

SITE PLAN REVIEW AGENDA

10/6/2021 - 9:00 A.M.

Conference Room #4

315 E. Acequia Avenue

ITEM NO: 1 Resubmit

SITE PLAN NO: SPR21032

PROJECT TITLE: American Legion Sierra Post #785

DESCRIPTION: Proposing a New American Legion Post Complete with 54 Parking Spaces (C-MU)

APPLICANT: Victor Cedillos

OWNER: 537 E VISALIA LLC

APN: 094130005

LOCATION: 537 E HOUSTON AVE

ITEM NO: 2 Resubmit

SITE PLAN NO: SPR21149

PROJECT TITLE: New Admin, Office Build, Garage & Storage Building

DESCRIPTION: A New 2 Story 23,500 sf Administrative Office Building & a 4,080 sf Garage & Storage Building. (D-MU)

APPLICANT: Eric McConnaughey

OWNER: FAMILY HEALTHCARE NETWORK

FISHER INVESTMENT GROUP LLC

FISHER INVESTMENT GROUP

APN: 094273003

094273004

094273005

094274006

LOCATION: 414 N BRIDGE ST
409 N SANTA FE ST
314 E SCHOOL AVE
312 E SCHOOL AVE

ITEM NO: 3 Resubmit

SITE PLAN NO: SPR21151

PROJECT TITLE: Proposed Fast Food Restaurant

DESCRIPTION: A new fast food restaurant, playland and drive-thru (C-MU) Ref: SPR 19-013

APPLICANT:

OWNER: CRS FARMING LLC

APN: 078430005

LOCATION: W. Riggan Ave & N. Mooney Blvd.

ITEM NO: 4 Resubmit

SITE PLAN NO: SPR21167

PROJECT TITLE: PT Glass Gallery

DESCRIPTION: Arts, Crafts, Snacks, Soft Drinks, Tobacco Smoking Portable Devices, T-Shirts, Hats, Class Ware, Detox Lighters, etc. (C-MU)

APPLICANT: Tayseer Taha

OWNER: TREVINO JOSE R & RAQUEL R (CO-TRS)(T 1

APN: 121090071

LOCATION: 2137 W WHITENDALE AVE

AFTER REVIEW OF REGULAR AGENDA ITEMS, THE COMMITTEE WILL BE AVAILABLE TO REVIEW OFF-AGENDA ITEMS FOR INFORMAL REVIEW. THE COMMITTEE WILL BE AVAILABLE TO ANSWER QUESTIONS AT THAT TIME.

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application **MUST** be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- **Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present** -
 - Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: American Legion Sierra Post #785 Date: 9/30/2021

Project Description: Proposing a new American Legion Post complete with 54 parking spaces.

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: 21-032

Property Owner: American Legion Sierra Post #785

Applicant(s) Name: American Legion Sierra Post #785

Project Address/Location: 537 E. Houston Ave.

Assessor Parcel Number: 0 9 4 - 1 3 0 - 0 0 5

Parcel Size (Acreage or Square Feet): 1.260 acres Building or Suite Square Footage: 9,100 sq. ft.

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ _____

Describe All Proposed Building Modifications: _____

- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received: _____

SPR Agenda: _____ Item No. _____

Zone: _____ SPR No. _____

Historic District: Yes No

Flood Zone: X AE X/AE

- - **A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS** - -

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Vacant Lot

Proposed Building Use: Board Meetings and Private Special Events

Proposed Hours of Operation: As needed

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing N/A Proposed N/A

Number of Customers Per Day (Estimated): Existing N/A Proposed N/A

Predicted Peak Operating Hour: N/A

Describe Any Truck Delivery Schedule & Operations: N/A

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): N/A

Describe Any Special Events Planned for the Facility: None at this time

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - All existing & proposed site features
 - Site dimensions, including building
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
 - Adjacent street names
 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Victor Cedillos Signature of Owner or Authorized Agent*  2/11/2021
 Address: P.O. Box 854 Owner Date
 City, State, Zip Visalia, CA 93279 Authorized Agent* Date
 Phone: _____
 Email: _____

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

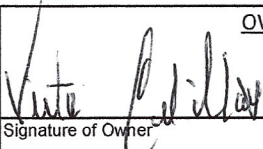
AGENCY AUTHORIZATION FORM

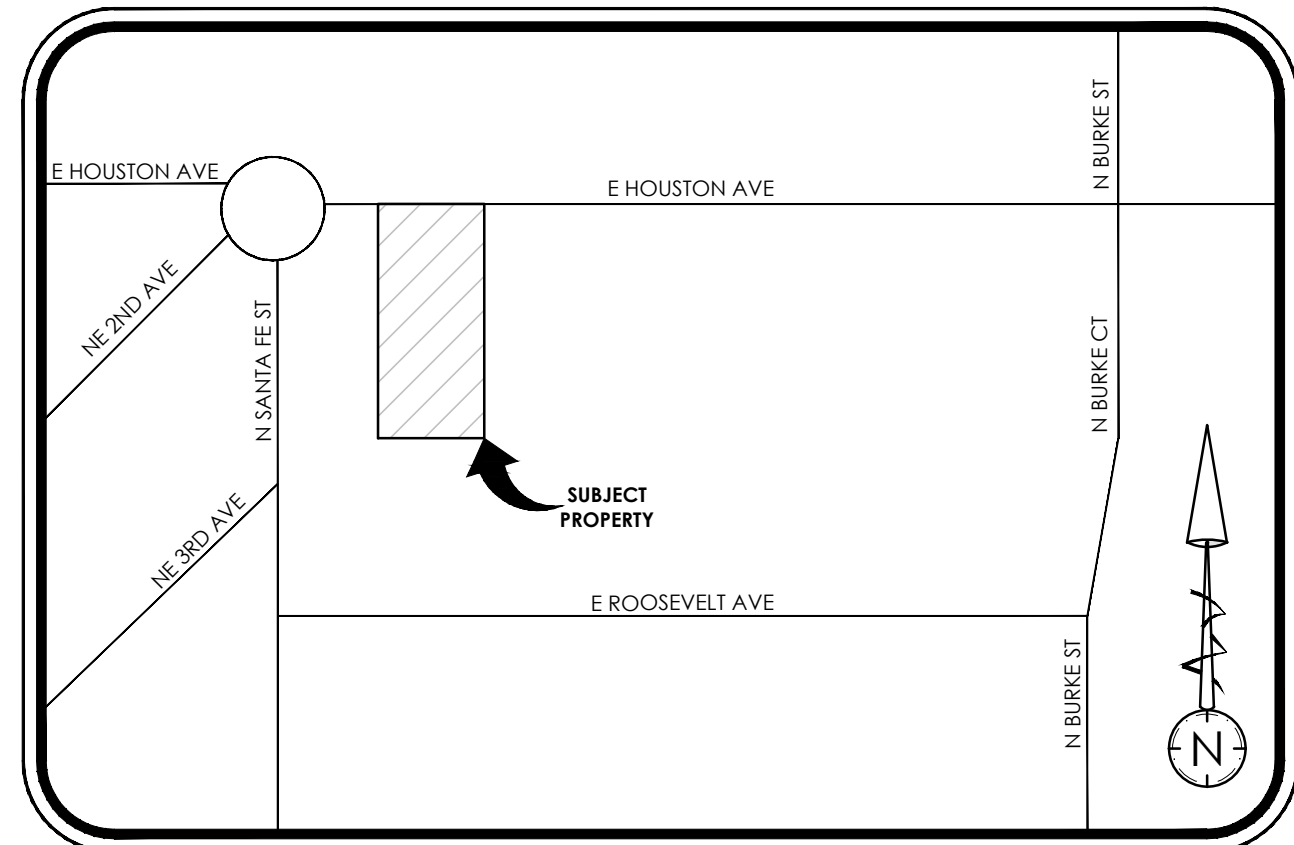
AGENCY AUTHORIZATION

OWNER:
 I, American Legion Sierra Post #785 - Victor Cedillos, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):
094-130-005

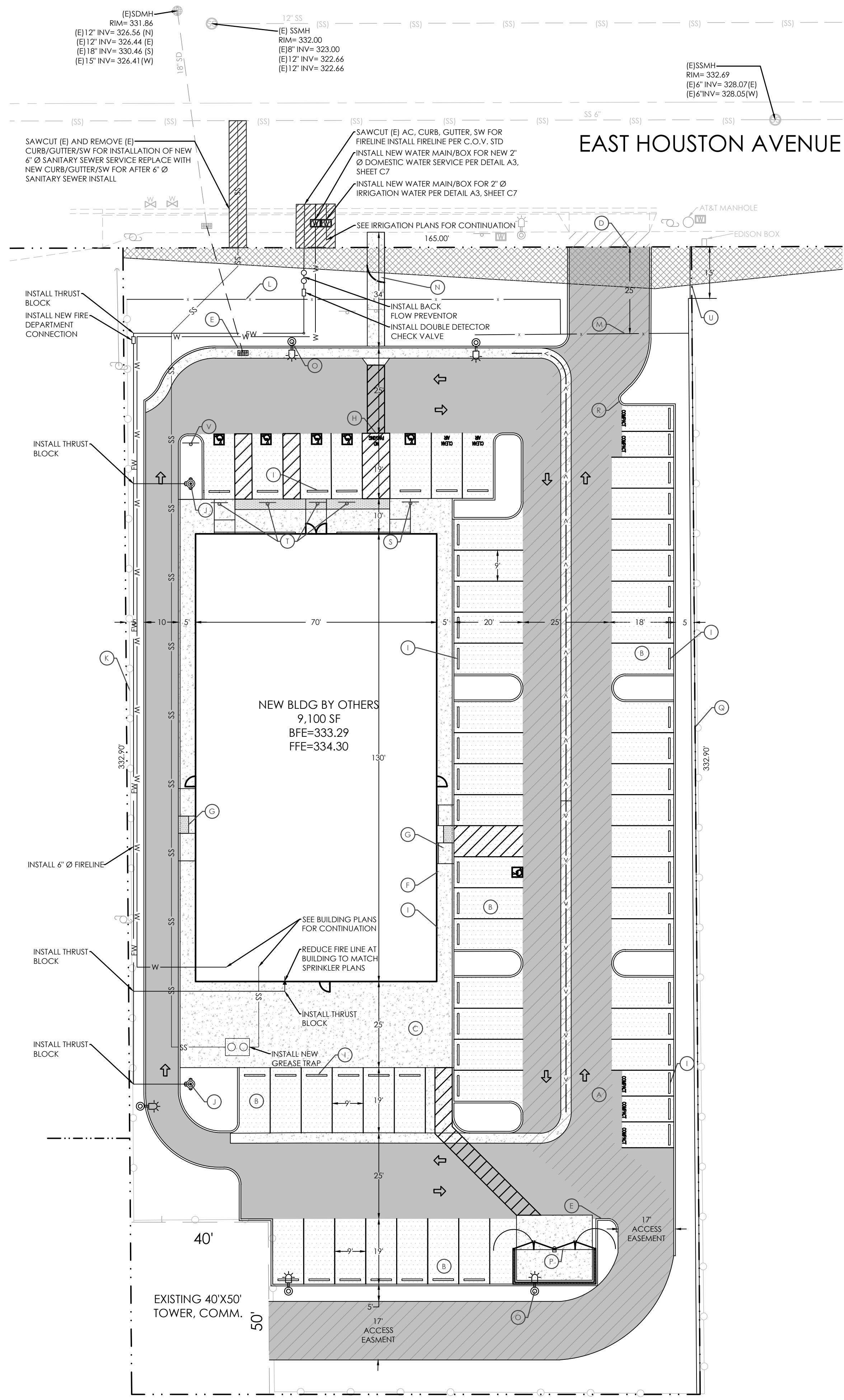
AGENT:
 I designate Allen Williams - AW Engineering, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.
 Executed this _____ day of _____, 20____.

OWNER	AGENT
 Signature of Owner	_____ Signature of Agent
<u>P.O. Box 854</u> Owner Mailing Address	_____ Agent Mailing Address
<u>Visalia, CA 93279</u> Owner Phone Number	_____ Agent Phone Number



VICINITY MAP
CITY OF VISALIA
NTS
COUNTY OF TULARE



SITE INFORMATION

TOTAL BUILDING AREA
=9,100 S.F.

REQUIRED SPACES
=200 OCCUPANCY/4
=50 SPACES

REQUIRED ADA SPACES
=2 STANDARD
=1 VAN ACCESSIBLE

PROVIDED SPACES
=40 SPACES TOTAL
=5 COMPACT SPACES
=2 CLEAN AIR SPACES
=5 STANDARD ADA SPACES
=1 VAN ACCESSIBLE

TOTAL AREA
=54,958 S.F.
=1.26 ACRES

OPEN AREA
=11,636 S.F.
=11,636 S.F./54,958 S.F.
=21.1% OPEN AREA

UTILITY INFORMATION

SOUTHERN CALIFORNIA EDISON - ELECTRIC
1233 EAST MAIN, VISALIA, CA, 559-749-0534

CALIFORNIA WATER SERVICE COMPANY - WATER
216 NORTH VALLEY OAKS DRIVE, VISALIA, CA, 559-624-1600

SOUTHERN CALIFORNIA GAS COMPANY - NATURAL GAS
404 NORTH TIPTON, VISALIA, CA, 949-496-5712

CITY OF VISALIA - SANITARY SEWER AND STORM DRAINAGE
707 WEST ACEQUIA, VISALIA, CA, 559-713-4499

BENCHMARK

P+K NAIL IN TOP OF CURB NORTH RADIUS POINT NE CORNER
OF INTERSECTION OF SANTA FE & ROOSEVELT
ELEVATION = 332.968

FLOODNOTE

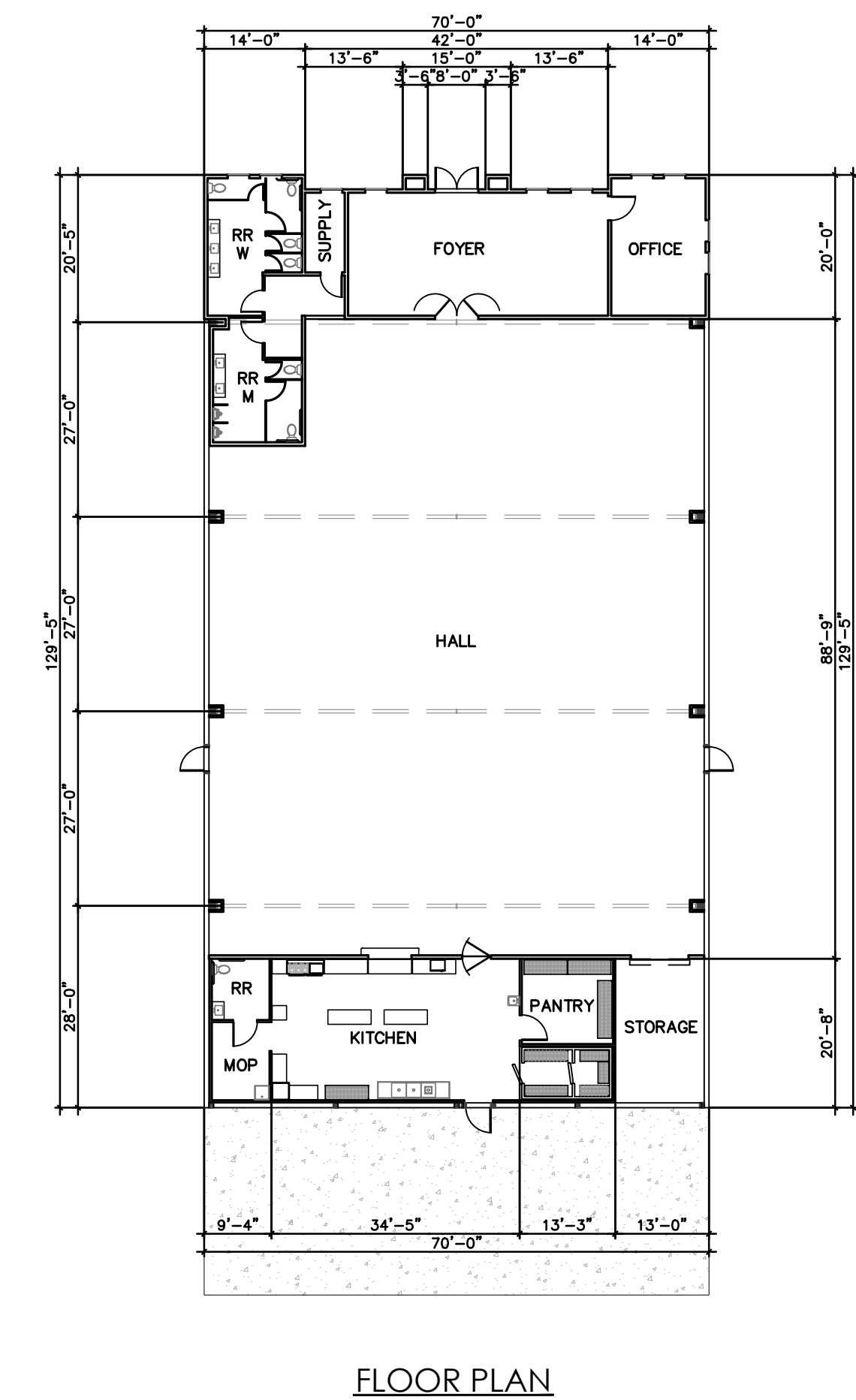
AREA WITHIN FLOOD HAZARD FLOOD ZONE "AE" OF THE
FIRM PANEL NUMBER: 06107C0933E EFFECTIVE DATE
6/16/2009

LEGEND

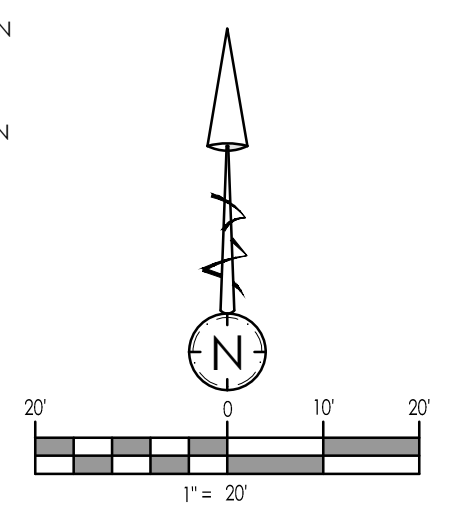
- BOW BACK OF WALK
- BFE BEGINNING FLOOR ELEVATION
- CRN CROWN OF ROAD
- DA DRIVE APPROACH
- EG EXISTING GRADE
- FNC FENCE
- FFE FINAL FLOOR ELEVATION
- FL FLOW LINE
- LIP LIP OF GUTTER
- TC TOP OF CURB
- GUY WIRE
- LIGHT - AREA
- POWER POLE
- SANITARY SEWER MANHOLE
- SIGN SINGLE POST
- STORM DRAIN INLET
- WATER BOX
- WATER VALVE
- EXISTING CHAIN LINK FENCE
- PROPERTY LINE
- PROPOSED WROUGHT IRON FENCE
- PROPOSED FIRE WATER
- PROPOSED SANITARY SEWER
- PROPOSED WATER
- ACCESS EASEMENT TO TOWER, COMM.
- PROPOSED CONCRETE
- PROPOSED HEAVY DUTY PAVEMENT
- PROPOSED LIGHT DUTY PAVEMENT

KEY NOTES

- 1. INSTALL HEAVY DUTY PAVEMENT PER DETAIL A1, SHEET C6
- 2. INSTALL LIGHT DUTY PAVEMENT PER DETAIL A1, SHEET C6
- 3. INSTALL NEW SIDEWALK PER DETAIL A3, SHEET C6
- 4. INSTALL NEW DRIVE APPROACH PER DETAIL A4, SHEET C6
- 5. INSTALL BARRIER TYPE CURB AND GUTTER PER DETAIL B1, SHEET C6
- 6. INSTALL NEW 6' ADA COMPLIANT RAMP
- 7. INSTALL NEW TRUNCATED DOMES
- 8. INSTALL NEW ACCESSIBLE PARKING PER DETAIL B2, SHEET C6
- 9. INSTALL CONCRETE WHEEL STOP (6' LONG) PER DETAIL B4, SHEET C6
- 10. INSTALL NEW FIRE HYDRANT
- 11. EXISTING CHAIN LINK FENCE TO REMAIN
- 12. NEW 4' WROUGHT IRON FENCE
- 13. NEW ROLLING GATE TYPE (SEE ARCHITECT DETAILS)
- 14. INSTALL NEW 3' WIDE MAN DOOR
- 15. INSTALL PARKING LIGHT. FINAL LIGHT TYPE/LOCATION TO BE DECIDED BY ELECTRICAL ENGINEER
- 16. INSTALL 24' STANDARD TRASH ENCLOSURE PER DETAIL A2, SHEET C6
- 17. INSTALL NEW 7' BLOCK WALL
- 18. INSTALL NEW CURB ONLY PER DETAIL B1, SHEET C6
- 19. INSTALL NEW VAN ACCESSIBLE SIGN
- 20. INSTALL NEW STANDARD ADA SIGN
- 21. SIGHT TRIANGLE
- 22. INSTALL NEW ONE WAY ONLY SIGN



FLOOR PLAN



SITE PLAN

REVISIONS	REV. BY	DATE

APPROVED, DESIGN ENGINEER
Jesse Allen Williams, R.C.E. 64742



724 N. BEN MADDOX
WAY SUITE "A"
(559) 713-6139

OWNER/APPLICANT:
THE AMERICAN LEGION SIERRA POST #785
P.O. BOX 854
VISALIA, CA 93279

AMERICAN LEGION POST 785 (APN: 094-130-061-000)

537 WEST HOUSTON
VISALIA, CA 93292

SCALE:
1" = 20'

JOB #:
20367

DRAWN BY:
DWR

FLOOD ZONE:
"AE"

SHEET
C3

© A.W. 2020/2023. All drawings are the property of American Legion Post #785. No part of this drawing may be reproduced without the written consent of American Legion Post #785. Date: Sep. 30, 2020 - 02:46pm - A.W. Engineering

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

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- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: A new administrative office building, garage & Storage building Date: 9/30/21

Project Description: A new 2 story 23,500 s.f. administrative office building and a 4,080 s.f. garage and storage building.

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: 2021-149

Property Owner: Family Health Care Network

Applicant(s) Name: Family Health Care Network

Project Address/Location: 416 E. School Ave.

Assessor Parcel Number: 093-273-003, 004, 005 & 094,274-006

Parcel Size (Acreage or Square Feet): 48,995 s.f. Building or Suite Square Footage: 23,500 & 4,080

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ none

Describe All Proposed Building Modifications: none

- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received: 09/30/2021

SPR Agenda: 10/06/2021 Item No.

Zone: SPR No. 21-149

Historic District: Yes No

Flood Zone: X AE X/AE

OPERATIONS & TRAFFIC INFORMATION

- - A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS - -

Existing/Prior Building Use: None

Proposed Building Use: The proposed buildings are a professional office building and a garage / storage building.

Proposed Hours of Operation: 8am - 5pm

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing 0 Proposed 100

Number of Customers Per Day (Estimated): Existing 0 Proposed 0

Predicted Peak Operating Hour: 9-10am & 4-5pm

Describe Any Truck Delivery Schedule & Operations: none scheduled, periodic medical supply deliveries.

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): none

Describe Any Special Events Planned for the Facility: none

SITE PLAN MINIMUM REQUIREMENTS

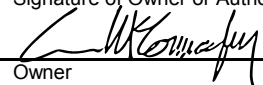
SITE PLAN REQUIREMENTS

- ⇓ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇓ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇓ Site plan shall provide for and indicate all of the following:

- North arrow	- Existing & proposed structures	- Loading/unloading areas
- All existing & proposed site features	- Adjacent street names	- Accessible path of travel from right of way
- Site dimensions, including building	- Refuse enclosures & containers	- Accessible path of travel from ADA stall
- Existing and proposed fencing at site	- Valley oak trees (show drip line)	- Location and width of drive approaches to site
- Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)	- Existing & proposed landscaping	- Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
	- Parking stalls (include ADA)	

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Eric McConnaughey</u>	Signature of Owner or Authorized Agent*	
Address: <u>4412 W. Ferguson Ave.</u>		<u>9/30/21</u>
City, State, Zip <u>Visalia, CA 93291</u>		Owner
Phone: <u>732-9236</u>		
Email: <u>Eric@ebmdesigngroup.com</u>	Authorized Agent*	Date

* If signed by an authorized agent , the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, _____, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

AGENT:

I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20____.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number



DESIGN GROUP
INCORPORATED
ARCHITECTS

4412 W. FERGUSON
VISALIA, CA. 93291
(559) 732-9236
FAX: 732-5836

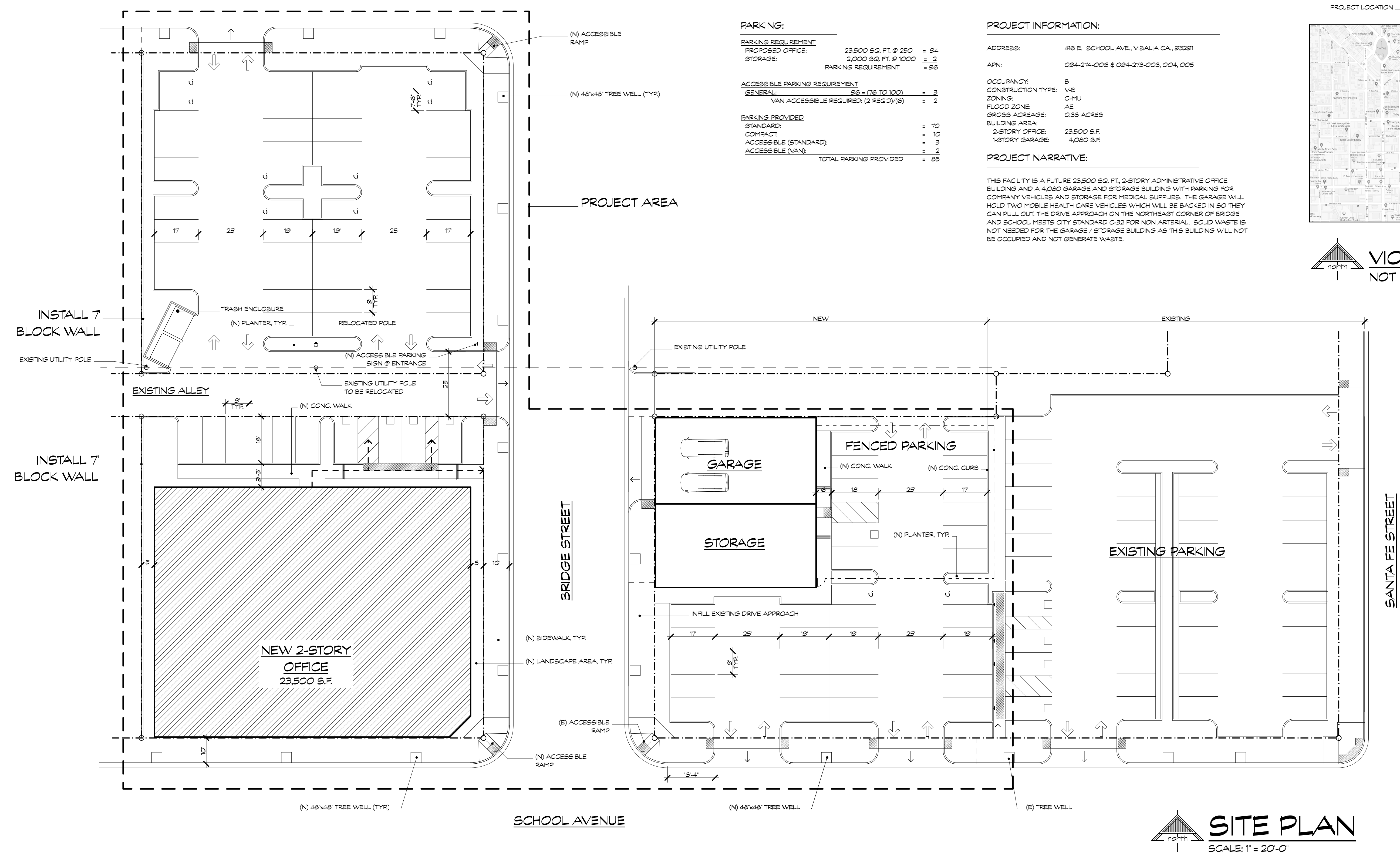
SCALE: AS NOTED
JOB #: 21-012

A NEW OFFICE BUILDING, GARAGE & STORAGE FOR:
FAMILY HEALTHCARE
NETWORK
VISALIA, CA

DATE: 9-22-21
△ REVISED:
△ REVISED:
△ REVISED:
△ REVISED:
△ REVISED:

Sheet:
A-1

9/22/21



PARKING:

PARKING REQUIREMENT	
PROPOSED OFFICE: 23,500 SQ. FT. @ 250	= 94
STORAGE: 2,000 SQ. FT. @ 1000	= 2
PARKING REQUIREMENT	= 96
ACCESSIBLE PARKING REQUIREMENT	
GENERAL: 96 ÷ (76 TO 100)	= 3
VAN ACCESSIBLE REQUIRED: (2 REQ'D)/(6)	= 2
PARKING PROVIDED	
STANDARD:	= 70
COMPACT:	= 10
ACCESSIBLE (STANDARD):	= 3
ACCESSIBLE (VAN):	= 2
TOTAL PARKING PROVIDED	= 85

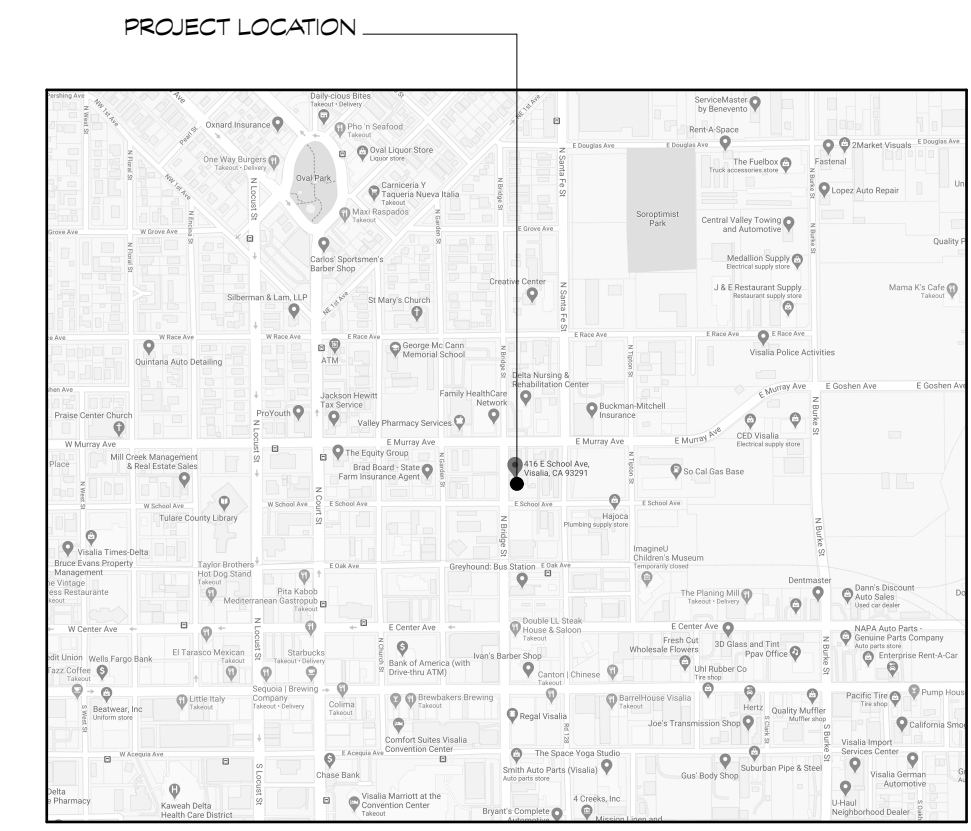
PROJECT INFORMATION:

ADDRESS: 416 E. SCHOOL AVE., VISALIA CA, 93291
 APN: 094-274-006 & 094-273-003, 004, 005

OCCUPANCY: B
 CONSTRUCTION TYPE: V-B
 ZONING: C-MU
 FLOOD ZONE: AE
 GROSS ACREAGE: 0.38 ACRES
 BUILDING AREA:
 2-STORY OFFICE: 23,500 S.F.
 1-STORY GARAGE: 4,080 S.F.

PROJECT NARRATIVE:

THIS FACILITY IS A FUTURE 23,500 SQ. FT., 2-STORY ADMINISTRATIVE OFFICE BUILDING AND A 4,080 GARAGE AND STORAGE BUILDING WITH PARKING FOR COMPANY VEHICLES AND STORAGE FOR MEDICAL SUPPLIES. THE GARAGE WILL HOLD TWO MOBILE HEALTH CARE VEHICLES WHICH WILL BE BACKED IN SO THEY CAN PULL OUT. THE DRIVE APPROACH ON THE NORTHEAST CORNER OF BRIDGE AND SCHOOL MEETS CITY STANDARD C-32 FOR NON ARTERIAL. SOLID WASTE IS NOT NEEDED FOR THE GARAGE / STORAGE BUILDING AS THIS BUILDING WILL NOT BE OCCUPIED AND NOT GENERATE WASTE.



VICINITY MAP
NOT TO SCALE

SITE PLAN
SCALE: 1" = 20'-0"

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

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- All plans to be considered on the next available agenda must be submitted by 4:00 p.m. on the Thursday prior to the meeting -

- Site plan review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant or representative must be present -

GENERAL PROJECT INFORMATION

Project/Business Name: Proposed Fast Food Restaurant Date: 9/30/21

Project Description: A new Fast Food Restaurant, Playland and Drive-Thru

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: SPR No. 2021-151

Property Owner: Big Bidness

Applicant(s) Name: Tricon Building Solutions

Project Address/Location: 2050 West Riggin Avenue (Verify)

Assessor Parcel Number: 078-120-034

Parcel Size (Acreage or Square Feet): 39,825 SQ. FT. ± Building or Suite Square Footage: 4110

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ 750,000

Describe All Proposed Building Modifications: Construct New Fast Food Restaurant, and Drive-Thru. The property will require a modification to the (E) (Proposed?) parcel map a lot line adjustment, see site plan attached. This is for a revision to the site traffic and a move of the trash enclosure.

- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received: 09/30/2021

SPR Agenda: 10/06/2021 Item No. _____

Zone: _____ SPR No. 21-151

Historic District: Yes No

Flood Zone: X AE X/AE

- - A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS - -

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: C-N (NEIGHBORHOOD COMMERCIAL)

Proposed Building Use: Fast Food Restaurant and Drive-Thru,

Proposed Hours of Operation: Mon - Fri 6:00 AM - 12:00 PM Sat 7:00 AM - 12:00 PM

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing 0 Proposed 32

Number of Customers Per Day (Estimated): Existing 0 Proposed 1000±

Predicted Peak Operating Hour: 7:00 AM to 9:00 AM, 12:00 PM to 1:30 and 5:30 PM to 7:00 PM

Describe Any Truck Delivery Schedule & Operations: All Deliveries are made during Business hours Mon-Friday

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): See Site Plan for Traffic Patterns, Four Creeks is providing the CUP Package and traffic study. They are also working on the rest of the parcel roadway improvements

Describe Any Special Events Planned for the Facility: None

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Plan(s) must be clear, legible, and on a sheet size appropriate to easily convey all necessary project information. Suggested minimum sheet size for site plans is 11"x17" (Excludes tentative parcel and final maps)
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - All existing & proposed site features
 - Site dimensions, including building
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
 - Adjacent street names
 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
- ⇒ Submit 20 copies of the site plan with this application, folded to a legal size of 9" x 12" with the print on the outside (no rolled plans)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Tricon Building Solutions</u>	Signature of Owner or Authorized Agent*	
Address: <u>Post Office Box 7353</u>	_____	_____
City, State, Zip <u>Visalia, CA 93290</u>	Owner	Date
Phone: <u>559-730-2212</u>	_____	_____
Email: <u>triconbuilding@sbcglobal.net</u>	Authorized Agent*	Date

* If signed by an authorized agent , the "Agency Authorization" information below must be completed for this application to be considered complete

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, _____, declare as follows; I am the owner of certain real property bearing assessor' parcel number (APN):

AGENT:

I designate _____, to act as my duty authorized agent for all purposes necessary to fill an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20____

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner (Notary Required)		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number

Approved by City of Visalia:

By: _____ Date: _____

September 22, 2021

Leslie Blair
City of Visalia
315 E. Acequia Avenue
Visalia, CA 93291

Via Email Only: leslie.blair@visalia.city

Subject: Analysis of Phase II for the Shannon Village East Mixed-Use Shopping in the City of Visalia (JLB Project 013-009)

Dear Mrs. Blair,

This Letter is a result of the Shannon Village East Mixed-Use Shopping Center (Project) being constructed on the northeast corner of Riggan Avenue and Mooney Boulevard in the City of Visalia. This letter describes the analysis for the circulation of phase II of the Project with the two existing driveways. In order to occupy phase II, the developer was directed to analyze the Project after the first two phases assuming that the only access points are the two (2) access points that currently exist. This letter analyzes the circulation of the Opening Year 2021 plus Phase II Traffic Conditions utilizing the two existing access points. The findings within this analysis of the access points will provide data and recommendations as to the access points of the Project. Exhibit A displays an aerial of the Project with existing driveways.

Roadway Network

Mooney Boulevard is an existing north-south two- to four-lane roadway divided by a two-way left turn lane adjacent to the proposed Project site. Mooney Boulevard exists as a four-lane arterial between Riverway Drive and Riggan Avenue and between Ferguson Avenue and Houston Avenue, and a two-lane arterial between Riggan Avenue and Ferguson Avenue and between Houston Avenue and Goshen Avenue. Mooney Boulevard extends south of Main Street through the City of Visalia sphere of influence as a six-lane divided arterial and is also known as State Route 63. The City of Visalia 2030 General Plan Circulation Element designates Mooney Boulevard as a two- to six-lane arterial between Avenue 320 and Goshen Avenue and south of Main Street through the City of Visalia sphere of influence.

Riggan Avenue is an east-west arterial adjacent to the proposed Project. Riggan Avenue connects the northwest region of the Visalia urban area to State Route 63 (Dinuba Boulevard) to the east and to State Route 99 to the west. It should be noted that western extension of Riggan Avenue beyond the western City limits becomes Betty Drive. For the most part, Riggan Avenue exists as a four-lane arterial between State Route 99 and Road 80, a two-lane arterial between Road 80 and Demaree Avenue, a four-lane arterial between Demaree Avenue and Mooney Boulevard, a two-lane arterial between Mooney Boulevard and Dinuba Avenue, and a four-lane arterial between Dinuba Avenue and Santa Fe Street. East of Santa Fe Street, Riggan Avenue becomes St. Johns Parkway. The City of Visalia 2030 General Plan



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Circulation Element designates Riggan Avenue as a four-lane arterial between State Route 99 and Ben Maddox Way and a two-lane arterial east of Ben Maddox Way.

Access

Currently, the Project is operating with two (2) access points. One access point (Project Driveway 1) is located on the east side of Mooney Boulevard approximately 250 feet north of Riggan Avenue. Project Driveway 1 currently functions with full access. The other access point (Project Driveway 2) is located along the north side of Riggan Avenue approximately 250 feet east of Mooney Boulevard. Project Driveway 2 currently functions with right-in right-out access.

Trip Generation

Trip generation rates for the remainder of Phase I and Phase II of the Project were obtained from the 10th Edition of the Trip Generation Manual published by the Institute of Transportation Engineers (ITE). At the time the counts were collected Starbucks was the only occupied portion of the Project. The remainder of Phase I and all of Phase II are being studied in this analysis. Table I presents the trip generation rates for Fast-Food Restaurant without Drive Through Window and Fast-Food Restaurant with Drive Through Window. The remainder of Phase I and Phase II of the Project are estimated to generate a maximum of 2,456 daily, 203 AM peak hour and 177 PM peak hour trips. Exhibit B displays a project site plan with the Project divided into phases.

Table I: Project Trip Generation

Land Use (ITE Code)	Size	Unit	Daily		AM Peak Hour						PM Peak Hour					
			Rate	Total	Trip Rate	In	Out	In	Out	Total	Trip Rate	In	Out	In	Out	Total
						%						%				
Fast-Food Restaurant without Drive-Through Window (933)	1.501	k.s.f.	346.23	520	25.10	60	40	23	15	38	28.34	50	50	22	21	43
Fast-Food Restaurant with Drive-Through Window (934)	4.110	k.s.f.	470.95	1,936	40.19	51	49	84	81	165	32.67	52	48	70	64	134
Total Driveway Trips				2,456				107	96	203				92	85	177

Note: k.s.f. = Thousand Square Feet

Opening Year 2021 plus Phase II Traffic Conditions

This scenario evaluates total traffic volumes and roadway conditions based on the Opening Year 2021 plus Phase II Traffic Conditions. For purposes of this analysis, Phase II of the Project is assumed to be operational by the year 2021. Existing volumes for the Shannon Village East TIA, counted in 2019, were expanded by two years with a growth rate of 2.1 percent, which was utilized in the Final TIA (prepared for this project), in order to obtain the Year 2021 volumes. The growth rate was based on review of the Tulare County Association of governments (TCAG) models. The Project Trip Distribution was then added to the Year 2021 volumes to arrive at the Opening Year 2021 plus phase II volumes. Figures containing the Project Trip Distribution and Opening Year 2021 plus Phase II Traffic Conditions are displayed in Exhibit C.

Operational Analysis

The level of service and delay were analyzed for the Project built through the second phase operating with the two current access points. The LOS worksheets for the Opening Year plus Phase II Traffic Conditions are contained in Exhibit D.

Intersection LOS Results

The Opening Year 2021 plus Phase II Traffic Conditions scenario assumes that the Existing roadway geometrics and traffic controls will remain in place. Table II presents a summary of the Opening Year 2021 plus Phase II peak hour LOS at the existing access points, as well as Mooney Boulevard at Riggin Avenue. As can be seen in Table II, Phase II of the Project is projected to operate at an acceptable LOS with the two existing access points.

Table II: Opening Year plus Phase II Intersection LOS Results

ID	Intersection	Intersection Control	AM (7 - 9) Peak Hour		PM (4 - 6) Peak Hour	
			Average Delay (sec/veh)	LOS	Average Delay (sec/veh)	LOS
1	Mooney Boulevard / Project Driveway 1	TWSC	33.3	D	13.7	B
3	Mooney Boulevard / Riggin Avenue	Traffic Signal	40.1	D	28.0	C
4	Project Driveway 2 / Riggin Avenue	OWSC	10.8	B	11.0	B

Note: LOS = Level of Service based on average delay on signalized intersections and All-Way STOP Controls
 LOS for two-way and one-way STOP controlled intersections are based on the worst approach/movement of the minor street.

Queuing Results

The queue length summary includes queuing for left-turn and right-turn lanes at the study intersections. The queuing analyses for the study intersections are contained in the LOS worksheets in Exhibit D. Table III contains the results of the queuing analysis for the Opening Year 2021 plus Phase II Traffic Conditions.

Table III: Queuing Analysis Results

ID	Intersection	Existing Queue Storage Length (ft.)		Opening Year 2021 plus Phase II	
				AM	PM
1	Mooney Boulevard / Project Driveway 1	EB Left-Thru-Right	>500	57	66
		WB Left-Thru-Right	>500	92	54
		NB Left	50	42	42
		NB Thru	>500	0	0
		NB Thru-Right	>500	10	8
		SB Left	50	41	30
		SB Thru	>500	0	0
		SB Thru-Right	>500	0	7
3	Mooney Boulevard / Riggins Avenue	EB U-Left	300	481	168
		EB Thru	>500	525	217
		EB Thru	>500	167	151
		EB Right	100	56	69
		WB U-Left	125	145	165
		WB Thru	>500	142	138
		WB Thru	>500	132	128
		WB Right	125	51	42
		NB Left	160	83	105
		NB Thru	>500	75	68
		NB Thru-Right	>500	100	85
		SB Left	150	88	97
		SB Thru	>500	160	114
SB Right	>300	41	40		
4	Project Driveway 2 / Riggins Avenue	EB Thru	>500	0	0
		EB Thru	>500	0	0
		WB Thru	>500	0	0
		WB Thru	>500	0	0
		WB Right	70	0	0
		SB Right	>100	57	56

Note: 1 = Existing Queue Storage Length excludes deceleration length consistent with Caltrans design standards.
 2 = Existing Queue Storage Length excludes bay taper length consistent with Caltrans design standards.



Conclusions and Recommendations

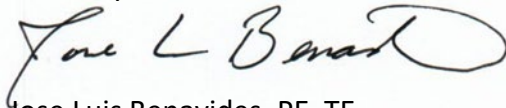
Based on the findings in this analysis of Phase II for the Shannon Village East Commercial Center utilizing two driveways, conclusions and recommendations are provided below:

- Based on the LOS analysis, Phase II of the Project will operate at acceptable levels without the need of additional driveways.
- The queuing analysis projects that there are no concerning queues at either driveway during either peak period.
- The driveway along Mooney Boulevard has a two-way left-turn lane in front, clear lines of vision to either side and is projected to operate at an acceptable level of service with low queues.
- The driveway along Riggan Avenue restricts movements to right-in and right-out, has an existing westbound right-turn pocket which feeds into the Riggan Avenue Project Driveway and is projected to operate with low queues and delays.

Based on the results of this analysis for Phase II of the Project operating with two driveways, JLB projects that two driveways are sufficient in circulating traffic to and from the Project through Phase II. The LOS and queuing results reveal no issues with operations at these two driveways. Furthermore, the driveways are designed so that the safety of the drivers and pedestrians are not compromised. Based on the findings of this analysis, it is projected that the two existing driveways are sufficient access points to support the Project through phase II of development.

If you have any questions or require additional information, please contact me by phone at (559) 570-8991 or by e-mail at jbenavides@jlbtraffic.com.

Sincerely,



Jose Luis Benavides, PE, TE
President

Attachments:

- Exhibit A: Site Aerial
- Exhibit B: Project Site Plan
- Exhibit C: Figures
- Exhibit D: LOS and Queuing Analysis

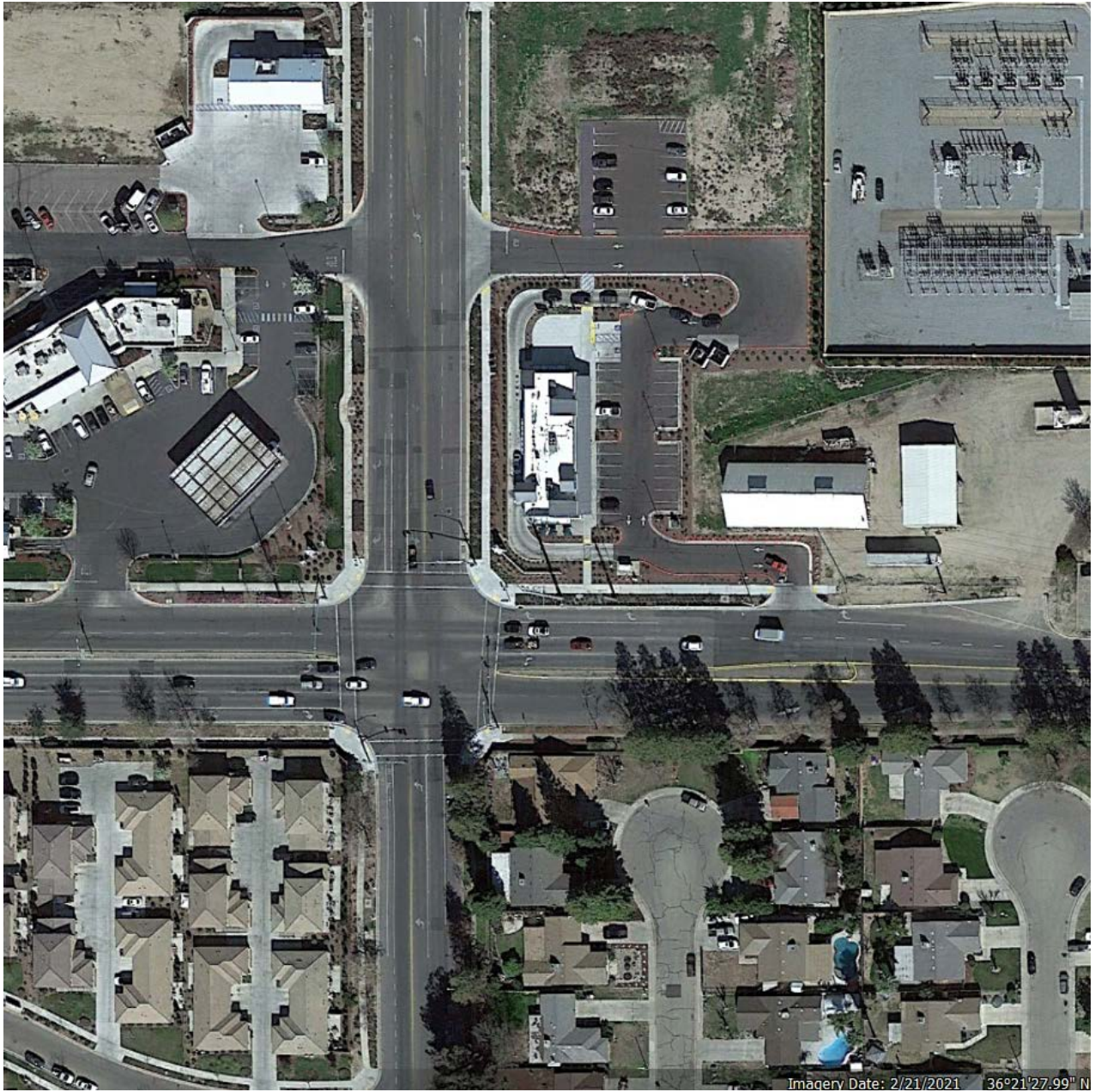
\\server\data\01 Projects\013 Visalia\013-009 Shannon Village East TIA\00 Driveway Letter\Letter\L09222021 Shannon Village East Letter.docx



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Exhibit A: Site Aerial



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Exhibit B: Project Site Plan



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Exhibit C: Figures



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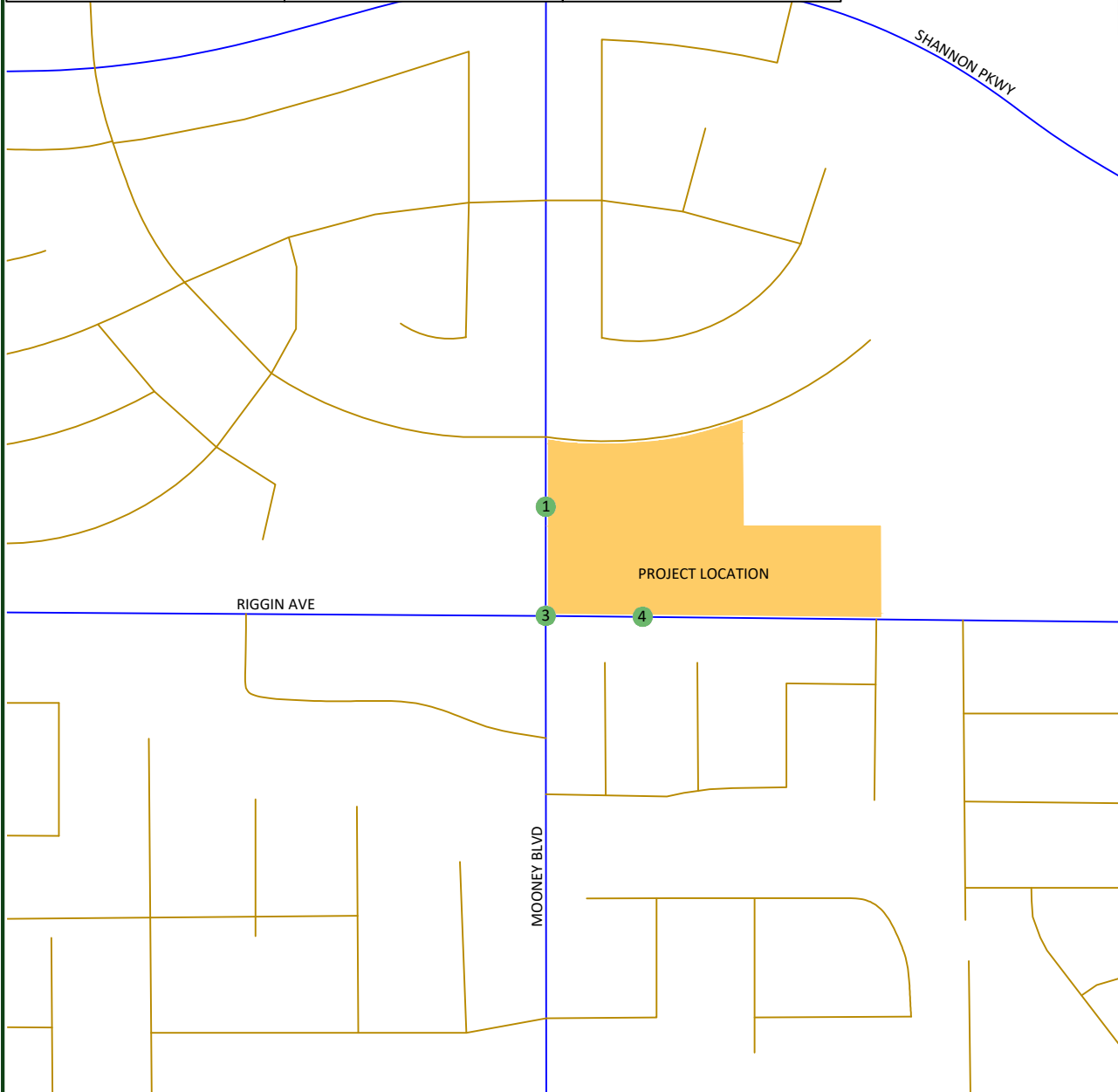
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Ex | C

Shannon Village East Phase II - City of Visalia Project Trip Distribution

Figure 1

1.	<p>Mooney Blvd & Project Drwy 1</p>	3.	<p>Mooney Blvd & Riggan Ave</p>	4.	<p>Project Drwy 2 & Riggan Ave</p>
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LEGEND

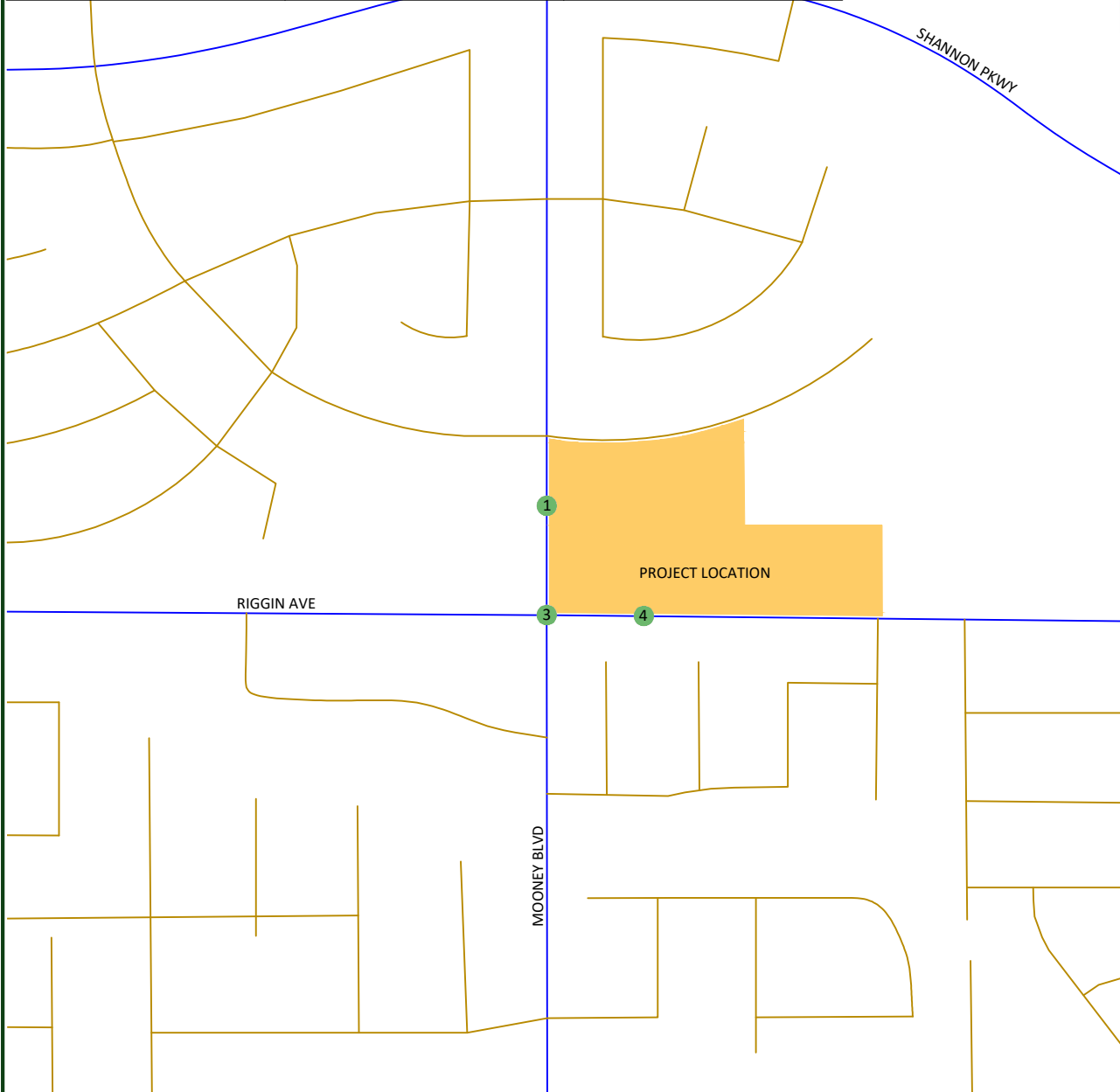
- # = STUDY INTERSECTION
- XX = AM PROJECT ONLY TRIPS
- (XX) = PM PROJECT ONLY TRIPS

Not To Scale

Shannon Village East Phase II - City of Visalia Opening Year 2021 plus Phase II - Traffic Volumes, Geometrics and Controls

Figure 2

<p>1. Mooney Blvd & Project Drwy 1</p> <p>Drwy 1</p> <p>Mooney Blvd</p> <p>Proj Drwy 1</p>	<p>3. Mooney Blvd & Riggan Ave</p> <p>Mooney Blvd</p> <p>Riggan Ave</p>	<p>4. Project Drwy 2 & Riggan Ave</p> <p>Proj Drwy 2</p> <p>Riggan Ave</p>
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LEGEND

- # = STUDY INTERSECTION
- XX = AM PEAK HOUR TRIPS
- (XX) = PM PEAK HOUR TRIPS
- = TRAFFIC SIGNAL
- = STOP SIGN

Not To Scale

Exhibit D: LOS and Queuing Analysis



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Intersection												
Int Delay, s/veh	4.7											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕		↕	↕		↕	↕	
Traffic Vol, veh/h	15	3	44	59	2	41	46	299	160	56	359	33
Future Vol, veh/h	15	3	44	59	2	41	46	299	160	56	359	33
Conflicting Peds, #/hr	0	0	4	4	0	0	2	0	12	12	0	2
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	50	-	-	50	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	82	82	82	82	82	82	82	82	82	82	82	82
Heavy Vehicles, %	3	3	3	3	3	3	3	3	3	3	3	3
Mvmt Flow	18	4	54	72	2	50	56	365	195	68	438	40

Major/Minor	Minor2		Minor1		Major1		Major2					
Conflicting Flow All	892	1280	245	948	1203	292	480	0	0	572	0	0
Stage 1	596	596	-	587	587	-	-	-	-	-	-	-
Stage 2	296	684	-	361	616	-	-	-	-	-	-	-
Critical Hdwy	7.56	6.56	6.96	7.56	6.56	6.96	4.16	-	-	4.16	-	-
Critical Hdwy Stg 1	6.56	5.56	-	6.56	5.56	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.56	5.56	-	6.56	5.56	-	-	-	-	-	-	-
Follow-up Hdwy	3.53	4.03	3.33	3.53	4.03	3.33	2.23	-	-	2.23	-	-
Pot Cap-1 Maneuver	235	163	752	214	182	701	1072	-	-	990	-	-
Stage 1	455	488	-	460	492	-	-	-	-	-	-	-
Stage 2	685	445	-	627	478	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	196	142	748	174	159	693	1070	-	-	979	-	-
Mov Cap-2 Maneuver	196	142	-	174	159	-	-	-	-	-	-	-
Stage 1	430	453	-	431	461	-	-	-	-	-	-	-
Stage 2	599	417	-	535	444	-	-	-	-	-	-	-

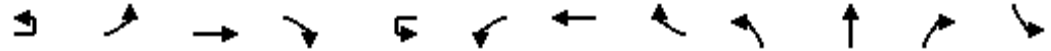
Approach	EB		WB		NB		SB		
HCM Control Delay, s	16.2		33.3		0.8		1.1		
HCM LOS	C		D						

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1070	-	-	396	248	979	-	-
HCM Lane V/C Ratio	0.052	-	-	0.191	0.502	0.07	-	-
HCM Control Delay (s)	8.6	-	-	16.2	33.3	9	-	-
HCM Lane LOS	A	-	-	C	D	A	-	-
HCM 95th %tile Q(veh)	0.2	-	-	0.7	2.6	0.2	-	-

HCM Signalized Intersection Capacity Analysis
3: Mooney Boulevard & Riggin Avenue

Opening Year 2021 plus Phase II AM Peak

09/22/2021



Movement	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBL	NBT	NBR	SBL
Lane Configurations		↔	↕	↗		↔	↕	↗	↖	↕		↖
Traffic Volume (vph)	24	146	326	110	33	107	367	52	95	246	75	99
Future Volume (vph)	24	146	326	110	33	107	367	52	95	246	75	99
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Total Lost time (s)		4.2	5.3	5.3		4.2	5.3	5.3	4.2	4.9		4.2
Lane Util. Factor		1.00	0.95	1.00		1.00	0.95	1.00	1.00	0.95		1.00
Frbp, ped/bikes		1.00	1.00	0.98		1.00	1.00	0.98	1.00	1.00		1.00
Flpb, ped/bikes		1.00	1.00	1.00		1.00	1.00	1.00	1.00	1.00		1.00
Frt		1.00	1.00	0.85		1.00	1.00	0.85	1.00	0.97		1.00
Flt Protected		0.95	1.00	1.00		0.95	1.00	1.00	0.95	1.00		0.95
Satd. Flow (prot)		1752	3505	1533		1752	3505	1542	1752	3371		1752
Flt Permitted		0.95	1.00	1.00		0.95	1.00	1.00	0.95	1.00		0.95
Satd. Flow (perm)		1752	3505	1533		1752	3505	1542	1752	3371		1752
Peak-hour factor, PHF	0.87	0.87	0.87	0.87	0.87	0.87	0.87	0.87	0.87	0.87	0.87	0.87
Adj. Flow (vph)	28	168	375	126	38	123	422	60	109	283	86	114
RTOR Reduction (vph)	0	0	0	96	0	0	0	46	0	37	0	0
Lane Group Flow (vph)	0	196	375	30	0	161	422	14	109	332	0	114
Confl. Peds. (#/hr)				2				7			5	
Turn Type	Prot	Prot	NA	Perm	Prot	Prot	NA	Perm	Prot	NA		Prot
Protected Phases	7	7	4		3	3	8		5	2		1
Permitted Phases				4				8				
Actuated Green, G (s)		5.3	14.0	14.0		5.3	14.0	14.0	5.3	15.4		5.3
Effective Green, g (s)		5.3	14.0	14.0		5.3	14.0	14.0	5.3	15.4		5.3
Actuated g/C Ratio		0.09	0.24	0.24		0.09	0.24	0.24	0.09	0.26		0.09
Clearance Time (s)		4.2	5.3	5.3		4.2	5.3	5.3	4.2	4.9		4.2
Vehicle Extension (s)		3.0	3.0	3.0		3.0	3.0	3.0	3.0	3.0		3.0
Lane Grp Cap (vph)		158	837	366		158	837	368	158	885		158
v/s Ratio Prot		c0.11	0.11			0.09	c0.12		0.06	0.10		c0.07
v/s Ratio Perm				0.02				0.01				
v/c Ratio		1.24	0.45	0.08		1.02	0.50	0.04	0.69	0.38		0.72
Uniform Delay, d1		26.7	19.0	17.3		26.7	19.3	17.1	25.9	17.7		25.9
Progression Factor		1.00	1.00	1.00		1.00	1.00	1.00	1.00	1.00		1.00
Incremental Delay, d2		150.5	0.4	0.1		76.7	0.5	0.0	11.9	0.3		15.0
Delay (s)		177.1	19.4	17.4		103.3	19.8	17.2	37.7	17.9		40.9
Level of Service		F	B	B		F	B	B	D	B		D
Approach Delay (s)			63.4				40.5			22.4		
Approach LOS			E				D			C		
Intersection Summary												
HCM 2000 Control Delay			40.1				HCM 2000 Level of Service			D		
HCM 2000 Volume to Capacity ratio			0.65									
Actuated Cycle Length (s)			58.6				Sum of lost time (s)			18.6		
Intersection Capacity Utilization			56.4%				ICU Level of Service			B		
Analysis Period (min)			15									
c Critical Lane Group												



Movement	SBT	SBR
Lane Configurations	↑	↑
Traffic Volume (vph)	234	102
Future Volume (vph)	234	102
Ideal Flow (vphpl)	1900	1900
Total Lost time (s)	4.9	4.9
Lane Util. Factor	1.00	1.00
Frbp, ped/bikes	1.00	0.99
Flpb, ped/bikes	1.00	1.00
Frt	1.00	0.85
Flt Protected	1.00	1.00
Satd. Flow (prot)	1845	1548
Flt Permitted	1.00	1.00
Satd. Flow (perm)	1845	1548
Peak-hour factor, PHF	0.87	0.87
Adj. Flow (vph)	269	117
RTOR Reduction (vph)	0	86
Lane Group Flow (vph)	269	31
Confl. Peds. (#/hr)		2
Turn Type	NA	Perm
Protected Phases	6	
Permitted Phases		6
Actuated Green, G (s)	15.4	15.4
Effective Green, g (s)	15.4	15.4
Actuated g/C Ratio	0.26	0.26
Clearance Time (s)	4.9	4.9
Vehicle Extension (s)	3.0	3.0
Lane Grp Cap (vph)	484	406
v/s Ratio Prot	c0.15	
v/s Ratio Perm		0.02
v/c Ratio	0.56	0.08
Uniform Delay, d1	18.6	16.2
Progression Factor	1.00	1.00
Incremental Delay, d2	1.4	0.1
Delay (s)	20.0	16.3
Level of Service	C	B
Approach Delay (s)	23.9	
Approach LOS	C	

Intersection Summary

Intersection

Int Delay, s/veh 1.1

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↑↑	↑↑	↑		↑
Traffic Vol, veh/h	0	533	445	35	0	114
Future Vol, veh/h	0	533	445	35	0	114
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	100	-	0
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	89	89	89	89	89	89
Heavy Vehicles, %	3	3	3	3	3	3
Mvmt Flow	0	599	500	39	0	128

Major/Minor

	Major1	Major2	Minor2
Conflicting Flow All	-	0	-
Stage 1	-	-	-
Stage 2	-	-	-
Critical Hdwy	-	-	-
Critical Hdwy Stg 1	-	-	-
Critical Hdwy Stg 2	-	-	-
Follow-up Hdwy	-	-	-
Pot Cap-1 Maneuver	0	-	-
Stage 1	0	-	-
Stage 2	0	-	-
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	-	-	-
Mov Cap-2 Maneuver	-	-	-
Stage 1	-	-	-
Stage 2	-	-	-

Approach

	EB	WB	SB
HCM Control Delay, s	0	0	10.8
HCM LOS			B

Minor Lane/Major Mvmt

	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	-	-	-	747
HCM Lane V/C Ratio	-	-	-	0.171
HCM Control Delay (s)	-	-	-	10.8
HCM Lane LOS	-	-	-	B
HCM 95th %tile Q(veh)	-	-	-	0.6

Intersection												
Int Delay, s/veh	3.4											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕		↕	↕		↕	↕	
Traffic Vol, veh/h	19	3	78	18	3	21	81	216	71	25	181	25
Future Vol, veh/h	19	3	78	18	3	21	81	216	71	25	181	25
Conflicting Peds, #/hr	0	0	0	0	0	0	2	0	2	2	0	2
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	50	-	-	50	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	91	91	91	91	91	91	91	91	91	91	91	91
Heavy Vehicles, %	3	3	3	3	3	3	3	3	3	3	3	3
Mvmt Flow	21	3	86	20	3	23	89	237	78	27	199	27

Major/Minor	Minor2		Minor1			Major1		Major2				
Conflicting Flow All	567	764	115	611	738	160	228	0	0	317	0	0
Stage 1	269	269	-	456	456	-	-	-	-	-	-	-
Stage 2	298	495	-	155	282	-	-	-	-	-	-	-
Critical Hdwy	7.56	6.56	6.96	7.56	6.56	6.96	4.16	-	-	4.16	-	-
Critical Hdwy Stg 1	6.56	5.56	-	6.56	5.56	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.56	5.56	-	6.56	5.56	-	-	-	-	-	-	-
Follow-up Hdwy	3.53	4.03	3.33	3.53	4.03	3.33	2.23	-	-	2.23	-	-
Pot Cap-1 Maneuver	404	330	912	376	342	854	1330	-	-	1233	-	-
Stage 1	711	683	-	551	564	-	-	-	-	-	-	-
Stage 2	683	542	-	829	674	-	-	-	-	-	-	-
Platoon blocked, %								-	-	-	-	-
Mov Cap-1 Maneuver	363	300	910	315	311	852	1327	-	-	1231	-	-
Mov Cap-2 Maneuver	363	300	-	315	311	-	-	-	-	-	-	-
Stage 1	662	667	-	513	525	-	-	-	-	-	-	-
Stage 2	616	505	-	731	658	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	11.4		13.7		1.7		0.9	
HCM LOS	B		B					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1	WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1327	-	-	675	459	1231	-	-
HCM Lane V/C Ratio	0.067	-	-	0.163	0.101	0.022	-	-
HCM Control Delay (s)	7.9	-	-	11.4	13.7	8	-	-
HCM Lane LOS	A	-	-	B	B	A	-	-
HCM 95th %tile Q(veh)	0.2	-	-	0.6	0.3	0.1	-	-

HCM Signalized Intersection Capacity Analysis
3: Mooney Boulevard & Riggins Avenue

Opening Year 2021 plus Phase II PM Peak
09/22/2021



Movement	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	NBL	NBT	NBR	SBL
Lane Configurations		↔	↕	↗		↔	↕	↗	↖	↕		↖
Traffic Volume (vph)	28	135	455	118	23	92	446	58	94	177	74	78
Future Volume (vph)	28	135	455	118	23	92	446	58	94	177	74	78
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Total Lost time (s)		4.2	5.3	5.3		4.2	5.3	5.3	4.2	4.9		4.2
Lane Util. Factor		1.00	0.95	1.00		1.00	0.95	1.00	1.00	0.95		1.00
Frt		1.00	1.00	0.85		1.00	1.00	0.85	1.00	0.96		1.00
Flt Protected		0.95	1.00	1.00		0.95	1.00	1.00	0.95	1.00		0.95
Satd. Flow (prot)		1752	3505	1568		1752	3505	1568	1752	3350		1752
Flt Permitted		0.95	1.00	1.00		0.95	1.00	1.00	0.95	1.00		0.95
Satd. Flow (perm)		1752	3505	1568		1752	3505	1568	1752	3350		1752
Peak-hour factor, PHF	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97
Adj. Flow (vph)	29	139	469	122	24	95	460	60	97	182	76	80
RTOR Reduction (vph)	0	0	0	91	0	0	0	45	0	58	0	0
Lane Group Flow (vph)	0	168	469	31	0	119	460	15	97	200	0	80
Turn Type	Prot	Prot	NA	Perm	Prot	Prot	NA	Perm	Prot	NA		Prot
Protected Phases	7	7	4		3	3	8		5	2		1
Permitted Phases				4			8					
Actuated Green, G (s)		5.3	14.4	14.4		5.3	14.4	14.4	8.2	13.7		5.3
Effective Green, g (s)		5.3	14.4	14.4		5.3	14.4	14.4	8.2	13.7		5.3
Actuated g/C Ratio		0.09	0.25	0.25		0.09	0.25	0.25	0.14	0.24		0.09
Clearance Time (s)		4.2	5.3	5.3		4.2	5.3	5.3	4.2	4.9		4.2
Vehicle Extension (s)		3.0	3.0	3.0		3.0	3.0	3.0	3.0	3.0		3.0
Lane Grp Cap (vph)		162	880	394		162	880	394	250	800		162
v/s Ratio Prot		c0.10	c0.13			0.07	0.13		c0.06	c0.06		0.05
v/s Ratio Perm				0.02				0.01				
v/c Ratio		1.04	0.53	0.08		0.73	0.52	0.04	0.39	0.25		0.49
Uniform Delay, d1		26.0	18.5	16.4		25.3	18.5	16.2	22.3	17.6		24.7
Progression Factor		1.00	1.00	1.00		1.00	1.00	1.00	1.00	1.00		1.00
Incremental Delay, d2		80.8	0.6	0.1		15.8	0.6	0.0	1.0	0.2		2.4
Delay (s)		106.8	19.2	16.5		41.1	19.1	16.3	23.3	17.8		27.1
Level of Service		F	B	B		D	B	B	C	B		C
Approach Delay (s)			38.1				22.9			19.3		
Approach LOS			D				C			B		

Intersection Summary		
HCM 2000 Control Delay	28.0	HCM 2000 Level of Service
HCM 2000 Volume to Capacity ratio	0.54	C
Actuated Cycle Length (s)	57.3	Sum of lost time (s)
Intersection Capacity Utilization	49.9%	18.6
Analysis Period (min)	15	ICU Level of Service
		A

c Critical Lane Group



Movement	SBT	SBR
Lane Configurations	↑	↑
Traffic Volume (vph)	149	40
Future Volume (vph)	149	40
Ideal Flow (vphpl)	1900	1900
Total Lost time (s)	4.9	4.9
Lane Util. Factor	1.00	1.00
Frt	1.00	0.85
Flt Protected	1.00	1.00
Satd. Flow (prot)	1845	1568
Flt Permitted	1.00	1.00
Satd. Flow (perm)	1845	1568
Peak-hour factor, PHF	0.97	0.97
Adj. Flow (vph)	154	41
RTOR Reduction (vph)	0	33
Lane Group Flow (vph)	154	8
Turn Type	NA	Perm
Protected Phases	6	
Permitted Phases		6
Actuated Green, G (s)	10.8	10.8
Effective Green, g (s)	10.8	10.8
Actuated g/C Ratio	0.19	0.19
Clearance Time (s)	4.9	4.9
Vehicle Extension (s)	3.0	3.0
Lane Grp Cap (vph)	347	295
v/s Ratio Prot	c0.08	
v/s Ratio Perm		0.00
v/c Ratio	0.44	0.03
Uniform Delay, d1	20.6	19.0
Progression Factor	1.00	1.00
Incremental Delay, d2	0.9	0.0
Delay (s)	21.5	19.0
Level of Service	C	B
Approach Delay (s)	22.8	
Approach LOS	C	
Intersection Summary		

Intersection

Int Delay, s/veh 0.9

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↑↑	↑↑	↑		↑
Traffic Vol, veh/h	0	630	519	52	0	102
Future Vol, veh/h	0	630	519	52	0	102
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	100	-	0
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	3	3	3	3	3	3
Mvmt Flow	0	685	564	57	0	111

Major/Minor

	Major1	Major2	Minor2
Conflicting Flow All	-	0	-
Stage 1	-	-	-
Stage 2	-	-	-
Critical Hdwy	-	-	-
Critical Hdwy Stg 1	-	-	-
Critical Hdwy Stg 2	-	-	-
Follow-up Hdwy	-	-	-
Pot Cap-1 Maneuver	0	-	-
Stage 1	0	-	-
Stage 2	0	-	-
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	-	-	-
Mov Cap-2 Maneuver	-	-	-
Stage 1	-	-	-
Stage 2	-	-	-

Approach

	EB	WB	SB
HCM Control Delay, s	0	0	11
HCM LOS			B

Minor Lane/Major Mvmt

	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	-	-	-	712
HCM Lane V/C Ratio	-	-	-	0.156
HCM Control Delay (s)	-	-	-	11
HCM Lane LOS	-	-	-	B
HCM 95th %tile Q(veh)	-	-	-	0.5

Intersection: 1: Mooney Boulevard & Project Driveway 1

Movement	EB	WB	NB	NB	NB	SB
Directions Served	LTR	LTR	L	T	TR	L
Maximum Queue (ft)	74	140	54	30	73	52
Average Queue (ft)	35	47	15	1	5	15
95th Queue (ft)	57	92	42	10	28	41
Link Distance (ft)	188	259		234	234	
Upstream Blk Time (%)						
Queuing Penalty (veh)						
Storage Bay Dist (ft)			50			50
Storage Blk Time (%)			0	0		0
Queuing Penalty (veh)			0	0		0

Intersection: 3: Mooney Boulevard & Riggin Avenue

Movement	EB	EB	EB	EB	WB	WB	WB	WB	NB	NB	NB	SB
Directions Served	UL	T	T	R	UL	T	T	R	L	T	TR	L
Maximum Queue (ft)	409	524	312	79	201	194	143	54	89	89	129	109
Average Queue (ft)	313	244	65	25	80	76	77	24	42	42	54	47
95th Queue (ft)	481	525	167	56	145	142	132	51	83	75	100	88
Link Distance (ft)		2277	2277			245	245			280	280	
Upstream Blk Time (%)												
Queuing Penalty (veh)												
Storage Bay Dist (ft)	300			100	125			125	160			150
Storage Blk Time (%)	52	0	0		6	1	2					
Queuing Penalty (veh)	86	1	0		11	1	1					

Intersection: 3: Mooney Boulevard & Riggin Avenue

Movement	SB	SB
Directions Served	T	R
Maximum Queue (ft)	195	52
Average Queue (ft)	99	22
95th Queue (ft)	160	41
Link Distance (ft)	234	234
Upstream Blk Time (%)		
Queuing Penalty (veh)		
Storage Bay Dist (ft)		
Storage Blk Time (%)	1	
Queuing Penalty (veh)	1	

Intersection: 4: Riggin Avenue & Project Driveway 2

Movement	SB
Directions Served	R
Maximum Queue (ft)	71
Average Queue (ft)	33
95th Queue (ft)	57
Link Distance (ft)	148
Upstream Blk Time (%)	
Queuing Penalty (veh)	
Storage Bay Dist (ft)	
Storage Blk Time (%)	
Queuing Penalty (veh)	

Zone Summary

Zone wide Queuing Penalty: 101

Intersection: 1: Mooney Boulevard & Project Driveway 1

Movement	EB	WB	NB	NB	SB	SB
Directions Served	LTR	LTR	L	TR	L	TR
Maximum Queue (ft)	78	56	55	23	53	20
Average Queue (ft)	41	23	14	1	7	1
95th Queue (ft)	66	54	42	8	30	7
Link Distance (ft)	188	259		234		127
Upstream Blk Time (%)						
Queuing Penalty (veh)						
Storage Bay Dist (ft)			50		50	
Storage Blk Time (%)			0		0	
Queuing Penalty (veh)			0		0	

Intersection: 3: Mooney Boulevard & Riggin Avenue

Movement	EB	EB	EB	EB	WB	WB	WB	WB	NB	NB	NB	SB
Directions Served	UL	T	T	R	UL	T	T	R	L	T	TR	L
Maximum Queue (ft)	201	276	231	86	195	196	156	49	109	87	103	127
Average Queue (ft)	105	121	61	29	85	72	75	15	54	34	50	52
95th Queue (ft)	168	217	151	69	165	138	128	42	105	68	85	97
Link Distance (ft)		2277	2277			251	251			279	279	
Upstream Blk Time (%)												
Queuing Penalty (veh)												
Storage Bay Dist (ft)	300			100	125			125	160			150
Storage Blk Time (%)			0	0	9	0	1					
Queuing Penalty (veh)			0	0	20	0	0					

Intersection: 3: Mooney Boulevard & Riggin Avenue

Movement	SB	SB
Directions Served	T	R
Maximum Queue (ft)	130	61
Average Queue (ft)	65	17
95th Queue (ft)	114	40
Link Distance (ft)	234	234
Upstream Blk Time (%)		
Queuing Penalty (veh)		
Storage Bay Dist (ft)		
Storage Blk Time (%)	0	
Queuing Penalty (veh)	0	

Intersection: 4: Riggin Avenue & Project Driveway 2

Movement	SB
Directions Served	R
Maximum Queue (ft)	60
Average Queue (ft)	34
95th Queue (ft)	56
Link Distance (ft)	148
Upstream Blk Time (%)	
Queuing Penalty (veh)	
Storage Bay Dist (ft)	
Storage Blk Time (%)	
Queuing Penalty (veh)	

Zone Summary

Zone wide Queuing Penalty: 21

OWNERS INFORMATION:
 LOVE IN AN ELEVATOR
 POST OFFICE BOX 7180
 VISALIA, CA 93290
 PHONE: (559) 738-8476
 EMAIL: -triconbuilding@biglobal.net

CONTRACTORS INFORMATION:
 TRICON BUILDING SOLUTIONS
 POST OFFICE BOX 7353
 VISALIA, CA 93290
 PHONE: (559) 635-0300
 EMAIL: -triconbuilding@biglobal.net

ENGINEER'S INFORMATION:
 JMS ENGINEERING
 JASON SCOTT
 1001 NORTH DEMAREE, SUITE 7
 VISALIA, CA 93291
 PHONE: (559) 738-0968
 EMAIL: -jmsengineering@comcast.net

MECHANICAL ENGINEER
 NCA CONSULTANTS GROUP
 4855 14TH AVE. NORTH, SUITE #1009
 CLEARWATER, FL 33762
 PHONE: (877) 538-8078
 EMAIL: -design@ncaconsultants.com

ELECTRICAL ENGINEER
 EASTHAM ELECTRICAL ENGINEERING
 STEVE EASTHAM
 1736 SOUTH CENTRAL STREET, SUITE C
 VISALIA, CA 93291
 PHONE: (559) 635-0300
 EMAIL: -steve@eastham-eng.com

TRUSS MANUFACTURE
 DAN DOLLAR
 10718 EAST AMERICAN AVENUE
 DEL REY, CA 93516
 PHONE: 559-888-2160
 EMAIL: -dollar@centralvalleytruss.com

PROJECT INFORMATION

SITE ADDRESS: 2050 WEST RIGGIN AVENUE (VERIFY)
 VISALIA, CA 93291

A.P.N.: 078-120-034 (VERIFY)

LEGAL DESCRIPTION: POR LOT 2, SHANNON RANCH CENTRAL SUB, RM 40-99 (VERIFY)

PARCEL SIZE: 38,825 SQ. FT. ±

ZONING: C-MU (MIXED USE COMMERCIAL)

DESIGN DISTRICT: C-MU

FLOOD ZONING (FEMA): X02

FIRE SPRINKLERS: REQUIRED - SEE FIRE SPRINKLER DESIGN DRAWINGS

PROPOSED USE: RESTAURANT WITH DRIVE-THRU AND PLAYLAND

BUILDING OCCUPANCY: A-2 (CBC 303.3 RESTAURANTS) (SEE ALSO OCCUPANT LOAD BELOW)

CONSTRUCTION TYPE: II-B

Area Description	Square Footage	Occupant Load	Occupant Load
Playland Dining (Fixed)	113	Seating	Fixed 18.00
Playland Dining	115	Unconcentrated (tables & chairs)	15 Net 7.67
Playland/Accessory to Dining (Fixed)	62	Seating	Fixed 6.00
Dining Area	580	Exercise Rooms	50 Gross 11.60
Customer Pick-Up	883	Seating	Fixed 50.00
Office Area	148	Standing Space (Assembly)	5 Gross 20.00
Office Area	188	Business	100 Gross 1.88
Employee Lounge/Crew Area	40	Business	50 Gross 0.80
Kitchen/Preparations/Serving Area	950	Kitchens, commercial	200 Gross 4.75
Cooler/Freezer Area	224	Storage	300 Gross 0.75
Storage	183	Storage	300 Gross 0.61
Restroom/Vestibule	556	Storage	0 Gross 0.00
Gross Building Area	4110		122.73
Exits Required (1 Story)	Table 1014.3	49 Occupants & 75' Travel Distance	3
(3) Exits Provided			

PUBLIC WORKS
 315 EAST ACEQUIA AVENUE
 VISALIA, CA 93291
 559-713-4444

FIRE DEPARTMENT
 707 WEST ACEQUIA AVENUE
 VISALIA, CA 93291
 559-713-4300

BUILDING SAFETY
 315 EAST ACEQUIA AVENUE
 VISALIA, CA 93291
 559-621-2489

COMMUNITY DEVELOPMENT
 315 EAST ACEQUIA AVENUE
 VISALIA, CA 93291
 559-621-2489

INSPECTIONS
 PROVIDE 24 HOURS NOTICE TO APPLICABLE AGENCIES BEFORE INSPECTIONS ARE REQUIRED. NO WORK SHALL BEGIN UNTIL A PERMIT IS ISSUED.

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:
 2016 CALIFORNIA BUILDING CODE (CBC)
 2016 CALIFORNIA ELECTRICAL CODE (CEC)
 2016 CALIFORNIA MECHANICAL CODE (CMC)
 2016 CALIFORNIA PLUMBING CODE (CPC)
 2016 CALIFORNIA ENERGY CODE (CEC)
 2016 CALIFORNIA FIRE CODE (CFC)
 2016 CALIF. GREEN BUILDING STANDARDS CODE (CGBS)
 PLANS SHALL COMPLY WITH 2016 TITLE 24 ENERGY CODES
 CITY OF VISALIA LOCAL ORDINANCES (EFFECTIVE APRIL 5, 2017)

SPACES REQUIRED (17.34.020. F.10 SCHEDULE OF OFF-STREET PARKING SPACE REQUIREMENTS (RESTAURANTS)):

SPACES REQUIRED (TOTAL):	27
COMPACT SPACES ALLOWED	8 30% TOTAL SPACES (17.34.030.I)
ACCESSIBLE SPACES REQUIRED, PER 2016 CBC TABLE 11B-208.2 PARKING SPACES	2 26 to 50
SPACES PROVIDED:	2 ACCESSIBLE (a) 1 COMPACT (c) 33 STANDARD 36 TOTAL

CITY OF VISALIA MUNICIPAL CODE 17.34.020.B.1

THE BELOW REQUIREMENTS ARE PER BUILDING (TOTAL SPACES DIVIDED BY 4)

CLEAN AIR VEHICLES (CGBS TABLE 5.106.5.2)	3 REQ'D (26-50 SPACES)
EV CHARGING SPACES (CGBS TABLE 5.106.5.3.3)	2 REQ'D (26-50 SPACES)
SHORT-TERM BICYCLE PARKING (CGBC 5.106.4.1.1)	0 REQ'D (5% OF PARKING SPACES)

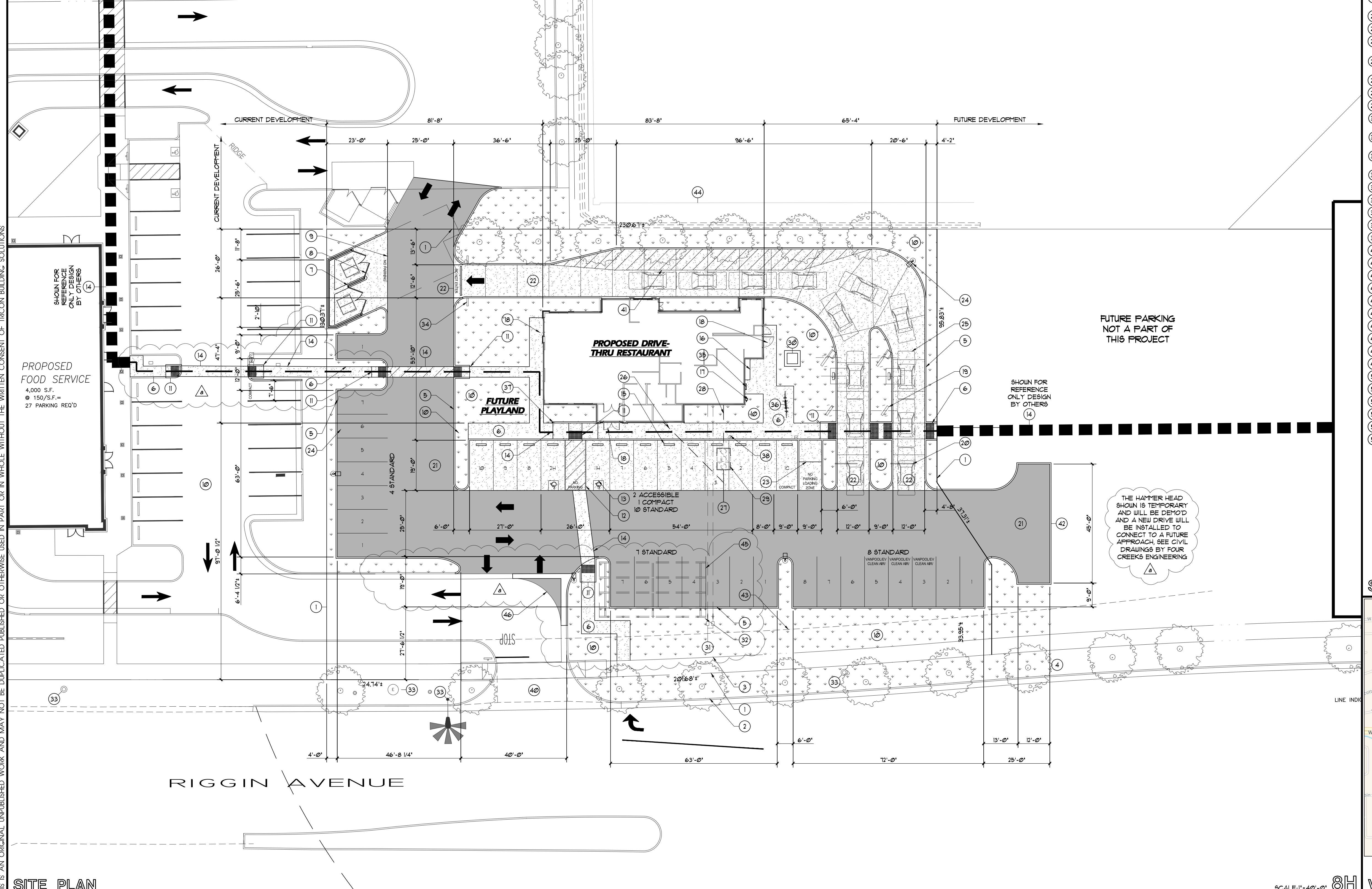
- PROPERTY LINE TYPICAL
- CURB AND GUTTER, VERIFY PARTY RESPONSIBLE FOR INSTALLATION
- NEW 6'-0" WIDE CITY OF VISALIA STANDARD CONCRETE SIDEWALK, VERIFY PARTY RESPONSIBLE FOR INSTALLATION
- CITY OF VISALIA STANDARD DRIVE APPROACH, 20'-0" RADIUS MAJOR COMMERCIAL DRIVE APPROACH, VERIFY PARTY RESPONSIBLE FOR INSTALLATION
- 6" WIDE LANDSCAPE CURB (TYPICAL)
- CITY OF VISALIA STANDARD TRASH BIN ENCLOSURE, SEE CIVIL DRAWINGS
- CITY OF VISALIA STANDARD TRASH ENCLOSURE GATE, SEE CIVIL DRAWINGS
- CITY OF VISALIA STANDARD TRASH ENCLOSURE CONCRETE APRON, SEE CIVIL DRAWINGS
- LANDSCAPING PER LANDSCAPING PLAN
- ACCESSIBLE RAMP, SEE CIVIL DRAWINGS
- ACCESSIBLE PARKING STALL AND SIGNAGE
- ACCESSIBLE SYMBOL FOR ACCESSIBLE
- ADA ACCESSIBLE PATH OF TRAVEL, SLOPE NOT TO EXCEED 2% IN ANY DIRECTION
- 6" CONCRETE PARKING STOP (TYPICAL) AT PATH OF TRAVEL
- ELECTRICAL SWITCH LOCATION
- NATURAL GAS METER LOCATION, VERIFY WITH NATURAL GAS SUPPLIER
- 4" THICK CONCRETE ENTRY DOOR LANDING WITH 1.2% MINIMUM RUNNING SLOPE AND 2% MAXIMUM CROSS SLOPE. NO ADDITIONAL CONSTRUCTION TOLERANCE IS ALLOWED, HEATED
- DIGITAL MENU BOARD AND ORDER BOARD, SEE ORDER BOARD DRAWINGS (TYPICAL 2 PLACES)
- CLEARANCE BAR, SEE ORDER BOARD DRAWINGS (TYPICAL 2 PLACES)
- ASPHALT PAVING, SEE CIVIL DRAWINGS
- 7" THICK BLACK CONCRETE DRIVE THRU PAVING, DOUBLE MESH ROD REINFORCED ON A 6" CRUSHED SURFACING TOP COURSE
- LOADING RAMP FROM PARKING LOT ELEVATION TO SIDEWALK ELEVATION (1":12" MAXIMUM SLOPE)
- SHIELDED LED LIGHT FIXTURES, SEE PARKING LOT LIGHTING PLAN
- VEHICLE STACKING, MEASURED FROM PICKUP WINDOW TO THE DESIGNATED ENTRANCE TO THE DRIVE-THRU LANE. 6 VEHICLES AT THE ORDER STATION AND 7 AT THE PAY/PICKUP WINDOWS
- SANITARY SEWER LINE TIE TO EXISTING SEWER LINE IN STREET/PARKING LOT (APPROXIMATE) (VERIFY WITH THE CITY OF VISALIA, SEE CIVIL DRAWINGS)
- VERIFY LOCATION OF THE SANITARY SEWER LINE LOCATION FOR THE DEVELOPMENT
- GREASY WASTE SEWER LINE
- NEW 1500 GALLON GREASE INTERCEPTOR LOCATION
- 72"x72" TRANSFORMER PAD PER ELECTRICAL UTILITY REQUIREMENTS (REFERENCE CONCRETE PAD FOR THREE-PHASE, LOOP-STYLE, PAD-MOUNTED TRANSFORMERS); CONFIRM LOCATION WITH UTILITY
- WATER MAIN LOCATION (APPROXIMATE) (VERIFY WITH THE CALIFORNIA WATER SERVICE FOR MAIN LINE) (SEE CIVIL DRAWINGS)
- NEW WATER METERS AND BACKFLOW PREVENTERS FOR DOMESTIC WATER AND LANDSCAPING (VERIFY WITH THE CITY OF VISALIA, SEE CIVIL DRAWINGS)
- EXISTING POWER POLE AND STREET LIGHT, VERIFY LOCATION, SEE CIVIL DRAWINGS
- BURGER KING STANDARD S-13 DIRECTIONAL SIGNAGE WITH THE "DO NOT ENTER" OPTION
- ROOF ACCESS LADDER LOCATION, SEE SHEET AS.1 FOR MORE INFORMATION
- ROUND BIKE RACK, SURFACE MOUNTED, POWDER-COATED BLACK, 2 BICYCLE MINIMUM PARKING
- ACCESSIBILITY PARKING SIGN ON POLE/OR WALL
- FUTURE LOCATION OF VEHICLE CHARGING STATION AND ADA PARKING
- EXISTING CITY OF VISALIA STANDARD DRIVE APPROACH AND RAMPS, SEE CIVIL DRAWINGS
- DRIVE THRU BY-PASS LANE
- ASPHALT DIKE/CURB INSTALLED PER CITY OF VISALIA STANDARD
- SETBACK LINE
- EXISTING CMU BLOCK WALL, PLANTER AND LANDSCAPE CURB
- LOCATION OF FUTURE SOLAR PANEL STRUCTURE
- SAWCUT EXISTING DRIVEWAY ASPHALT AND PATCH AS REQUIRED FOR NEW DRIVEWAY

2B PROJECT INFORMATION

2D CITY INFORMATION

2F PARKING INFORMATION

2H

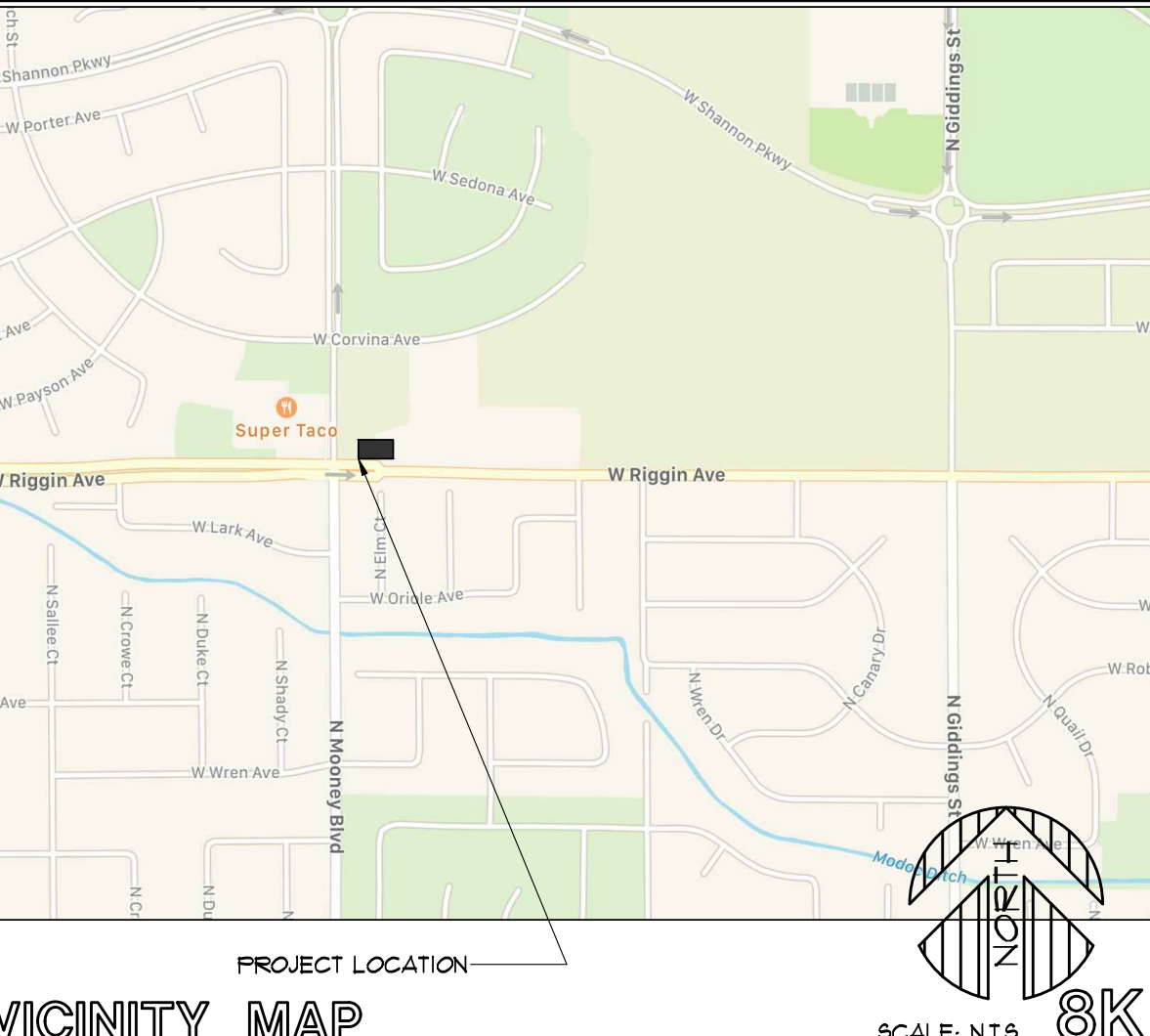


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PRELIMINARY
 DRAWINGS SUBMITTED FOR
 DESIGN REVIEW ONLY
 9/30/21
 CITY OF VISALIA SPR

SIGNATURE _____ DATE _____

SITE PLAN KEY NOTES



REVISIONS

NO.	DATE	DESCRIPTION

TRACON BUILDING SOLUTIONS, INC.
 Contractor's License Number: 787271
 Post Office Box 7353
 Visalia, California 93290
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SHEET A0.1

SITE PLANS AND NOTES (60/PLAYLAND)

A NEW RESTAURANT FOR:
BIG BIDNESS
 2050 WEST RIGGIN AVENUE (VERIFY)
 VISALIA, CA 93291
 078-120-034 (VERIFY)

JOB NO.: 16096 DRAWN: R.A.M. DATE: _____

- 1 SELF-SERVE DRINKS AND CONDIMENT STAND LOCATION. REFER TO SHEET EQ-1.
- 2 STEEL BOLLARD - REFER TO SHEET S1.1.
- 3 ELECTRIC SERVICE (SWITCH GEAR). REFER TO ELECTRICAL DRAWINGS.
- 4 SERVICE COUNTER PARTITION BY G.C. REFER TO DETAILS ON SHEET 6G/A1.2 FOR ADDITIONAL INFORMATION. COORDINATE COUNTER TOP/FINISHES INSTALLATION RESPONSIBILITIES WITH THE DECOR SUPPLIER. MAXIMUM COUNTER HEIGHT = 32" A.F.F.
- 5 CORNER GUARDS - REFER TO DETAIL 2B/A1.2
- 6 MENU BOARD BULKHEAD ABOVE. REFER TO DETAIL 8D/A4.1
- 7 INTERIOR WALK-IN BOX WITH FLOOR ON CONCRETE SLAB. VERIFY SIZE WITH MANUFACTURER. TO BE SUPPLIED BY OWNER
- 8 PROVIDE ADDITIONAL BLOCKING IN WALLS BEHIND URINAL SCREEN AND BEHIND PLUMBING FIXTURES FOR SUPPORT OF WATER LINES (TYPICAL).
- 9 ALL WALLS AT EXPOSED TRUSSES TO BE FRAMED AND FINISHED TO THE ROOF DECK.
- 10 LINE OF AWNING/CANOPY ABOVE.
- 11 SUBSTRATE PANELS:
KITCHEN - CREW - RESTROOMS
5/8" USG 'DUROCK' PANELS AT FINISH FLOOR TO 2'-0" A.F.F.
5/8" WATER RESISTANT GYPSPUM BOARD FROM 2'-0" A.F.F. TO 6" ABOVE FINISHED CEILING.
PROVIDE ALTERNATE BID OF 5/8" USG 'FIBEROCK' PANELS IN LIEU OF DUROCK.
DINING ROOM - CORRIDOR
5/8" TYPE USG SHEETROCK, 'X' GYPSUM WALL BOARD.
FINISH: CORONADO PAINT - LIGHT ORANGE PEEL APPLIED WITH CORONADO AIR ASSIST TIP (Z-122K2) OR EQUAL
- 12 OPTION #1:
RECESS ELECTRICAL CONTRACTOR PANEL & PANELS 'A', 'B', & 'M' IN FURRED OUT WALL ADJACENT TO EXTERIOR FRAMING. G.C. TO VERIFY PANEL SIZES PRIOR TO FURR-OUT TO INSURE ADEQUATE SPACE.
OPTION #2:
HILL PHOENIX INTEGRATED WALL UNIT INCLUDES PANELS 'A', 'B', 'M' AND MASTER CONTACTOR PANEL IN ONE CABINET. UNIT TO BE SURFACE MOUNTED ON 4" HIGH CONCRETE CURB. REFERENCE SHEET E-5 FOR ADDITIONAL INFORMATION.
- 13 PROVIDE 10"x10" FINISHED OPENING THRU WALL CENTER AT 1'-1" A.F.F. FOR ROUTING OF UTILITIES. BLOCK TOP AND BOTTOM, AT SHEAR WALL.

- 14 CAN WASH - DUROCK SUBSTRATE ON ALL THREE SIDES, FLOOR TO CEILING.
- 15 OFFICE WINDOW, (TEMPERED), SEE 8K/A8.1
- 16 4" DEEP FURR-OUT ELEMENT (FINISH WIDTH SHOWN) AT TOWER. REFER TO WALL SECTIONS. PROVIDE 12" DEEP CONCRETE CURB (4" A.F.F.) AND FRAMING AS REQUIRED FOR FINISH DIMENSION REQUIREMENTS.
- 17 TILE FLOOR (REF. SPECIFICATIONS, SHEET ID SHEETS)
- 18 DRIVE-THRU SLIDING WINDOW.
- 19 ++++++ INDICATES 5/8" PLYWOOD BACKING ON WALLS FOR EQUIPMENT AS INDICATED ON PLAN OR SHELF SUPPORT FROM 48" A.F.F. TO 96" A.F.F., BEHIND 3-COMPARTMENT SINK AND PREP SINK AND ON BULKHEAD AT MENU BOARD WALL FROM 61" A.F.F. TO BOTTOM OF ROOF TRUSSES.
- 20 LOCATION OF ROOF ACCESS LADDER, VERIFY ALL CLEARANCES IN FIELD SEE 6C/A5.1
- 21 MAX. COUNTER/DESK HEIGHT = 32" A.F.F. (G.C. TO VERIFY IF BY DECOR SUPPLIER OR G.C.) - REFERENCE DETAIL 6G/A1.2.
- 22 NO PIPING, DUCTS OR EQUIPMENT FOREIGN TO ELECTRICAL EQUIPMENT SHALL BE LOCATED WITHIN 6 FEET ABOVE THE EQUIPMENT AND THE FLOOR OR TO THE STRUCTURAL CEILING ABOVE THE SPACE OF ELECTRICAL EQUIPMENT.
- 23 USG 5/8" DUROCK, INTERIOR, PLASTER EXTERIOR, ON 3 1/2", 18 GAUGE CEE STUD FRAMING AT 16" O.C. BEHIND HOOD. WALL TO EXTEND 18" BEYOND EACH END OF HOOD. (INTERIOR SIDE ONLY AT EXTERIOR WALLS)
STAINLESS STEEL PANELS BELOW, 18" WIDE AT EACH SIDE OF HOOD AND STAINLESS STEEL FULL WIDTH OPENING BETWEEN HOODS SUPPLIED BY HOOD MANUFACTURER AND INSTALLED BY G.C.
- 24 4" CONCRETE WALK BEHIND DRIVE-THROUGH BUMP-OUTS
- 25 LINE OF SIGN CANOPY ABOVE
- 26 2-A-K RATED WET CHEMICAL FIRE EXTINGUISHER MOUNTED TO MEET DETAILS 3K AND 6K/GN2.2, VERIFY LOCATION IN FIELD, THE PORTABLE FIRE EXTINGUISHERS SHALL BE MOUNTED ON THE APPROVED HANGER, OR IN AN APPROVED CABINET, AND THE LOCATION TO BE IN COMPLIANCE WITH IFC 906 (AT +48" ABOVE FINISH FLOOR AND ALONG THE PATH OF EGRESS), VERIFY THE PROPOSED LOCATION OF THE APPLIANCE TO BE IN COMPLIANCE WITH IFC 906.4 (THE MAXIMUM TRAVEL DISTANCE FROM THE COOKING APPLIANCE TO THE EXTINGUISHER SHALL NOT EXCEED 30-FEET)
- 28 2a-100c RATED FIRE EXTINGUISHER MOUNTED TO MEET DETAILS 3K AND 6K/GN2.2, 6K/GN2.2, VERIFY LOCATION IN FIELD, THE PORTABLE FIRE EXTINGUISHERS SHALL BE MOUNTED ON THE APPROVED HANGER, OR IN AN APPROVED CABINET, AND THE LOCATION TO BE IN COMPLIANCE WITH IFC 906 (AT +48" ABOVE FINISH FLOOR AND ALONG THE PATH OF EGRESS),
- 29 EXHAUST HOODS ABOVE SHOWN FOR REFERENCE ONLY, SEE MECHANICAL DRAWINGS

- 30 PLUMBING FIXTURES SHOWN FOR REFERENCE ONLY. REFER TO SHEET EQ-1 AND PLUMBING PLAN P2.1, WITH WALL MOUNTED SOAP AND PAPER TOWEL DISPENSERS
- 30a PLUMBING FIXTURES SHOWN FOR REFERENCE ONLY. REFER TO SHEET EQ-1 AND PLUMBING PLAN P2.1, WITH WALL MOUNTED SOAP AND PAPER TOWEL DISPENSERS. CONTRACTOR TO PROVIDE 6" HIGH STAINLESS STEEL SPLASHGUARDS IN FIELD AT THE BACK AND SIDE OF HANDWASH SINK
- 31 FLOOR SINK LOCATION SHOWN FOR REFERENCE ONLY. REFER TO PLUMBING DRAWINGS. FLOOR SINKS SHALL BE AT LEAST 15% PERCENT EXPOSED OR COMPLETELY BOXED IN AND ACCESSIBLE WITHIN CABINETS.
- 32 75 GALLON TANK WATER HEATER LOCATION SHOWN FOR REFERENCE ONLY REFER TO PLUMBING DRAWINGS.
- 33 SPACE FOR SHORTENING DISPOSAL CADDY SYSTEM. REFER TO SHEET EQ-1.
- 34 SPACE FOR BULK CO2 SYSTEM. REFER TO SHEET EQ-1. BULK CO2 SHALL COMPLY WITH IFC 507.2. SEE ALSO 8K/A1.1 BELOW, CO2 TANK IS TO BE 500 GALLON, (OPTIONAL 750 GALLON IF NEEDED.)
- 35 DISHWASHER AND LOADING/UNLOADING TRAY, SHOWN FOR REFERENCE ONLY
- 36 PLANTER AREA AT GAS METER
- 37 GYP. BOARD SOFFIT AT 9'-4" (SEE REFLECTED CEILING PLAN (A4.1))
- 38 AIR CURTAIN ABOVE KITCHEN DOORS, SEE DOOR SCHEDULE FOR SPECIFICATION
- 39 PROVIDE AN OCCUPANT LOAD SIGN ADJACENT TO THE MAIN EXIT, IDENTIFYING THE MAXIMUM NUMBER OF OCCUPANTS. THE LETTERS SHALL BE A MINIMUM 1-INCH HIGH WITH .25-STROKE AND THE LETTERS SHALL HIGHLY CONTRAST WITH THE BACKGROUND. CFC 1004
- 40 EMPLOYEE LOCKERS, VERIFY CONFIGURATION WITH OWNERS/MANAGER
- 41 NOT USED
- 42 INSTALL CITY FIRE DEPARTMENT APPROVED KNOX BOX PROVIDE EMERGENCY CONTACT INFORMATION AND KEYS TO BUILDING, KEY BOX SHALL BE MOUNTED FIVE FEET ABOVE THE GROUND (FLOOR) LEVEL, READILY VISIBLE AND NOT MORE THAN 5 FEET FROM THE MAIN ENTRY TO THE PREMISES.
- 43 "MAIN DISCONNECT" SIGN SHALL BE PROVIDED DIRECTLY ADJACENT TO THE BUILDINGS MAIN ELECTRICAL SHUT-OFF SWITCH. SIGN SHALL BE CONSTRUCTED OF DURABLE MATERIAL, RED IN COLOR WITH WHITE LETTERING NO LESS THAN 3/4 INCH TALL.
- 44 FIRE ALARM CONTROL PANEL AND REMOTE ANNUNCIATOR (VERIFY WITH FIRE ALARM INSTALLATION DRAWINGS AND IN FIELD)
- 45 PROVIDE AN OCCUPANT LOAD SIGN ADJACENT TO THE MAIN EXIT, IDENTIFYING THE MAXIMUM NUMBER OF OCCUPANTS. THE LETTERS SHALL BE A MINIMUM 1-INCH HIGH WITH .25-STROKE AND THE LETTERS SHALL HIGHLY CONTRAST WITH THE BACKGROUND. CFC 1004 (MOUNTED ABOVE THE EXIT DOOR)

- 42 SPACE FOR BACKFLOW PREVENTER, SEE WATER AND GAS PLAN, NOTES AND DETAILS P2.1
- 43
- 44
- 45
- 46
- 47
- 48
- 49
- 50

PRELIMINARY
DRAWINGS SUBMITTED FOR
DESIGN REVIEW ONLY
8/9/21
TRICON DESIGN REVIEW

SIGNATURE _____ DATE _____

Area Description	Square Footage	Occupant Load	Occupant Load
Playland Dining (Fixed)	N/A	Seating	Fixed 0
Playland Dining	N/A	Unconcentrated (tables & chairs)	15 Net 0
Playland/Accessory to Dining (Fixed)	N/A	Seating	Fixed 0
Playland/Accessory to Dining	N/A	Exercise Rooms	50 Gross 0
Dining Area	1043	Seating	Fixed 74
Customer Pick-Up	230	Waiting Areas	15 Gross 15
Serving	133	Waiting Areas	15 Gross 9
Office Area	70	Business	100 Gross 1
Employee Lounge/Crew Area	40	Business	50 Gross 1
Kitchen/Preparation/Serving Area	923	Kitchens, commercial	200 Gross 5
Cooler/Freezer Area	224	Storage	300 Gross 1
Storage	174	Storage	300 Gross 1
Restroom/Vestibule	540		0 Gross 0
Gross Building Area	3377		107
Exits Required (1 Story)	Table 1004.1.2	49 Occupants & 75' Travel Distance	3

(3) Exits Provided

■ DENOTES 2x4 DF #2 STUDS AT 16" O.C. (PROVIDE 2x FIRE BLOCKING AT WALLS OVER 10'-0") (SEE DETAIL 2K/A12)
 ■ DENOTES 2x6 DF #2 STUDS AT 16" O.C. WITH R-19 BATT INSULATION (PROVIDE 2x FIRE BLOCKING AT WALLS OVER 10'-0")
 ■ GAGE STUDS 16" ON CENTER WITH 1/2" CEMENT PLASTER (MEASURED FROM THE FACE OF STUDS) ON THE EXTERIOR SURFACE PLASTER MIX 1:4 FOR SCRATCH COAT AND 1:3 FOR BROWN COAT, BY VOLUME, CEMENT TO SAND, INTERIOR SURFACE 5/8" TYPE X GYPSUM WALLBOARD APPLIED VERTICALLY OR HORIZONTALLY NAILED WITH #6 COOLER OR WALLBOARD NAILS AT 12" ON CENTER WITH END JOINTS ON WALLING MEMBERS, STAGGER JOINTS EACH SIDE. PER CBC TABLE 1201 (2), ITEM NUMBERS 15-13L, DENOTES EXTERIOR 2x6 DF #2 STUDS AT 16" O.C. WITH R-19 BATT INSULATION (PROVIDE 2x FIRE BLOCKING AT WALLS OVER 10'-0") (EXTERIOR), PROVIDE USG 5/8" DUROCK (BOTH SIDES) ON 3 1/2", 18 GA METAL STUD FRAMING AT 16" O.C. WITH R-15 INSULATION (INTERIOR).

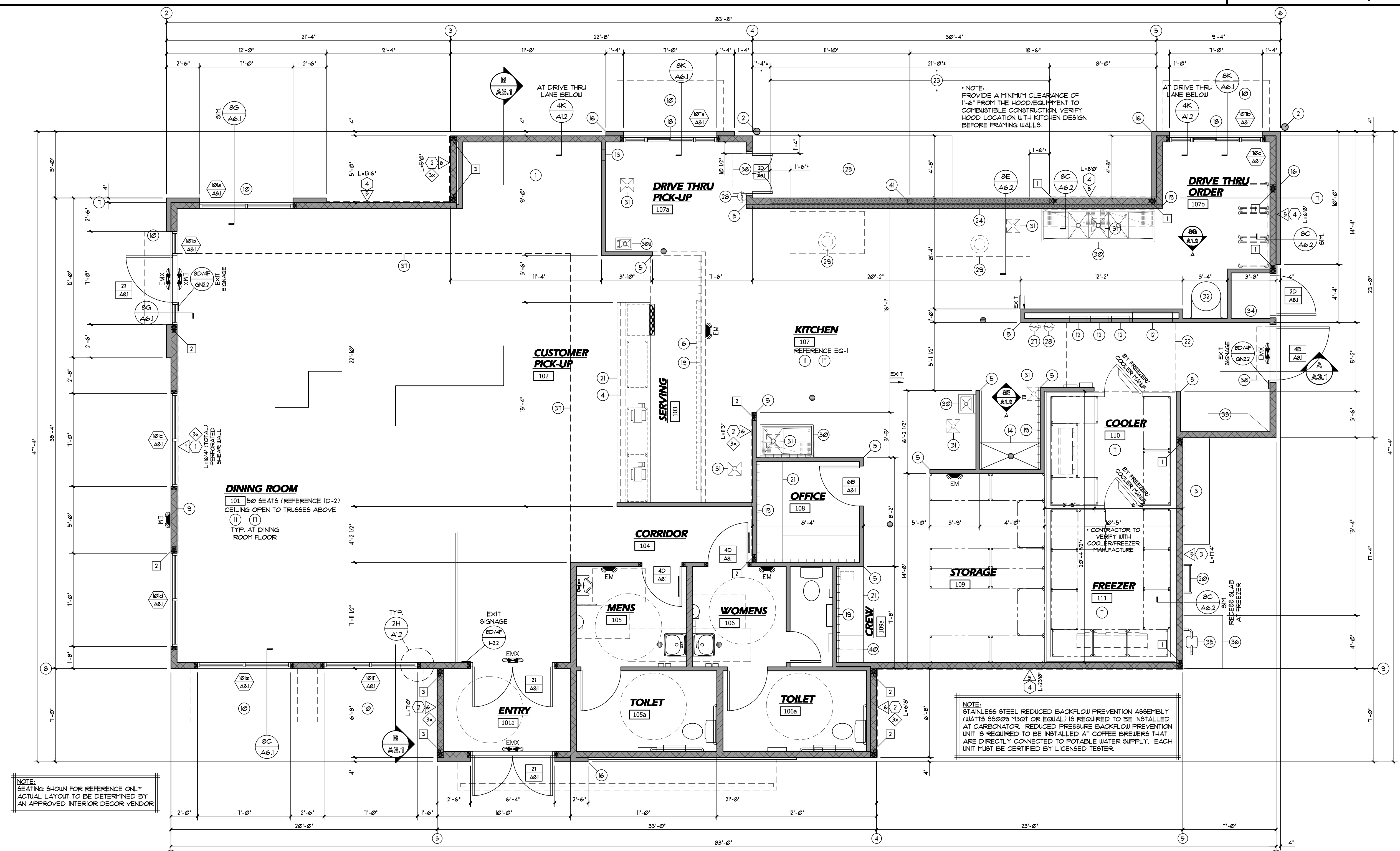
X HOLDOWN TYPE SEE 8K/85.1
 △ SHEAR WALL TYPE SEE 8K/85.1
 X BOLT SPACING SEE 8K/85.1
 ◆ MIN. 3x SILL PLATE STUDS AND BLOCKING ADJOINING PANEL EDGES (LINES 12 AND 3)

1. WHERE FRAMING IS ADJACENT TO SHEAR WALL, IT SHALL BE APPLIED TO EXTERIOR OF FLYWOOD SHEATHING (SHEAR WALL LINE 1 AND 3)

NO. DATE

FLOOR PLAN KEY NOTES

2H BUILDING SQ. FT./WALL INFORMATION 2K



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FLOOR PLAN

SCALE: 1/16" = 1'-0"
NORTH

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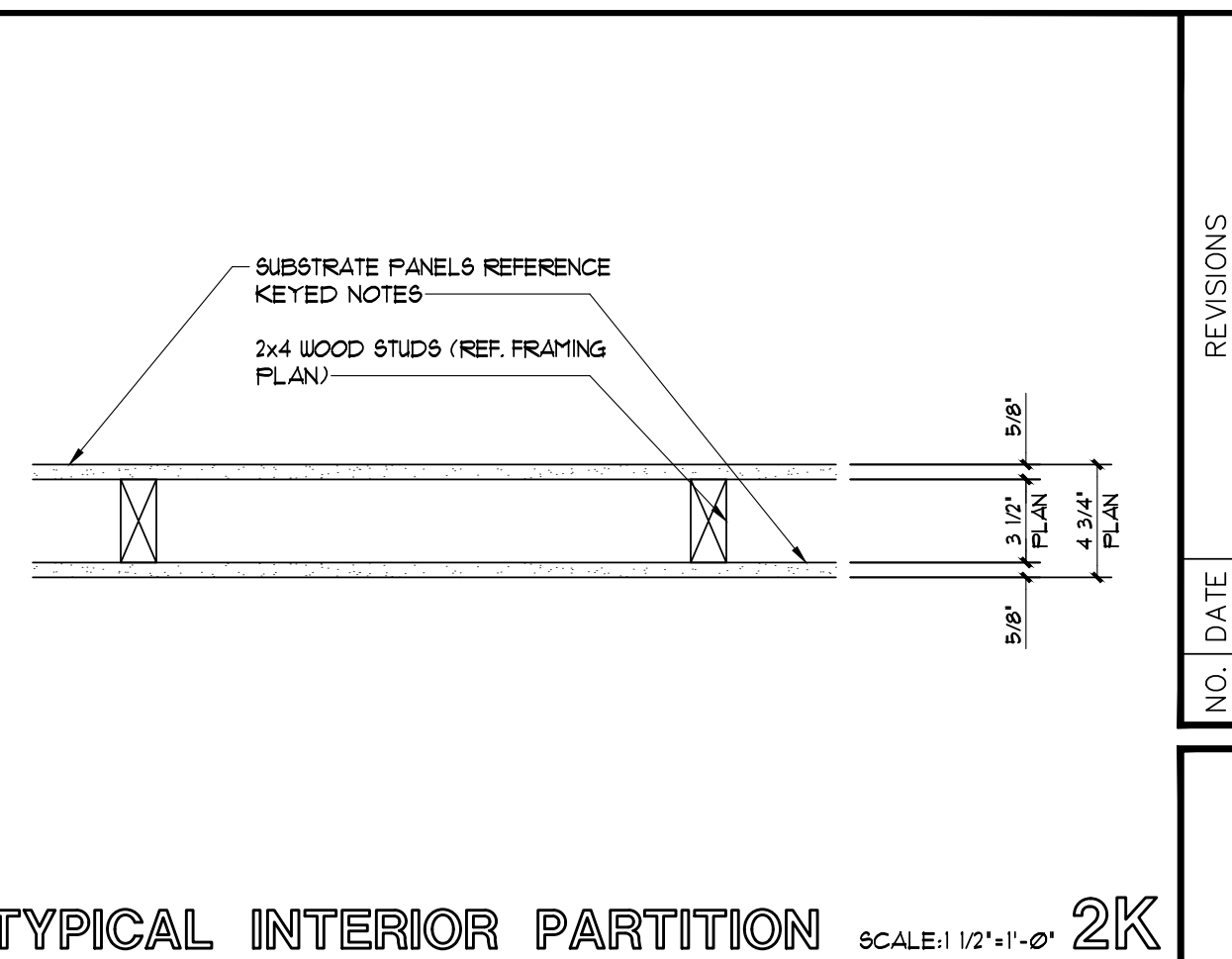
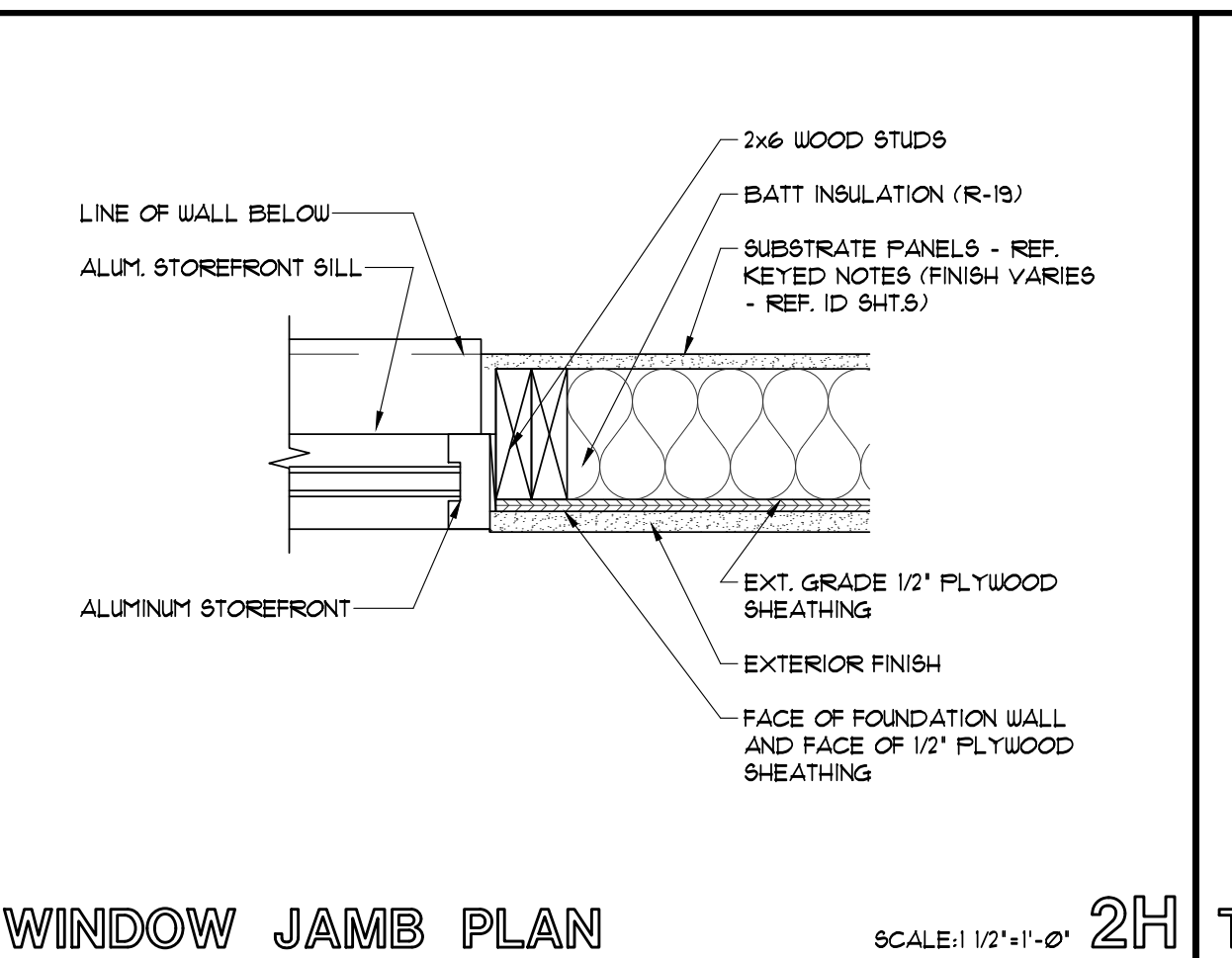
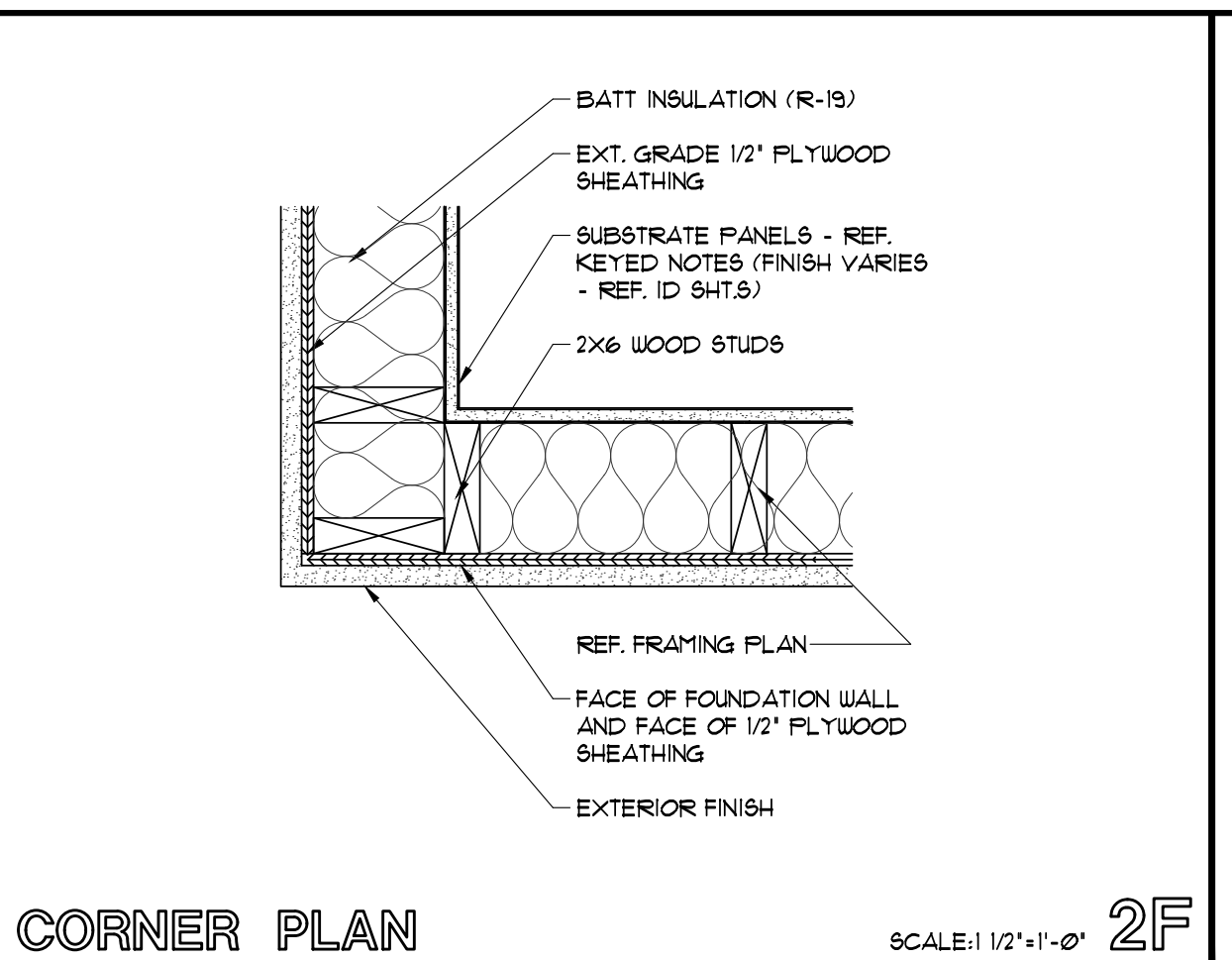
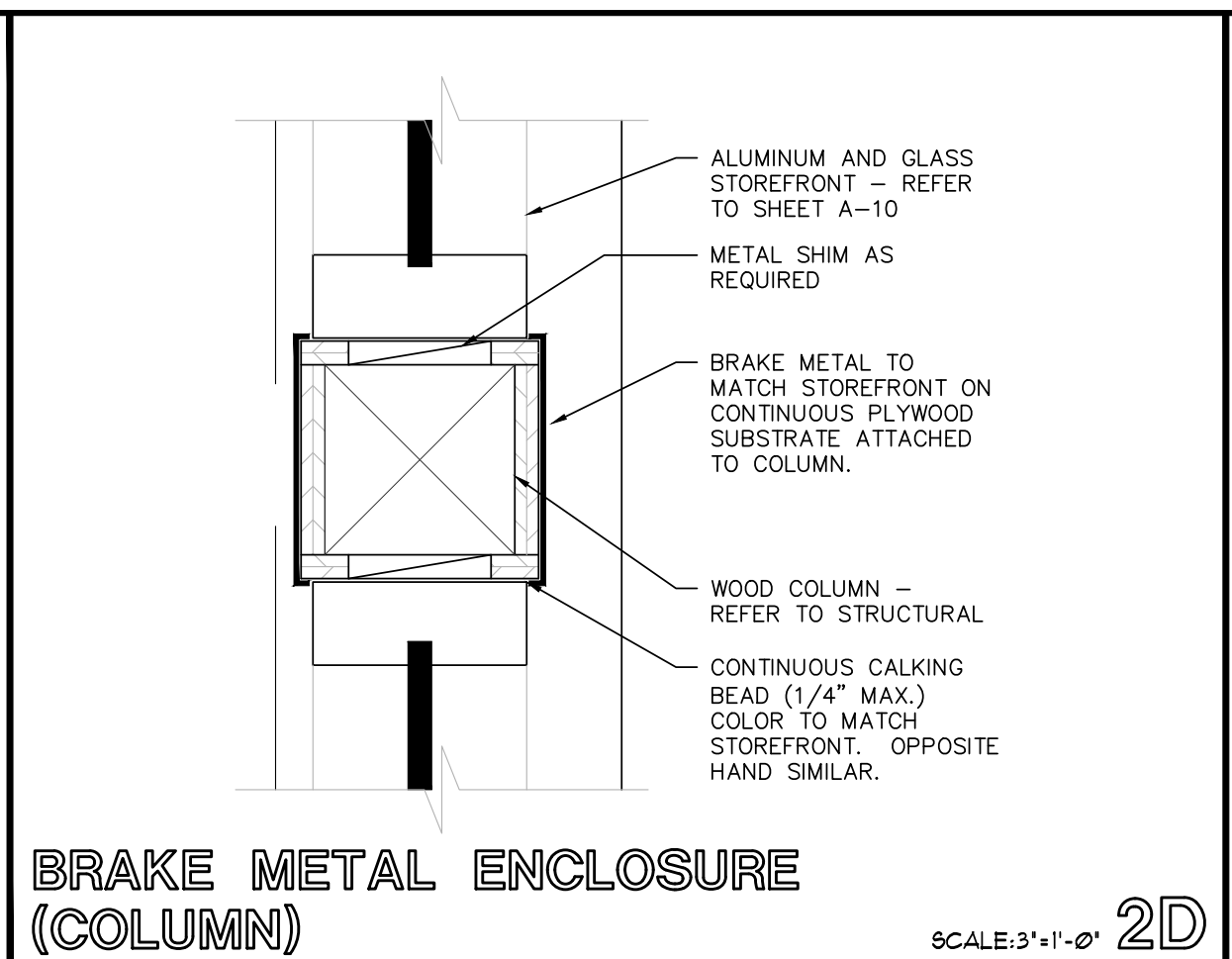
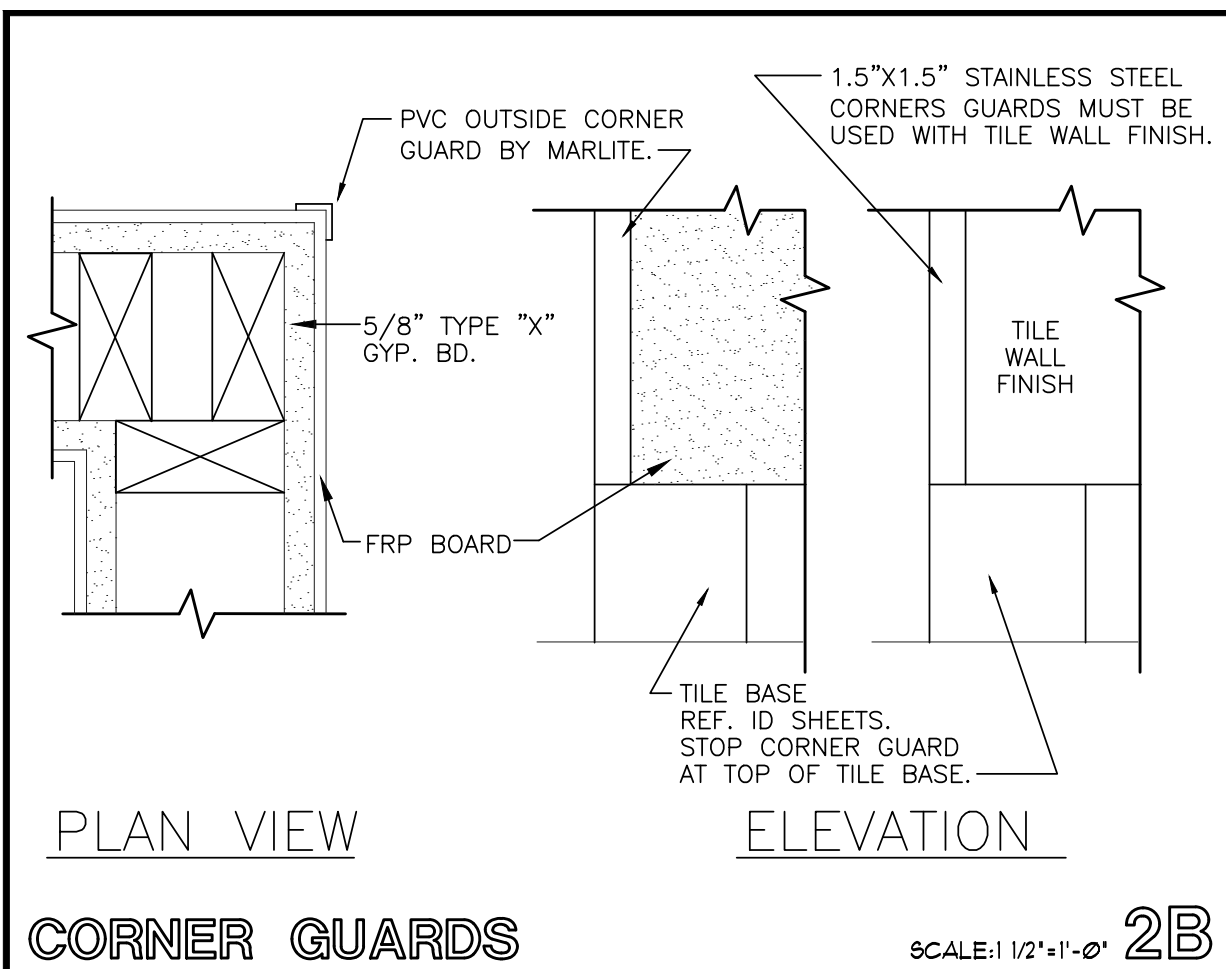
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JOB NO.: 152016 DRAWN: R.A.M. DATE: _____

FLOOR PLAN AND NOTES
A NEW RESTAURANT FOR:
BIG BIDNESS
2050 WEST RIGGIN AVENUE (VERIFY)
VISALIA, CA 93291

SHEET
A0.1



NO.	DATE	REVISIONS

Room No.	Room Name	Floor Material	Base Material	North Wall Material	West Wall Material	South Wall Material	East Wall Material	Ceiling Material	Height	Remarks
100a	Dining Room	1	1	1	1	1	1	2	10'-4 1/2"	Laminated Panel Wainscot to +42"
100	Playground	1	1	1	1	1	1	2	17'-0"	Laminated Panel Wainscot to +42"
101a	Entry	2	2	4	4	4	4	5	9'-0"	Laminated Panel Wainscot to +42"
101	Dining Room	1	1	1	1	1	1	2	10'-4 1/2"	Laminated Panel Wainscot to +42"
102	Customer Pick-Up	1	1	1	1	1	1	1	10'-0"	See Note #1 Below
103	Serving	1	4	3	3	3	3	3	10'-2"	F.R.P. Wainscot to +42"
104	Corridor	1	1	1	1	1	1	1	10'-0"	F.R.P. Wainscot to +42"
105	Unisex	1	1	3	3	3	3	3	8'-0"	
106	Unisex	1	1	3	3	3	3	3	8'-0"	
107	Kitchen	1	4	2	2	2	2	3	8'-6"	
107a	Drive Thru Pick-Up	1	4	2	2	2	2	3	8'-6"	
107b	Drive Thru Order	1	4	2	2	2	2	3	8'-6"	
108	Office	1	4	2	2	2	2	3	8'-6"	
109	Storage	1	4	2	2	2	2	3	8'-6"	
109a	Crew	1	4	2	2	2	2	3	8'-6"	
110	Cooler	3	3	5	5	5	5	6	7'-10 5/8"	Prefab Unit
111	Freezer	3	3	5	5	5	5	6	7'-10 5/8"	Prefab Unit

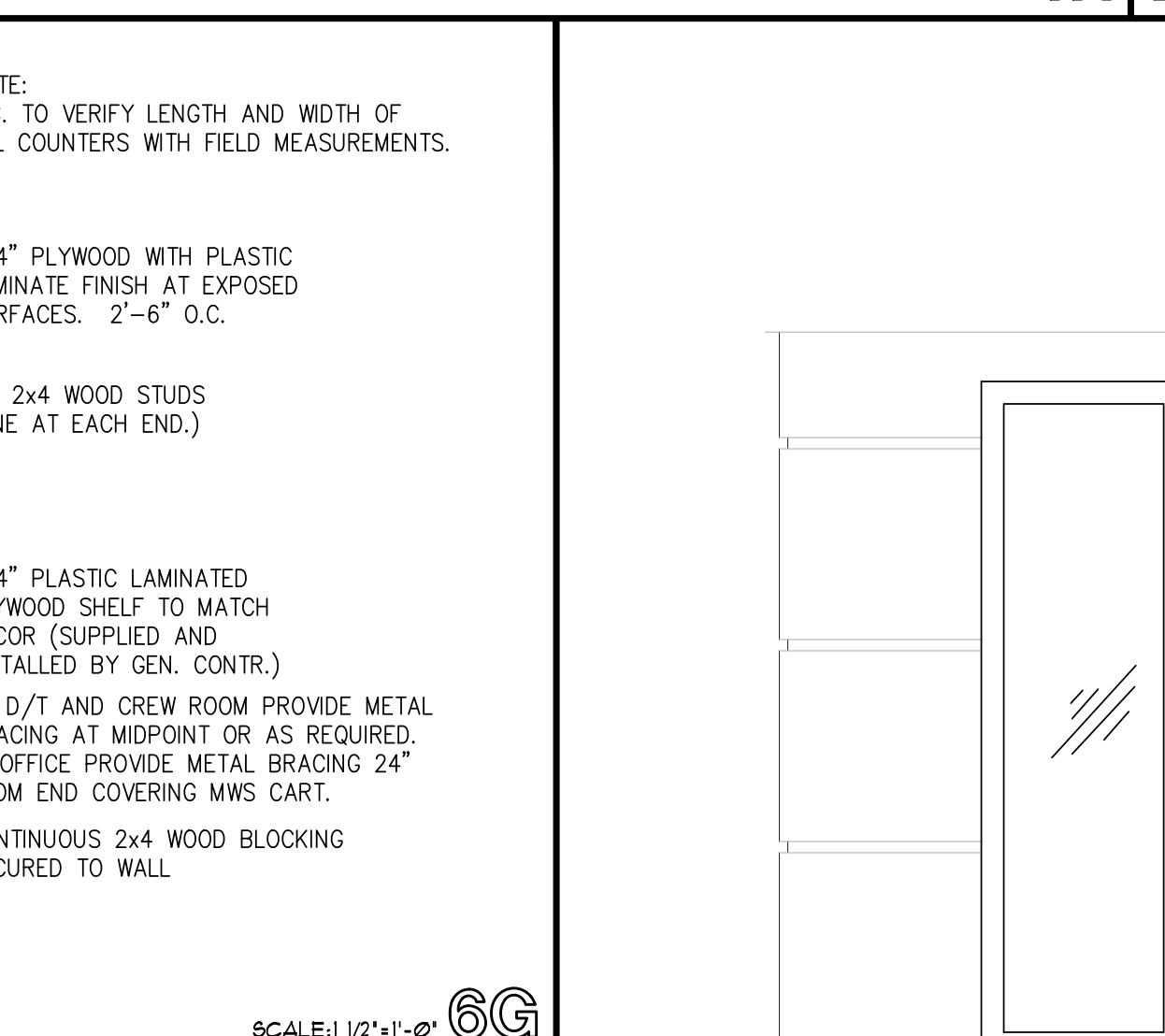
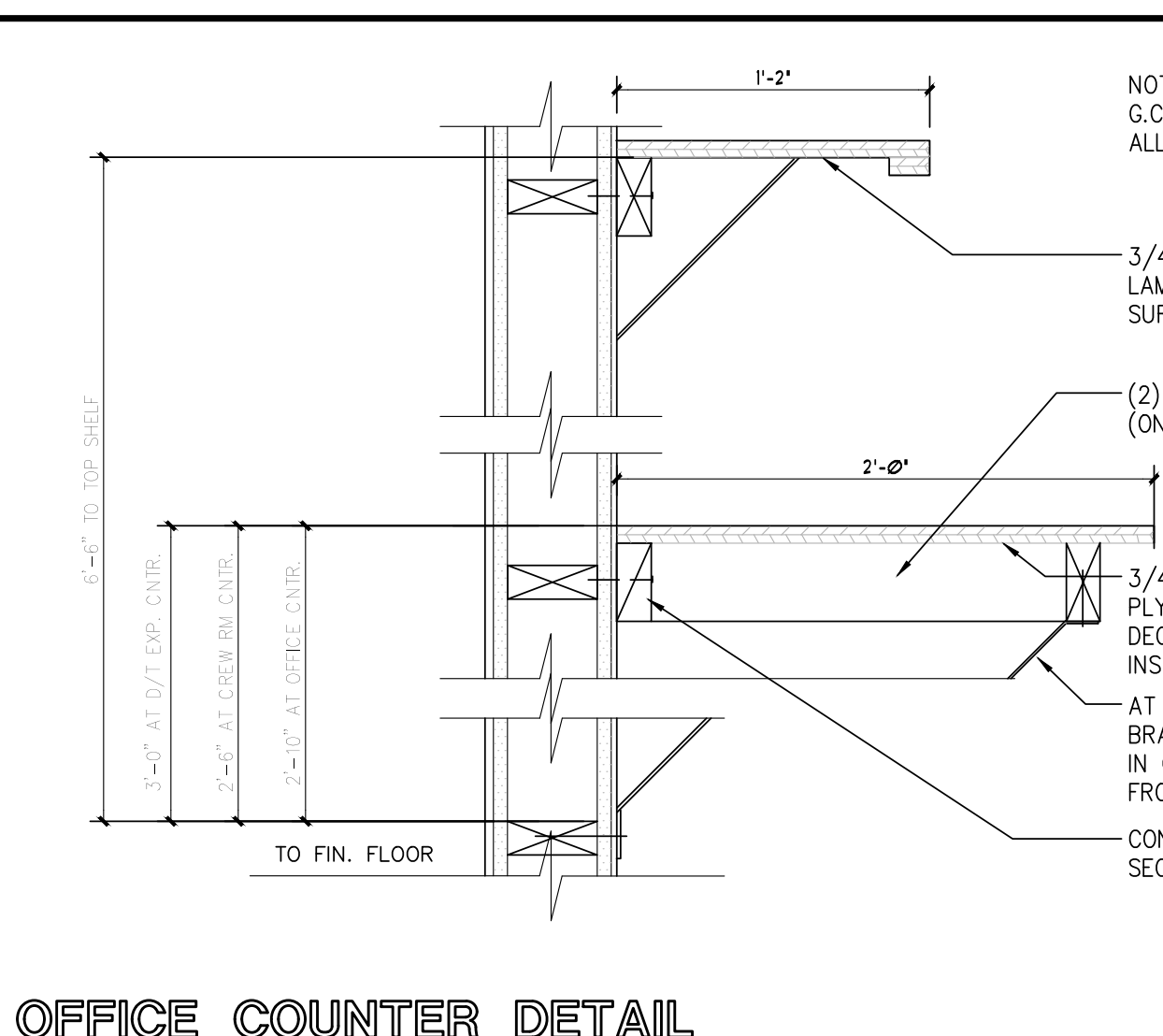
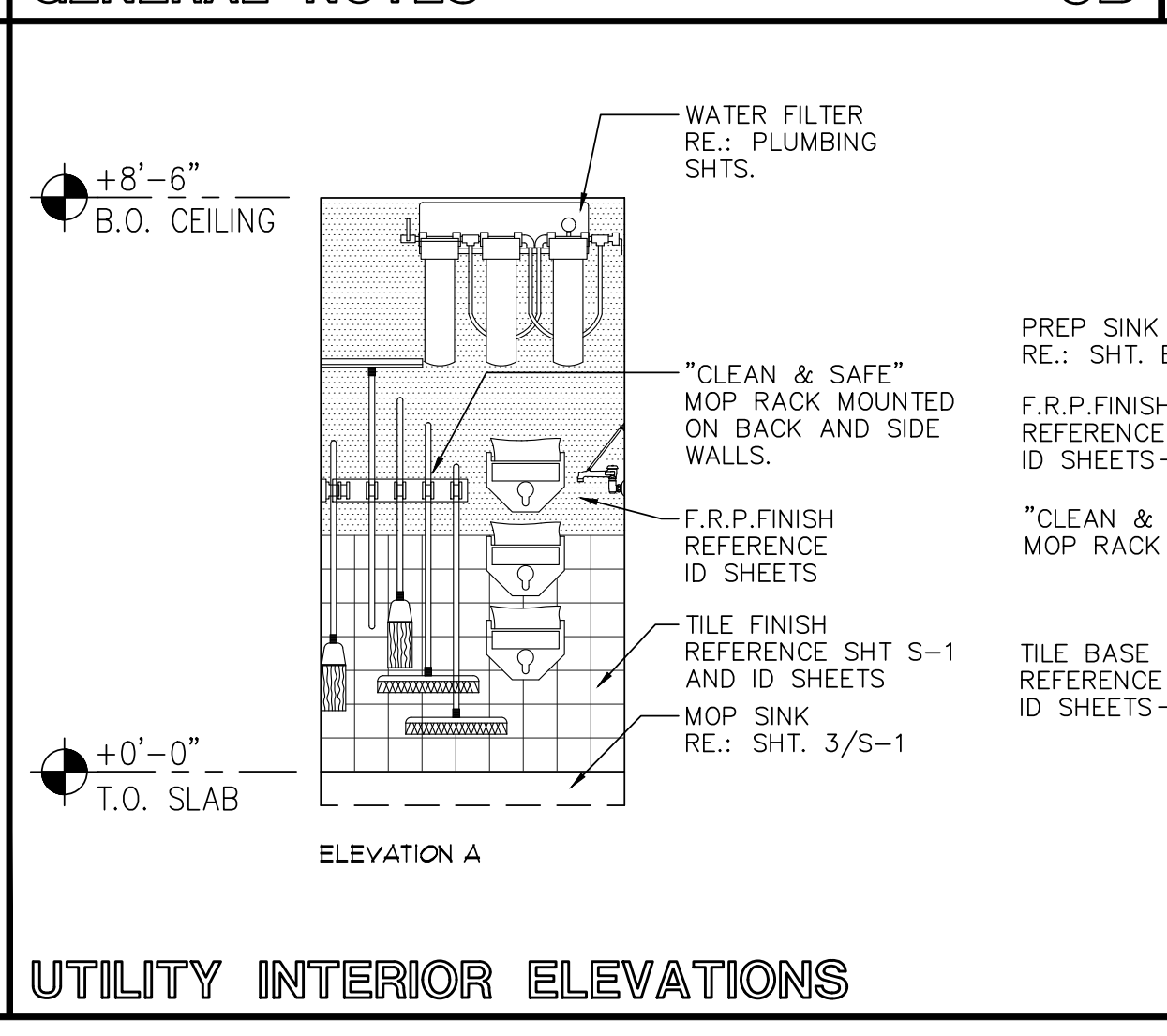
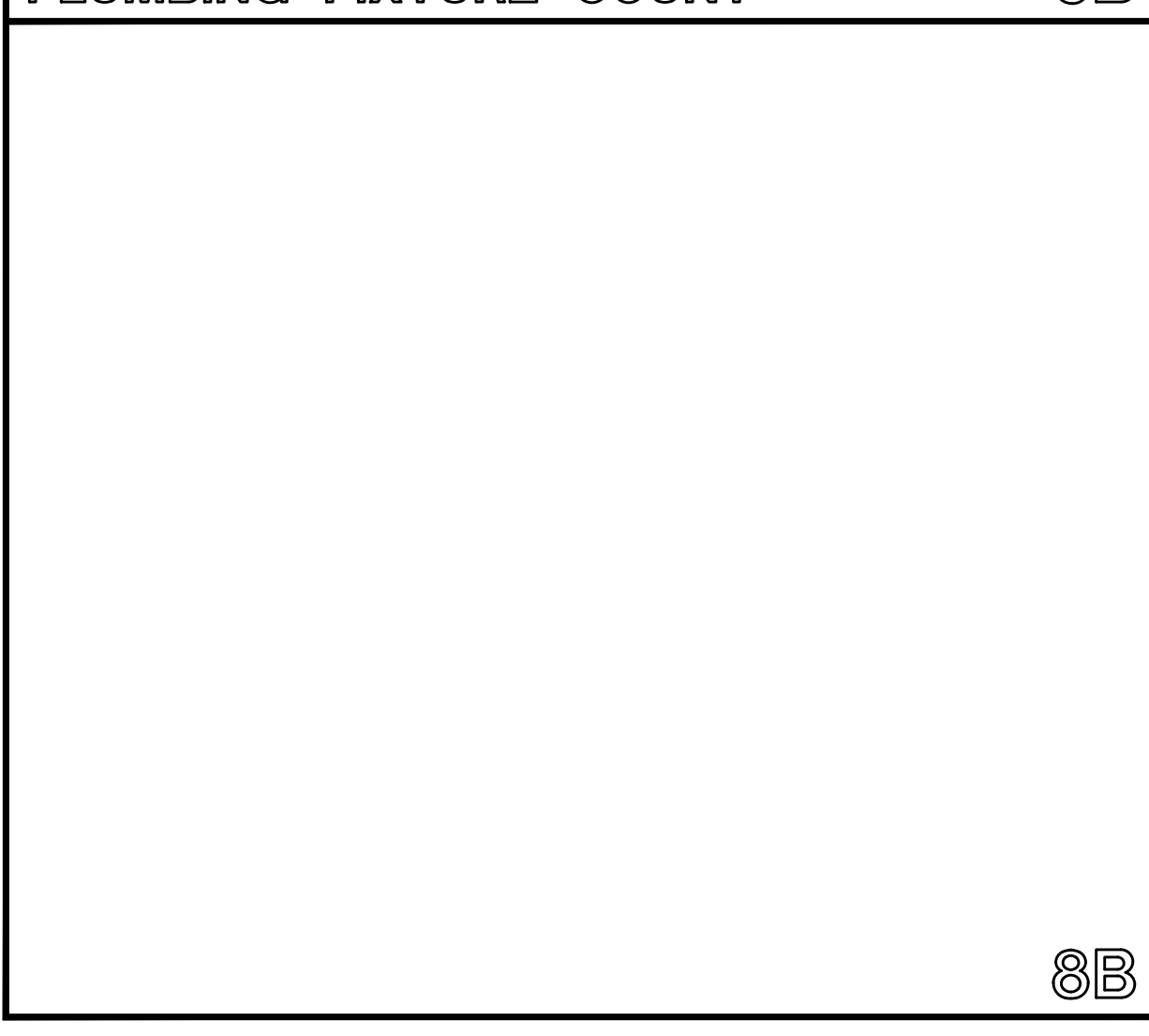
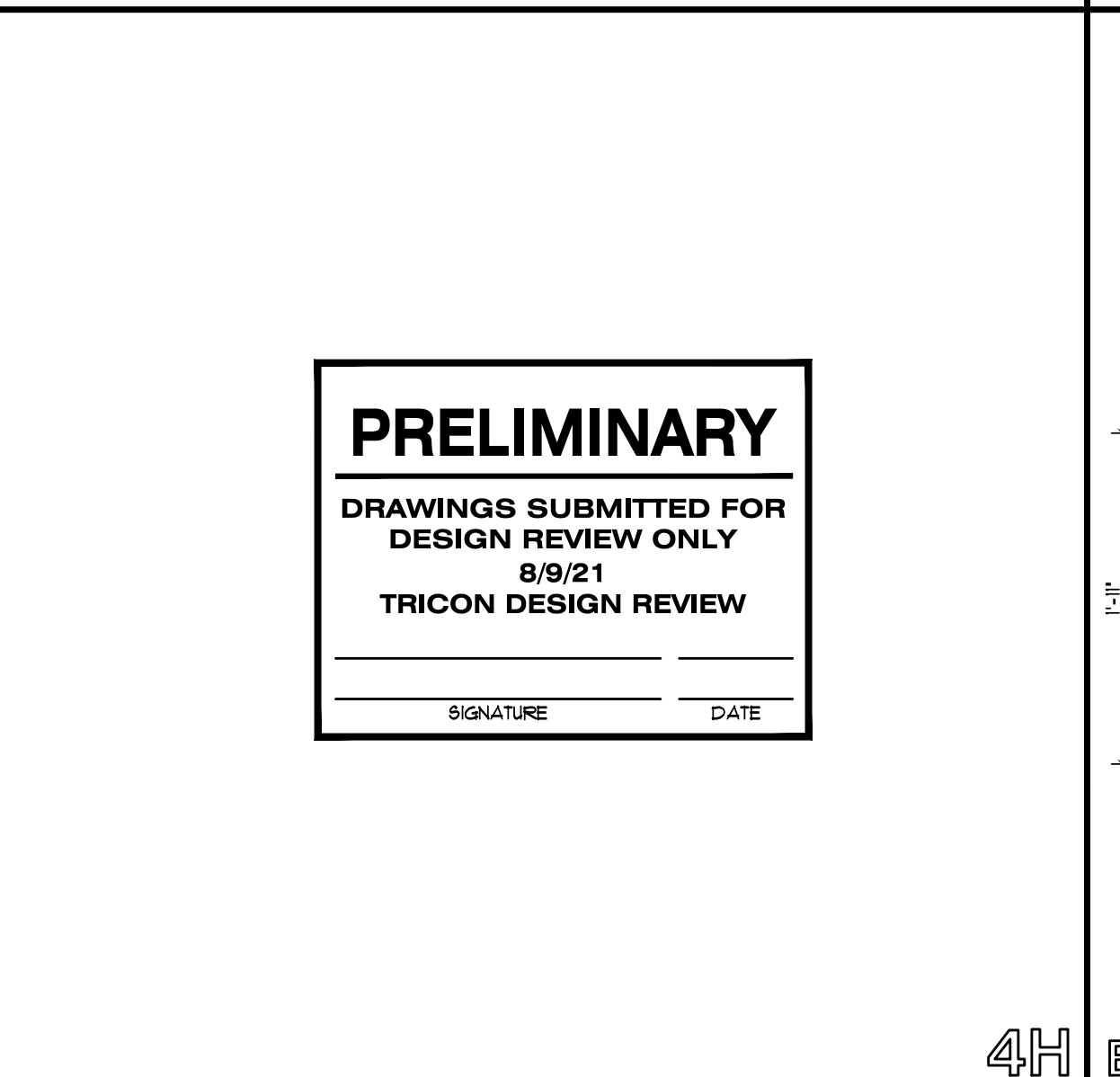
Material Types	No.	Description	Base	No.	Description
1	Tile (6x6 Grid) DalTile Suretread Quarry Guard Paver, Gray	1	Schluter-DILEX-AHK Cove (See 4H/A.1.2)	1	5/8" Gypsum Board (Tape, Texture and Paint)
2	Concrete	2	Intergral Cove Base, Factory Radius (Min. 3/8" Radius)	2	Open Trusses, Painted, See Reflected Ceiling Plan for Gyp. Board Soffit
3	Stainless Steel - T304 2b 16ga.	3	Coved Tile (6x6) DalTile Suretread Quarry Guard Cove Base, Gray	3	Suspended Acoustical Tile Ceiling, USG 24x48 Gypsum Ceiling Tiles #3270, Stipple Design, Washable
4	Coved Tile (6x6) DalTile Suretread Quarry Guard Cove Base, Gray	4	Stucco	4	Suspended Acoustical Tile Ceiling, USG 24x24 Gypsum Ceiling Tiles #3270, Stipple Design, Washable
5	Aluminum - Natural Embossed .032	5	Aluminum - Natural Embossed .032	5	Stucco Ceiling
6	Aluminum - Natural Embossed .032	6	Aluminum - Natural Embossed .032	6	Aluminum - Natural Embossed .032

INTERIOR FINISH SCHEDULE 4D

Note:
1. Laminated Panel Wainscot to +42", Full Height Ceramic Tile at Drink Station Area

PLUMBING CALCULATION: (IPC 2015 TABLE 403.1)
TOILETS REQUIRED (A-2 OCCUPANCY, RESTAURANTS, BANQUET HALLS AND FOOD COURTS)
(1) WATER CLOSET PER 40 MEN
(1) WATER CLOSET PER 40 WOMEN
(1) LAVATORY PER 200 MEN
(1) LAVATORY PER 200 WOMEN
122 OCCUPANTS=61 MEN AND 61 WOMEN
MEN - 61<80 (1) WATER CLOSET AND (1) URINAL OK
WOMEN - 61<50 (2) WATER CLOSET OK
MEN - 61<200 (1) LAVATORY OK
WOMEN 61<200 (1) LAVATORY OK
(1) HANDWASH SINK (KITCHEN)

Area Description	Square Footage	Occupant Load	Occupant Load
Playland Dining (Fixed)	N/A	Seating	Fixed
Playland Dining	N/A	Unconcentrated (tables & chairs)	15 Net
Playland/Accessory to Dining (Fixed)	N/A	Seating	Fixed
Playland/Accessory to Dining	N/A	Exercise Rooms	50 Gross
Dining Area	1043	Seating	Fixed
Customer Pick-Up	230	Waiting Areas	15 Gross
Serving	133	Waiting Areas	15 Gross
Office Area	70	Business	100 Gross
Employee Lounge/Crew Area	40	Business	50 Gross
Kitchen/Preparations/Serving Area	923	Kitchens, commercial	200 Gross
Cooler/Freezer Area	224	Storage	300 Gross
Storage	174	Storage	300 Gross
Restroom/Vestibule	540	Storage	0 Gross
Gross Building Area	3377		107
Exits Required (1 Story)	Table 1004.1.2	49 Occupants & 75' Travel Distance	3



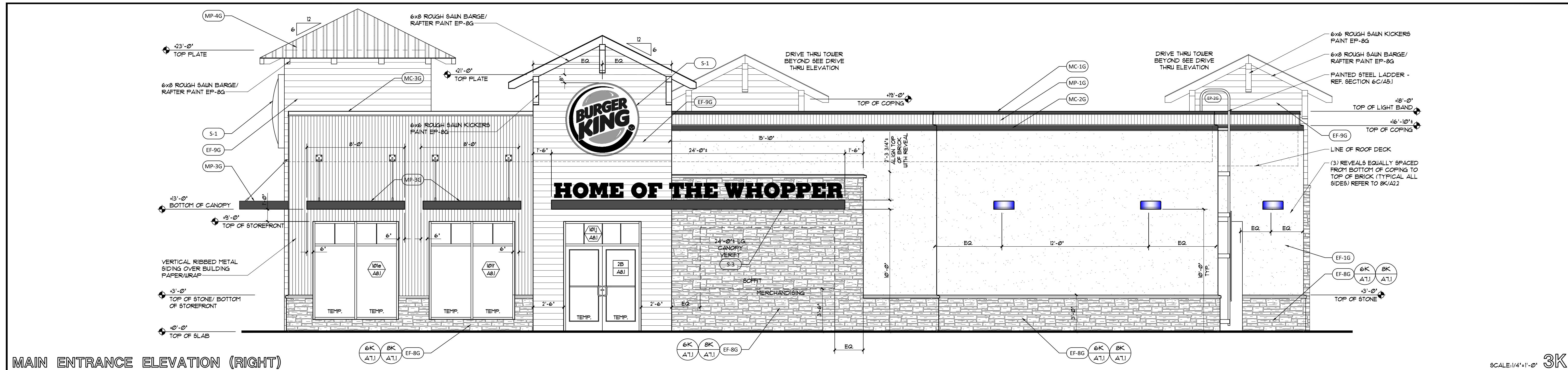
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ARCHITECTURAL DETAILS
A NEW RESTAURANT FOR:
BIG BIDNESS
2050 WEST RIGGIN AVENUE (VERIFY)
VISALIA, CA 93291
078-120-034 (VERIFY)

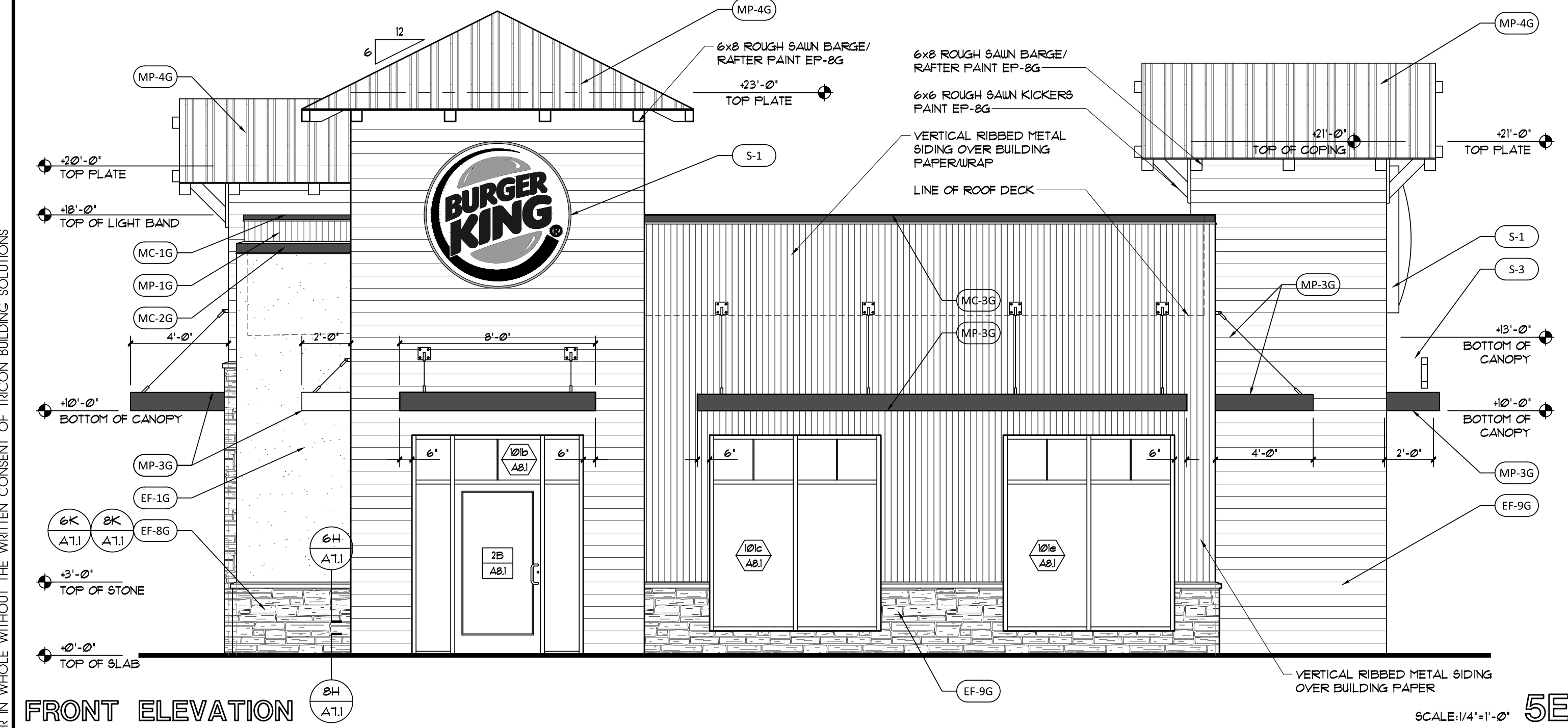
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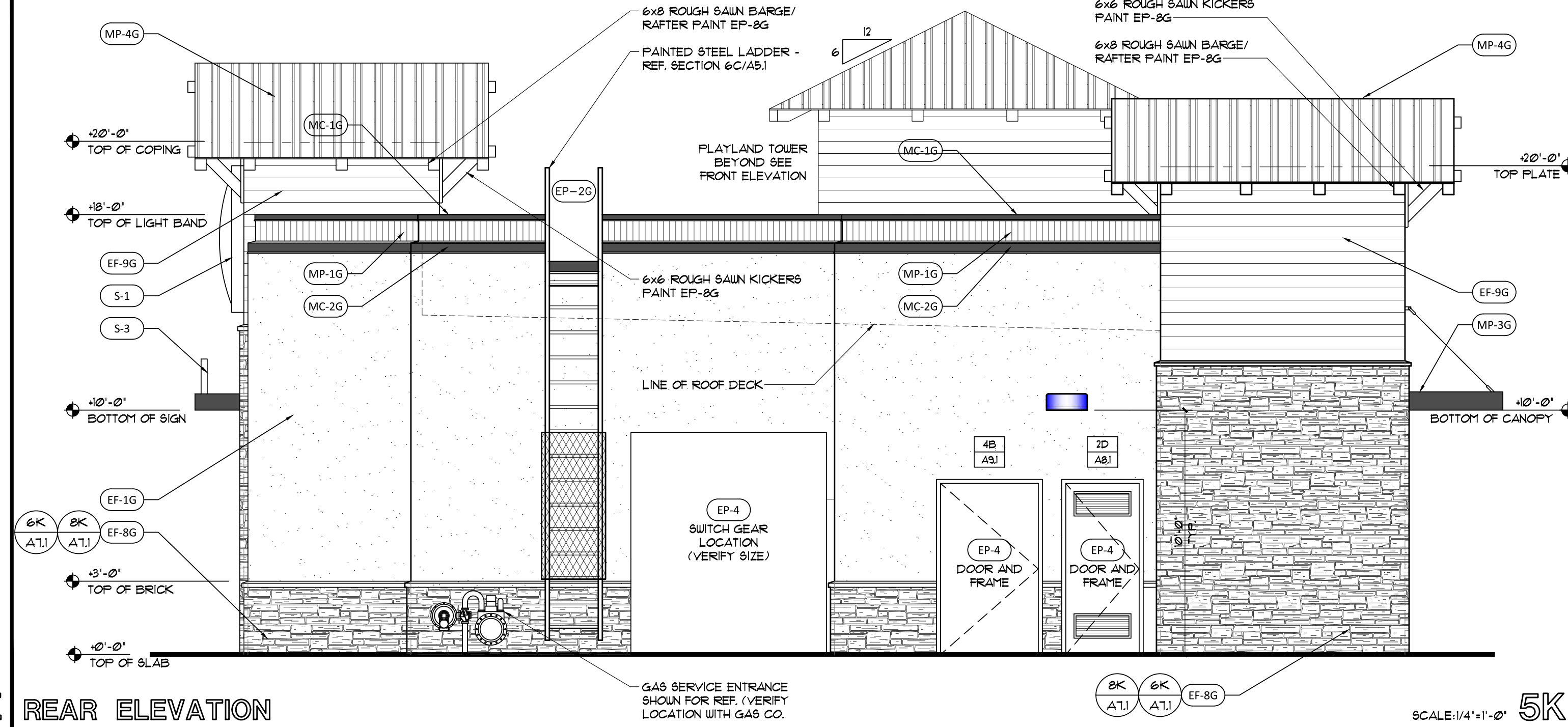
MAIN ENTRANCE ELEVATION (RIGHT)

SCALE: 1/4" = 1'-0" 3K



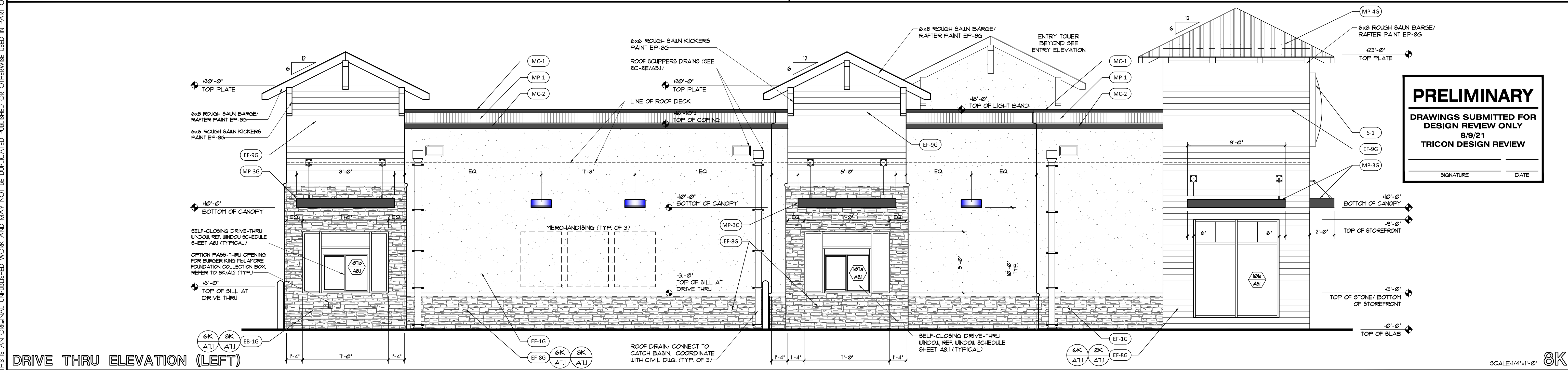
FRONT ELEVATION

SCALE: 1/4" = 1'-0" 5E



REAR ELEVATION

SCALE: 1/4" = 1'-0" 5K



DRIVE THRU ELEVATION (LEFT)

SCALE: 1/4" = 1'-0" 8K

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NO.	DATE	REVISIONS

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PRELIMINARY
 DRAWINGS SUBMITTED FOR
 DESIGN REVIEW ONLY
 8/9/21
 TRICON DESIGN REVIEW
 SIGNATURE _____ DATE _____

JOB NO.: 162016 DRAWN: R.A.T. DATE: _____
 EXTERIOR ELEVATIONS
 A NEW RESTAURANT FOR:
BIG BIDNESS
 2050 WEST RIGGIN AVENUE (VERIFY)
 VISALIA, CA 93291
 SHEET **A2.1**

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**StoPowerwall®
System Components**

Notes:
Detail shows the components of StoPowerwall stucco installed on wood frame wall in two coats.
Sto materials:
1) StoGuard® with Sto EmeraldCoat®
2) StoPowerwall scratch coat
3) Sto Powerwall brown coat
4) Sto Hot Prime® or Sto Primer
5) Sto finish (smooth or textured)
Accessory materials including means for fastening:
1) Expanded metal lath
2) Casing bead
3) Other accessories as may be required (e.g. weep screeds, etc.)

IMPORTANT: Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.
Property of Sto Corp. All Rights Reserved.

Detail No.: 5.01
Date: December 2015

NO.	DATE	REVISIONS
1	12/21/15	SUBMITTAL SET TO THE CITY OF LEWISTON

EF-2 STUCCO DETAIL **2K**

4K

DETAIL AT STUCCO POP OUT **6K**
SCALE: 3/4" = 1'-0"

PRELIMINARY
DRAWINGS SUBMITTED FOR
DESIGN REVIEW ONLY
8/9/21
TRICON DESIGN REVIEW

SIGNATURE _____ DATE _____

JOB NO.: 16016	DRAWN: R.A.M.	DATE:
EXTERIOR BUILDING FINISH SPECS & DETAILS		
A NEW RESTAURANT FOR:		
BIG BIDNESS		
2050 WEST RIGGIN AVENUE (VERIFY) VISALIA, CA 93291		
078-120-034 (VERIFY)		

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8H **8K**

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: PT Glass Gallery Date: ~~XXXXXXX~~ 09/30/2021

Project Description: Arts, Crafts, Snacks, Soft Drinks, tobacco, Smoking portable devices, T-shirts, Arts Glass ware, Detox, lighters, etc.

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: JOSE R TRUJILLO *[Signature]*

Applicant(s) Name: Tayseer Taha

Project Address/Location: 2137 W. Wintendale Ave. Visalia CA, 93277

Assessor Parcel Number: 121-090-071

Parcel Size (Acreage or Square Feet): _____ Building or Suite Square Footage: 2500 sqft.

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ None

Describe All Proposed Building Modifications: _____

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 09/30/2021

SPR Agenda: 10/06/2021 Item No. _____

Zone: _____ SPR No. 21-167

Historic District: Yes No

Flood Zone: X AE X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: PT Glass Gallery

Proposed Building Use: PT Glass Gallery

Proposed Hours of Operation: 10am - 8pm.

Days of Week In Operation (Circle): Su M Tu W Th F Sa

Number of Employees Per Day: Existing 2 Proposed _____

Number of Customers Per Day (Estimated): Existing 20-50 Proposed _____

Predicted Peak Operating Hour: 12pm - 4pm.

Describe Any Truck Delivery Schedule & Operations: None.

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): None.

Describe Any Special Events Planned for the Facility: None.

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - All existing & proposed site features
 - Site dimensions, including building
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
 - Adjacent street names
 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: PT Glass Gallery Signature of Owner or Authorized Agent* _____
 Address: 2137 W. Whitendale Ave. _____
 City, State, Zip: Visalia CA, 93277 Owner _____ Date: 9-8-21
 Phone: 559-667-3444 _____
 Email: Teetaha93291@gmail.com Authorized Agent* _____ Date: _____

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

OWNER:

I, Jose R Trevino, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

121-090-071

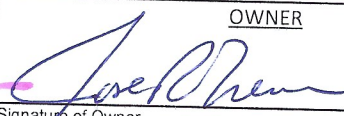
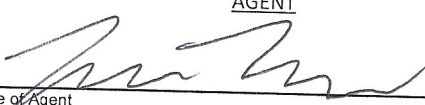
AGENT:

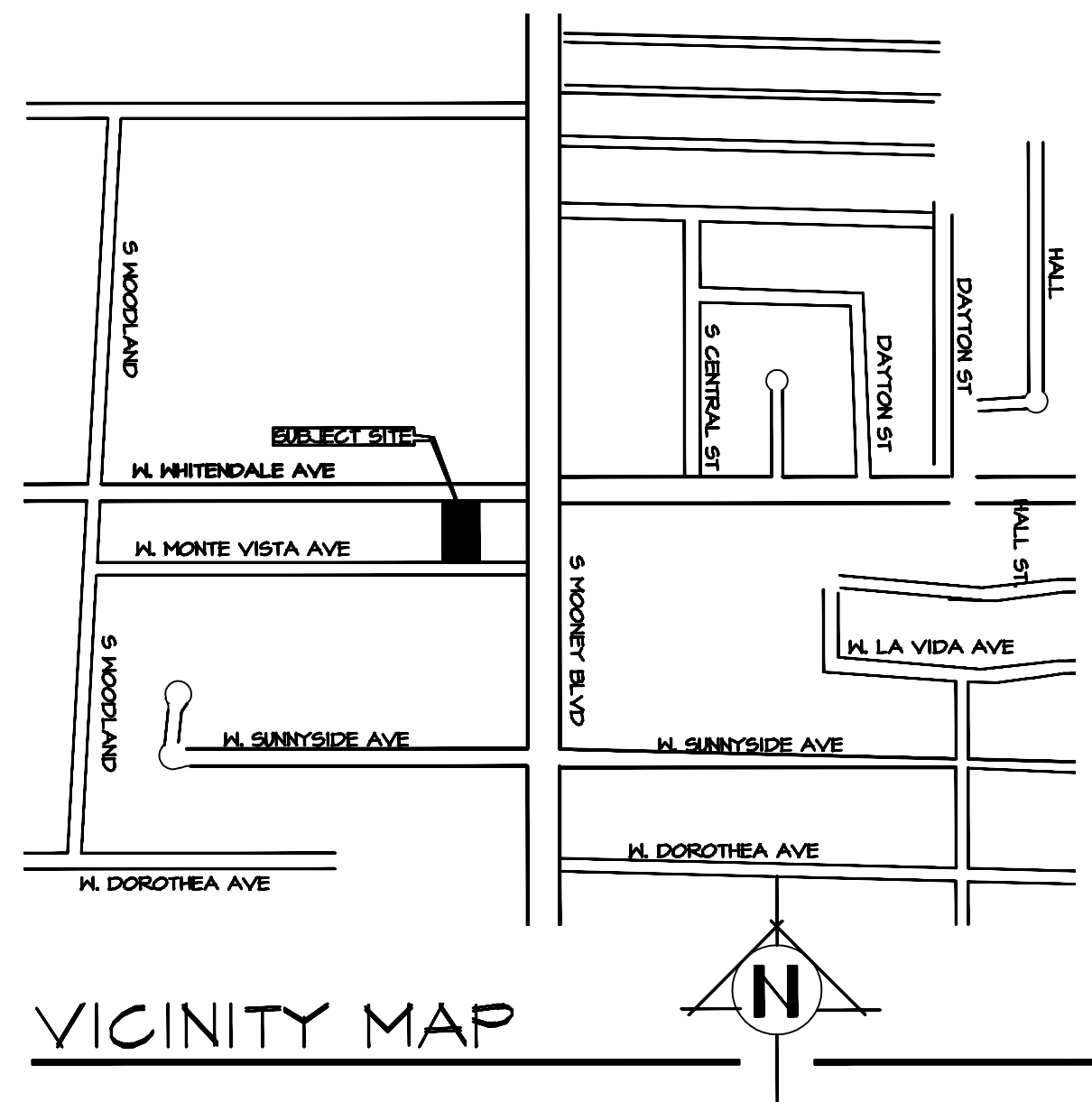
I designate PT Glass Gallery to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to Rent and operate relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 8 day of Sep, 2021.

AGENCY AUTHORIZATION FORM

OWNER	AGENT
 Signature of Owner	 Signature of Agent
<u>1139 N. BLCASON</u> Owner Mailing Address	<u>1727 W. Hunter Ct.</u> Agent Mailing Address
<u>Visalia CA 93291</u> Owner Phone Number	<u>Visalia CA, 93291</u> Agent Phone Number
<u>559-804-1910</u> Owner Phone Number	<u>559-667-3444</u> Agent Phone Number



VICINITY MAP

BUSINESS OWNER:

TAYSEER TAHA
2137 W. WHITENDALE AVE
VISALIA, CA.
559-667-3444

SITE INFO:

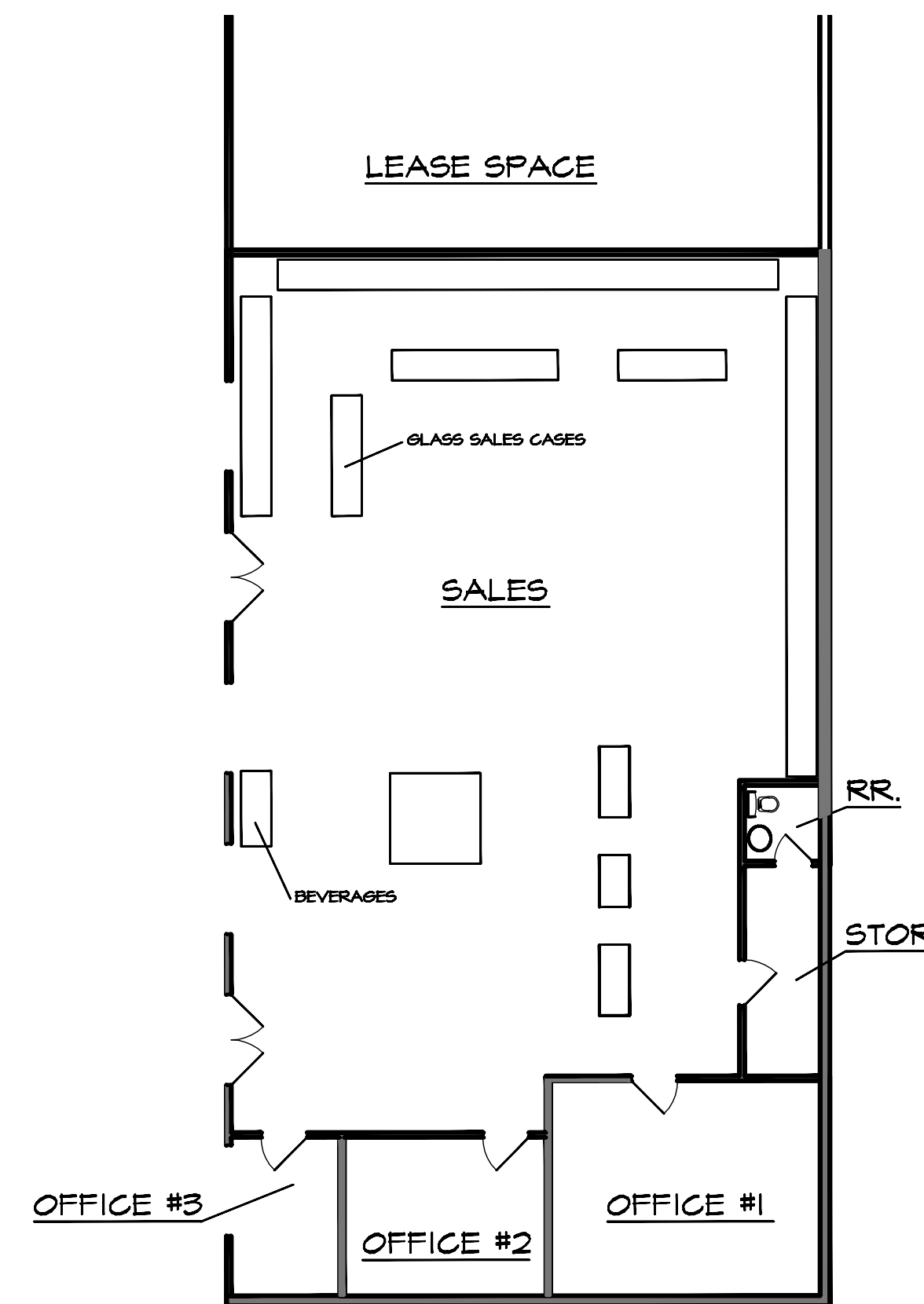
EXISTING USE: RETAIL
 - MON-MON 10am-8pm
 - 1 OWNER, 1 EMPLOYEE
OCCUPANCY LOAD: 2800/60=47
 ZONING: CMU
 APN 121-090-071
 SITE AREA: 23,046 SQ. FT.
 TELEPHONE: SBC TELEPHONE CO.
 WATER: CALIFORNIA WATER SERVICE CO.
 REFUSE: CITY OF VISALIA-CURBSIDE
 SEWER: CITY OF VISALIA
 STORM: CITY OF VISALIA
 GAS: THE GAS CO.
 POWER: SOUTHERN CALIF. EDISON CO.

SITE INFO:

EXISTING USE: RETAIL SALES
 PROPOSED USE: SMOKE SHOP
 EXISTING ZONING: MIXED USE COMMERCIAL
 APN 093-103-003
 SITE AREA: 26715 SQ. FT.
 PARKING PROVIDED: 26 STALLS
 TYPE OF CONSTRUCTION: V-N
 OCCUPANCY: B
 TELEPHONE: SBC TELEPHONE CO.
 WATER: CALIFORNIA WATER SERVICE CO.
 REFUSE: CITY OF VISALIA
 SEWER: CITY OF VISALIA
 STORM: CITY OF VISALIA
 SOLID WASTE: CITY OF VISALIA - CURBSIDE
 GAS: THE GAS CO.
 POWER: SOUTHERN CALIF. EDISON CO.

PROPERTY OWNER:

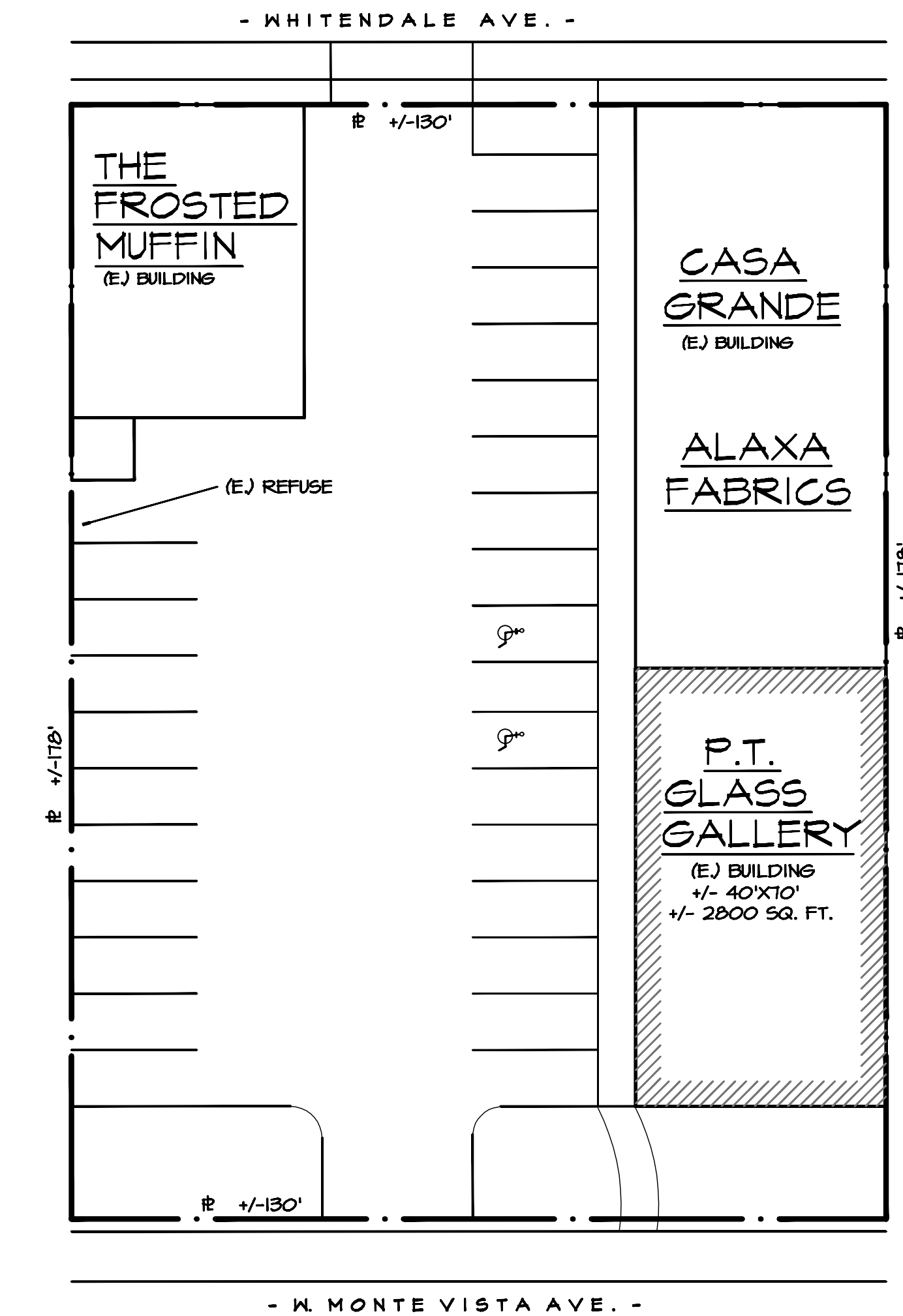
JOSE TREVINO
1139 N. EL CAJON
VISALIA, CA. 93291



FLOOR PLAN

2137 W. WHITENDALE
APN 121-090-071
VISALIA, CA.

Scale: 1" = 10'-0"



SITE PLAN

2137 W. WHITENDALE
APN 121-090-071
VISALIA, CA.

Scale: 1" = 20'-0"

STEPHEN O. SPARSHOTT
DESIGN & DRAFTING
2009 N. EVANS
VISALIA, CALIF. 93291
559-674-1205

A SMOKE SHOP FOR:
P.T. GLASS GALLERY
2137 W. WHITENDALE VISALIA, CA.

SHEET
OF