

# PLANNING COMMISSION AGENDA

CHAIRPERSON:

Marvin Hansen



VICE CHAIRPERSON:

Adam Peck

COMMISSIONERS: Mary Beatie, Chris Gomez, Chris Tavarez, Adam Peck, Marvin Hansen

**MONDAY, AUGUST 23, 2021**

**VISALIA CONVENTION CENTER**

**LOCATED AT 303 E. ACEQUIA AVE. VISALIA, CA**

**MEETING TIME: 7:00 PM**

**Citizens may appear at the Planning Commission meeting in person and will be asked to maintain appropriate, physical distancing from others and wear a mask or face shield pursuant to the Governor's Executive Orders and public health guidance during the COVID-19 situation.**

1. CALL TO ORDER –
2. THE PLEDGE OF ALLEGIANCE –
3. CITIZEN'S COMMENTS – This is the time for citizens to comment on subject matters that are not on the agenda but are within the jurisdiction of the Visalia Planning Commission. You may provide comments to the Planning Commission at this time, but the Planning Commission may only legally discuss those items already on tonight's agenda.  
  
The Commission requests that a five (5) minute time limit be observed for Citizen Comments. You will be notified when your five minutes have expired.
4. CHANGES OR COMMENTS TO THE AGENDA –
5. CONSENT CALENDAR – All items under the consent calendar are to be considered routine and will be enacted by one motion. For any discussion of an item on the consent calendar, it will be removed at the request of the Commission and made a part of the regular agenda.
  - a. Adoption of Resolution No. 2021-32, approving Variance No. 2021-02, in accordance with action taken by the Planning Commission during the regular meeting held on August 09, 2021.
6. PUBLIC HEARING – Josh Dan, Associate Planner  
Conditional Use Permit 2021-22: A request to construct a fast-food restaurant measuring 1,315 sq. ft. with drive-thru and no indoor dining, upon a parcel measuring 1.1-acres in the Neighborhood Commercial (C-N) Zone. The project site is located on the northwest corner of East Tulare Avenue and South Lovers Lane (APN: 100-120-051). The project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303, Categorical Exemption No. 2021-38.

7. PUBLIC HEARING – Josh Dan, Associate Planner
  - a. Tentative Parcel Map No. 2021-05: A request by TorMon Global Inc. and Octavio Montejano, to subdivide a 19,619 sq. ft. site into two parcels in the R-M-2 (Multi-Family Residential, 3,000 sq. ft. minimum site area per dwelling unit) Zone. The project site is located at 745 N. Leslie Street (APN: 093-011-004). The project is Categorically Exempt the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Sections 15315 and 15332, Categorical Exemption No. 2021-37.
  - b. Conditional Use Permit No. 2021-23: A request by TorMon Global Inc. and Octavio Montejano to subdivide a 19,619 square foot parcel into two parcels resulting in sites measuring less than two acres in size in the R-M-2 (Multi-family Residential, 3,000 square feet minimum site area per unit) Zone. The project site is located at 745 N. Leslie Street (APN: 093-011-004). The project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Sections 15315 and 15332, Categorical Exemption No. 2021-37.
8. CITY PLANNER / PLANNING COMMISSION DISCUSSION –
  - a. Moving back to Council Chambers in September
  - b. Next Planning Commission Meeting is Monday, September 13, 2021

The Planning Commission meeting may end no later than 11:00 P.M. Any unfinished business may be continued to a future date and time to be determined by the Commission at this meeting. The Planning Commission routinely visits the project sites listed on the agenda.

For Hearing Impaired – Call (559) 713-4900 (TTY) 48-hours in advance of the scheduled meeting time to request signing services.

Any written materials relating to an item on this agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the City Office, 315 E. Acequia Ave. Visalia, CA 93291, during normal business hours.

#### **APPEAL PROCEDURE**

**THE LAST DAY TO FILE AN APPEAL IS THURSDAY, SEPTEMBER 2, 2021, BEFORE 5 PM**

According to the City of Visalia Zoning Ordinance Section 17.02.145 and Subdivision Ordinance Section 16.04.040, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal form with applicable fees shall be filed with the City Clerk at 220 N. Santa Fe, Visalia, CA 93292. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website [www.visalia.city](http://www.visalia.city) or from the City Clerk.

**THE NEXT REGULAR MEETING WILL BE HELD ON MONDAY, SEPTEMBER 13, 2021**



# REPORT TO CITY OF VISALIA PLANNING COMMISSION

**HEARING DATE:** August 23, 2021

**PROJECT PLANNER:** Josh Dan, Associate Planner  
Phone No.: (559) 713-4003  
E-mail: [josh.dan@visalia.city](mailto:josh.dan@visalia.city)

**SUBJECT: Conditional Use Permit 2021-22:** A request to construct a fast food restaurant measuring 1,315 sq. ft. with drive-thru and no indoor dining, upon a parcel measuring 1.1-acres in the Neighborhood Commercial (C-N) Zone. The project site is located on the northwest corner of East Tulare Avenue and South Lovers Lane (APN: 100-120-051).

## STAFF RECOMMENDATION

Staff recommends approval of Conditional Use Permit No. 2021-22 based upon the project's consistency with the General Plan and Zoning Ordinance, by adopting the findings and conditions in Resolution No. 2021-42.

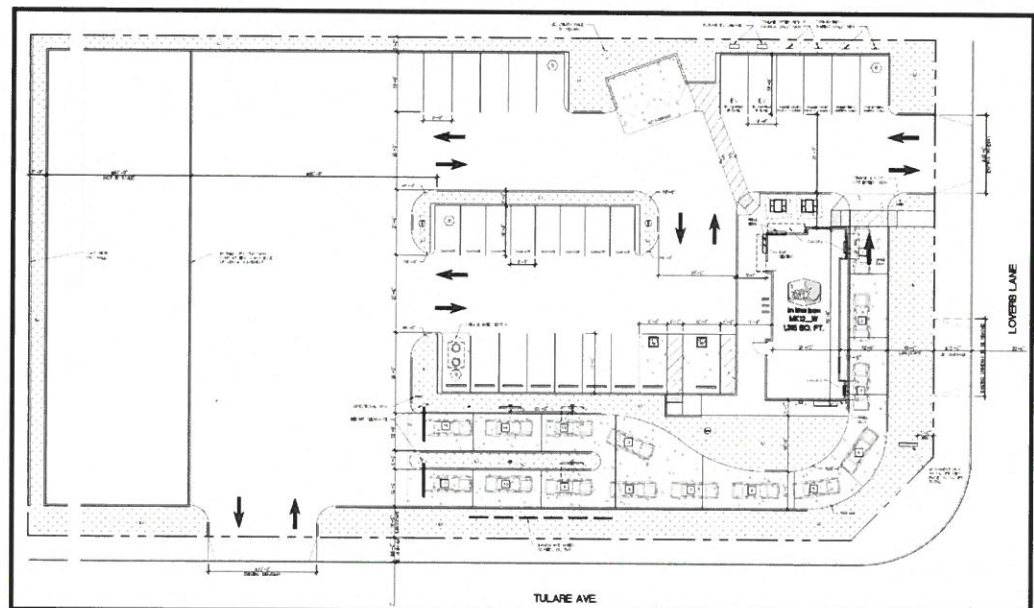
## RECOMMENDED MOTION

I move to approve Conditional Use Permit No. 2021-22 based on the findings and conditions in Resolution No. 2021-42.

## PROJECT DESCRIPTION

Conditional Use Permit No. 2021-22 is a request to construct a Jack in the Box (i.e. fast-food) restaurant. The building is proposed to measure 1,315 sq. ft. with a drive-thru lane (see Exhibit "A"). The Jack in the Box will be developed on the northwest corner of South Lovers Lane and East Tulare Avenue and will be accessible from both streets utilizing existing drive approaches to the site. Two existing commercials and a parking lot facing Lovers Lane will be razed to make way for the new development.

The fast-food restaurant, as seen in Exhibit "A", is proposed to be oriented in a north-south orientation. The drive-thru lane, as designed, can accommodate up to 14 cars. The floor plan (see Exhibit "B") depicts the interior layout of a fast-food restaurant which includes food service areas but does not include a dining room for patrons. Walk-up food service windows are included on the north side of the building. The elevations provided (see Exhibit "C" & "D") identify the building materials proposed



for this Jack in the Box restaurant.

## BACKGROUND INFORMATION

General Plan Land Use Designation:	Commercial Neighborhood
Zoning:	C-N (Neighborhood Commercial)
Surrounding Zoning and Land Use:	North: C-MU (Commercial Mixed Use) – Vacant South: Tulare Avenue, O-PA (Professional Administrative Office) – existing Visalia Wellness Center East: Lovers Lane, O-PA (Professional Administrative Office) – Vacant (entitled duplexes) West: C-N (Neighborhood Commercial) – Single family residence.
Environmental Review:	Categorical Exemption No. 2021-38
Special Districts:	
Site Plan:	2020-198

## RELATED PLANS AND POLICIES

All related plans and policies are reprinted in the attachment to this staff report entitled “Related Plans and Policies”.

## RELATED PROJECTS

There is no related project associated with the site.

## PROJECT EVALUATION

Staff recommends approval of the requested Conditional Use Permit based on project consistency with the General Plan and the Zoning Ordinance.

### Land Use Compatibility

The site, as shown below, currently has two vacant buildings which front South Lovers Lane, with parking and two drive approaches. The two previous uses were a pet grooming business and tattooist.

Fast food restaurant uses are considered a permitted use in the C-N (Neighborhood Commercial) zone. Similarly, drive-thrus are also considered a permitted use, subject to the drive-thru performance standards established in Section 17.32.162 of the VMC.

A CUP is necessary as the proposed drive-thru does not comply with subsection B(1) of the above reference section, in which the drive-thru is



within 250 feet of a residence and residentially zoned property.

At Site Plan Review, the applicant informed staff that the Jack in the Box will operate everyday of the week from 6:00 a.m. to 12:00 a.m. (midnight). The primary hours for the restaurant are Monday through Sunday from 6:00 a.m. to 8:00 p.m. There are residences located to the west and southwest (across Tulare Ave.). The Jack in the Box site plan (see Exhibit "A") places two menu boards and speaker boxes - one in each of the two drive-thru approaches - with an orientation towards Tulare Avenue. The distance from the speaker box to the closest residential structure is ±182 feet. Noises emitted from the speaker box of the drive-thru are required to meet the community noise standards as set forth in Chapter 8.36 (Noise Ordinance) of the Municipal Code. The requirement to comply with the City's Noise Ordinance is included as Condition No. 6 of the Conditions of Approval for the project.

### **Access and Circulation**

As was previously mentioned in the report, the site will utilize existing drive approaches at both S. Lovers Lane and E. Tulare Avenue. The proposed layout will eliminate a drive approach along S. Lovers Lane 30 feet north of Tulare Avenue to facilitate the drive-thru layout. Interior drive aisles will lead vehicles toward the entrance of the double lane drive-thru queue along the southern, Tulare Ave. frontage. Paving and vehicular access upon the site will be extended to just west of the Tulare Ave. access point, leaving an approximate 60-ft width of unpaved area for a potential future use.

Exhibit "E" depicts the queuing analysis provided by the applicant. Such exhibits have been requested of applicants at Site Plan Review in an effort to provide a solution for potential traffic issues stemming from the recent uptick in drive-thru use throughout the City, an adverse result of social distancing measures. In the exhibit the applicant details use of staff members listed as "line busters" which will direct patrons in their vehicles and deter from blocking drive aisles or spilling out on to the public way.

Site improvements, as depicted on the site plan (Exhibit "A"), do not include cross access to the vacant commercially zoned parcel to the north. As a result, staff has added Condition No. "5" stating that the applicant provide a paving stub-out to the north for future cross access.

### **Walls and Fencing**

At Site Plan Review, staff raised concerns with the project's proximity to the residential use to the west and the impacts a drive-thru lane use might have on the residence. Staff informed the applicant that a typical block wall would be conditioned to be erected for noise attenuation between parcels. The applicant was agreeable and calls out the proposed installation of a 7-ft high block wall along the shared property line.

### **Parking**

Zoning Ordinance Section 17.34.020.F.10 prescribes parking as one space per 150 square feet of floor area for restaurant uses. Based on this parking requirement, the Jack in the Box restaurant exceeds the parking ratio required for this commercial pad, providing 28 total stalls when only nine would be required.

### **Environmental Review**

This project is considered Categorical Exempt under Section 15303(c) of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA) for new construction a restaurant measuring less than 2,500 square feet in an urban area (Categorical Exemption No. 2021-38).

## RECOMMENDED FINDINGS

1. That the proposed project will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
  - The proposed location of the conditional use permit is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located. The project site has adequate ingress and egress and parking for the proposed fast-food restaurant.
  - The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity. The project site has adequate ingress and egress and parking for the proposed fast-food restaurant.
3. That the project is considered Categorically Exempt under Section 15303 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA), for new construction less than 10,000 square feet in urban areas (Categorical Exemption No. 2021-38).

## RECOMMENDED CONDITIONS OF APPROVAL

1. That the project be developed in substantial compliance with the comments from the approved Site Plan Review No. 2020-198.
2. That the site be developed in substantial compliance with the Site Plan in Exhibit "A".
3. That the building elevations be developed in substantial compliance with the elevations shown in Exhibit "C" and "D".
4. That landscape and irrigation plans be submitted with the building permit, designed by a professional landscape architect. In addition, landscape and irrigation plans shall comply with the State Model Water Efficient Landscape Ordinance by submittal of Landscape Documentation Packages and Certificates of Compliance certified by a California licensed landscape architect with sections signed by appropriately licensed or certified persons as required by ordinance.
5. That the applicant provides a paving stub-out for future cross access to the vacant, commercially zoned property to the north.
6. That a 7-foot-tall block wall be installed along the westerly property line, between the existing residence and the proposed development.
7. That the noise emitted from the drive-thru teller speaker box shall meet all community noise standards as identified in the City's Noise Ordinance Chapter 8.36.
8. That all signs shall require a separate building permit.
9. That all other federal, state and city codes, ordinances and laws be met.

## APPEAL INFORMATION

According to the City of Visalia Zoning Ordinance Section 17.02.145, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal with applicable fees shall be in writing and shall be filed with the City Clerk at 220 North Santa Fe Street, Visalia California. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website [www.visalia.city](http://www.visalia.city) or from the City Clerk.

### Attachments:

- Related Plans and Policies
- Resolution
- Exhibit "A" – Site Plan
- Exhibit "B" – Floor Plan
- Exhibit "C" – Building Elevations
- Exhibit "D" – Building Elevations
- Exhibit "E" – Queuing Analysis (Traffic Management Plan)
- Exhibit "F" – Photometric Plan
- Exhibit "G" – Preliminary Landscape Plan
- Site Plan Review Comments
- General Plan Land Use Map
- Zoning Map
- Aerial Photo
- Location Map

**NOTICE OF EXEMPTION**

City of Visalia  
315 E. Acequia Ave.  
Visalia, CA 93291

To: County Clerk  
County of Tulare  
County Civic Center  
Visalia, CA 93291-4593

Conditional Use Permit 2021-22

**PROJECT TITLE**

Northwest corner of S. Lovers Lane and E. Tulare Avenue.

**PROJECT LOCATION – SPECIFIC**

Visalia

**PROJECT LOCATION - CITY**

Tulare

**COUNTY**

A request to construct a fast food restaurant measuring 1,315 sq. ft. with drive-thru and no indoor dining, upon a parcel measuring 1.1-acres in the Neighborhood Commercial (C-N) Zone.

**DESCRIPTION - Nature, Purpose, & Beneficiaries of Project**

City of Visalia

**NAME OF PUBLIC AGENCY APPROVING PROJECT**

Mike Davis, 1660 N. Farmersville Blvd., Farmersville, CA 93223 ; 858-705-0258

**NAME AND ADDRESS OF APPLICANT CARRYING OUT PROJECT**

Ryan Dudley, 4-Creeks, 324 S. Santa Fe St., Visalia, CA 93292 ; 559-802-3052

**NAME AND ADDRESS OF AGENT CARRYING OUT PROJECT**

**EXEMPT STATUS:** (Check one)

- Ministerial - Section 15073
- Emergency Project - Section 15071
- Categorical Exemption - Section 15303(c)
- Statutory Exemptions- State code number:

New construction a restaurant no exceeding 2,500 square feet in floor area in an urban area.

**REASON FOR PROJECT EXEMPTION**

\_\_\_\_\_  
**Josh Dan**  
**CONTACT PERSON**

**(559) 713-4003**  
\_\_\_\_\_  
**AREA CODE/PHONE**

August 23, 2021  
\_\_\_\_\_  
**DATE**

\_\_\_\_\_  
**Brandon Smith, AICP**  
**ENVIRONMENTAL COORDINATOR**



## Related Plans and Policies

### **Chapter 17.18: PLANNED COMMERCIAL ZONES**

#### **17.18.060 Development standards in the C-N zone.**

The following development standards shall apply to property located in the C-N zone:

- A. Minimum site area: five (5) acres.
- B. Maximum building height: fifty (50) feet.
- C. Minimum required yards (building setbacks):
  - 1. Front: fifteen (15) feet;
  - 2. Rear: zero (0) feet;
  - 3. Rear yards abutting an R-1 or R-M zone district: fifteen (15) feet;
  - 4. Side: zero (0) feet;
  - 5. Side yards abutting an R-1 or R-M zone district: fifteen (15) feet;
  - 6. Street side yard on corner lot: ten (10) feet.
- D. Minimum required landscaped yard (setback) areas:
  - 1. Front: fifteen (15) feet;
  - 2. Rear: five (5) feet (except where a building is located on side property line);
  - 3. Rear yards abutting an R-1 or R-M zone district: five (5) feet;
  - 4. Side: five (5) feet (except where a building is located on side property line);
  - 5. Side yards abutting an R-1 or R-M zone district: five (5) feet;
  - 6. Street side on corner lot: ten (10) feet.

#### **D.1.163 Drive-thru lanes performance standards.**

- A. Purpose and Intent. It is the purpose of this section to specify performance standards applicable to uses that seek to incorporate a drive-thru lane in association with a specified use. This section does not apply to carwashes and lube and oil changing stations.
- B. Performance standards:
  - 1. Separation from residences. The drive-thru lane shall be no less than two hundred fifty (250) feet from the nearest residence or residentially zoned property.
  - 2. Stacking. The drive-thru lane shall contain no less than ten (10) vehicle stacking, measured from pickup window to the designated entrance to the drive-thru lane. There shall be no less than three vehicle spaces distance from the order menu/speaker (or like device) to the designated entrance to the order window.
  - 3. Circulation. No portion of the drive-thru lane shall obstruct any drive aisles or required on-site parking. The drive-thru shall not take ingress or egress from a local residential road.
  - 4. Noise. No component or aspect of the drive-thru lane or its operation shall generate noise levels in excess of 60 dB between the hours of 7:00 p.m. and 6:00 a.m. daily.
  - 5. Screening. The entire drive-thru lane shall be screened from adjacent street and residential view to a height of three feet. Screening devices shall be a combination of berming, hedge and landscape materials, and solid walls as approved by the City Planner.
  - 6. Menu boards and signage. Shall be oriented or screened to avoid direct visibility from adjacent public streets. (Ord. 2017-01 (part), 2017: Ord. 2014-07 § 3, 2014)

Table 17.25.030

Commercial, Mixed Use, Office, and Industrial Zones Use Matrix												
USE	Commercial and Mixed Use Zones						Office Zones			Industrial Zones		Special Use Standards (See identified Chapter or Section)
	C-N	C-R	C-S	C-MU	D-MU		O-PA	O-C	BRP	I-L	I	
<b>D</b>												
<b>DAYCARE, LICENSED</b>												
D1		P	P	P	P	P	P	P	P	P	P	P
D2		P	P	P	P	P	P	P	P	P	P	P
D3		C	C	C	C	C	C	C	C	C	C	C
D4		P	P	P	P	P	P	P	P	P	P	P
D5		P	P	P	P	P	P	P	P	P	P	P
D6		C	C	C	C	C	C	C	C	C	C	C
D7	In Conjunction with Primary Use	P	P	P	P	P	P	P	P	P	P	P
D8	Drive-Thru Lanes Meeting All Standards in Sect. 17.32.162	P	P	P	P	P	P	P	P	P		17.32.162
D9	Drive-Thru Lanes Not Meeting All Standards in Sect. 17.32.162	C	C	C	C	C	C	C	C	C		17.32.162
D10	Drive-Thru Lanes in Industrial Zone									C	C	17.32.161
<b>E</b>												
<b>EATING &amp; DRINKING ESTABLISHMENTS</b>												
E1	Bars/Taverns – within 300 feet of any residence/public use	C	C		C							
E2	Bars/Taverns – not within 300 feet of any residence/public use		P		C							

P = Use is Permitted by Right  
 T = Use Requires Temporary Use Permit  
 C = Use Requires Conditional Use Permit  
 Blank = Use is Not Allowed

RESOLUTION NO. 2021-42

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2021-22, A REQUEST TO CONSTRUCT A FAST FOOD RESTAURANT MEASURING 1,315 SQ. FT. WITH DRIVE-THRU AND NO INDOOR DINING, UPON A PARCEL MEASURING 1.1-ACRES IN THE NEIGHBORHOOD COMMERCIAL (C-N) ZONE. THE PROJECT SITE IS LOCATED ON THE NORTHWEST CORNER OF EAST TULARE AVENUE AND SOUTH LOVERS LANE (APN: 100-120-051).

**WHEREAS**, Conditional Use Permit No. 2021-22 is a request to construct a fast food restaurant measuring 1,315 sq. ft. with drive-thru and no indoor dining, upon a parcel measuring 1.1-acres in the Neighborhood Commercial (C-N) Zone. The project site is located on the northwest corner of East Tulare Avenue and South Lovers Lane (APN: 100-120-051); and

**WHEREAS**, the Planning Commission of the City of Visalia, after duly published notice, did hold a public hearing before said Commission on August 23, 2021; and

**WHEREAS**, the Planning Commission of the City of Visalia finds the Conditional Use Permit to be in accordance with Section 17.38.110 of the Zoning Ordinance of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and

**WHEREAS**, the Planning Commission finds the project to be Categorically Exempt consistent with the California Environmental Quality Act (CEQA) and City of Visalia Environmental Guidelines.

**NOW, THEREFORE, BE IT RESOLVED** that the project is exempt from further environmental review pursuant to CEQA Section 15303.

**BE IT FURTHER RESOLVED** that the Planning Commission of the City of Visalia makes the following specific findings based on the evidence presented:

1. That the proposed project will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
  - a. The proposed location of the conditional use permit is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located. The project site has adequate ingress and egress and parking for the proposed fast-food restaurant.
  - b. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity. The project site has adequate ingress and egress and parking for the proposed fast-food restaurant.

3. That the project is considered Categorically Exempt under Section 15303 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA), for new construction less than 10,000 square feet in urban areas (Categorical Exemption No. 2021-38).

**BE IT FURTHER RESOLVED** that the Planning Commission hereby approves the Conditional Use Permit on the real property here described in accordance with the terms of this resolution under the provisions of Section 17.38.110 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the project be developed in substantial compliance with the comments from the approved Site Plan Review No. 2020-198.
2. That the site be developed in substantial compliance with the Site Plan in Exhibit "A".
3. That the building elevations be developed in substantial compliance with the elevations shown in Exhibit "C" and "D".
4. That landscape and irrigation plans be submitted with the building permit, designed by a professional landscape architect. In addition, landscape and irrigation plans shall comply with the State Model Water Efficient Landscape Ordinance by submittal of Landscape Documentation Packages and Certificates of Compliance certified by a California licensed landscape architect with sections signed by appropriately licensed or certified persons as required by ordinance.
5. That the applicant provides a paving stub-out for future cross access to the vacant, commercially zoned property to the north.
6. That a 7-foot-tall block wall be installed along the westerly property line, between the existing residence and the proposed development.
7. That the noise emitted from the drive-thru teller speaker box shall meet all community noise standards as identified in the City's Noise Ordinance Chapter 8.36.
8. That all signs shall require a separate building permit.
9. That all other federal, state and city codes, ordinances and laws be met.

EXHIBIT "A"



**In the box**  
 1837 SPEERMAN CENTER BLVD  
 SAN DIEGO, CA 92108  
 (619) 444-1111  
 www.inthebox.com

**PM DESIGN**  
 ARCHITECTURE  
 3800 LA JOLLA VILLAGE DRIVE  
 SAN DIEGO, CA 92122  
 (619) 444-1111

**DATE:** APRIL 2017  
**RELEASE:** P.M. UPDATES  
**SUBMITAL DATE:** 1, 2, 3  
**REVISIONS:**

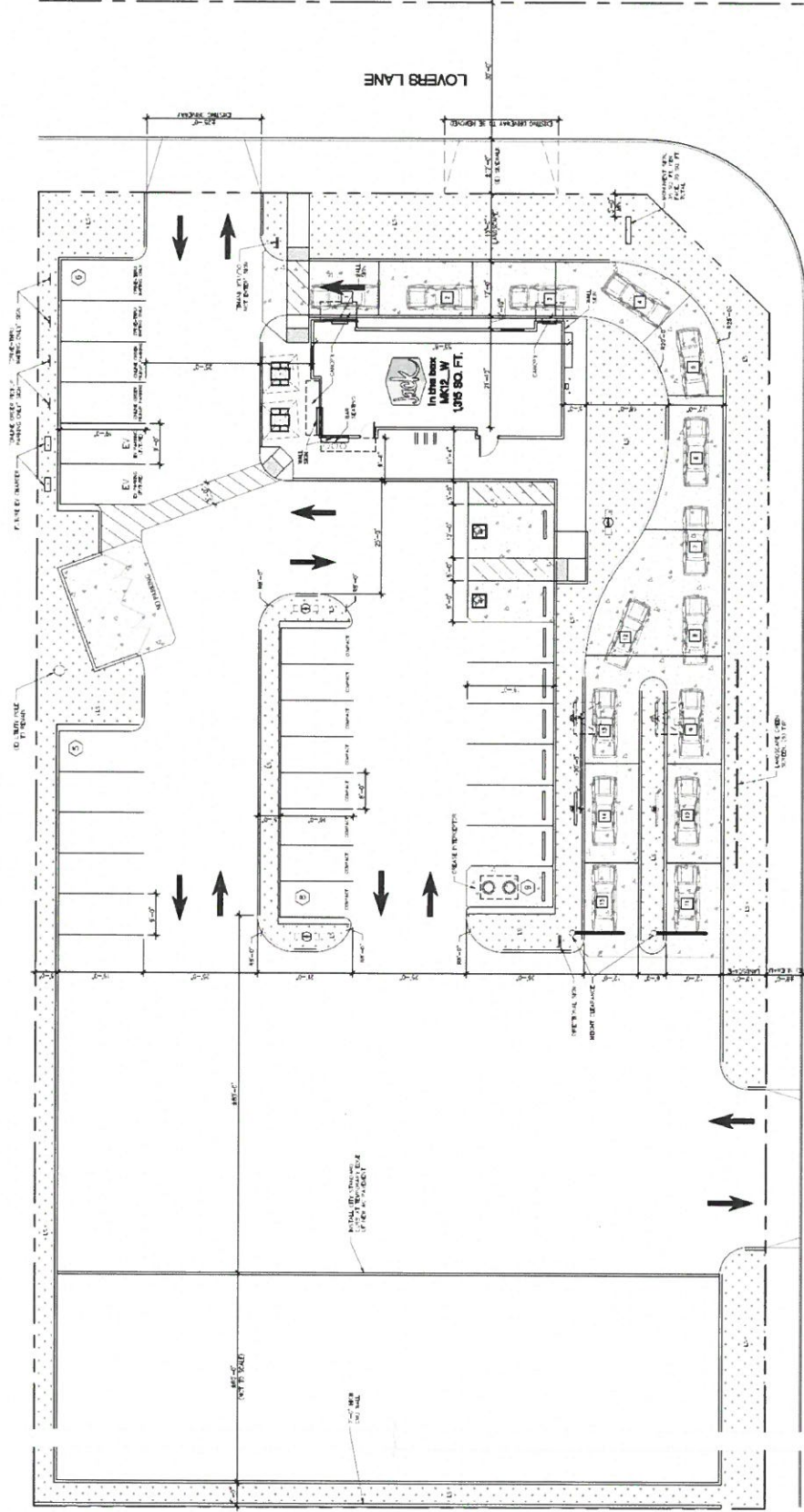
**REVISIONS:**

**DATE:**

**DATE:** APRIL 2017  
**RELEASE:** P.M. UPDATES  
**SUBMITAL DATE:** 1, 2, 3  
**REVISIONS:**

**REVISIONS:**

**DATE:**



**PRELIMINARY SITE INFORMATION**

ZONING:	C-4 (NEIGHBORHOOD COMMERCIAL)
OCCUPANCY:	R - RESTAURANT
SCENARIO:	4 OUTDOOR SEATS 100 SEATING SPACES
BUILDING AREA:	1,315 SQ. FT.
PARKING REQUIRED:	1 SPACE PER 100 SQ. FT. = 13.15 SQ. FT. = 13 SPACES
PARKING PROVIDED:	27 ADJACENT SPACES 27 PARKING SPACES 27 TOTAL SPACES

**PROPOSED SITE PLAN**  
 SCALE: 3/32" = 1'-0"

**TULARE AVE.**

**LIVERS LANE**

**NORTH**



# EXHIBIT "C"

## GENERAL NOTES

- A. ALL SHIMAS IS UNDER SEPARATE SUBMITTAL AND PERMIT (N.I.C)
- B. C.J = PLASTER CONTROL JOINT
- C. ALL PLASTER ACCESSORIES, FLASHING, ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES (U.D.M)
- D. ALL EXTERIOR WALL OPENINGS FOR RECEPTIONS, ROSE BERR, ETC. SHALL BE FINISHED WITH TOP PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES.
- E. R.J = 3/4" PLASTER REVEAL JOINT
- F. SEE FINISH SCHEDULE ON SHEET ABO. 04-0 & 04-2 FINISHES INTERIOR FINISHES ARE DESIGNATED BY (C.F.W.)
- G. ALL OUTSIDE CONDENS WITH CROSSVILLE SPENEASTY TO GET (C.F.W.)

## EXTERIOR FINISH SCHEDULE

1. MATERIAL/FINISH  
2. COLOR
- MATERIAL/FINISH**
- 01 EXTERIOR GROUT PLASTER-SAND FLOAT FINISH (SEE SPECIFICATIONS)
  - 02 INTERIOR COLOR
  - 03 SHOWN WILLIAMS ACRYLIC COATING
  - 04 EXTERIOR INSULATION FINISHING SYSTEM (EFS)
  - 05 CANOPY BY SEN FIBER, SEE DETAIL (E-01) (E-02)
  - 06 GREASE TANK/BAK OIL SYSTEM BOX
  - 07 ALUMINUM STOREFRONT SYSTEM (SEE SPECS FOR MORE INFORMATION)
  - 08 1" CLEAR INSULATED GLASS
  - 09 1" CLEAR INSULATED GLASS W/ SOLARIAN TONEL COATING
  - 10 1" CLEAR INSULATED GLASS
  - 11 ANTI GRAFFITI FILM
  - 12 SOLARIAN 60 COATING
  - 13 EXTERIOR GROUT PLASTER FINISH COAT OVER CONCRETE CURB
  - 14 INTERNALLY ILLUMINATED SHIMAZ (O.F.O.I. NOT PART OF THIS PERMIT)
  - 15 WALL MOUNTED LIGHT FIXTURE, SEE DETAIL (A-04) FOR FUTURE ATTACHMENT
  - 16 6" PORCELAIN WALL TILE (C.C-15), SEE SPECIFICATIONS
  - 17 RECESSED, LOCKABLE, NON-PREZE HOSE-REEL ENCLOSURE
  - 18 1/2" ALUMINUM WALL ACCESS WITH 1/2" HIGH LETTERS (AS REQUIRED PER LOCAL JURISDICTION) (C.F.W.)
  - 19 VAN ELECTRICAL SERVICE
  - 20 EXPANSION JOINT, SEE DETAIL (A-02)
  - 21 HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
  - 22 ALUMINUM COATING, SEE METALS L.A. 27-080
  - 23 CO2 FILL BOX, SEE DETAIL (A-02)
  - 24 RULF OIL FULL BOX, SEE DETAIL (A-02)
  - 25 DRIVE THRU/CASHER WINDOW, SEE A.L.O. & A.L.L. (E-03) & (E-07)
  - 26 WALK-UP ORDER WINDOW, SEE A.L.O. & A.L.L.
  - 27 CANTEENED CANOPY BY G.C. W/WRAP FASION W/ SEAMLESS METAL ROOFING, SEE METALS L.A. 27-080 FOR SPECIFICATIONS. COLOR TO MATCH ADJACENT METAL FINISHING WORK (C.F.W.)
  - 28 3/4" ALUMINUM PLASTER REVEAL, SEE DETAIL (A-02)
  - 29 EXTERIOR WALL PACK LIGHT FIXTURE (E-01)
  - 30 EXTERIOR WALL PACK LIGHT FIXTURE BY "METAL EYE"
  - 31 "ANCHOR-TITE STANDARD FASION" BY "METAL EYE", COLOR: MUSKET GRAY, SEE DETAIL (A-02)
  - 32 CORRUGATED WALL PANELS (O.F.O.I) (E-01)
  - 33 DOWNSPOUT OUTLET, SEE DETAIL (E-02)
  - 34 DOOR PULL, SEE DOOR SCHEDULE (E-01)
  - 35 HURD-BOARD AT INTERIOR OF G.C. FRAMED CANOPY, SEE DETAIL (E-01) FOR SPECIFICATIONS
  - 36 HOSE TOP MECHANICAL EQUIPMENT, SEE MECHANICAL & HOOD DWS
  - 37 VINYL SIGNAGE TO BE SINGLE DECAL (E-01)
  - 38 WOOD SIGN (E-01) OR (E-02)
  - 39 WOOD SIGN (E-01)
  - 40 FROSTED GLAZING, SEE A.L.O. & A.L.L. FOR INFORMATION
  - 41 "TAY HERE" BLAUZE SIGN (E-01)
  - 42 "TRUCK-UP" BLAUZE SIGN (E-01)

**DATES**

RELEASE: APRIL 2022

P.M. REVISES:

SUBMITTAL DATE:

- 1
- 2
- 3

**REVISIONS**

CONSTRUCTION:

DATE: APRIL 2022

PROJECT: 174" = 1'-0"

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

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**DATES**

RELEASE: APRIL 2022

P.M. REVISES:

SUBMITTAL DATE:

- 1
- 2
- 3

**REVISIONS**

CONSTRUCTION:

**PM DESIGN**

Architectural Solutions Group

4455 DEWING DRIVE

PO BOX 1417

ROCKVILLE, MD 20850

TEL: 301.441.8100

WWW.PMDDESIGN.COM

Not A Registered Architect



**SITE INFORMATION**

REG. TYPE: MCT-2

JOB #: 27-6

ADDRESS: T-LAKE AVE & T-LAKE DRIVE

MAP: M-100, CA

OWNER BY: KLASTANME

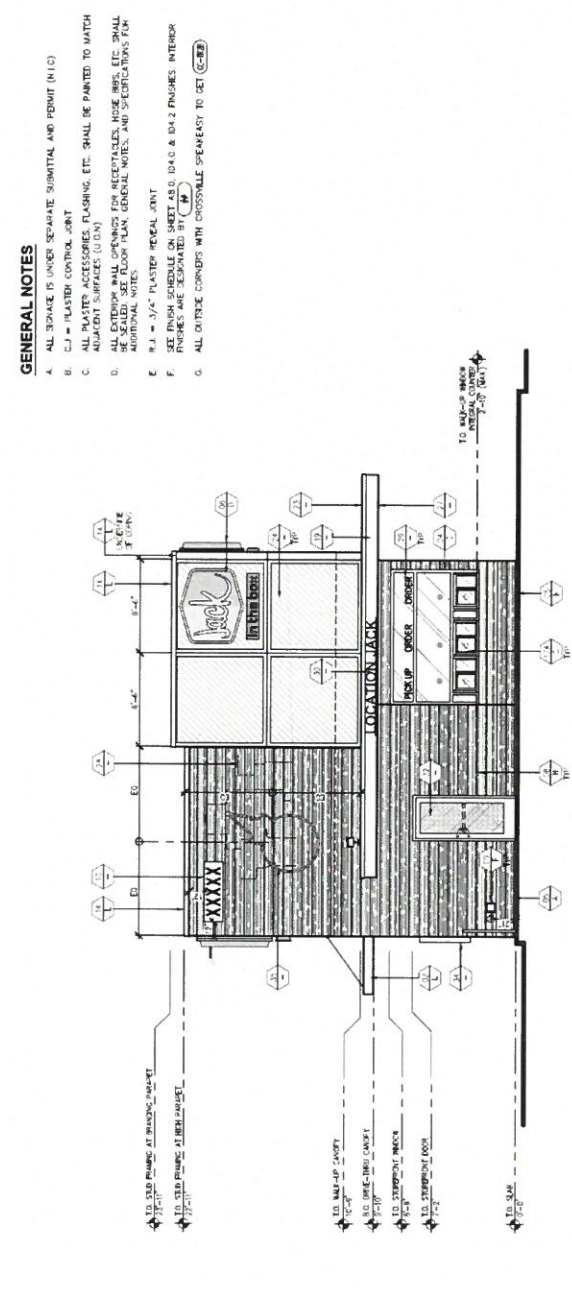
PROJECT #: WIT2020.0

SCALE: AS NOTED

**EXTERIOR ELEVATIONS**

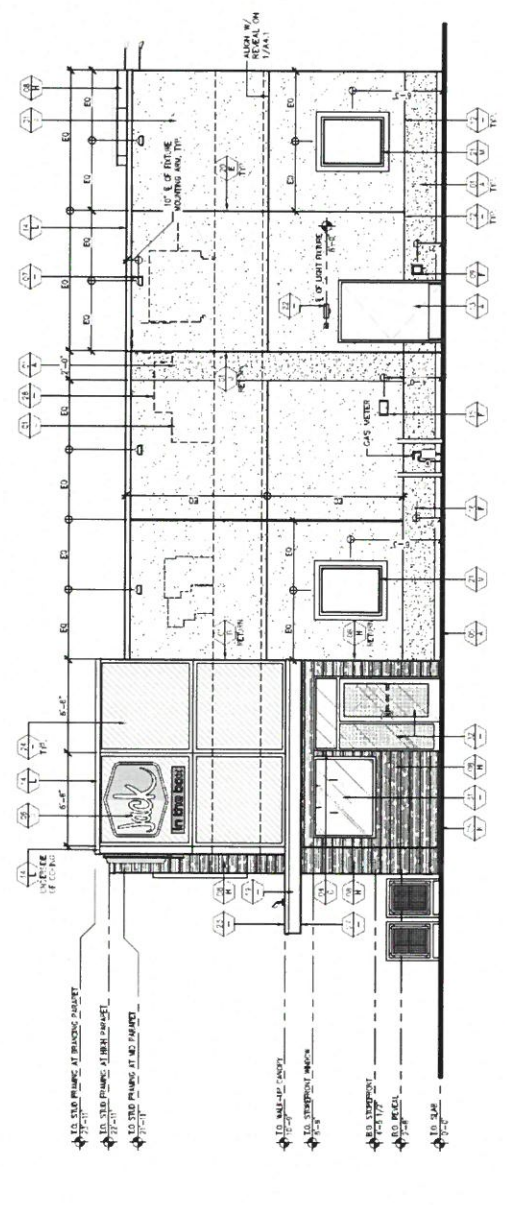
WALK-UP

**A4.0**



1 WALK-UP WINDOW ELEVATION

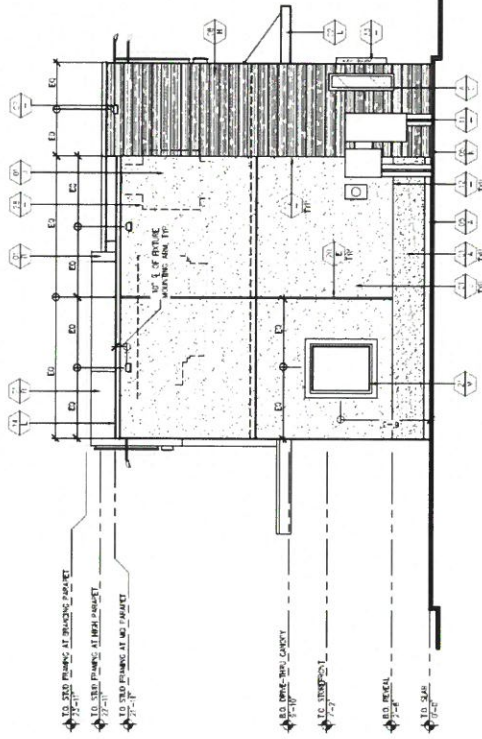
SCALE: 1/4" = 1'-0"



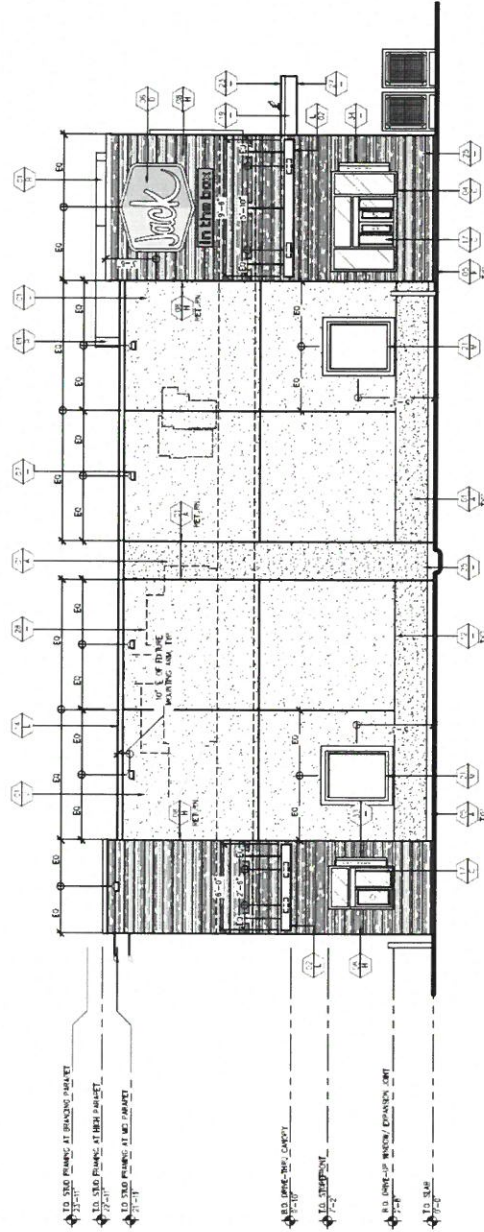
2 SIDE ENTRY ELEVATION

SCALE: 1/4" = 1'-0"

# EXHIBIT "D"



1 REAR ELEVATION  
SCALE: 1/4"=1'-0"



2 DRIVE-THRU ELEVATION  
SCALE: 1/4"=1'-0"

## GENERAL NOTES

- A. ALL SIDING IS UNDER SEPARATE SUBMITAL AND PERMIT (N.C.)
- B. C.J. = PLASTER CONTROL JOINT
- C. ALL PLASTER ACCESSORIES, FLASHING, ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES (U.O.N.)
- D. ALL EXTERIOR WALL OPENINGS FOR RECEPTS, HOSE BBS, ETC. SHALL BE FINISHED TO MATCH EXTERIOR FINISH (U.O.N.)
- E. R.I. = 3/4" PLASTER RECAL JOINT
- F. SEE FINISH SCHEDULE ON SHEET A4.0 & B4.0 FINISHES INTERIOR FINISHES ARE DESIGNATED BY (I.F.)
- G. ALL OUTSIDE CONDENS WITH CORONA SPLIT SYSTEM TO GET (G.E.N.)

## EXTERIOR FINISH SCHEDULE

- | MATERIAL/FINISH  | COLOR |
|--|-------|
| EXTERIOR CEMENT PLASTER-SAND FLIGHT FINISH (SEE SPECIFICATIONS)  |       |
| INTERIOR WALLS   |       |
| ✓ SHEKIN WILLIAMS ACRYLIC COATING  |       |
| ✓ EXTENSOR INSULATION FINISHING SYSTEM (EFS)   |       |
| 07 CANOPY BY SEN VENDOR. SEE DETAIL 14.04.01 (E-07) (E-07)   |       |
| 03 GREASE TANK/BLK OIL SYSTEM BOX  |       |
| 04 ALUMINUM STRENGTHENMENT SYSTEM (SEE SPECS FOR MORE INFORMATION)   |       |
| ✓ 1" CLEAR INSULATED GLASS W/ SOLARBAN TONAL COATING   |       |
| ✓ 1" CLEAR INSULATED GLASS   |       |
| ✓ 1" CLEAR INSULATED GLASS W/ SOLARBAN TONAL COATING   |       |
| ✓ 1" CLEAR INSULATED GLASS W/ SOLARBAN 60 COATING  |       |
| ✓ ART GRAPHER FILM   |       |
| EXTERIOR CEMENT PLASTER FINISH COAT OVER CONCRETE CURB INTERNALLY ILLUMINATED SIGNAGE (OF DO NOT PART OF THIS PERMIT)                                  |       |
| 07 WALL MOUNTED LIGHT FIXTURE. SEE DETAIL 14.04.01 FOR FINISH ATTACHMENT   |       |
| 08 4" PORCELAIN WALL TILE (C-C-T). SEE SPECIFICATIONS  |       |
| 09 RECESSED, LOCKABLE, NON-FREEZE HIPE-HIP ENCLOSURE ILLUMINATED ADDRESS WITH 12" HIGH LETTERS (AS REQUIRED PER LOCAL CODE REQUIREMENTS)               |       |
| 12 EXPANSION JOINT. SEE DETAIL 14.04.02  |       |
| 13 HOLLOW METAL DOORS AND FRAMES, VESSELAINOUS TRIM  |       |
| 14 ALUMINUM COATING. SEE DETAILS 1.8-2.14.03.0   |       |
| 16 BLK OIL FILL BOX. SEE DETAIL 14.04.02   |       |
| 17 DRIVE THRU/CASHIER WINDOW. SEE A.L.D. & A.L.L. (E-07) & (E-07)  |       |
| 17A WALK-UP ORDER WINDOW. SEE A.L.D. & A.L.L.  |       |
| 18 MOUNT LIGHTING FIXTURE WITHIN CANOPY  |       |
| 19 CANTILEVERED CANOPY BY G.C. WRAP FASCIA W/ SEAMLESS METAL FINISH. SEE DETAIL 14.04.01 FOR FINISH SPECIFICATIONS COLOR TO MATCH ADJACENT METAL WORK. |       |
| 20 3/4" ALUMINUM PLASTER REVEAL. SEE DETAIL 14.04.02   |       |
| 21 DISPLAY POSTER PANEL & SURROUND. SEE DETAIL 2.8-2.14.02   |       |
| 22 EXTERIOR WALL PACK LIGHT FIXTURE (E-07)   |       |
| 23 "ANCHOR-HITE STANDARD FASCIA" BY "METAL ERA". COLOR: MURKET GRAY. SEE DETAIL 14.04.01   |       |
| 24 CORRUGATED WALL PANELS (OF DO) (E-07)   |       |
| 26 DOWNSPOUT OUTLET. SEE DETAIL 6/49.3   |       |
| 27 HATCH-HOOD AT INTERIOR OF G.C. FRAMED CANOPY. SEE DETAIL 14.04.01 FOR FINISH SPECIFICATIONS COLOR TO MATCH ADJACENT METAL WORK.                     |       |
| 28 WALK-UP MECHANICAL CO. FINISH. SEE MECHANICAL & HOOD TRMS   |       |
| 30 WALK-UP WINDOW. SEE DETAIL 14.04.01 (E-07)  |       |
| 31 WINDOW SIGN (E-07) OR (E-07)  |       |
| 32 FROSTED GLAZING. SEE A8.0 & A8.1 FOR INFORMATION  |       |
| 33 "TAY HEHE" BLAKE SIGN (E-07)  |       |
| 34 "TROP-UP" BLAKE SIGN (E-07)   |       |

## COLORS

- A. SHEKIN WILLIAMS: SW 7020 "BLACK FLY"
- B. SHEKIN WILLIAMS: SW 6321 "HEAVY"
- C. STANDARD STONEFRONT: CLEAR ANODIZED
- D. WHITE TEXT ON RED BACKGROUND
- E. CLEAR ANODIZED
- F. COLOR/FINISH TO MATCH ADJACENT SURFACE
- G. SHEKIN WILLIAMS: SW 7018 "DORSET"
- H. CROSSVILLE SPEARHEAD AV2112 SWEET GEORGIA BROWN, WITH SAND BEDE, H18 DROUT
- I. SHEKIN WILLIAMS: SW 7015 "MIDNIGHT GRAY"
- J. NATURAL CONCRETE GRAY
- K. RAL-7039 QUARTZ GREY
- L. RAL-7022 IMPRA GRAY

**In the box**  
15515 JAY BLVD  
JAY, OK 73159  
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**PM DESIGN**  
ARCHITECTURAL SOLUTIONS GROUP  
4100 DEWITT DRIVE  
HOUSTON, TEXAS 77061  
713-461-1111  
www.pmdesign.com  
P.O. Box 100000  
Houston, Texas 77208

**SITE INFORMATION**  
JOB TYPE: 14.04.01  
JOB #: 273  
ADDRESS: 11 LAKE AVE & 11TH ST  
MUNICIPALITY: MARIETTA, GA  
DRAWN BY: XLASTNAME  
PROJECT #: WTC2020.0  
SCALE: AS NOTED

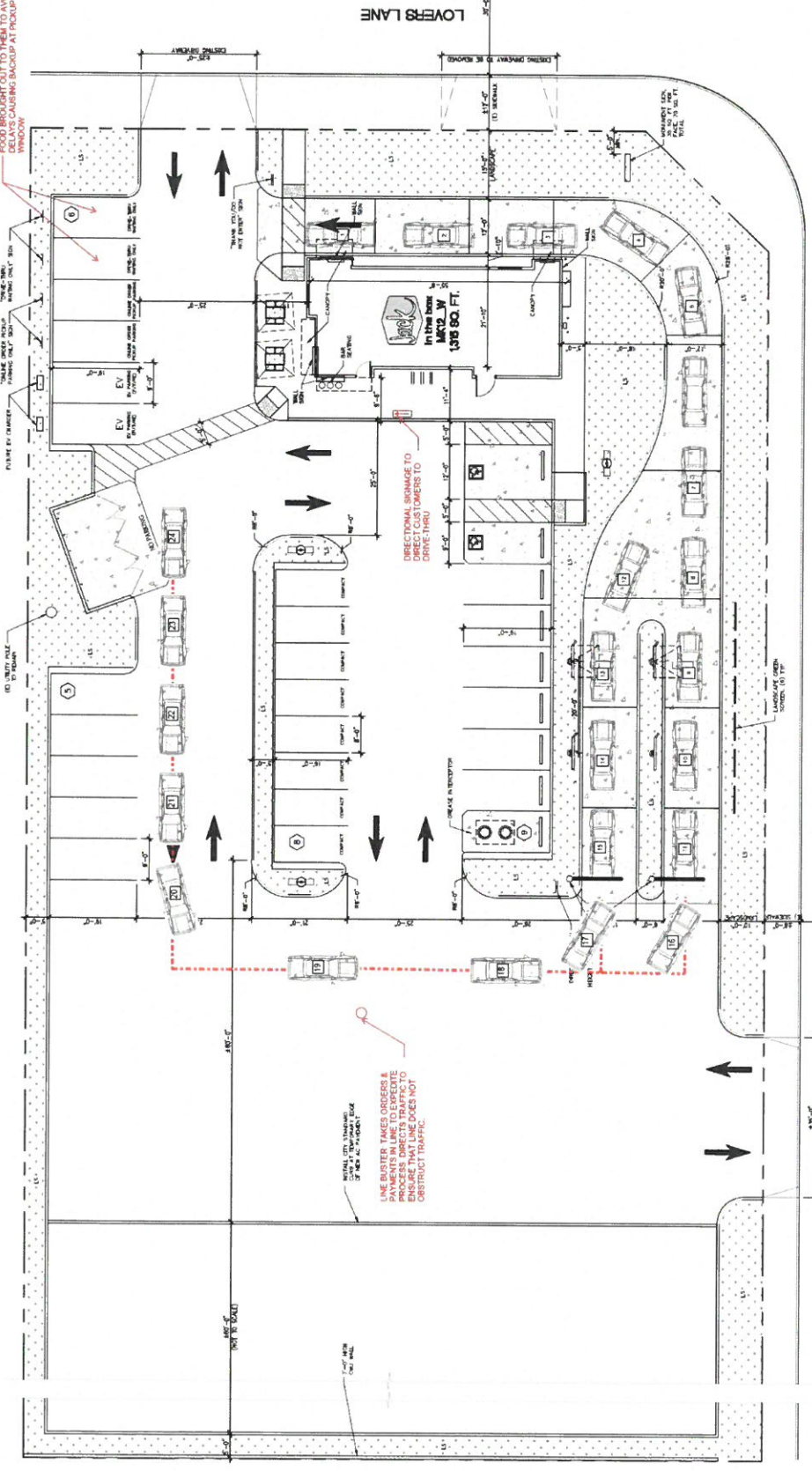
**EXTERIOR ELEVATIONS**  
WALKUP  
**A4.1**



# EXHIBIT "E"

## TRAFFIC CONTROL PLAN

UNDER CERTAIN CIRCUMSTANCES, DRIVE THRU CUSTOMERS MAY BE INSTRUCTED TO PARK AND WAIT AND HAVE DELAYS CAUSING BACKUP AT PICKUP WINDOW




TULARE AVE.



## PROPOSED SITE PLAN

SCALE - 3/32" = 1'-0"

PRELIMINARY SITE INFORMATION	
ZONING:	C-4 (RESUBMITTED COMMERCIAL)
OCCUPANT:	R - RESTAURANT
SECTING:	NO OUTSIDE PARKING
BUILDING AREA:	1,315 SQ FT
PARKING REQUIRED:	1 SPACE PER 150 SQ FT = 138/150 = 0.92 SPACES
PARKING PROVIDED:	27 TOTAL SPACES
	2 ADA ACCESSIBLE SPACES
	2 DRIVE-THRU PICKUP SPACES
	2 DRIVE-THRU DELIVERY SPACES
	76 TOTAL SPACES



**Jack In the Box**  
8437 SPECTRUM CENTER BLVD  
SAN DIEGO, CA 92123  
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DATES	
RELEASE:	
P.M. UPDATE:	
SUBMITTAL DATE:	1, 2, 3

REVISIONS	
NO.	DESCRIPTION

SITE INFORMATION	
BUILDING TYPE:	UNIT 3
JOB #:	
SHEET:	
ADDRESS:	TULARE AVE. & LOVERS LANE SAN DIEGO, CA
DRAWN BY:	
PROJECT #:	17070001.0
SCALE:	3/32" = 1'-0"

**PROPOSED  
SITE PLAN  
SD1.0**

# EXHIBIT "F"

Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
■	3	SL6	2 @ 180°	0.990	51571	420	OSQ-HO-A-NM-AHE-SL6-40W-UL-SV W/ OSQ-HO-DASY

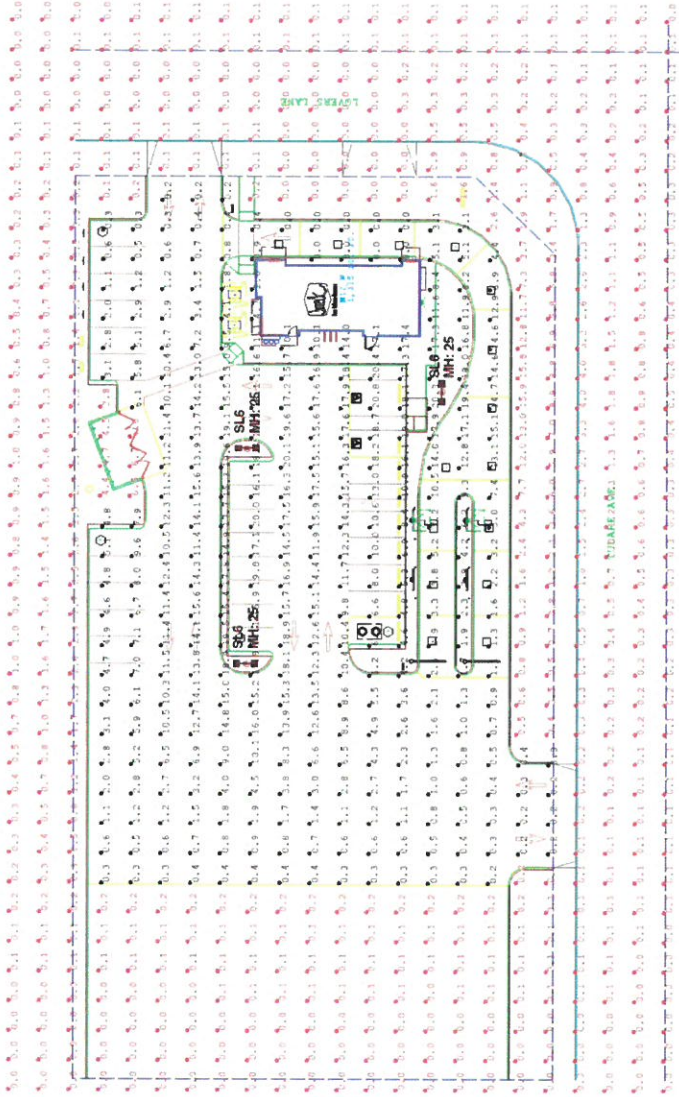
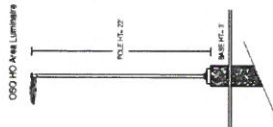
Calculation Summary (Footcandles calculated using predicted lumen values @ 50% life of operation)

Label	Units	Avg	Min	Max	Avg/Min	Max/Min
PAVED AREA	Fc	7.76	20.8	0.0	N.A.	N.A.
SITE	Fc	0.78	15.9	0.0	N.A.	N.A.

Site Schedule  
 (R) SSS6-4-11-22-02-02-BS-2018-SV (22' x 4" STEEL SQUARE POLE 2@180)  
 Proposed poles meet 120 MPH sustained winds.

Additional Equipment:  
 (6) OSQ-HO-DASY (DIRECT ARM MOUNT)

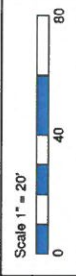
\*\*\* CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER.\*\*\*



**CREE LIGHTING**  
 A COMPANY OF ORNL INDUSTRIES, INC.  
 2801 Washington Ave, Sparks, NV 89434 | 775.750.2200 | www.cree.com

Project Name: Jack in the Box 1145 S. Lovers Lane, Visalia, CA 92392  
 SR-35609 | Footcandles calculated at grade | Filename: JIB-210512VSCALJ.S.AGI

Layout By:  
 Linda Schaller  
 Date: 5/12/2021





MEETING DATE February 24, 2021  
SITE PLAN NO. 2020-198-C  
PARCEL MAP NO.  
SUBDIVISION  
LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

- RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.
- During site plan design/policy concerns were identified, schedule a meeting with
- Planning  Engineering prior to resubmittal plans for Site Plan Review.
- Solid Waste  Parks and Recreation  Fire Dept.
- 

**REVISE AND PROCEED** (see below)

- A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.
- Submit plans for a building permit between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday.

Your plans must be reviewed by:

- |  |  |
|--|--|
| <input type="checkbox"/> CITY COUNCIL                      | <input type="checkbox"/> REDEVELOPMENT   |
| <input checked="" type="checkbox"/> PLANNING COMMISSION    | <input type="checkbox"/> PARK/RECREATION |
| <input checked="" type="checkbox"/> Conditional Use Permit |  |
| <input type="checkbox"/> HISTORIC PRESERVATION             | <input type="checkbox"/> OTHER –TCUP     |

**ADDITIONAL COMMENTS:**

If you have any questions or comments, please call Adrian Bubalcaba at (559) 713-4271  
*Site Plan Review Committee*

# SITE PLAN REVIEW COMMENTS

**Cristobal Carrillo, Planning Division (559) 713-4443**

Date: February 24, 2021

SITE PLAN NO: 2020-198 - C  
PROJECT TITLE: Jack In The Box  
DESCRIPTION: Remove existing buildings and construct new drive thru restaurant  
APPLICANT: Mike Davis  
PROP. OWNER: Doucette Carl E.  
LOCATION TITLE: 1145 S. Lovers Lane  
APN TITLE: 100-120-051  
GENERAL PLAN: Commercial Neighborhood  
ZONING: C-MU – Commercial Mixed Use

**Rule 9510** – This project is subject to the Rule 9510 requirements of the San Joaquin Valley Air Pollution Control District – see District website for information.

## **Planning Division Recommendation:**

- Revise and Proceed  
 Resubmit

## **Project Requirements**

- Conditional Use Permit
- Building Permit

### **PROJECT SPECIFIC INFORMATION:** February 24, 2021

1. Drive-thru queuing shall be designed to prevent vehicles from stacking in areas where they will obstruct driveways and drive aisles. The project proposes the placement of a large unobstructed paved area north of the driveway along Tulare Avenue. There is potential that vehicles from the drive-thru could obstruct traffic entering from the Tulare Avenue ingress/egress, possibly resulting in blocking of parking areas and vehicle queuing in the right of way. The applicant shall address these concerns in the Conditional Use Permit submittal and Queuing Analysis.
2. Note that cross access to the commercial parcel to the north may be encouraged in the future.
3. The location of the trash enclosure meets the requirements of the City of Visalia Solid Waste Division.
4. See previous comments.

### **PROJECT SPECIFIC INFORMATION:** February 3, 2021

1. Staff shall submit a site plan showing the entire property and its interaction with neighboring uses.
2. Use of the site for a "Drive-thru Restaurant" is permitted in the C-N Zone. However, a Conditional Use Permit is required for not meeting the drive-thru performance standards expressed in VMC 17.32.162, which will require the applicant to provide:
  - a. Building elevations. (The building shall not exceed a height of 50 feet.)
  - b. The applicant shall provide a landscape and irrigation plan. (The landscape plan shall show that a minimum six percent of the parking lot is landscaped.)
3. The applicant shall also provide floor plans with the Conditional Use Permit application.
4. A Photometric plan shall be submitted with the Conditional Use Permit application. The Photometric plan shall indicate all building, parking lot, and signage illumination and shall verify that residential areas will not be negatively impacted by the proposed use.
5. A Queuing Analysis shall be provided with the Conditional Use Permit submittal.
6. The applicant shall provide a 5 ft. landscape setback along the western property boundary.

7. A 15-foot landscape setback shall be required along S. Lovers Lane and a 10-foot landscape setback shall be provided along E. Tulare Avenue.
8. The applicant shall provide a 7 ft. tall block wall along the western property boundary.
9. The applicant shall provide a City standard curb at the line identified on the site plan as "Temporary Edge of New AC Pavement".
10. Monument signs shall have a minimum 5-foot setback from property lines.
11. Screening for the drive-thru and menu boards shall be indicated on the site plan.
12. All signage shall require it's own separate Building Permit and shall comply with VMC 17.48.110(C)
13. A landscaping and irrigation plan shall be provided with the Building Permit submittal.
14. The trash enclosure shall be placed in compliance with the requirements of the Solid Waste Division.
15. Meet all other codes and ordinances.

**PROJECT SPECIFIC INFORMATION:** December 9, 2020

1. Staff is requesting the applicant return with a site plan showing the entire property and its interaction with neighboring uses.
2. Use of the site for a "Drive-thru Restaurant" is permitted in the C-N Zone. However, a Conditional Use Permit is required for not meeting the drive-thru performance standards expressed in VMC 17.32.162, which will require the applicant to provide:
  - a. Building elevations. (The building shall not exceed a height of 50 feet.)
  - b. The applicant shall provide a landscape and irrigation plan. (The landscape plan shall show that a minimum six percent of the parking lot is landscaped.)
  - c. The applicant shall provide a lighting plan showing the location of all onsite lighting. (Onsite lighting shall not produce glare onto neighboring residential areas.)
3. A 15-foot landscape setback shall be required along S. Lovers Lane and a 10-foot landscape setback shall be provided along E. Tulare Avenue.
4. Monument signs shall have a minimum 5-foot setback.
5. All signage by separate permit and shall comply with VMC 17.48.110(C)
6. Meet all other codes and ordinances.

**17.18.060 Development standards in the C-N zone.**

The following development standards shall apply to property located in the C-N zone:

- A. Minimum site area: five (5) acres.
- B. Maximum building height: fifty (50) feet.
- C. Minimum required yards (building setbacks):
  1. Front: fifteen (15) feet;
  2. Rear: zero (0) feet;
  3. Rear yards abutting an R-1 or R-M zone district: fifteen (15) feet;
  4. Side: zero (0) feet;
  5. Side yards abutting an R-1 or R-M zone district: fifteen (15) feet;
  6. Street side yard on corner lot: ten (10) feet.
- D. Minimum required landscaped yard (setback) areas:
  1. Front: fifteen (15) feet;
  2. Rear: five (5) feet (except where a building is located on side property line);
  3. Rear yards abutting an R-1 or R-M zone district: five (5) feet;
  4. Side: five (5) feet (except where a building is located on side property line);

5. Side yards abutting an R-1 or R-M zone district: five (5) feet;
  6. Street side on corner lot: ten (10) feet.
- 

**Parking:**

1. Provide parking spaces based Zoning Ordinance Section 17.34.020
2. 30% of the required parking stalls may be compact and shall be evenly distributed in the lot.
3. Provide handicapped space(s).
4. An 80 sq. ft. minimum landscape well is required every 10 contiguous parking.
5. A planter is required every other row. (5-9 feet in width containing trees on twenty (20) foot centers.
6. No repair work or vehicle servicing allowed in a parking area.
7. It is highly recommended that bicycle rack(s) be provided on site plan.
8. No parking shall be permitted in a required front/rear/side yard.
9. Design/locate parking lot lighting to deflect any glare away from abutting residential areas.
10. Parking lot to be screened from view by a 3-foot tall solid wall or shrubs when located adjacent to a public street or when across from residential property.
11. Front carport area to have a 3 to 6-foot tall screening wall.
12. Provide shopping cart storage areas on site plan.
13. Provide transit facilities on site plan.
14. Provide shared parking/access agreements
15. Provide off-street loading facility.
16. The project should provide preferential parking spaces for carpools and vanpools to decrease the number of single occupant vehicle work trips. The preferential treatment could include covered parking spaces or close-in parking spaces, or designated free parking, or a guaranteed space for the vehicle.
17. Provide a "No Parking" (dead-head) stall at the end of the parking row (for rows over 6 stalls deep with no outlet) to allow vehicles to turn around rather than backing out if no stalls are available.

**Fencing and Screening:**

1. Provide screening for roof mounted equipment (Zoning Ordinance Section 17.30.130.F).
2. Provide second-story screening for all windows that may intrude into adjacent residential properties. Details and cross-sections will be required to be reviewed and approved prior to issuance of building permits (Zoning Ordinance Section 17.30.130.F).
3. Provide screened trash enclosure with solid screening gates (Zoning Ordinance Section 17.30.130.F).
4. Provide solid screening of all outdoor storage areas. Outdoor storage to be screened from public view with solid material (Zoning Ordinance Section 17.30.130.F).
5. Outdoor retail sales prohibited.
6. Cross Sections need to be provided for site Plan Review if there is greater than an 18-inch difference between the elevation of the subject site and the adjacent properties, and the sections would be required for the public hearing process also.
7. All outdoor storage areas are to be identified on the site plan and they are to be shown with screening (fencing). No materials may be stored above the storage area fence heights (Zoning Ordinance Section 17.30.130.F).
8. If there is an anticipated grade difference of more than 12-inches between this site and the adjacent sites, a cross section of the difference and the walls must be provided as a part of the Subdivision and/or CUP application package.
9. NOTE: The maximum height of block walls and fences is 7-feet in the appropriate areas; this height is measured on the tallest side of the fence. If the height difference is such that the fence on the inside of the project site is not of sufficient height, the fence height should be

discussed with Planning Staff prior to the filing of applications to determine if an Exception to fence/wall height should also be submitted.

### **Landscaping:**

1. The City has adopted the State Water Efficient Landscape Ordinance. The ordinance applies to projects installing 2,500 square feet or more of landscaping. It requires that landscaping and irrigation plans be certified by a qualified entity (i.e., Landscape Architect) as meeting the State water conservation requirements. The City's implementation of this new State law will be accomplished by self-certification of the final landscape and irrigation plans by a California licensed landscape architect or other qualified entity with sections signed by appropriately licensed or certified persons as required by the ordinance. **NOTE: Prior to a final for the project, a signed Certificate of Compliance for the MWELO standards is required indicating that the landscaping has been installed to MWELO standards.**
2. Provide street trees at an average of 20-feet on center along street frontages. All trees to be 15-gallon minimum size (Zoning Ordinance Section 17.30.015-2).
3. In the P(R-M) multi-family residential zone, all multiple family developments shall have landscaping including plants, and ground cover to be consistent with surrounding landscaping in the vicinity. Landscape plans to be approved by city staff prior to installation and occupancy of use and such landscaping to be permanently maintained. (Zoning Ordinance Section 17.16.180)
4. All landscape areas to be protected with 6-inch concrete curbs (Zoning Ordinance Section 17.30.130.F).
5. All parking lots to be designed to provide a tree canopy to provide shade in the hot seasons and sunlight in the winter months.
6. Provide a detailed landscape and irrigation plan as a part of the building permit package (Zoning Ordinance Section 17.34.040).
7. An 80 sq. ft. minimum landscape well is required every 10 contiguous parking stalls (Zoning Ordinance Section 17.30.130.C).
8. Provide a detailed landscape and irrigation plan for review prior to issuance of building permits. Please review Zoning Ordinance section 17.30.130-C for current landscaping and irrigation requirements.
9. Provide a conceptual landscape plan for resubmittal or planning commission review.
10. Locate existing oak trees on site and provide protection for all oak trees greater than 2" diameter (see Oak Tree Preservation Ordinance).
11. Maintenance of landscaped areas. - A landscaped area provided in compliance with the regulations prescribed in this title or as a condition of a use permit or variance shall be planted with materials suitable for screening or ornamenting the site, whichever is appropriate, and plant materials shall be maintained and replaced as needed, to screen or ornament the site. (Prior code § 7484)

### **Lighting:**

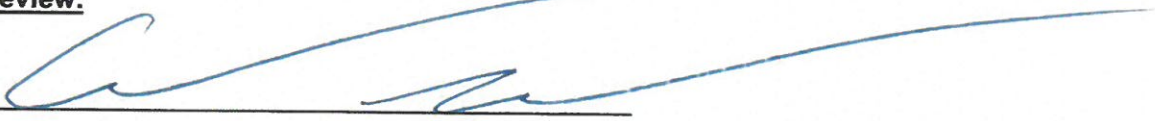
1. All lighting is to be designed and installed so as to prevent any significant direct or indirect light or glare from falling upon any adjacent residential property. This will need to be demonstrated in the building plans and prior to final on the site.
2. Parking lot and drive aisle lighting adjacent to residential units or designated property should consider the use of 15-foot high light poles, with the light element to be completely recessed into the can. A reduction in the height of the light pole will assist in the reduction/elimination of direct and indirect light and glare which may adversely impact adjacent residential areas.
3. Building and security lights need to be shielded so that the light element is not visible from the adjacent residential properties, if any new lights are added or existing lights relocated.
4. NOTE: Failure to meet these lighting standards in the field will result in no occupancy for the building until the standards are met.



In no case shall more than 0.5 lumens be exceeded at any property line, and in cases where the adjacent residential unit is very close to the property line, 0.5 lumens may not be acceptable.

**NOTE: Staff recommendations contained in this document are not to be considered support for a particular action or project unless otherwise stated in the comments. The comments found on this document pertain to the site plan submitted for review on the above referenced date. Any changes made to the plan submitted must be submitted for additional review.**

Signature \_\_\_\_\_



**City of Visalia**  
**Building: Site Plan**  
**Review Comments**

SFR 20198  
 JACK IN THE BOX  
 1145 S LOVERS LANE

NOTE: These are general comments and DO NOT constitute a complete plan check for your specific project  
 Please refer to the applicable California Code & local ordinance for additional requirements.

- A building permit will be required. *For information call (559) 713-4444*
- Submit 1 digital set of professionally prepared plans and 1 set of calculations. (Small Tenant Improvements)
- Submit 1 digital set of plans prepared by an architect or engineer. Must comply with 2016 California Building Cod Sec. 2308 for conventional light-frame construction or submit 1 digital set of engineered calculations.
- Indicate abandoned wells, septic systems and excavations on construction plans.
- You are responsible to ensure compliance with the following checked items:**
- Meet State and Federal requirements for accessibility for persons with disabilities.
- A path of travel, parking and common area must comply with requirements for access for persons with disabilities.
- All accessible units required to be adaptable for persons with disabilities.
- Maintain sound transmission control between units minimum of 50 STC.
- Maintain fire-resistive requirements at property lines.
- A demolition permit & deposit is required. *For information call (559) 713-4444*
- Obtain required permits from San Joaquin Valley Air Pollution Board. *For information call (661) 392-5500*
- Plans must be approved by the Tulare County Health Department. *For information call (559) 624-8011*
- Project is located in flood zone AE \*  Hazardous materials report. **MEET FEMA FLOOD REQUIREMENTS**
- Arrange for an on-site inspection. (Fee for inspection \$157.00) *For information call (559) 713-4444*
- School Development fees. Commercial \$0.66 per square foot & Self-Storage \$.23 per sf. Residential \$4.16 per square foot.
- Park Development fee \$ \_\_\_\_\_, per unit collected with building permits.
- Additional address may be required for each structure located on the site. *For information call (559) 713-4320*
- Acceptable as submitted
- No comments at this time

Additional comments: NO ADDITIONAL COMMENTS

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

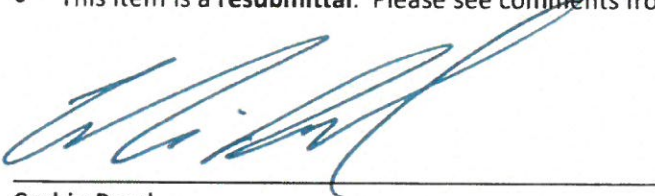
VAL GARCIA 2/24/21  
 Signature



**Site Plan Comments**  
Visalia Fire Department  
Corbin Reed, Fire Marshal  
420 N. Burke  
Visalia CA 93292  
559-713-4272 office  
prevention.division@visalia.city

Date	February 24, 2021
Item #	1
Site Plan #	20198 Resubmit
APN:	100-120-051

- The Site Plan Review comments are issued as **general overview** of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2019 California Fire Code (CFC), 2019 California Building Codes (CBC) and City of Visalia Municipal Codes.
- This item is a **resubmittal**. Please see comments from previous submittals.



---

Corbin Reed  
Fire Marshal



City of Visalia  
 Police Department  
 303 S. Johnson St.  
 Visalia, CA 93292  
 (559) 713-4370

Date: 2-23-21  
 Item: 1 Resub  
 Site Plan: 20-189  
 Name: Agent McEwen

**SITE PLAN REVIEW COMMENTS**

- No Comment at this time
- Request opportunity to comment or make recommendations as to safety issues as plans are developed.
- Public Safety Impact Fee:  
 Ordinance No. 2001-11 Chapter 16.48 of Title 16 of the Visalia Municipal Code  
 Effective date – August 17, 2001

Impact fees shall be imposed by the City pursuant to this Ordinance as a condition of or in conjunction with the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land, upon which no like building, structure of improvement previously existed. \*Refer to Engineering Site Plan comments for fee estimation.

- Not enough information provided. Please provide additional information pertaining to:  
 \_\_\_\_\_
- Territorial Reinforcement: Define property lines (private/public space).  
 \_\_\_\_\_
- Access Controlled / Restricted etc.:  
 \_\_\_\_\_
- Lighting Concerns:  
 \_\_\_\_\_
- Traffic Concerns:  
 \_\_\_\_\_
- Surveillance Issues:  
 \_\_\_\_\_
- Line of Sight Issues:  
 \_\_\_\_\_
- Other Concerns:  
 \_\_\_\_\_

# SITE PLAN REVIEW COMMENTS

CITY OF VISALIA TRAFFIC SAFETY DIVISION

February 24, 2021

ITEM NO: 2      Resubmit  
SITE PLAN NO: SPR20198  
PROJECT TITLE: Jack In The Box  
DESCRIPTION: Remove Existing Buildings & Construct New Drive Thru Restaurant  
APPLICANT: Mike Davis  
OWNER: DOUCETTE CARLE  
APN: 100120051  
LOCATION: 1145 S LOVERS LANE UNIT

**THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY**

- No Comments
- See Previous Site Plan Comments
- Install Street Light(s) per City Standards.
- Install Street Name Blades at      Locations.
- Install Stop Signs at      Locations.
- Construct parking per City Standards PK-1 through PK-4.
- Construct drive approach per City Standards.
- Traffic Impact Analysis required (CUP)
  - Provide more traffic information such as number of trips expected in peak hour. Depending on development size, characteristics, etc., a TIA may be required.
- Additional traffic information required (Non Discretionary)
  - Trip Generation - Provide documentation as to concurrence with General Plan.
  - Site Specific - Evaluate access points and provide documentation of conformance with COV standards. If noncomplying, provide explanation.
  - Traffic Impact Fee (TIF) Program - Identify improvements needed in concurrence with TIF.

**Additional Comments:**

- VMT Analysis may be required.
- Applicant to ensure backup queue does not spillover onto the public ROW.

*Leslie Blair*

\_\_\_\_\_  
**Leslie Blair**

CITY OF VISALIA  
SOLID WASTE DIVISION  
336 N. BEN MADDOX  
VISALIA CA. 93291  
713 - 4532  
COMMERCIAL BIN SERVICE

20198

February 24, 2021

- No comments.
- See comments below
- Revisions required prior to submitting final plans. See comments below.
- Resubmittal required. See comments below.
- Customer responsible for all cardboard and other bulky recyclables to be broken down before disposing of in recycle containers
- ALL refuse enclosures must be R-3 OR R-4
- Customer must provide combination or keys for access to locked gates/bins
- Type of refuse service not indicated.
- Location of bin enclosure not acceptable. See comments below.
- Bin enclosure not to city standards double.
- Inadequate number of bins to provide sufficient service. See comments below.
- Drive approach too narrow for refuse trucks access. See comments below.
- Area not adequate for allowing refuse truck turning radius of : Commercial 50 ft. outside 36 ft. inside; Residential 35 ft. outside, 20 ft. inside.
- Paved areas should be engineered to withstand a 55,000 lb. refuse truck.
- Bin enclosure gates are required
- Hammerhead turnaround must be built per city standards.
- Cul - de - sac must be built per city standards.
- Bin enclosures are for city refuse containers only. Grease drums or any other items are not allowed to be stored inside bin enclosures.
- Area in front of refuse enclosure must be marked off indicating no parking
- Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS) with no less than 38' clear space in front of the bin, included the front concrete pad.
- Customer will be required to roll container out to curb for service.
- Must be a concrete slab in front of enclosure as per city standards, the width of the enclosure by ten(10) feet, minimum of six(6) inches in depth.
- Roll off compactor's must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow the truck enough room to provide service.
- City ordinance 8.28.120-130 (effective 07/19/18) requires contractor to contract with City for removal of construction debris unless transported in equipment owned by contractor or unless contracting with a franchise permittee for removal of debris utilizing roll-off boxes.

**Comment** Bin enclosure placement set for STAB access, with no less than 38' clear space in front of bin, including the front concrete pad. Enclosure gate must open 180 degrees, clear all curbing, and include chain bolts.

Jason Serpa, Solid Waste Manager, 559-713-4533  
Edward Zuniga, Solid Waste Supervisor, 559-713-4338

Nathan Garza, Solid Waste, 559-713-4532



**BUILDING/DEVELOPMENT PLAN  
REQUIREMENTS  
ENGINEERING DIVISION**

<input checked="" type="checkbox"/>	Adrian Rubalcaba	713-4271
<input type="checkbox"/>		713-

<b>ITEM NO: 1    DATE: FEBRUARY 24, 2021</b>	
SITE PLAN NO.:	20-198 2 <sup>nd</sup> RESUBMITTAL
PROJECT TITLE:	JACK IN THE BOX
DESCRIPTION:	REMOVE EXISTING BUILDINGS & CONSTRUCT NEW DRIVE THRU RESTAURANT
APPLICANT:	MIKE DAVIS
PROP OWNER:	DOUCETTE CARL E
LOCATION:	1145 S LOVERS LANE
APN:	100-120-051

**SITE PLAN REVIEW COMMENTS**

- REQUIREMENTS (indicated by checked boxes)
- Install curb return with ramp, with \_\_\_\_\_ radius;
- Install curb;  gutter **ONSITE PER DESIGN**
- Drive approach size:  Use radius return;
- Sidewalk: 4' width;  parkway width at **ENSURE PEDESTRIAN PATH OF TRAVEL OVER AND ACROSS EXISTING DRIVE APPROACHES.**
- Repair and/or replace any sidewalk across the public street frontage(s) of the subject site that has become uneven, cracked or damaged and may constitute a tripping hazard.
- Replace any curb and gutter across the public street frontage(s) of the subject site that has become uneven and has created areas where water can stand.
- Right-of-way dedication required. A title report is required for verification of ownership.
- Deed required prior to issuing building permit;
- City Encroachment Permit Required. **FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY**  
Insurance certificate with general & auto liability (\$1 million each) and workers compensation (\$1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit. Contact Encroachment Tech. at 713-4414.
- CalTrans Encroachment Permit required.  CalTrans comments required prior to issuing building permit. Contacts: David Deel (Planning) 488-4088;
- Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map.
- Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.
- Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades.  Prepared by registered civil engineer or project architect.  All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a)  directed to the City's existing storm drainage system; b)  directed to a permanent on-site basin; or c)  directed to a temporary on-site basin is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: \_\_\_\_\_ : \_\_\_\_\_ maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance. **STORM WATER RUN-OFF CAN DRAIN TO STREETS.**
- Grading permit is required for clearing and earthwork performed prior to issuance of the building permit.
- Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter = 0.20%, V-gutter = 0.25%)
- Show adjacent property grade elevations. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
- All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications.

- Traffic indexes per city standards:
- Install street striping as required by the City Engineer.
- Install landscape curbing (typical at parking lot planters).
- Minimum paving section for parking: 2" asphalt concrete paving over 4" Class 2 Agg. Base, or 4" concrete pavement over 2" sand.
- Design Paving section to traffic index of 5.0 min. for solid waste truck travel path.
- Provide "R" value tests:            each at
- Written comments required from ditch company            Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditch; Jerry Hill 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
- Access required on ditch bank, 15' minimum     Provide            wide riparian dedication from top of bank.
- Show Valley Oak trees with drip lines and adjacent grade elevations.     Protect Valley Oak trees during construction in accordance with City requirements.
- A permit is required to remove Valley Oak trees. Contact Public Works Admin at 713-4428 for a Valley Oak tree evaluation or permit to remove.     A pre-construction conference is required.
- Relocate existing utility poles and/or facilities.
- Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50KV shall be exempt from undergrounding.
- Subject to existing Reimbursement Agreement to reimburse prior developer:
- Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
- If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
- If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.
- Comply with prior comments.     Resubmit with additional information.     Redesign required.

**Additional Comments:**

- 1. Proposed new fast food restaurant will incur development impact fees. Refer to page 3 for applicable fees.***
- 2. Additional improvements will be necessary as to not allow vehicular access on vacant area shown to remain unimproved.***
- 3. Provide an asphalt dike or median curb along west pavement edge onsite to prohibit/deter vehicular and recreational access.***
- 4. Comply with City parking lot standards.***
- 5. Maintain required landscape setbacks from street frontages, parking stalls cannot encroach into the setback areas.***
- 6. Future cross-access to the north vacant lot should be considered. Access to Lovers Lane is limited and providing cross access to Tulare to future development of north lot would enhance traffic circulation and serviceability.***
- 7. New building to connect to City sewer. Per City records, there is an existing lateral located at the southeast corner of the parcel.***
- 8. Building permit is required, standard plan check and inspection fees apply.***



**SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES**

Site Plan No: **20-198 2<sup>nd</sup> RESUBMITTAL**  
 Date: **2/24/2021**

**Summary of applicable Development Impact Fees to be collected at the time of building permit:**  
**(Preliminary estimate only! Final fees will be based on the development fee schedule in effect at the time of building permit issuance.)**

(Fee Schedule Date:**9/1/2020**)  
 (Project type for fee rates:**FAST FOOD**)

Existing uses may qualify for credits on Development Impact Fees. **1250SF OFFICE + 1250 SERV COMM**

FEE ITEM	FEE RATE
<input checked="" type="checkbox"/> Groundwater Overdraft Mitigation Fee	<b>\$1,343/AC X 0.75</b>
<input checked="" type="checkbox"/> Transportation Impact Fee	<b>\$15,135/1KSF X 1.32 - (\$11,098) = \$8,880</b>
<input checked="" type="checkbox"/> Trunk Line Capacity Fee	<b>\$4,708/EACH X 1</b> <b>TREATMENT PLANT FEE:</b> <b>\$20,647/EACH X 1</b>
<input checked="" type="checkbox"/> Sewer Front Foot Fee	<b>\$45/LF X 160 (LOVERS LANE)</b>
<input checked="" type="checkbox"/> Storm Drain Acq/Dev Fee	<b>\$7,176/AC X 0.75</b>
<input type="checkbox"/> Park Acq/Dev Fee	
<input type="checkbox"/> Northeast Specific Plan Fees	
<input checked="" type="checkbox"/> Waterways Acquisition Fee	<b>\$5,268/AC X 0.75</b>
<input checked="" type="checkbox"/> Public Safety Impact Fee: Police	<b>\$9,002/AC X 0.75</b>
<input checked="" type="checkbox"/> Public Safety Impact Fee: Fire	<b>\$1,969/AC X 0.75</b>
<input checked="" type="checkbox"/> Public Facility Impact Fee	<b>\$577/1KSF X 1.32</b>
<input type="checkbox"/> Parking In-Lieu	

**Reimbursement:**

- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.




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**Adrian Rubalcaba**

**BUILDING/DEVELOPMENT PLAN  
REQUIREMENTS  
ENGINEERING DIVISION**

Adrian Rubalcaba 713-4271  
 713-

ITEM NO: 2 DATE: FEBRUARY 3, 2021

SITE PLAN NO.: 20-198 RESUBMITTAL  
 PROJECT TITLE: JACK IN THE BOX  
 DESCRIPTION: REMOVE EXISTING BUILDINGS & CONSTRUCT  
 NEW DRIVE THRU RESTAURANT

APPLICANT: MIKE DAVIS  
 PROP OWNER: DOUCETTE CARL E  
 LOCATION: 1145 S LOVERS LANE  
 APN: 100-120-051

**SITE PLAN REVIEW COMMENTS**

- REQUIREMENTS (indicated by checked boxes)
- Install curb return with ramp, with \_\_\_\_\_ radius;
- Install curb;  gutter **ONSITE PER DESIGN**
- Drive approach size:  Use radius return;
- Sidewalk: 4' width;  parkway width at **ENSURE PEDESTRIAN PATH OF TRAVEL OVER AND ACROSS EXISTING DRIVE APPROACHES.**
- Repair and/or replace any sidewalk across the public street frontage(s) of the subject site that has become uneven, cracked or damaged and may constitute a tripping hazard.
- Replace any curb and gutter across the public street frontage(s) of the subject site that has become uneven and has created areas where water can stand.
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- Deed required prior to issuing building permit;
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- Comply with prior comments.    Resubmit with additional information.    Redesign required.

**Additional Comments:**

1. ***Proposed new fast food restaurant will incur development impact fees. Refer to page 3 for applicable fees.***
2. ***Only a portion of the parcel is shown for development, will this parcel be further subdivided?***
3. ***Undeveloped area will need to be shown on site plan layout. Additional improvements will be necessary as to not allow vehicular access on dirt lot.***
4. ***It is recommended that the proposed large area of asphalt stemming from the access on Tulare be reduced. Provide an asphalt dike or median curb along west pavement edge to prohibit/deter vehicular and recreational access.***
5. ***Comply with City parking lot standards.***
6. ***Maintain required landscape setbacks from street frontages, parking stalls cannot encroach into the setback areas.***
7. ***Future cross-access to the north vacant lot should be considered as access to Lovers Lane is limited and providing access to Tulare would enhance traffic circulation and serviceability.***
8. ***New building to connect to City sewer. Per City records, there is an existing lateral located at the southeast corner of the parcel.***
9. ***Project will need to demonstrate drive-thru queuing plan for peak hours. Refer to Traffic Safety Dept. comments.***
10. ***Building permit is required, standard plan check and inspection fees apply.***

**SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES**

Site Plan No: **20-198 RESUBMITTAL**

Date: **2/3/2021**

**Summary of applicable Development Impact Fees to be collected at the time of building permit:  
(Preliminary estimate only! Final fees will be based on the development fee schedule in effect at the time of building permit issuance.)**

(Fee Schedule Date:**9/1/2020**)  
(Project type for fee rates:**FAST FOOD**)

Existing uses may qualify for credits on Development Impact Fees. **1250SF OFFICE + 1250 SERV COMM**

<b>FEE ITEM</b>	<b>FEE RATE</b>
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<input checked="" type="checkbox"/> Public Safety Impact Fee: Police	<b>\$9,002/AC X 0.75</b>
<input checked="" type="checkbox"/> Public Safety Impact Fee: Fire	<b>\$1,969/AC X 0.75</b>
<input checked="" type="checkbox"/> Public Facility Impact Fee	<b>\$577/1KSF X 1.32</b>
<input type="checkbox"/> Parking In-Lieu	

**Reimbursement:**

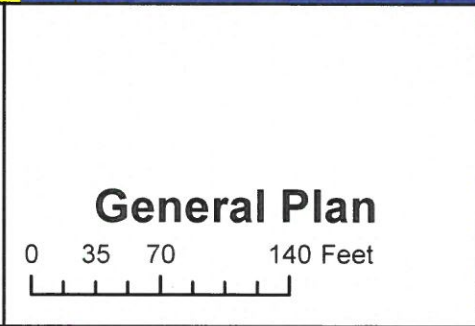
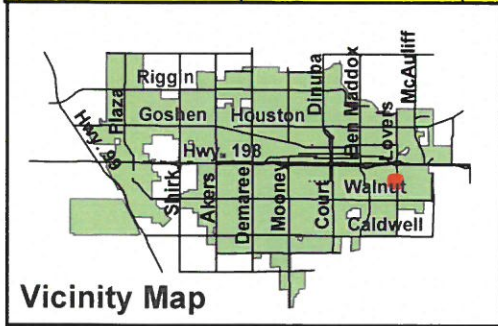
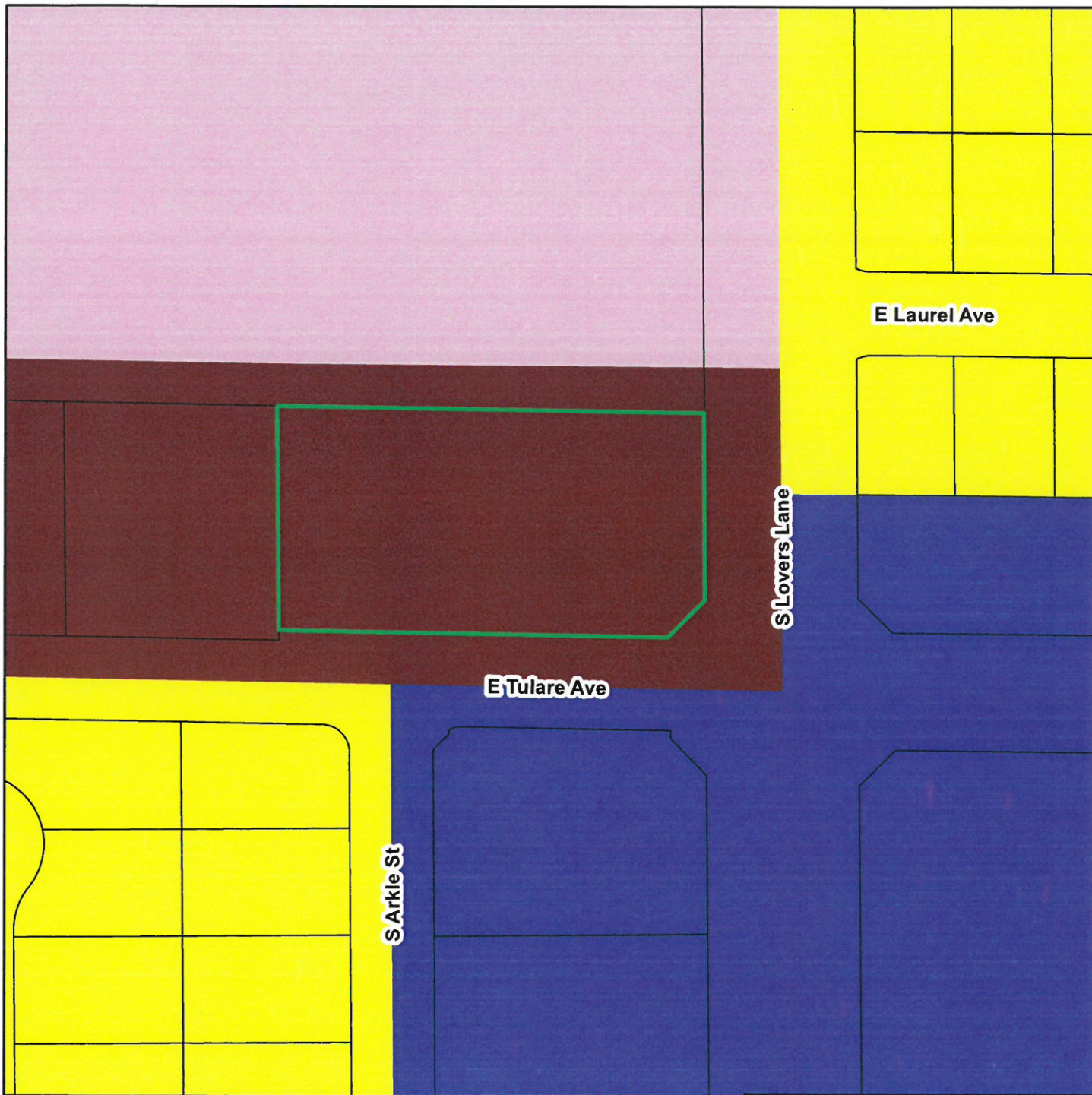
- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.



**Adrian Rubalcaba**

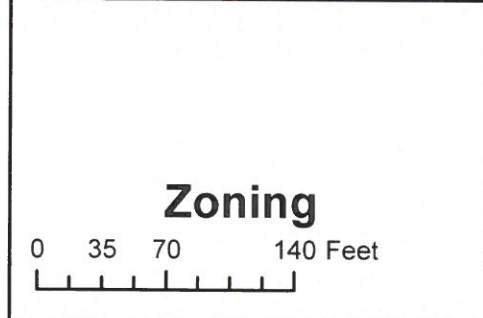
# Conditional Use Permit No. 2021-22

The project site is located  
on the northwest corner of  
East Tulare Avenue and South Lovers Lane  
(APN: 100-120-051)



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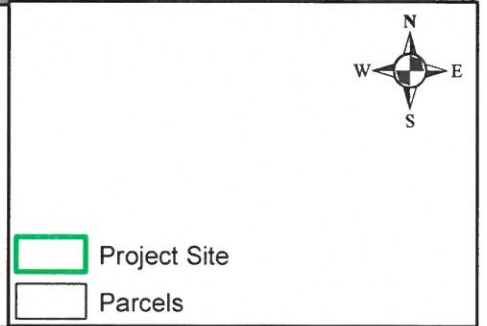
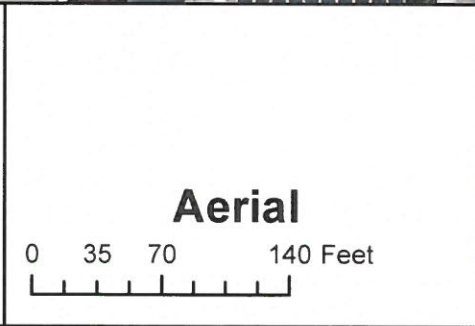
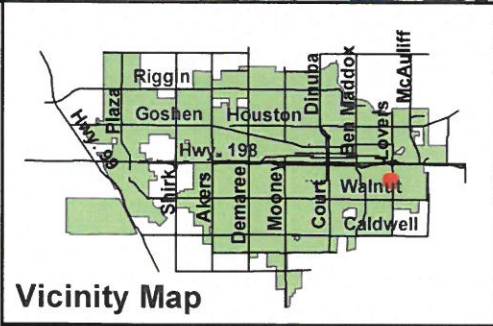


	R-1-5 - 5,000 SF Min Site Area
	O-PA - Prof. / Admin. Offices
	C-MU - Mixed Use Commercial
	C-N - Neighborhood Commercial
	Project Site
	Parcels

N  
 E  
 S  
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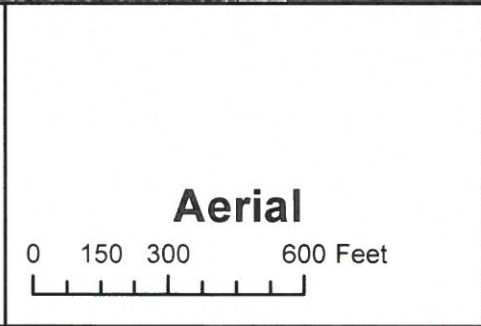
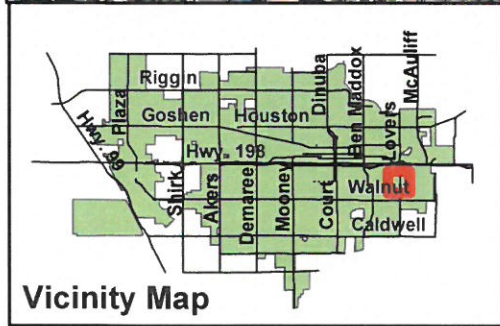
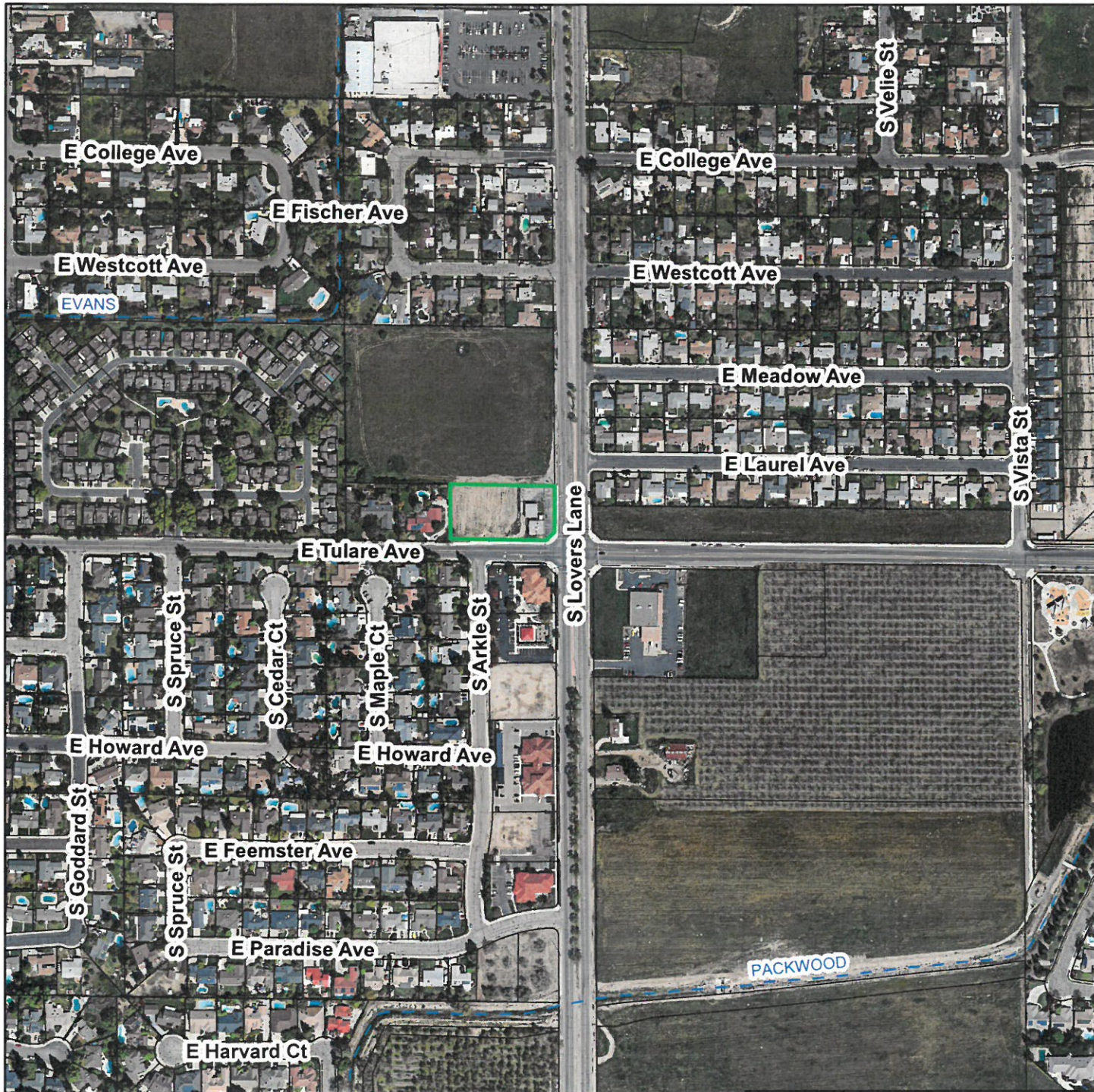
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**Aerial**

0 150 300 600 Feet

Project Site  
Parcels



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