

SITE PLAN REVIEW AGENDA

1/26/2022 - 9:00 A.M.

Conference Room #4

315 E. Acequia Avenue

ITEM NO: 1

SITE PLAN NO: 22EST-00000-00021

PROJECT TITLE: Farmer Boys

DESCRIPTION: Construct a New Ground-up Farmer Boys Restaurant with Drive-thru, Parking, Landscaping, and Trash Enclosure as Required Previously Approved Under CUP 2020-30 (CR/X)

APPLICANT: Santos M. Lacuesta

OWNER:

APN: 000014297

000014678

LOCATION: Southeast Corner of Mooney Blvd and Visalia Parkway, Parcel 4

ITEM NO: 2 Resubmit

SITE PLAN NO: SPR21224

PROJECT TITLE: Pearl Woods

DESCRIPTION: Subdivision to create 274 single-family residential lots and a 9.2 acre combination General Plan - designated Neighborhood Park and Reginal Basin on 67.49 acre parcel in southeast Visalia. (X)

APPLICANT: Timothy Odom

OWNER: CLEMENTS KEVIN

APN: 127030038

LOCATION: Cherry Ave & McAuliff St (East of S. Lovers Lane)

ITEM NO: 3

SITE PLAN NO: SPR22012

PROJECT TITLE: Pinnacle Pre Mix LLC

DESCRIPTION: Addition of 17500 sf Warehouse (IL)

APPLICANT: Danny S. Freitas

OWNER: FREITAS RENTALS 3 LP

APN: 077200035

LOCATION: 7019 W SUNNYVIEW AVE

ITEM NO: 4

SITE PLAN NO: SPR22013

PROJECT TITLE: TownePlace Suites by Marriott

DESCRIPTION: 101 Guestrooms, 4-Story Hotel (C-MU)

APPLICANT: Jacob Cornejo

OWNER: TC INVESTMENTS VISALIA LLC

APN: 000014685

LOCATION: West Cypress Avenue

ITEM NO: 5

SITE PLAN NO: SPR22014

PROJECT TITLE: Rockwood Estates

DESCRIPTION: Subdivision (R-1-5)

APPLICANT: Hialys Sous

OWNER: RYZEN DEVELOPMENT INC

APN: 091040025

091333044

LOCATION: Riggins & Dinuba

AFTER REVIEW OF REGULAR AGENDA ITEMS, THE COMMITTEE WILL BE AVAILABLE TO REVIEW OFF-AGENDA ITEMS FOR INFORMAL REVIEW. THE COMMITTEE WILL BE AVAILABLE TO ANSWER QUESTIONS AT THAT TIME.

SITE PLAN REVIEW AGENDA

1/26/2022 - 9:00 A.M.

Conference Room #4

315 E. Acequia Avenue

ITEM NO: 6

SITE PLAN NO: SPR22015

PROJECT TITLE: Dark Sunday

DESCRIPTION: Tattoo Studio: Body Art in the form of Tattoos (C-MU)

APPLICANT: Layman Whitlatch

OWNER: GOLDEN STATE REALTY ASSOCIATION

APN: 096301022

LOCATION: 1920 W PRINCETON AVE

ITEM NO: 7

SITE PLAN NO: SPR22016

PROJECT TITLE: Component Coffee Lab

DESCRIPTION: Roastery for Coffee Lab and Wholesale Customers (CMU)

APPLICANT: Greg Amend

OWNER: SHEPARD JANE HELEN CROSS

APN: 094231007

LOCATION: 620 E MAIN ST

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Farmer Boys Date: December 29, 2021

Project Description: Construct a new ground-up Farmer Boys Restaurant with drive-thru, parking, landscaping, and trash enclosure as required previously approved under CUP 2020-30

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: Southeast corner of Mooney Blvd. and Visalia Parkway, Parcel 4

Applicant(s) Name: HHI Inc. / Santos M. Lacuesta

Project Address/Location: Southeast corner of Mooney Blvd. and Visalia Parkway, Parcel 4

Assessor Parcel Number: 1 2 6 - 0 8 0 - 0 2 5 (056)

Parcel Size (Acreage or Square Feet): 1.08 acres Building or Suite Square Footage: 3,300 SF

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ 950,000

Describe All Proposed Building Modifications: Construct a new ground-up Farmer Boys Restaurant with drive-thru, parking, landscaping, and trash enclosure as required

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: _____

SPR Agenda: _____ Item No. _____

Zone: _____ SPR No. _____

Historic District: Yes No

Flood Zone: X AE X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Existing agriculture land recently entitled

Proposed Building Use: new fast casual drive-thru restaurant

Proposed Hours of Operation: 6am-11pm

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing _____ Proposed 18 (9 per shift)

Number of Customers Per Day (Estimated): Existing _____ Proposed +/- 300

Predicted Peak Operating Hour: 11am-1pm

Describe Any Truck Delivery Schedule & Operations: Truck deliveries occur after operating hours

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): Normal dine in or drive-thru restaurant operations.

Describe Any Special Events Planned for the Facility: None

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - All existing & proposed site features
 - Site dimensions, including building
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
 - Adjacent street names
 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Santos M. Lacuesta</u> Address: <u>3800 Orange Street Suite 250</u> City, State, Zip: <u>Riverside, CA 92501</u> Phone: <u>(951) 782-8255</u> Email: <u>slacuesta@farmerboys.com</u>	Signature of Owner or Authorized Agent* <u><i>[Signature]</i></u> Owner	<u>1/6/2022</u> Date
Authorized Agent* _____ Date		

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, _____, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

AGENT:

I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20____.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number

PROJECT SUMMARY

The project site is located on the southeast corner of W. Visalia Parkway and S. Mooney Boulevard (APN: 126-080-025, 056) parcel 4. The site is zoned C-R (Regional Commercial), which is consistent with the General Plan Land Use Designation of Regional Commercial. In accordance with the approved CUP No. 2020-30, we are submitting a site plan for review.

The adjusted site layout is in substantial conformance with the approved CUP. The site will provide 45 parking stalls for our approximately 3,300 SF restaurant. The parking layout accommodates traffic flow to the drive-thru and around the site parking field. There is ample parking for both customers and employees throughout the day. The parking field is also oriented to align with the overall shopping center parking and drive aisles. The drive-thru will be screened with landscape hedges as necessary. The site accommodates ADA path of travel from the public right of way to the building entrance and adjacent parcels as necessary.

Farmer Boys will operate Sunday through Saturday from 6am to 11pm. It will be open to serve Breakfast, Lunch, and Dinner. The interior dining room will accommodate approximately 80 guest and a dining patio for approximately 28 guests. It is estimated that the restaurant would require up to 18 employees in varying shifts with approximately 4-6 employees at any given time.

Farmer Boys is a top 100 fast casual drive-thru restaurant ready to serve the city of Visalia and surrounding areas.

“Farmer Boys was founded in 1981 by five burger-loving brothers raised on a family farm. They grew up working the soil, and they have the calloused hands to prove it. They’re not just old school, they built the school. After 30+ years of serving award-winning burgers, hearty cooked-to-order breakfasts, huge, hand-chopped salads and tall, stacked sandwiches, they know one thing: farm fresh food will never go out of style.” (www.farmerboys.com)



OAKS MARKETPLACE MASTER CONDITIONAL USE PERMIT SITE PLAN

A PORTION OF LOT 2 OF SHANNON FANCH CENTRAL SUBDIVISION, RECORDED IN VOL. 40 OF MAPS, AT PAGE 89, TCR, LOCATED IN THE SE 1/4 OF SECTION 13, TOWNSHIP 18 SOUTH, 24 EAST, MDBAM, IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA

SITE DATA:

APN: 126-080-025, 056

ZONING (EXISTING): C-R REGIONAL COMMERCIAL
 ZONING (PROPOSED): C-R REGIONAL COMMERCIAL
 GENERAL PLAN (EXISTING): REGIONAL COMMERCIAL
 GENERAL PLAN (PROPOSED): REGIONAL COMMERCIAL

UTILITIES

SEWER SERVICE: CITY OF VISALIA
 WATER SERVICE: CITY OF VISALIA
 STORM SERVICE: CITY OF VISALIA
 GAS SERVICE: SOUTHERN CALIFORNIA GAS COMPANY

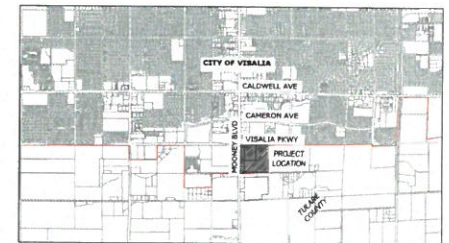
ELEC. SERVICE: SOUTHERN CALIFORNIA EDISON
 REFUSE SERVICE: CITY OF VISALIA
 TELEPHONE: SBC
 FLOOD ZONE: X

SETBACKS

FRONT (MOONEY BLVD): 20'
 SIDE (VISALIA PKWY & MIDVALLEY AVE): 10'
 REAR (EASTERN PROPERTY BOUNDARY): 15'

BUILDING AND PARKING

BUILDING TYPE	BUILDING SF	PARKING PROPOSED
GROCERY STORE	20,473 SF	111 SPACES
DRIVE-THRU RESTAURANT	19,354 SF	313 SPACES
SIT-DOWN RESTAURANT	18,000 SF	93 SPACES
CONVENIENCE STORE	4,800 SF	19 SPACES
CAR WASH	4,375 SF	14 SPACES
ANCHOR	105,500 SF	856 SPACES
PAD	42,200 SF	159 SPACES
TOTAL	214,702 SF	1,565 SPACES

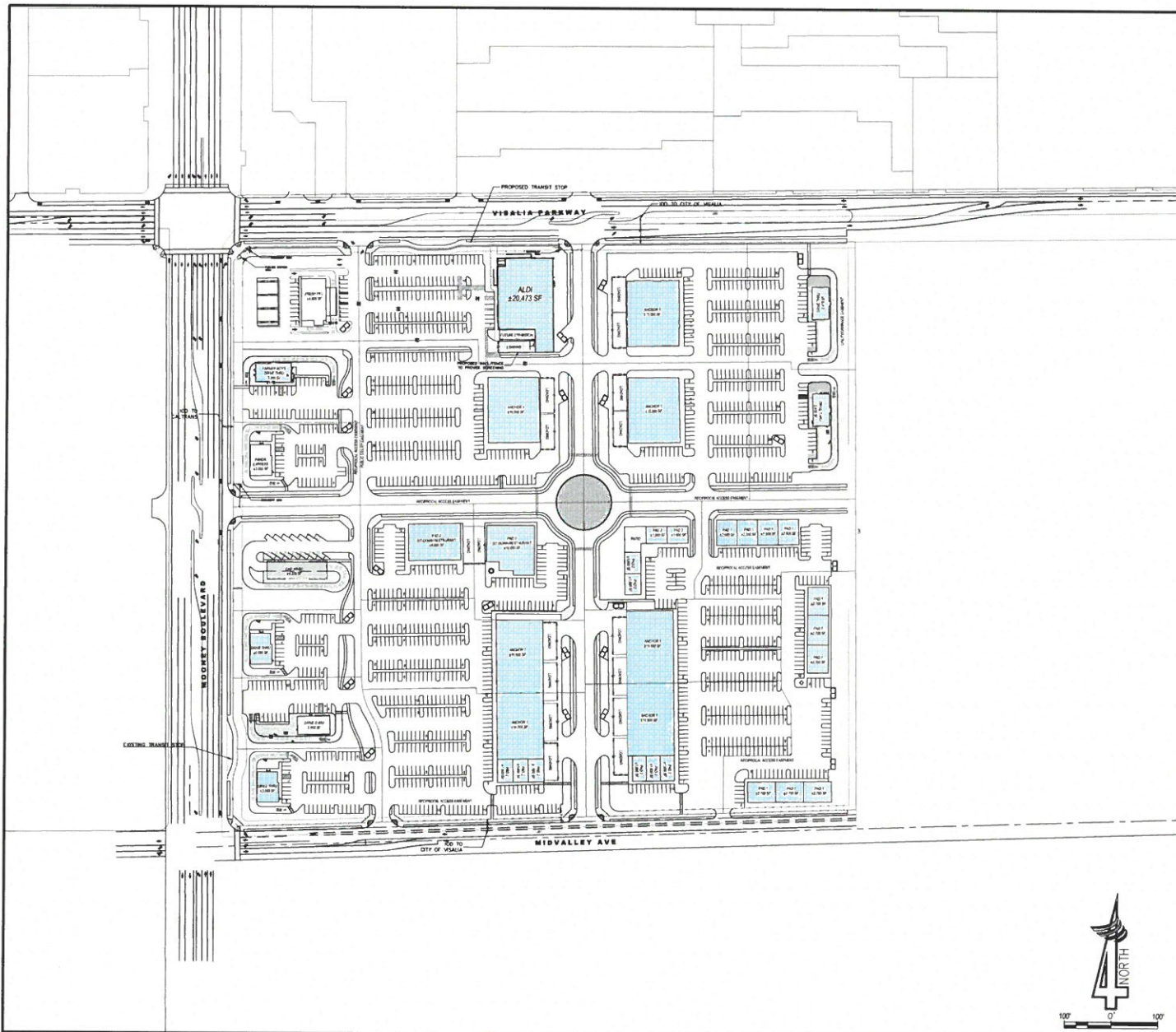


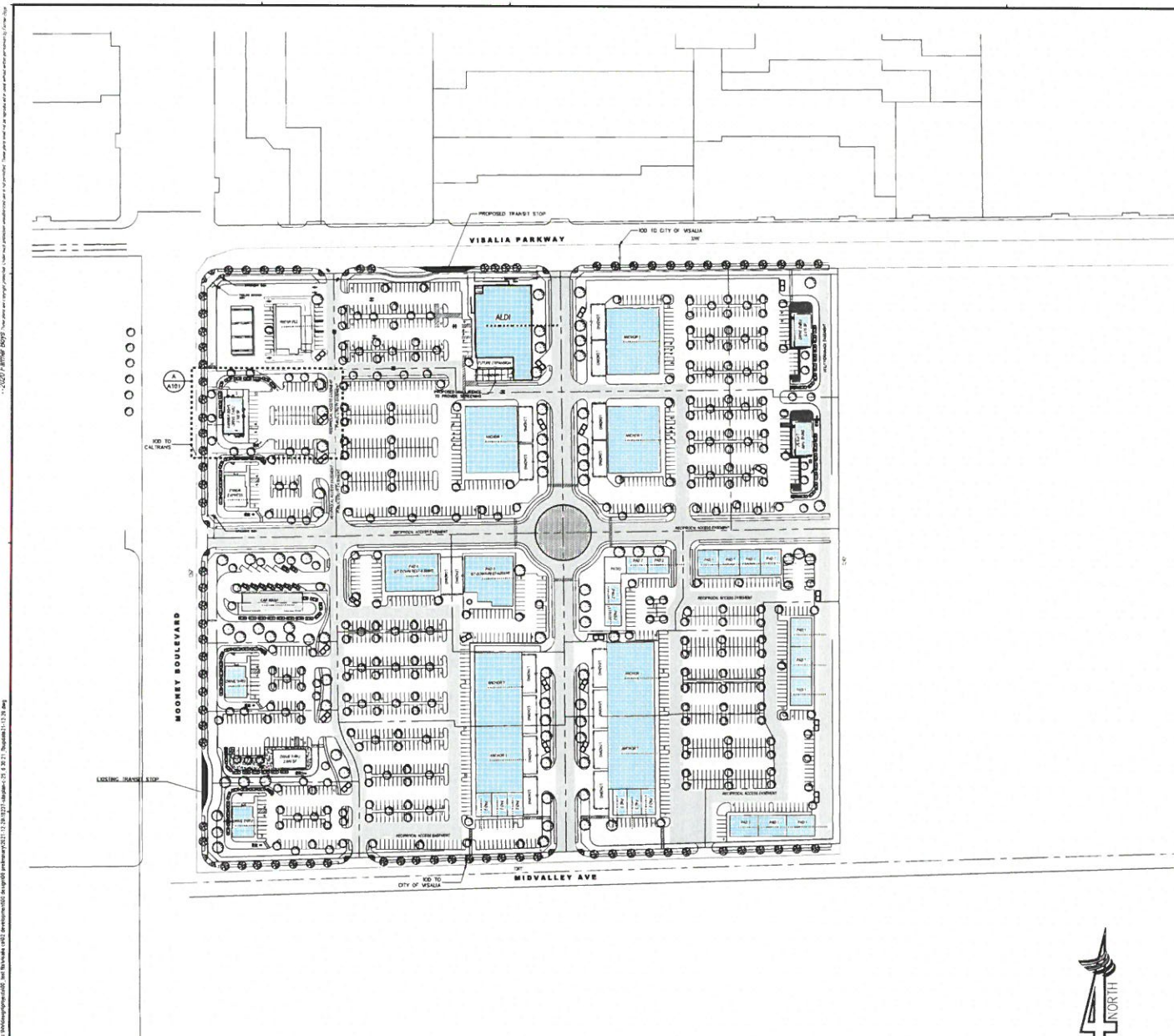
VICINITY MAP

PREPARED BY:



324 S. SANTA FE ST., STE. A
 P.O. BOX 7590
 VISALIA, CA 93292
 TEL: 558.802.2662
 FAX: 558.802.3215





SITE DATA

LEGAL DESCRIPTION:
 A PORTION OF LOT 2 OF SHANNON RANCH CENTRAL SUBDIVISION, RECORDED IN VOL. 40 OF MAPS, AT PAGE 99, TCR, LOCATED IN THE SE 1/4 OF SECTION 12, TOWNSHIP 18 SOUTH, 24 EAST, MERIDIAN, IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA

APN: 126-080-025-056

ZONING (EXISTING): C-R REGIONAL COMMERCIAL
 ZONING (PROPOSED): C-R REGIONAL COMMERCIAL
 GENERAL PLAN (EXISTING): REGIONAL COMMERCIAL
 GENERAL PLAN (PROPOSED): REGIONAL COMMERCIAL

UTILITIES:
 SEWER SERVICE: CITY OF VISALIA
 WATER SERVICE: CITY OF VISALIA
 STORM SERVICE: CITY OF VISALIA
 GAS SERVICE: SOUTHERN CALIFORNIA GAS COMPANY
 ELEC. SERVICE: SOUTHERN CALIFORNIA EDISON
 REFUSE SERVICE: CITY OF VISALIA
 TELEPHONE: SBC
 FLOOD ZONE: X

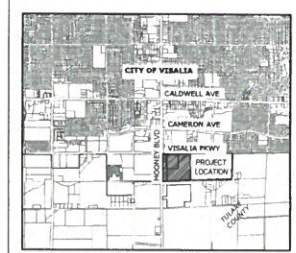
SETBACKS:
 FRONT (MOONEY BLVD): 20'
 SIDE (VISALIA PKWY & MIDVALLEY AVE): 10'
 REAR (EASTERN PROPERTY BOUNDARY): 15'

OVERALL BUILDING & PARKING

BUILDING TYPE	BUILDING SF	PARKING PROPOSED
GROCERY STORE	26,473 SF	111 SPACES
DRIVE-THRU RESTAURANT	18,954 SF	325 SPACES
ST-DRWN RESTAURANT	18,000 SF	93 SPACES
CONVENIENCE STORE	4,890 SF	19 SPACES
CAR WASH	4,375 SF	14 SPACES
ANCHOR	165,586 SF	854 SPACES
PAD	42,200 SF	158 SPACES
TOTAL	274,782 SF	1,587 SPACES

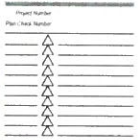
FARMER BOYS

BUILDING TYPE	BUILDING SF	PARKING PROPOSED
DRIVE-THRU RESTAURANT (INCLUDED IN OVERALL)	3,398 SF	45 SPACES



**OAKS MARKETPLACE
 SITE PLAN REVIEW**
 VISALIA, CA

OVERALL SITE PLAN



SHEET
A-100

11/20/2021 Farmer Boys - The names and logos of other companies shown on this plan are the property of their respective owners and are used for identification purposes only. All other rights reserved. © 2021 Farmer Boys. All rights reserved.

OVERALL SITE PLAN

(A) VICINITY MAP

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

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This application **MUST** be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- **Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present** -
 - Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Pearl Woods Date: January 20, 2021
 Project Description: Subdivision to create 273 single-family residential lots and an 8.76-acre combination
General Plan - designated Neighborhood Park and regional basin on 67.49-acre parcel in southeast Visalia
 Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____
 Property Owner: D.R. Horton
 Applicant(s) Name: Matt Barnes, Provost & Pritchard
 Project Address/Location: West of Northwest Corner of North Demaree St and West Ferguson Ave
 Assessor Parcel Number: 1 2 7 - 0 3 0 - 0 3 8
 Parcel Size (Acreage or Square Feet): 67.49 Building or Suite Square Footage: _____

Are There Any Proposed Building Modifications: Yes No
 Estimated Cost of Modifications to Building: \$ _____
 Describe All Proposed Building Modifications: _____

- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received: _____
 SPR Agenda: _____ Item No. _____
 Zone: _____ SPR No. _____
 Historic District: Yes No
 Flood Zone: X AE X/AE

- - **A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS** - -

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Farming / Orchard
 Proposed Building Use: Single Family Residential, Neighborhood Park
 Proposed Hours of Operation: N/A
 Days of Week In Operation (Circle): ~~Su~~ ~~M~~ ~~T~~ ~~W~~ ~~Th~~ ~~F~~ ~~Sa~~
 Number of Employees Per Day: Existing N/A Proposed N/A
 Number of Customers Per Day (Estimated): Existing N/A Proposed N/A
 Predicted Peak Operating Hour: 7 to 9 am, 4 to 6 pm
 Describe Any Truck Delivery Schedule & Operations: Typical solid waste delivery schedule

 Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees
 (Provide Separate Attachment if Necessary): Extension of McAuliff as a collector through middle of subdivision,
circulation element shows future RR crossing.

 Describe Any Special Events Planned for the Facility: N/A

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:

- North arrow	- Existing & proposed structures	- Loading/unloading areas
- All existing & proposed site features	- Adjacent street names	- Accessible path of travel from right of way
- Site dimensions, including building	- Refuse enclosures & containers	- Accessible path of travel from ADA stall
- Existing and proposed fencing at site	- Valley oak trees (show drip line)	- Location and width of drive approaches to site
- Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)	- Existing & proposed landscaping	- Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
	- Parking stalls (include ADA)	

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: _____	Signature of Owner or Authorized Agent*	
Address: _____	Owner _____	Date _____
City, State, Zip _____	<i>Matt Barnes</i>	1/20/22
Phone: _____	Authorized Agent*	Date _____
Email: _____		

* If signed by an authorized agent , the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION FORM

AGENCY AUTHORIZATION

OWNER:

I, _____, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

AGENT:

I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20____.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number



400 West Main Street, Suite 300
Visalia, CA 93291
Tel: (559) 636-1166
Fax: (559) 636-1177
www.provostandpritchard.com

January 20, 2022

City of Visalia Community Development Department
315 East Acequia Avenue
Visalia, CA 93291

RE: Site Plan Review Application for the Pearl Woods Project

Dear City of Visalia Community Development Department:

Provost & Pritchard Consulting Group respectfully submits the enclosed Site Plan Review Application on behalf of D.R. Horton for the proposed Pearl Woods project. The 67.49-acre project site is located around the southwest corner of South McAuliff Street and East Cherry Avenue, in Visalia's southeast quadrant. The Assessor's Parcel Number (APN) associated with the project site is 127-030-038. The project site contains an orchard and oak trees.

The applicant proposes to subdivide and develop the property into 273 single-family residences. The project, to our understanding, would require to be rezoned to R-1-5 and annexed into the City of Visalia.

Pursuant to the General Plan and the Waterways and Trails Master Plan, we are proposing to dedicate the subject property's portion of the Segment 4 Preferred Trail Alignment.¹

The project additionally proposes a regional-serving stormwater drainage basin with its watershed being the quarter-section that this project is located in. This location reduces the necessity of further-increasing diameter storm mains at further-increasing depths, in addition to avoiding crossing under a railroad. Adjacent to the above-mentioned basin and trail, we are proposing a General Plan-designated Neighborhood Park. The park and basin would be approximately 8.76 acres in size.

The General Plan Land Use Map shows an area east of Cameron Creek as being the approximate area of this park. Upon further review, we found that the designated area is significantly obstructed by a maintenance yard owned by Southern California Edison and transmission lines running in both north-south and east-west directions. It's proposed location across Cameron Creek and the trail from the neighborhoods it is intended to serve. Given the unlikelihood of being able to create a successful park at the location identified in the General Plan, we are proposing an alternative location of this Neighborhood Park. The area east of Cameron Creek contains an existing residence which is intended to remain, and would be a Designated Remainder.

It is our understanding that the City desires a stub connection to the area west of the subject property. Our proposed design provides a frontage road that allows the developer on the adjacent property more flexibility in designing their stub connection.

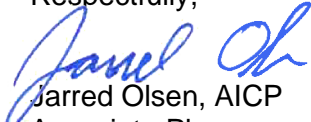
¹ <https://www.visalia.city/civicax/filebank/blobdload.aspx?BlobID=31829>

G:\DR Horton - 1594\0159421003-Pearl Woods\600 Deliverables\604 SPR 2nd Submittal\Pearl Woods Cover Letter.docx

The application and supporting documentation are included in the application package. A letter of authorization from DR Horton and the property owner for P&P to act on their behalf for the project's Site Plan Review process is also included in the submittal.

If you have any questions or concerns regarding this application, please contact me at (559) 636-1166 or via email at jolsen@ppeng.com. Matt Barnes is also available to answer questions at mbarnes@ppeng.com. P&P will expedite any request for additional information or clarification and is available to meet at any time to quickly resolve issues if they arise.

Respectfully,


Jarred Olsen, AICP
Associate Planner

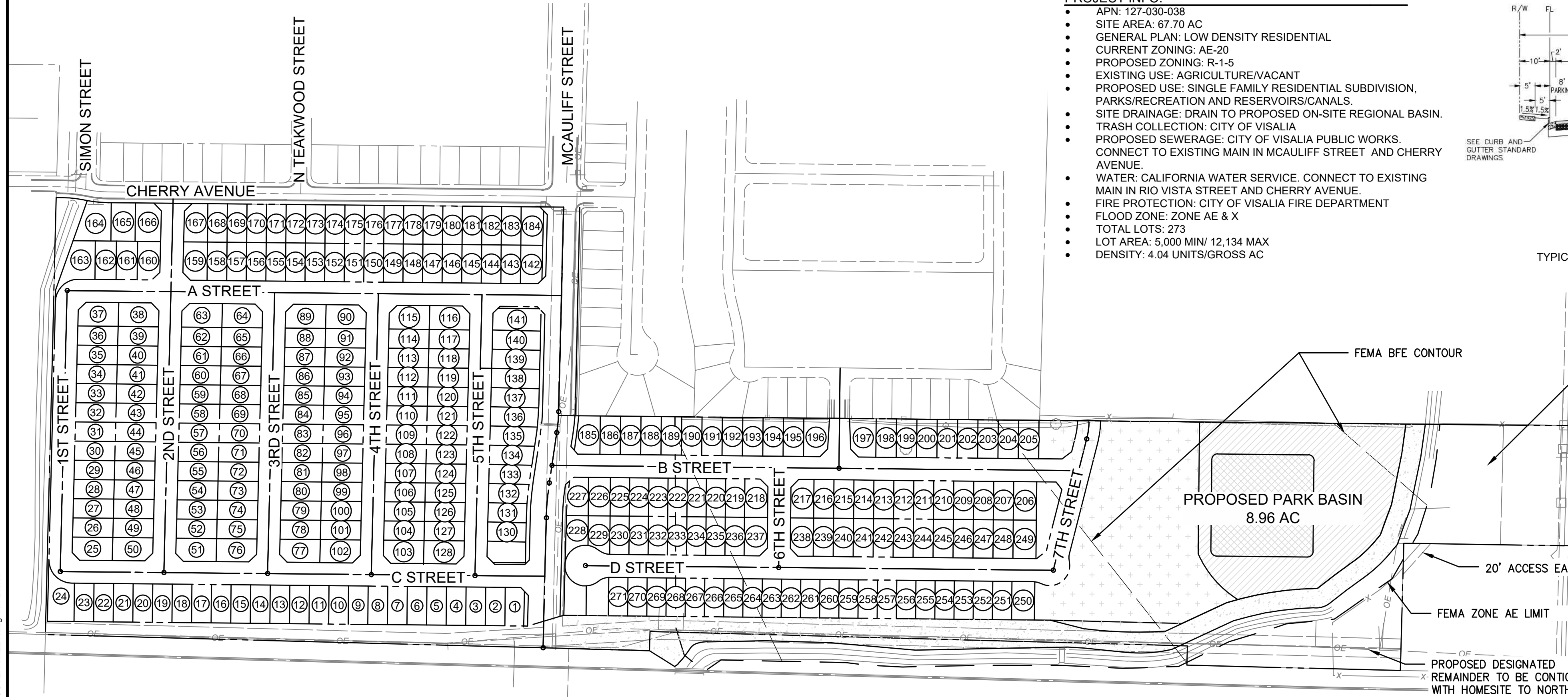
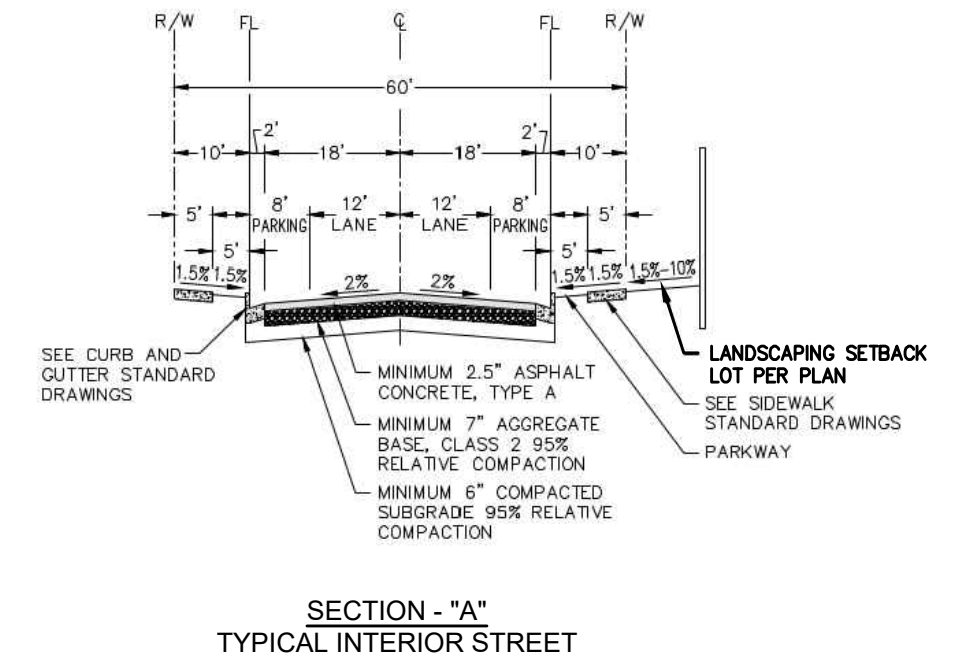
TENTATIVE SUBDIVISION MAP

PEARL WOODS

VISALIA, CALIFORNIA

PROJECT INFO.

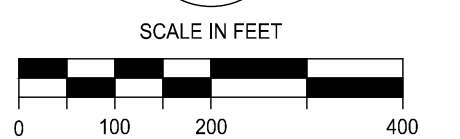
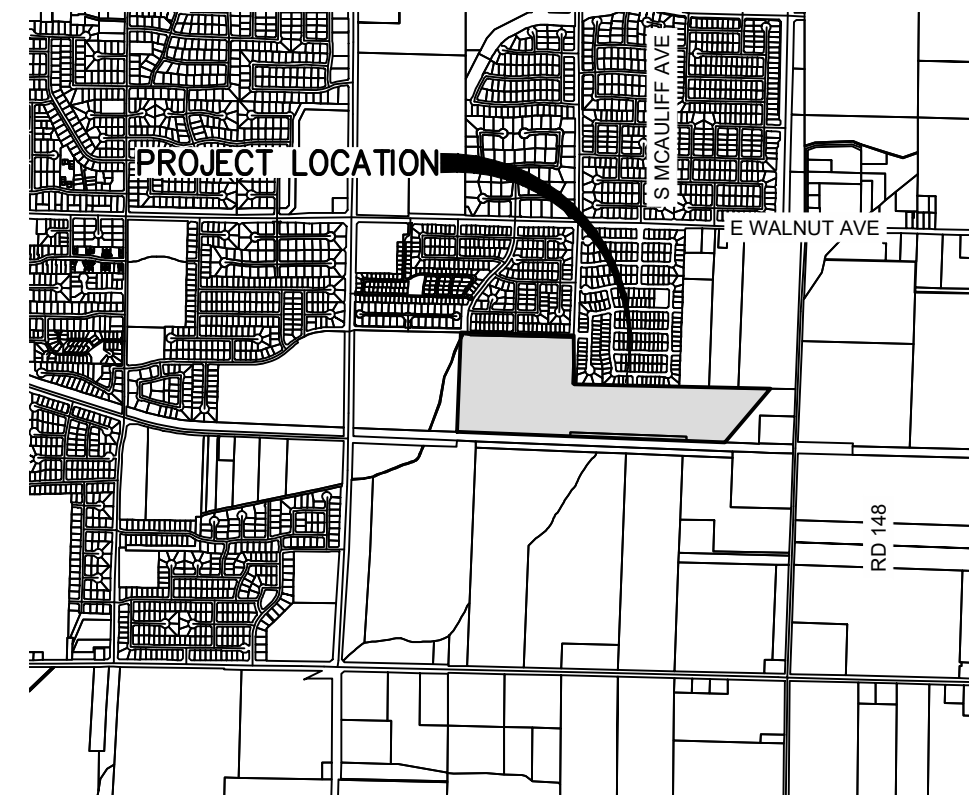
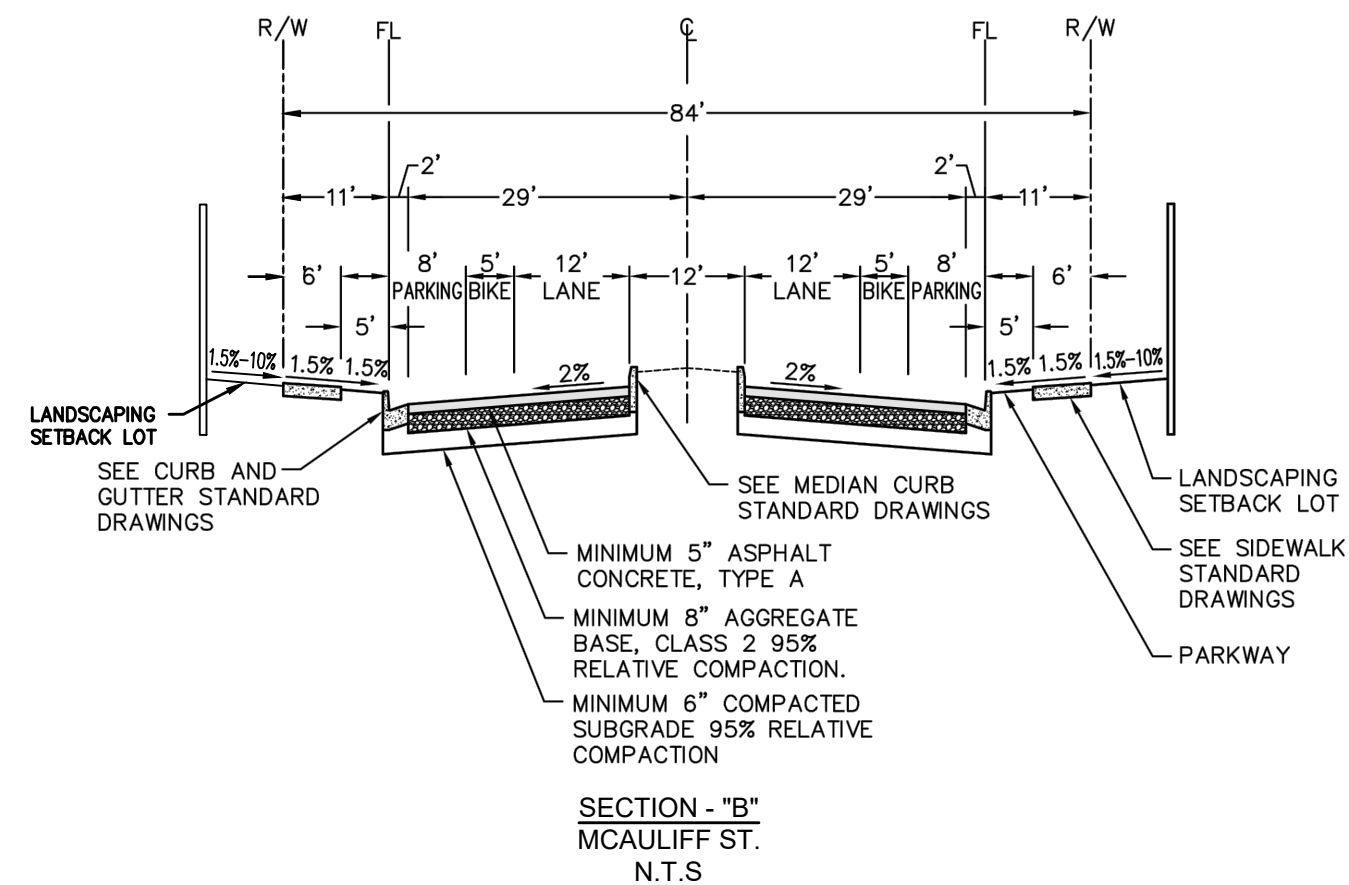
- APN: 127-030-038
- SITE AREA: 67.70 AC
- GENERAL PLAN: LOW DENSITY RESIDENTIAL
- CURRENT ZONING: AE-20
- PROPOSED ZONING: R-1-5
- EXISTING USE: AGRICULTURE/VACANT
- PROPOSED USE: SINGLE FAMILY RESIDENTIAL SUBDIVISION, PARKS/RECREATION AND RESERVOIRS/CANALS.
- SITE DRAINAGE: DRAIN TO PROPOSED ON-SITE REGIONAL BASIN.
- TRASH COLLECTION: CITY OF VISALIA
- PROPOSED SEWERAGE: CITY OF VISALIA PUBLIC WORKS. CONNECT TO EXISTING MAIN IN MCAULIFF STREET AND CHERRY AVENUE.
- WATER: CALIFORNIA WATER SERVICE. CONNECT TO EXISTING MAIN IN RIO VISTA STREET AND CHERRY AVENUE.
- FIRE PROTECTION: CITY OF VISALIA FIRE DEPARTMENT
- FLOOD ZONE: ZONE AE & X
- TOTAL LOTS: 273
- LOT AREA: 5,000 MIN/ 12,134 MAX
- DENSITY: 4.04 UNITS/GROSS AC



LEGEND

- ▨ FENCED BASIN DESIGNED FOR 10-YEAR CAPACITY
- ▨ 100-YEAR BASIN CAPACITY
- ▨ PARK AREA OUTSIDE OF BASIN
- ▨ CLASS I BIKE TRAIL
- AE ZONE LIMIT

SITE MAP



PROPERTY OWNER

PEARL WOODS
DR HORTON
419 W. MURRAY AVE.
VISALIA, CA 93291

PREPARED BY
EST. 1900
PROVOST & PRITCHARD
CONSULTING GROUP
An Employee Owned Company

455 W. FIR AVENUE
CLOVIS, CALIFORNIA 93811
559/448-2700 FAX 559/448-2715
https://provostandpritchard.com/

DATE: 01/20/2022
JOB NO.: 0159421003

1/20/2022 3:55 PM G:\DR Horton - 1594015942\1003-Pearl Woods\300 CAD\340 Sheet Sets\08_TTM2 TENTATIVE TRACT MAP.dwg -Tonia Holmes



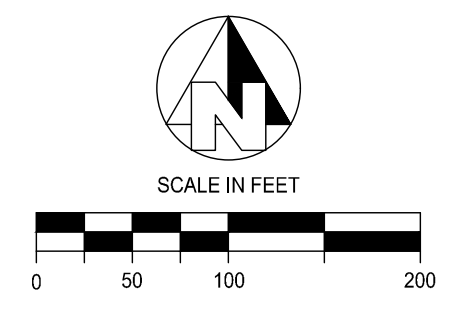
MATCHLINE

CONNECTION TO WEST TO BE COORDINATED WITH ADJACENT DEVELOPER

PROPOSED ROW

DEDICATED TO ACCESS EASEMENT FOR TULARE IRRIGATION COMPANY

SEE SHEET 03



PREPARED BY
PROVOST & PRITCHARD
 CONSULTING GROUP
An Employee Owned Company
 455 W FIR AVENUE
 CLOVIS, CALIFORNIA 93611
 559/449-2700 FAX 559/449-2715
<https://provostandpritchard.com/>
 DATE: 01/20/2022
 JOB NO.: 0159421003

MATCHLINE

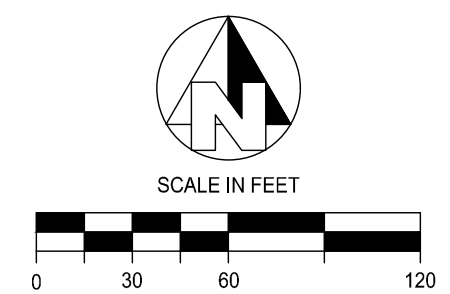
SEE SHEET 02

SEE SHEET 04



1/20/2022 3:45 PM G:\DR Horton - 159410159421003-Pearl Woods\300 CAD\340 Sheet Sets\08_TTM03 TENTATIVE TRACT MAP.dwg -Tonla Holmes

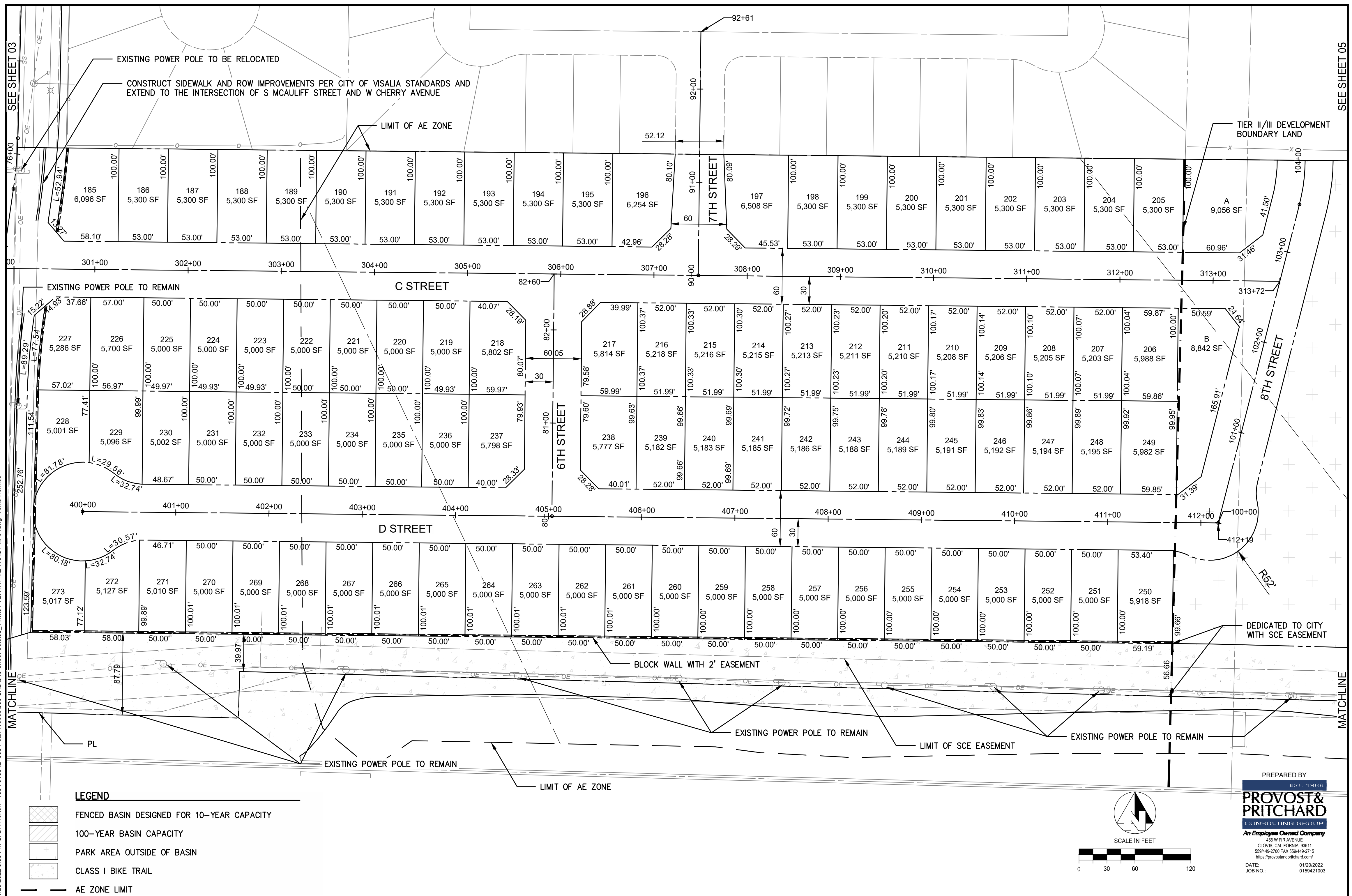
PREPARED BY
PROVOST & PRITCHARD
 CONSULTING GROUP
An Employee Owned Company
 435 W FIR AVENUE
 CLOVIS, CALIFORNIA 93611
 559/449-2700 FAX 559/449-2715
<https://provostandpritchard.com/>
 DATE: 01/20/2022
 JOB NO.: 0159421003




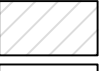



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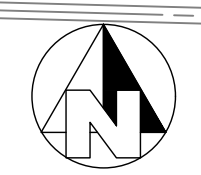
SEE SHEET 03

SEE SHEET 05

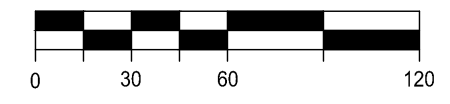


LEGEND

-  FENCED BASIN DESIGNED FOR 10-YEAR CAPACITY
-  100-YEAR BASIN CAPACITY
-  PARK AREA OUTSIDE OF BASIN
-  CLASS I BIKE TRAIL
-  AE ZONE LIMIT



SCALE IN FEET



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PROVOST & PRITCHARD
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 435 W FIR AVENUE
 CLOVIS, CALIFORNIA 93611
 559/449-2700 FAX 559/449-2715
<https://provostandpritchard.com/>
 DATE: 01/20/2022
 JOB NO.: 0159421003

1/20/2022 3:36 PM G:\DR Horton - 15940159421003-Pearl Woods\300 CAD\340 Sheet Sets\08_TTM05 TENTATIVE TRACT MAP.dwg -Tonia Holmes

SEE SHEET 04

MATCHLINE

PROPOSED PARK BASIN
8.96 AC

CHAIN LINK FENCE

TOP OF BANK

LIMIT OF AE ZONE

EXISTING HOME SITE TO REMAIN
AS DESIGNATED REMAINDER

EXISTING POWER POLE TO REMAIN

50'
MIN






LIMIT OF AE ZONE

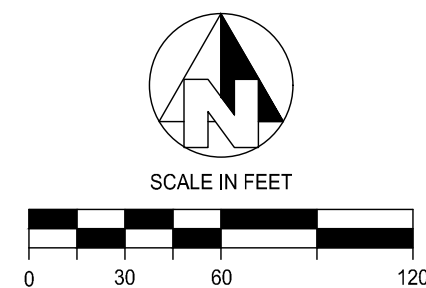
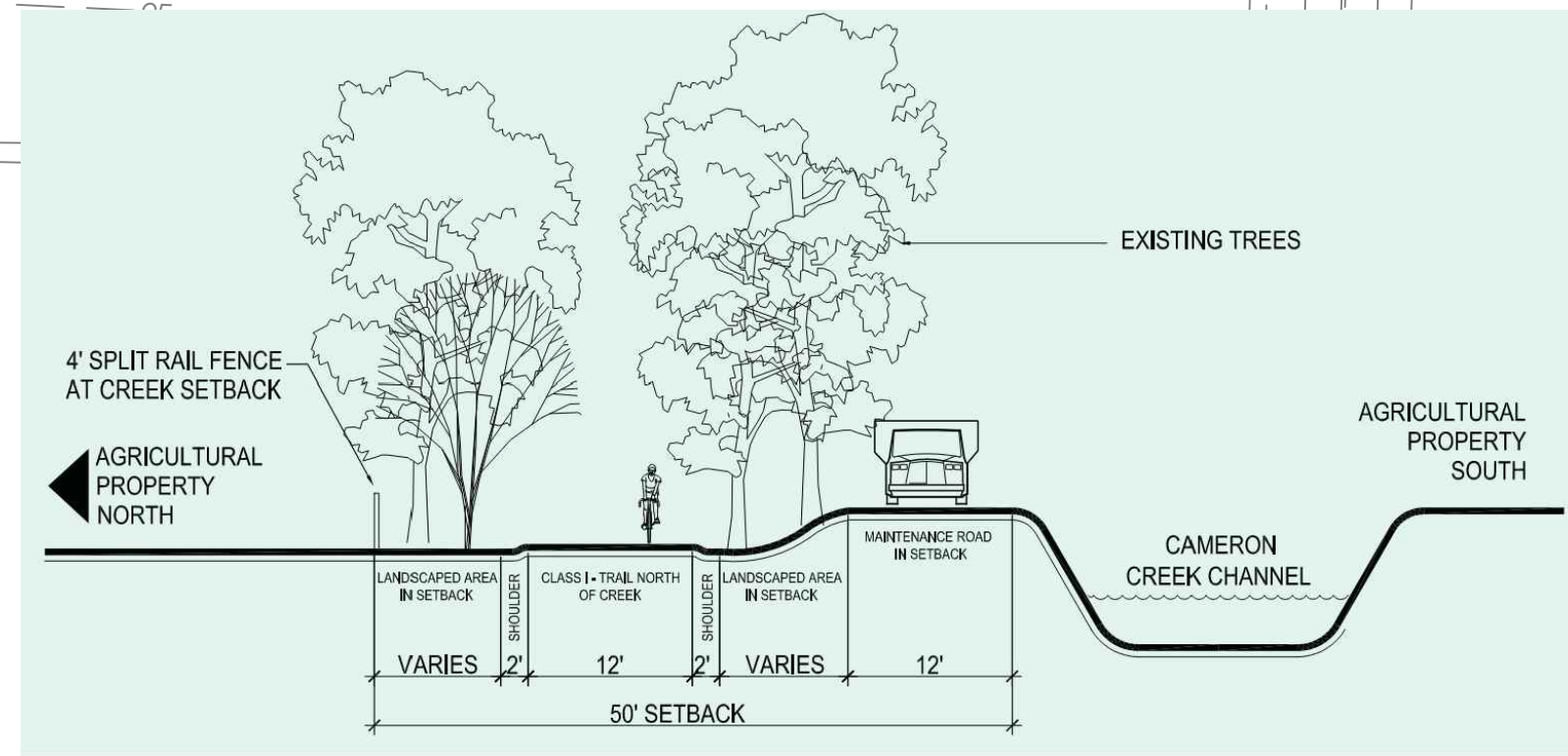
EXISTING POWER POLE TO REMAIN

SCE EASEMENT

EXISTING POWER POLE TO REMAIN

LEGEND

-  FENCED BASIN DESIGNED FOR 10-YEAR CAPACITY
-  100-YEAR BASIN CAPACITY
-  PARK AREA OUTSIDE OF BASIN
-  CLASS I BIKE TRAIL
-  AE ZONE LIMIT



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 435 W FIR AVENUE
 CLOVIS, CALIFORNIA 93611
 559/449-2700 FAX 559/449-2715
<https://provostandpritchard.com/>
 DATE: 01/20/2022
 JOB NO.: 0159421003

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -
 - Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Pinnacle Pre Mix, LLC Date: 1-13-2022
 Project Description: Addition of 17,500 sq ft warehouse
 Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____
 Property Owner: Freitas Rentals 3, LP
 Applicant(s) Name: Danny S Freitas
 Project Address/Location: 7019 W. Sunnyview, Visalia, CA
 Assessor Parcel Number: 077-200-035
 Parcel Size (Acreage or Square Feet): 7.51 Acres Building or Suite Square Footage: 94,890 # Total

Are There Any Proposed Building Modifications: Yes No
 Estimated Cost of Modifications to Building: \$ _____
 Describe All Proposed Building Modifications: Addition of 17,500 sq ft warehouse space

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 01/13/2022
 SPR Agenda: 01/24/2022 Item No. _____
 Zone: IL SPR No. 22-012
 Historic District: Yes No
 Flood Zone: X AE X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: See Operational Statement on Plan
 Proposed Building Use: _____
 Proposed Hours of Operation: _____
 Days of Week In Operation (Circle): Su M T W Th F Sa
 Number of Employees Per Day: Existing _____ Proposed _____
 Number of Customers Per Day (Estimated): Existing _____ Proposed _____
 Predicted Peak Operating Hour: _____
 Describe Any Truck Delivery Schedule & Operations: _____
 Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): _____
 Describe Any Special Events Planned for the Facility: _____

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇨ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇨ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇨ Site plan shall provide for and indicate all of the following:
 - North arrow ✓
 - All existing & proposed site features
 - Site dimensions, including building ✓
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures ✓
 - Adjacent street names ✓
 - Refuse enclosures & containers ✓
 - Valley oak trees (show drip line) ✓
 - Existing & proposed landscaping ✓
 - Parking stalls (include ADA) ✓
 - Loading/unloading areas ✓
 - Accessible path of travel from right of way ✓
 - Accessible path of travel from ADA stall ✓
 - Location and width of drive approaches to site ✓
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Danny S. Freitas (Signature of Owner or Authorized Agent*)
 Address: 983 E Levin Ave
 City, State, Zip: Tulare, CA 93274 Owner
 Phone: (559) 686-9572 Date: 1-13-2022
 Email: _____ Authorized Agent* _____ Date _____

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

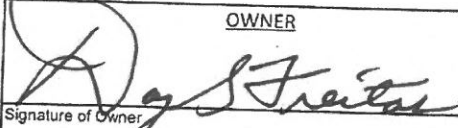
AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:
 I, Danny S. Freitas, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):
077-020-035

AGENT:
 I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.
 Executed this 13th day of January, 2022

OWNER	AGENT
 Signature of Owner	 Signature of Agent
<u>983 E. Levin Ave</u> Owner Mailing Address	 Agent Mailing Address
<u>Tulare, CA 93274</u>	 Agent Phone Number
Owner Phone Number <u>(559) 686-9572</u> <u>(559) 280-0478 cell</u>	

APPLICANT: PINNACLE PREMIX, LLC
 7018 W. SUNNYSIDE AVE
 VISALIA, CA 93278
 559-302-5980

PROPERTY OWNER: FRODAS RENTALS
 883 E. LEVIN AVE
 TULARE, CA 93274
 559-885-8572

PLAN PREPARED BY: LET DOND
 DOND ENGINEERING
 P.O. BOX 176
 VISALIA, CA 93278
 559-884-9318

PROJECT ADDRESS: 7018 W. SUNNYSIDE AVE
 VISALIA, CA 93278

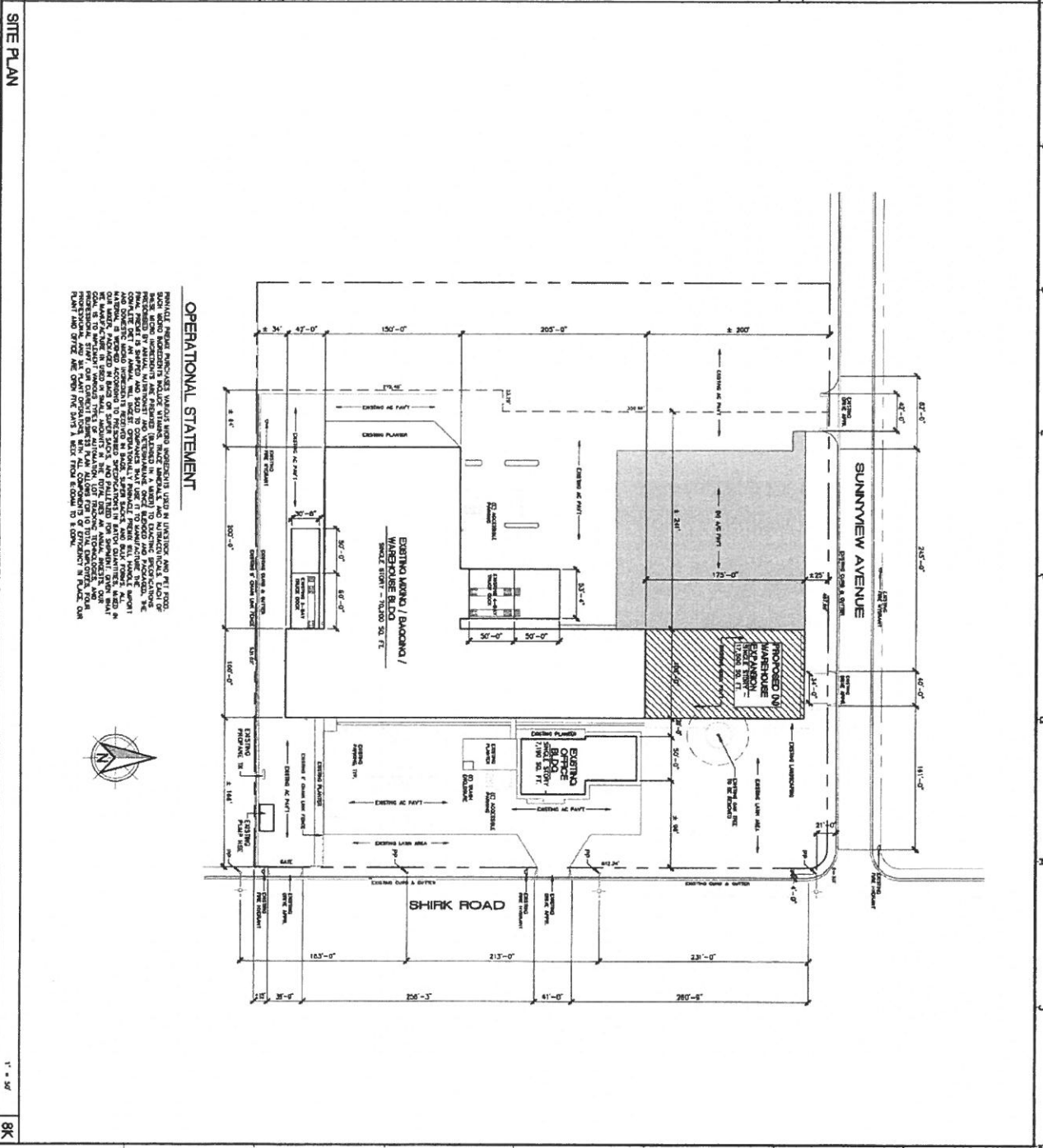
PARCEL INFORMATION: A.P.N. 077-020-013
 ADRES 7.51
 ZONING I-H
 (C) PARKING STANDARD STALLS 67
 COMPACT STALLS 4
 HANDICAP 4
 TOTAL 75

UTILITIES: ELECTRIC & GAS SOUTHERN CALIF EDISON
 SEWER CITY OF VISALIA
 WATER CAL-WATER

FLOOD ZONE DESIGNATION: X
OCCUPANCY GROUP: F-2
TYPE OF CONSTRUCTION: VB

BUILDING AREA: OFFICE 7,180 SQ. FT. (EXIST)
 PLANT 76,200 SQ. FT. (EXIST)
 NEW PLANT TOTAL 17,500 SQ. FT. (PROPOSED)
 TOTAL ON SITE WITH ADDITION: 94,880 SQ. FT.

PROJECT DATA 68



OPERATIONAL STATEMENT

THIS PLAN AND SPECIFICATIONS WERE PREPARED BY THE ARCHITECT FOR THE CLIENT AND ARE TO BE USED IN CONNECTION WITH THE CONTRACT FOR THE CONSTRUCTION OF THE PROJECT. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION PROVIDED BY THE CLIENT AND HAS FOUND IT TO BE SUFFICIENT FOR THE PURPOSES OF THIS PLAN. THE ARCHITECT HAS NOT CONDUCTED A SURVEY OF THE SITE AND HAS NOT VERIFIED THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT HAS NOT CONDUCTED A SURVEY OF THE EXISTING CONDITIONS OF THE SITE AND HAS NOT VERIFIED THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT HAS NOT CONDUCTED A SURVEY OF THE EXISTING CONDITIONS OF THE SITE AND HAS NOT VERIFIED THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.

DOWD Engineering
 Structural - Civil - Drafting

123 East Kern Ave
 Visalia, California 93274

(559) 864-6318
 lewdowd@dowd.com

**A NEW WAREHOUSE EXPANSION FOR:
 PINNACLE PREMIX, LLC
 VISALIA, CALIFORNIA**

NO.	DATE	REVISIONS	COMMENTS
1			
2			
3			
4			

A100
 SITE PLAN
 3115

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

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This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -
 - Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: TownePlace Suites by Marriott Date: 7 Dec 2021

Project Description: 101 guestroom, 4-story hotel

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: Horizon Hospitality, LLC

Applicant(s) Name: Jacob Cornejo of Klassen Corporation

Project Address/Location: West Cypress Avenue

Assessor Parcel Number: ~~XXXXXXXXXXXX~~ 000-014-685

Parcel Size (Acreage or Square Feet): +/-1.71 Acres Building or Suite Square Footage: +/-59,048

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ _____

Describe All Proposed Building Modifications:

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 01/19/2022

SPR Agenda: 01/26/2022 Item No. _____

Zone: C-MU SPR No. 22-013

Historic District: Yes No

Flood Zone: X AE X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Undeveloped

Proposed Building Use: Hotel

Proposed Hours of Operation: 24

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing _____ Proposed _____

Number of Customers Per Day (Estimated): Existing _____ Proposed _____

Predicted Peak Operating Hour: _____

Describe Any Truck Delivery Schedule & Operations: _____

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees
 (Provide Separate Attachment if Necessary): _____

Describe Any Special Events Planned for the Facility: _____

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ↪ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ↪ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ↪ Site plan shall provide for and indicate all of the following:
 - North arrow
 - Existing & proposed structures
 - Loading/unloading areas
 - All existing & proposed site features
 - Adjacent street names
 - Accessible path of travel from right of way
 - Site dimensions, including building
 - Refuse enclosures & containers
 - Accessible path of travel from ADA stall
 - Existing and proposed fencing at site
 - Valley oak trees (show drip line)
 - Location and width of drive approaches to site
 - Public Improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed landscaping
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
 - Parking stalls (include ADA)

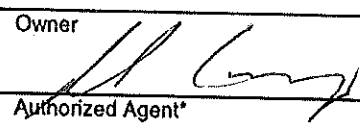
REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Jacob Cornejo of Klassen Corp. Signature of Owner or Authorized Agent* _____

Address: 2021 Westwind Drive _____

City, State, Zip Bakersfield, CA 93301 Owner _____ Date _____

Phone: 661-489-4936 Authorized Agent*  _____ Date 7 Dec 2021

Email: jacobc@klassencorp.com _____

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

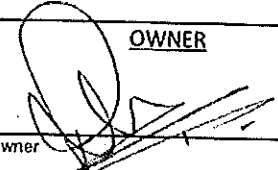
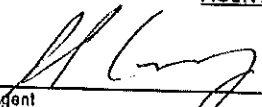
AGENCY AUTHORIZATION FORM

OWNER:
I, Raju Verma, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN): 087-450-022

AGENT:
I designate Jacob Cornejo of Klassen Corp. to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to construct a 4-story, 101 guestroom hotel relative to the property mentioned herein.

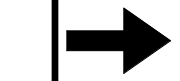
I declare under penalty of perjury the foregoing is true and correct.

Executed this 7th day of December, 2021.

OWNER	AGENT
 _____ Signature of Owner	 _____ Signature of Agent
_____ Owner Mailing Address	<u>2021 Westwind Drive</u> _____ Agent Mailing Address
<u>559-274-8693</u> _____ Owner Phone Number	<u>Bakersfield, CA 93301</u> _____ Agent Phone Number
_____ Owner Phone Number	<u>661-489-4936</u> _____ Agent Phone Number

SITE LEGEND

- EXISTING / NEW SEWER
- EXISTING / NEW STORM DRAIN
- EXISTING / NEW DOMESTIC WATER
- EXISTING / NEW FIRE WATER



ACCESSIBLE BUILDING ENTRANCE

ACCESSIBLE PATH OF TRAVEL (P.O.T.): AS INDICATED ON PLAN IS A BARRIER - FIRE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/8" IF BEVELED AT 1:2 MAX. SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX. AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MIN. AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". OR SHALL VERIFY THAT THERE ARE NO BARRIERS ALONG THE P.O.T.

- PROPOSED BUILDING UNDER THIS PERMIT
- PROPOSED PLANTER/LANDSCAPE UNDER THIS PERMIT, REFER TO LANDSCAPE

KEYNOTES

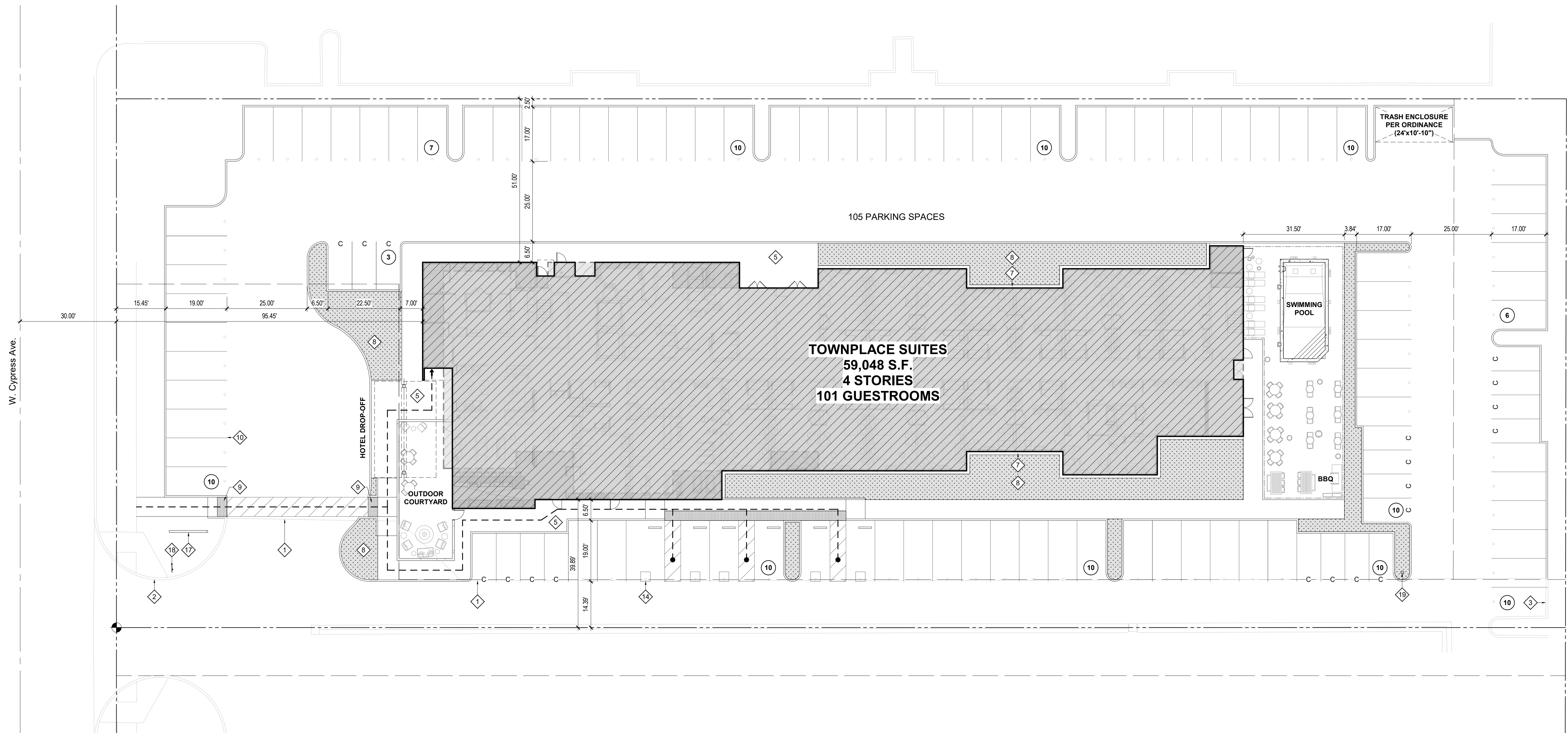
- EXISTING AC PAVING, REFER TO CIVIL PLANS.
- EXISTING CURB & GUTTER, REFER TO CIVIL PLANS.
- EXISTING CONC. CURB.
- CONCRETE CURB, REFER TO CIVIL PLANS.
- CONCRETE FLATWORK, REFER TO CIVIL PLANS.
- SLOPED CONC. FLATWORK, REFER TO CIVIL PLANS.
- 4" THICK 12" WIDE CONCRETE MOW STRIP.
- PLANTER AREA, REFER TO LANDSCAPING PLANS
- TRUNCATED DOMES (WARNING SURFACE).
- PARKING STALL 4" WIDE WHITE STRIPE.
- 12" HIGH WHITE LETTERS, PARKING STALL IDENTIFICATION AS SHOWN ON SITE PLAN.
- TWO-WAY TRAFFIC FLOW ARROWS - WHITE PAINT.
- 4" WIDE BLUE STRIPING AT ACCESSIBLE PARKING STALLS.
- INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA).
- ACCESSIBLE PARKING STALL SIGNAGE "VAN ACCESSIBLE" & "NON VAN ACCESSIBLE".
- CONC. WHEEL STOP.
- NEW ENTRY MONUMENT SIGN.
- PARKING ENTRY SIGNAGE, REFER TO 6/A9.00.
- PROPOSED NEW FIRE HYDRANT, REFER TO CIVIL PLANS.
- FUTURE CHARGING STATION (BY OTHERS), REFER TO ELECTRICAL PLANS FOR ELECTRICAL INFRASTRUCTURE PROVISIONS REQUIRED BY 2019 CALGREEN CODE.
- NEW PARKING LIGHT STANDARD, REFER TO ELECTRICAL PLANS. FOOTING PER 21 & 22/A9.10.
- EMERGENCY BACK-UP GENERATOR, REFER TO ELECTRICAL PLANS.
- ELECTRICAL X-FORMER, REFER TO ELECTRICAL PLANS.
- FLAG UP-LIGHT, REFER TO ELECTRICAL PLANS.
- 35' HIGH FLAG POLE. FOOTING PER 20/A9.10. FLAG SIZE: 5'x8' MAX.



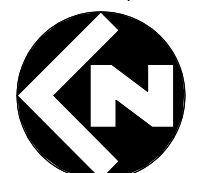
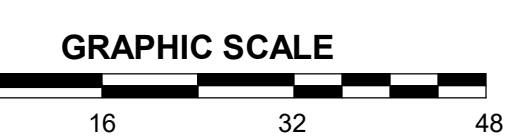
2021 Westwind Drive
Bakersfield, CA 93301
(661) 324-3000
(661) 324-3900 Fax
www.klassencorp.com



Written dimensions on these drawings shall have precedence over verbal dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the site and the office shall be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to the office for approval before proceeding with fabrication.



SITE PLAN
1/16" = 1'-0"



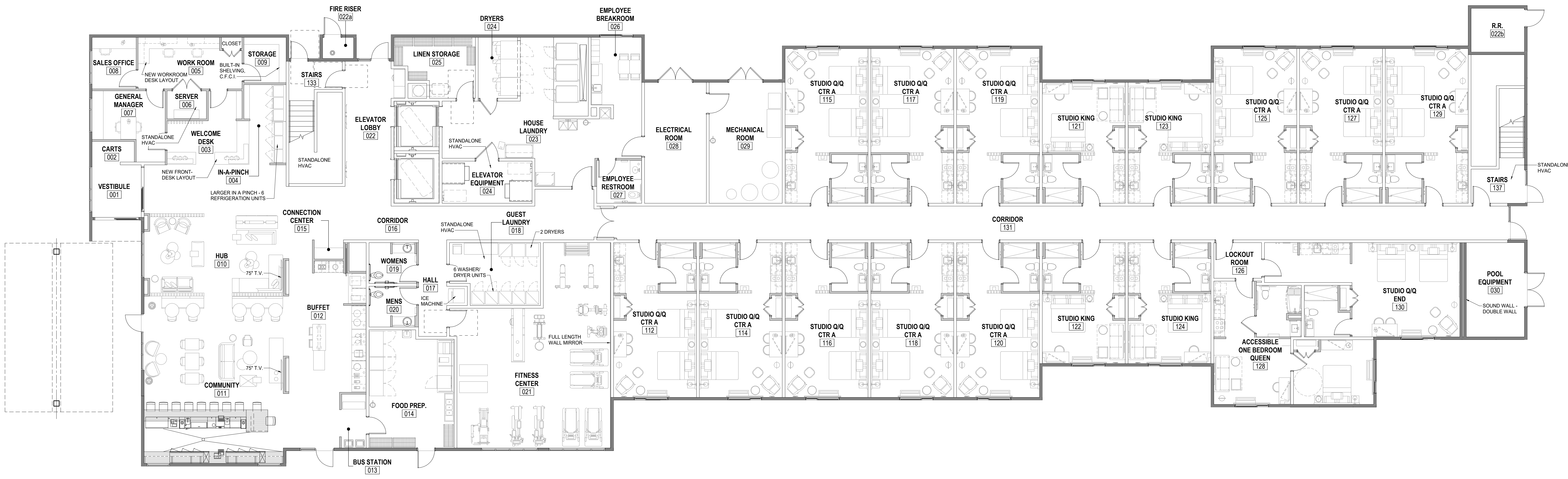
TownePlace Suites by Marriott
HORIZON HOSPITALITY, LLC.
W. Cypress Ave. - Visalia, CA 93277

TOWNEPLACE SUITES
BY MARRIOTT

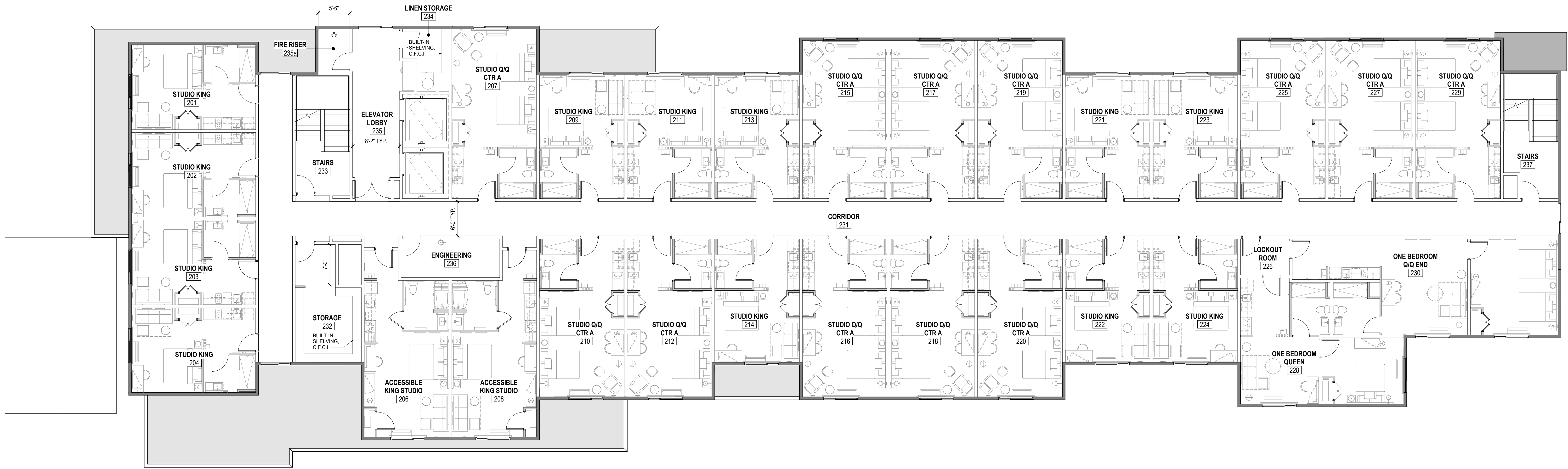
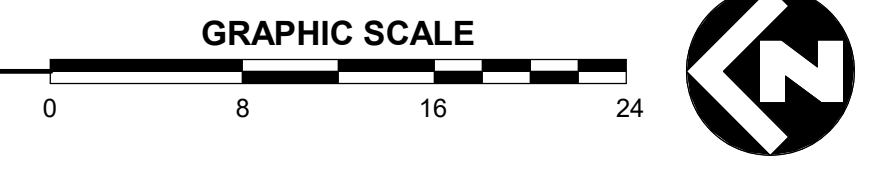
MARK

Project No. : 05-1-20501
SITE PLAN

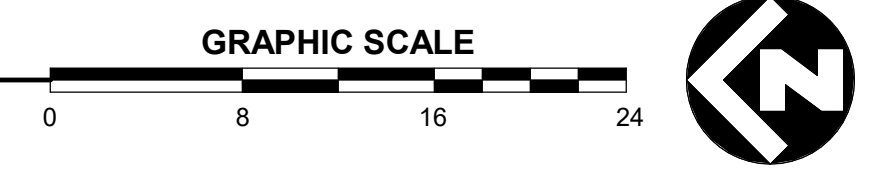
ROOM MATRIX					
FLOOR / ROOMS	1st	2nd	3rd	4th	Tot.
STUDIO KING	4	12	12	12	40
STUDIO Q/Q CTR A	11	12	11	12	46
STUDIO Q/Q CTR B	0	0	2	0	2
ONE BEDROOM QUEEN	0	1	0	1	2
ONE BEDROOM Q/Q END	0	1	1	1	3
STUDIO QQ END	1	0	0	0	1
ACCESSIBLE ONE BEDROOM QUEEN	1	0	1	0	2
ACCESSIBLE KING STUDIO	0	2	0	2	4
ACCESSIBLE Q/Q	0	0	1	0	1
TOTAL ROOMS	17	28	28	28	101



1ST FLOOR PLAN
1/8" = 1'-0"



2ND FLOOR PLAN
1/8" = 1'-0"

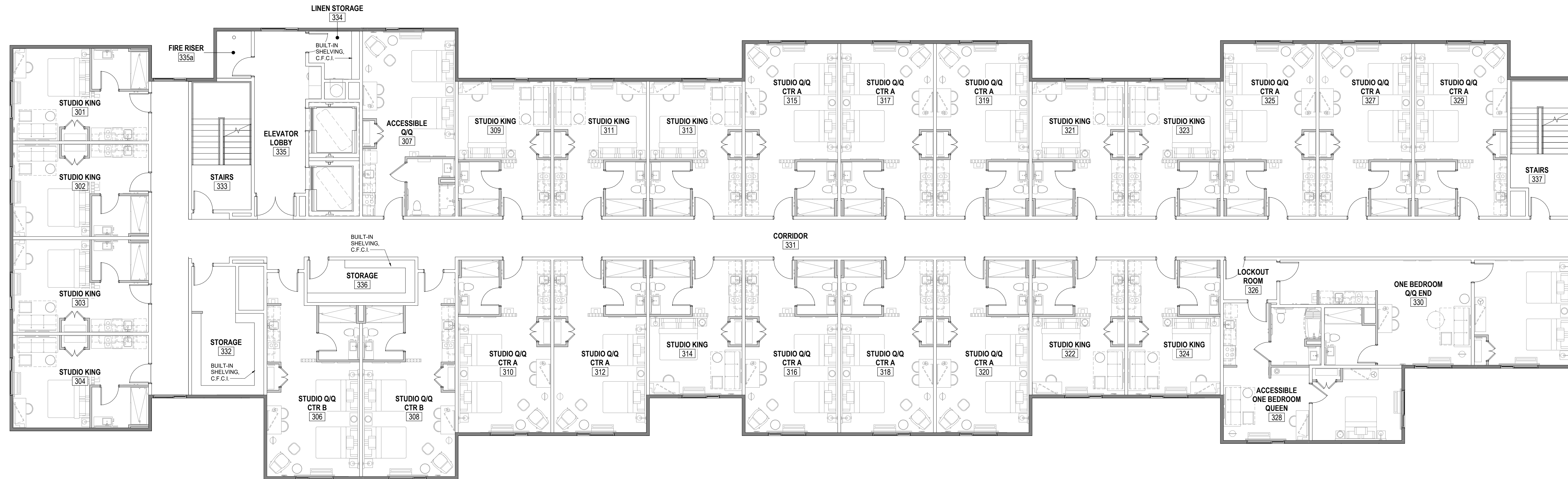


The above drawings and specifications and their design and arrangements represented hereby are and shall remain the property of the architect, and no part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specific project for which they have been prepared and disclosed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these conditions.

Written dimensions on these drawings shall have precedence over called dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and the office shall be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to the office for approval before proceeding with fabrication.

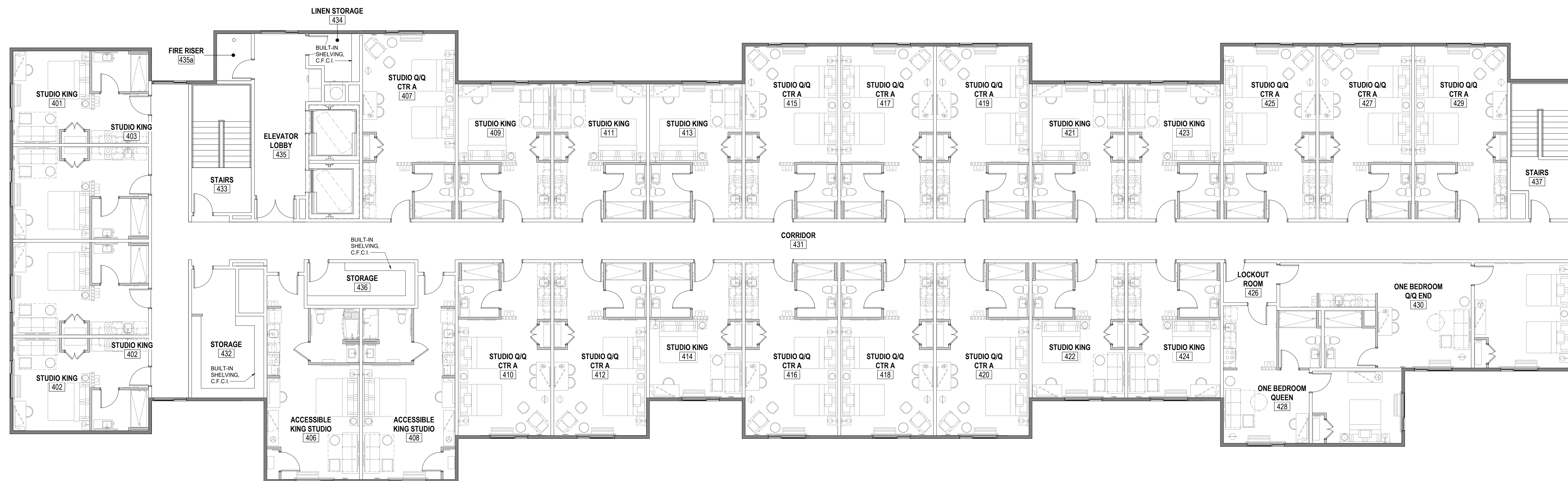
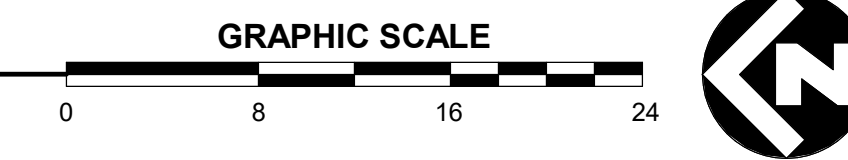
MARK	ISSUED FOR	DATE

Project No. : 05-1-20501
1st & 2nd FLOOR PLAN



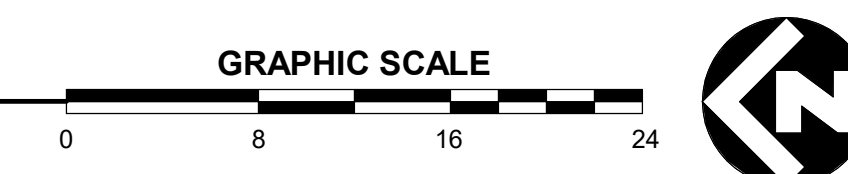
3RD FLOOR PLAN

1/8" = 1'-0"



4TH FLOOR PLAN

1/8" = 1'-0"



Klassen
corporation
Architecture
Construction
2021 Westwind Drive
Bakersfield, CA 93301
(661) 324-3000
(661) 324-3900 Fax
www.klassencorp.com



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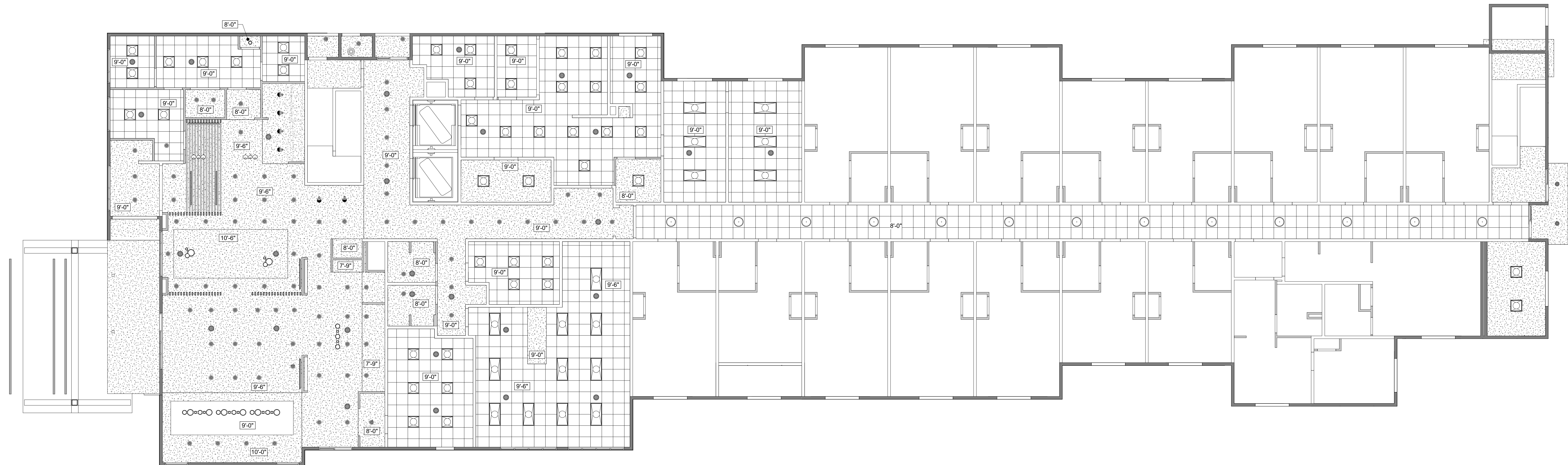
Towneplace Suites by Marriott
HORIZON HOSPITALITY, LLC.
W. Cypress Ave. - Visalia, CA 93277

TOWNEPLACE SUITES
BY MARRIOTT

MARK	ISSUED FOR	DATE

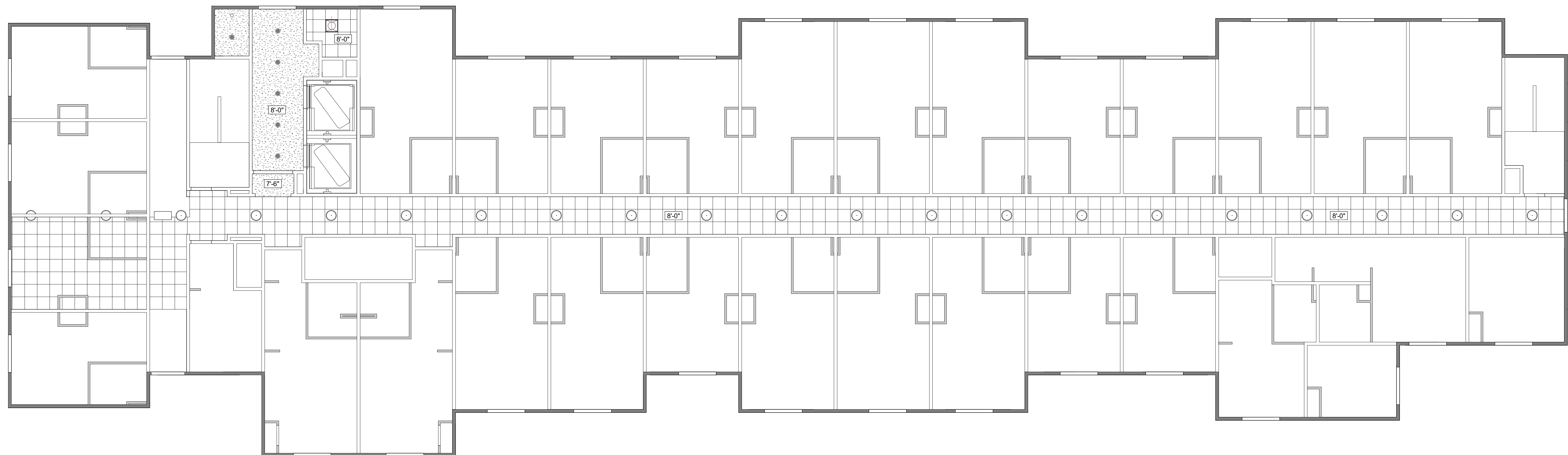
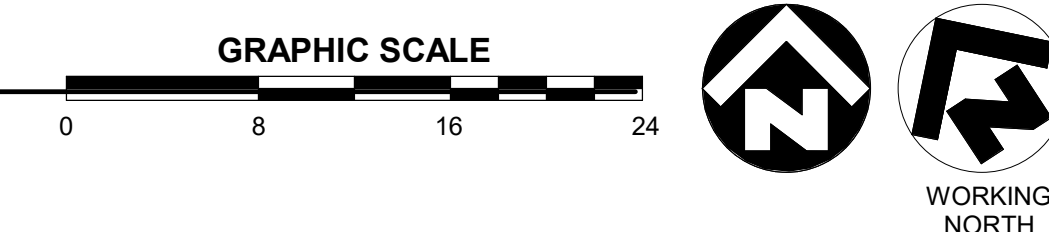
Project No.: 05-1-20501
3rd & 4th FLOOR PLAN

PR-03



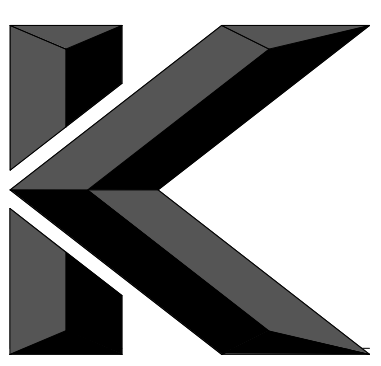
1ST FLOOR REFLECTED CEILING PLAN

1/8" = 1'-0"



2ND FLOOR REFLECTED CEILING PLAN

1/8" = 1'-0"



Klassen
corporation

Architecture
Construction

2021 Westwind Drive
Bakersfield, CA 93301
(661) 324-3000
(661) 324-3900 Fax
www.klassencorp.com



The above drawings and specifications and their design and arrangements represented hereby are and shall remain the property of the architect and no part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specific project for which they have been prepared and disclosed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.

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Towneplace Suites by Marriott
HORIZON HOSPITALITY, LLC.
W. Cypress Ave. - Visalia, CA 93277

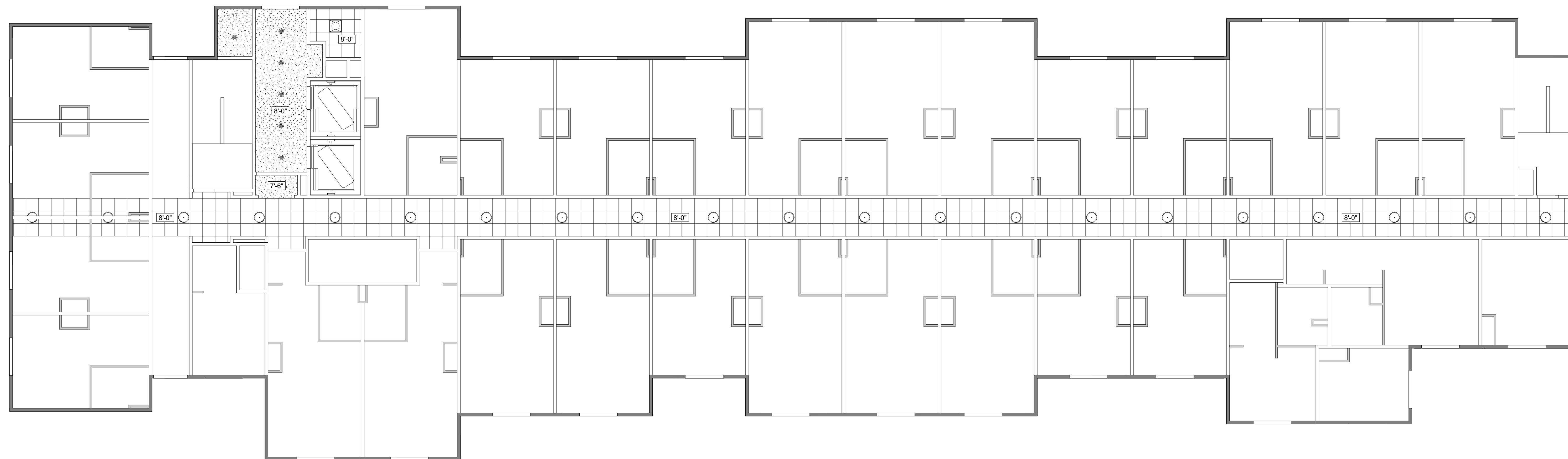
TOWNEPLACE
SUITES®
BY MARRIOTT

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Project No.: 05-1-20501

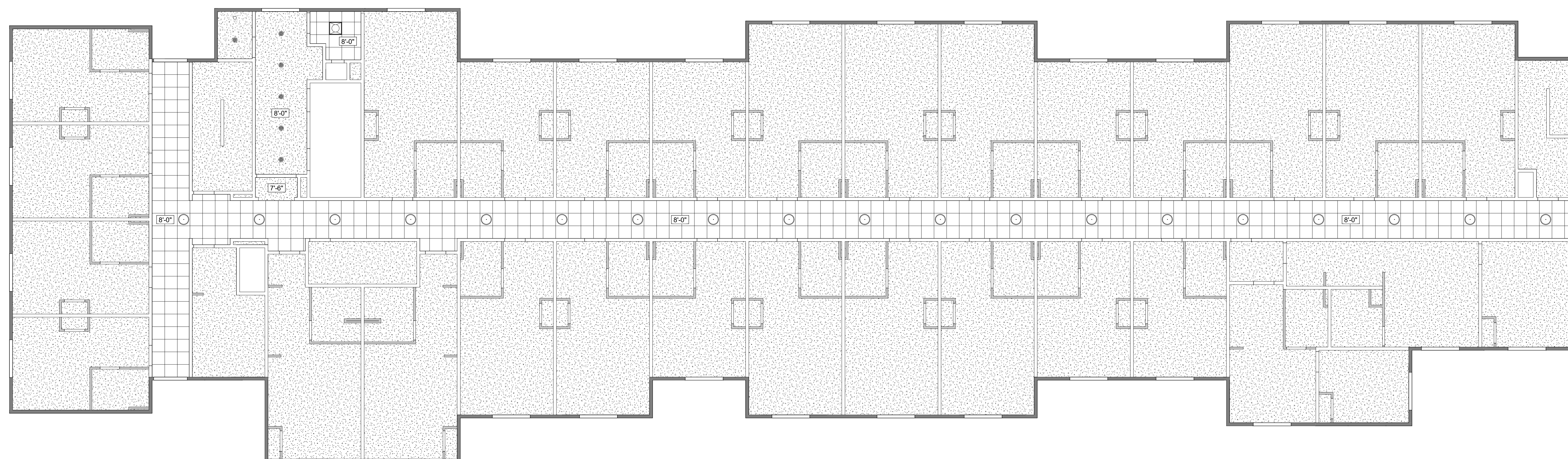
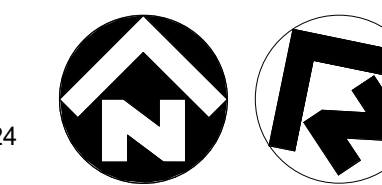
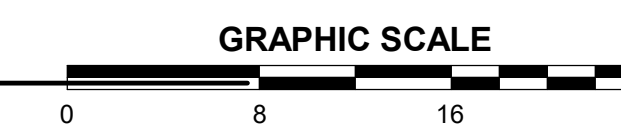
1st & 2nd FLOOR RCP

PR-04



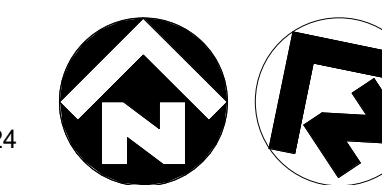
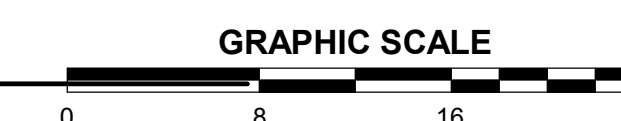
3RD FLOOR REFLECTED CEILING PLAN

1/8" = 1'-0"



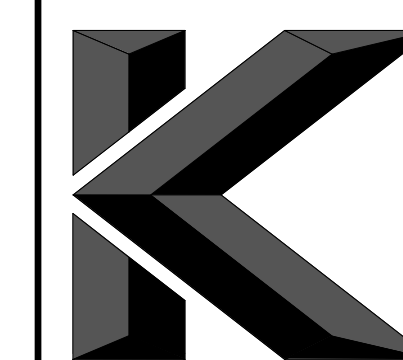
4TH FLOOR REFLECTED CEILING PLAN

1/8" = 1'-0"



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Project No. : 05-1-20501
3rd & 4th FLOOR RCP

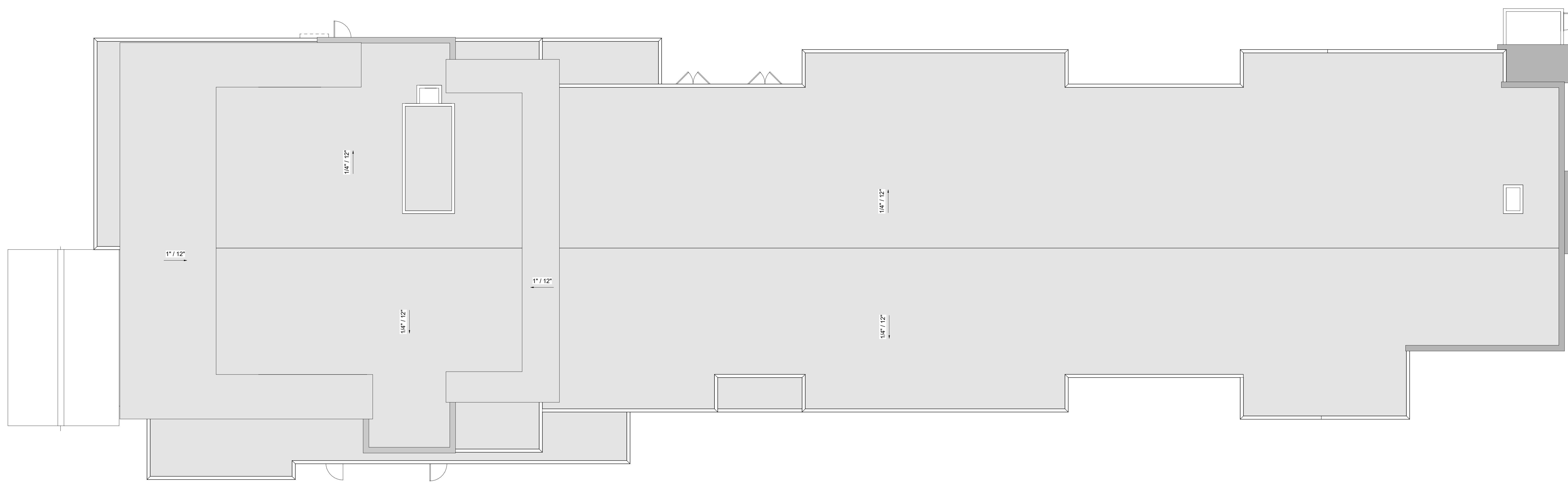


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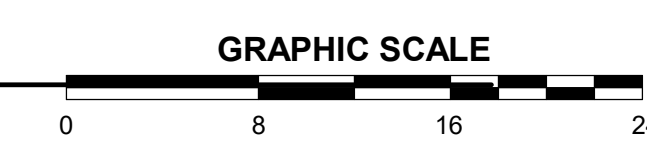


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ROOF PLAN
 1/8" = 1'-0"



Towneplace Suites by Marriott
HORIZON HOSPITALITY, LLC.
 W. Cypress Ave. - Visalia, CA 93277

TOWNEPLACE
SUITES®
 BY MARRIOTT

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Project No. : 05-1-20501
 ROOF PLAN

PR-06



NORTH ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"

EXTERIOR FINISH LEGEND

- AS-1 THREE COAT STUCCO SYSTEM w/ ELASTOMERIC ACRYLIC FINISH
OMEGA PRODUCTS
PAINTED BENJAMIN MOORE
COLOR: MANOR BLUE (1627)
TEXTURE FINISH: TBD
- AS-2 THREE COAT STUCCO SYSTEM w/ ELASTOMERIC ACRYLIC FINISH
OMEGA PRODUCTS
PAINTED BENJAMIN MOORE
COLOR: NOVEMBER RAIN (2142-80)
TEXTURE FINISH: TBD
- AS-3 THREE COAT STUCCO SYSTEM w/ ELASTOMERIC ACRYLIC FINISH
OMEGA PRODUCTS
PAINTED SHERWIN WILLIAMS
COLOR: BLACK BEAM (SW8006)
TEXTURE FINISH: TBD
- FCP-1 FIBER CEMENT PANEL
NICHHA
ROUGH SAWN SERIES AWP 3030
COLOR: SMOKE
NOTE: VERTICAL INSTALLATION



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WEST ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"

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HORIZON HOSPITALITY, LLC.
W. Cypress Ave. - Visalia, CA 93277

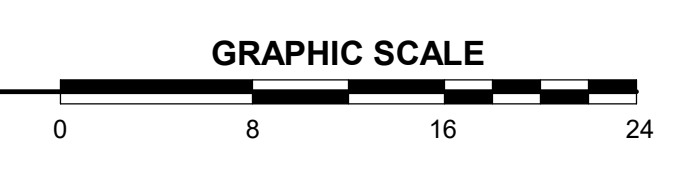
TOWNEPLACE SUITES
BY MARRIOTT

MARK	ISSUED FOR	DATE
◀◀◀◀◀◀	OWNER REVIEW	4-28-2015

Project No.: 05-1-20501
EXTERIOR ELEVATIONS

PR-07

EXTERIOR ELEVATIONS



CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Rockwood Estates Date: 1/13/22

Project Description: Subdivision

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: HFP Investments

Applicant(s) Name: Hialys Sousa

Project Address/Location: Riggin + Dinuba

Assessor Parcel Number: 091-333-044-000 1091-040-025-000

Parcel Size (Acreage or Square Feet): 3 acres Building or Suite Square Footage: 1.164 acres

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ 6 Million

Describe All Proposed Building Modifications: Brand New Subdivision (30)

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 01/19/2022

SPR Agenda: 01/26/2022 Item No. _____

Zone: R-1-5 SPR No. 22-014

Historic District: Yes No

Flood Zone: X AE X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: land

Proposed Building Use: subdivision

Proposed Hours of Operation: M-F 8-5p.m.

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing 10 Proposed _____

Number of Customers Per Day (Estimated): Existing 2 Proposed 2

Predicted Peak Operating Hour: none

Describe Any Truck Delivery Schedule & Operations: none

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): none

Describe Any Special Events Planned for the Facility: none

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - All existing & proposed site features
 - Site dimensions, including building
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
 - Adjacent street names
 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Hialys Sousa Signature of Owner or Authorized Agent*
 Address: 2539 W. Sweet Ave Hialys Sousa 1/13/22
 City, State, Zip: Visalia CA 93291 Owner Date
 Phone: (559) 280-1642 Hialys Sousa 1/13/22
 Email: hsousa@kw.com Authorized Agent* Date

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

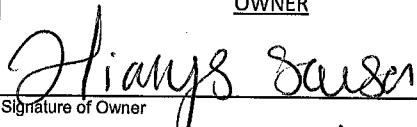
OWNER:
 I, Hialys Sousa, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

091-383-044-000 091-040-025-000

AGENT:
 I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

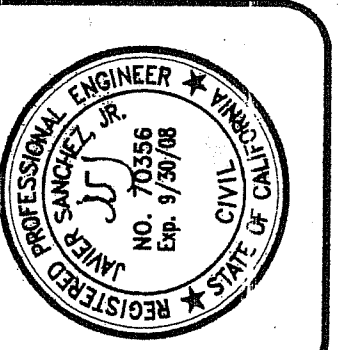
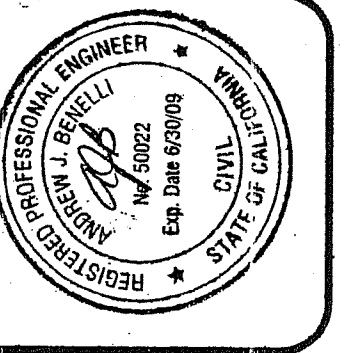
Executed this 01 day of 13, 2022.

OWNER	AGENT
 Signature of Owner	_____ Signature of Agent
<u>2539 W. Sweet Ave Visalia CA</u> Owner Mailing Address	_____ Agent Mailing Address
<u>(559) 280-1642</u> Owner Phone Number	_____ Agent Phone Number

Rockwood Estates

LARRY NELSON CONSTRUCTION
 8444 W. DOE AVENUE
 VISALIA, CA 93291
 (559) 651-0593

REVISIONS	DATE	DESCRIPTION



PROJECT

1. ALL IMPROVEMENTS SHALL BE PER CITY OF VISALIA STANDARDS.
2. THE SUBDIVIDER AND CONTRACTOR SHALL MAINTAIN DUST CONTROL ABOUT THE SITE OF WORK.
3. CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 7 DAYS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL PRESERVE MONUMENTS AND BENCH MARKS, WHICH MAY NOT BE DISTURBED WITHOUT PRIOR APPROVAL FROM THE CITY.
4. ANY INSPECTIONS TO BE PERFORMED BY THE CITY SHALL REQUIRE 24 HOUR NOTICE.
5. ALL IMPORT FILL MATERIAL SHALL CONFORM TO U.B.C., CHAPTER 33. COMPACTION TESTS ARE REQUIRED ON ALL LOT FILLS OR AREAS REQUIRING RECOMPACTION AFTER CLEARING, GRUBBING OR TREE REMOVAL OPERATIONS. FILL OR CUT IN EXCESS OF 6" TO ADJACENT PROPERTY WILL REQUIRE A RETAINING WALL.
6. ALL LOTS SHALL BE GRADED TO DRAIN TO THE STREET AT A MINIMUM 0.5% SLOPE. REFER TO CITY OF VISALIA STANDARDS FOR LAYOUT OF TYPICAL LOT DRAINAGE.
7. ALL ASPHALT CONCRETE PAVING SHALL BE APPLIED TO DRY GROUND IN DRY WEATHER WITH TEMPERATURES ABOVE 50 DEGREES. ALL WORK RELATED TO PAVING SHALL CONFORM TO STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARDS, SPECIFICATIONS, AND CITY OF VISALIA REQUIREMENTS.
8. ALL MANHOLE COVERS SHALL BE A MINIMUM OF 0.5' BELOW AGGREGATE BASE UNTIL COMPLETION OF PAVING. ADJUST ALL MANHOLES AND VALVE BOXES TO FINISH GRADE AFTER PAVING IS COMPLETED.
9. DEPRESS CURBS AT ALL RETURNS TO ALLOW HANDICAP RAMP CONSTRUCTION. DEPRESS CURBS AT ALL KNOWN DRIVEWAYS.
10. ALL TRENCHES BEHIND CURB AND GUTTER SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION. ALL TRENCHES IN THE STREET AREAS SHALL BE COMPACTED TO 95% RELATIVE COMPACTION TO 30" BELOW FINISH GRADE.
11. ALL SANITARY SEWER LATERALS SHALL BE EXTENDED 5' BEYOND PROPERTY LINE AND MARKED WITH A 3" HIGH "S" ON TOP OF CURB. WATER SERVICES SHALL BE MARKED WITH A "W". PROVIDE A MINIMUM OF 1' SEPARATION BETWEEN WATER SERVICE TAPS.
12. EXISTING IRRIGATION RISERS, IRRIGATION PIPE, AND SEPTIC SYSTEMS SHALL BE REMOVED. COMPACT TRENCH PER NOTE #10.
13. LOCATION AND RELOCATION OF POWER POLES AND LOCATION AND REMOVAL OF IRRIGATION LINES AND RISERS SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER AND CONTRACTOR.
14. TREE ROOT SYSTEMS SHALL BE REMOVED TO A MINIMUM DEPTH OF 2 FEET AND WITHIN A RADIAL DISTANCE WHICH WOULD PERMIT REMOVAL OF ALL ROOTS LARGER THAN 1" DIAMETER WITHIN STREET RIGHT OF WAYS AND BUILDING AREAS. COMPACT RESULTING CAVITY PER TRENCH NOTE NO. 10.
15. ALL OAK TREES AND OAK TREE SYSTEMS SHALL BE PROTECTED FROM DAMAGE BY NOT CUTTING ANY ROOTS LARGER THAN 1" IN DIAMETER. THERE SHALL BE NO BACKFILL, EXCAVATION, OR TRENCHING WITHIN 10 FEET OF THE TRUNK. UTILITIES SHALL NOT BE LOCATED WITHIN THE DRILLPIECE OF AN OAK TREE UNLESS APPROVED BY THE CITY ENGINEERING DEPARTMENT. PROVIDE OAK TREE PROTECTION AND MAINTENANCE PER CITY REQUIREMENTS DURING CONSTRUCTION.
16. INSTALL APPROVED TRAFFIC CONTROL SIGNS PRIOR TO ANY WORK.
17. ALL WELLS SHALL BE ABANDONED PER CITY OF VISALIA REQUIREMENTS. PERMIT SHALL BE OBTAINED FOR THE ABANDONMENT PRIOR TO STARTING WORK.
18. CONTRACTOR SHALL SWEEP ALL STREETS, ALLEYS AND WALKS PRIOR TO CITY ACCEPTANCE OF IMPROVEMENTS.
19. STREET LIGHTS SHALL BE CONSTRUCTED TO CITY OF VISALIA, SOUTHERN CALIFORNIA EDISON, CALTRANS STANDARDS. STREET LIGHT POLES, LUMINARIES, CONDUITS AND CONDUCTORS SHALL BE DEEDED TO THE CITY UPON COMPLETION.
20. CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT, AND THE CITY OF VISALIA, FOR APPROXIMATE LOCATIONS OF THEIR FACILITIES PRIOR TO COMMENCING ANY EXCAVATION.
21. ENGINEERED FILLS SHALL BE INSPECTED AND CERTIFIED BY A SOILS ENGINEER. FILL MATERIALS SHALL BE SUITABLE FOR BUILDING FOUNDATIONS IN ACCORDANCE WITH THE SOILS REPORT AND U.B.C. REQUIREMENTS.
22. CONTRACTOR SHALL SUBMIT A STORM WATER MANAGEMENT PLAN TO MITIGATE IMPACTS OF SOIL EROSION OFF-SITE, AND SHALL OBTAIN AN N.P.D.E.S. CONSTRUCTION PERMIT FROM THE CENTRAL VALLEY RWQCB. SUBMIT A COPY OF THIS PERMIT TO THE CITY. CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN UP OF SOIL EROSION FROM THE SITE THROUGHOUT THE ONE YEAR WARRANTY PERIOD FOLLOWING CITY ACCEPTANCE OF THE IMPROVEMENTS.
23. A SEPARATE ENCROACHMENT PERMIT SHALL BE OBTAINED FROM THE CITY FOR ANY WORK WITHIN EXISTING STREET RIGHTS OF WAY. SAID PERMIT MAY SPECIFY A SEPARATE WORK SCHEDULE AND COMPLETION DATE FOR ITEMS OF WORK PRIOR TO THE START OF WORK. CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN IN ACCORDANCE WITH CALTRANS TRAFFIC MANUAL, CHAPTER 5, "MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE WORK ZONES".
24. PAINT ALL FIRE HYDRANTS YELLOW, AND CONSTRUCT BLUE REFLECTIVE MARKERS IN STREET PAVEMENT PER CALTRANS STANDARDS.
25. CONSTRUCT A COPPER TRACING WIRE (#14) IN ALL WATER TRENCHES WITH ACCESS POINTS IN ALL WATER METER AND VALVE BOXES.
27. CONTRACTOR SHALL NOTIFY THE DEVELOPER'S ENGINEER OF ANY AND ALL CONFLICTS BETWEEN CONTRACT DRAWINGS AND THE ACTUAL SITE CONDITIONS PRIOR TO COMMENCING ANY WORK IN QUESTION.
28. CONTRACTOR SHALL PROVIDE PEDESTRIAN, VEHICLE, WORKER AND TREE PROTECTION AS NECESSARY FOR THE FULL DURATION OF THE PROJECT.
29. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THE CONTRACT IN A SATISFACTORY MANNER PROVIDING ALL MATERIALS, LABOR, EQUIPMENT AND INCIDENTALS NECESSARY TO COMPLETE THE WORK UNLESS SPECIFIED OTHERWISE.
30. CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION SURVEY STAKES AND PROPERTY LINE MARKERS WHEN REASONABLY POSSIBLE. ANY STAKES OR MARKERS REQUIRING REPLACEMENT BY THE DEVELOPER'S ENGINEER SHALL BE DONE AS "EXTRA WORK".
31. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS, INSPECTIONS, AND MATERIALS TESTING. ANY INSPECTION TO BE PERFORMED BY THE CITY SHALL REQUIRE A 24 HR. NOTICE.
33. CONTRACTOR SHALL INDEMNIFY, DEFEND, AND HOLD HARMLESS THE DEVELOPER, HIS ENGINEER AND CONSULTANTS, THEIR OFFICERS, EMPLOYEES AND AGENTS, FROM ANY AND ALL LIABILITY CLAIMS, LOSSES OR DAMAGES ARISING OR ALLEGED FROM THE PERFORMANCE OF THE WORK DESCRIBED ON THESE PLANS, NOT INCLUDING NEGLIGENCE ON THE PART OF THE DEVELOPER.
34. CONTRACTOR SHALL EXPOSE ALL EXISTING PIPELINES OR OTHER UNDERGROUND OBSTRUCTIONS TO VERIFY THAT THERE ARE NO GRADE CONFLICTS PRIOR TO LAYING ANY GRAVITY PIPELINES UPSTREAM OF SAID PIPELINES OR OBSTRUCTIONS. FAILURE TO DO SO RELIEVES THE ENGINEER FROM FURTHER RESPONSIBILITY FOR SAID CONFLICT.
35. THE CONTRACTOR SHALL PROVIDE FOR INGRESS AND EGRESS FOR PRIVATE PROPERTY ADJACENT TO WORK THROUGHOUT THE PERIOD OF CONSTRUCTION.
36. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR SAFETY.
37. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN.
38. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST 2 WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL "UNDERGROUND SERVICE ALERT" (U.S.A.) AT 1-800-227-2600. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATION OF SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.
39. ALL EXISTING REMAINING UTILITIES AND REMAINING IMPROVEMENTS IN PUBLIC RIGHT-OF-WAY THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE LOCAL AGENCY ENGINEER, AT THE CONTRACTOR'S SOLE EXPENSE.
40. ANY RELOCATION OF PUBLIC UTILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH ANY AND ALL REQUIREMENTS OF THE UTILITY COMPANY, INCLUDING FEES, BONDS, PERMITS AND WORKING CONDITIONS, ETC. THIS WORK SHALL BE DONE AT NO EXPENSE TO THE UTILITY COMPANY. THE OWNER SHALL PAY THE COST OF ALL SUCH RELOCATION WORK INCLUDING FEES, BONDS, PERMITS, ETC.
41. SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE HERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT "QUADKNOPF ENGINEERING, INC." (559) 733-0440 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
42. ALL EXTERIOR FLATWORK SHALL RECEIVE A BROOM FINISH.
43. THE SUB-DIVIDER AND CONTRACTORS SHALL INSTALL AND MAINTAIN PROTECTION AROUND STORM DRAIN INLETS DURING CONSTRUCTION TO PREVENT INFILTRATION OF MUD AND DIRT INTO THE STORM DRAIN SYSTEM.
44. APPROPRIATE APPROVALS SHALL BE OBTAINED PRIOR TO PROCEEDING WITH ANY WORK IN THE VICINITY OF IRRIGATION DITCHES, CREEKS AND ASSOCIATED IRRIGATION FACILITIES WHETHER OR NOT SHOWN ON THESE PLANS.

OWNER/DEVELOPER

1. COVER SHEET
2. GENERAL GRADING PLAN
3. WREN AVE./MODOC CT.
4. ST. JOHNS PARKWAY STA. 10+00-18+00
5. ST. JOHNS PARKWAY STA. 18+00-END/OAKRIDGE COURT
6. ROXSAN STREET
7. DETAILS & STREET CROSS SECTIONS
8. STANDARD DETAILS
9. STRIPING PLAN

SHEET INDEX

BURKE & 1/2 MILE NORTH OF HOUSTON
 R/R SPIKE IN WEST FACE OF POWER
 POLE #X157156 EAST SIDE BURKE
 ELEV.=335.567

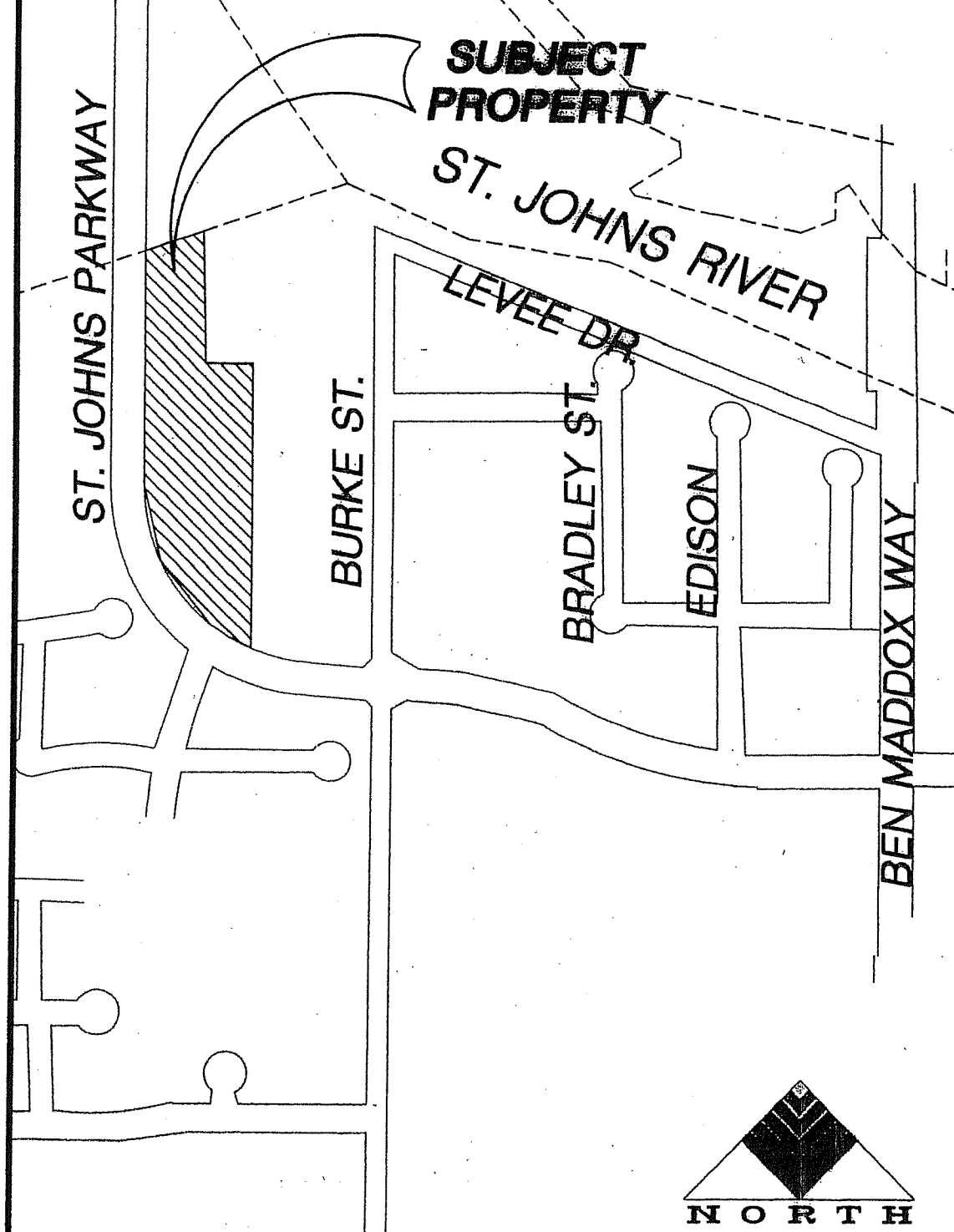
APPROVED BY: DATE: 9/25/07
 PROJECT ENGINEER
 JAVIER SANCHEZ, JR., P.E., C.E., T.O.S.E.
 APPROVED BY: DATE: 10-12-07
 CITY ENGINEER
 ANDREW BENETTI, P.E., C.E., T.O.S.E.

5110 W. OYRESS AVE.
 P.O. BOX 3689
 VISALIA, CA 93278
 TEL: (559) 733-7811 FAX: (559) 733-7811
 WWW.QUADKNOPF.COM

PREPARED BY: CHECKED BY:

Quad Knopf
 ENGINEERS

OAK TREE NOTES



BENCHMARK

- California Water Service Co.
 Attn: Mike Markarian
 Email: mmarkarian@calwater.com
 216 N. Valley Oaks Drive
 Visalia, CA 93291
 Phone No.: (559) 624-1660
- Comcast Cable
 Attn: Brian Copeland
 Email: brian_copeland@cable.comcast.com
 2441 N. Grove Industrial Drive
 Fresno, CA 93727
 Phone No.: (559) 455-4580
- AT&T California
 Attn: Gary Kliss
 Email: gk2148@bc.com
 P.O. Box 2066
 Visalia, CA 93279
 Phone No.: (559) 739-6439
- Southern California Edison
 Attn: Kevin Arellano
 Email: kevin.arellano@sce.com
 2425 S. Blackstone St.
 Tulare, CA 93274
 Phone No.: (559) 685-3286
- Southern California Gas Company
 Attn: Greg Fisher
 Email: gfisher@sempra.utilities.com
 404 N. Tipton St.
 Visalia, CA 93292
 Phone No.: (559) 739-2328

GRADING NOTE

THIS GRADING PLAN IS INTENDED FOR ROUGH SUBDIVISION LOT GRADING ONLY. THE GRADING INFORMATION AND DETAILS SHOWN UPON THESE PLANS ARE NOT INTENDED TO BE ADEQUATE TO PROVIDE FOR A COMPLETED FUNCTIONING DRAINAGE SYSTEM ON INDIVIDUAL LOTS, NOR IS IT POSSIBLE TO DO SO WITHOUT ADDITIONAL ENGINEERING DESIGN RELATED TO THE SPECIFIC PLAN OF IMPROVEMENTS PROPOSED FOR EACH LOT. BUILDING CONSTRUCTION UPON THESE LOTS MAY REQUIRE ADDITIONAL FILL MATERIAL, ADDITIONAL GRADING, THE CONSTRUCTION OF DRAINAGE PIPES, CURBS, GUTTERS, PAVING, OR OTHER WORK AND ADDITIONAL DESIGN AND SURVEYING SERVICES CONNECTED WITH SUCH PROPOSED IMPROVEMENTS IN ORDER TO ENSURE THAT AN ADEQUATE COMPLETED DRAINAGE SYSTEM WILL BE PROVIDED FOR EACH LOT. FAILURE TO PROVIDE SUCH ADDITIONAL MEASURES MAY RESULT IN ADVERSE SITE-SPECIFIC PHYSICAL CONDITIONS INCLUDING EXCESSIVE MOISTURE, AND POTENTIAL HEALTH HAZARDS INCLUDING THE PRESENCE OF POTENTIALLY TOXIC MOULD, AND/OR OTHER PROBLEMS THAT CAN NOT BE ANTICIPATED.

SURVEYORS NOTE

CONTRACTOR IS RESPONSIBLE FOR PRESERVATION AND OR PERPETUATION OF ALL EXISTING MONUMENTS WHICH CONTROL SUBDIVISIONS, TRACTS, PROPERTY BOUNDARIES, STREETS, HIGHWAYS, OR OTHER RIGHT-OF-WAY EASEMENTS. CONTRACTOR SHALL PROVIDE A MINIMUM OF 10 WORKING DAYS NOTICE TO PROJECT ENGINEER / SURVEYOR PRIOR TO DISTURBANCE OR REMOVAL OF EXISTING MONUMENTS. PROJECT ENGINEER / SURVEYOR SHALL COORDINATE WITH CONTRACTOR TO RESET MONUMENTS OR PROVIDE PERMANENT WITNESS MONUMENTS AND FILE THE REQUIRED DOCUMENTATION WITH THE COUNTY SURVEYOR PURSUANT TO BUSINESS AND PROFESSIONS CODE SECTION 8771.

NOTE TO OWNER AND CONTRACTOR

THIS PLAN HAS BEEN PREPARED WITH THE INTENT THAT QUAD KNOPF WILL BE PERFORMING THE CONSTRUCTION STAKING FOR THE COMPLETE PROJECT. IF, HOWEVER ANOTHER ENGINEERING AND/OR SURVEYING FIRM SHOULD BE EMPLOYED TO USE THESE PLANS FOR THE PURPOSE OF CONSTRUCTION STAKING, NOTICE IS HEREBY GIVEN THAT THE FIRM OF QUAD KNOPF, INC. WILL NOT ASSUME ANY RESPONSIBILITY FOR ERRORS OR OMISSIONS, IF ANY, WHICH MIGHT OCCUR AND WHICH COULD HAVE BEEN AVOIDED, CORRECTED OR MITIGATED IF QUAD KNOPF HAD PERFORMED THE STAKING WORK.

GENERAL NOTES

VICINITY MAP NO SCALE UTILITY CONTACTS

IMPROVEMENT PLAN FOR:
LARRY NELSON CONSTRUCTION
 8444 W. DOE AVENUE
 VISALIA, CA 93291
 (559) 651-0593

ROCKWOOD ESTATES
 COVER SHEET

PLOT DATE:	8/20-28-2007	08/28AM
JOB NO.:	050764	
FILE NAME:	050764-01-COV	
SCALE:	N.T.S.	
SHEET NO.:	1	OF 9

BENCH MARK

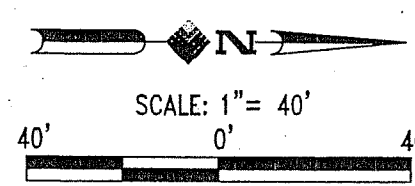
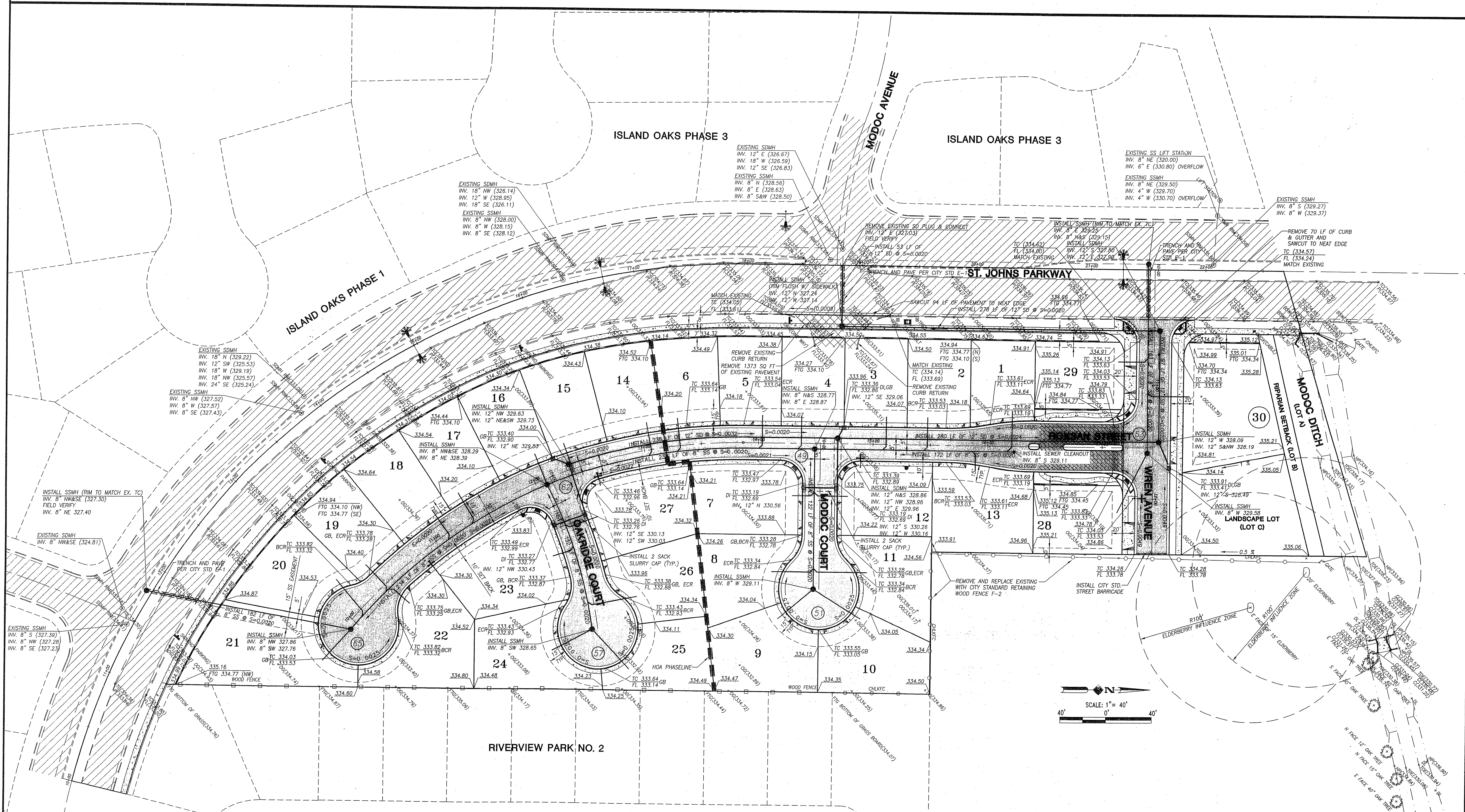
BURKE & 1/2 MILE NORTH OF HOUSTON R/R SPIKE IN WEST FACE OF POWER POLE #X15715E EAST SIDE BURKE ELEV.=335.567

BEFORE EXCAVATING CALL USA 1-800-227-2600

THIS GRADING PLAN IS INTENDED FOR ROUGH SUBDIVISION LOT GRADING ONLY. THE GRADING INFORMATION AND DETAILS SHOWN UPON THESE PLANS ARE NOT INTENDED TO BE ADEQUATE TO PROVIDE FOR A COMPLETED FUNCTIONING DRAINAGE SYSTEM ON INDIVIDUAL LOTS, NOR IS IT POSSIBLE TO DO SO WITHOUT ADDITIONAL ENGINEERING DESIGN RELATED TO THE SPECIFIC PLAN OF IMPROVEMENTS PROPOSED FOR EACH LOT. PERSONS BUILDING UPON THESE LOTS MAY BE REQUIRED TO ADD ADDITIONAL FILL MATERIAL, PERFORM ADDITIONAL GRADING, CONSTRUCT DRAINAGE PIPES, CURBS, GUTTERS, PAVING, OR OTHER WORK AND TO OBTAIN ADDITIONAL DESIGN AND SURVEYING SERVICES CONNECTED WITH SUCH PROPOSED IMPROVEMENTS IN ORDER TO ENSURE THAT AN ADEQUATE COMPLETED DRAINAGE SYSTEM WILL BE PROVIDED FOR EACH LOT. FAILURE TO PROVIDE SUCH ADDITIONAL MEASURES MAY RESULT IN ADVERSE SITE-SPECIFIC PHYSICAL CONDITIONS, HEALTH AND/OR OTHER PROBLEMS THAT CAN NOT BE ANTICIPATED.

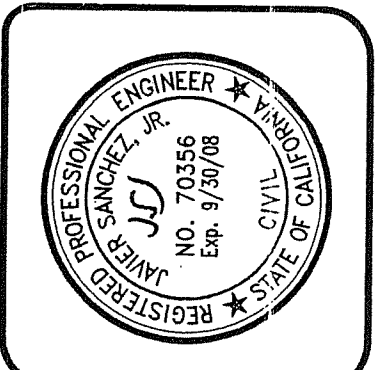
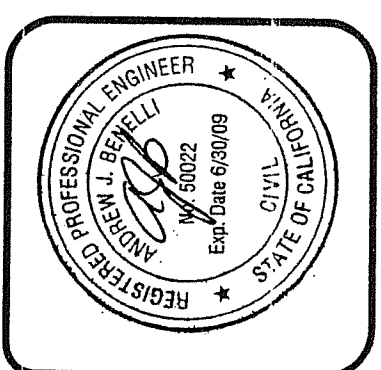
LEGEND

BC	BEGINNING OF CURB	HWCP	HEAVY WALL CONCRETE PIPE	W	WATER LINE		CITY STANDARD RAMP
BCR	BEGIN CURB RETURN	INVT	INVERT	G	GAS LINE		CHAIN LINK FENCE
BW	BACK OF SIDEWALK	P	PAVEMENT	R	"R" VALUE		BLOCK WALL
CR	CROWN OF ROAD	PRC	POINT OF REVERSE CURVE		PROPOSED PAVEMENT		MAJOR DRAINAGE INLET
C&G	CURB & GUTTER	TC	TOP OF CURB		EXISTING PAVEMENT		STREET MONUMENT
DI	DRAINAGE INLET	000.00	PROPOSED ELEVATION		PROPOSED SIDEWALK		SECTION MONUMENT
EC	END OF CURVE	SS	SANITARY SEWER		BRICK WALKWAY		
EP	EDGE OF PAVEMENT	SSMH	SANITARY SEWER MANHOLE		EXISTING SIDEWALK		
ECR	END CURB RETURN	S=0.0000	SLOPE, IN FOOT PER FOOT		EXISTING PAVEMENT TO BE REMOVED		
(000.00)	EXISTING ELEVATION	SD	STORM DRAIN		EXISTING POWER POLE		
FL	FLOW LINE	SDMH	STORM DRAIN MANHOLE		POWER POLE TO BE RELOCATED		
FTG	FOOTING		STREET LIGHT (5800 LUMEN)		STREET NAME SIGN		
GB	GRADE BREAK		STREET LIGHT (9500 LUMEN)		STREET STOP SIGN		
GV	GATE VALVE		PROP. WATER VALVE				



REVISIONS

NO.	DATE	DESCRIPTION



APPROVED BY: *J. Sanchez*
DATE: 10/1/07
PROJECT ENGINEER

APPROVED BY: *Andrew Benitez*
DATE: 10/1/07
CITY ENGINEER

PREPARED BY: 5110 W. DRESSER AVE. P.O. BOX 3689 VISALIA, CA 93278 TEL: (559) 733-0440 FAX: (559) 733-7821 WWW.QUADKNOPF.COM

Quad Knopf

CHECKED BY: AV

IMPROVEMENT PLAN FOR: **LARRY NELSON CONSTRUCTION**
8444 W. DOE AVENUE VISALIA, CA 93291 (559) 851-0893

ROCKWOOD ESTATES GENERAL GRADING PLAN

PLOT DATE: Oct-9-2007 09:32AM
JOB NO.: 050764
FILE NAME: 050764-02-GP
SCALE: HORIZ 1"=40'
SHEET NO.: 2 OF 9

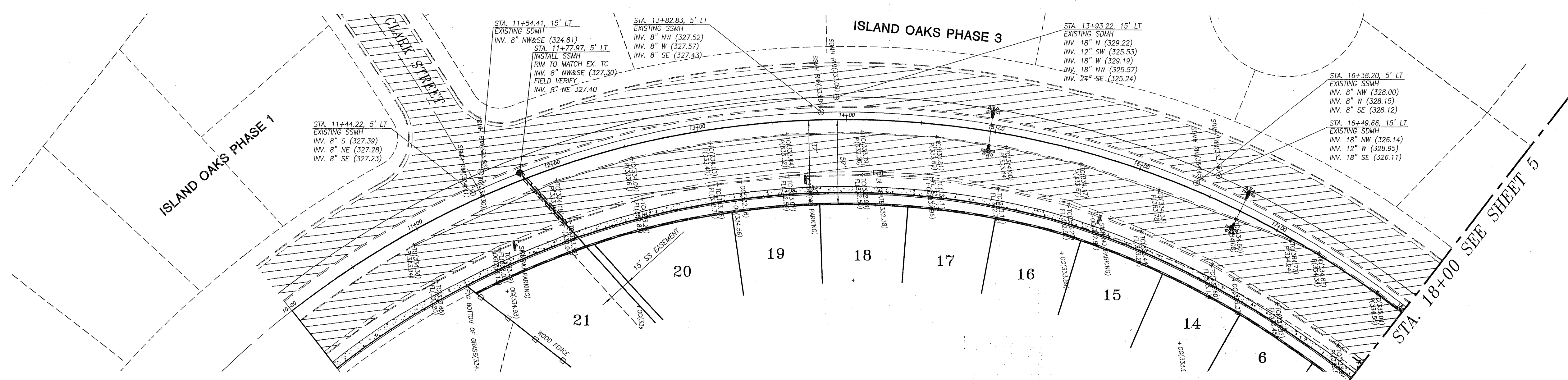
BENCH MARK

BURKE & 1/2 MILE NORTH OF HOUSTON R/R SPIKE IN WEST FACE OF POWER POLE #X15715E EAST SIDE BURKE ELEV.=335.567

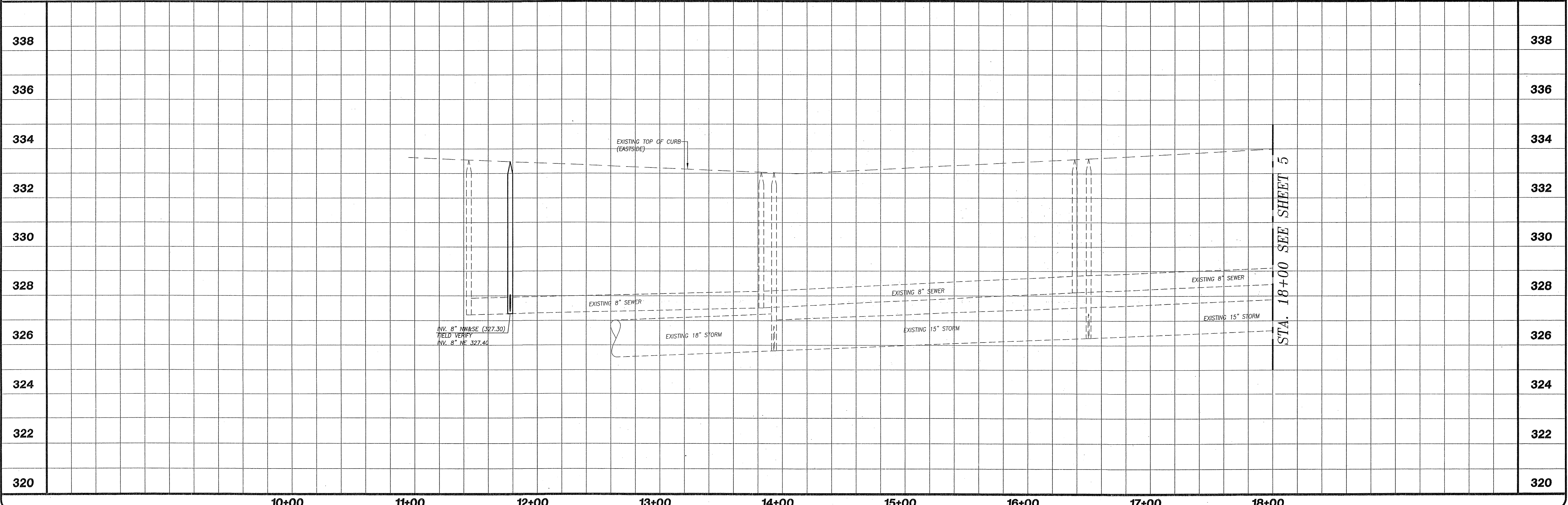
BEFORE EXCAVATING CALL • USA 1-800-227-2600

LEGEND

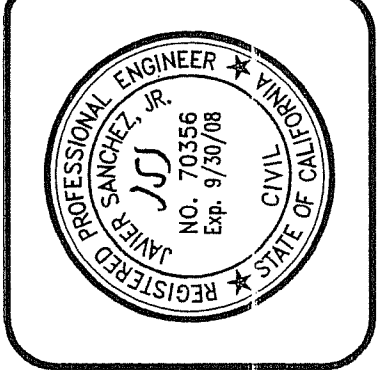
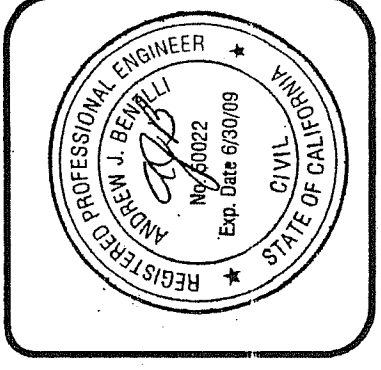
- | | | | | | | | |
|-----|-----------------------|----------|---------------------------|---|---------------------------------|--|----------------------|
| BC | BEGINNING OF CURB | HWCP | HEAVY WALL CONCRETE PIPE | W | WATER LINE | | CITY STANDARD RAMP |
| BCR | BEGIN CURB RETURN | INV. | INVERT | G | GAS LINE | | CHAIN LINK FENCE |
| BW | BACK OF SIDEWALK | P | PAVEMENT | | "12" VALUE | | BLOCK WALL |
| CR | CROWN OF ROAD | PRC | POINT OF REVERSE CURVE | | PROPOSED PAVEMENT | | MAJOR DRAINAGE INLET |
| C&G | CURB & GUTTER | TC | TOP OF CURB | | PROPOSED SIDEWALK | | STREET MONUMENT |
| DI | DRAINAGE INLET | 000.00 | PROPOSED ELEVATION | | EXISTING PAVEMENT | | STREET MONUMENT |
| EC | EDGE OF CURVE | SS | SANITARY SEWER | | EXISTING SIDEWALK | | SECTION MONUMENT |
| EP | EDGE OF PAVEMENT | SSMH | SANITARY SEWER MANHOLE | | EXISTING PAVEMENT TO BE REMOVED | | |
| ECR | END CURB RETURN | S=0.0000 | SLOPE, IN FOOT PER FOOT | | EXISTING POWER POLE | | |
| EA | EXISTING ELEVATION | STA | STATION | | POWER POLE TO BE RELOCATED | | |
| ● | FIRE HYDRANT ASSEMBLY | SD | STORM DRAIN | | STREET NAME SIGN | | |
| FL | FLOW LINE | SDMH | STORM DRAIN MANHOLE | | STREET STOP SIGN | | |
| FTG | FOOTING | | STREET LIGHT (5800 LUMEN) | | | | |
| GB | GRADE BREAK | | STREET LIGHT (9500 LUMEN) | | | | |
| GV | GATE VALVE | | PROP. WATER VALVE | | | | |
| | | | EXISTING WATER VALVE | | | | |



ST. JOHNS PARKWAY STA. 10+00-18+00
SEE SHEET 7 FOR STREET CROSS SECTION



NO.	DATE	BY	DESCRIPTION



APPROVED BY: *[Signature]*
DATE: 10/19/07
PROJECT ENGINEER
JAVIER SANCHEZ, JR., P.E., 70356

APPROVED BY: *[Signature]*
DATE: 10/19/07
CITY ENGINEER
ANDREW BENELLI, P.E., 50022

5110 W. CYPRESS AVE.
P.O. BOX 3899
TOLUKE, CA 93276
TEL: (559) 231-7821
FAX: (559) 231-7821
WWW.QUADKNOPF.COM

PREPARED BY: **Quad Knopf**
DRAWN BY: AV

IMPROVEMENT PLAN FOR:
LARRY NELSON CONSTRUCTION
8444 W. DOE AVENUE
MESA, CA 93291
(559) 651-0583

PREPARED FOR:
ROCKWOOD ESTATES
ST. JOHNS PARKWAY STA. 10+00-18+00
PLAN & PROFILE

PLOT DATE: Oct-9-2007 09:32AM
JOB NO.: 050764
FILE NAME: 050764-04_05-SUNL-ST JOHNS
SCALE: HORIZ 1"=40'
VERT 1"=2'
SHEET NO.: 4 OF 9

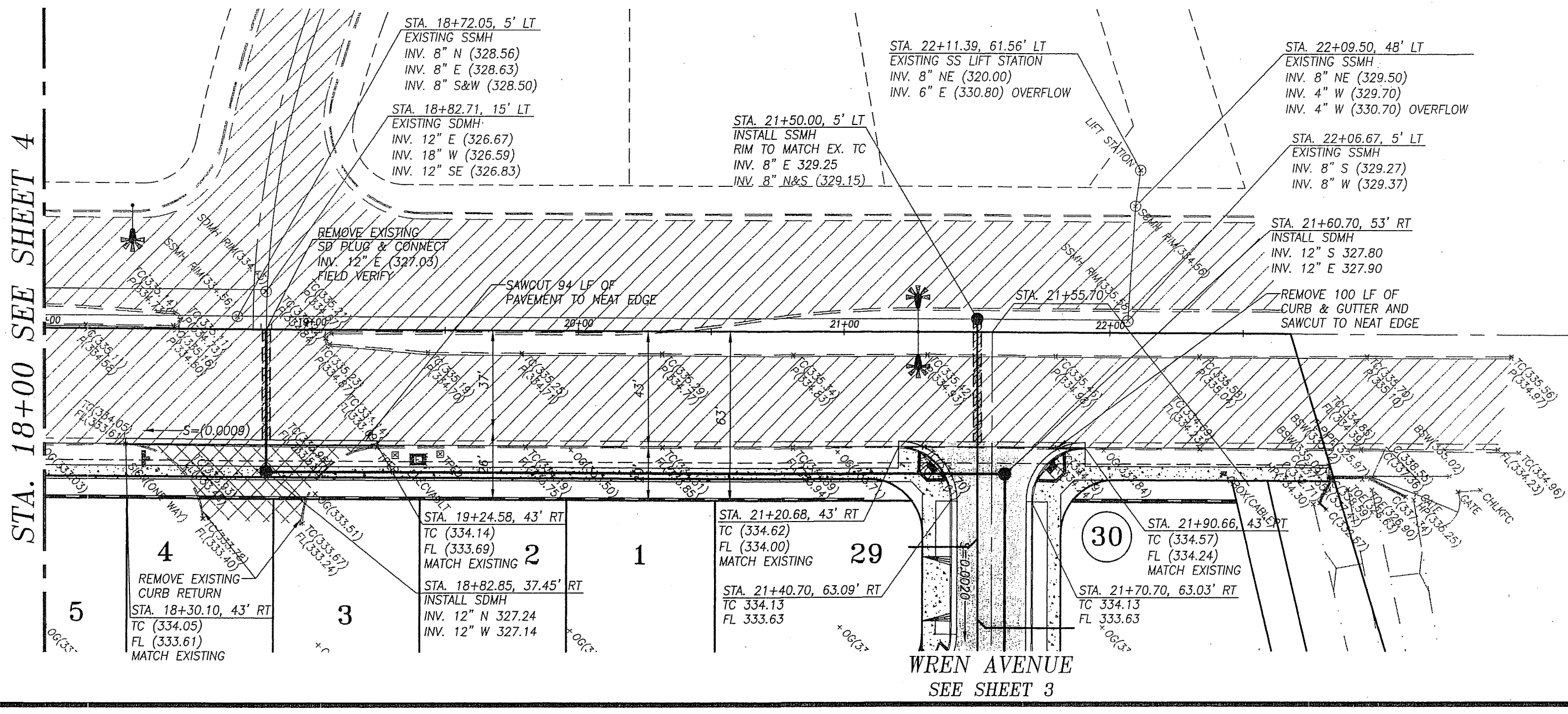
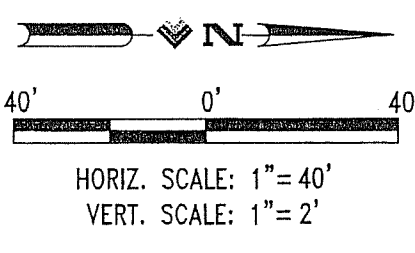
BENCH MARK

BURKE & 1/2 MILE NORTH OF HOUSTON R/R SPIKE IN WEST FACE OF POWER POLE #X15715E EAST SIDE BURKE ELEV.=335.567

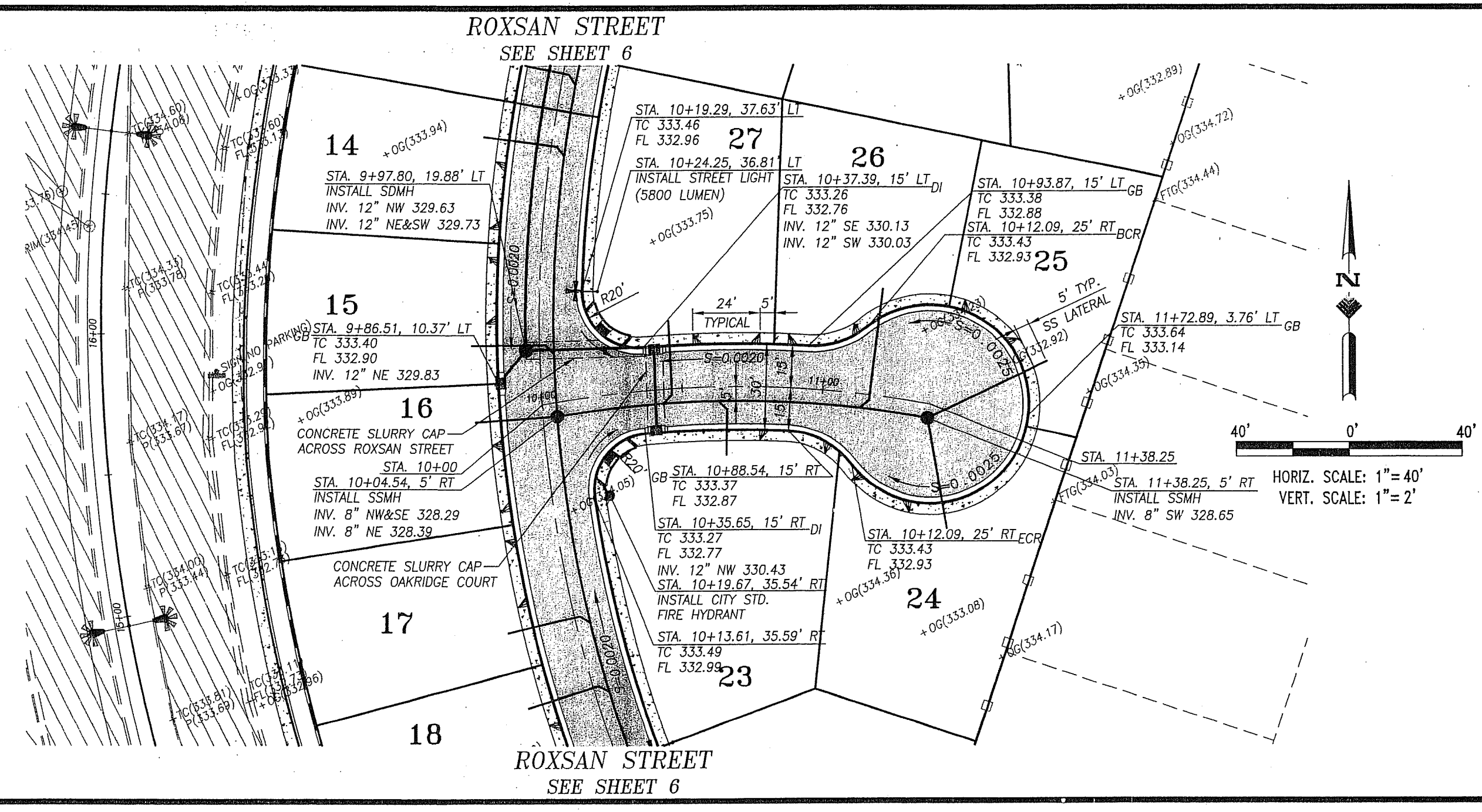
BEFORE EXCAVATING CALL USA 1-800-227-2600

LEGEND

BC	BEGINNING OF CURB	HWCP	HEAVY WALL CONCRETE PIPE	W	WATER LINE		CITY STANDARD RAMP
BCR	BEGIN CURB RETURN	INVT	INVERT	G	GAS LINE		CHAIN LINK FENCE
BW	BACK OF SIDEWALK	P	PAVEMENT	6	"R" VALUE		BLOCK WALL
CR	CROWN OF ROAD	PRC	POINT OF REVERSE CURVE		PROPOSED PAVEMENT		MAJOR DRAINAGE INLET
C&G	CURB & GUTTER	TC	TOP OF CURB		EXISTING PAVEMENT		STREET MONUMENT
DI	DRAINAGE INLET	000.00	PROPOSED ELEVATION		BRICK WALKWAY		
EC	EDGE OF CURVE	SS	SANITARY SEWER		EXISTING SIDEWALK		
EP	EDGE OF PAVEMENT	SSMH	SANITARY SEWER MANHOLE		EXISTING PAVEMENT TO BE REMOVED		
ECR	END CURB RETURN	S=0.0000	SLOPE, IN FOOT PER FOOT		EXISTING POWER POLE		
(000.00)	EXISTING ELEVATION	SD	STORM DRAIN		POWER POLE TO BE RELOCATED		
FL	FIRE HYDRANT ASSEMBLY	SDMH	STORM DRAIN MANHOLE		STREE NAME SIGN		
FL	FLOW LINE		STREET LIGHT (5800 LUMEN)		STREET STOP SIGN		
FTG	FOOTING		STREET LIGHT (9500 LUMEN)				
GB	GRADE BREAK		PROP. WATER VALVE				
GV	GATE VALVE		EXISTING WATER VALVE				



ST. JOHNS PARKWAY STA. 18+00-END
SEE SHEET 7 FOR STREET CROSS SECTION



OAKRIDGE COURT
SEE SHEET 7 FOR STREET CROSS SECTION

338	<p>NOTE: FOR SANITARY SEWER MAINS WITH LESS THAN 5 FEET OF COVER FROM THE TOP OF CURB GRADE, THERE MAY BE A CONFLICT BETWEEN THE SANITARY SEWER LATERAL AND THE "DRY" UTILITIES (SEE CITY STD. S-7 DETAIL). THE DEVELOPER IS RESPONSIBLE TO ASSURE COMPLIANCE WITH S-7 AND AVOID CONFLICT WITH THE "DRY" UTILITIES.</p>		338				
336			336				
334			334				
332			332				
330			330				
328			328				
326			326				
324			324				
322			322				
320			320				
18+00			19+00	20+00	21+00	22+00	23+00
9+00			10+00	11+00	12+00		

REVISIONS

NO.	DATE	DESCRIPTION

PROFESSIONAL ENGINEER
JAMES J. SANCHEZ, JR.
No. 70356
Exp. 9/30/08

PROFESSIONAL ENGINEER
ANDREW REPELLI
No. 50022
R.C.E.

APPROVED BY: *[Signature]*
DATE: 10/10/07

APPROVED BY: *[Signature]*
DATE: 10/10/07

5110 W. CYPRESS AVE.
P.O. BOX 3689
VICALA, CA 93278
TEL: (661) 332-7871
FAX: (661) 332-7871
WWW.QUADKNOP.COM

PREPARED BY: **Quad Knopf**
DRAWN BY: AV

IMPROVEMENT PLAN FOR:
LARRY NELSON CONSTRUCTION
8444 W. DOE AVENUE
VICALA, CA 93271
(569) 681-0583

ROCKWOOD ESTATES
ST. JOHNS PARKWAY STA. 18+00-END/
OAKRIDGE COURT PLAN & PROFILE

PLOT DATE: Oct-11-2007 09:16AM
JOB NO.: 050764
FILE NAME: 050764-04-05-0WR-ST JOHNS
SCALE: HORIZ 1"=40'
VERT 1"=2'
SHEET NO.: 5 OF 9

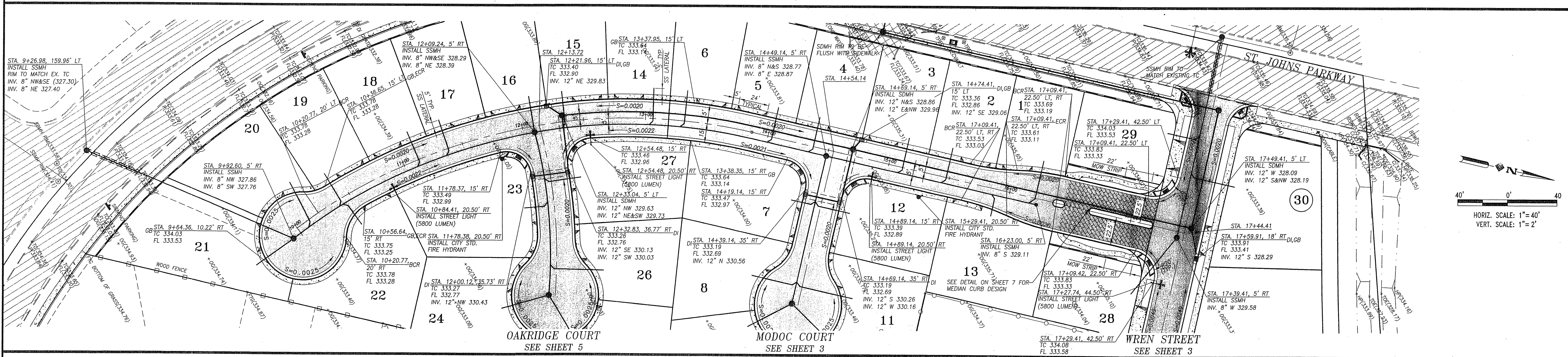
BENCH MARK

BURKE & 1/2 MILE NORTH OF HOUSTON R/R SPIKE IN WEST FACE OF POWER POLE #X15715E EAST SIDE BURKE ELEV.=335.567

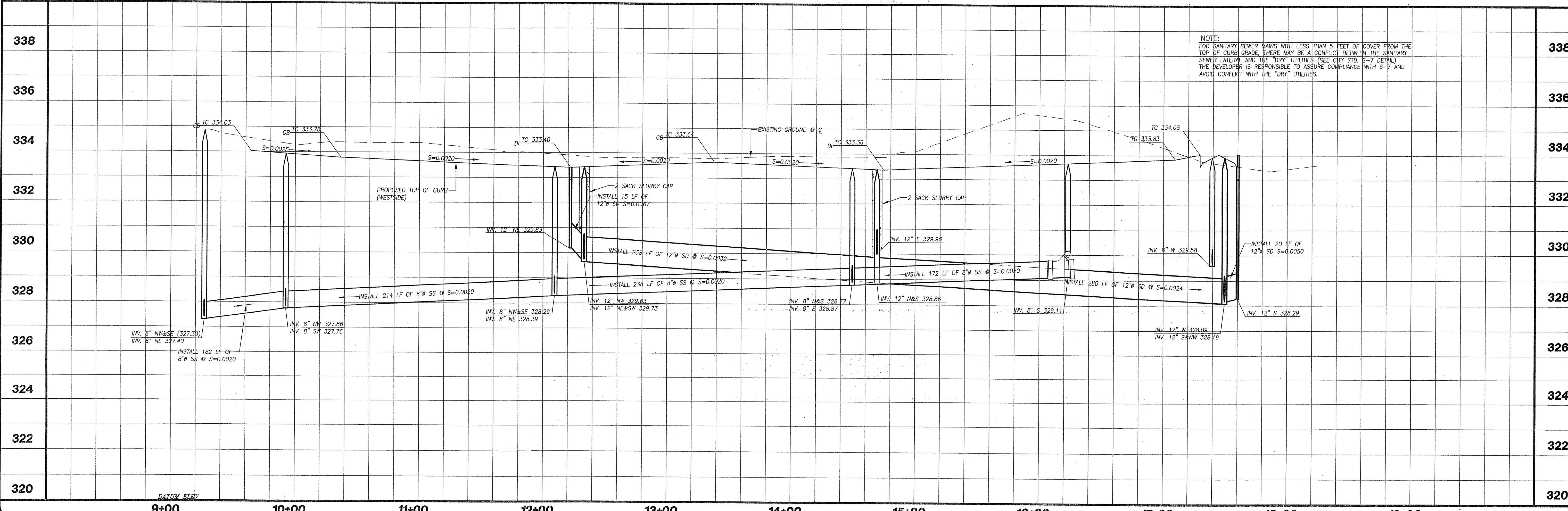
BEFORE EXCAVATING CALL USA 1-800-227-2600

LEGEND

BC	BEGINNING OF CURB	HWCP	HEAVY WALL CONCRETE PIPE	W	WATER LINE		CITY STANDARD RAMP
BCR	BEGIN CURB RETURN	INV.	INVERT	G	GAS LINE		CHAIN LINK FENCE
BW	BACK OF SIDEWALK	P	PAVEMENT		"R" VALUE		BLOCK WALL
CR	CROWN OF ROAD	PRC	POINT OF REVERSE CURVE		PROPOSED PAVEMENT		MAJOR DRAINAGE INLET
C&G	CURB & GUTTER	TC	TOP OF CURB		PROPOSED SIDEWALK		EXISTING PAVEMENT
DI	DRAINAGE INLET	000.00	PROPOSED ELEVATION		BRICK WALKWAY		EXISTING SIDEWALK
EC	EDGE OF CURVE	SS	SANITARY SEWER		EXISTING PAVEMENT TO BE REMOVED		EXISTING POWER POLE
EP	EDGE OF PAVEMENT	SSMH	SANITARY SEWER MANHOLE		EXISTING POWER POLE TO BE RELOCATED		STREET NAME SIGN
ECR	END CURB RETURN	S=0.0000	SLOPE, IN FOOT PER FOOT		STREET STOP SIGN		
(000.00)	EXISTING ELEVATION	STA.	STATION				
	FIRE HYDRANT ASSEMBLY	SD	STORM DRAIN				
FL	FLOW LINE	SDMH	STORM DRAIN MANHOLE				
FTG	FOOTING	ST	STREET LIGHT (5800 LUMEN)				
GB	GRADE BREAK	ST	STREET LIGHT (9500 LUMEN)				
GV	GATE VALVE	PROP.	PROP. WATER VALVE				
		EX	EXISTING WATER VALVE				



ROXSAN STREET
SEE SHEET 7 FOR STREET CROSS SECTION



NOTE:
FOR SANITARY SEWER MAINS WITH LESS THAN 5 FEET OF COVER FROM THE TOP OF CURB GRADE, THERE MAY BE A CONFLICT BETWEEN THE SANITARY SEWER LATERAL AND THE "DRY" UTILITIES (SEE CITY STD. S-7 DETAIL). THE DEVELOPER IS RESPONSIBLE TO ASSURE COMPLIANCE WITH S-7 AND AVOID CONFLICT WITH THE "DRY" UTILITIES.

REVISIONS

NO.	DATE	DESCRIPTION

DATE: _____ BY: _____

REGISTERED PROFESSIONAL ENGINEER
JAVIER SANCHEZ, JR.
No. 70356
Exp. Date 8/30/09

REGISTERED PROFESSIONAL ENGINEER
ANDREW BENNETT
No. 70356
Exp. Date 8/30/09

APPROVED BY: *Javier Sanchez, Jr.*
DATE: 10/9/07
PROJECT ENGINEER

APPROVED BY: *Andrew Bennett*
DATE: 10/9/07
CITY ENGINEER

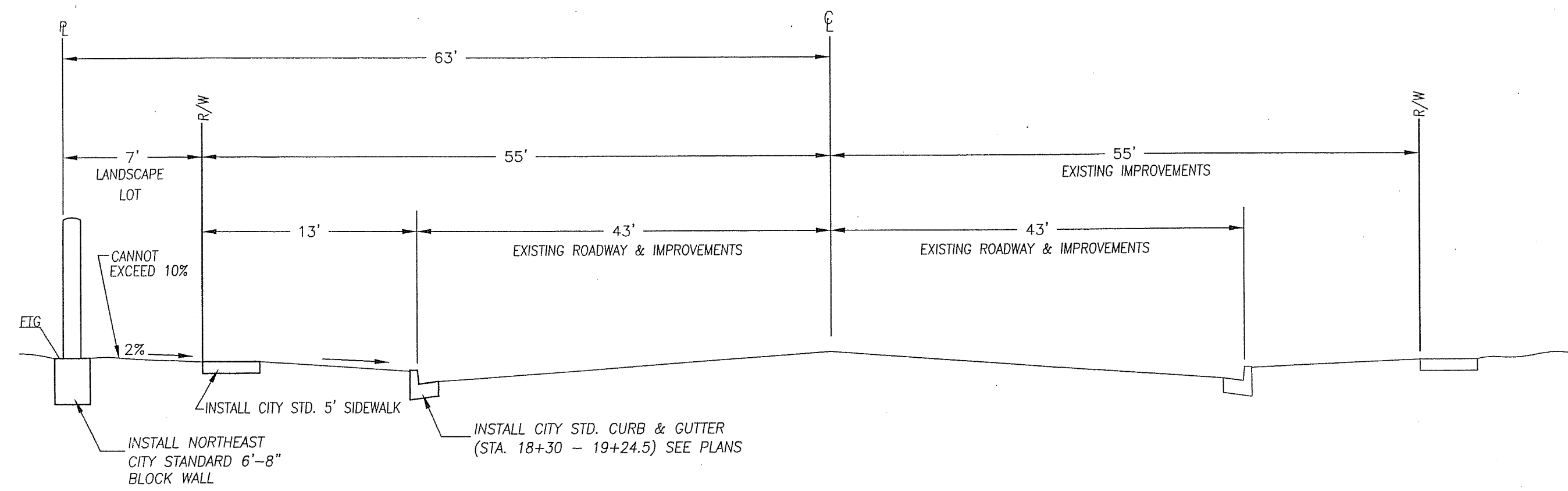
5110 W. CITRESS AVE.
P.O. BOX 3699
VISTA, CA 92083
TEL: (619) 333-7611
FAX: (619) 333-7611
WWW.QUADKNOPF.COM

PREPARED BY: **Quad Knopf**
DRAWN BY: AV

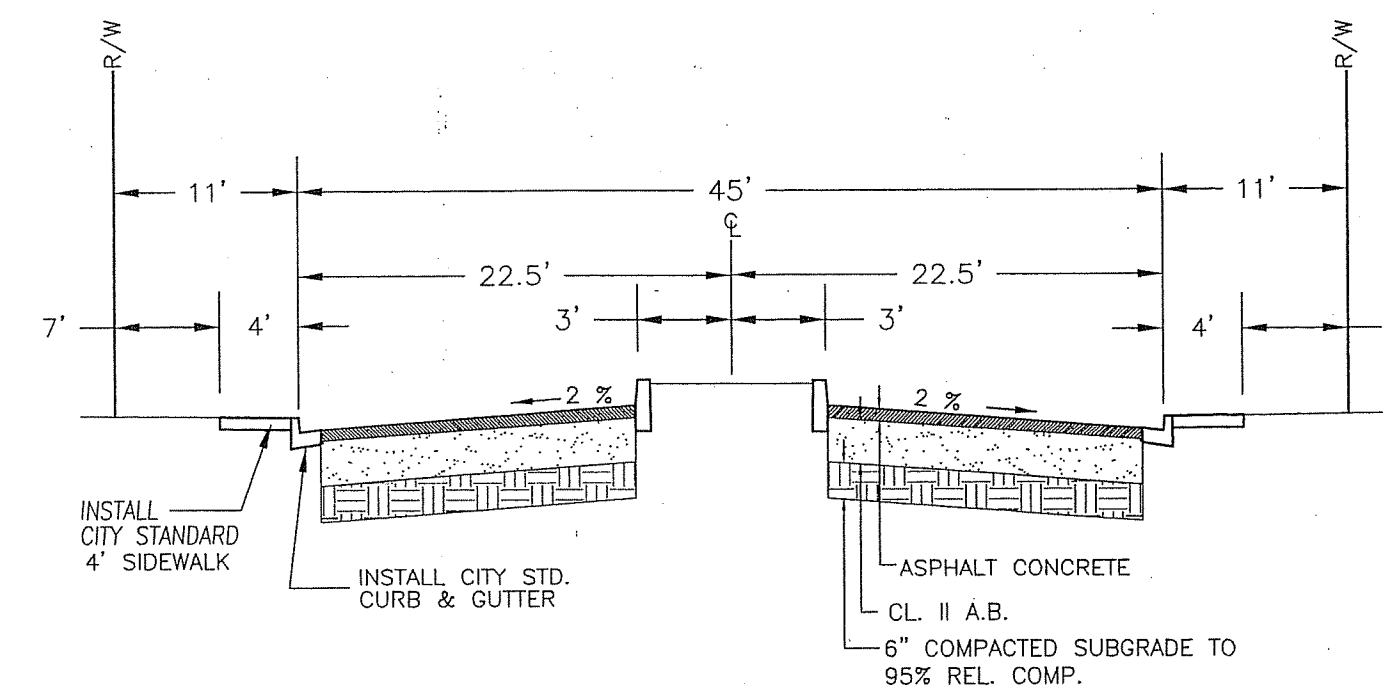
IMPROVEMENT PLAN FOR:
LARRY NELSON CONSTRUCTION
8444 W. DOE AVENUE
VISTA, CA 92081
(619) 651-0593

ROCKWOOD ESTATES
ROXSAN STREET PLAN & PROFILE

PLOT DATE: Oct-9-2007 09:31AM
JOB NO.: 050764
FILE NAME: 050764-06-ROXS
SCALE: HORIZ 1"=40'
VERT 1"=2'
SHEET NO.: 6 OF 9

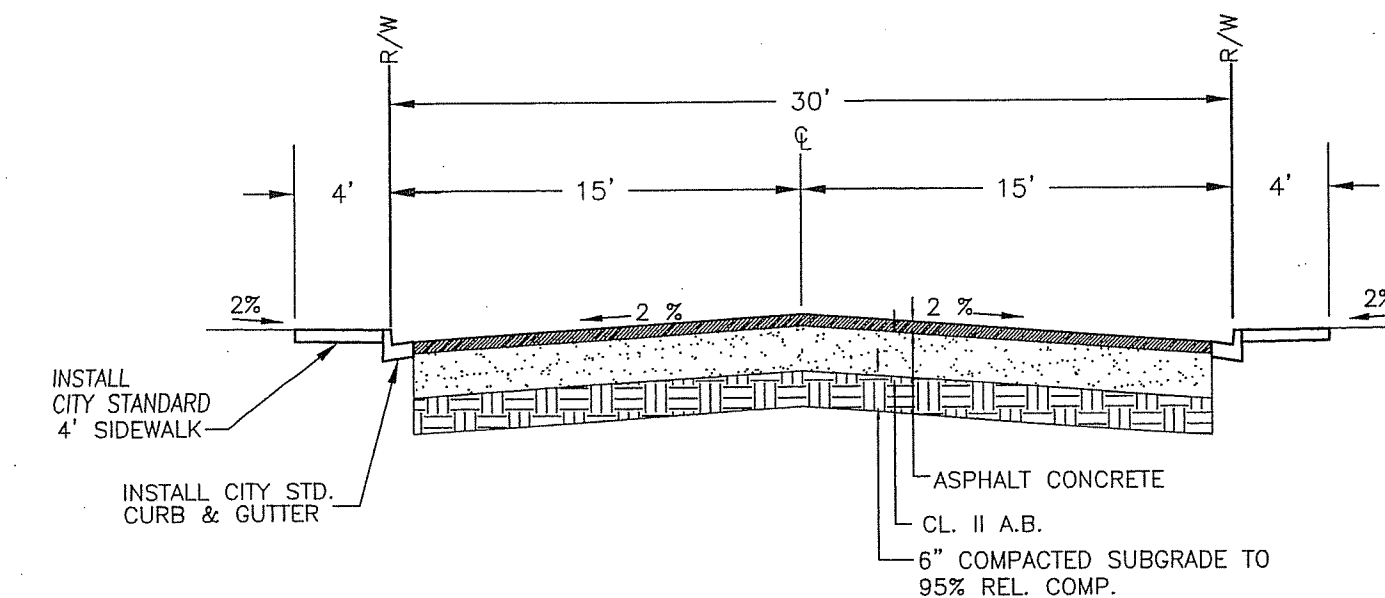


ST. JOHNS PARKWAY (LOOKING SOUTH)



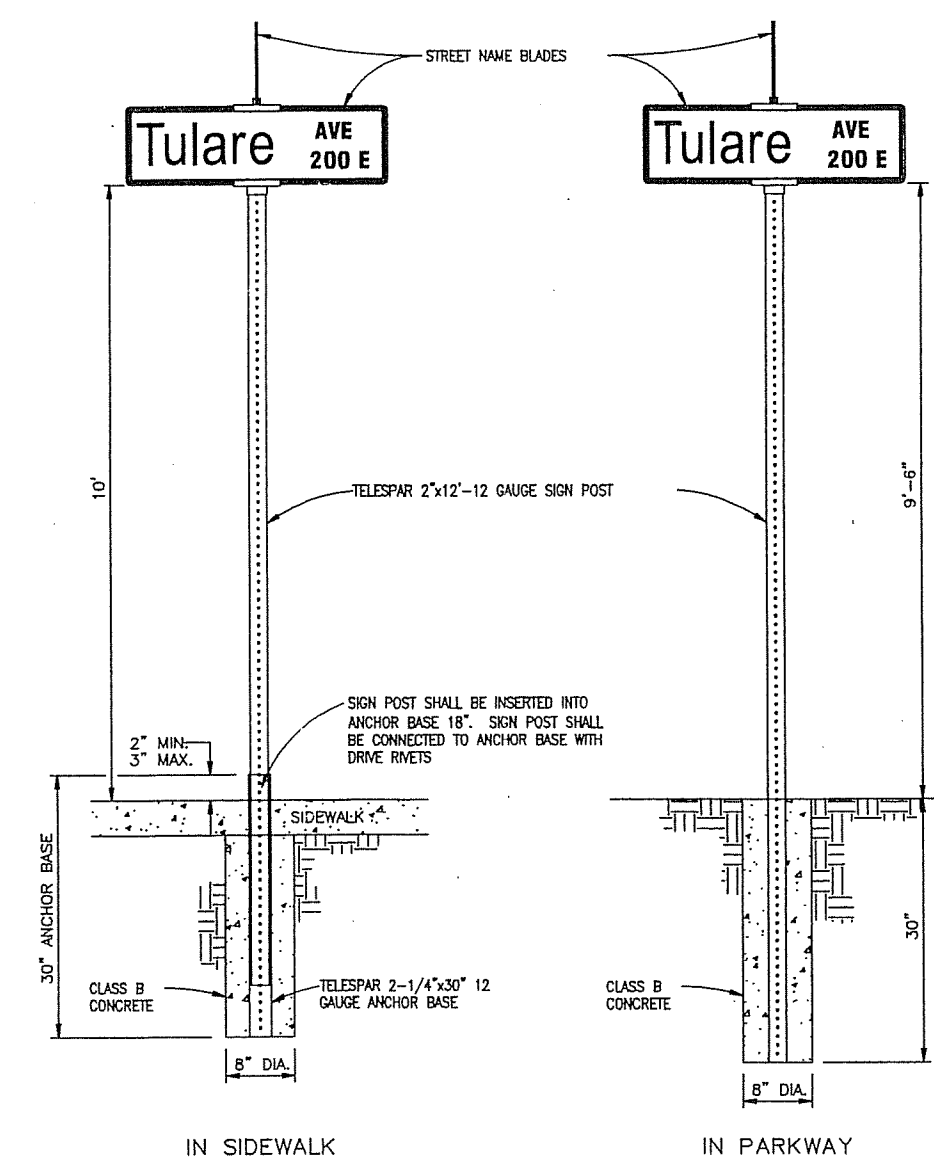
STREET	T.L.	R	AC/AB
ROXSAN ST. (ENTRANCE)	5.5	57	2'/4.5"

TYPICAL STREET CROSS SECTION - 45' RIGHT OF WAY



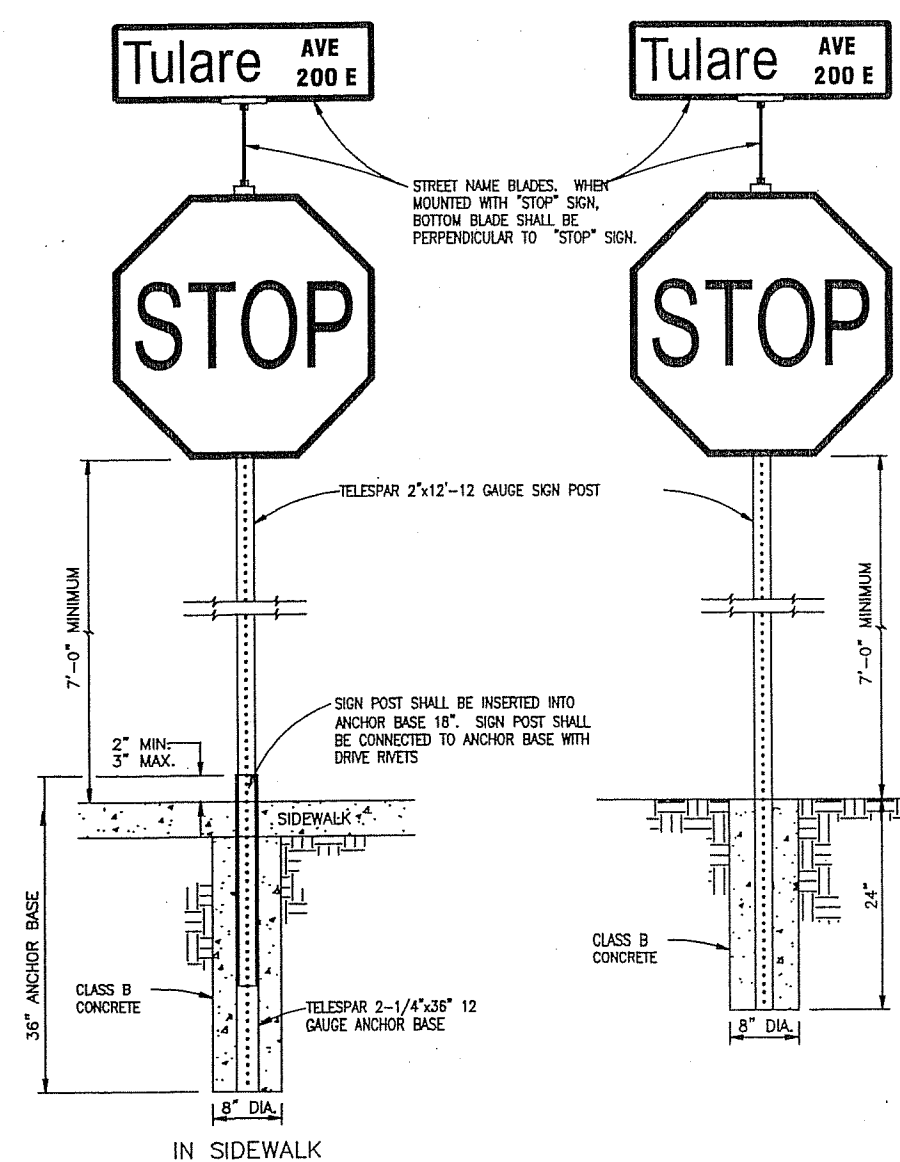
STREET	T.L.	R	AC/AB
ROXSAN ST.	5.5	57	2'/4.5"
MODOC COURT	5.0	51	2'/4.5"
OAKRIDGE COURT	5.0	57	2'/4"

TYPICAL STREET CROSS SECTION - 30' RIGHT OF WAY



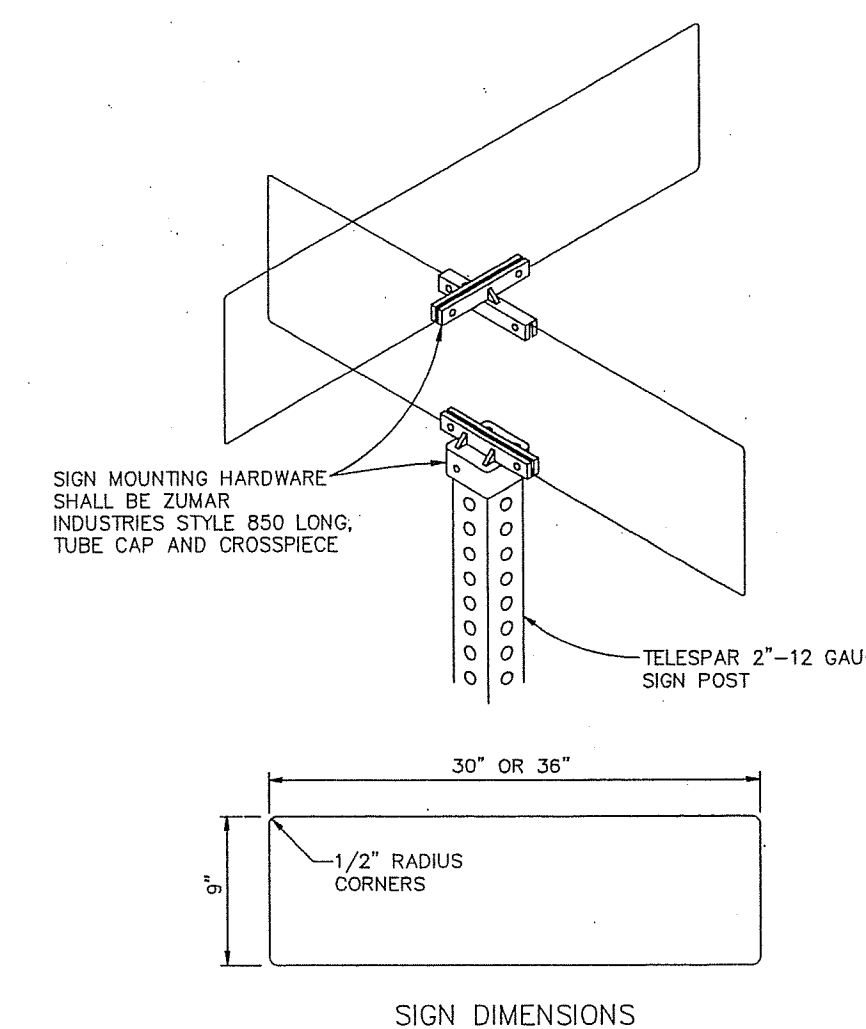
STREET NAME SIGN INSTALLATION

TS-1



STREET NAME SIGN WITH "STOP" (R1) SIGN

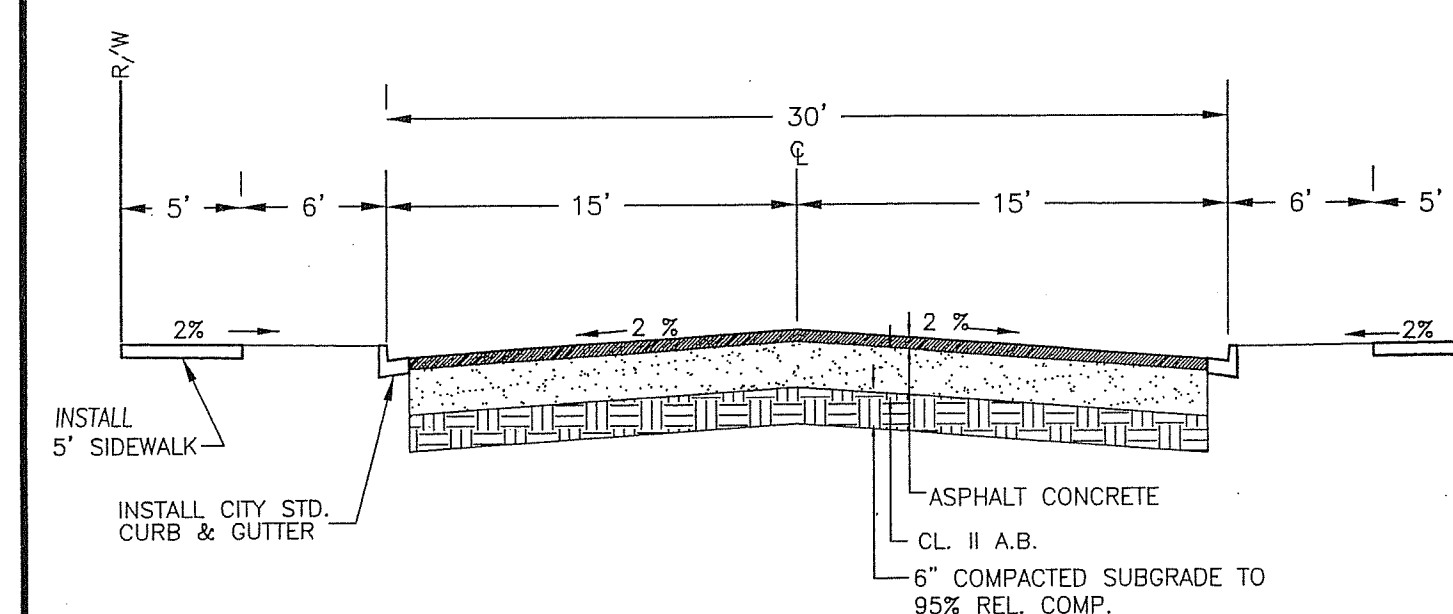
TS-2



NOTE:
ALL SIGN MATERIAL SHALL CONFORM TO THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
SIGN BLANKS SHALL BE 0.10\"/>

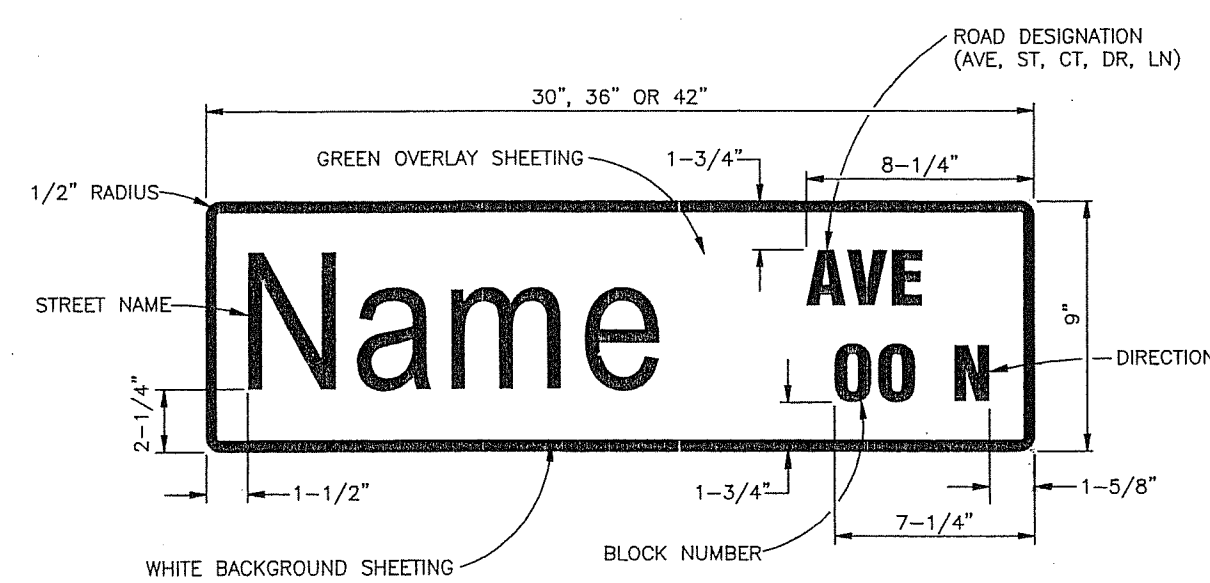
STREET NAME SIGN DETAIL - TYPE 1

TS-3



STREET	T.L.	R	AC/AB
WREN AVENUE	5.5	53	2'/5"

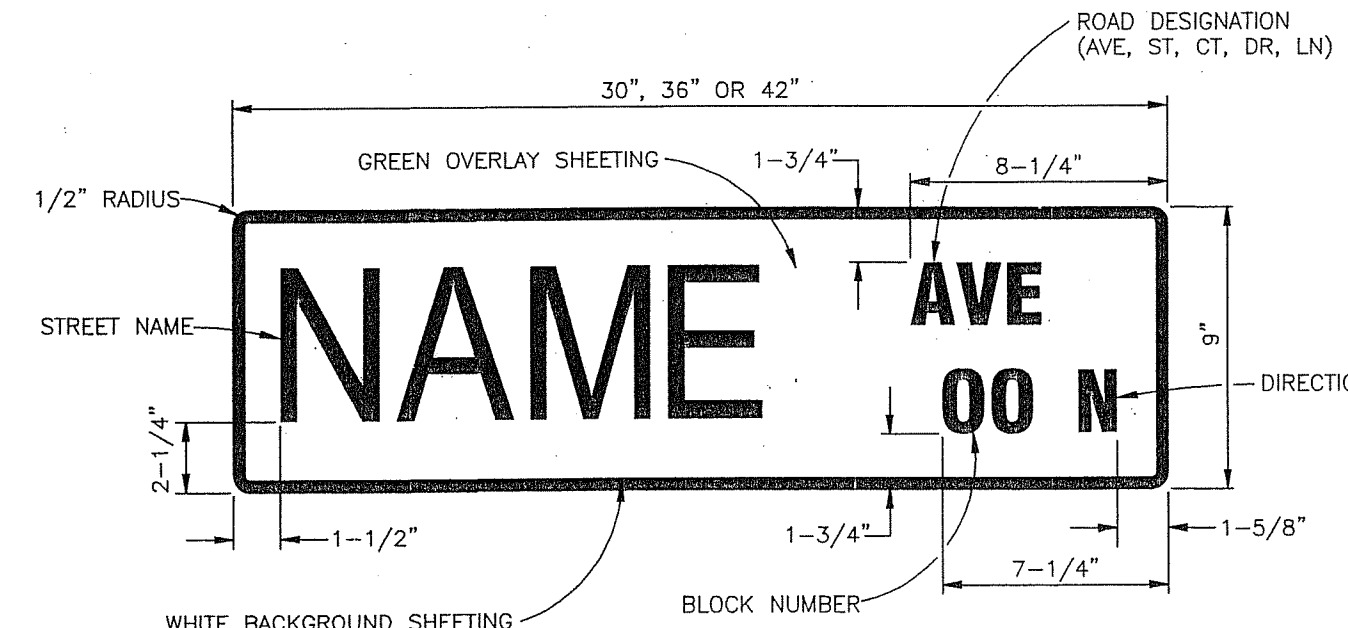
TYPICAL STREET CROSS SECTION - 52' RIGHT OF WAY



- NOTES:
- ALL SIGN MATERIAL SHALL CONFORM TO THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. SIGN BLANKS SHALL BE 0.05\"/>
 - ALL SHEETING SHALL BE 3M BRAND SCOTCHLITE REFLECTIVE MATERIAL. NO SUBSTITUTIONS WILL BE ACCEPTED.
 - BACKGROUND SHEETING SHALL BE WHITE #4090 (DIAMOND GRADE 3). OVERLAY SHEETING SHALL BE GREEN #1177C (ENGINEER GRADE).
 - STREET NAME LETTERS SHALL BE 6\", UPPER CASE, SERIES 'B' (DIECUT) AND 4-1/2\", LOWER CASE, SERIES 'C' (DIECUT).
 - ROAD DESIGNATION, BLOCK NUMBER AND DIRECTION LETTERS SHALL BE 2\"/>

Street Name Sign
Local/Local Street Intersections

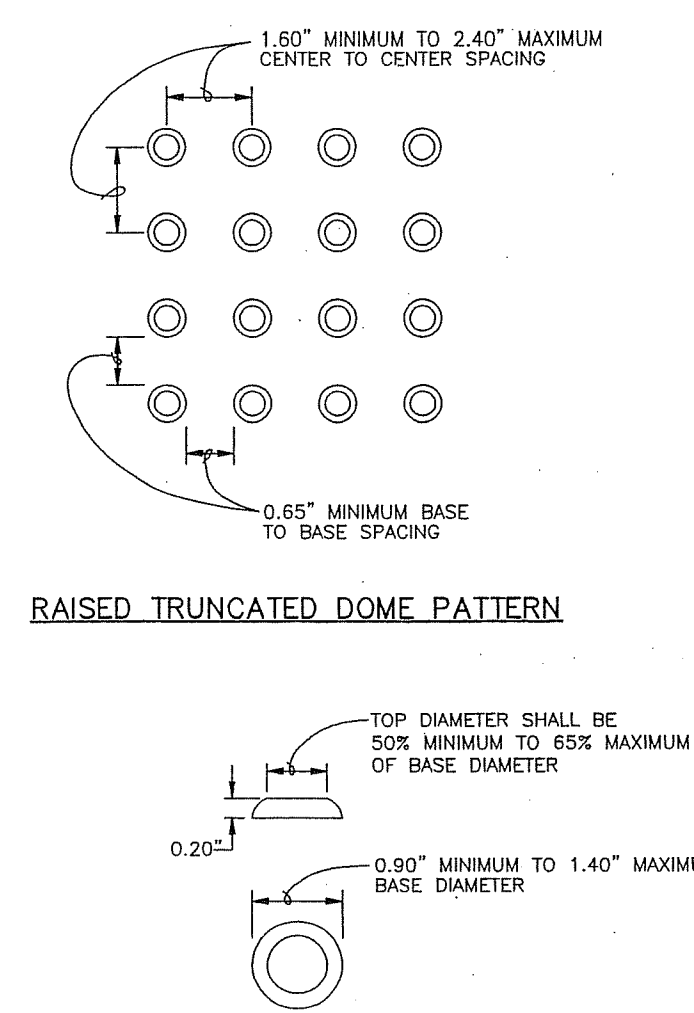
TS-5



- NOTES:
- ALL SIGN MATERIAL SHALL CONFORM TO THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. SIGN BLANKS SHALL BE 0.05\"/>
 - ALL SHEETING SHALL BE 3M BRAND SCOTCHLITE REFLECTIVE MATERIAL. NO SUBSTITUTIONS WILL BE ACCEPTED.
 - BACKGROUND SHEETING SHALL BE WHITE #4090 (DIAMOND GRADE 3). OVERLAY SHEETING SHALL BE GREEN #1177C (ENGINEER GRADE).
 - STREET NAME LETTERS SHALL BE 6\", UPPER CASE, SERIES 'B' (DIECUT).
 - ROAD DESIGNATION, BLOCK NUMBER AND DIRECTION LETTERS SHALL BE 2\"/>

Street Name Sign
Local/Major Street Intersections

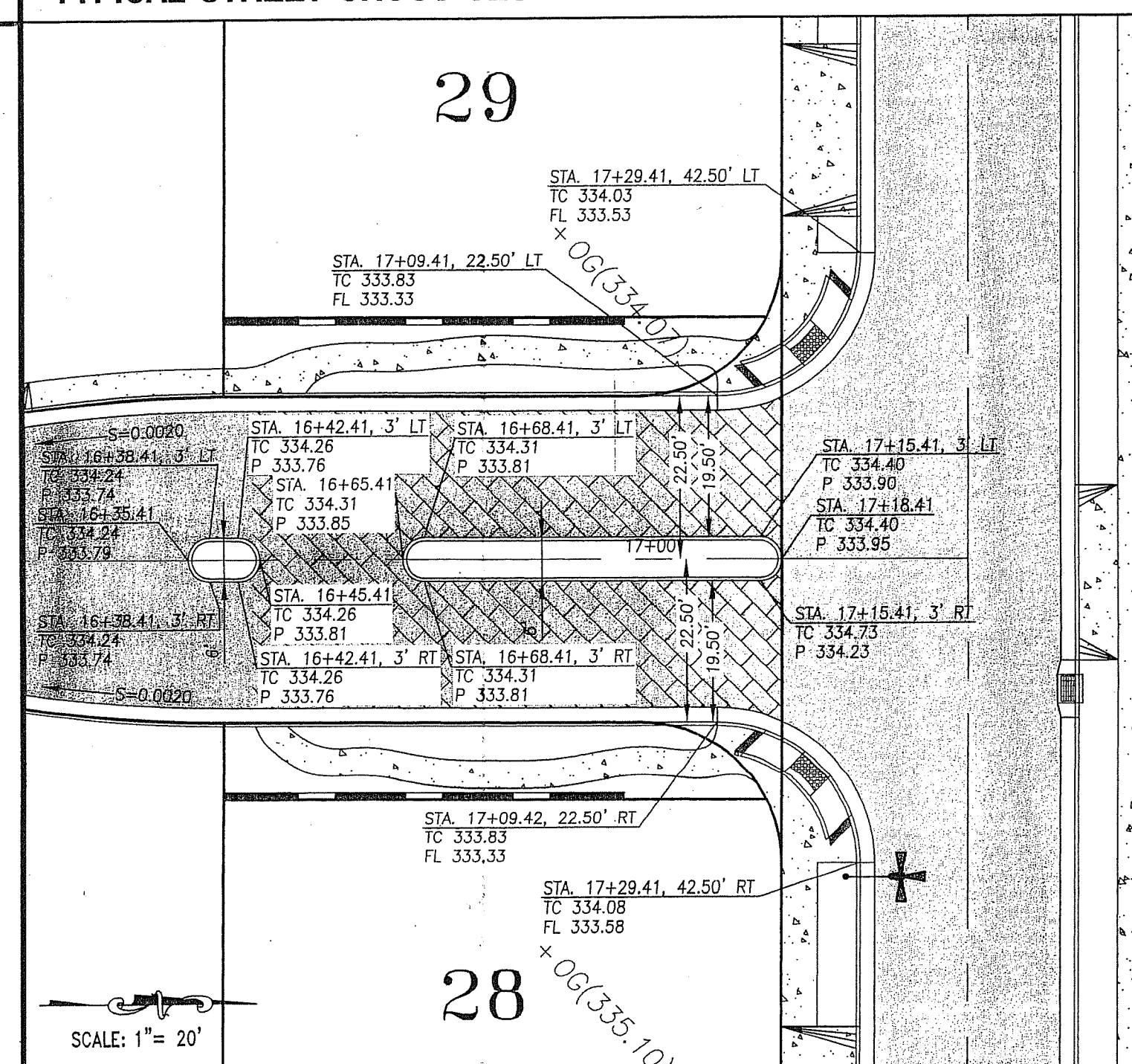
TS-6



- NOTES:
- DETECTABLE WARNING SURFACE SHALL BE INSTALLED AT THE BOTTOM OF ALL CURB RAMPS.
 - DETECTABLE WARNING SURFACE SHALL BE THE FULL WIDTH OF RAMP AND SHALL BE 24\"/>
 - DETECTABLE WARNING SURFACE SHALL BE PREMIUM FEDERAL YELLOW COLORED CONCRETE.

DETECTABLE WARNING SURFACE DETAIL

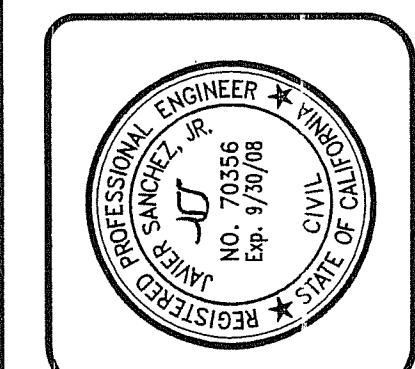
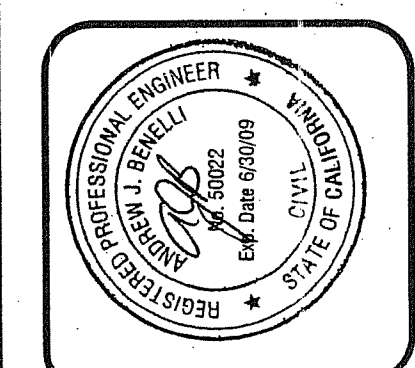
C-24



ENTRANCE @ MODOC AVENUE AND LIBERTY STREET

REVISIONS

NO.	DATE	BY	DESCRIPTION



APPROVED BY: *J. Sanchez, Jr.*
DATE: 10/10/07
PROJECT ENGINEER

APPROVED BY: *Andrew Resnik*
DATE: 10/10/07
CITY ENGINEER

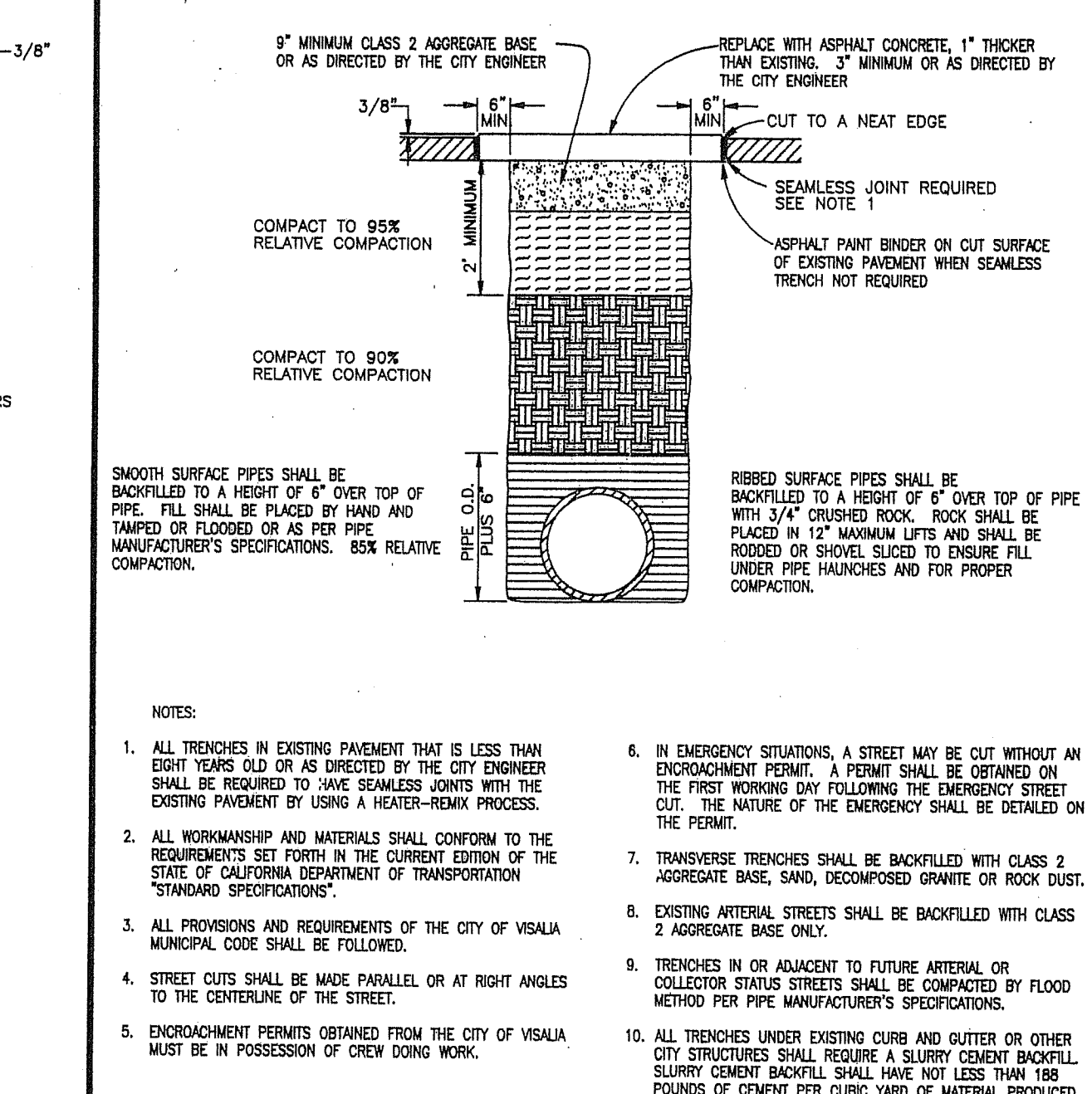
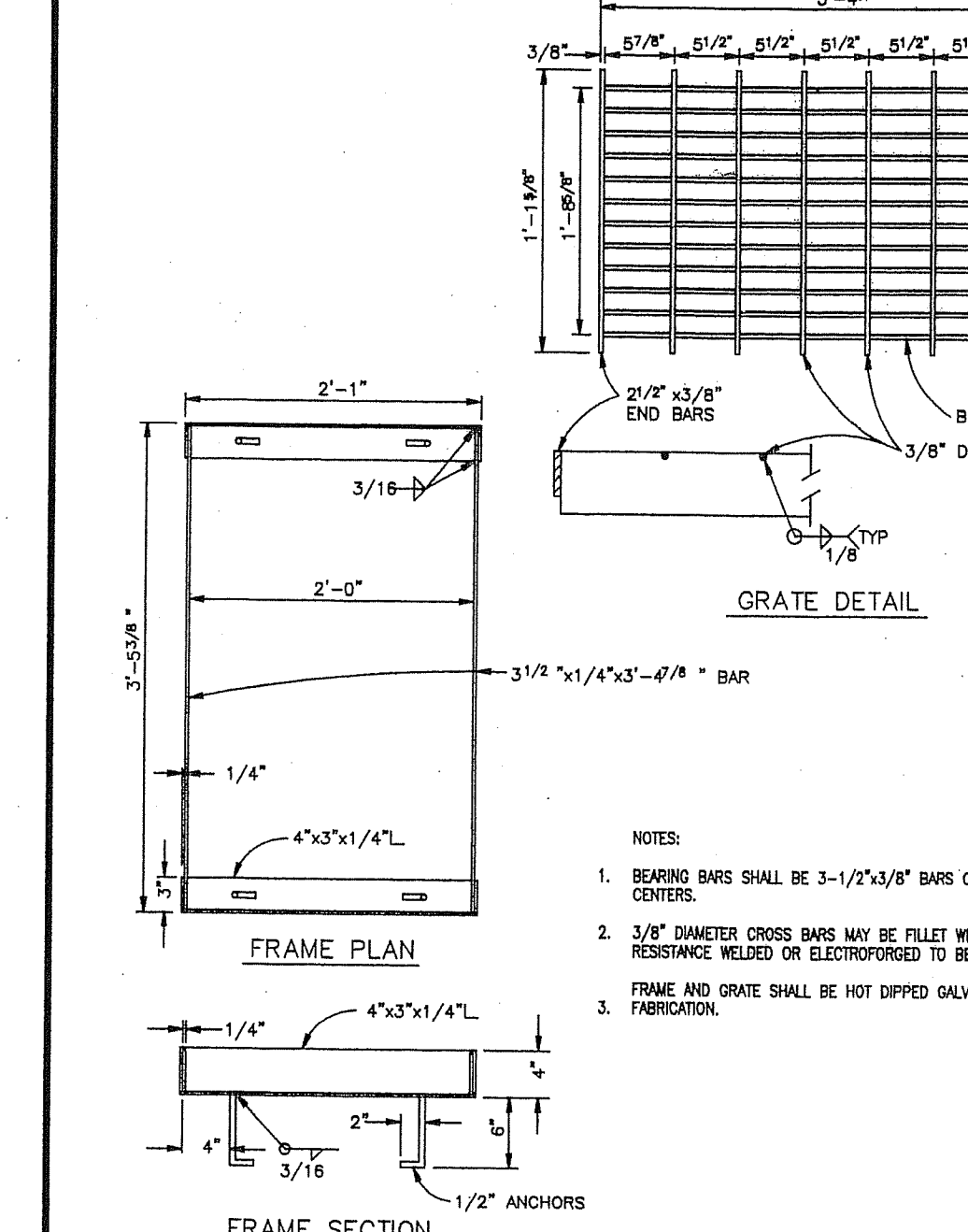
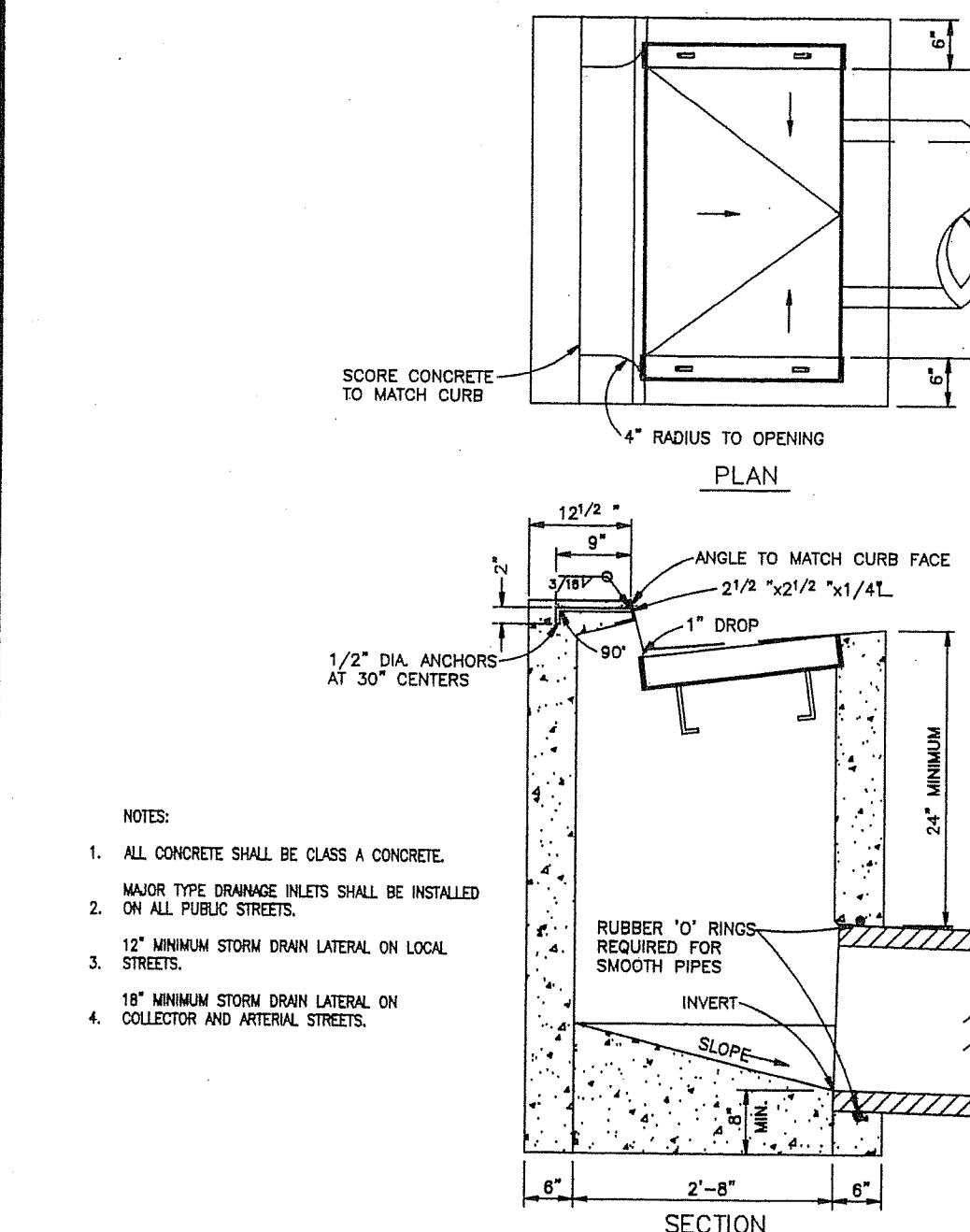
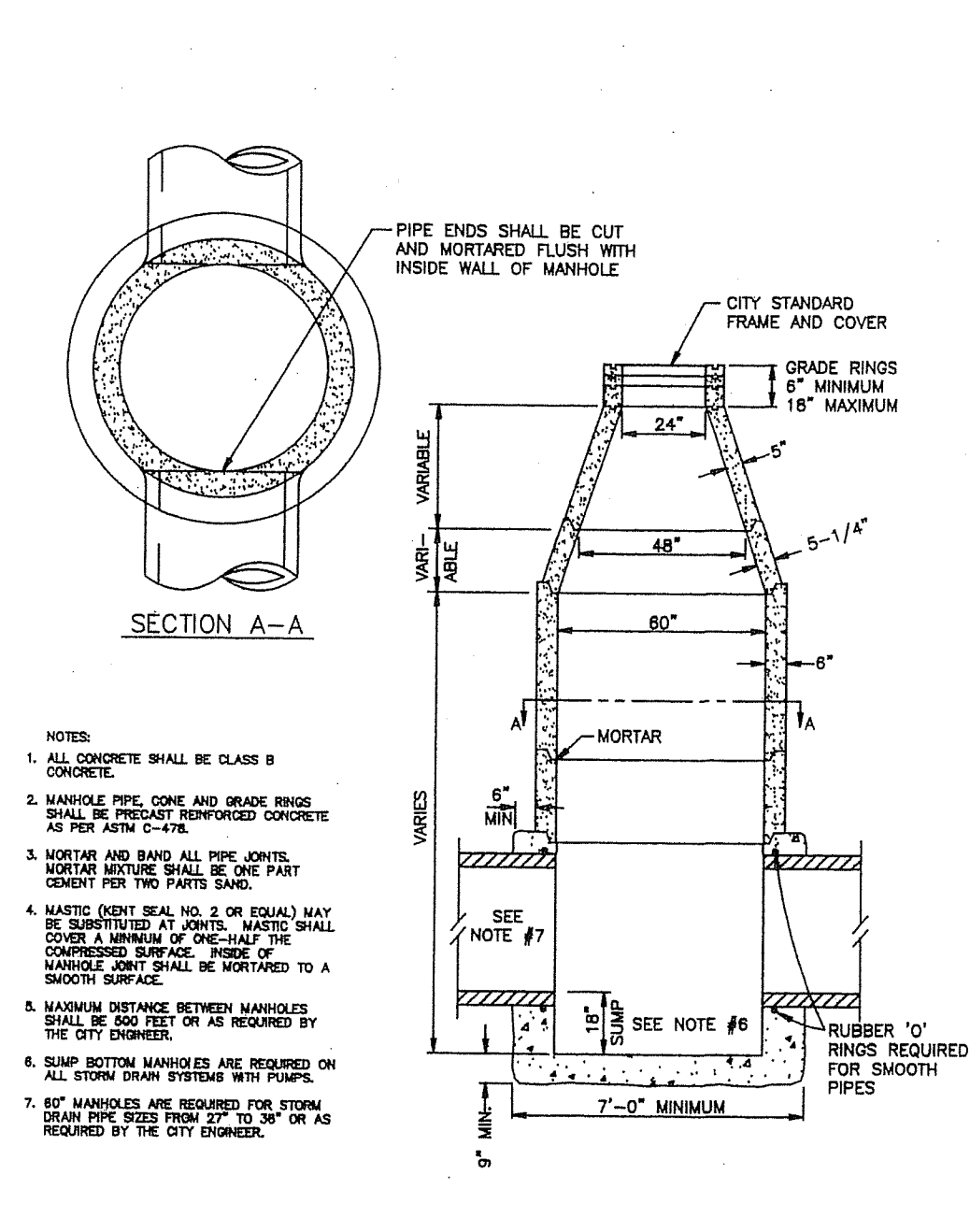
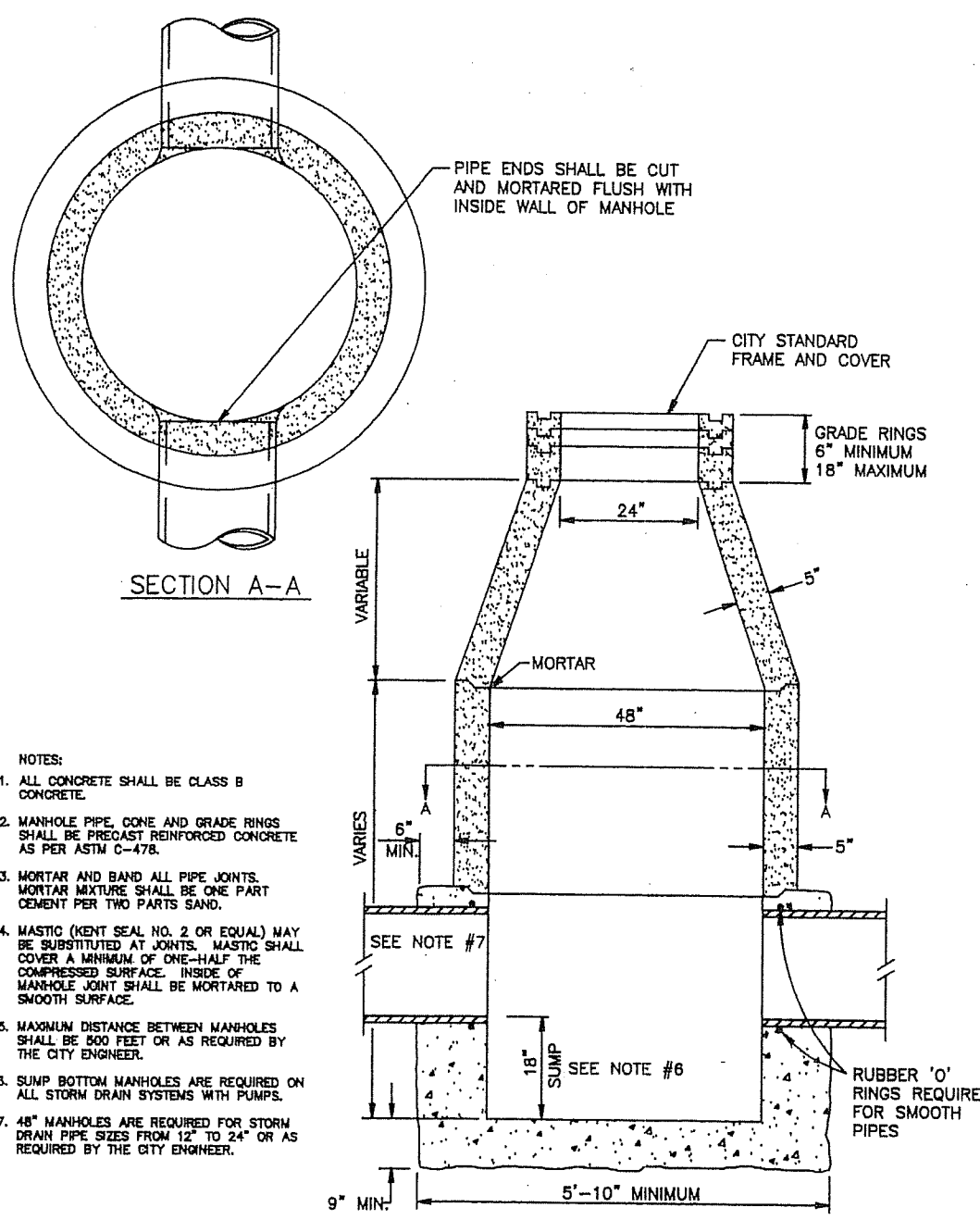
5110 W. OYRESS AVE.
P.O. BOX 3569
VISALIA, CA 93278
TEL: (559) 733-0440
FAX: (559) 733-7821
WWW.QUADKNOPF.COM

QUAD KNOPF
PREPARED BY: AV
CHECKED BY: AV

IMPROVEMENT PLAN FOR:
LARRY NELSON CONSTRUCTION
8444 W. DOE AVENUE
VISALIA, CA 93291
(559) 851-0993

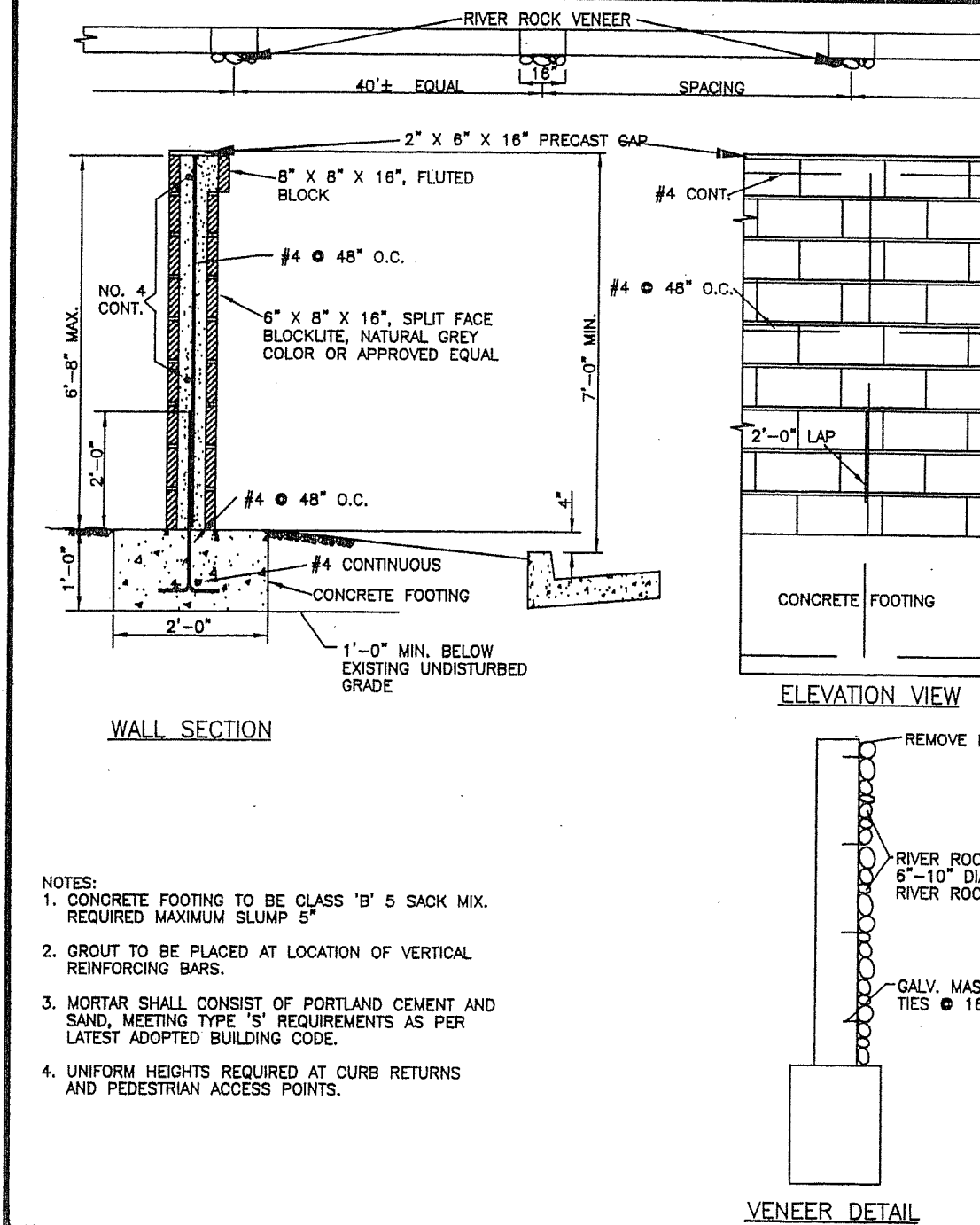
ROCKWOOD ESTATES
DETAILS & CROSS SECTIONS

PLOT DATE: Oct-11-2007 09:27AM
JOB NO.: 050764
FILE NAME: 050764-07-XSEC
SCALE: NTS
SHEET NO.: 7 OF 9



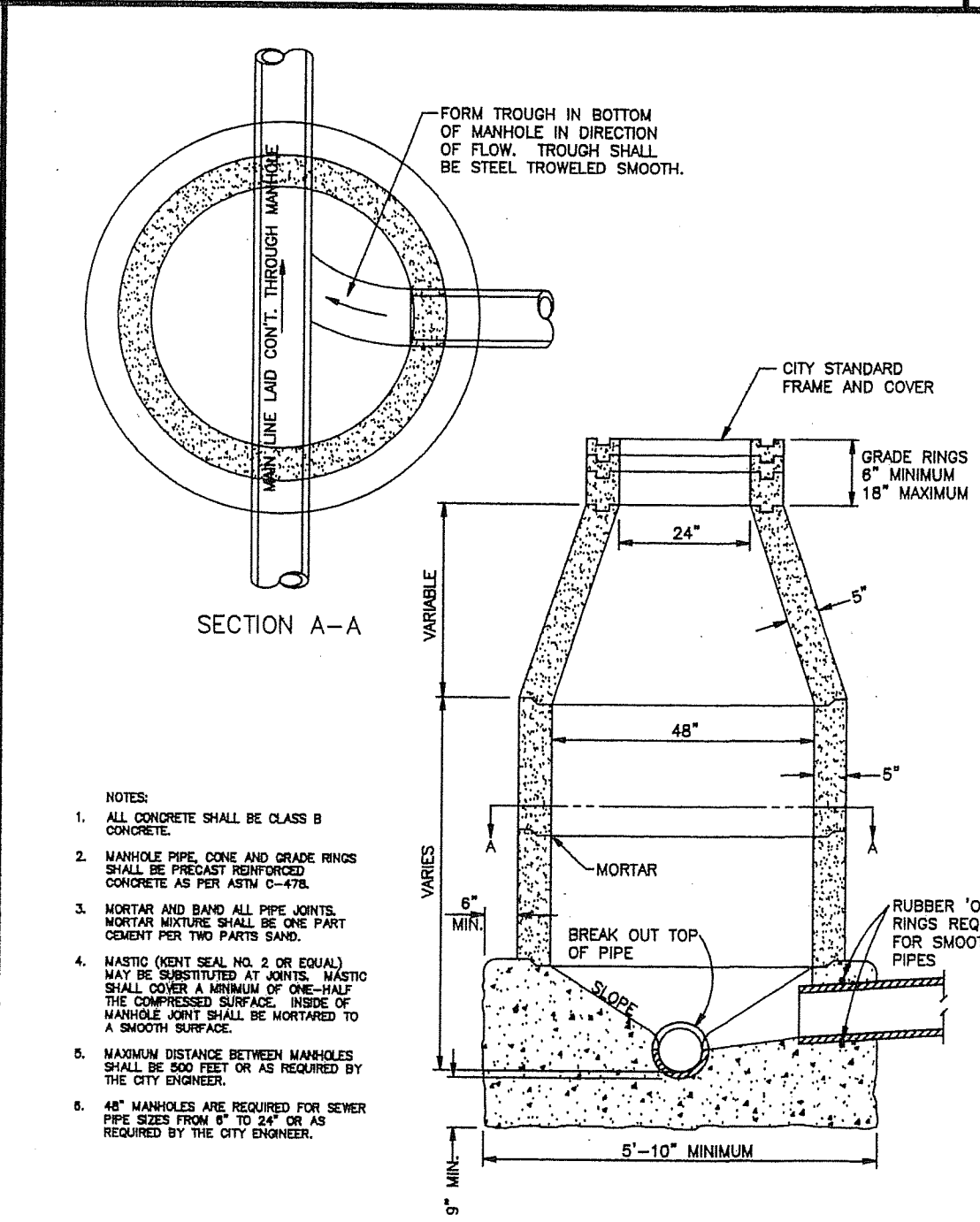
48" STORM DRAIN MANHOLE

D-1



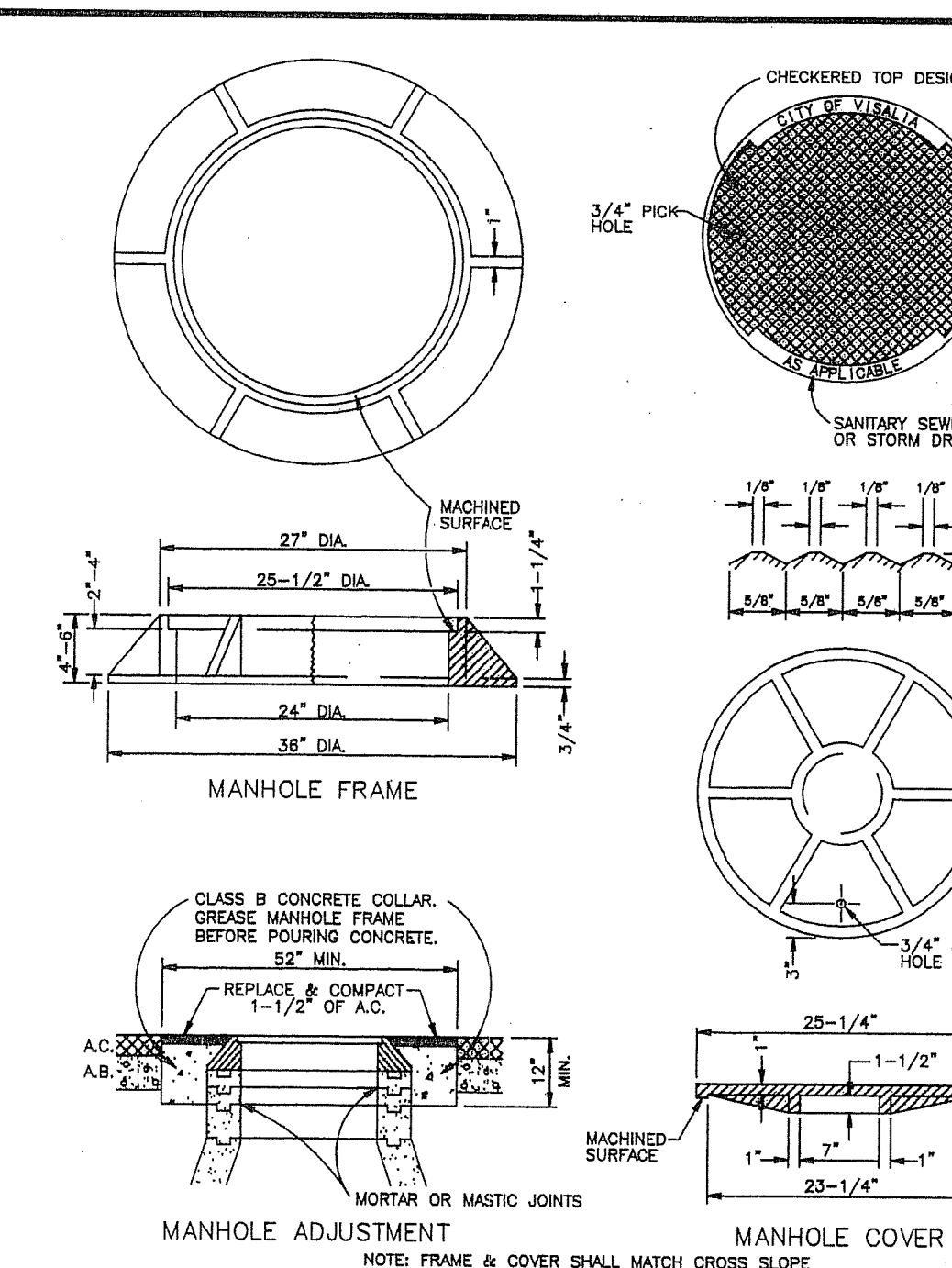
60" STORM DRAIN MANHOLE

D-2



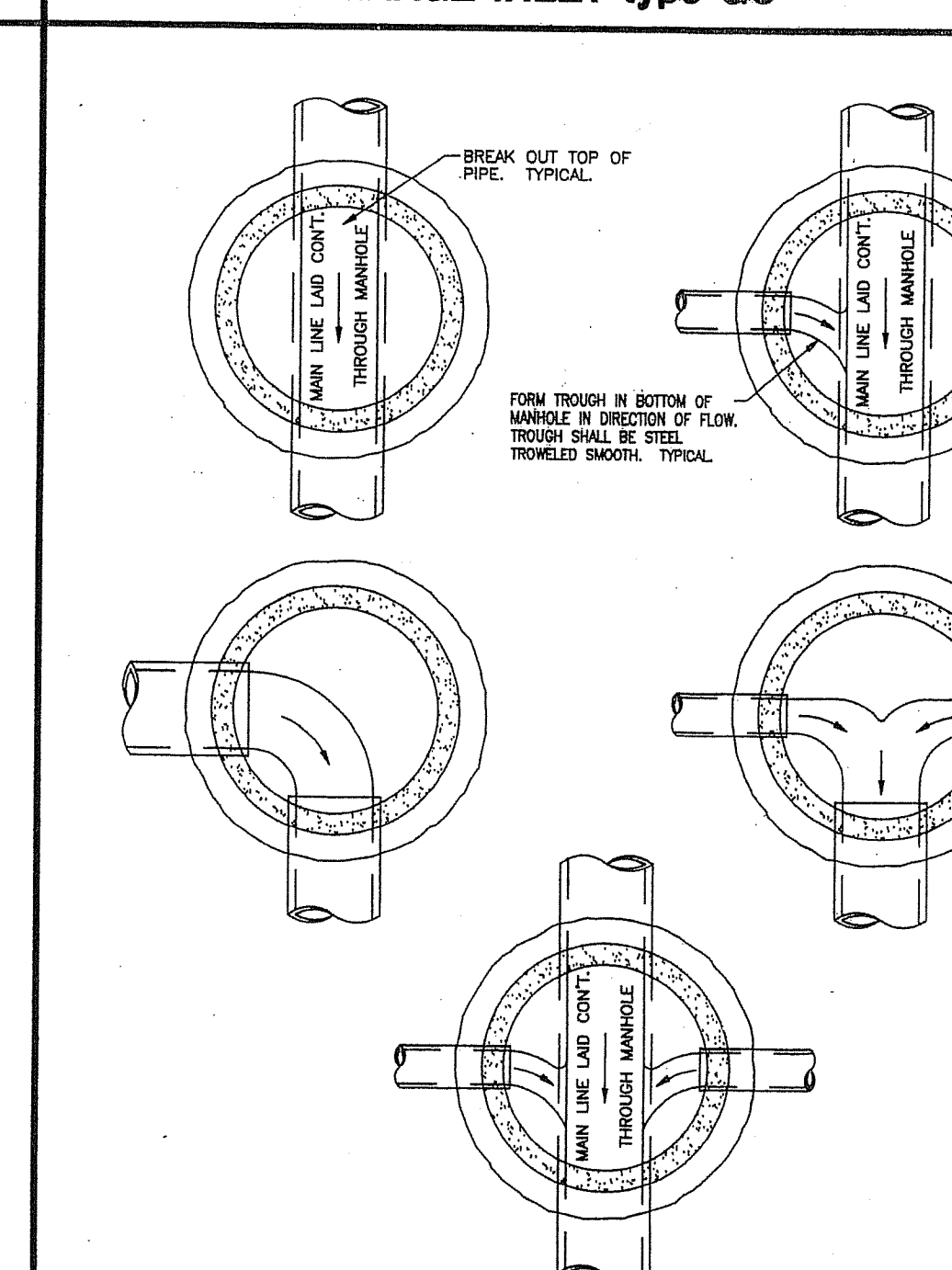
DRAINAGE INLET - TYPE GO

D-5



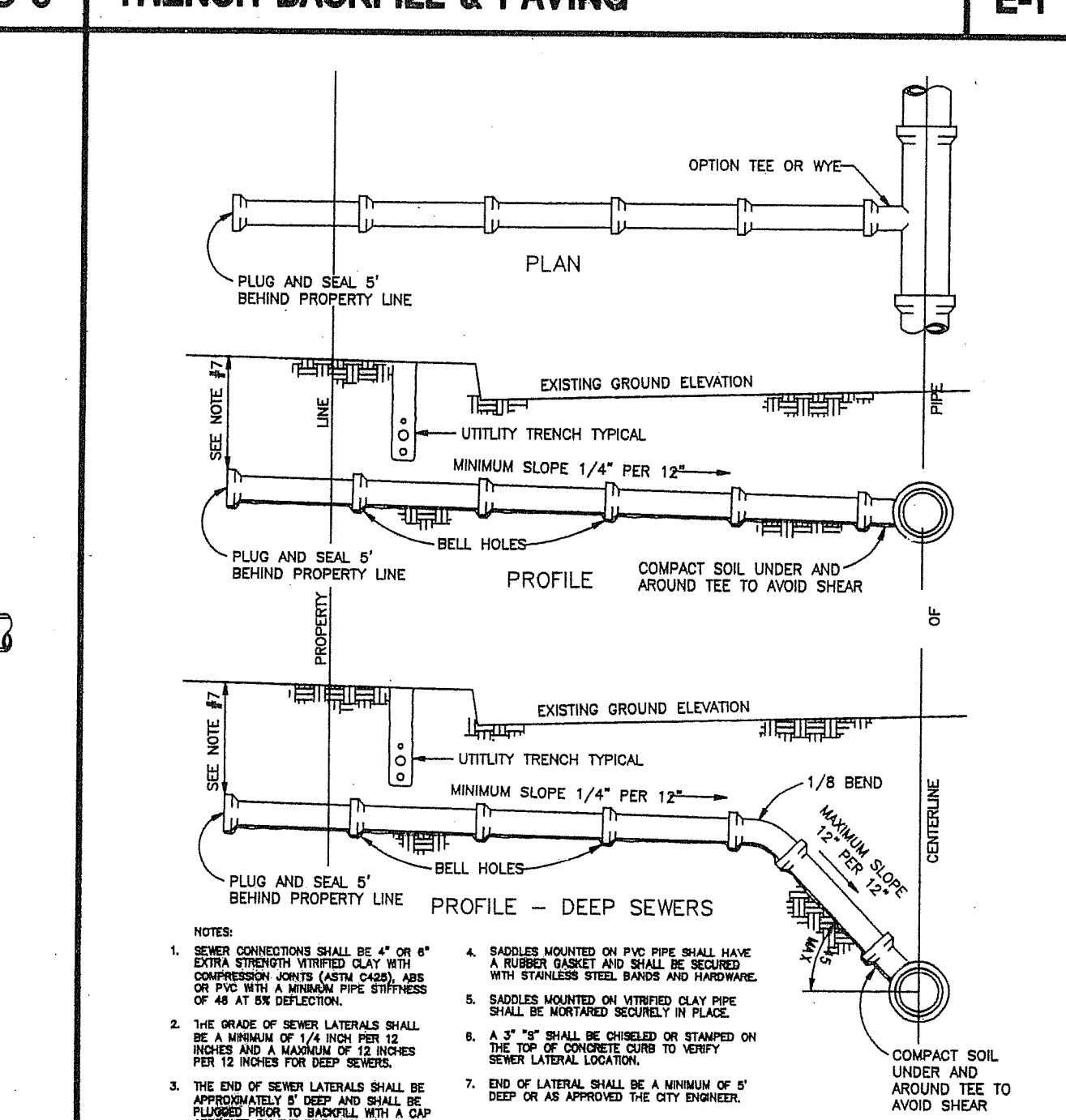
MAJOR DRAINAGE INLET type GO

D-6



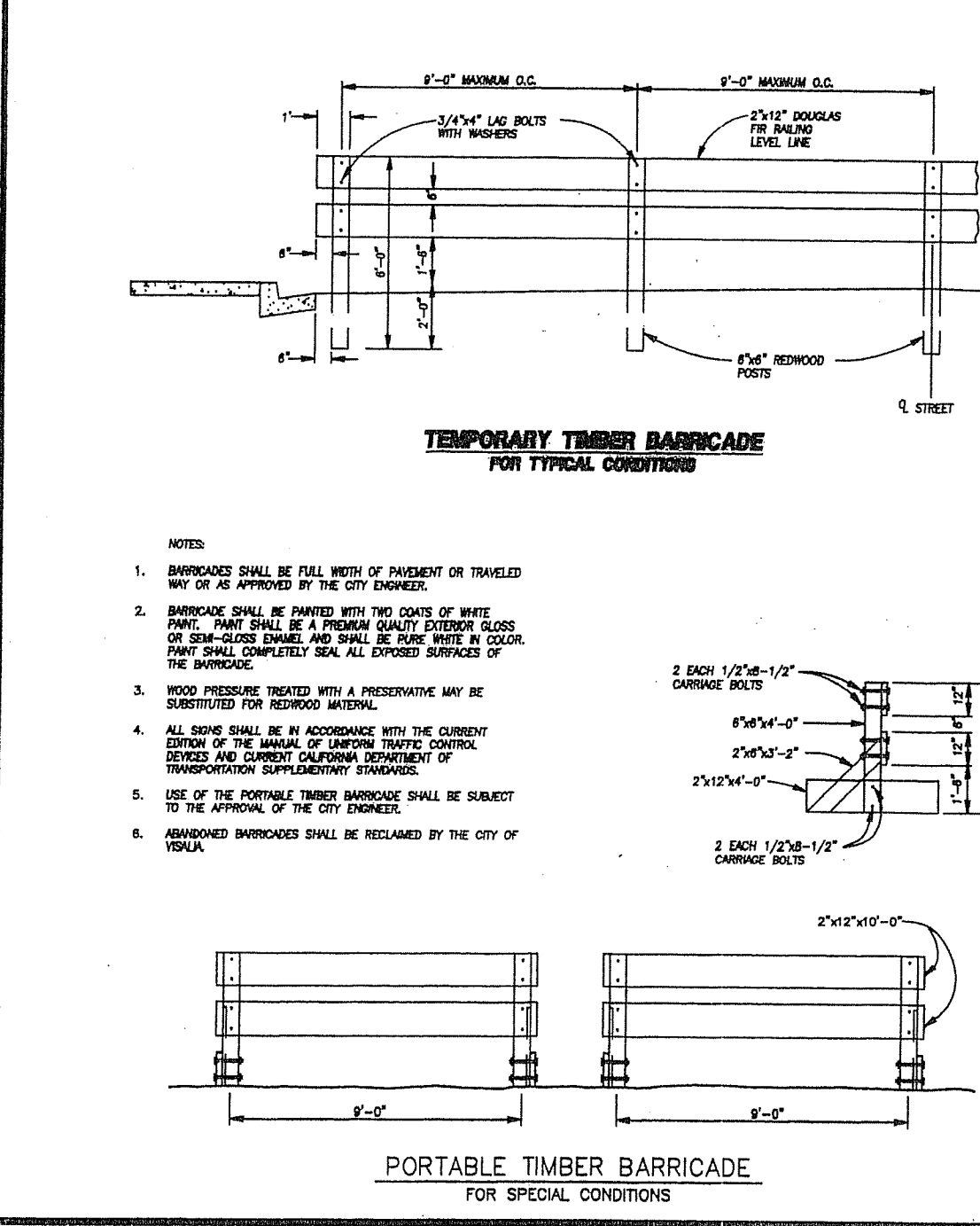
TRENCH BACKFILL & PAVING

E-1



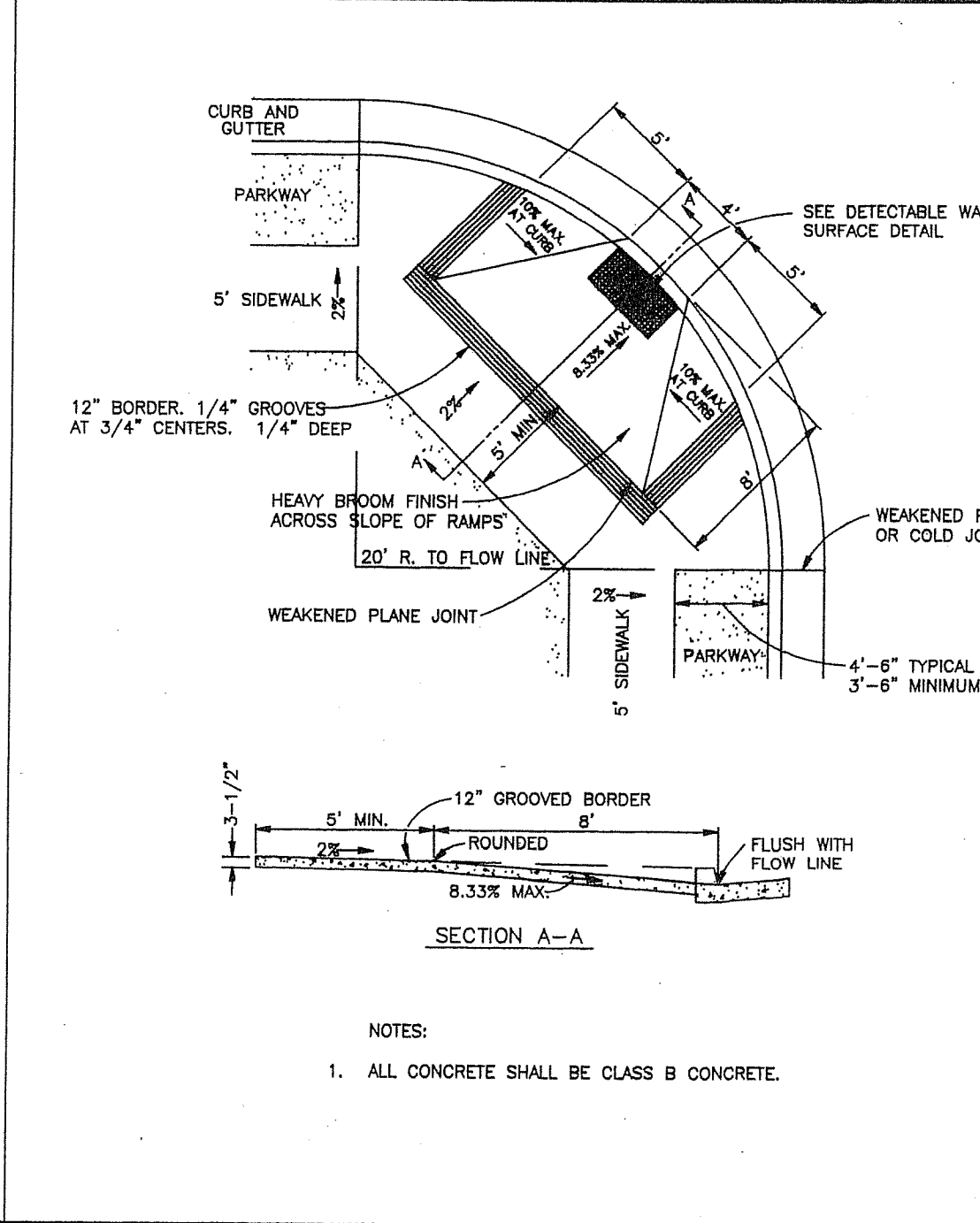
BLOCK WALL

NE-14



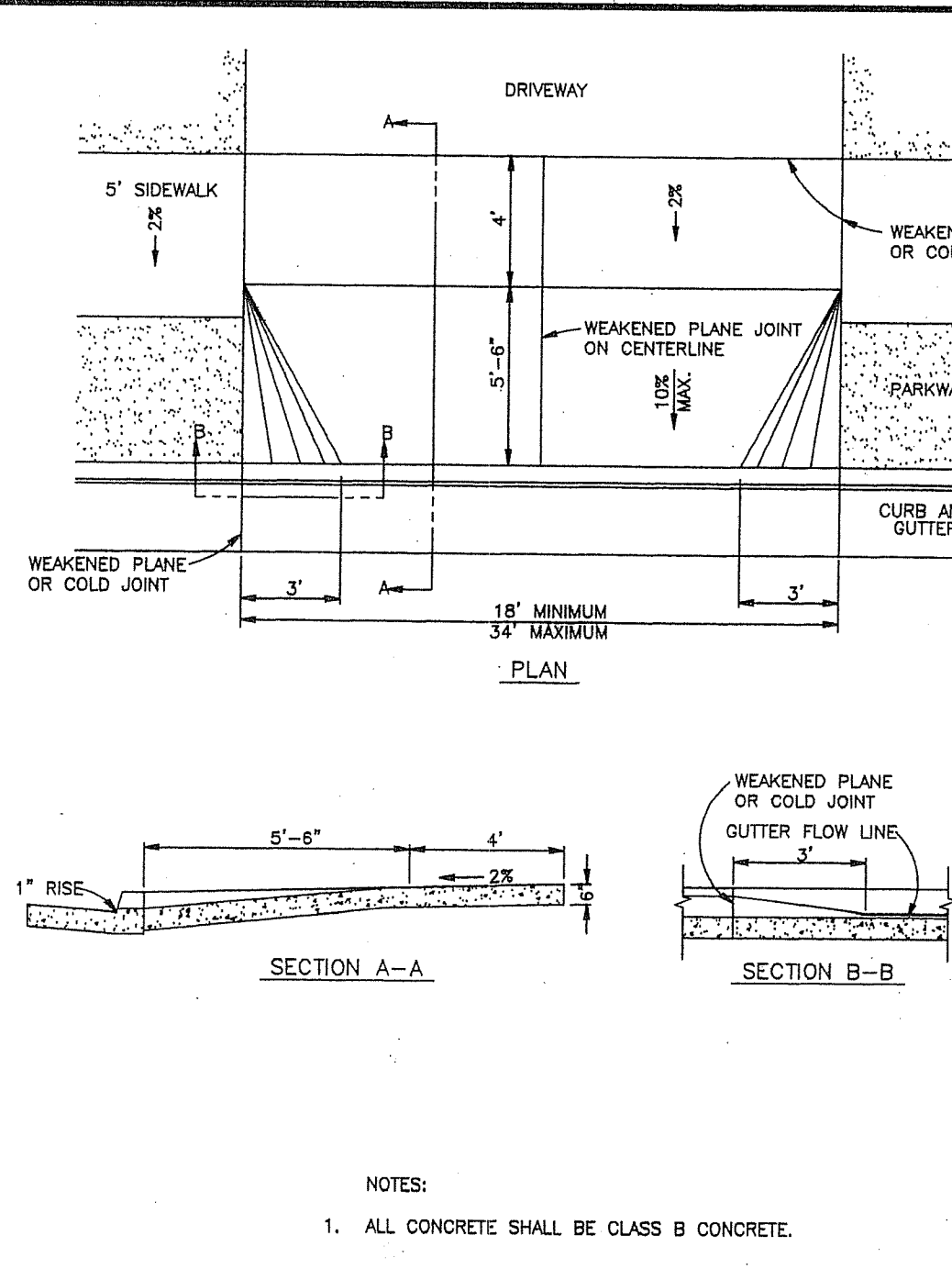
48" SANITARY SEWER MANHOLE

S-1



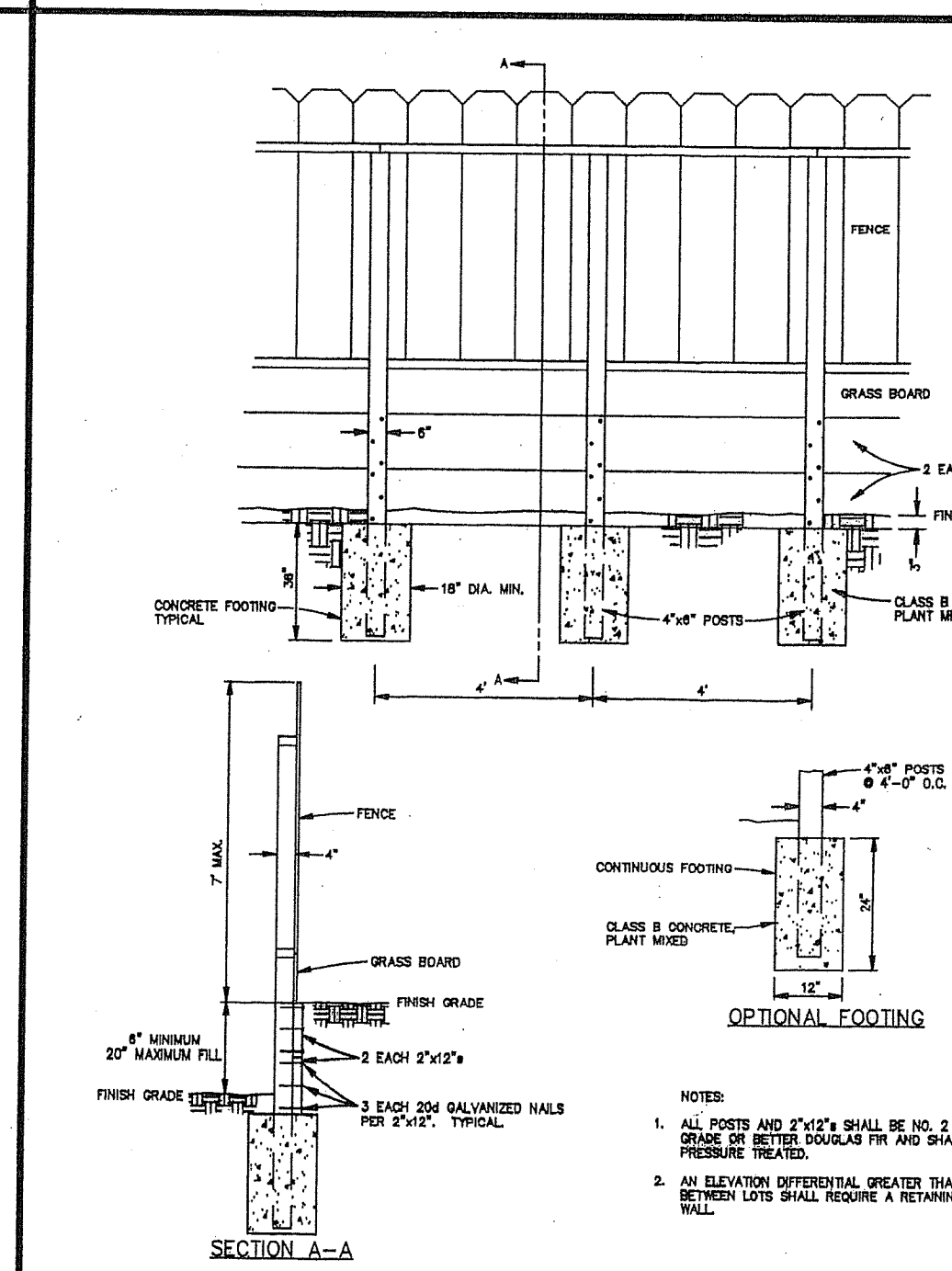
MANHOLE FRAME AND COVER

S-5



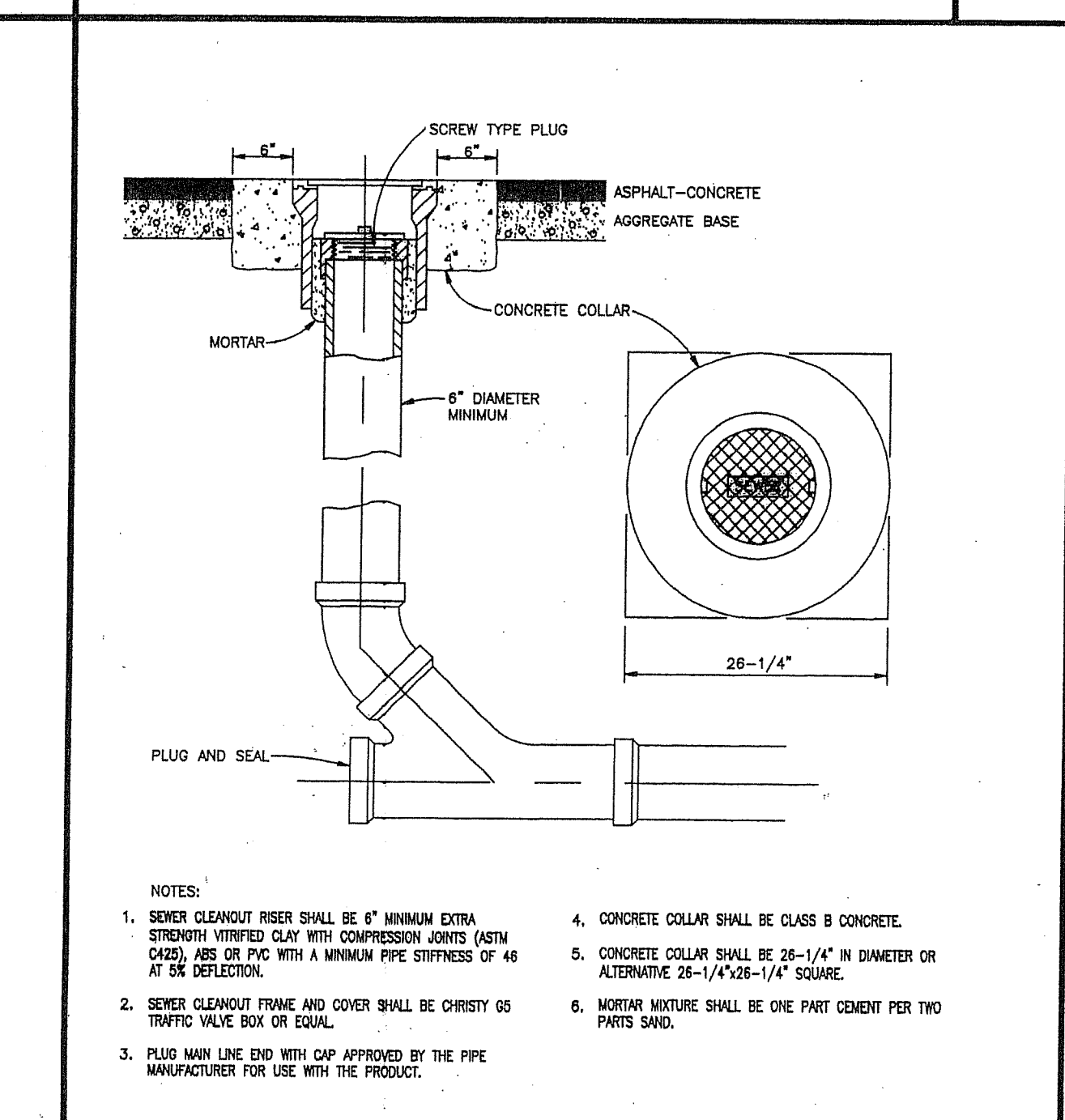
TYPICAL FLOW CHANNELS FOR SANITARY SEWER MANHOLES

S-6



SEWER CONNECTION

S-7



TIMBER BARRICADES

B-1

20' RADIUS CURB RETURN DETAIL

C-11

RESIDENTIAL P.C.C. DRIVE APPROACH

C-16

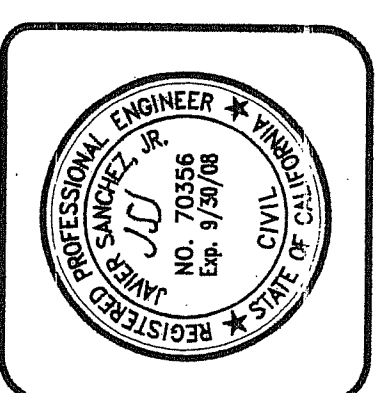
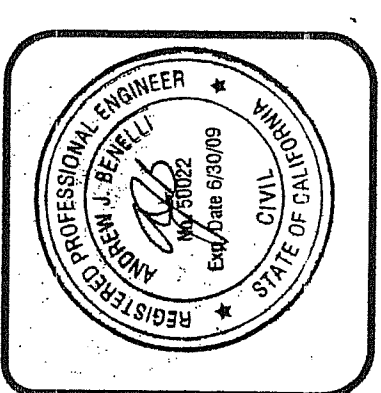
WOOD RETAINING WALL

F-2

SANITARY SEWER CLEANOUT

S-8

REVISIONS	DATE	DESCRIPTION



APPROVED BY: *Andrew Benitez*
 DATE: 9/29/07
 PROJECT ENGINEER
 PROJECT NO. 70556
 EXP. 9/30/08
 APPROVED BY: *Andrew Benitez*
 DATE: 9/29/07
 CITY ENGINEER

PREPARED BY: *Andrew Benitez*
 DATE: 9/29/07
 PROJECT ENGINEER
 PROJECT NO. 70556
 EXP. 9/30/08
 APPROVED BY: *Andrew Benitez*
 DATE: 9/29/07
 CITY ENGINEER

IMPROVEMENT PLAN FOR:
LARRY NELSON CONSTRUCTION
 8444 W. DOE AVENUE
 VISALIA, CA 93221
 (559) 651-0593

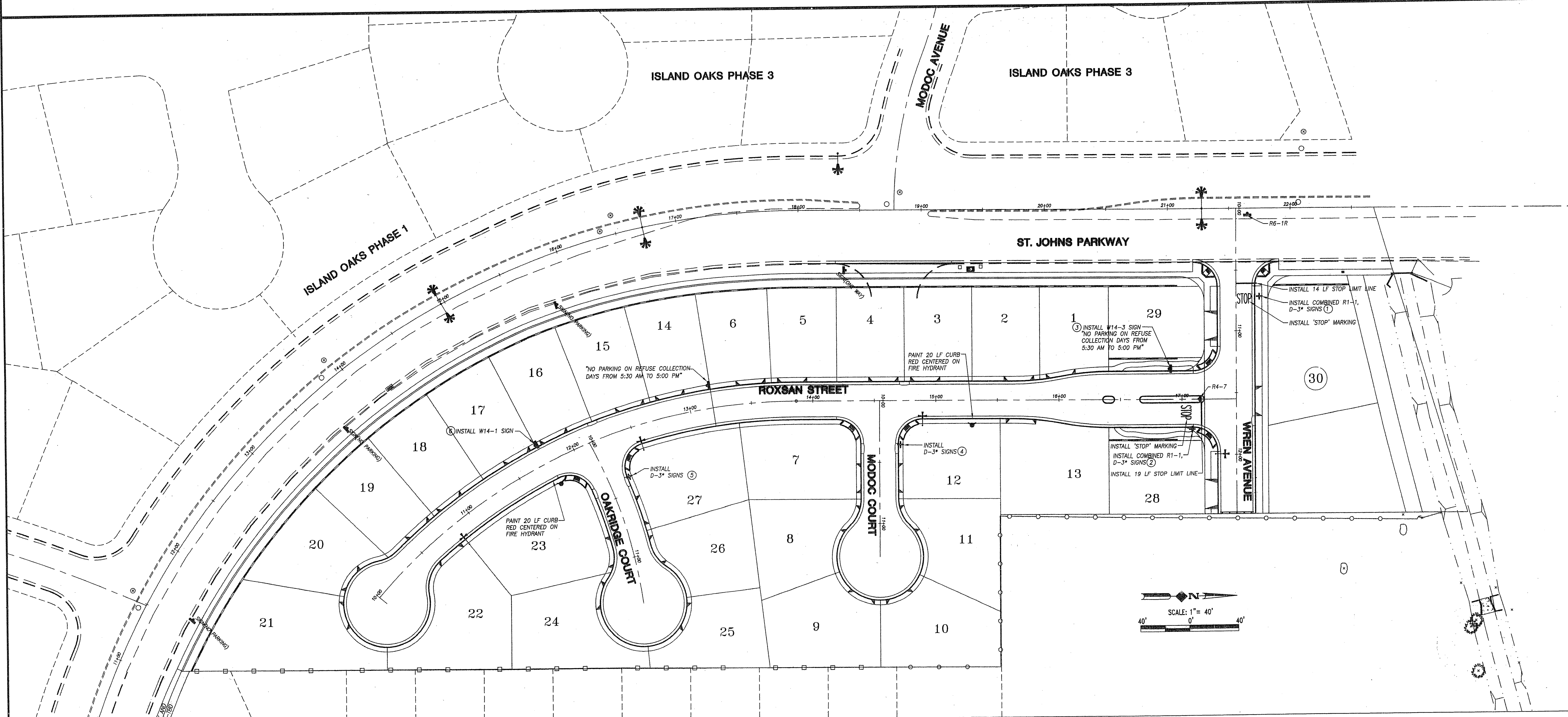
ROCKWOOD ESTATES
 STANDARD DETAILS

PLOT DATE:
 Sep-28-2007 08:35AM
 JOB NO.:
 050764
 FILE NAME:
 050764-08-DETAILS
 SCALE:
 NTS
 SHEET NO.:
 8 OF 9

BENCH MARK
 BURKE & 1/2 MILE NORTH OF HOUSTON R/R SPIKE IN WEST FACE OF POWER POLE
 #X15715E EAST SIDE BURKE
 ELEV.=335.567

BEFORE EXCAVATING
 CALL USA
 1-800-227-2600

LEGEND	
BC	BEGINNING OF CURB
BCR	BEGIN CURB RETURN
BW	BACK OF SIDEWALK
CR	CROWN OF ROAD
C&G	CURB & GUTTER
DI	DRAINAGE INLET
EC	EDGE OF CURVE
EP	EDGE OF PAVEMENT
ECR	END CURB RETURN
(0000.00)	EXISTING ELEVATION
FL	FIRE HYDRANT ASSEMBLY
FTG	FLOW LINE
GB	GRADE BREAK
GV	GATE VALVE
HWCP	HEAVY WALL CONCRETE PIPE
INV.	INVERT
P	PAVEMENT
PRC	POINT OF REVERSE CURVE
TC	TOP OF CURB
0000.00	PROPOSED ELEVATION
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
S=0.0000	SLOPE, IN FOOT PER FOOT
STA.	STATION
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
FL	FLOW LINE
FTG	FOOTING
GB	GRADE BREAK
GV	GATE VALVE
W	WATER LINE
G	GAS LINE
(R)	"R" VALUE
(P)	PROPOSED PAVEMENT
(S)	PROPOSED SIDEWALK
(E)	EXISTING PAVEMENT
(B)	BRICK WALKWAY
(X)	EXISTING SIDEWALK
(R)	EXISTING PAVEMENT TO BE REMOVED
(P)	EXISTING POWER POLE
(R)	POWER POLE TO BE RELOCATED
(S)	STREET NAME SIGN
(S)	STREET STOP SIGN
(R)	CITY STANDARD RAMP
(C)	CHAIN LINK FENCE
(B)	BLOCK WALL
(D)	MAJOR DRAINAGE INLET
(S)	STREET MONUMENT
(S)	SECTION MONUMENT



ROADSIDE SIGN QUANTITIES

SIGN NO.	SIGN CODE	PANEL SIZE (IN. X IN.)	NUMBER OF PANELS	SIGN LEGEND	REMARKS
1	R1-1	36" X 36"	1	STOP	
	D-3*	9" X VARIES	2	St. Johns Parkway/Wren Avenue	
2	R1-1	36" X 36"	1	STOP	
	D-3*	9" X VARIES	2	Wren Avenue/Roxsan Street	
3	W14-3	30" X 30"	1	NO OUTLET	PRIVATE STREET
4	D-3*	9" X VARIES	2	Modoc Court/Roxsan Street	
5	D-3*	9" X VARIES	2	Oakridge Court/Roxsan Street	
6	W14-1	30" X 30"	1	DEAD END	

ROADWAY MARKING QUANTITIES

DESCRIPTION	NUMBER OF UNITS	AREA PER UNIT (FT ²)	TOTAL AREA (FT ²)	REMARKS
LIMIT LINE	2	VARIES		
"STOP"	2	22	44	

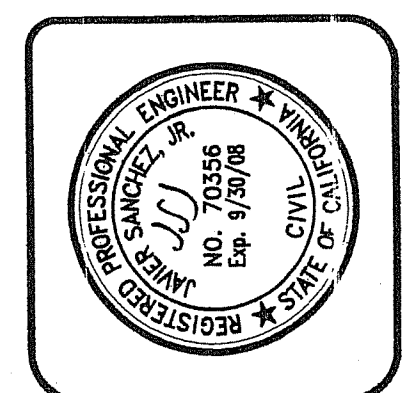
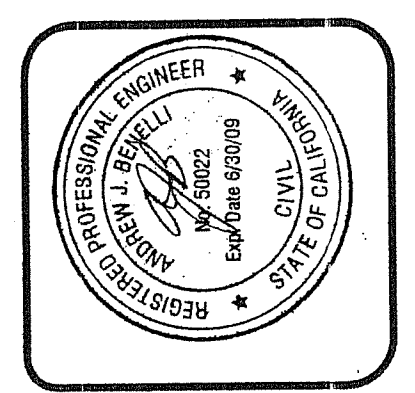
PAINTED CURBING

DESCRIPTION	COLOR OF PAINT	NUMBER OF SEGMENTS	TOTAL LENGTH (FT)	REMARKS
FIRE HYDRANT LOCATIONS	RED	2	38	

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND STANDARD PLANS DATED MAY, 2006 MUTCD CALIFORNIA SUPPLEMENT, AND THE SPECIAL PROVISIONS. CONTRACTOR SHALL VERIFY THE INFORMATION SHOWN ON THIS PLAN WITH THE ABOVE AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES 48-HOURS PRIOR TO COMMENCING WORK.
- EXISTING FACILITIES ARE SHOWN BY REFERENCE TO RECORD DATA. THE ENGINEER ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF THE DATA. THE CONTRACTOR SHALL CONTACT USA TO DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND FACILITIES AND SHALL PROVIDE PROTECTION PRIOR TO AND DURING ALL TRENCHING, JACKING OR BORING OPERATIONS.
- THIS PLAN IS ACCURATE FOR SIGNING, STRIPING AND PAVEMENT MARKING WORK ONLY.
- EXISTING FACILITIES DRAWN WITH DOTTED LINES ARE TO REMAIN IN PLACE AND UNMODIFIED.
- THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF VISALIA REGARDING INSTALLATION OF THE SIGNING, STRIPING AND PAVEMENT MARKINGS SHOWN ON THIS PLAN.
- THE SHEETING, LETTERS AND NUMERALS ON ALL ROADSIDE SIGNS FURNISHED AND INSTALLED BY THE CONTRACTOR SHALL BE 3M VIP GRADE REFLECTIVE MATERIAL AND THE SIGNS SHALL HAVE ANTI-GRAFFITI FILM APPLIED PRIOR TO INSTALLATION.
- THE LIMITS OF WORK ARE ENCOMPASSED BY THE RIGHT OF WAY AND SHALL INCLUDE ONLY SUCH WORK AS IS SHOWN ON THIS PLAN.
- ALL SIGNS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN ANTI-GRAFFITI COATING APPLIED.

REVISIONS	DATE	BY	DESCRIPTION



APPROVED BY: *Javier Sanchez, Jr.*
 DATE: 9/29/07
 PROJECT ENGINEER
 R.C.E. 70356
 APPROVED BY: *Andrew Bebelli*
 DATE: 10/17/07
 CITY ENGINEER
 R.C.E. 50022

5110 W. CYPRESS AVE
 P.O. BOX 3899
 VISALIA, CA 93278-0410
 TEL: (559) 731-7821
 WWW.QUADKNOPF.COM
Quad Knopf
 PREPARED BY: *[Signature]*
 DRAWN BY: AV
 CHECKED BY: AV

IMPROVEMENT PLAN FOR:
LARRY NELSON CONSTRUCTION
 8444 W. DOE AVENUE
 VISALIA, CA 93291
 (559) 651-0583
ROCKWOOD ESTATES STRIPING PLAN

PLOT DATE: Sep-28-2007 08:35:AM
 JOB NO.: 050764
 FILE NAME: 050764-09-STRIPING
 SCALE: HORIZ 1"=40'
 SHEET NO.: 9 OF 9

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.org) or by calling (559) 713-4440 -



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Dark Sunday Date: 01/20/2022
 Project Description: Tattoo Studio: Body art in the form of tattoos (Private Studio apartment Only)
 Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____
 Property Owner: Mohammad Jawad
 Applicant(s) Name: Domingo Viscarra
 Project Address/Location: #1920 West Princeton Ave, visalia, CA 93277
 Assessor Parcel Number: 096 - 301 - 022
 Parcel Size (Acreage or Square Feet): 42,277 Building or Suite Square Footage: suite #23, 600sf

Are There Any Proposed Building Modifications: Yes No
 Estimated Cost of Modifications to Building: \$ _____
 Describe All Proposed Building Modifications: _____

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 01/20/2022
 SPR Agenda: 01/26/2022 Item No. _____
 Zone: C-MU SPR No. 22-015
 Historic District: Yes No
 Flood Zone: Dark Sunday/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Commercial use
 Proposed Building Use: Tattoo Studio/Shop
 Proposed Hours of Operation: 10am to 6pm
 Days of Week In Operation (Circle): Su M **T** W Th F Sa
 Number of Employees Per Day: Existing 1 Proposed 2
 Number of Customers Per Day (Estimated): Existing 3 Proposed 5
 Predicted Peak Operating Hour: 3pm-5pm
 Describe Any Truck Delivery Schedule & Operations: none

 Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees
 (Provide Separate Attachment if Necessary): _____
 Describe Any Special Events Planned for the Facility: none

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - Existing & proposed structures
 - Loading/unloading areas
 - All existing & proposed site features
 - Adjacent street names
 - Accessible path of travel from right of way
 - Site dimensions, including building
 - Refuse enclosures & containers
 - Accessible path of travel from ADA stall
 - Existing and proposed fencing at site
 - Valley oak trees (show drip line)
 - Location and width of drive approaches to site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed landscaping
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
 - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Lyman W. Whitlatch (Prop Mgr) Signature of Owner or Authorized Agent*
NAI The Whitlatch Group
 Address: 525 W Center St
 City, State, Zip: Visalia Ca 93291 Owner: [Signature] Date: 9-30-2021
 Phone: (559) 737-1189 Authorized Agent* Lyman W. Whitlatch Date: 9-30-2021
 Email: Clare@Whitlatch.net

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER: i. Mohammad Jawad declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

096-301-022

AGENT:

I designate Lyman W Whitlatch to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to operate a tator business relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 30th day of Sept, 2021.

OWNER	AGENT
Signatures	Signatures
Signature of Owner	Signature of Agent
Owner Mailing Address	Agent Mailing Address
Owner Phone Number	Agent Phone Number



Operational statement

-Dark Sunday Tattoo Shop/Studio will operate as a private studio/shop, which means it operates by appointments only, the only walk-ins are for the purpose of setting an appointment for future tattoo.

-Our business hours will be from Tuesday to Friday, 10am to 6pm and Saturday 12pm to 4pm.

-There will be no loitering allowed, in the facility by outside of the shop individuals/members.

-We wish to accomplish outstanding body art work, and add value to the arts industry, in a clean well organized facility, where clients feel comfortable and welcomed, as the environment we aim to create is a positive and safe one to our community.

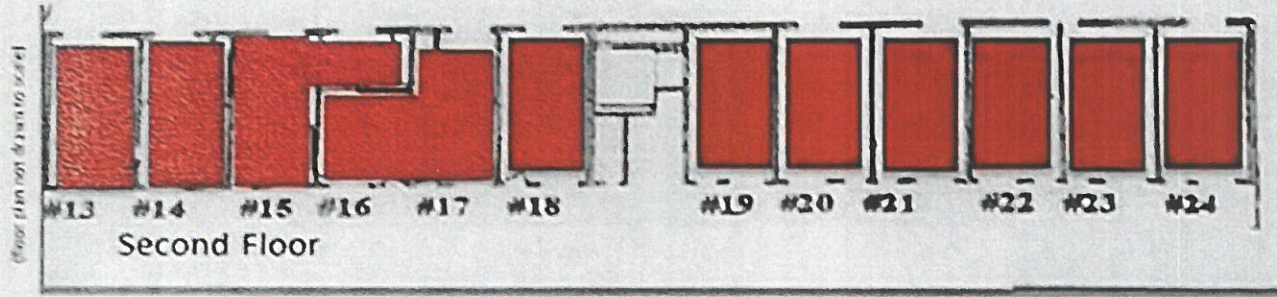
N
↕
W → E
S

1920 W. Princeton Ave, Visalia

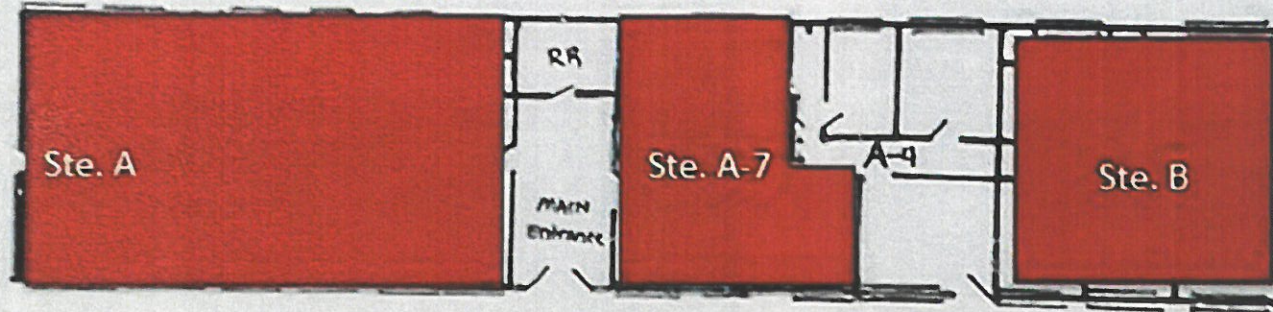


NAI The Whillatch Group
525 West Center Avenue, Ste. D
Visalia, CA 93291-6045

Princeton Office Complex



(floor plan not drawn to scale)

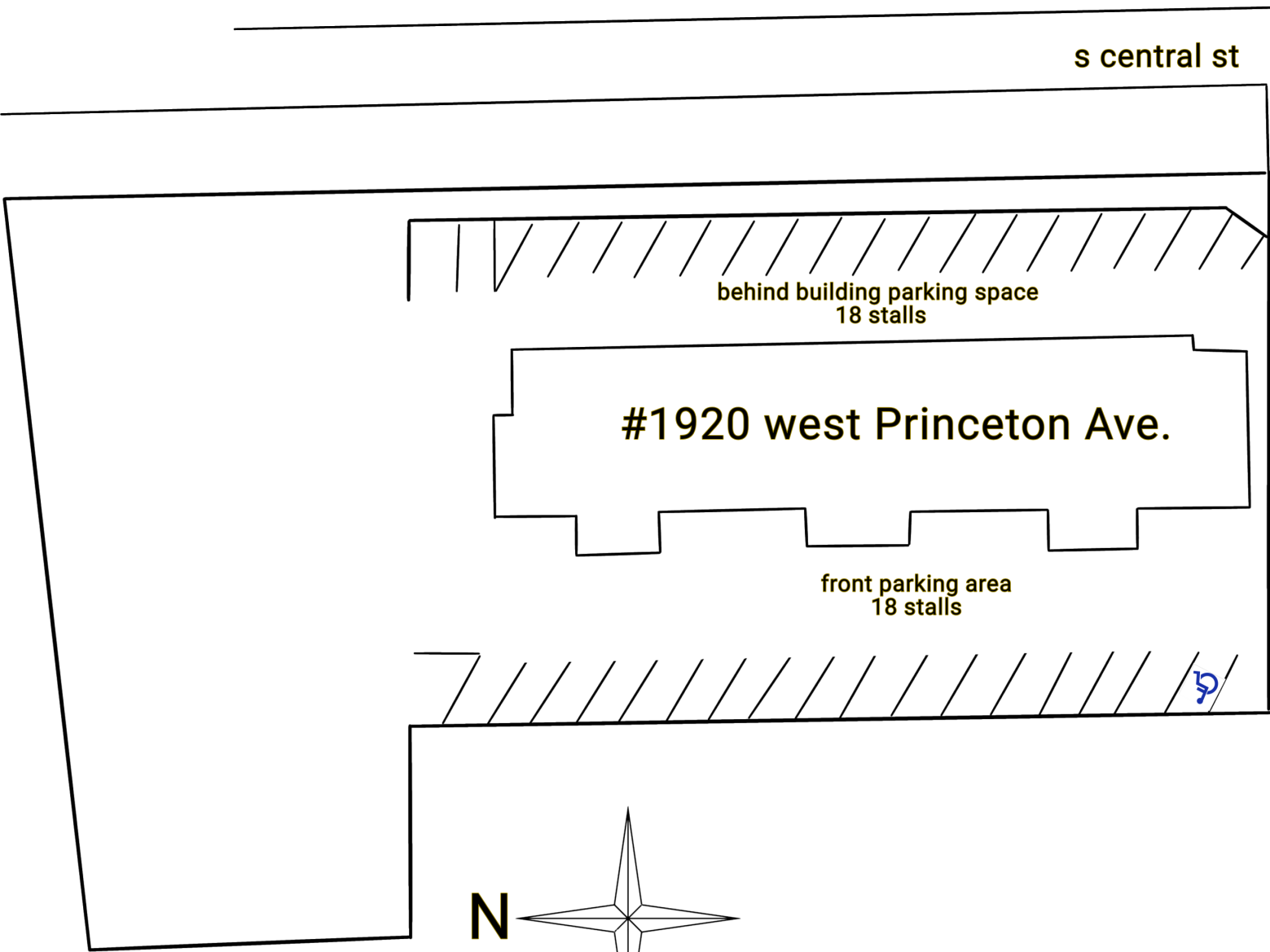


= Leased
 = Available to Lease
 = Lease Pending

#23	Taloo artist	Domingo Viscarra (559) 538-9898 juniors_viscarra@hotmail.com	
#24	David Lopez	David Lopez (599) 667-3591 devia1559@gmail.com	Develops Rap music (existing Tenant)

PRINCETON OFFICE COMPLEX ~~12-17-2021~~ 01-19-2022
 1920 W. PRINCETON AVE., VISALIA, CA 93277
 Managed by: NAI The Whitlatch Group

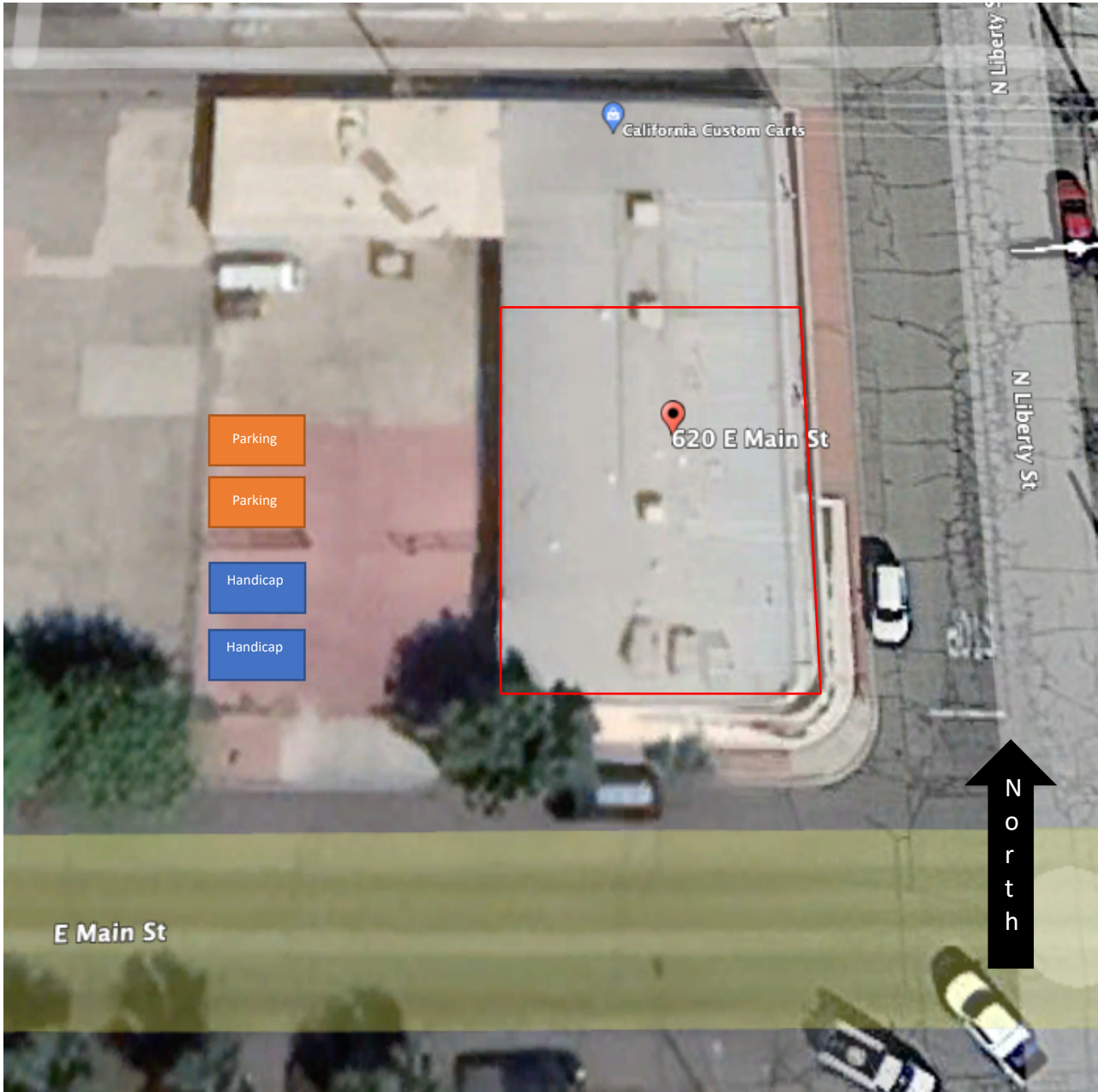
First Floor			
Suite A		Sheila Mohsini (559) 936-5549 sheila@mohsinilaw.com	Criminal Law Office
A-7	Beauty Studio by Mary	Mary Dominguez (559) 679-0497 mary.dominguez@gmail.com	Single operator hair salon
A-4		VACANT	
Suite B	Millennium XXI	Newar Lopez (424) 413-1943 cell newmillennium33@gmail.com	Religious Counseling
Second Floor			
#13		Theresa Moore (559) 802-2437 extndbeauty@yahoo.com	Single Operator Hair Salon
#14	Boss-Babe Beauty Lounge, LLC.	Yessica Macias (559) 667-5382 (559) 308-9660 ymacias1991@gmail.com	Teeth Whitening
#15	Stylin Tattoo	Katherin Taylor (209) 447-3889 tattookate@att.net	Body Piercing
#16 #17	HairN1 Pulate, LLC.	Cheryl Franklin (206) 475-9890 cherylfranklin07@hotmail.com	Hair Prothstetics
#18	Tattoos by Anthony	Anthony Granillo (559) 750-8041 antdawg1414@gmail.com	Tattoo Artist
#19- #20 #21- #22	The Booth	Cassidy Riggs (928) 444-9145 cassidy.riggs@gmail.com	Occupied by Damon (bofriend) Recording & Creating music



w princeton ave

List of other businesses:

- *Stylin Piercings suite #15
- *Mohsini Law - Criminal Defense suite A
- *Beauty Studio by Mary suite #7
- *Jamil Ahmed MD suite B
- *ABC Communications Suite #20
- *Simple Solutions
- *Vision Entertainment & Media works suite #13



CITY OF VISALIA SITE PLAN REVIEW APPLICATION



- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-

This application **MUST** be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Component Coffee Lab Date: 1/20/2022

Project Description: Component Coffee Lab would like to establish 620 e main as the Roastery for our locations and wholesale customers

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: Jane Shepard

Applicant(s) Name: Gregory Amend, Jonathan Anderson, Miguel Reyes

Project Address/Location: 620 E MAIN ST Visalia CA 93292

Assessor Parcel Number: 094-231-007

Parcel Size (Acreage or Square Feet): 6474 Building or Suite Square Footage: 3900

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ _____

Describe All Proposed Building Modifications: _____

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: _____

SPR Agenda: _____ Item No. _____

Zone: _____ SPR No. _____

Historic District: Yes No

Flood Zone: X AE X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Flower Shop: Retail/ wholesale

Proposed Building Use: Coffee Roastery: Manufacturing/ wholesale

Proposed Hours of Operation: Monday- Friday 800-1700

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing 0 Proposed 3

Number of Customers Per Day (Estimated): Existing 0 Proposed 0

Predicted Peak Operating Hour: 1000-1300

Describe Any Truck Delivery Schedule & Operations: Truck deliveries consist of bi monthly coffee beans that were being delivered to 514 e main, and any equipment purchases for wholesale clients (1-2 deliveries a month)

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment If Necessary): None: Current parking spaces or existing street parking will suffice

Describe Any Special Events Planned for the Facility: No events planned. May hold company meetings here

Page 1 of 2 - Application continues on back of this page

SUBMIT APPLICATION TO: CITY OF VISALIA COMMUNITY DEVELOPMENT DEPT - 315 E ACEQUIA AVE - VISALIA CA 93291
IF ANY QUESTIONS, PLEASE CALL THE CITY OF VISALIA AT (559) 713-4440

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇓ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇓ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇓ Site plan shall provide for and indicate all of the following:
 - North arrow
 - All existing & proposed site features
 - Site dimensions, including building
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
 - Adjacent street names
 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Greg Amend
 Address: 514 E Main St
 City, State, Zip Visalia CA 93292
 Phone: 9517196104
 Email: greg@componentcoffeelab.com

Signature of Owner or Authorized Agent*

[Signature]
 Owner

1/20/22
 Date

Authorized Agent*

 Date

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, JANE O SHEPARD, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

094-231-007-000

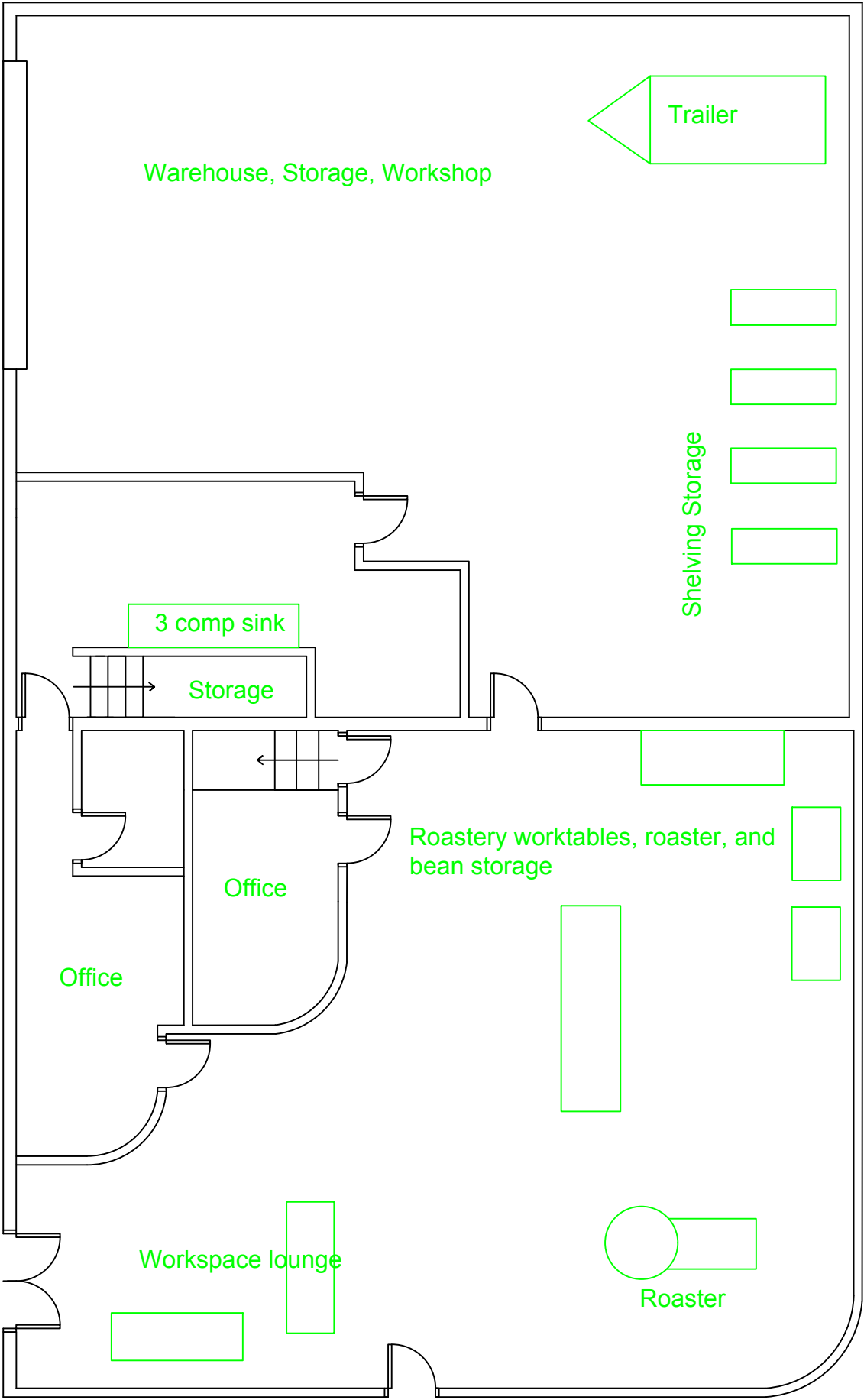
AGENT:

I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 20th day of JANUARY, 2022

OWNER	Signatures	AGENT
<u>Jane O Shepard</u>		
Signature of Owner		Signature of Agent
<u>111 S. ELM ST</u>		
Owner Mailing Address		Agent Mailing Address
<u>VISALIA, CA 93291</u>		
<u>415-505-9301</u>		
Owner Phone Number		Agent Phone Number



68'9"

47'5"

