. Downward directed light
 7. Painted metal railing, similar to existing
 8. Concrete path on painted metal beams
 9. Concrete stairs w/ painted metal beam to match existing



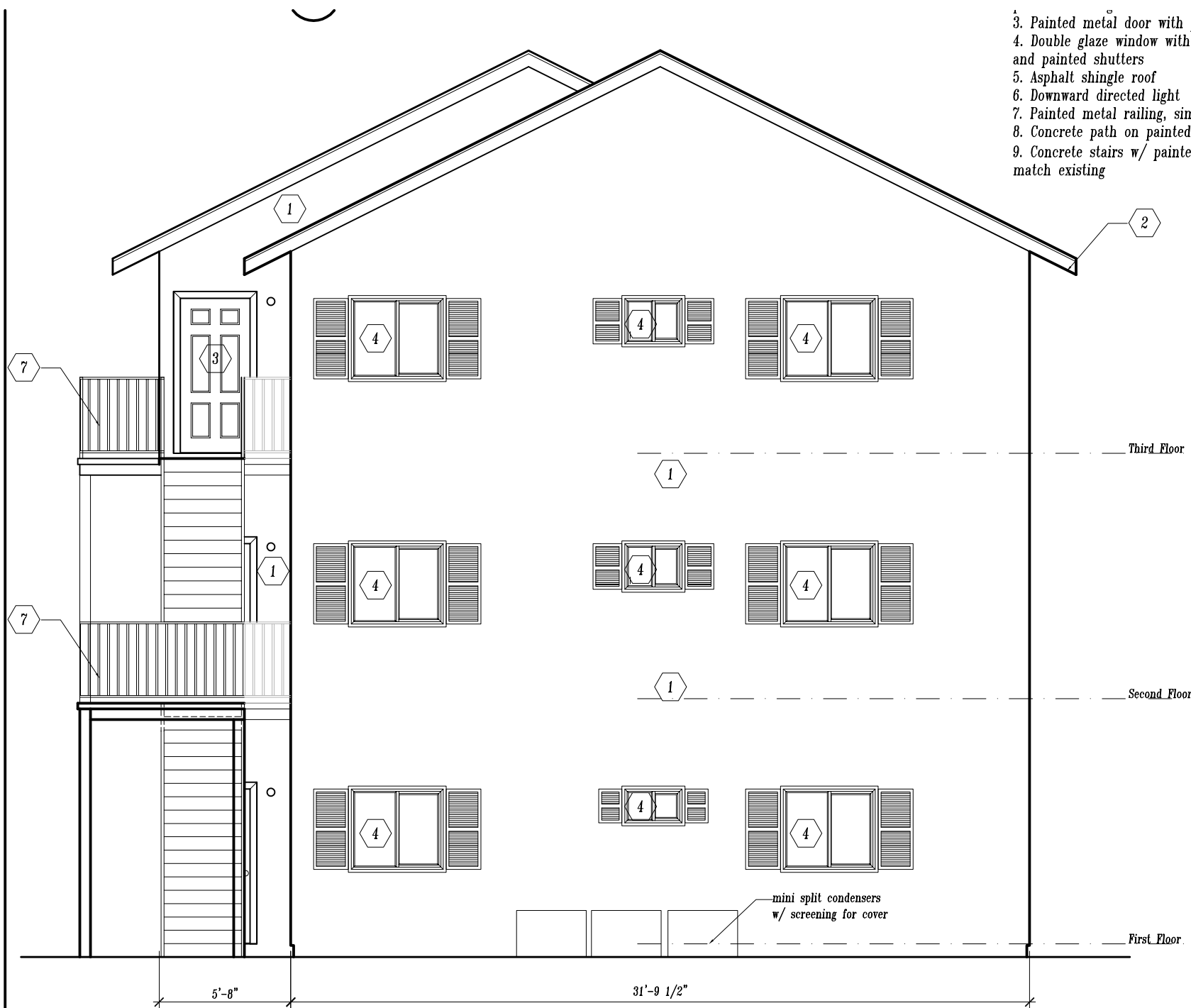
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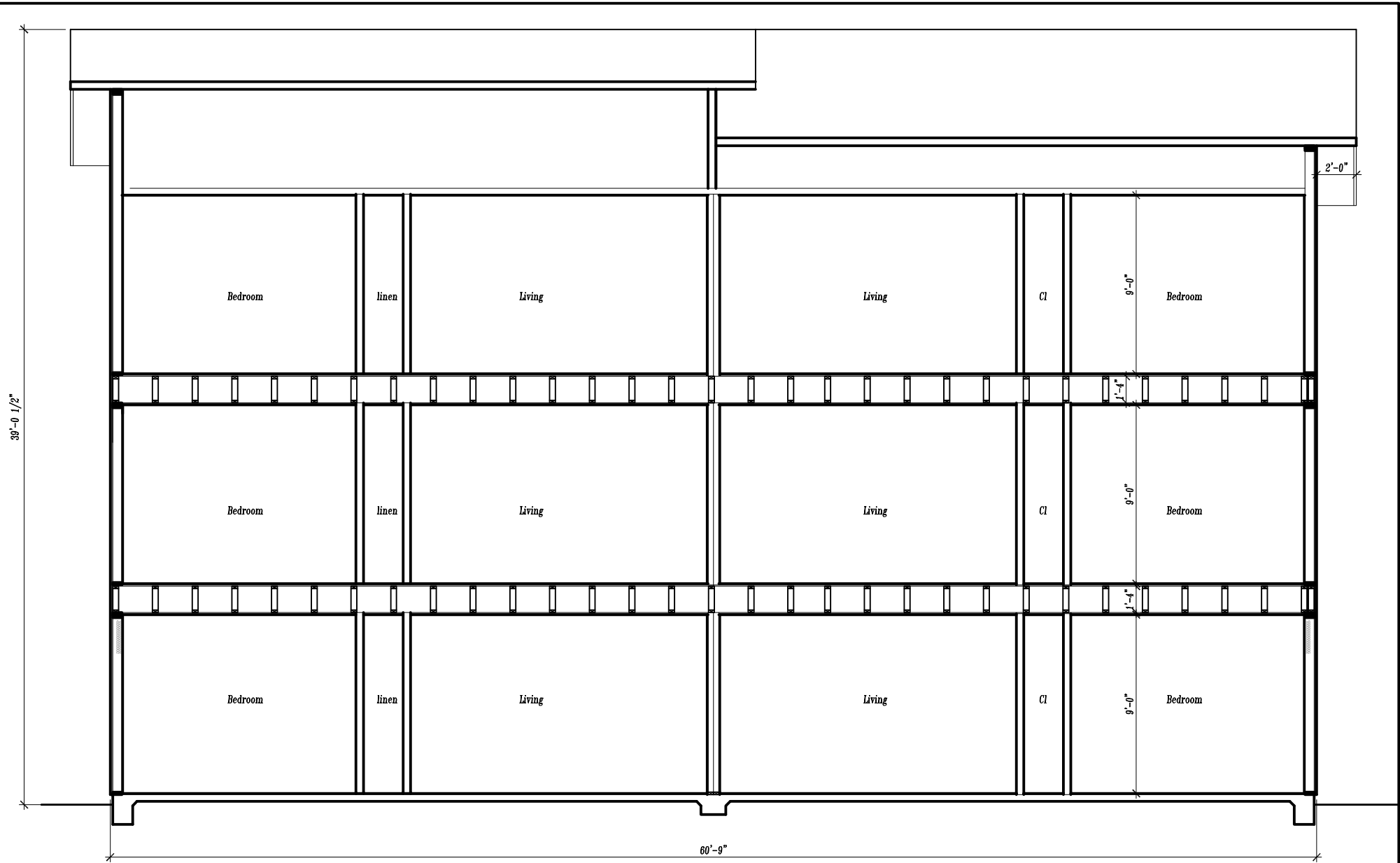


Building 1&2 Rear Elevation

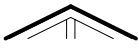
- 3. Painted metal door with 1
- 4. Double glaze window with and painted shutters
- 5. Asphalt shingle roof
- 6. Downward directed light
- 7. Painted metal railing, sim
- 8. Concrete path on painted
- 9. Concrete stairs w/ paint; match existing

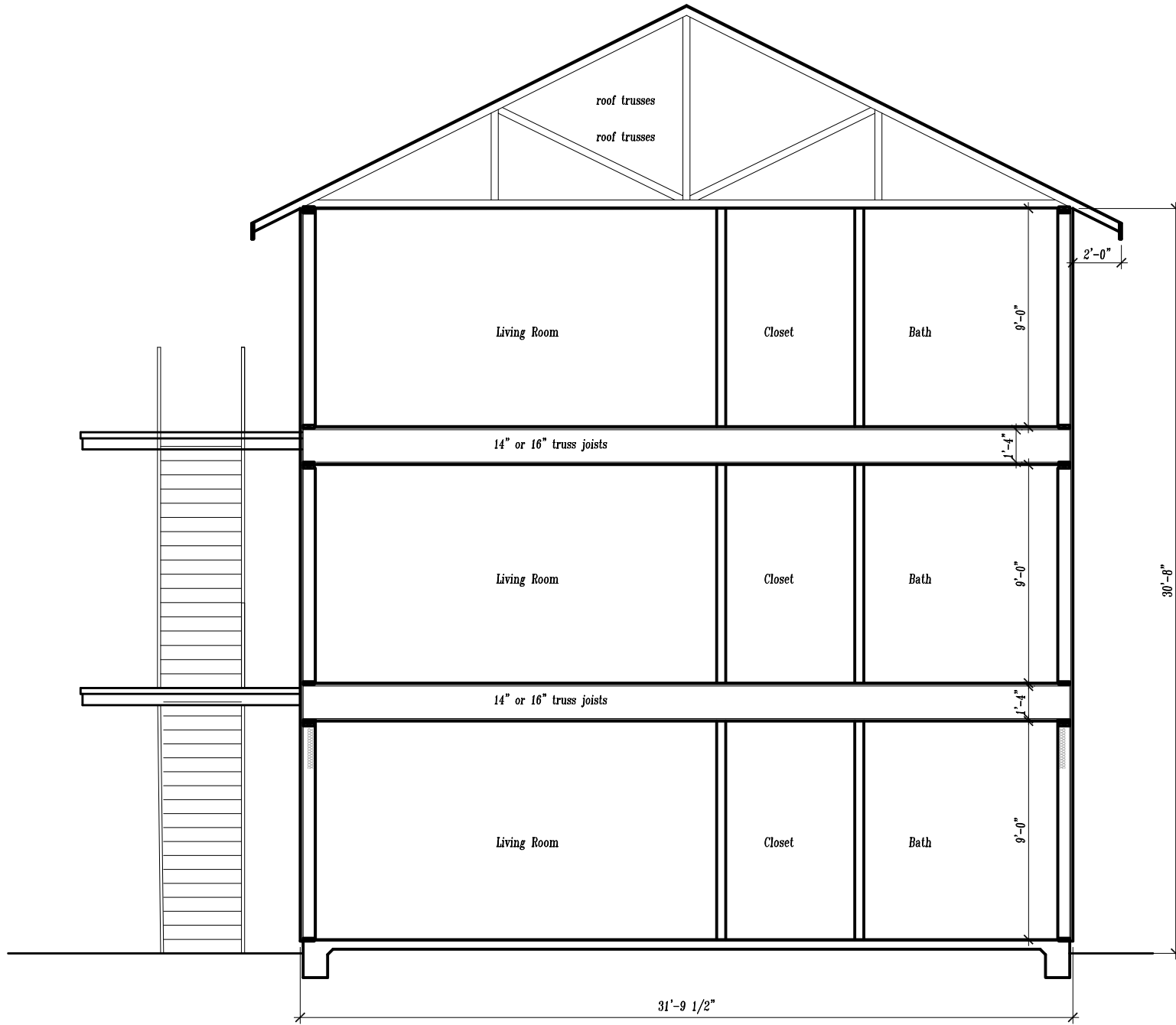


4 Building 1&2 Right Elevation



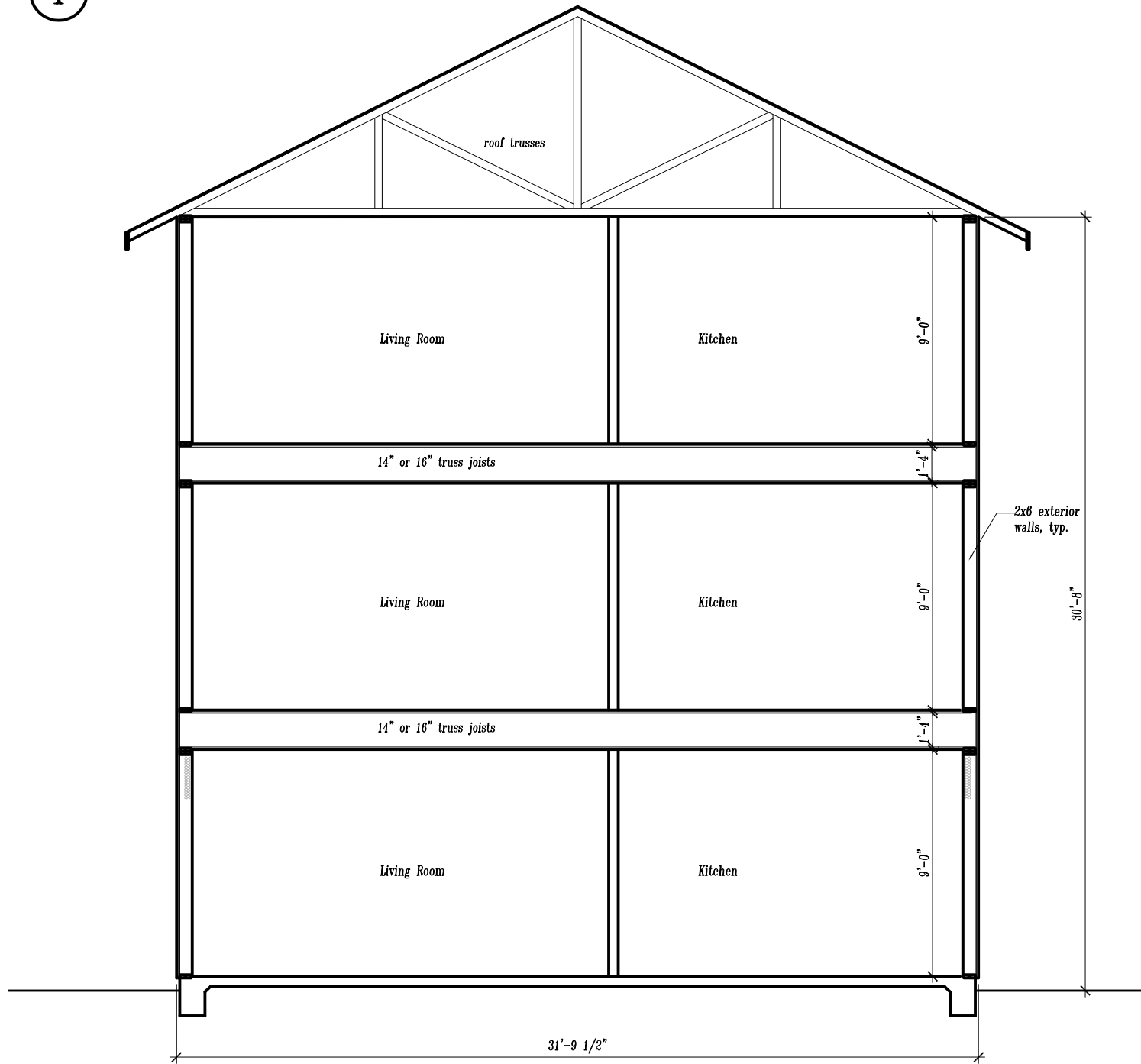
① Building 1&2 Long Section





2 Building 1&2 Short Section At Stairs

1



3

Building 1&2 Short Section Kitchen