

SITE PLAN REVIEW AGENDA

5/19/2021 - 9:00 A.M.

Conference Room #4

315 E. Acequia Avenue

ITEM NO: 1 **Resubmit**

SITE PLAN NO: SPR21015

PROJECT TITLE: Storland Self-Storage

DESCRIPTION: Construction of a Self-Storage Facility for Storing Personal and Business Goods in Enclosed Units.
Project does not Include a Residence or RV Storage.

APPLICANT: Joshua Miller

OWNER: OMNI LAND DEVELOPMENT LLC

APN: 000013831

LOCATION: NW Corner of W. Shannon Parkway and N. Cpirt Street

ITEM NO: 2 **Resubmit**

SITE PLAN NO: SPR21068

PROJECT TITLE: Marcin Place TSM

DESCRIPTION: Proposed 46 lot tentative subdivision map

APPLICANT: Matt Ainley

OWNER: VISALIA UNIFIED SCHOOL DIST

APN: 085540019

085570008

LOCATION:

ITEM NO: 3

SITE PLAN NO: SPR21086

PROJECT TITLE: Plaza Drive

DESCRIPTION: Drive Thru Building (BRP)

APPLICANT: Westwood Plaza LLC

OWNER: WESTWOOD PLAZA LLC

APN: 081160006

LOCATION: Corner of Plaza & E Campus Dr

ITEM NO: 4

SITE PLAN NO: SPR21087

PROJECT TITLE: A New 13 Room Residential Facility

DESCRIPTION: 13 Room Facility, Existing Residence Refurbished. (R-M-2)

APPLICANT: Melanie Rafana & Jose Pira Jr

OWNER: RAFANAN MELANIE

APN: 087090018

LOCATION: 720 S CHINOWTH ST

ITEM NO: 5

SITE PLAN NO: SPR21088

PROJECT TITLE: Visalia Car-Wash

DESCRIPTION: Proposed Development of a 1 Acre Commercial Site for use as a Car-Wash (C-N)

APPLICANT: Bottom Line LLC

OWNER: DHALIWAL HEMRAJ S & SANDEEP K

APN: 091171018

LOCATION: 1804 N DINUBA BLVD

AFTER REVIEW OF REGULAR AGENDA ITEMS, THE COMMITTEE WILL BE AVAILABLE TO REVIEW OFF-AGENDA ITEMS FOR INFORMAL REVIEW. THE COMMITTEE WILL BE AVAILABLE TO ANSWER QUESTIONS AT THAT TIME.

SITE PLAN REVIEW AGENDA

5/19/2021 - 9:00 A.M.

Conference Room #4

315 E. Acequia Avenue

ITEM NO: 6

SITE PLAN NO: SPR21089

PROJECT TITLE: Pinkham Place

DESCRIPTION: 103 Unit Condominium Subdivision, 25-4 Unit Building and 11-3 Unit Building (R-M-2)

APPLICANT: Roy J. Kendall

OWNER: SILVEIRA RENTAL ENTERPRISES INC

APN: 126530001

LOCATION: south East Corner of Walnut & Pinkham

AFTER REVIEW OF REGULAR AGENDA ITEMS, THE COMMITTEE WILL BE AVAILABLE TO REVIEW OFF-AGENDA ITEMS FOR INFORMAL REVIEW. THE COMMITTEE WILL BE AVAILABLE TO ANSWER QUESTIONS AT THAT TIME.

GENERAL PROJECT INFORMATION

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

OPERATIONS & TRAFFIC INFORMATION

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
- | | | |
|--|-------------------------------------|--|
| - North arrow | - Existing & proposed structures | - Loading/unloading areas |
| - All existing & proposed site features | - Adjacent street names | - Accessible path of travel from right of way |
| - Site dimensions, including building | - Refuse enclosures & containers | - Accessible path of travel from ADA stall |
| - Existing and proposed fencing at site | - Valley oak trees (show drip line) | - Location and width of drive approaches to site |
| - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.) | - Existing & proposed landscaping | - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16 |
| | - Parking stalls (include ADA) | |

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Miller Accord, LP</u>	Signature of Owner or Authorized Agent* <u>Joshua Miller</u>	<u>05/12/2021</u>
Address: <u>PO Box 6398</u>	Owner	Date
City, State, Zip <u>Visalia, CA 93290</u>		
Phone: <u>559-909-0979</u>	Authorized Agent*	Date
Email: <u>miller@storlandstorage.com</u>		

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, _____, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

AGENT:

I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20____.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF CVEAS OR CONSULTANTS AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF CVEAS. FILING THESE DRAWINGS OR SPECIFICATIONS WITH ANY PUBLIC AGENCY IS NOT PUBLICATION OF SAME AND NO COPYING, REPRODUCTION OR USE THEREOF IS PERMISSIBLE WITHOUT THE CONSENT OF CVEAS.

ABBREVIATIONS:			
A.B.	ANCHOR BOLT	HDR.	HEADER
ADJ.	ADJUSTABLE	HT.	HEIGHT
ABV.	ABOVE	HORIZ.	HORIZONTAL
A.C.I.	AMERICAN CONCRETE INSTITUTE	HSB	HIGH STRENGTH BOLT
A.I.S.C.	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	H.S.	HIGH SIDE
A.S.T.M	AMERICAN SOCIETY FOR TESTING & MATERIALS	IN	INCH
A.P.A.	AMERICAN PLYWOOD ASSOCIATION	I.D.	INSIDE DIAMETER
ARCH.	ARCHITECT(URAL)	INT.	INTERIOR
AWG	AMERICAN WELDING SOCIETY	JST.	JOIST
BD.	BOARD	K OR KIPS	1000 lbs.
BF.	BLOCKED FRAME	LAM.	LAMINATED
BLK.	BLOCK	LB OR LBS	POUNDS
BLKS.	BLOCKING	L.S.	LOW SIDE
BOT.	BOTTOM	LT. WT.	LIGHT WEIGHT
BLDG.	BUILDING	LLV	LONG LEG VERTICAL
BM.	BEAM	M.B.	MACHINE BOLT
B.N.	BOUNDARY NAILING	MA.S.	MASONRY
C	CHANNEL	MAX.	MAXIMUM
CLG.	CEILING	MF.	MOMENT FRAME
CLR.	CLEAR	MTL.	METAL
COL.	COLUMN	MIN.	MINIMUM
C.M.U.	CONCRETE MASONRY UNIT	N.T.S.	NOT TO SCALE
C.J.	CONSTRUCTION JOINT	NO OR #	NUMBER
CONC.	CONCRETE	O.C.	ON CENTER
CONN.	CONNECTION	OPNG.	OPENING
CONST.	CONSTRUCTION	OPP.	OPPOSITE
CONT.	CONTINUOUS	O.A.	OUTSIDE DIA.
DA	DOUBLE ANGLE	PL	PLATE
DEMO.	DEMOLISH	PENNY (d)	NAILS
DET.	DETAIL	P.L.Y.M.D.	PLYWOOD
DIAG.	DIAGONAL	P.S.F.	POUNDS PER SQUARE FOOT
DIA.(ø)	DIAMETER	P.S.I.	POUNDS PER SQUARE INCH
DIM.	DIMENSION	PRESS.	PRESSURE
DBL.	DOUBLE	R	RADIUS
DWG.	DRAWING	REINF.	REINFORCING
EA	EACH	REQD.	REQUIRED
E.N.	EDGE NAILING	RM.	ROOM
ELEV.	ELEVATION	SCHED.	SCHEDULE
EOR	ENGINEER OF RECORD	SHTG.	SHEATHING
ENG.	ENGINEER	SHEET	SHEET
EQ.	EQUAL	SIM.	SIMILAR
EQUIP.	EQUIPMENT	SLV	SHORT LEG VERTICAL
ES	EDGE SCREW OR EACH SIDE	SPEC.	SPECIFICATION
EXIST (E)	EXISTING	STGR.	STAGGER
EXP.	EXPANSION	STD.	STANDARD
FIN.	FINISH	STEEL	STEEL
F.N.	FIELD NAILING	STIFF.	STIFFENER
FM	FACE MOUNT	STRUCT.	STRUCTURAL
FLR.	FLOOR	SQ.	SQUARE
FTF	FLOOR TO FLOOR	SYM.	SYMMETRICAL
FTG	FOOTING	TF	TOP FLANGE </td
FDN.	FOUNDATION	THICK	THICK
FRMG.	FRAMING	TS	TUBE STEEL
GA.	GAUGE	U.B.C.	UNIFORM BUILDING CODE
GALV.	GALVANIZED	U.N.O.	UNLESS NOTED OTHERWISE
GF	GOOD FOR	VERT.	VERTICAL
G.L.B.	GLUE LAM BEAM	W	WIDTH
GRD	GRADE	WT.	WEIGHT
H.D.	HOLD DOWN	W.W.F.	WELDED WIRE FABRIC
HGR.	HANGER	W	WELDED WIRE MESH
		W.F.	WIDE FLANGE
		N	WITH
		WS	WOOD SCREW

SEISMIC DATA:			
LATITUDE	36.360389		
LONGITUDE	-119.244538		
SEISMIC ITEM	VALUE	CBC REFERENCE	2019
SITE CLASS	D		
SOILS BEARING CAPACITY	1500 PSF	APPENDIX 106.1 & TABLE 1804.2	
SEISMIC IMPORTANCE FACTOR	1.0	CBC 1609.1.5.1	
SITE COEFFICIENT, Fa	1.374	TABLE 1613.3.3 (1)	
Ss	0.532	FIGURE 1613.3 (1)	
Sms	0.732	SECTION 1613.3.3 EQN. 16-37	
Sds	0.488	TABLE 1613.3.5 (1)	
SITE COEFFICIENT, Fv	--	NULL - SEE SECTION 11.4.8	
SI	0.214	TABLE 1613.3.1 (2)	
Sml	--	NULL - SEE SECTION 11.4.8	
Sdl	--	NULL - SEE SECTION 11.4.8	

DESIGN DATA:	
OCCUPANCY TYPE:	SI
CONSTRUCTION TYPE:	II B - NON - SPRINKLERED
GOVERNING CODE:	2019
SEISMIC DESIGN CATEGORY:	D
DESIGN WIND LOAD:	EXPOSURE "B", 75 MPH
ALLOWABLE SOIL BEARING PRESSURE:	1500 CBC MIN.
COMPRESSIVE STRENGTH OF CONC. @ 28 DAYS	2500 PSI (FOR TRENCHING)
LIVE LOADS:	-
ROOF:	N/A PSF
FLOOR:	N/A
DEAD LOADS:	-
ROOF: (T-BAR CEILING)	N/A
ROOF: (STUCCO CEILING)	N/A PSF
WALL:	N/A PSF

PROPOSED STORAGE FACILITY FOR: STORLAND SELF-STORAGE

SHANNON PARKWAY AND ROAD 124
VISALIA, CA 93291
APN: 079-071-032

GENERAL NOTES:

- CHEMICAL TOILET IS REQUIRED ON-SITE DURING CONSTRUCTION.
- PROVIDE 2% SLOPE AWAY FROM BUILDING FOR A MINIMUM OF TEN FEET.
- PROVIDE A 12" HIGH ADDRESS POSTING WITH SUITE NUMBER 4" HIGH.
- IF THE PLANS DO NOT ACCURATELY REFLECT THE JOB CONDITIONS OR THE CONSTRUCTION IS NOT PER PLANS, NO INSPECTIONS WILL OCCUR UNTIL AN ADDENDUM IS APPROVED BY THE CITY/COUNTY IS OBTAINED.
- ANY CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE DESIGNER AND SUBMITTED TO THE CITY/COUNTY FOR REVIEW AND APPROVAL.
- THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE VERIFICATION OF ALL DIMENSIONS, GRADES, AND ALL OTHER CONDITIONS AND CORRELATE AT THE JOBSITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION PRIOR TO COMMENCING ANY WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE COORDINATION OF ALL TRADES AND GOVERNING AGENCIES.
- THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF THE WORK AND/OR POSSIBLE ERRORS OR OMISSIONS SHOWN OR INFERRED ON THE DRAWINGS OR THE PROPER EXECUTION OF THE SAME.
- COMPLIES WITH 2019 CBC, CMC, CFC, CEC, CFG, CA ENERGY, AND CALGREEN BUILDING STANDARD CODES.
- JOB CARD REQUIRED TO BE AVAILABLE FOR SIGNATURE AT JOBSITE.
- THESE PLANS AND RELATED DOCUMENTS MUST BE AVAILABLE AT THE JOBSITE DURING ANY INSPECTION ACTIVITY.
- DEFERRED SEPARATE SUBMITTAL PERMIT, REVIEW, AND APPROVAL FOR THE FOLLOWING ITEMS:
12.1. EXTERIOR BUILDING SIGNAGE
12.2. SITE SIGNAGE
- NO DRAINAGE TO BE TAKEN TO ADJACENT PROPERTY.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS. ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-642-2444.
- CONTACT PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING 10 WORKING DAYS PRIOR TO ANY OFF-SITE CONCRETE CONSTRUCTION.
- NO USES OF LAND, BUILDING, OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.

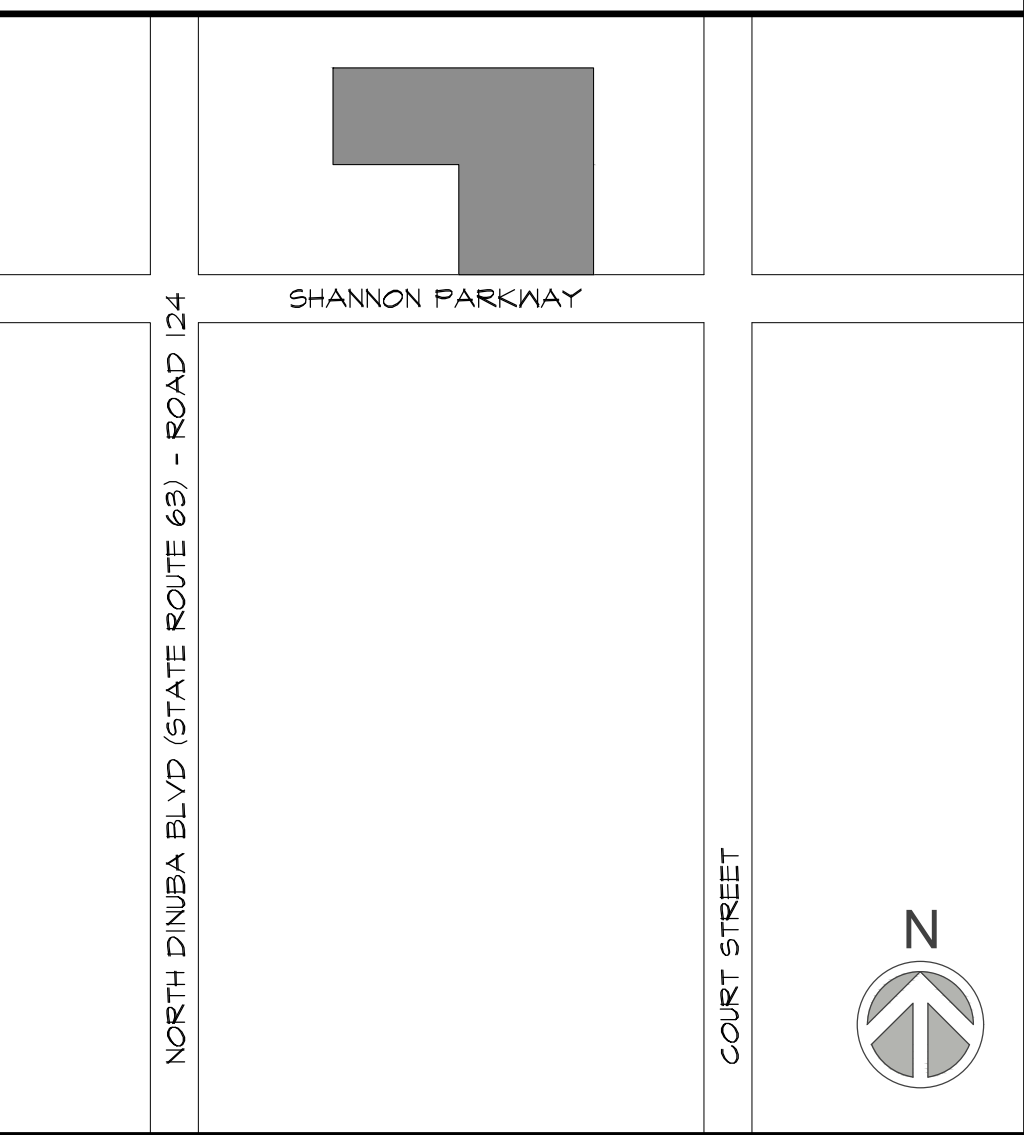
SCOPE OF WORK

- CONSTRUCT A OFFICE BLDG.
- CONSTRUCT MULTIPLE SIZE METAL STORAGE BLDGS. REFER TO SITE DATA FOR SQUARE FOOTAGE.
- CONSTRUCT TRASH ENCLOSURE PER CITY STDS.
- CONSTRUCT WROUGHT-IRON FENCE AND GATES.
- CONSTRUCT CONCRETE DRIVEWAYS.
- CONSTRUCT CONCRETE CURBS AND RAMPS

SHEET INDEX

SHEET	DESCRIPTION
ARCHITECTURAL	
A0.0	COVER SHEET
A1.0	OVERALL SITE PLAN
A1.1	PROPOSED SITE PLAN
A1.2	UTILITY PLAN
A1.3	SITE DETAILS
A1.4	CITY STDS
A1.5	CITY STDS
A1.6	CITY STDS
A2.0	PROPOSED FLOOR PLAN
A3.0	EXTERIOR ELEVATIONS
A3.1	ELEVATION ON COURT ST

VICINITY MAP



OWNER DATA

STORLAND SELF-STORAGE
P.O. BOX 6398
VISALIA, CA 93260
PHONE: 559-909-0979
EMAIL: miller@storlandstorage.com

CONTACT: JOSH MILLER

DEVELOPMENT AGENCY

CITY OF VISALIA
101 W. ACEQUIA AVE
VISALIA, CA 93291
PHONE: 559-713-4300
EMAIL: --

CONTACT: PLANNING

ENGINEER IN RECORD

CVEAS, INC - RICARDO LEAL - PE
22511 LOGAN STREET
SELMA, CA 93662
PHONE: 559-891-8811
EMAIL: rleal@cveas.com

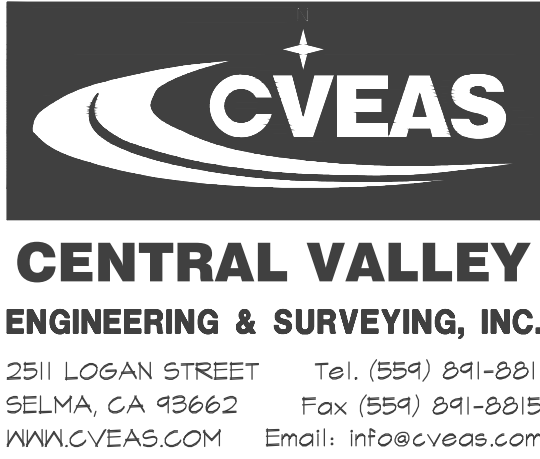
CONTACT: RICARDO

PROJECT DATA

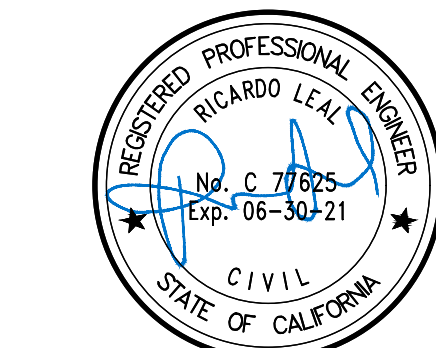
APN:	079-071-032
ADDRESS:	SHANNON PARKWAY AND ROAD 124 VISALIA, CA 93291
EXISTING ZONING:	C-MU - MIXED USE COMMERCIAL
NEW ZONING:	NO CHANGE
EXISTING USE:	EXISTING VACANT LAND
NEW USE:	NEW STORAGE FACILITY
EXISTING OCCUPANCY:	N/A
NEW OCCUPANCY:	SI, B
CONSTRUCTION TYPE:	II B, VB
FIRE SPRINKLER SYSTEM:	NO
FIRE ALARM SYSTEM:	NO

BUILDING SQUARE FOOTAGE CALCULATIONS

1.875					
LOT #1:	125900	SF	2.88	AC	
LOT #2:	39352	SF	0.76	AC	
TOTAL LOT AREAS:	154252	SF	3.65	AC	
		SIZE (IN FEET)	QNTY		
MAIN OFFICE:	25	X	40	1	1000 SF
STR. BLDG "B":	VARIES		1	7480	SF
STR. BLDG "C":	60	X	190	1	11400 SF
STR. BLDG "D":	60	X	190	1	11400 SF
STR. BLDG "E":	60	X	190	1	11400 SF
STR. BLDG "F":	50	X	190	1	9500 SF
STR. BLDG "G":	VARIES		1	6372.6	SF
STR. BLDG "H":	VARIES		1	7176.5	SF
STR. BLDG "J":	VARIES		1	6450.0	SF
		TOTAL OF ALL STR BLDGS:	71679.1	SF	
		TOTAL AREA OF ALL BLDGS (EXCLUDES PORCH):	72679.1	SF	
		ACTUAL LOT COVERAGE:	0.46	%	
REQUIRED PARKING:	1	PER	1000 SF	BLDG AREA	
PROVIDED PARKING:	1	VAN ACCESSIBLE PARKING			
	1	EVGS PARKING			
	3	VISITOR PARKING			
	3	EMPLOYEE PARKING			
	3	ADDITIONAL PARKING			
TOTAL:	11	PARKING			



PROPOSED STORAGE FACILITY FOR"
STORLAND SELF-STORAGE, INC.
SHANNON PARKWAY AND DINUBA BLVD
VISALIA, CA 93292
APN: 079-071-032 - PARCEL 'E' AND 'D'



DATE SIGNED: 5/13/2021

Revisions:	Date:
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PROJECT AND OWNER
DATA, VICINITY MAP, AND
SHEET INDEX

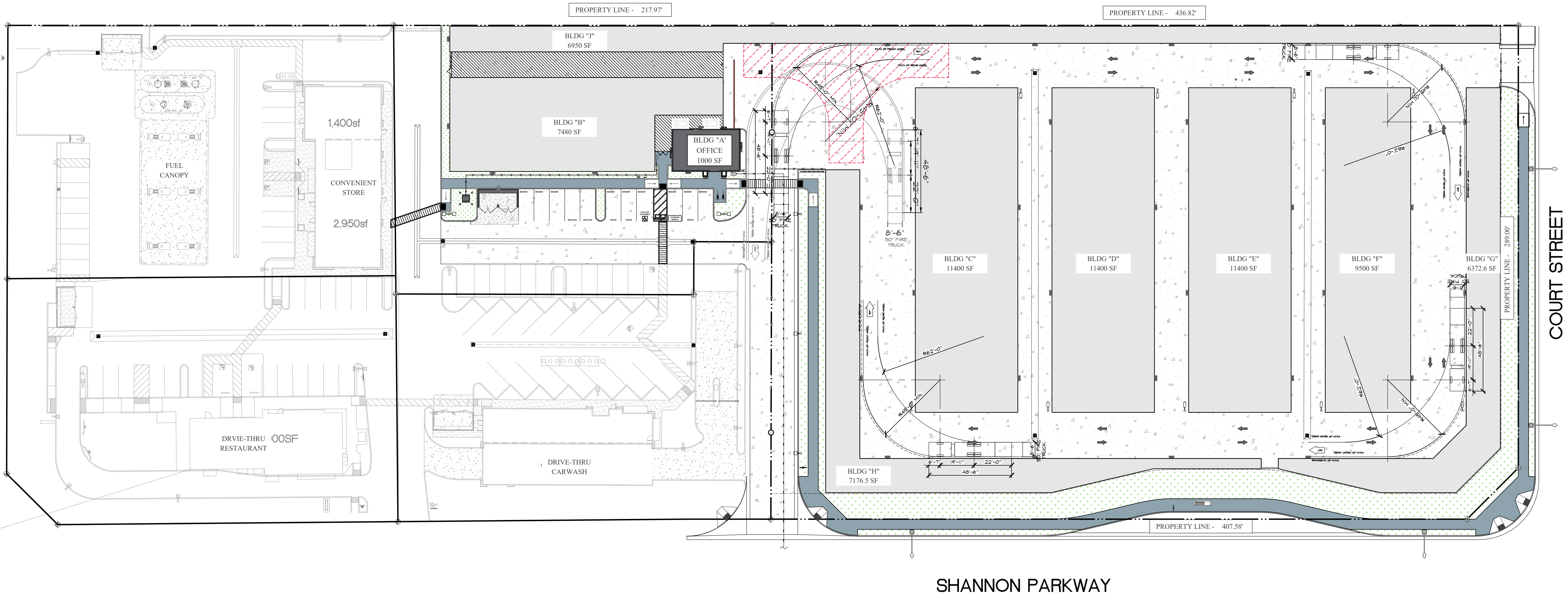
CVEAS JOB #:	2016
DATE:	5/13/2021
PLANNING SUBMITTAL #:	XX-XXXX
PLAN CHECK SUBMITTAL #:	XX-XXXX
DRAWN BY:	KX
CHECKED BY:	RL/KX
SCALE:	NOTED ON PLANS

A0.0

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF CVEAS OR CONSULTANTS AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF CVEAS OR CONSULTANTS. REPRODUCTION OR USE THEREOF IS PERMISSIBLE WITHOUT THE CONSENT OF CVEAS.

PROPERTY LINE - 147.65'

DINUBA AVE. (STATE HWY 63)



OVERALL SITE PLAN

SCALE: 1/8"=1'-0"

PROJECT
PROPOSED STORAGE FACILITY FOR
STORLAND SELF-STORAGE, INC.
SHANNON PARKWAY AND DINUBA BLVD
VISALIA, CA 93292
APN: 079-071-032 - PARCEL 'E' AND 'D'



DATE SIGNED: 5/13/2021

Revisions:	Date:
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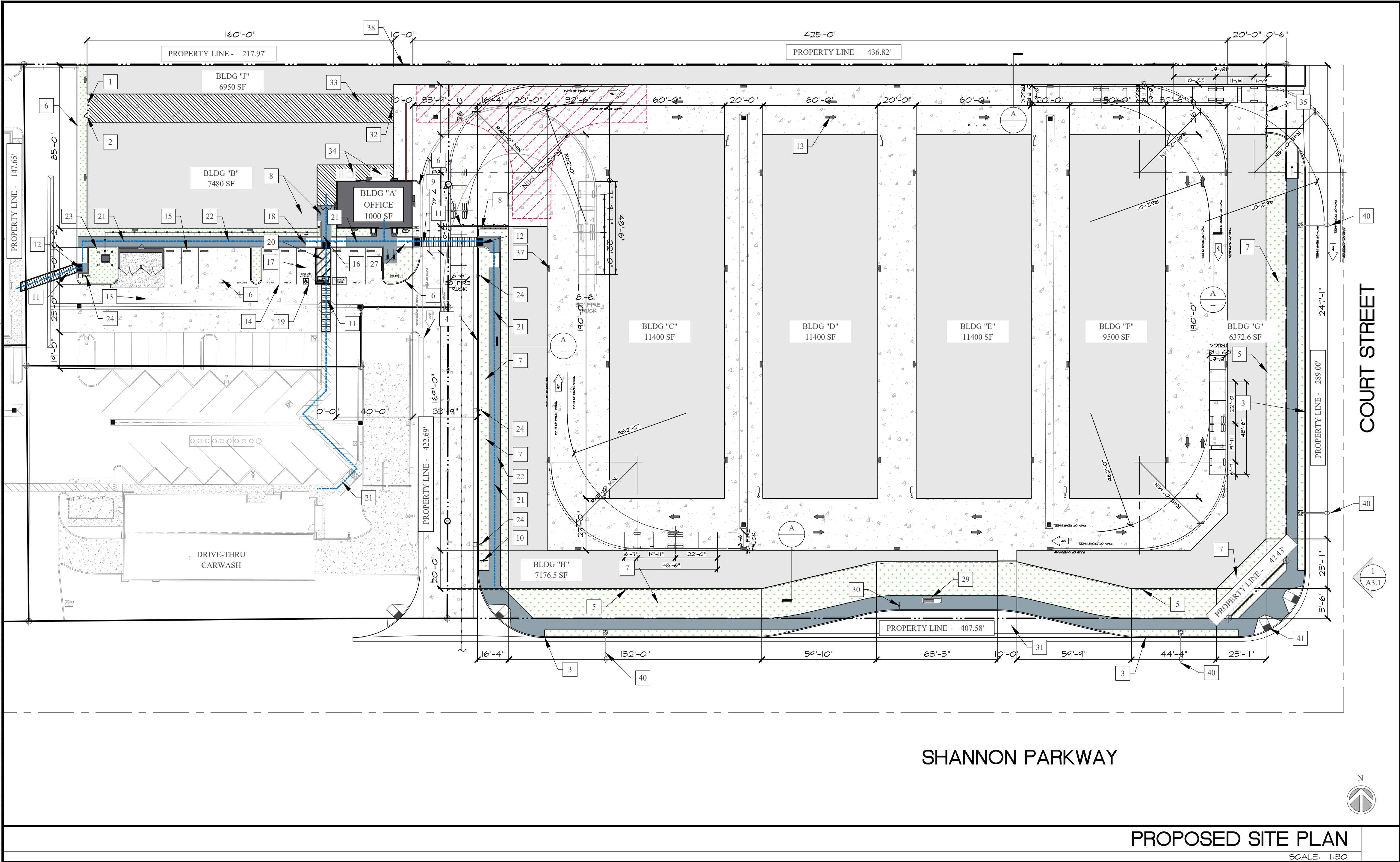
OVERALL
SITE PLAN

CVEAS JOB #:	2016
DATE:	5/13/2021
PLANNING SUBMITTAL #:	XX-XXXX
PLAN CHECK SUBMITTAL #:	XX-XXXX
DRAWN BY:	KX
CHECKED BY:	RL/KX
SCALE:	NOTED ON PLANS

A1.0

CIVIL ENGINEERING • LAND SURVEYING • CONSULTING • STRUCTURAL DESIGN • ARCHITECTURAL DRAFTING • COMMERCIAL & RESIDENTIAL BUILDING DESIGN • PLANNING & PROJECT MANAGEMENT

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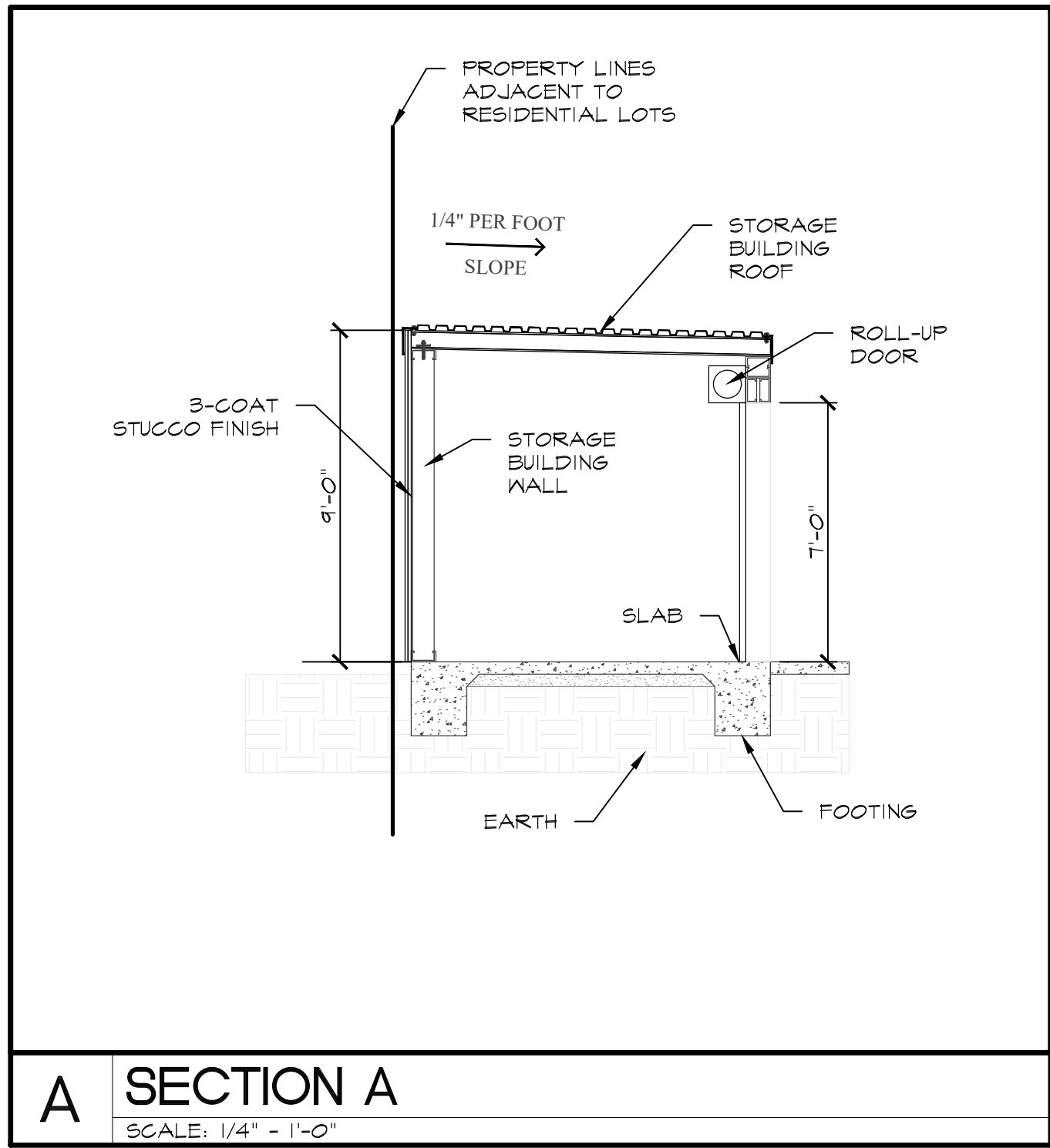
SHANNON PARKWAY



PROPOSED SITE PLAN

SCALE: 1/80

PEDESTRIAN PATH OF TRAVEL NOTES:
THE PEDESTRIAN ROUTE SHALL BE A MINIMUM OF 48" WIDE WITH A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM RUNNING SLOPE OF 5%, UNLESS A COMPLIANT RAMP IS UTILIZED



SITE PLAN KEY NOTES

- (N) 8' HIGH WROUGHT-IRON FENCE.
- (N) 8' HIGH WROUGHT-IRON MAN GATE - 36" MIN. WIDE.
- (N) 6" HIGH CONC. STREET CURB AND GUTTER PER CITY STD C-4.
- (N) 6" HIGH CONC. CURB AND GUTTER
- INDICATES SETBACK LINE AND LANDSCAPE BUFFER.
- (N) 6" HIGH CONCRETE CURB.
- (N) LANDSCAPE. REFER TO LANDSCAPE PLANS FOR ADD'TNL INFO.
- (N) 2' HIGH CMU WALL WITH 6' HIGH WROUGHT-IRON FENCE ABOVE.
- (N) 8' HIGH SLIDING WROUGHT-IRON GATE WITH SECURITY LOCK AND INTERCOM.
- (N) TOW-AWAY SIGN PER DETAIL 5/A1.2.
- (N) STRIPPING INDICATES PEDESTRIAN PATH OF TRAVEL.
- (N) TRUNCATED DOME(S) PER DETAIL 2/A1.2.
- (N) DIRECTIONAL ARROW PER DETAIL 7/A1.2.
- (N) 4" WIDE PAINTED STRIPE (TRAFFIC WHITE) PER CITY STDs. TYP.
- (N) 6" HIGH WHEEL STOP. REFER TO DETAIL 8/A1.2.
- (N) CURB-CUT RAMP. REFER TO DETAIL 12/A1.2.
- (N) ACCESSIBLE PARKING. REFER TO DETAIL 3/A1.2.
- (N) ACCESSIBLE SIGN (POLE MOUNT). REFER TO DETAIL 5/A1.2.
- (N) ACCESSIBLE PARKING SIGN (GROUND). REFER TO DETAIL 4/A1.2.
- (N) ACCESSIBLE PARKING AISLE. REFER TO DETAIL 3/A1.2.
- (N) PEDESTRIAN PATH OF TRAVEL FROM PUBLIC SIDEWALK TO BUILDING.
- (N) CONCRETE SIDEWALK. REFER TO DETAIL 10/A1.2.
- (N) TRASH ENCLOSURE PER CITY STD M-4 AND M-5.
- (N) HOODED LIGHT POLE. REFER TO DETAIL 9/A1.2.
- (N) SHORT/LONG TERM BIKE PARKING W/ MIN. (1) TWO-BIKE CAPACITY RACK. SEE CAL-GREEN 5.106.4.1.1, 5.106.4.1.2 & 5.106.4.1.3.
- (N) ELECTRIC VEHICLE CHARGING STATION.
- INDICATES EDGE OF CONCRETE PAVING AND AC PAVING.
- INDICATES FIRE TRUCK TURNING CLEARANCE.
- (N) BUS STOP SHELTER PER CITY STD TR-1.
- (N) BUS STOP SIGN PER CITY STD TR-2.
- (N) BUS STOP BAY PER CITY STD TR-5.
- 4" Ø BOLLARDS AT 4' HIGH. REFER TO DETAIL 1/A1.3.
- HATCH INDICATE DESIGNATED AREA(S) FOR WALKING ONLY UNLESS NOTED OTHERWISE OR SHOWN OTHERWISE.
- GOLF CART PARKING.
- (N) 6' HIGH WROUGHT-IRON SLIDING GATE(S) WITH APPROVED KNOX BOX. USED FOR EMERGENCY EXIT ONLY.
- (N) SECURITY CAMERA(S) ON BLDG.
- (N) WALL-MOUNTED PACK LIGHT(S) ON BLDG.
- (N) 8' HIGH CMU WALL.
- (N) STREET LIGHT PER CITY STD SL-4.
- (N) 35' RADIUS CORNER AND STREET CURB RAMP PER CITY STD C-17 & C-33.

HATCH LEGEND

- NEW OFFICE BUILDING
- NEW STORAGE BUILDING(S)
- NEW LANDSCAPE AREA(S)
- NEW SIDEWALK
- NEW CONCRETE DRIVEWAY(S)
- NEW AC DRIVEWAY(S)
- NEW ALTERNATIVE HAMMERHEAD TURNAROUND

BUILDING SQUARE FOOTAGE CALCULATIONS

SITE AREA:					
LOT #1:	125,900	SF	2.88	AC	
LOT#2:	33352	SF	0.76	AC	
TOTAL LOT AREAS:	159252	SF	3.65	AC	
SIZE (IN FEET)					
		QNTY			
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STR. BLDG "B":	VARIES			7,480	SF
STR. BLDG "C":	60	X	190	11,400	SF
STR. BLDG "D":	60	X	190	11,400	SF
STR. BLDG "E":	60	X	190	11,400	SF
STR. BLDG "F":	50	X	190	9,500	SF
STR. BLDG "G":	VARIES			6,372.6	SF
STR. BLDG "H":	VARIES			7,176.5	SF
STR. BLDG "J":	VARIES			6,950.0	SF
TOTAL OF ALL STR. BLDGS:				71,679.1	SF
TOTAL AREA OF ALL BLDGS (EXCLUDES PORCH):				72,679.1	SF
ACTUAL LOT COVERAGE:				0.46	%
REQUIRED PARKING: 1 PER 1,000 SF BLDG AREA					
PROVIDED PARKING:					
1	VAN ACCESSIBLE PARKING				
3	EVGS PARKING				
3	VISITOR PARKING				
3	EMPLOYEE PARKING				
3	ADDITIONAL PARKING				
TOTAL:	11	PARKING			

PROPOSED STORAGE FACILITY FOR
STORLAND SELF-STORAGE, INC.
SHANNON PARKWAY AND DINUBA BLVD
VISALIA, CA 93292
APN: 079-071-032 - PARCEL 'E' AND 'D'



DATE SIGNED: 5/13/2021

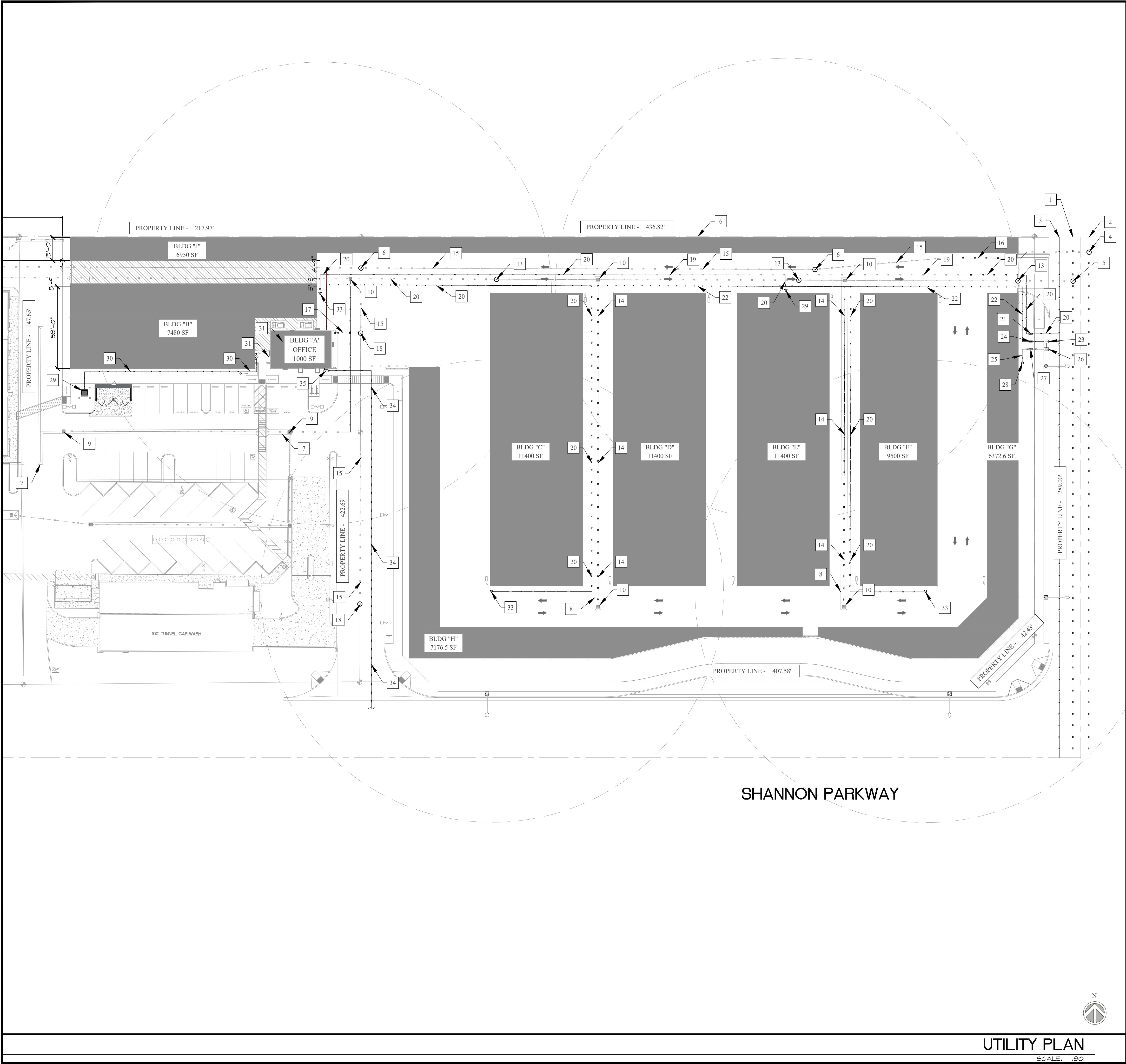
Revisions:	Date:

PROPOSED SITE PLAN

CVEAS JOB #:	2016
DATE:	5/13/2021
PLANNING SUBMITTAL #:	XX-XXXX
PLAN CHECK SUBMITTAL #:	XX-XXXX
DRAWN BY:	KX
CHECKED BY:	RL/KX
SCALE:	NOTED ON PLANS

A1.1

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UTILITY PLAN KEYED NOTES	
1	(E) 30"Ø STORM DRAIN MAIN AT STREET.
2	(E) 12"Ø SEWER MAIN AT STREET.
3	(E) 16"Ø WATER MAIN AT STREET.
4	(E) STORM DRAIN MANHOLE AT STREET.
5	(E) SEWER MAIN MANHOLE AT STREET.
6	(E) SEWER MANHOLE(S)(E)
7	(E) 36" WIDE VALLEY GUTTER.
8	(N) 36" WIDE VALLEY GUTTER.
9	(E) DRAIN INLET.
10	(N) DRAIN INLET.
11	(E) 18"Ø STORM DRAIN LINE.
12	(N) 18"Ø STORM DRAIN LINE.
13	(E) STORM DRAIN MANHOLE(S).
14	(N) 12"Ø STORM DRAIN LINE.
15	(E) 10" ABS SEWER LINE.
16	(N) 10" ABS SEWER LINE.
17	(N) 4" ABS SEWER LATERAL TO BLDG.
18	(N) 4" SEWER CLEAN-OUT.
19	(E) 6" FIRE WATER LINE FOR FIRE HYDRANT(S).
20	(N) 6" FIRE WATER LINE FOR FIRE HYDRANT(S).
21	(N) BACK-FLOW PREVENTER FOR FIRE LINE.
22	(N) 2" WATER LINE FOR BLDG.
23	(N) 1" WATER METER FOR BLDG.
24	(N) 1" BACK-FLOW PREVENTER FOR BLDG.
25	(N) 1" WATER LINE FOR LANDSCAPE.
26	(N) 1" WATER METER FOR LANDSCAPE.
27	(N) 1" BACK-FLOW PREVENTER FOR LANDSCAPE.
28	(N) 1" IRRIGATION CONTROL FOR LANDSCAPE.
29	(E) ELECTRICAL TRANSFORMER.
30	(N) 2" UNDERGROUND ELECTRICAL CONDUIT TO OFFICE BLDG.
31	(N) ELECTRICAL SWITCHGEAR.
32	(N) ELECTRICAL PANEL INSIDE OFFICE.
33	(N) FIRE HYDRANT PER CITY STD W-I.
34	(N) 1"Ø GAS MAIN TO BLDG.
35	(N) 1"Ø GAS METER.
36	INDICATES 100' RADIUS COVERAGE.
37	EVCS CHARGING STATION - STANDARD.




CENTRAL VALLEY
ENGINEERING & SURVEYING, INC.

2511 LOGAN STREET Tel: (559) 891-8811
SELMA, CA 93662 Fax: (559) 891-8815
WWW.CVEAS.COM Email: info@cveas.com

PROJECT

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STORLAND SELF-STORAGE, INC.
SHANNON PARKWAY AND DINUBA BLVD
VISALIA, CA 93292
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UTILITY PLAN

CVEAS JOB # :
2016

DATE:
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XX-XXXX

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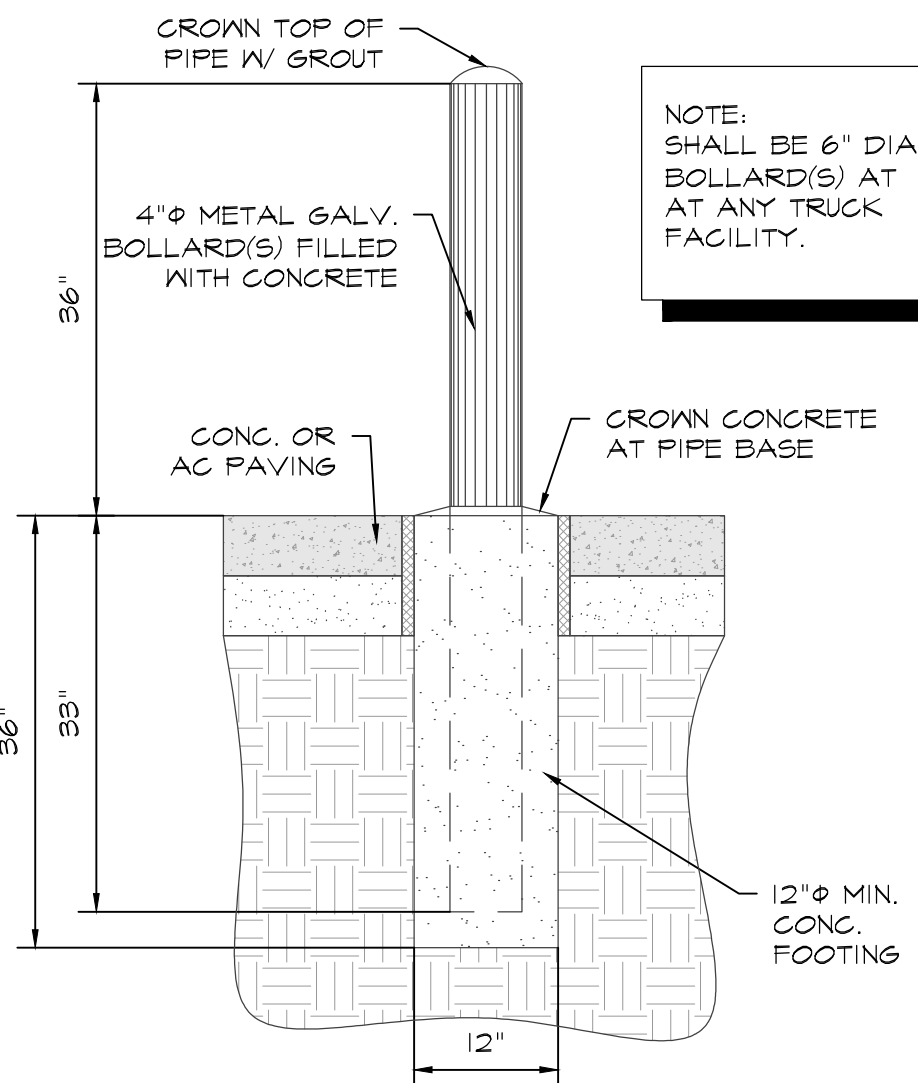
SCALE:
NOTED ON PLANS

A1.2

CIVIL ENGINEERING • LAND SURVEYING • CONSULTING • STRUCTURAL DESIGN • ARCHITECTURAL DRAFTING • COMMERCIAL & RESIDENTIAL BUILDING DESIGN • PLANNING & PROJECT MANAGEMENT

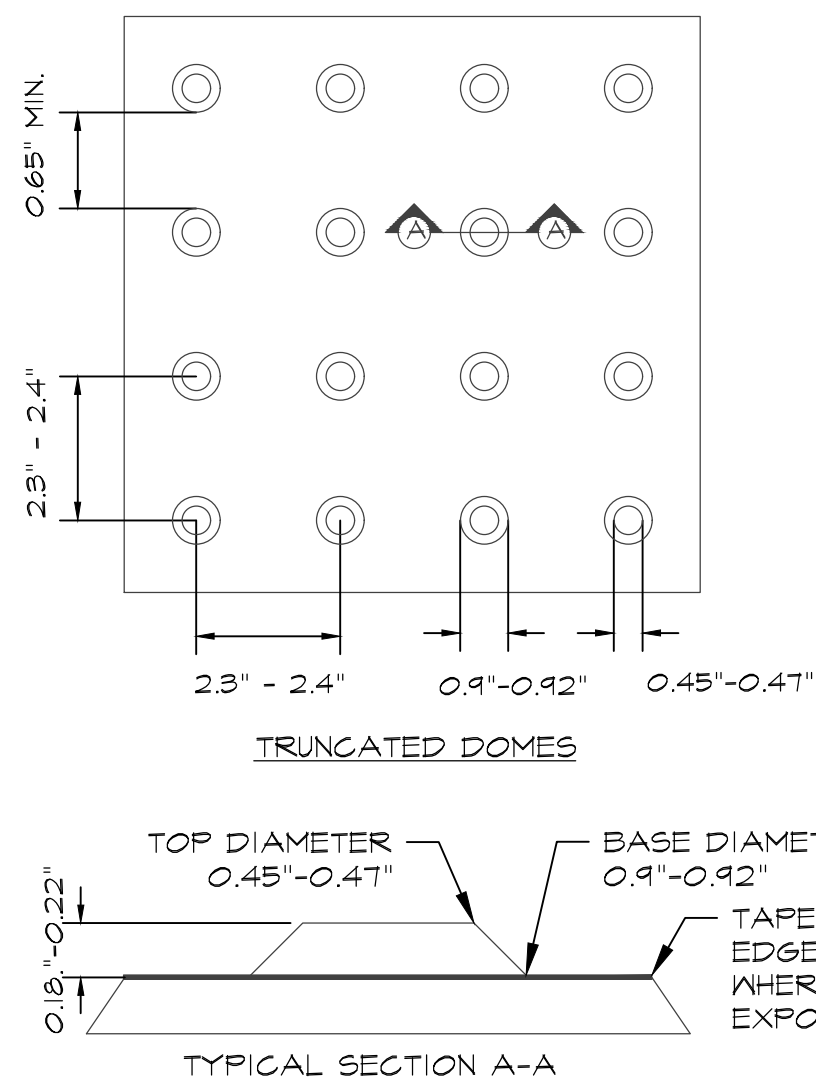
UTILITY PLAN
SCALE: 1:30

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1 BOLLARD DETAIL - TYP.

SCALE: N.T.S.

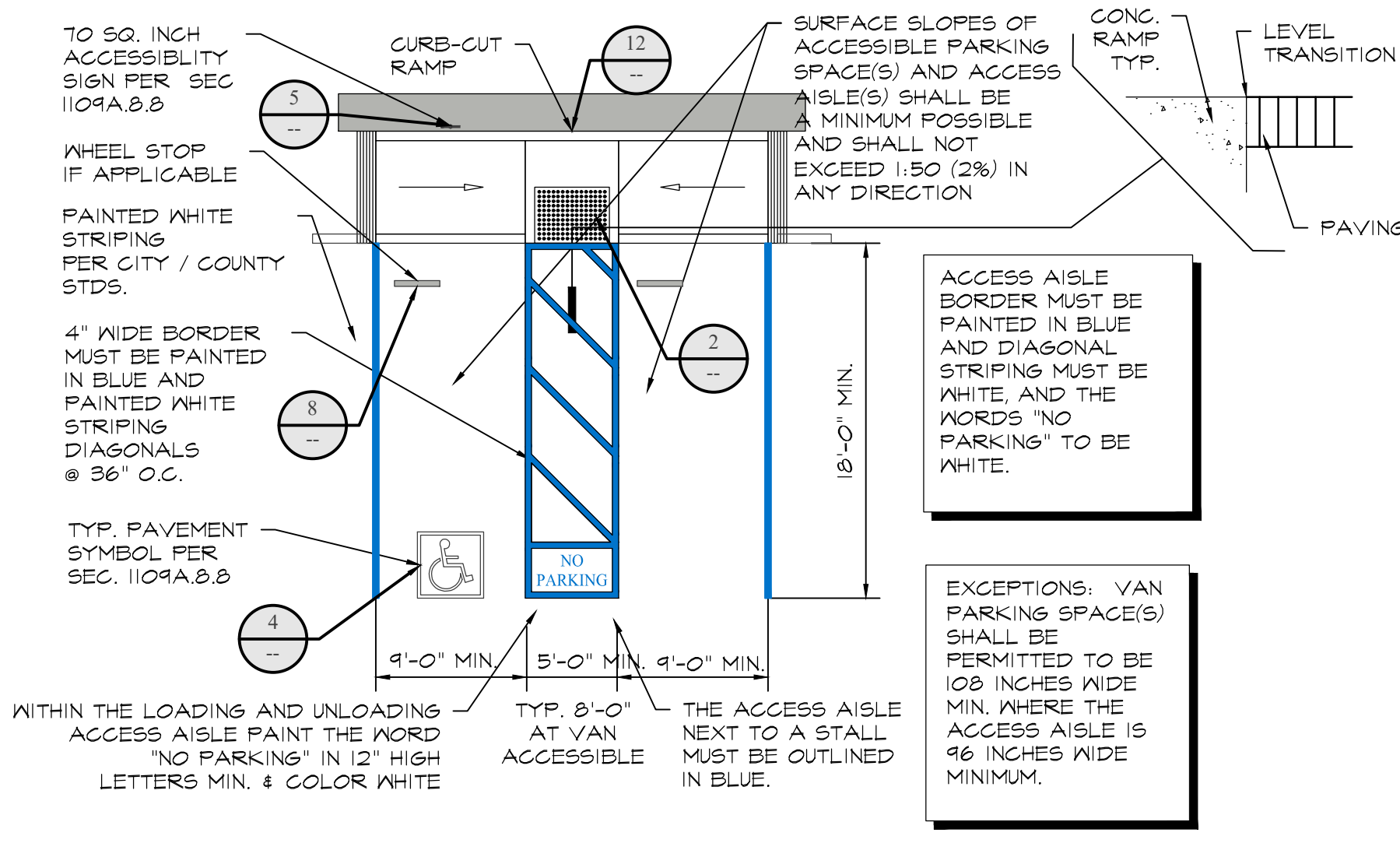


2 TRUNCATED DOMES - TYP.

SCALE: N.T.S.

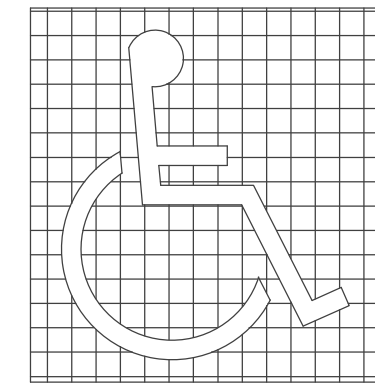
ALL CURB RAMP SHALL HAVE A GROOVED BORDER 12\"/>

NOTE: THE TRANSITION TO WALKS, CUTTERS OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGE (NO LIP)

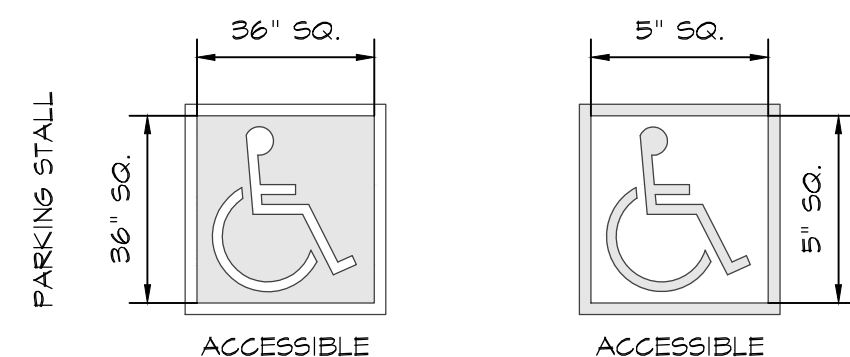


3 ACCESSIBLE PARKING STALL - STRAIGHT - TYP.

SCALE: N.T.S.



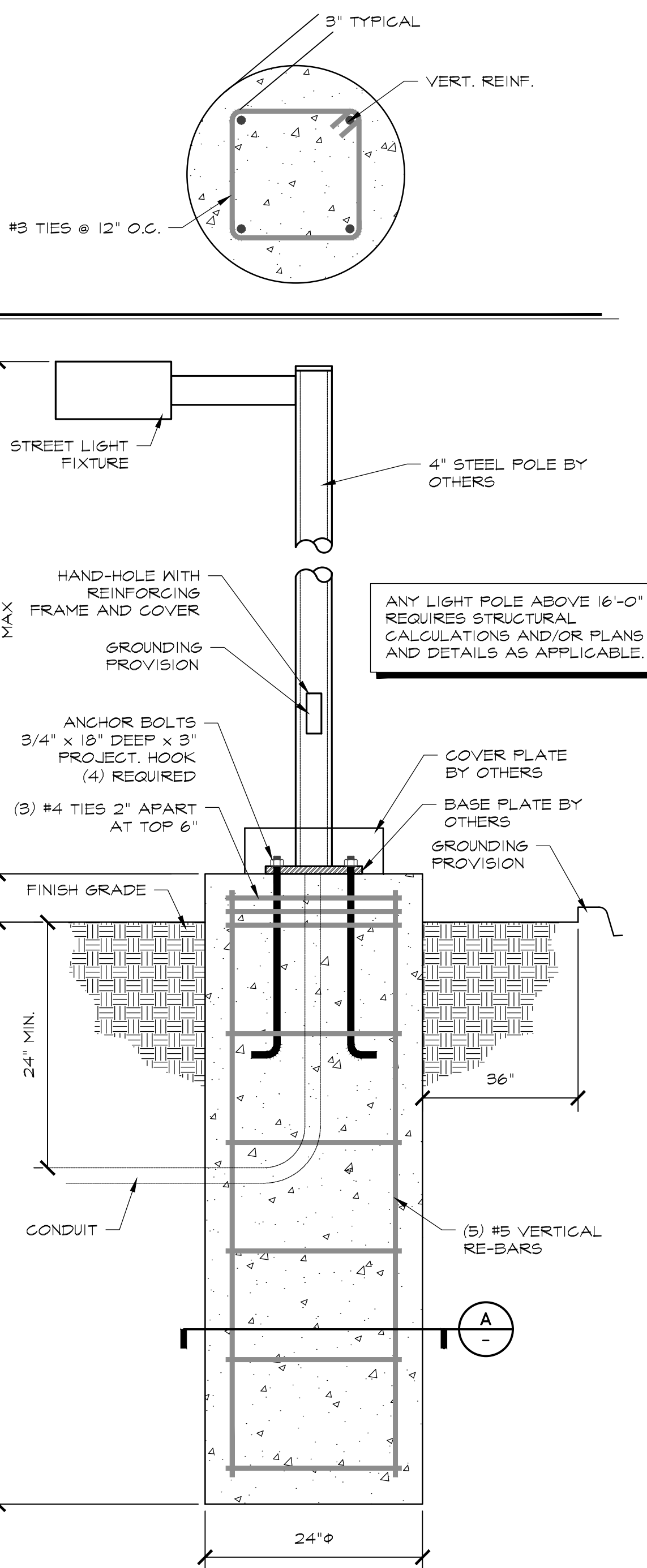
SYMBOL PROPORTIONS



DISPLAY CONDITIONS

4 ISA SIGNAGE - TYP.

SCALE: N.T.S.



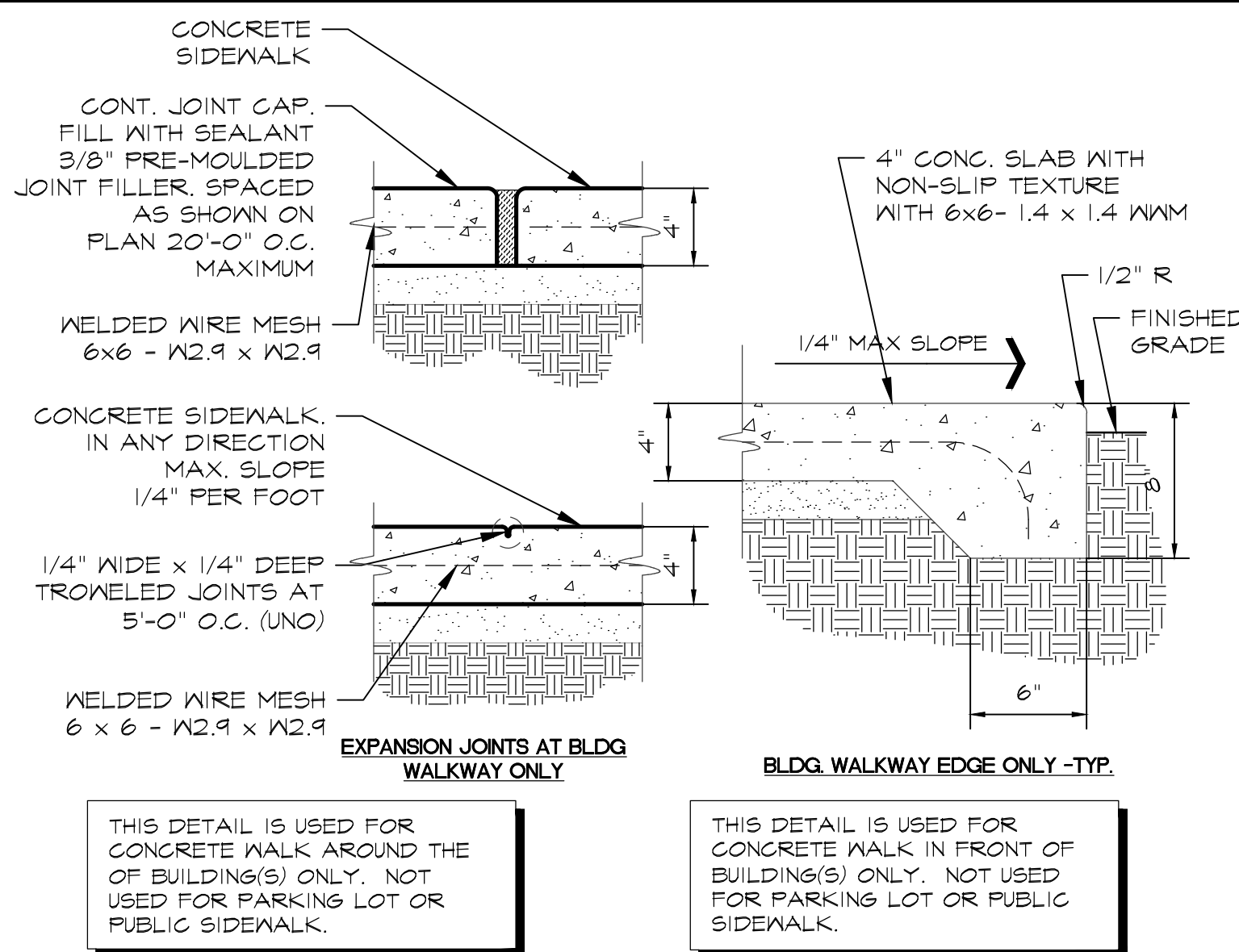
9 LIGHT POLE MOUNTING - TYP.

SCALE: N.T.S.

- CHARACTERS, SYMBOLS, AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH.
- CHARACTERS & SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND.
- VISUAL CHARACTERS ON SIGNS SHALL COMPLY WITH CBC 1117B.5.3 REGARDING FONT PROPORTIONS. (8.01.13 CBC SUPPLEMENT) THE WIDTH OF THE UPPERCASE LETTER 'O' IS TO BE 60% MINIMUM AND 10% MAXIMUM OF THE HEIGHT OF THE UPPERCASE LETTER 'I'. STROKE THICKNESS OF THE UPPERCASE LETTER 'I' SHALL BE 10% MINIMUM AND 20% MAXIMUM OF THE HEIGHT OF THE CHARACTER.
- RAISED CHARACTERS ON SIGNS SHALL BE RAISED 1/32\"/>
- RAISED CHARACTERS SHALL BE A MIN. OF 5/8\"/>
- BRAILLE SHALL BE PLACED A MIN. OF 3/8\"/>
- PICTORIAL SYMBOL SIGNS (PICTOGRAMS) SHALL BE ACCOMPANIED BY THE VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE OUTSIDE DIMENSION OF THE PICTOGRAM FIELD SHALL BE A MINIMUM OF 6\"/>
- EVERY EXIT SIGN AND DIRECTION EXIT SIGN SHALL HAVE PLAINLY LEGIBLE LETTERS NOT LESS THAN 6 INCHES HIGH WITH THE PRINCIPAL STROKES OF THE LETTERS NOT LESS THAN 3/4 INCH WIDE.
- THE WORD "EXIT" SHALL HAVE LETTERS HAVING WIDTH NOT LESS THAN 2 INCHES WIDE, EXCEPT THE LETTER 'I', AND THE MINIMUM SPACING BETWEEN LETTERS SHALL NOT BE LESS THAN 3/8 INCHES.
- THE WORD "EXIT" SHALL BE IN HIGH CONTRAST WITH BACKGROUND. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. TO ENSURE CONTINUED ILLUMINATION, PROVIDE EMERGENCY BATTERY BACKUP.
- EXIT SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR, WHERE THERE IS NO ALL SPACE ON THE LATCH SIDE, INCLUDING AT DOUBLE LEAF DOORS. SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT.
- EXIT SIGN & TYP. SIGNS WITH RAISED CHARACTERS AND BRAILLE SHALL BE LOCATED 48\"/>
- MOUNTING LOCATION SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWINGS OF A DOOR.
- ILLUMINATED EXIT SIGNS SHALL BE CENTERED ABOVE THE EXIT DOOR.

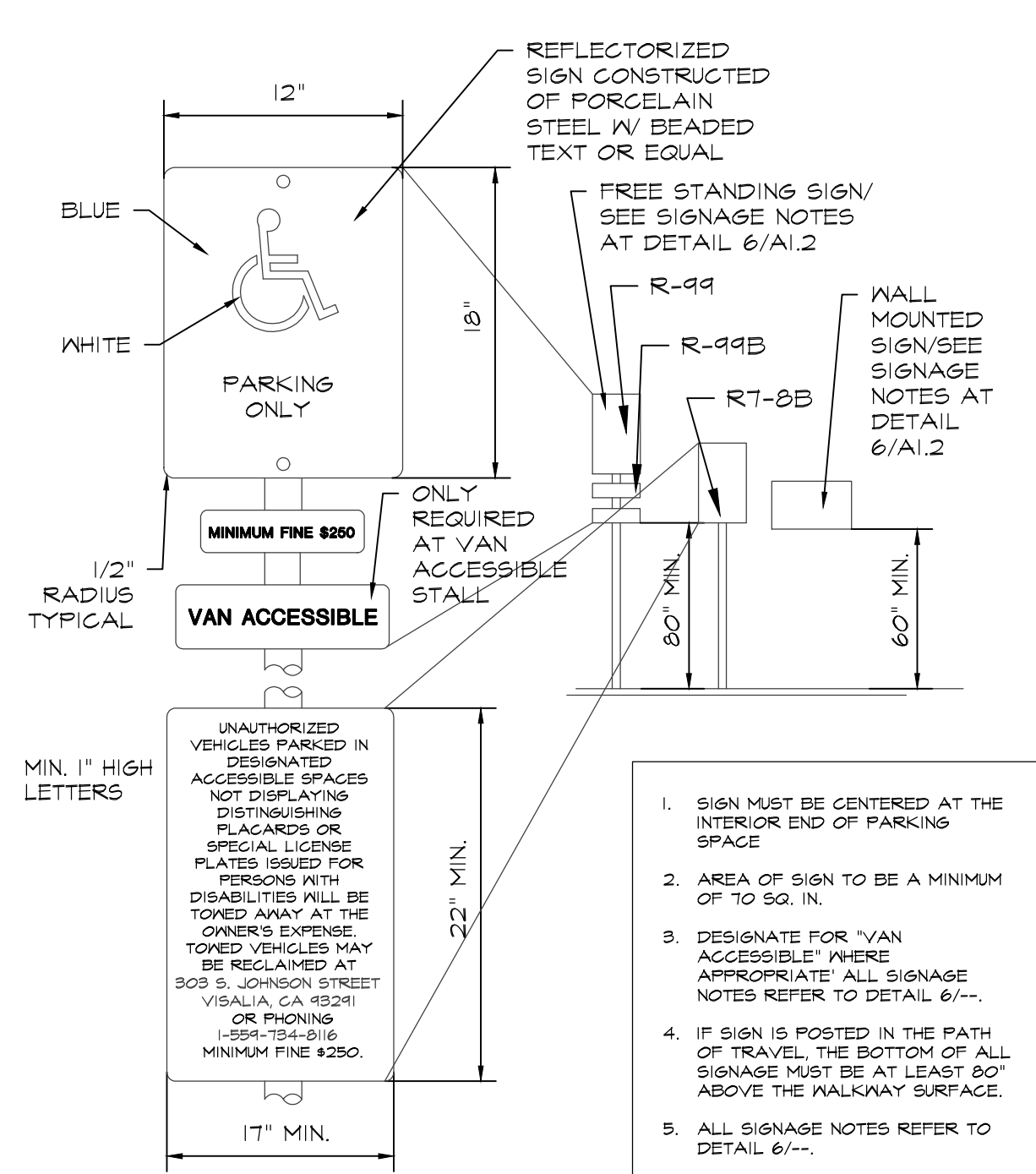
6 SIGNAGE NOTES - TYPICAL

SCALE: N.T.S.



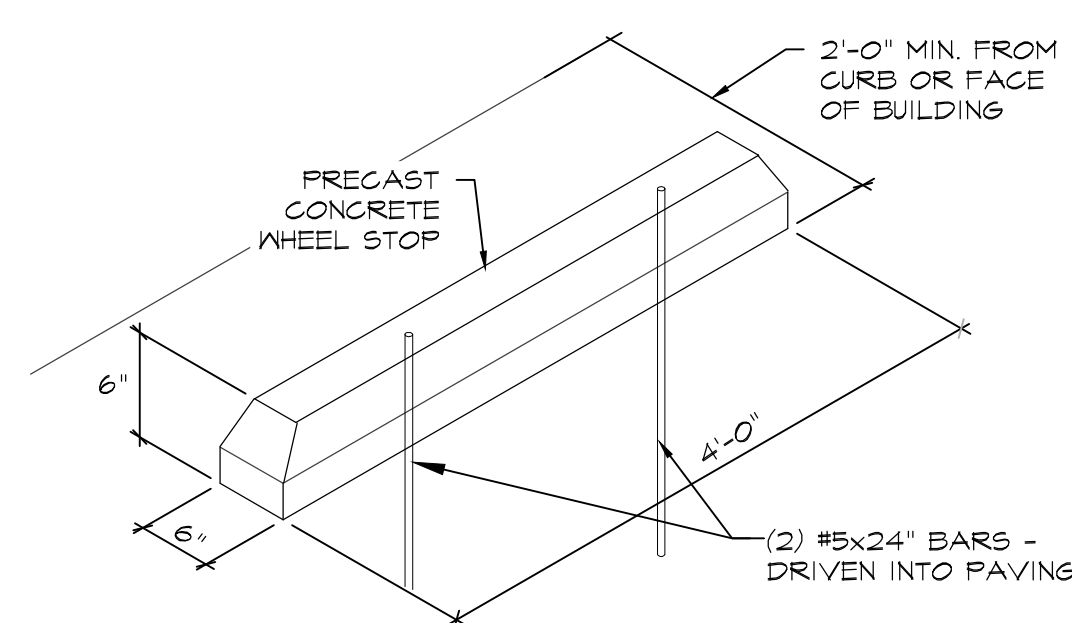
10 BLDG WALKWAY DETAIL - TYPICAL

SCALE: N.T.S.



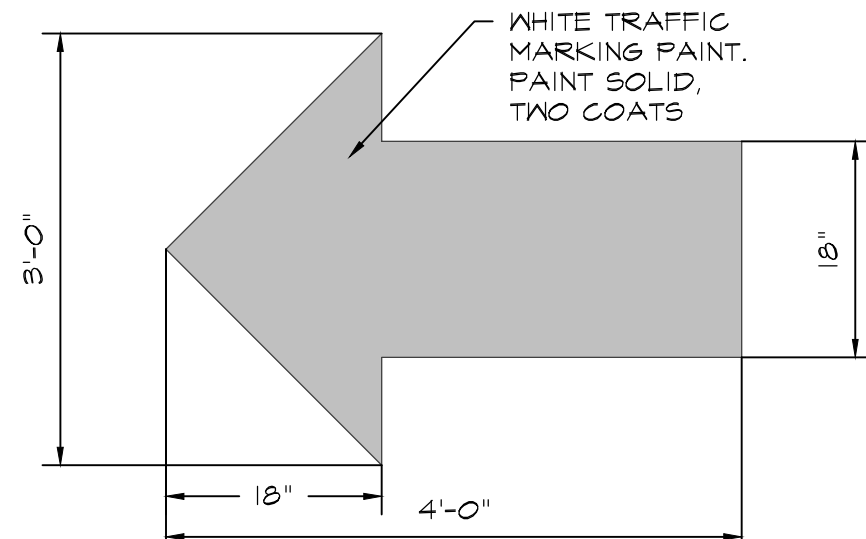
5 ACCESSIBLE SIGNAGE - TYP.

SCALE: N.T.S.



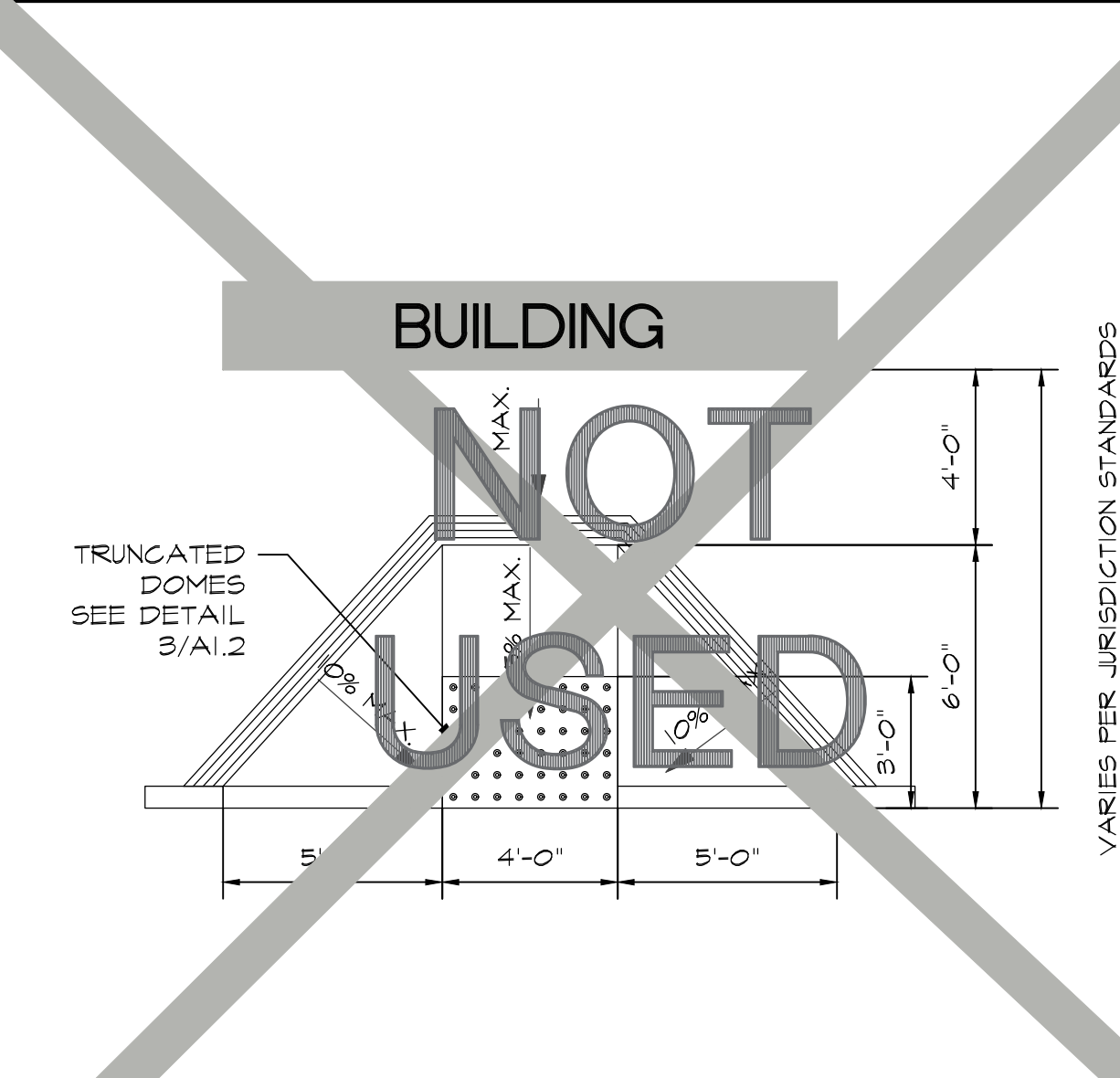
8 WHEEL STOP - TYP.

SCALE: N.T.S.



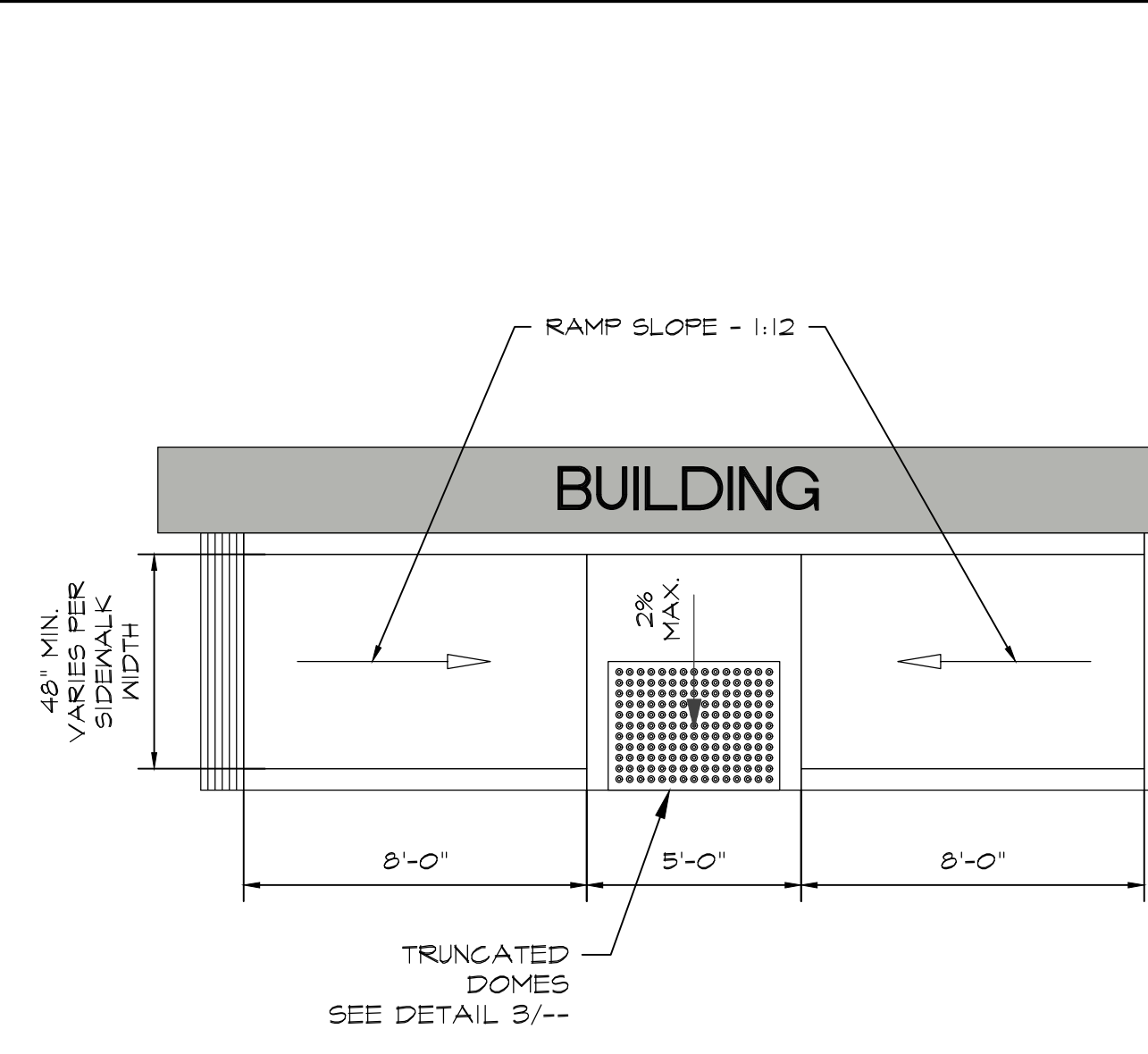
7 DIRECTIONAL ARROW - TYP.

SCALE: N.T.S.



11 STANDARD CURB RAMP - TYP.

SCALE: N.T.S.



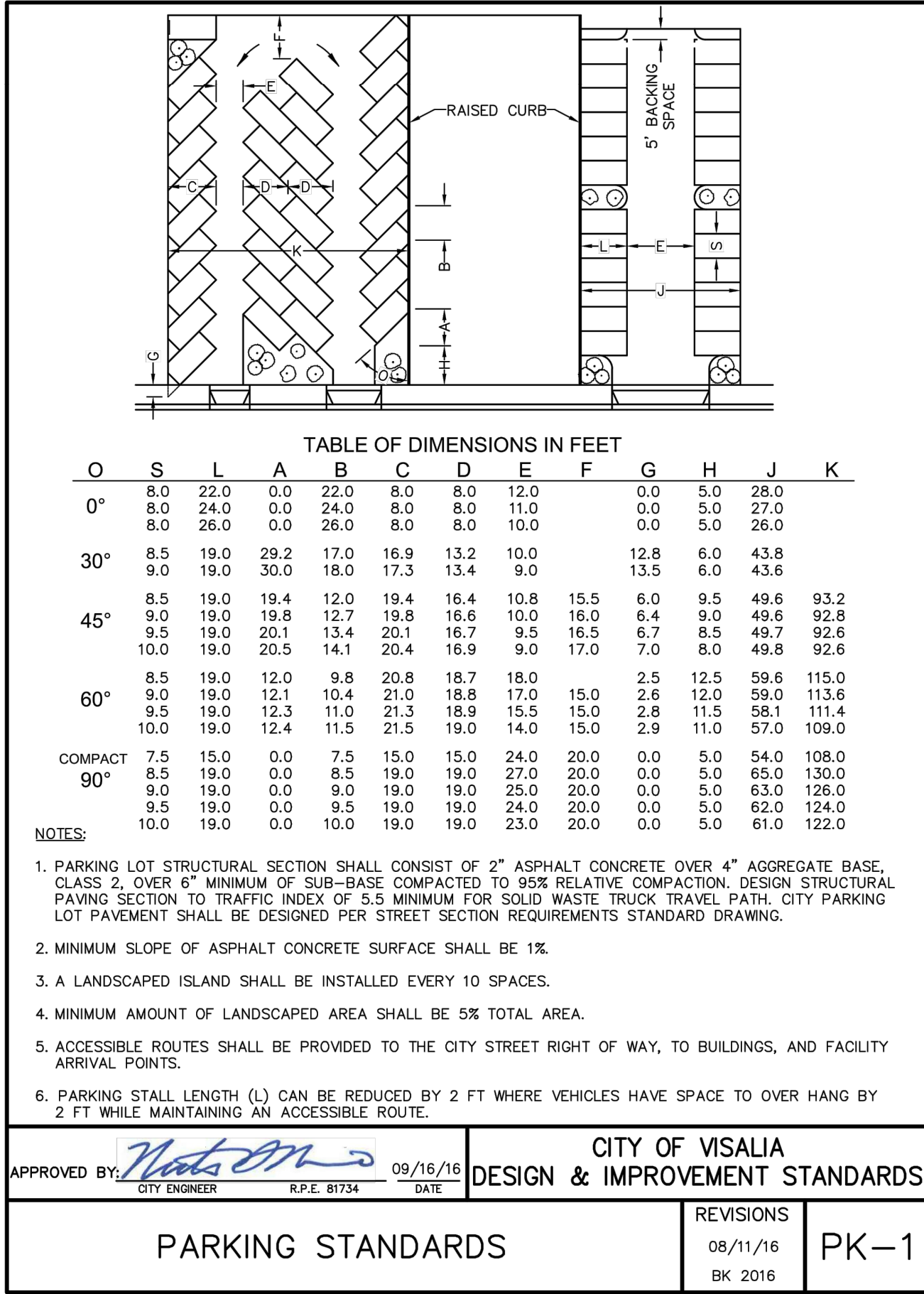
12 ACCESSIBLE CURB-CUT RAMP - TYP.

SCALE: N.T.S.

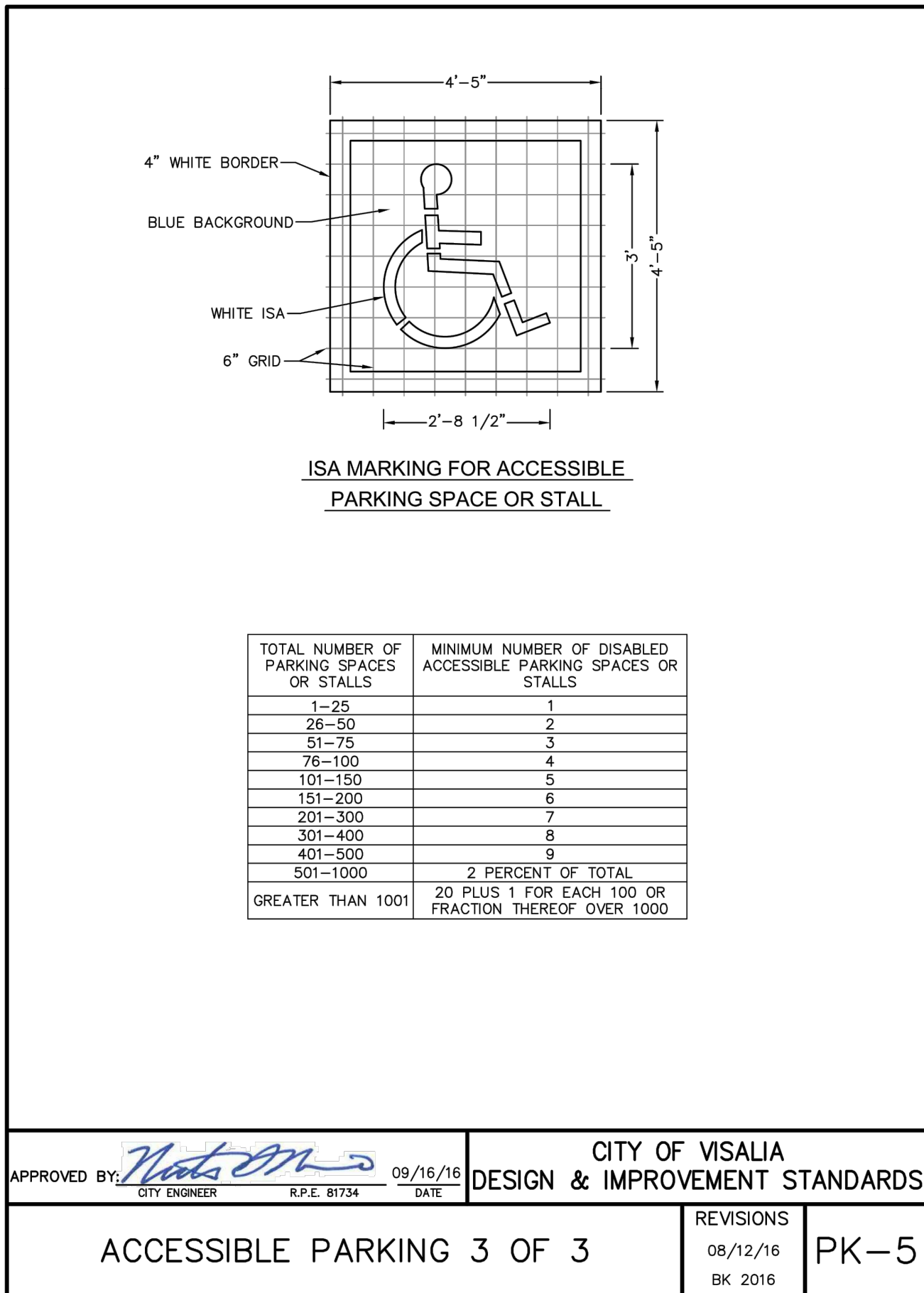
Revisions:	Date:
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4	
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SITE DETAILS	
CVEAS JOB #:	2016
DATE:	5/13/2021
PLANNING SUBMITTAL #:	XX-XXXX
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DRAWN BY:	KX
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SCALE:	NOTED ON PLANS

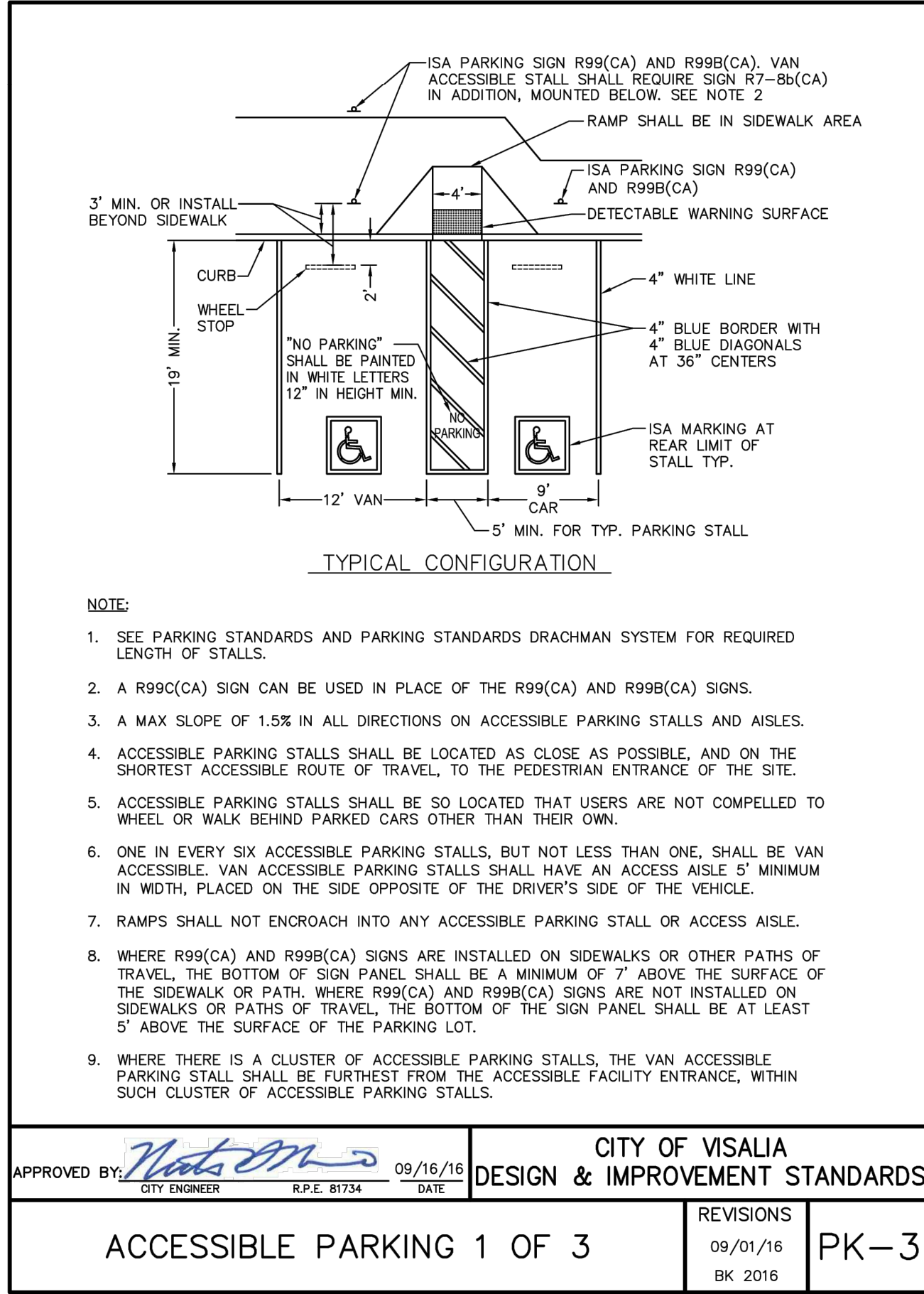
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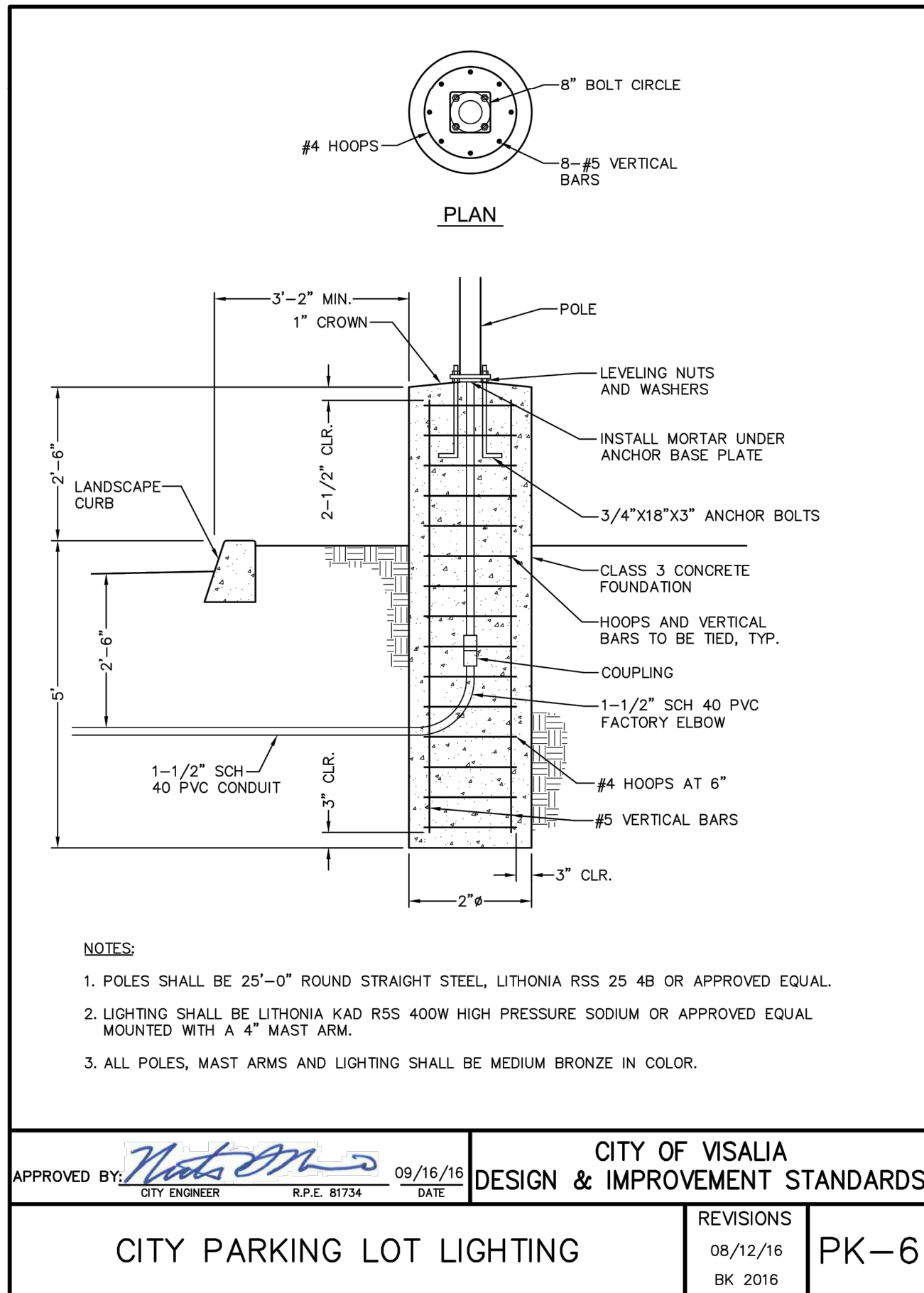
PK-1 CITY OF VISALIA PARK'G STD'S
SCALE: N.T.S.



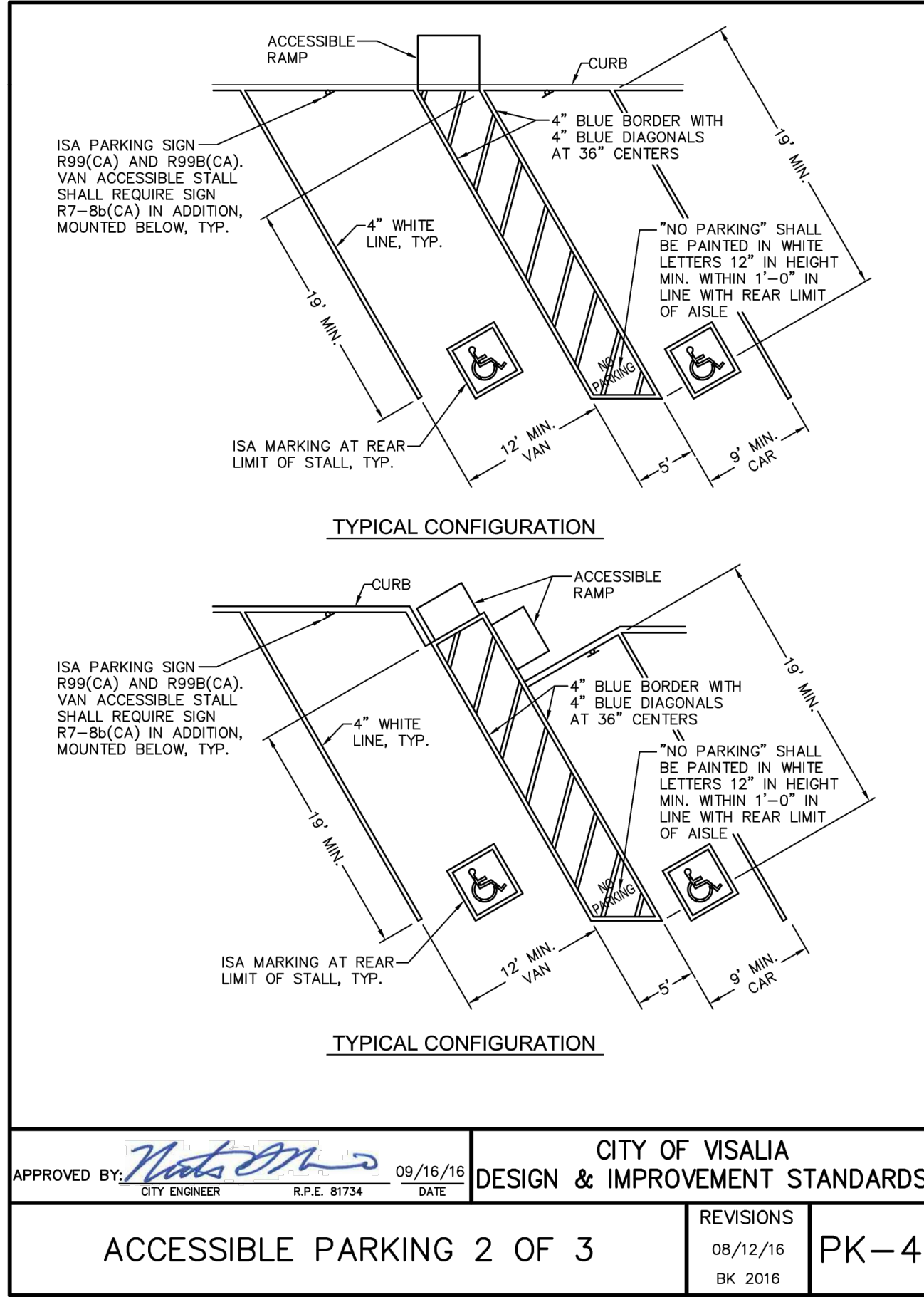
PK-5 CITY OF VISALIA ACCESS. PARK'G
SCALE: N.T.S.



PK-3 CITY OF VISALIA ACCESS PARK'G
SCALE: N.T.S.



PK-6 CITY OF VISALIA PARK'G LIGHT
SCALE: N.T.S.



PK-4 CITY OF VISALIA ACCESS PARK'G
SCALE: N.T.S.

PROPOSED STORAGE FACILITY FOR"
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SHANNON PARKWAY AND DINUBA BLVD
VISALIA, CA 93292
APN: 079-071-032 - PARCEL 'E' AND 'D'



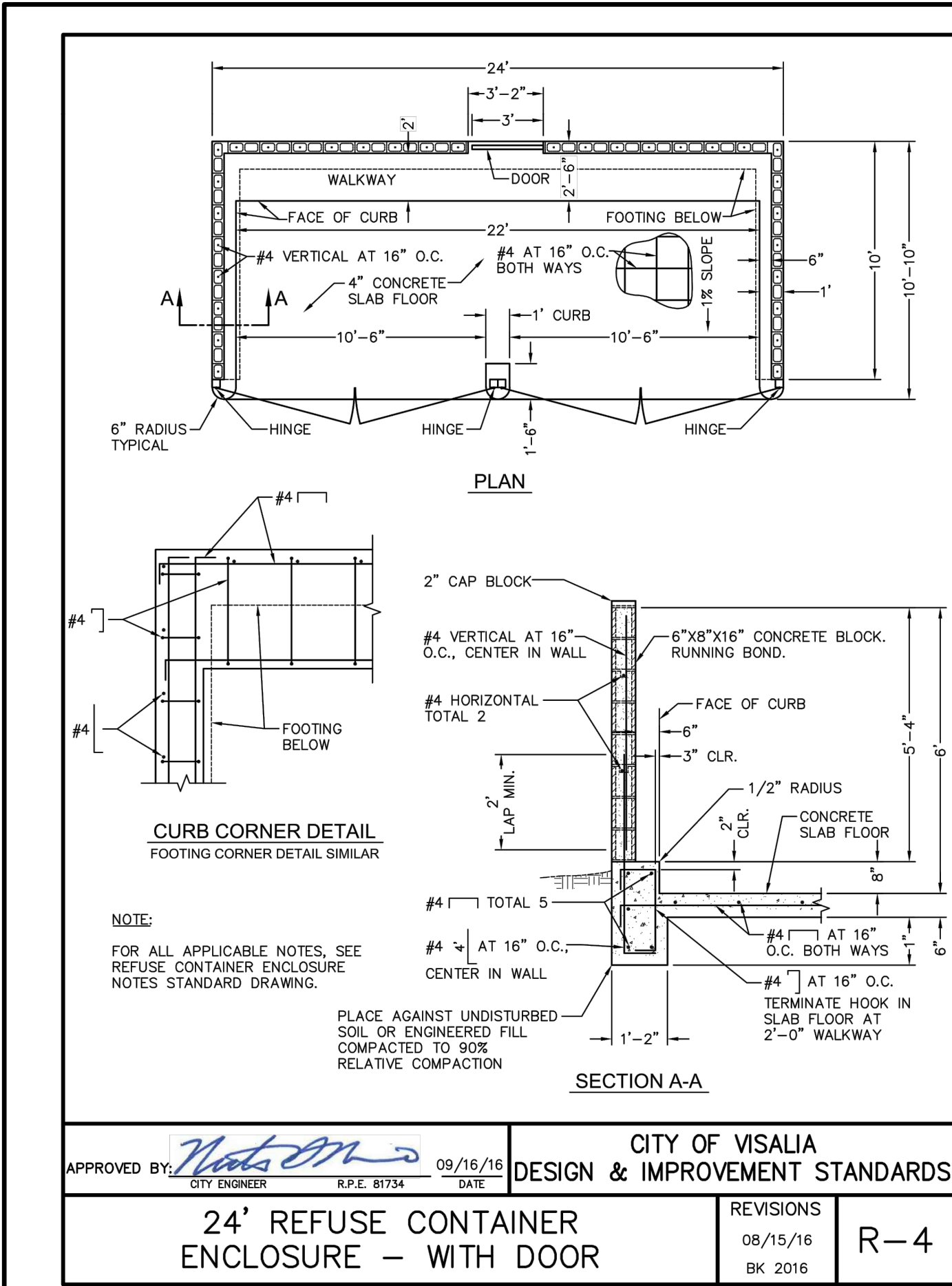
DATE SIGNED: 5/13/2021

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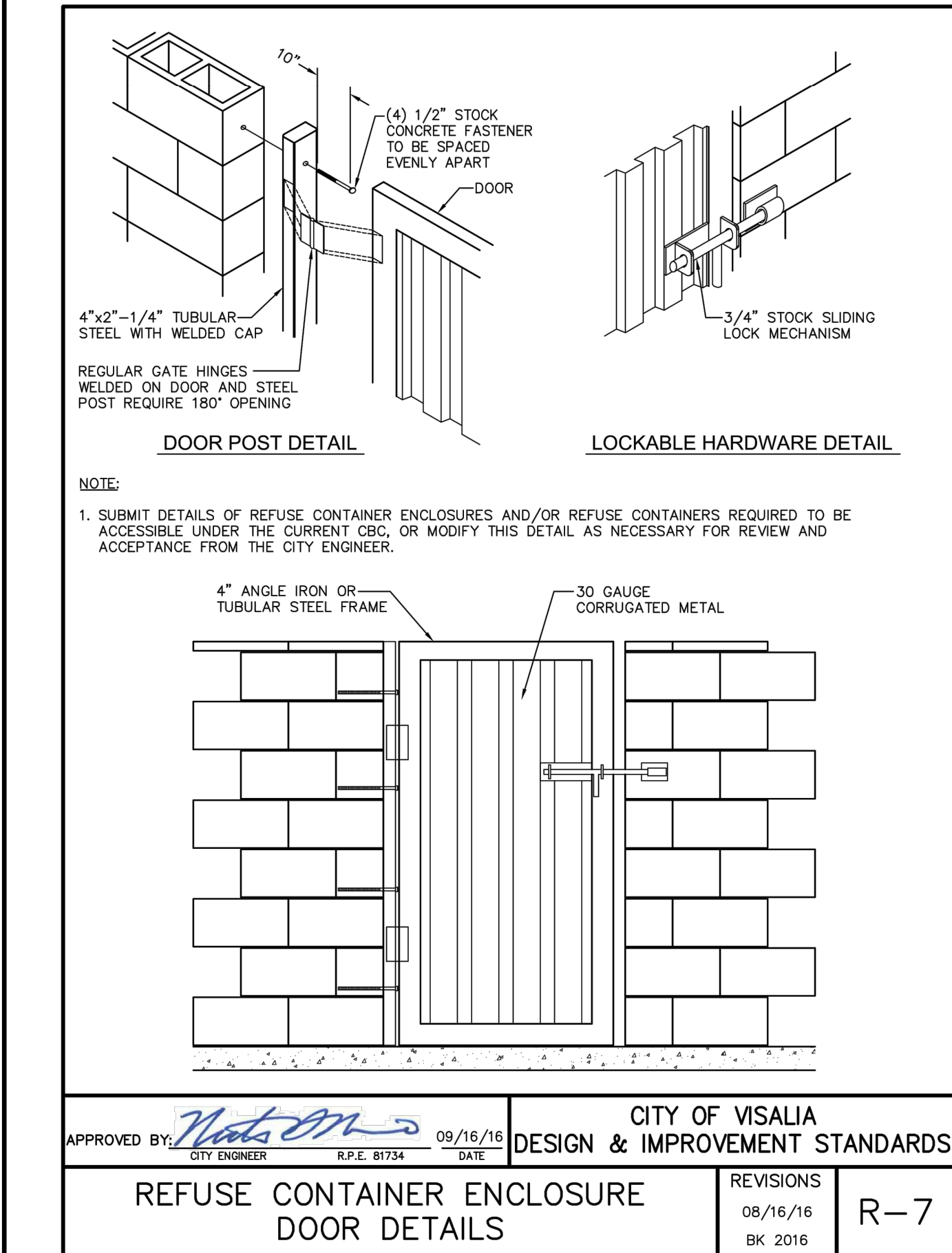
CITY OF VISALIA
STANDARDS

CVEAS JOB #:	2016
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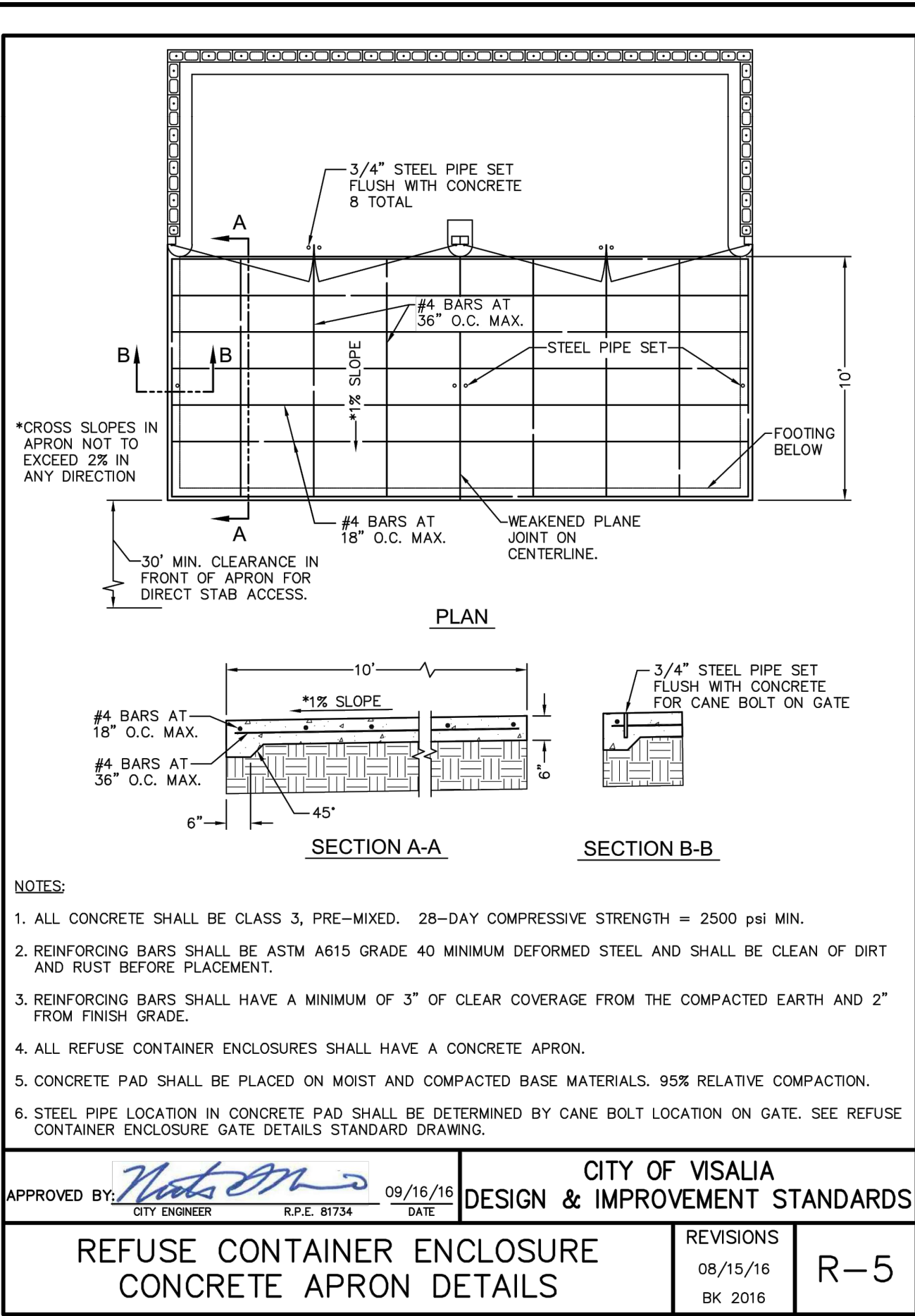
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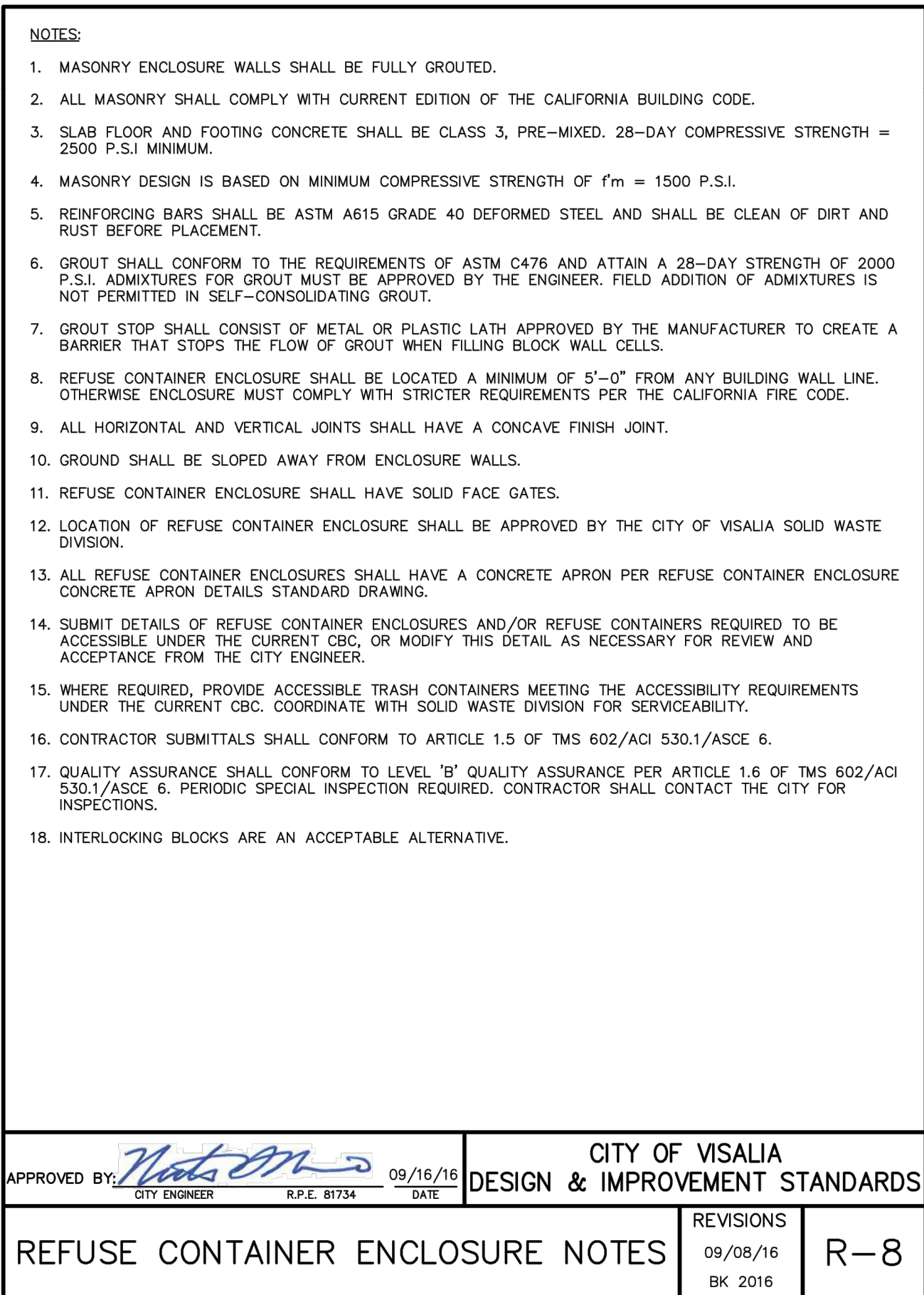
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SCALE: N.T.S.



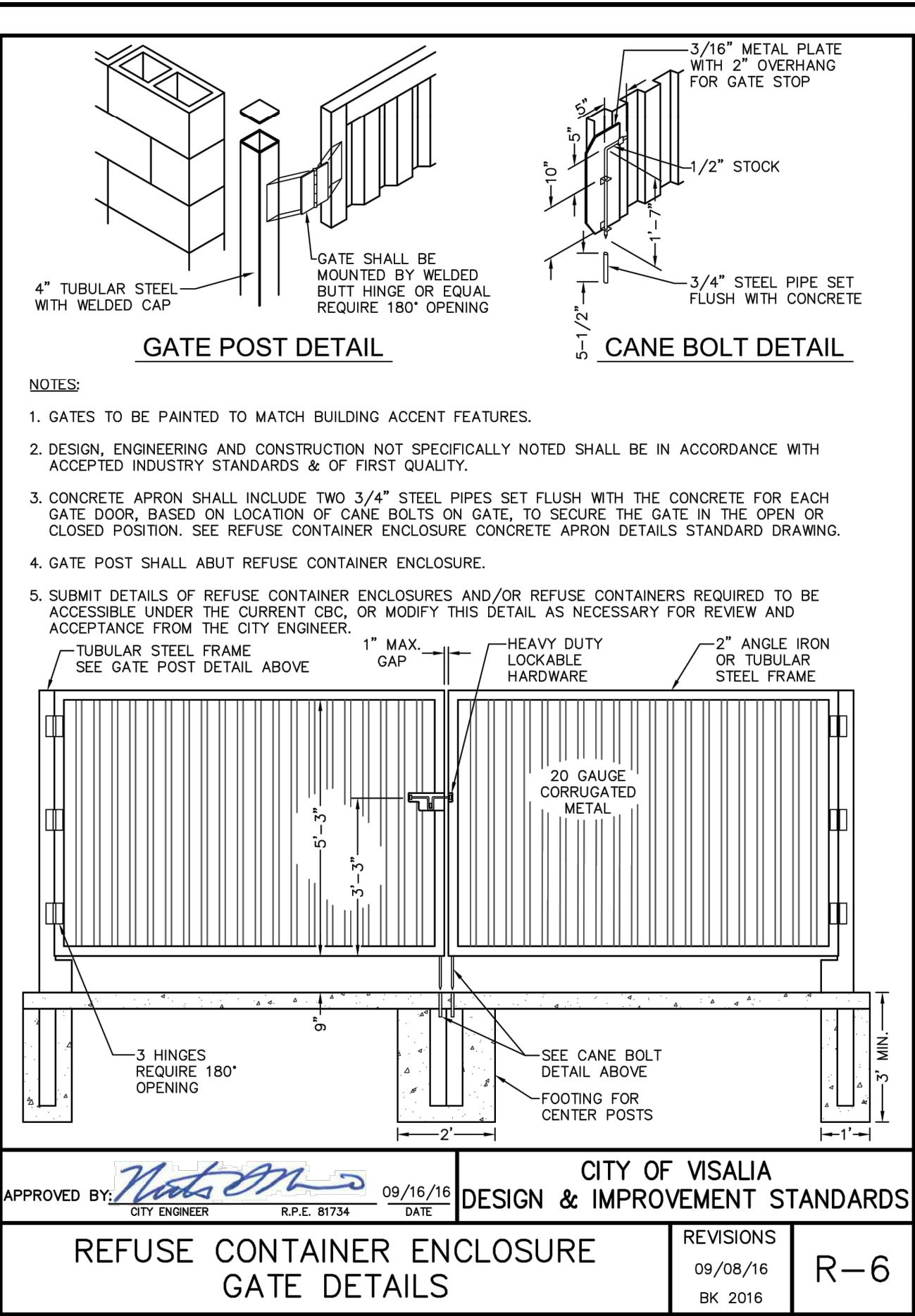
PK-5 CITY OF VISALIA ACCESS. PARK'G
SCALE: N.T.S.



PK-3 CITY OF VISALIA ACCESS PARK'G
SCALE: N.T.S.



PK-6 CITY OF VISALIA PARK'G LIGHT
SCALE: N.T.S.



PK-4 CITY OF VISALIA ACCESS PARK'G
SCALE: N.T.S.

PROPOSED STORAGE FACILITY FOR"
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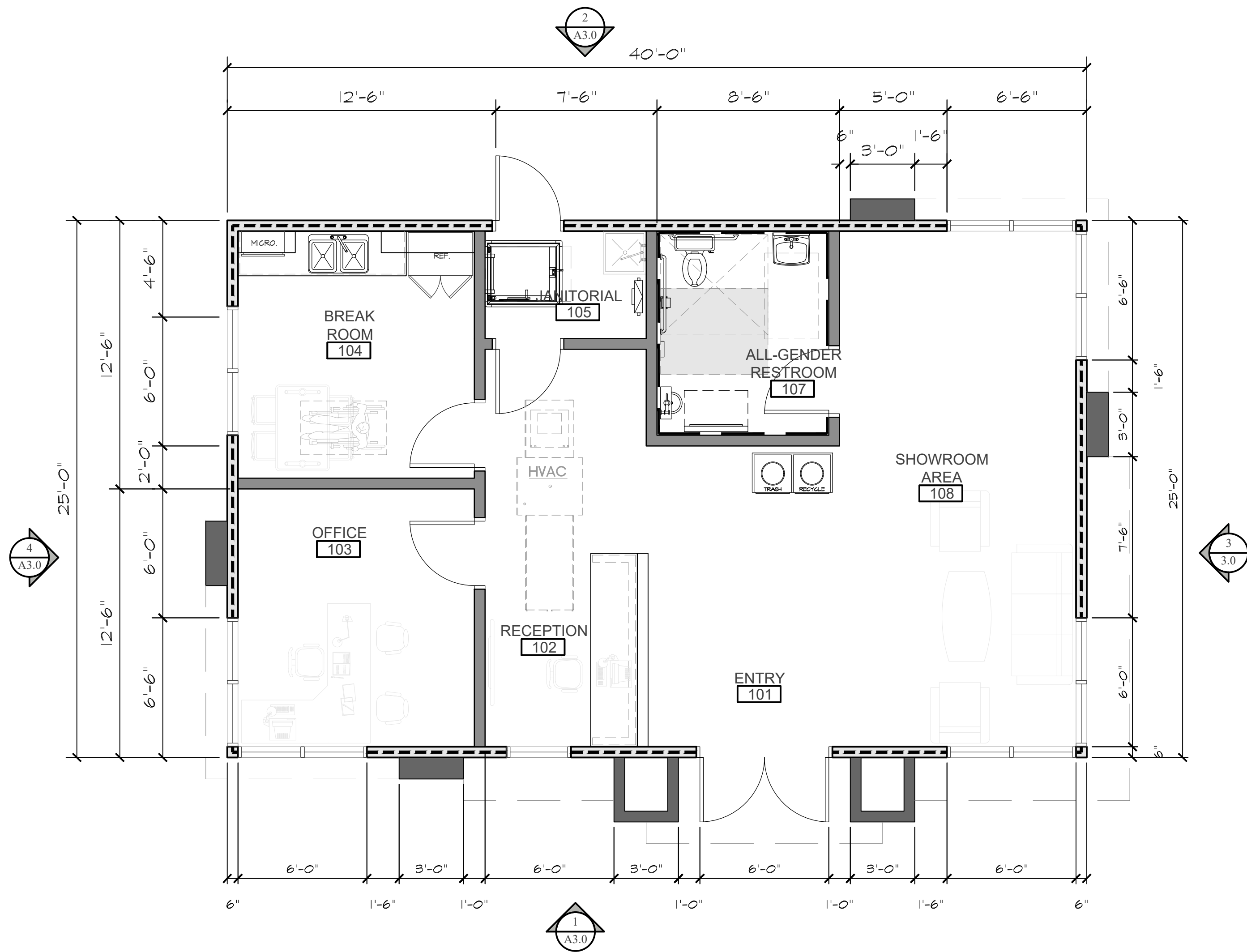
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CITY OF VISALIA
STANDARDS

CVEAS JOB #:	2016
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A1.6

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PROPOSED FLOOR PLAN

SCALE: 1/4"=1'-0"

WALL LEGEND	
TYPE	DESCRIPTION
	EXTERIOR WALL - 2x6 DF#2 WOOD STUD WALL @ 16" O.C. EXTERIOR - 3 COAT STUCCO WALL FINISH: 7/8" MIN. THICKNESS OVER 17 GA x 1 1/2" HEXAGONAL PAPER-BACKED WIRE LATH OVER 2-LAYERS OF TYPE 'D' PAPER UNDER-LAYMENT OVER PLYWOOD SHEATHING. INTERIOR - 1/2" DRYWALL WITH SCREWS - REFER TO STRUCTURAL PLANS FOR NAILING.
	INTERIOR WALL - 2x4 DF#2 WOOD STUD WALL @ 16" O.C. INTERIOR - 1/2" DRYWALL WITH SCREWS - REFER TO STRUCTURAL PLANS FOR NAILING.
	POP-OUT WALL - 2x4 DF#2 WOOD STUD WALL @ 16" O.C. EXTERIOR - 3 COAT STUCCO WALL FINISH: 7/8" MIN. THICKNESS OVER 17 GA x 1 1/2" HEXAGONAL PAPER-BACKED WIRE LATH OVER 2-LAYERS OF TYPE 'D' PAPER UNDER-LAYMENT OVER PLYWOOD SHEATHING.

PROJECT

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DATE SIGNED: 5/13/2021

Revisions:	Date:

PROPOSED OFFICE
FLOOR PLAN

CVEAS JOB #:	2016
DATE:	5/13/2021
PLANNING SUBMITTAL #:	XX-XXXX
PLAN CHECK SUBMITTAL #:	XX-XXXX
DRAWN BY:	KX
CHECKED BY:	RL/KX
SCALE:	NOTED ON PLANS

A2.0

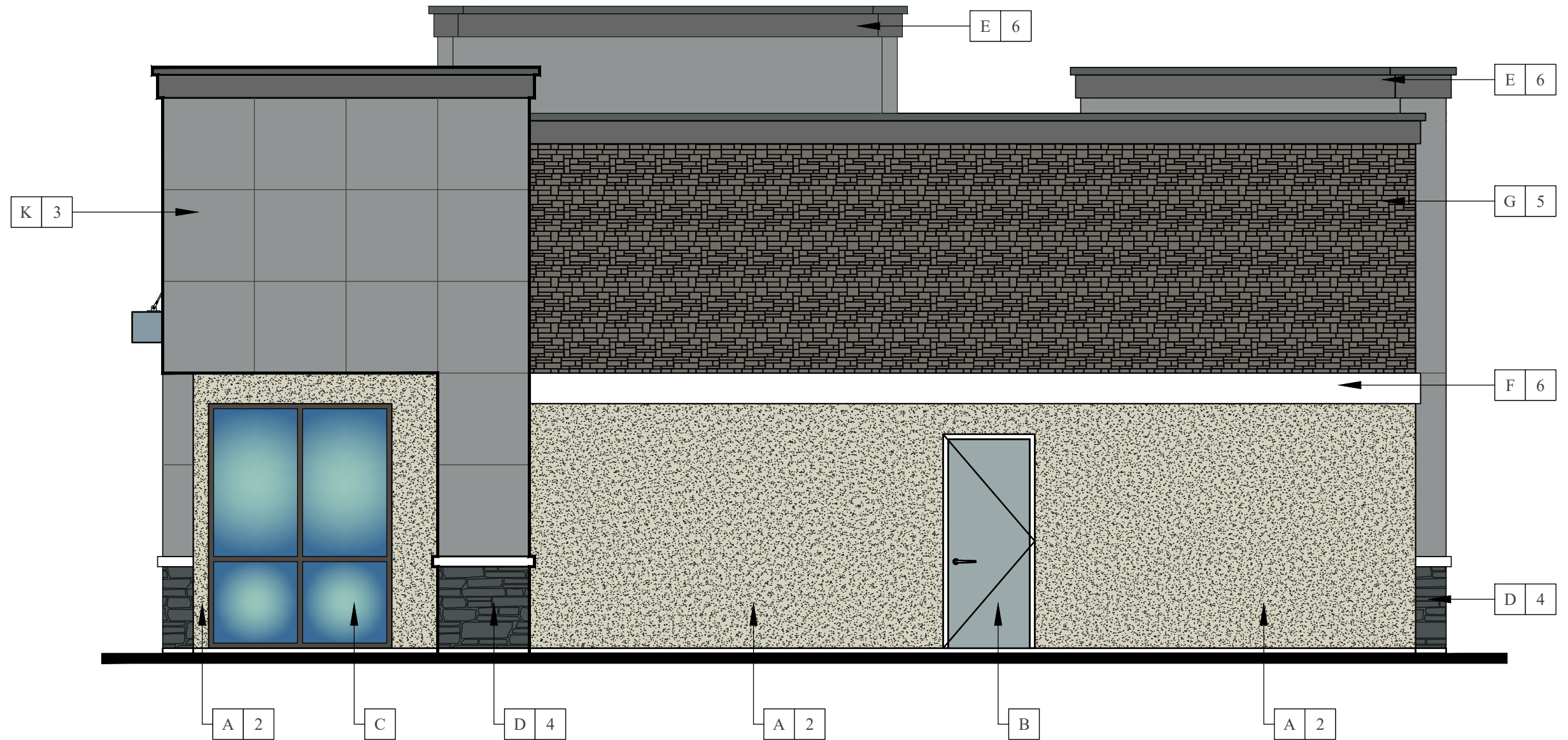
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FRONT ELEVATION - SOUTH

SCALE: 1/4" = 1'-0"

1



REAR ELEVATION - NORTH

SCALE: 1/4" = 1'-0"

2



RIGHT SIDE ELEVATION - EAST

SCALE: 1/4" = 1'-0"

3



LEFT SIDE ELEVATION - WEST

SCALE: 1/4" = 1'-0"

4

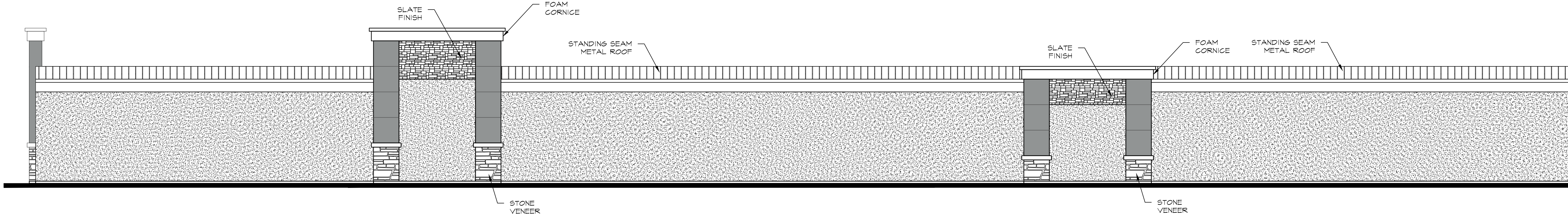
COLOR SCHEDULE		
1		VERTICAL METAL FINISH #1: COLOR - DUSTY MILLER #50GY 45/037 OR EQUAL
2		STUCCO FINISH #1: COLOR - DOVE BEHR PP5B-07 OR EQUAL
3		METAL CLADDING: COLOR - DISTANT HAZE #50GY 55/066 OR EQUAL
4		LEDGESTONE FINISH: https://www.homedepot.com/p/Prestige-Stone-Granite-Amber-Falls-6-in-x-24-in-Natural-Stacked-Stone-Veneer-Panel-Siding-Exterior-Interior-Wall-Tile-10-Boxes-55-sq-ft-TSAF-F-PL/310482646
5		SLATE FINISH: COLOR - MANSARD STONE BOYY 20/029 #50BB 08/171
6		FOAM TRIM AND CORNICE FINISH: COLOR - FOREST BLACK #30YY 10/038
7		METAL AWNING: COLOR - BLUEPRINT BEHR #5470-5

ELEVATION KEY NOTES	
A	3 COAT STUCCO FINISH: 7/8" MIN. THICKNESS OVER 17 GA x 1 1/2" HEXAGONAL PAPER BACKED WIRE LATH OVER 2-LAYERS OF TYPE 'D' PAPER UNDER-LAYMENT
B	DOOR OPENING - REFER TO DOOR SCHEDULE ON SHEET A3.1 AND DETAIL(S) ON SHEET D6.
C	WINDOW OPENING - REFER TO WINDOW SCHEDULE ON SHEET A3.1 AND DETAIL(S) ON SHEET D6.
D	STONE VENEER PRESTIGE STONE & GRANITE REFER TO LINK.
E	FOAM CORNICE. REFER TO DETAIL.
F	FOAM TRIM. REFER TO DETAIL.
G	SLATE FINISH.
H	METAL AWNING W/ SUPPORTS.
J	FACILITY SIGN AREA. SEPARATE PERMIT.
K	METAL CLADDING.

Revisions:	Date:

ELEVATIONS	
CVEAS JOB #:	2016
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PLANNING SUBMITTAL #:	XX-XXXX
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SCALE:	NOTED ON PLANS

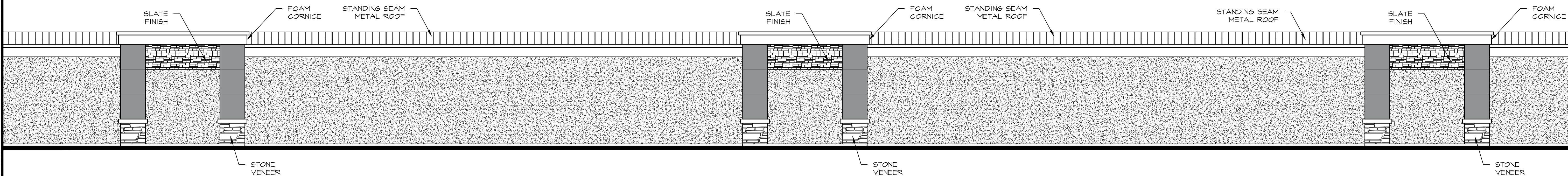
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF CVEAS OR CONSULTANTS, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. USE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF CVEAS OR CONSULTANTS. REPRODUCTION OR USE THEREOF IS PERMISSIBLE WITHOUT THE CONSENT OF CVEAS.



ELEVATION ON COURT STREET

SCALE: 1/4" = 1'-0"

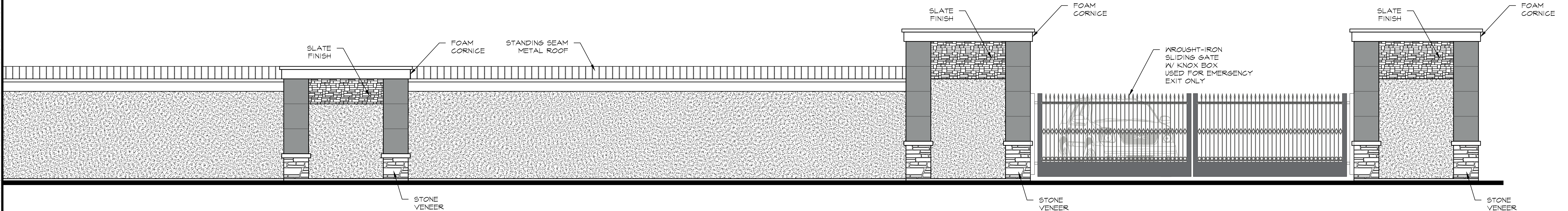
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ELEVATION ON COURT STREET

SCALE: 1/4" = 1'-0"

1



ELEVATION ON COURT STREET

SCALE: 1/4" = 1'-0"

1



DATE SIGNED: 5/13/2021

Revisions:	Date:
△	
△	
△	
△	
△	

ELEVATIONS
ON COURT
STREET

CVEAS JOB #:	2016
DATE:	5/13/2021
PLANNING SUBMITTAL #:	XX-XXXX
PLAN CHECK SUBMITTAL #:	XX-XXXX
DRAWN BY:	KX
CHECKED BY:	RL/KX
SCALE:	NOTED ON PLANS

A3.1

SPR No. 2021-015: Comments and Response

May 12, 2021

City of Visalia
707 W. Acequia Ave.
Visalia, CA 93291

SPR No. 2021-015

Business Name: Storland Self-Storage
Applicant Name: Miller Accord, LP
Property Owner Name: Omni Land Development, LLC
Product / Services: Self-Storage

Planning

Comment 1: Existing Conditional Use Permit must be amended to allow for self-storage use.

Response 1: *Applicant is coordinating with developer and will submit application for CUP Amendment.*

Comment 2: Confirm that parking for site is adequate for use and over all site requirements and include site plan out to Highway 63.

Response 2: *Confirmed and included.*

Comment 3: A wall is required around the project. Please include east elevation and cross section of wall.

Response 3: *The project includes a fortress style design which creates a wall around the entire site. Requested elevation and cross section is included.*

Comment 4: Review CUP and confirm that design matches requirements in CUP

Response 4: *Confirmed. Design modifications have been made to reflect CUP requirements.*

Solid Waste

Comment 1: Design trash enclosure with an angle such that the trash truck driver will be able to directly stab trash cans.

Response 1: *Based on the existing traffic flow within the site, the location of utilities and the path of travel, an angled trash enclosure will not be possible. The current location has been determined to be the best location for access by trash truck driver with the least impact to onsite traffic and surrounding uses.*

Fire

Comment 1: Include man gate access to west side of aisle between Buildings B and J.

Response 1: *Included.*

Comment 2: Show fire Truck Turn radius at corners of buildings.

Response 2: *Included.*

Engineering

Comment 1: Review approved engineering plans for development to make sure that site design will accommodate drainage, utilities and site work.

Response 1: *Project design has been modified to accommodate approved engineering plans for development.*

Comment 2: Confirm that bus stop is required per transit recommendations. If so, include bus stop in site design.

Response 2: *Per comments shown in SPR 2017-21 bus stop is required at this location. Transit confirmed that this bus stop location is still required. Bus stop has been included in site design.*

Comment 3: Confirm that utility easements identified in project CC&Rs are being met in aisle between buildings B and J.

Response 3: *Confirmed.*

Comment 4: Show a change in estimated trip generation based on change in use.

Response 4: *As part of the original approved design for this development Parcels D and E included Retail and Medical Uses. The original traffic study performed for this development estimated the Total Weekday Traffic Volume for these uses to be the following, based on trip rates defined in the ITE "Trip Generation Manual", 10th Edition:*

814-Retail Store - 4,700 SF: 298 Trips

630-2 Story Medical Building - 34,600 SF: 1,320 Trips

Total Combined: 1,618 Trips

This plan proposes to replace the medical and retail uses proposed for Parcels D and E with self-storage. The Total Weekday Traffic Volume for this use is estimated to be the following, based on trip rates defined in the ITE "Trip Generation Manual", 10th Edition:

151-Mini Warehouse – 72,679 SF: 110 Trips

Building

Comment 1: Project will need to include an equitable mix of ADA Accessible units.

Response 1: *ADA Accessible units will be incorporated equitably into unit mix. Unit mix will be shown in submission for building permit application.*

Comment 2: Fire walls will need to be incorporated every 2,500 sf within buildings.

Response 2: *Project will include fire walls where required. Fire wall locations and design will be shown in submission for building permit application.*

Comment 3: Each building will need to be permitted individually for building permit process.

Response 3: *Building permits will be filed for each building accordingly.*

Comment 4: Indicate graphically that aisle between Buildings B and J is walking only and will not be used for vehicular access.

Response 4: *Included.*

Respectfully,

Josh Miller

Miller Accord, LP

PO Box 6398

Visalia, CA 93290

OPERATIONAL STATEMENT

February 3, 2021

City of Visalia
707 W. Acequia Ave.
Visalia, CA 93291

Project Description:

Storland Self-Storage is an existing self-storage business that currently owns and operates four self-storage locations throughout the California Central Valley. The new storage facility is being submitted by the owner, Josh Miller, and pertains to two parcels located at Shannon Parkway and Road 124., APN: 079-071-032 and is currently zoned C-MU with planned land use of Mixed Use Commercial. I am requesting authorization for a new storage facility.

Similar to other existing facilities, this facility will provide self-service storage units for the surrounding community and offer tenants a secure site that includes access control, video surveillance, security lighting, on-site non-resident management and security alarms. The units offered will include enclosed drive up and interior units in the following unit sizes: 5x5, 10x5, 10x10, 10x15, 10x20 and 10x25. RV storage will not be offered at this location.

Business Name:	Storland Self-Storage
Product / Services:	Storage units of various sizes.
Anticipated Traffic:	5 +/- customers at any given time are expected.
Number of Employees:	2 employees on-site. This includes one office manager that will handle daily operations and one maintenance employee around facility.
On site storage/Equipment:	Tenant personal storage belongings.
Security Measures:	Security cameras mounted interior and entry and exiting points along with designated hooded light poles throughout the premises.
Operation Time:	Monday through Saturday from 9:00 am to 6:00pm Sunday from 10:00 am to 5:00 pm Automated Access Gate Controls from 7:00 am to 7:00 pm 24-hour call service is available after normal business hours
Access to Site:	One on-site access driveway (Refer to plans)
Parking:	4 Visitor Designated parking 3 Standard parking

1 Accessible parking
1 EVCS parking
2 Employee designated parking
1 Clean-Air parking
(Refer to plans)

Supplies or Material: N/A

Unightly Appearance: N/A

Solid or Liquid Waste: Solid waste will be from restrooms and trash/bin receptors

Trash Enclosure

1-2 trash pick-ups per week

Liquid waste will be from restrooms and sanitary sinks will be discharged into City Sewer System

Estimated Water Usage: Water meter(s) for building and landscape are located off-site

Advertising Sign: One Facility sign above main entry (separate permit)

Buildings: 800 sf new office building

Multiple Storage Buildings

(Refer to plans)

Outdoor Lighting: Hooded parking light(s) – refer to plans.
Street light(s) – refer to plans.
Exterior building wall sconces(s) and/or wall-packet mounted LED light(s).

Landscape: Landscape areas consist of different all kinds of trees, shrubs, hedges, etc. all through-out.

ABC License: N/A

Respectfully,

Josh Miller

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Marcin Place TSM Date: 5/12/21

Project Description: Proposed 46 lot tentative subdivision map

Site Plan Review Resubmittal: Yes ☒ No ☐ If Resubmittal, Previous Site Plan Review Number: 21068

Property Owner: Holly Hills Group

Applicant(s) Name: 4Creeks, Inc.

Project Address/Location: Marcin Court, NE corner of Marcin and Hurley

Assessor Parcel Number: 085-540-019 & 085-570-008

Parcel Size (Acreage or Square Feet): 8.73+/- acres Building or Suite Square Footage: _____

Are There Any Proposed Building Modifications: Yes ☐ No ☒

Estimated Cost of Modifications to Building: \$ N/A

Describe All Proposed Building Modifications: _____

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 05/12/2021

SPR Agenda: 05/19/2021 Item No. _____

Zone: R-1-5 SPR No. 21-068

Historic District: Yes ☐ No ☒

Flood Zone: X ☐ AE ☒ X/AE ☐

OPERATIONS & TRAFFIC INFORMATION

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

Existing/Prior Building Use: N/A

Proposed Building Use: _____

Proposed Hours of Operation: _____

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing _____ Proposed _____

Number of Customers Per Day (Estimated): Existing _____ Proposed _____

Predicted Peak Operating Hour: _____

Describe Any Truck Delivery Schedule & Operations: _____

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): _____

Describe Any Special Events Planned for the Facility: _____

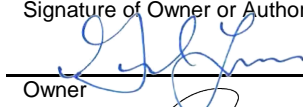

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
- | | | |
|--|-------------------------------------|--|
| - North arrow | - Existing & proposed structures | - Loading/unloading areas |
| - All existing & proposed site features | - Adjacent street names | - Accessible path of travel from right of way |
| - Site dimensions, including building | - Refuse enclosures & containers | - Accessible path of travel from ADA stall |
| - Existing and proposed fencing at site | - Valley oak trees (show drip line) | - Location and width of drive approaches to site |
| - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.) | - Existing & proposed landscaping | - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16 |
| | - Parking stalls (include ADA) | |

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Matt Ainley</u>	Signature of Owner or Authorized Agent*	
Address: <u>324 S. Santa Fe St.</u>		<u>4-15-21</u>
City, State, Zip: <u>Visalia, CA 93292</u>	Owner	Date
Phone: <u>559-802-3052</u>		<u>4/13/21</u>
Email: <u>matta@4-creeks.com</u>	Authorized Agent*	Date

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, Gerry Lemus, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):



085-540-019 & 085-570-008

AGENT:

I designate 4Creeks, Inc (Matt Ainley), to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to subdivide property relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 15th day of April, 2021.

Signatures	
<u>OWNER</u>	<u>AGENT</u>
	
Signature of Owner	Signature of Agent
<u>5000 W Cypress Ave, Visalia, CA 93277</u>	<u>324 S. Santa Fe St., Visalia, CA 93292</u>
Owner Mailing Address	Agent Mailing Address
<u>559-730-7350</u>	<u>559-802-3052</u>
Owner Phone Number	Agent Phone Number



MARCIN PLACE TENTATIVE
SUBDIVISION MAP

BEING A PORTION OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 19
SOUTH, RANGE 24 EAST, MOUNT DIABLO BASE AND MERIDIAN, IN THE CITY OF
VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA

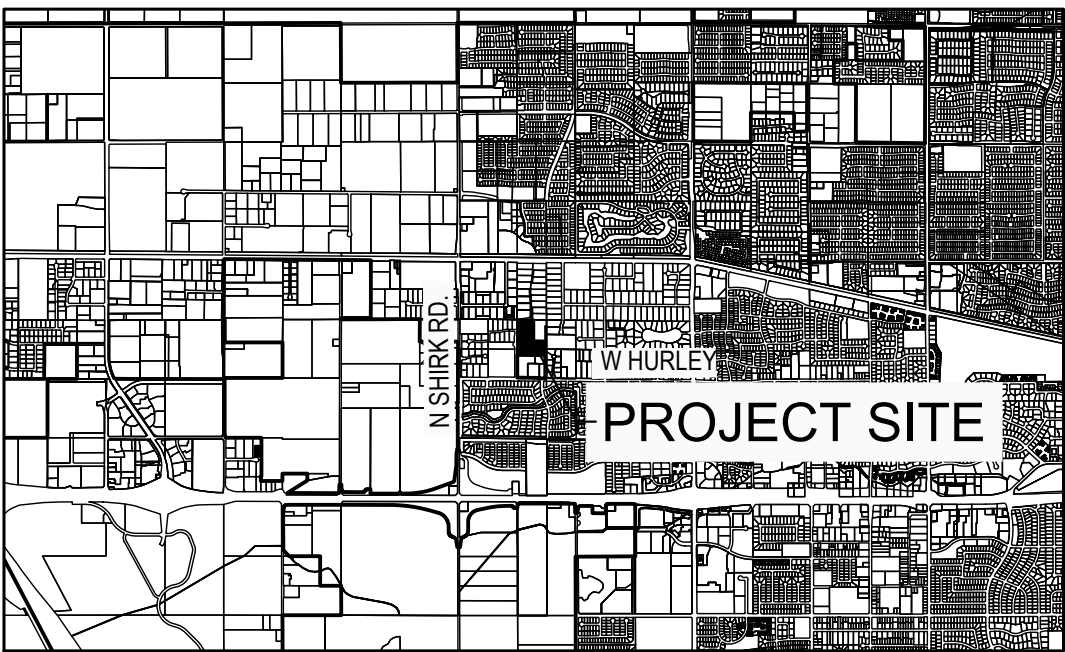
ENGINEER/PLANNER:	4-CREEKS INC.
APN:	085-540-019 & 085-570-008
ACREAGE:	8.73 ±
PROPOSED LOTS:	46
FLOOD ZONE:	AE & X
EXISTING ZONING:	R-1-5
EXISTING GENERAL PLAN:	LOW DENSITY RESIDENTIAL
ELECTRICITY:	SOUTHERN CALIFORNIA EDISON
WATER:	CAL WATER
TELEPHONE:	AT&T
REFUSE DISPOSAL:	CITY OF VISALIA
NATURAL GAS:	SOUTHERN CALIFORNIA GAS
EXISTING USE:	VACANT
PROPOSED USE:	LOW DENSITY RESIDENTIAL

DENSITY:

LOTS:	46
GROSS ACREAGE:	8.73
GROSS DENSITY:	5.3 DU/AC
NET ACREAGE:	6.39
NET DENSITY:	7.2 DU/AC

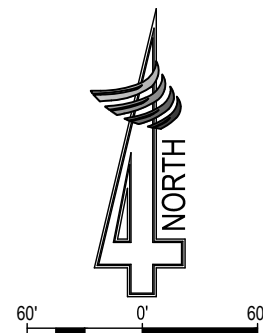
SETBACKS (MINIMUM):

FRONT YARD:	25'
SIDE YARD:	5'
CORNER LOTS:	10' (22' GARAGE STREET SIDE)
REAR YARD:	25'



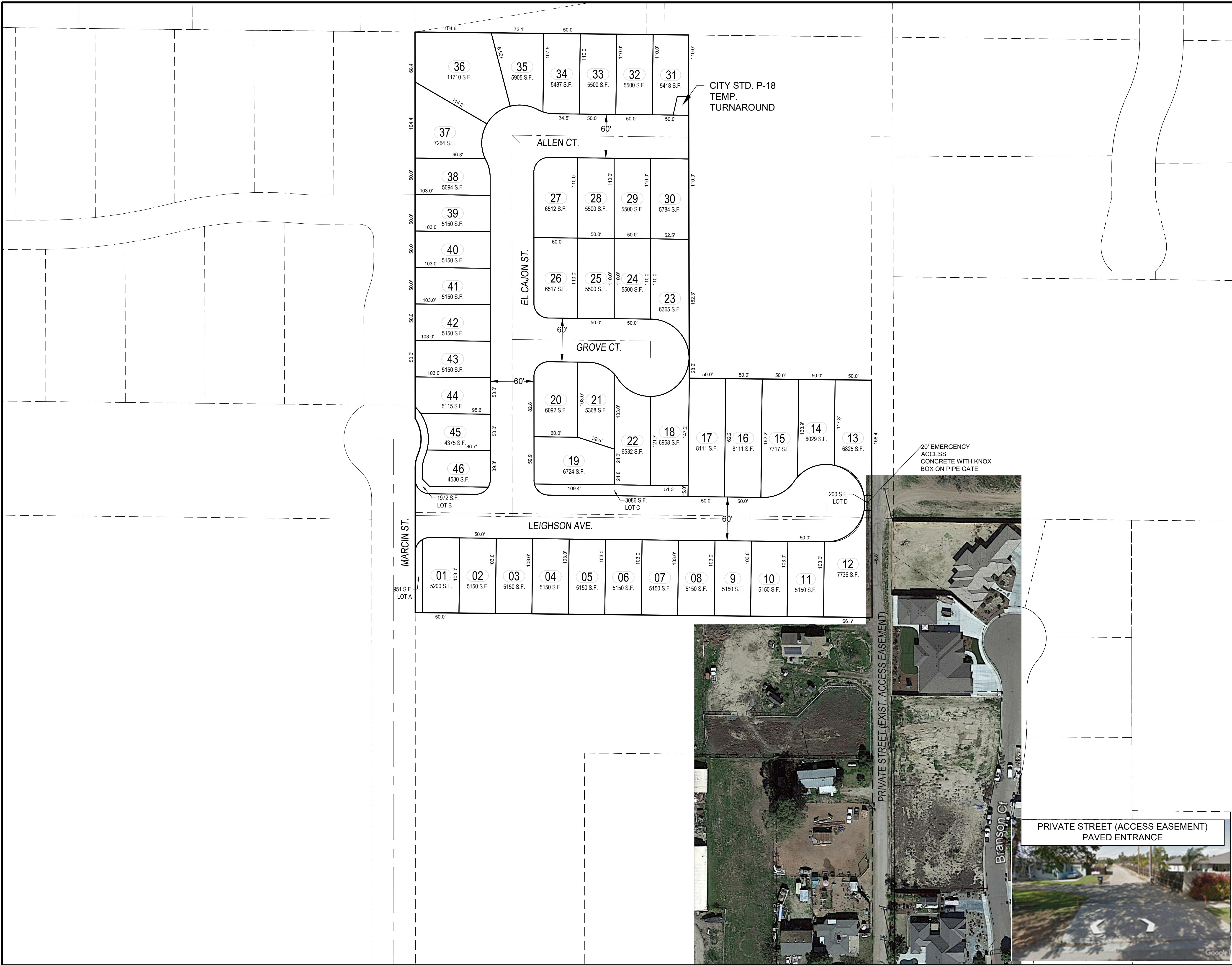
VICINITY MAP

PREPARED BY:



4CREEKS

324 S. SANTA FE, STE. A
P.O. BOX 7593
VISALIA, CA 93292
TEL: 559.802.3052
FAX: 559.802.3215



CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



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- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Plaza Drive Date: 5/10/21

Project Description: Drive Thru Building

Site Plan Review Resubmittal: Yes ☒ No ☐ If Resubmittal, Previous Site Plan Review Number: 17-056 (Ref)

Property Owner: Westwood Plaza, LLC

Applicant(s) Name: Westwood Plaza, LLC

Project Address/Location: Corner of Plaza and East Campus Drive

Assessor Parcel Number: 081-160-006

Parcel Size (Acreage or Square Feet): 1.01 Acres Building or Suite Square Footage: 2,200 Sqft

Are There Any Proposed Building Modifications: Yes ☒ No ☐

Estimated Cost of Modifications to Building: \$ N/A

Describe All Proposed Building Modifications: Construction of new drive thru building

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 05/11/2021

SPR Agenda: 05/19/2021 Item No. _____

Zone: BRP SPR No. 21-086

Historic District: Yes ☐ No ☒

Flood Zone: X ☐ AE ☒ X/AE ☐

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Vacant

Proposed Building Use: Retail

Proposed Hours of Operation: 5 Am-Midnight, 7 Days/Week

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing 0 Proposed _____

Number of Customers Per Day (Estimated): Existing 0 Proposed _____

Predicted Peak Operating Hour: _____

Describe Any Truck Delivery Schedule & Operations: Food Delivery

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): _____

Describe Any Special Events Planned for the Facility: _____

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:

- North arrow	- Existing & proposed structures	- Loading/unloading areas
- All existing & proposed site features	- Adjacent street names	- Accessible path of travel from right of way
- Site dimensions, including building	- Refuse enclosures & containers	- Accessible path of travel from ADA stall
- Existing and proposed fencing at site	- Valley oak trees (show drip line)	- Location and width of drive approaches to site
- Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)	- Existing & proposed landscaping	- Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
	- Parking stalls (include ADA)	

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Westwood Plaza, LLC</u>	Signature of Owner or Authorized Agent*	Date
Address: <u>134 N Main St, Ste B</u>		<u>5/10/2021</u>
City, State, Zip: <u>Porterville, CA 93257</u>	Owner _____	_____
Phone: <u>559-782-0200</u>		
Email: <u>sunny@baenterprisesinc.com</u>	Authorized Agent*	Date
	_____	_____

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, _____, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

AGENT:

I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

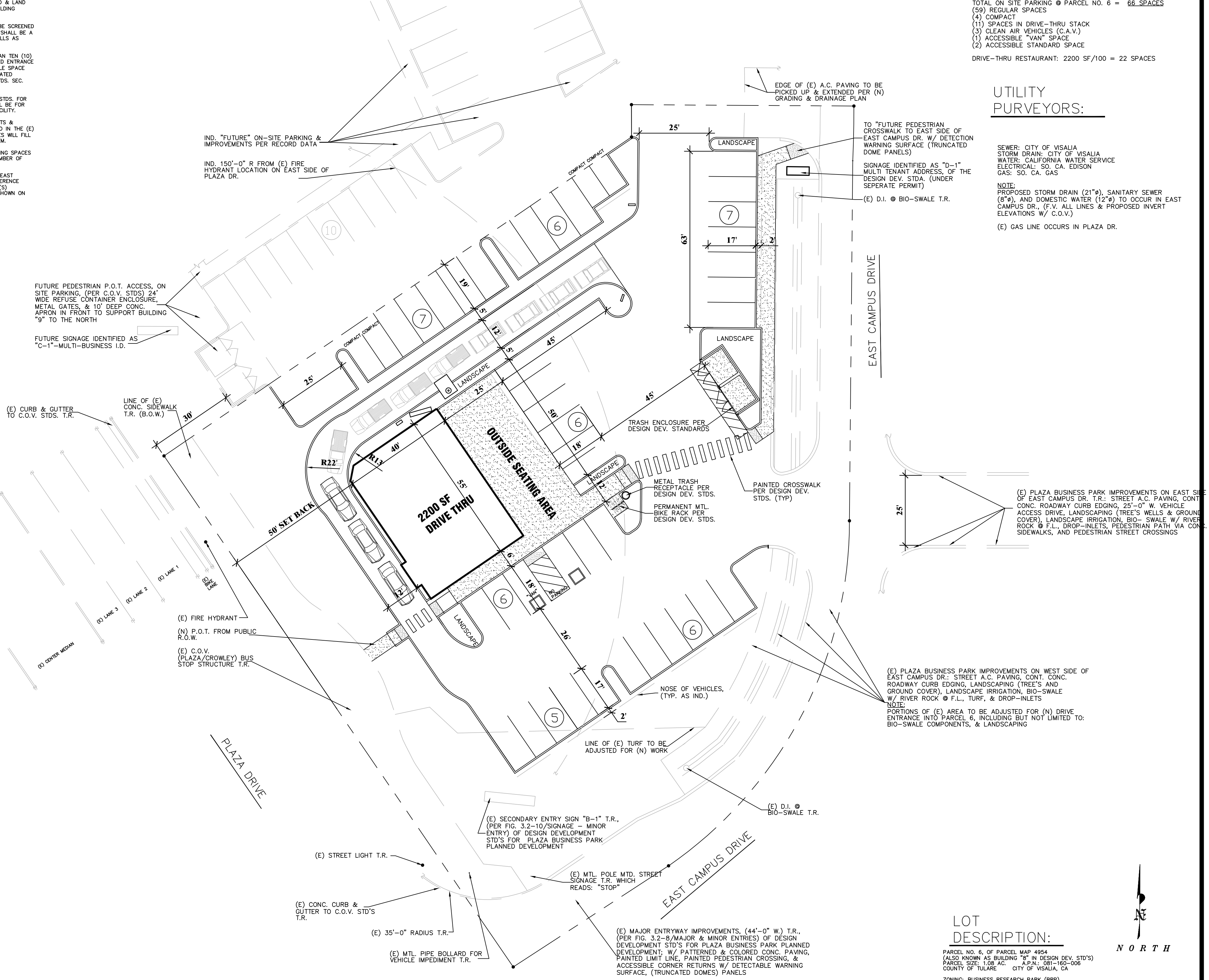
Executed this _____ day of _____, 20____.

OWNER	Signatures	AGENT
Signature of Owner _____		Signature of Agent _____
Owner Mailing Address _____		Agent Mailing Address _____
_____		_____
Owner Phone Number _____		Agent Phone Number _____

CITY OF VISALIA, & DESIGN DEVELOPMENT STD. FOR PLAZA BUSINESS PARK PLANNED DEVELOPMENT:

1. PARKING LOT STRUCTURAL SECTION SHALL CONSIST OF 2" THICK ASPHALT CONCRETE, OVER 4" THICK CLASS II AGGREGATE BASE, OVER 6" MIN. OF SUB-BASE COMPACTED TO 98% RELATIVE COMPACTION (R.C.). DESIGN STRUCTURAL PAVING SECTION TO TRAFFIC INDEX OF 5.0 MIN. FOR SOLID WASTE TRUCK TRAVEL PATH. (SEE NOTE #32 BLW)
2. MIN. SLOPE OF ASPHALT CONCRETE SURFACE = 1%. CONCRETE PAVEMENT = 0.25% CURB AND GUTTER = 0.025% AND CONC. VEE-GUTTER = 0.25% PER C.O.V. IMPROVEMENT STD'S
3. AN 80.0 S.F. MIN. LANDSCAPE ISLAND/ISLAND SHALL BE INSTALLED EVERY 10' CONTIGUOUS PARKING SPACES. (C.O.V. ZONING ORD. SEC. 17.30.130.C)
4. PER DESIGN DEVELOPMENT STD'S FOR PLAZA BUSINESS PARK PLANNED DEVELOPMENT, 3.1.6, PG. 3-1, OFF-STREET (SHARED) PARKING IS PROVIDED @ A RATE OF 3.6 PARKING SPACES PER 1,000.0 S.F. OF GROSS LEASABLE AREA (G.A.). PER 3.2.1, PG. 3-4 OF THE DEVELOPMENT STD'S: OFF-STREET PARKING FOR OFFICES IS 1 SPACE/250.0 S.F. OF FLOOR AREA W/ A MIN. OF 4 SPACES. RESTAURANTS & CAFES IS 1 SPACE/100.0 S.F. OF FLOOR AREA. 30% OF THE REQUIRED PARKING STALLS MAY BE COMPACT & SHALL BE EVENLY DISTRIBUTED IN THE ON-SITE LOT. (C.O.V. ZONING ORD. SEC. 17.30.030)
5. "SA" MARKING FOR (ON-SITE) ACCESSIBLE PARKING SPACE, (OR STALL) TO BE PER C.O.V. STD'S "PK-4", (SEE ARCH. SITE PLAN FOR LOCATION(S))
6. PROVIDE (1) ACCESSIBLE DBL. 24'-0" REFUSE CONTAINER, CONC. APRON IN FRONT OF REFUSE ENCLOSURE, 30" H. PROTECTION BOLLARDS @ FRONT, PLASTERED C.M.U. WALLS, BUILT-UP PLASTER BAND @ TOP OF REFUSE ENCLOSURE, & MTL. ENCLOSURE GATES PER C.O.V. STD'S "7a-3", "7a-5", AND "7a-6" (OH) W/ PERFORATED SHEET MTL. PANELS INSTALLED @ DOORS IN LIEU OF C.O.V. STD. OF 20 GA. CORRUGATED MTL., REFER TO DESIGN DEVELOPMENT STD'S FOR PLAZA BUSINESS PARK PLANNED DEVELOPMENT, FIG. 4.0-1 TRASH ENCLOSURE DETAILS, PG. 4-2. (SEE ARCH. SITE PLAN FOR LOCATION)
7. ON-SITE PARKING LOT LIGHTING POLES TO BE MOUNTED ON CONC. PEDESTALS PER C.O.V. STD'S "PK-5", (SEE ELEC. DWGS. FOR LOCATIONS), AND MEET THE REQUIREMENTS OF THE DESIGN DEVELOPMENT STD'S FOR PLAZA BUSINESS PARK PLANNED DEVELOPMENT UNDER 3.2.4 LIGHTING, PG. 3-17. MAX. HEIGHT OF FIXTURES IS 30'-0" ABOVE GRADE. PARKING LOT LIGHTING SHALL BE DESIGNED SO THAT THERE SHALL BE MAX. INITIAL ILLUMINATION OF 0.20 HORIZONTAL, & VERTICAL FOOT-CANDELES @ THE SITE BOUNDARY, AND NO MORE THAN 0.10 FOOT-CANDELES @ THE PUBLIC STREET CURB LINE, CONSISTENT W/ "LEED" NIGHTGLOW ELIMINATION GUIDELINES
8. ON-SITE DETECTABLE WARNING SURFACE, (TRUNCATED DOME PANELS) TO MEET REQUIREMENTS OF THE C.O.V. STD'S "C-35", (SEE ARCH. SITE PLAN FOR LOCATION(S))
9. ALL ON-SITE AND OFF-SITE CONC. WORK TO MEET THE REQUIREMENTS OF C.O.V. CONC. SPECIFICATIONS "C-1" AND "C-25" (TYP.)
10. ON-SITE CONC. LANDSCAPE (BARRIER) CURB SHALL BE PER C.O.V. STD'S "C-8", (SEE SITE PLAN FOR INDICATED LOCATIONS)
11. FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY A CITY OF VISALIA ENCROACHMENT PERMIT WILL BE REQUIRED
12. (AT DRIVE-THRU RESTAURANT SPACE) THIS PROJECT IS TO MEET THE FOLLOWING REQUIREMENTS: WASTEWATER DISCHARGE PERMIT PER C.O.V. PLUMB WORKS DEPT. "QUALITY ASSURANCE DIVISION", A GREASE INTERCEPTOR REQUIRED, MIN. SIZE 1,000 GAL. AND NO SINGLE PASS COOLING WATER IS PERMITTED
13. (PLUMBING) TRAPS REQUIRED, CONSTRUCTION OF TRAPS, AND MAINTENANCE OF TRAPS SHALL MEET THE REQUIREMENTS OF C.O.V. ORDINANCE 13.08
14. (AT DRIVE-THRU RESTAURANT SPACE) PLANS MUST ALSO BE SUBMITTED, REVIEWED, AND APPROVED BY THE TULARE COUNTY HEALTH & HUMAN SERVICES AGENCY PRIOR TO BUILDING PERMIT BEING ISSUED, AND FOLLOWED BY A SECOND, JOBSITE INSPECTION FOR APPROVED FINAL INSTALLATION
15. (PER C.O.V.) SCHOOL DEVELOPMENT FEES, COMMERCIAL: \$0.54 PER SQUARE FOOT
16. (N) LANDSCAPE PLANS, PLANT LIST & SCHEDULE, TREE SIZE & TREE SPACING, & TABLE 3.2-3 LANDSCAPE PALETTE, SHALL COMPLY W/ THE DESIGN DEVELOPMENT STD'S FOR PLAZA BUSINESS PARK PLANNED DEVELOPMENT, SPECIFICALLY PAGES 3-18 THRU 3-22. MINIMUM AMOUNT OF LANDSCAPED PARKING AREA SHALL BE 5% TOTAL AREA. (PER C.O.V.)
17. (N) LANDSCAPE AND IRRIGATION PLANS TO COMPLY W/ STATE OF CALIFORNIA "MWELO" STANDARDS. NOTE: PRIOR TO A FINAL FOR THE PROJECT, A SIGNED CERTIFICATE OF COMPLIANCE FOR THE "MWELO" STD'S IS REQUIRED INDICATING THAT THE LANDSCAPING HAS BEEN INSTALLED TO "MWELO" STD'S
18. (IF APPLICABLE TO THE DESIGN), PROVIDE SCREENING FOR ROOF MOUNTED EQUIPMENT, (C.O.V. ZONING ORD. SEC. 17.30.130.F)
19. (AT DRIVE-THRU RESTAURANT SPACE) MENU BOARDS AND SIGNAGE: SHALL BE ORIENTATED OR SCREENED TO AVOID DIRECT VISIBILITY FROM ADJACENT PUBLIC STREETS
20. (AT DRIVE-THRU RESTAURANT SPACE) THE PROPOSED DRIVE-THRU LANE LOCATION IS GREATER THAN 250 FEET FROM THE NEAREST RESIDENTIALLY ZONED PROPERTY. NO COMPONENT OR ASPECT OF THE DRIVE-THRU LANE OR ITS OPERATION SHALL GENERATE NOISE LEVELS IN EXCESS OF 60dB BETWEEN THE HOURS OF 7:00 P.M. AND 6:00 A.M. DAILY
21. (PER C.O.V. REQUIREMENTS) BUILDING ADDRESS NUMBER MUST BE PLACED ON THE EXTERIOR OF THE BUILDING IN SUCH A POSITION AS TO BE CLEARLY AND PLAINLY VISIBLE FROM THE STREET. NUMBERS WILL BE @ LEAST FOUR INCHES (4") HIGH AND SHALL BE OF A COLOR TO CONTRAST W/ THEIR BACKGROUND. PER DESIGN DEVELOPMENT STD'S FOR PLAZA BUSINESS PARK PLANNED DEVELOPMENT, THE ADDRESS NUMBER SHALL BE ANODIZED ALUMINUM NUMBERS, PROJECTED MOUNTED @ THE LOWER AREA OF THE BUILDINGS PLASTER ROOF FASCIA AREA TOWARDS THE CORNER, (REFER TO PG. 3-15 OF THE DEVELOPMENT STD'S)
22. A KNOX BOX KEY LOCK SYSTEM IS REQUIRED, WHERE ACCESS TO OR WITHIN A STRUCTURE OR AN AREA IS RESTRICTED BECAUSE OF SECURED OPENINGS (DOORS AND/OR GATES) OR FOR FIRE FIGHTING PURPOSES. A KEY BOX IS TO BE INSTALLED IN AN APPROVED LOCATION. (NOTE: KNOX BOXES SHALL BE ORDERED USING AN APPROVED APPLICATION THAT CAN BE FOUND AT FIRE ADMINISTRATION OFFICE LOCATED AT 707 W. ACQUIA AVE., VISALIA, CA, PLEASE ALLOW ADEQUATE TIME FOR SHIPPING AND INSTALLATION)
23. ALL HARDWARE ON EXIT DOORS SHALL COMPLY W/ CHAPTER 10 (MEANS OF EGRESS) OF THE 2016 CALIFORNIA FIRE CODE. THIS INCLUDES ALL LOCKS, LATCHES, BOLT LOCKS, AND PANDA AND FIRE EXIT HARDWARE
24. PROVIDE ILLUMINATED EXIT SIGNS, AND EMERGENCY LIGHTING THROUGHOUT BUILDINGS), (REFER TO ELEC. DWGS.)
25. FUGITIVE DUST WILL BE CONTROLLED IN ACCORDANCE W/ THE APPLICABLE RULES OF THE SAN JOAQUIN VALLEY AIR DISTRICTS REGULATION VII. COPIES OF ANY REQUIRED PERMITS WILL BE PROVIDED TO THE C.O.V.
26. IF THE PROJECT REQUIRES DISCRETIONARY APPROVAL FROM THE C.O.V., IT MAY BE SUBJECT TO THE SAN JOAQUIN VALLEY AIR DISTRICTS RULE 5010 INDIRECT SOURCE REVIEW PER THE RULES APPLICABILITY CRITERIA. A COPY OF THE APPROVED "AA" APPLICATION WILL BE PROVIDED TO THE C.O.V.
27. (AT DRIVE-THRU RESTAURANT SPACE) COMMERCIAL COOKING APPLIANCES & DOMESTIC COOKING APPLIANCES USED FOR COMMERCIAL PURPOSES THAT PRODUCES GREASE LADEN VAPORS SHALL BE PROVIDED W/ A TYPE I HOOD IN ACCORDANCE W/ THE C.M.C. AND AN AUTOMATIC FIRE EXTINGUISHING SYSTEM W/ REQUIRED MAKE-UP AIR TO THE HOOD
28. CONSTRUCTION SITE SHALL HAVE AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, AND SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON SITE
29. A CONSTRUCTION ACCESS ROAD IS REQUIRED AND SHALL BE A MIN. OF 20' WIDE. THE ROAD SHALL BE AN ALL-WEATHER DRIVING SURFACE ACCESSIBLE PRIOR TO AND DURING CONSTRUCTION. THE ACCESS ROAD SHALL BE CAPABLE OF HOLDING 75,000 POUND PIECE OF FIRE APPARATUS, AND SHALL PROVIDE ACCESS TO WITHIN 100 FEET OF TEMPORARY OR PERMANENT FIRE DEPT. CONNECTIONS (F.D.C.)
30. A FIRE APPARATUS ACCESS ROAD(S) SHALL BE PROVIDED AND MUST COMPLY W/ THE C.F.C. AND EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY. MIN. TURNING RADIUS FOR EMERGENCY FIRE APPARATUS SHALL BE 20 FEET INSIDE RADIUS AND 45 FEET OUTSIDE RADIUS
31. ON-SITE TRAFFIC INDEXES SHALL BE PER C.O.V. STANDARDS, (TYP.)
32. DESIGN PAVING SECTION TO TRAFFIC INDEX OF 5.0 MIN. FOR SOLID WASTE TRUCK TRAVEL PATH AT 55,000 LBS. (OR 27.5 TONS)
33. THE (N) FIRE HYDRANT LOCATION SHOWN ON THE SITE PLAN TO BE APPROVED BY THE C.O.V. FIRE DEPT., AND SHALL COMPLY W/ THE C.O.V. ENGINEERING STANDARD DESIGN
34. THIS PROJECT SHALL MEET THE REQUIREMENTS OF THE DESIGN DEVELOPMENT STD'S FOR PLAZA BUSINESS PARK PLANNED DEVELOPMENT FOR ON-SITE PEDESTRIAN AMENITIES PER 3.2.6, PG. 3-23, INCLUDING BUT NOT LIMITED TO: BENCHES, BKE RACKS, LIGHTED BOLLARDS, AND TRASH RECEPTACLES. REFER TO THE ABOVE REFERENCED DESIGN STD'S FOR THE NECESSARY FACTORS FOR DETERMINING THE REQUIRED NUMBER OF PEDESTRIAN BENCHES AND BKE RACKS FOR THIS PROJECT
35. ALL RETAIL SIGNAGE FOR SINGLE, OR MULTI-TENANT FREESTANDING SIGNS, BUILDING SIGNS, AND VEHICULAR & PEDESTRIAN ON-SITE DIRECTIONAL SIGNS SHALL BE REVIEWED AND APPROVED BY THE ENHANCED SIGN CONSENT GRANT FOR THE PLAZA BUSINESS PARK PLANNED DEVELOPMENT PRIOR TO FABRICATION AND INSTALLATION. ALL SIGNAGE AT SAID DEVELOPMENT WILL ALSO CONFORM TO THE C.O.V. SIGN ORDINANCE, (TYP.) REFER TO THE DESIGN DEVELOPMENT STD'S FOR PLAZA BUSINESS PARK PLANNED DEVELOPMENT, PG. 3-14, "D-1" TENANT ADDRESS SIGN FOR ADDITIONAL SIGN REQUIREMENTS
36. THE OPERATIONAL STATEMENT FOR THE QUICK SERVICE RESTAURANT INCLUDING DRIVE-THRU FACILITY, DAYS OF OPERATION, AND HOURS OF OPERATION, BUILDING SIZE, & NUMBER OF EMPLOYEES SHALL BE PER APPENDIX "T" OF THE DESIGN DEVELOPMENT STD'S FOR PLAZA BUSINESS PARK PLANNED DEVELOPMENT
37. ARCHITECTURAL, DESIGN STD'S, COLOR PAlettes, & MATERIAL STD'S FOR ALL BUILDINGS SHALL MEET THE REQUIREMENTS OF THE DESIGN DEVELOPMENT STD'S FOR PLAZA BUSINESS PARK PLANNED DEVELOPMENT, SPECIFICALLY PAGES 3-2 THRU 3-8
38. GROUND MOUNTED MECHANICAL EQUIPMENT (I.E. CONDENSERS), AND ELECTRICAL EQUIPMENT (I.E. TRANSFORMERS) SHALL BE SCREENED W/ SOLID WALLS AND LANDSCAPING THAT IS COMPATIBLE W/ THE BUILDING MATERIALS & DESIGN

39. ENTRANCES AND EXITS, PATH OF TRAVEL, AND PUBLIC SANITARY FACILITIES, DRINKING FOUNTAINS, AND PUBLIC TELEPHONES SERVING THE TENANT SPACE(S) SHALL BE MADE ACCESSIBLE TO PERSONS WITH DISABILITIES PER APPLICABLE STATE AND FEDERAL GUIDELINES. (TYP.)
40. ALL IMPROVEMENTS, BOTH ON-SITE AND OFF-SITE IN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY OF VISALIA (C.O.V.) IMPROVEMENT STANDARDS, ALSO REFER TO THE "DESIGN DEVELOPMENT STD'S. FOR PLAZA BUSINESS PARK PLANNED DEVELOPMENT", (TYP.)
41. (AT DRIVE-THRU RESTAURANT SPACE) OUTDOOR PRE-MFG. DINING TABLES, BUILT-IN BENCHES, W/ C.B.C. REQUIRED & PROVIDED ACCESSIBLE SPACE(S), AND SHADE CANOPY SHALL BE PROVIDED BY THE OWNER & INSTALLED BY THE GEN. CONTR. NOTED & OR INDICATED OUTDOOR DINING TABLE UNITS TO BE BOLTED TO THE CONC. FLATWORK FOR A PERMANENT INSTALLATION. OWNER SHALL BE REQUIRED TO GET A PRE-APPROVAL FROM THE AUTHORIZED REPRESENTATIVE OF THE "DESIGN DEVELOPMENT STD'S. FOR PLAZA BUSINESS PARK PLANNED DEVELOPMENT", AND THAT OUTDOOR DINING TABLE UNITS MEET THE DESIGN STD'S. FOR ON-SITE PEDESTRIAN AMENITIES, (TYP.)
42. (PER C.O.V.) A GRADING AND DRAINAGE PLAN WILL BE REQUIRED.
43. PROPOSED DEVELOPMENT WILL INCUR IMPACT FEES ASSOCIATED W/ FAST FOOD & LAND DEVELOPMENT, (FINAL IMPACT FEES DETERMINED BY C.O.V. @ THE TIME OF BUILDING PERMIT ISSUANCE)
44. (AT DRIVE-THRU RESTAURANT SPACE) THE ENTIRE DRIVE-THRU LANS SHALL BE SCREENED FROM ADJACENT STREETS) VIEW TO A HEIGHT OF 3'-0", SCREENING DEVICES SHALL BE A COMBINATION OF BERING, HEDGE AND LANDSCAPE MATERIALS, AND SOLID WALLS AS APPROVED BY THE CITY PLANNER.
45. (AT DRIVE-THRU SPACE) THE DRIVE-THRU LANE SHALL CONTAIN NO LESS THAN TEN (10) VEHICLE STACKING, MEASURED FROM THE PICK-UP WINDOW TO THE DESIGNATED ENTRANCE TO THE DRIVE-THRU LANE. THERE SHALL BE NO LESS THAN THREE (3) VEHICLE SPACE DISTANCE FROM THE ORDER MENU/SPEAKER (OR LINE DEVICE) TO THE DESIGNATED ENTRANCE TO THE ORDER WINDOW, (PER C.O.V. DRIVE-THRU PERFORMANCE STD'S, SEC. 17.32.162)
46. PER APPENDIX "T", OPERATIONAL STATEMENTS OF THE DESIGN DEVELOPMENT STD'S. FOR PLAZA BUSINESS PARK PLANNED DEVELOPMENT, PAD 2 AND BUILDING 8 SHALL BE FOR THE OPERATION OF A QUICK SERVICE RESTAURANT INCLUDING DRIVE-THRU FACILITY.
47. (N) ON SITE SURFACE RUNOFF WILL BE DIRECTED TO PERVIOUS CONC. ELEMENTS & THEN DIRECTED TO THE (E) BIO-SWALES. THE INITIAL RUNOFF WILL BE RETAINED IN THE (E) BIO-SWALES. DURING THE 10 YEAR-10 DAY STORM EVENT THE (E) BIO-SWALES WILL FULLY DISCHARGE THE EXCESS RUNOFF INTO THE REGIONAL STORM DRAIN SYSTEM.
48. PER C.B.C. TABLE 11B-208.2/PARKING SPACES, THE TOTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING FACILITY IS IN THE RANGE OF 50-75, THE MINIMUM NUMBER OF ACCESSIBLE PARKING SPACES = 3.
49. THE SHARED PARKING AREA SHOWN ON PARCEL NO. 6 @ THE UPPER NORTH-EAST CORNER OF THE DESIGN DEVELOPMENT STD'S FOR PLAZA BUSINESS PARK REFERENCE DRAWINGS SHALL BE REVIEWED AND SHARED PARKING COUNT &/OR LOCATION(S) ESTABLISHED & AGREED UPON BASED UPON THE ARCHITECTURAL SITE PLAN SHOWN ON THIS SHEET.



PARKING ANALYSIS:

TOTAL ON SITE PARKING @ PARCEL NO. 6 = 66 SPACES
(59) REGULAR SPACES
(4) COMPACT
(1) SPACES IN DRIVE-THRU STACK
(3) CLEAN AIR VEHICLES (C.A.V.)
(1) ACCESSIBLE "VAN" SPACE
(2) ACCESSIBLE STANDARD SPACE
DRIVE-THRU RESTAURANT: 2200 SF/100 = 22 SPACES

UTILITY PURVEYORS:

SEWER: CITY OF VISALIA
STORM DRAIN: CITY OF VISALIA
WATER: CALIFORNIA WATER SERVICE
ELECTRICAL: SO. CA. EDISON
GAS: SO. CA. GAS
NOTE:
PROPOSED STORM DRAIN (21"Ø), SANITARY SEWER (8"Ø), AND DOMESTIC WATER (12"Ø) TO OCCUR IN EAST CAMPUS DR., (F.V. ALL LINES & PROPOSED INVERT ELEVATIONS W/ C.O.V.)
(E) GAS LINE OCCURS IN PLAZA DR.

LOT DESCRIPTION:

PARCEL NO. 6, OF PARCEL MAP 4954
(ALSO KNOWN AS BUILDING "B" IN DESIGN DEV. STD'S)
PARCEL SIZE: 1.08 AC. A.P.N.: 081-160-006
COUNTY OF VISALIA, CA
ZONING: BUSINESS RESEARCH PARK (BRP)
DESIGN DISTRICT "G" STANDARD TAKES PRECEDENCE
THE PROJECT SITE IS WITHIN THE "CALUP" AIRPORT SAFETY ZONE "H", OR HORIZONTAL ZONE

REVISIONS	BY

HILLMAN BUILDING DESIGNERS
SPECIALIZING IN CUSTOM DESIGNS
SINCE 1970
34583 Hwy. 190 Springville, CA 93265
Tel: (559) 781-1538
Email: hillmandesigns@csnet.net

PROPOSED DEVELOPMENT FOR:
WESTWOOD PLAZA LLC
PLAZA BUSINESS PARK

DATE	04-21-21
SCALE	1"=20'
DRAWN	MH
JOB	21019
SHEET	

A-1

CITY OF VISALIA SITE PLAN REVIEW APPLICATION



- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-

This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -
- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: ANEX 13 ROOM RESIDENTIAL FACILITY Date: 5/13/21
 Project Description: 13 ROOM FACILITY, EXISTING RESIDENTIAL REFINISHED
 Site Plan Review Resubmittal: Yes ☐ No ☒ If Resubmittal, Previous Site Plan Review Number: _____
 Property Owner: JOE & MELANIE PIRA
 Applicant(s) Name: _____
 Project Address/Location: 720 7th St, CHINOOK
 Assessor Parcel Number: 087-090-018
 Parcel Size (Acreage or Square Feet): 167 ACRE Building or Suite Square Footage: 8108 TOTAL
 Are There Any Proposed Building Modifications: Yes ☒ No ☐
 Estimated Cost of Modifications to Building: \$ _____
 Describe All Proposed Building Modifications: EXISTING RES TO BE REMODELED NEW 67824 FACILITY
 --- THIS AREA FOR CITY STAFF USE ONLY ---
 Date Received: 05/13/2021
 SPR Agenda: 05/19/2021 Item No. _____
 Zone: R-M-2 SPR No. 21-087
 Historic District: Yes ☐ No ☒
 Flood Zone: X ☒ AE ☐ X/AE ☐

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Resident
 Proposed Building Use: Residential Facility
 Proposed Hours of Operation: 24 Hours / 7 day a week
 Days of Week In Operation (Circle): Su M T W Th F Sa
 Number of Employees Per Day: Existing 2 Proposed 2
 Number of Customers Per Day (Estimated): Existing _____ Proposed _____
 Predicted Peak Operating Hour: 24 Hours / day
 Describe Any Truck Delivery Schedule & Operations: One truck every week
 Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): W/A
 Describe Any Special Events Planned for the Facility: Family Visit

SITE PLAN MINIMUM REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - All existing & proposed site features
 - Site dimensions, including building
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
 - Adjacent street names
 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: JOSE PIRA Signature of Owner or Authorized Agent* [Signature] Date 5/13/21
 Address: 722 S. Chinoweth Owner [Signature]
 City, State, Zip Visalia CA 93277 Authorized Agent* [Signature] Date 5/13/21
 Phone: 559-303-8043
 Email: jose.pira.09@comcast.net

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

OWNER: Melanie Rafanan & Jose Pira Jr. declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

087-090-088

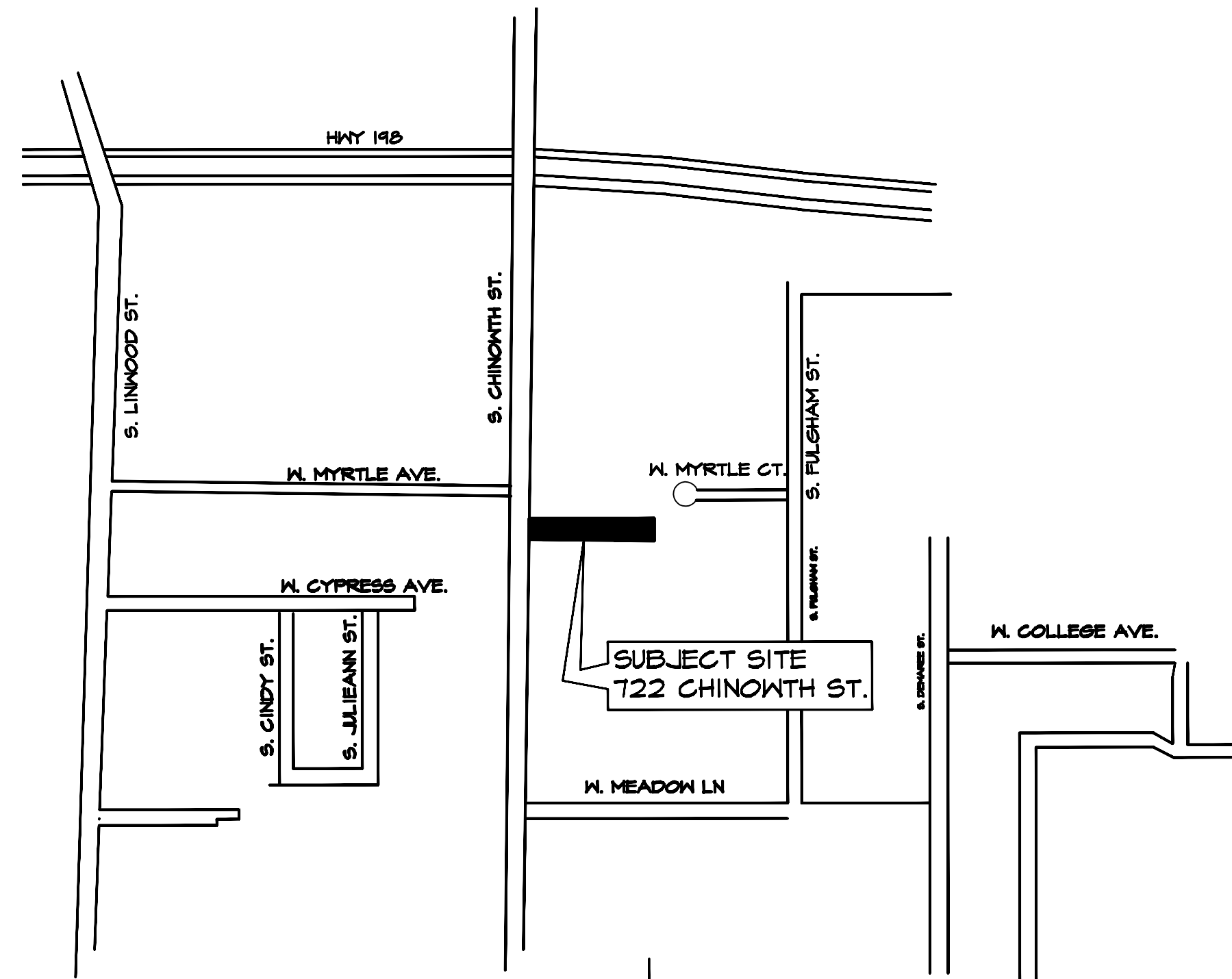
AGENT:

I designate STEVE SPARSHOT to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 13th day of May, 2021.

OWNER	AGENT
Signature of Owner <u>[Signature]</u>	Signature of Agent <u>[Signature]</u>
Owner Mailing Address <u>722 S. Chinoweth St.</u>	Agent Mailing Address _____
Owner Phone Number <u>559-303-8043</u>	Agent Phone Number _____



VICINITY MAP

No Scale

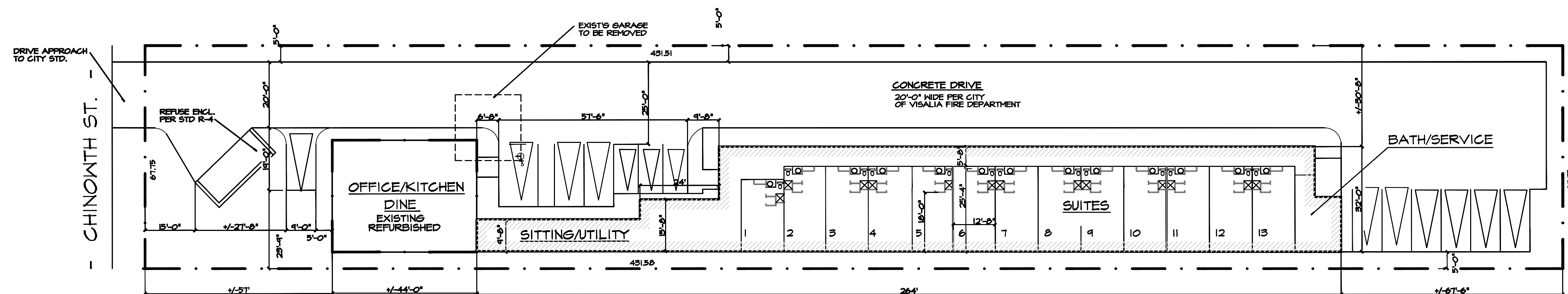
SITE INFO:

EXISTING USE: (1) RESIDENTIAL UNIT
PROPOSED: (13) BEDROOM RESIDENTIAL FACILITY

ZONING: RM-3
APN 087-090-018
SITE AREA: +/- .67 ACRES
TELEPHONE: SBC TELEPHONE CO.
WATER: CALIFORNIA WATER SERVICE CO.
REFUSE: CITY OF VISALIA
SEWER: CITY OF VISALIA
STORM: CITY OF VISALIA
SOLID WASTE: CITY OF VISALIA
GAS: THE GAS CO.
POWER: SOUTHERN CALIF. EDISON CO.

OWNER:

JOE & MELANIE PIRA
722 S. CHINOWTH
VISALIA, CA. 93277
554-303-8043



SITE PLAN

APN 087-090-018
722 CHINOWTH ST.
VISALIA, CA

EXIST'G : +/- 1319 SQ. FT.
NEW BUILDING: +/- 6782 SQ. FT.

Scale: 1"=40'-0"

A NEW 13 ROOM RESIDENTIAL FACILITY FOR:
JOE & MELANIE PIRA
722 S. CHINOWTH VISALIA, CA.

SHEET
OF

STEPHEN O. SPARSHOTT

DESIGN & DRAFTING
1206 N. EVANS
VISALIA, CALIF. 93277
554-674-7565

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

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This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Visalia Car Wash Date: _____
 Project Description: Proposed development of a 1-acre commercial site for use as a car-wash.
 Site Plan Review Resubmittal: Yes ☐ No ☒ If Resubmittal, Previous Site Plan Review Number: _____
 Property Owner: Moe Assad
 Applicant(s) Name: Bottom Line LLC
 Project Address/Location: (1804) 1744 N. Dinuba Blvd. Visalia, CA 93291
 Assessor Parcel Number: 091-171-018
 Parcel Size (Acreage or Square Feet): +/- 1 ac. Building or Suite Square Footage: 4,400sf.

Are There Any Proposed Building Modifications: Yes ☐ No ☐

Estimated Cost of Modifications to Building: \$ N/A

Describe All Proposed Building Modifications: N/A

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 05/12/2021

SPR Agenda: 05/19/2021 Item No. _____

Zone: C-N SPR No. 21-088

Historic District: Yes ☐ No ☒

Flood Zone: ☒ X ☐ AE ☐ X/AE ☐

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: N/A

Proposed Building Use: Commercial

Proposed Hours of Operation: Monday through Sunday 7:00AM - 9:00PM

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing _____ Proposed 15-20

Number of Customers Per Day (Estimated): Existing _____ Proposed _____

Predicted Peak Operating Hour: 5:00PM to 7:00PM

Describe Any Truck Delivery Schedule & Operations: N/A

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): N/A

Describe Any Special Events Planned for the Facility: N/A

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
- North arrow
 - All existing & proposed site features
 - Site dimensions, including building
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
 - Adjacent street names
 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Bottom Line LLC DocuSigned by: Signature of Owner or Authorized Agent* 5/10/2021
 Address: PO Box 1095 Hemraj Dhalival
 City, State, Zip: Clons, CA 93613 DocuSigned by: Owner Date
 Phone: 559-799-1963 Sandeep k. Dhalival 5/10/2021
 Email: orlunder@bottom-line.com 42052B922691457... Authorized Agent* Date

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, _____, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN): _____

AGENT:

I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20____.

OWNER	Signatures	AGENT
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number

Operational Statement

Dinuba and Shannon Parkway Car Wash Development

APN: 091-171-018

Address: 1744 N. Dinuba Boulevard Visalia, CA 93291

Overview:

Proposed development of a +/- 1-acre site for the purpose of a drive through express car wash facility. Site is currently zoned Commercial and the proposed development is consistent with permitted uses in this zone district. Car wash is designed to accommodate a total of 24 public parking stalls with two designated handicapped parking spaces in addition to three employee parking stalls. Proposed use will bring a desirable service and bring jobs to the surrounding neighborhoods while serving as an extension to the established commercial district in which this site is located.

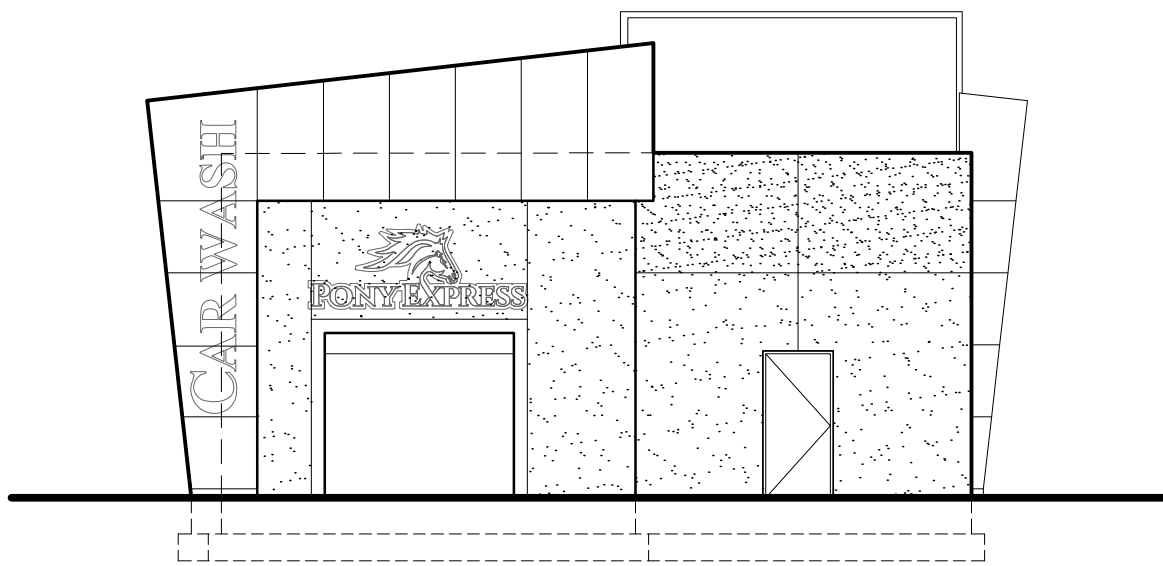
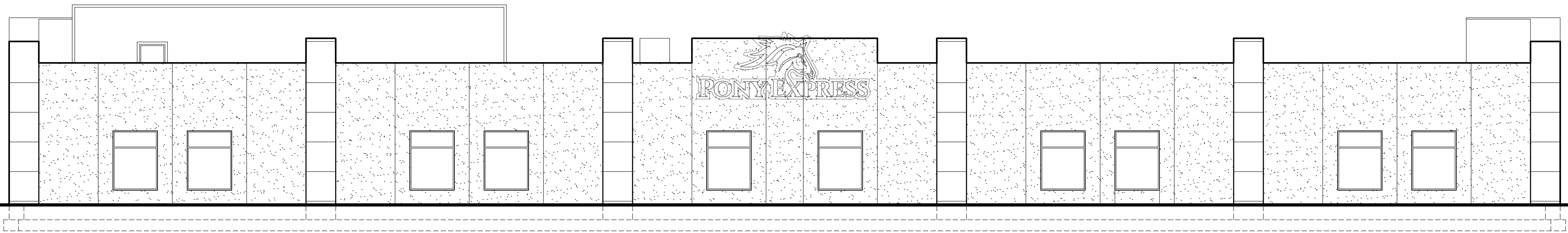
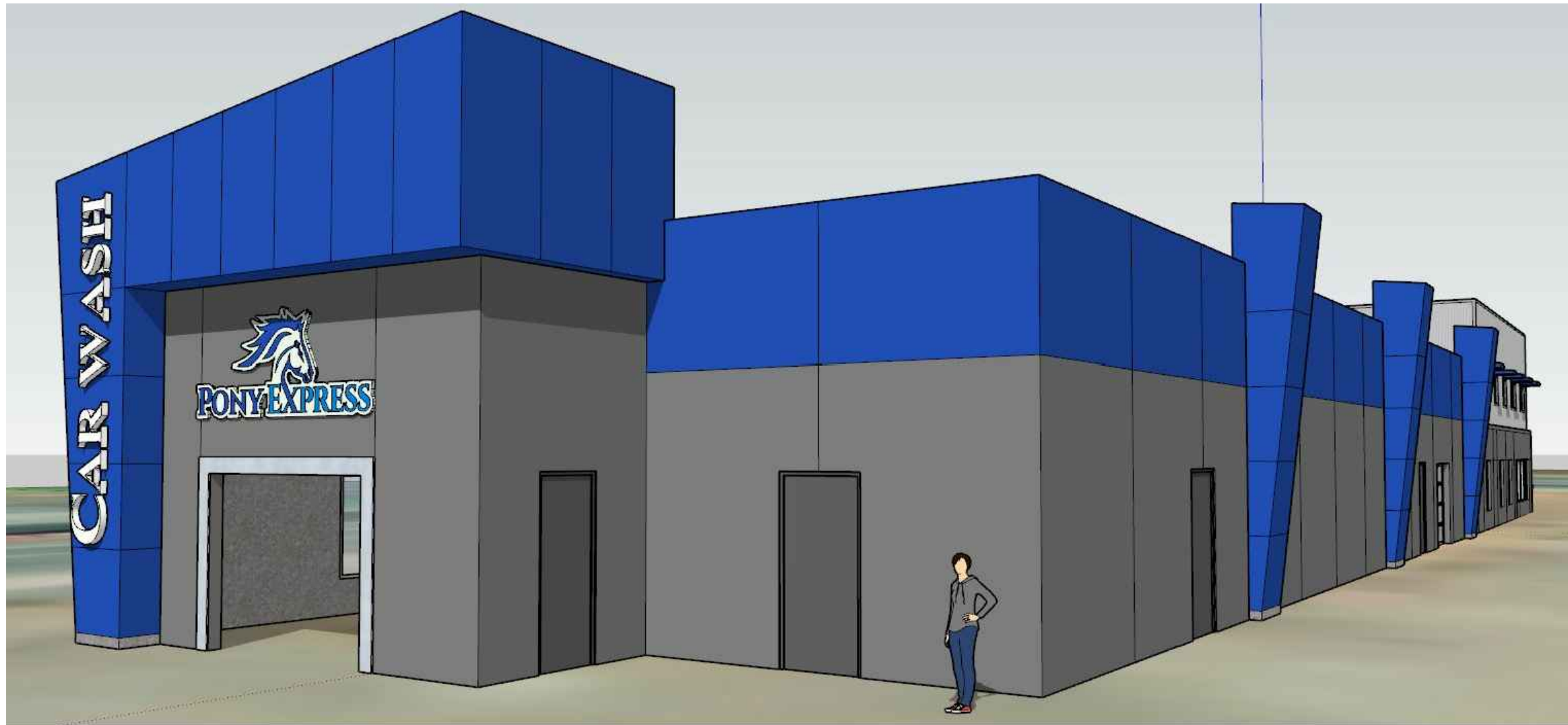
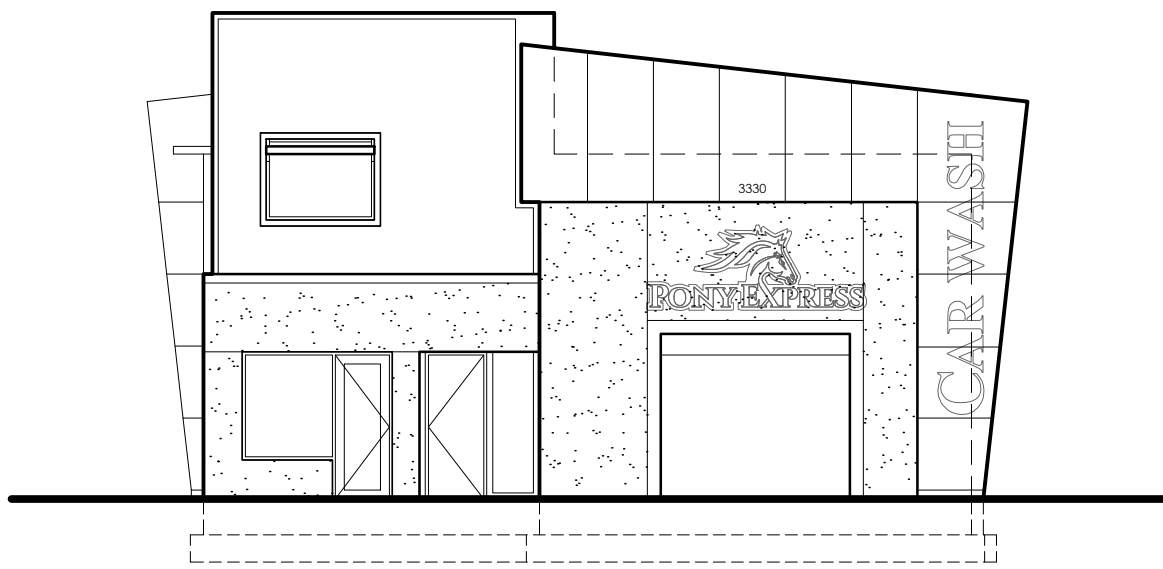
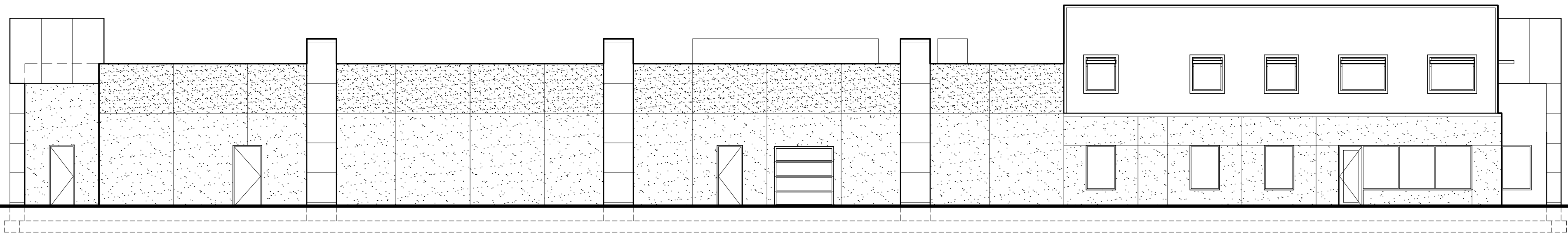
At daily peak operation times, this facility will employ 15-20 employees.

Express Car Wash Planned Hours of Operation:

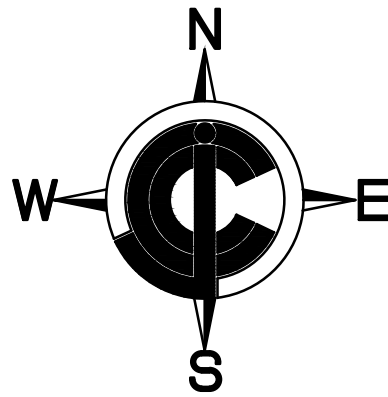
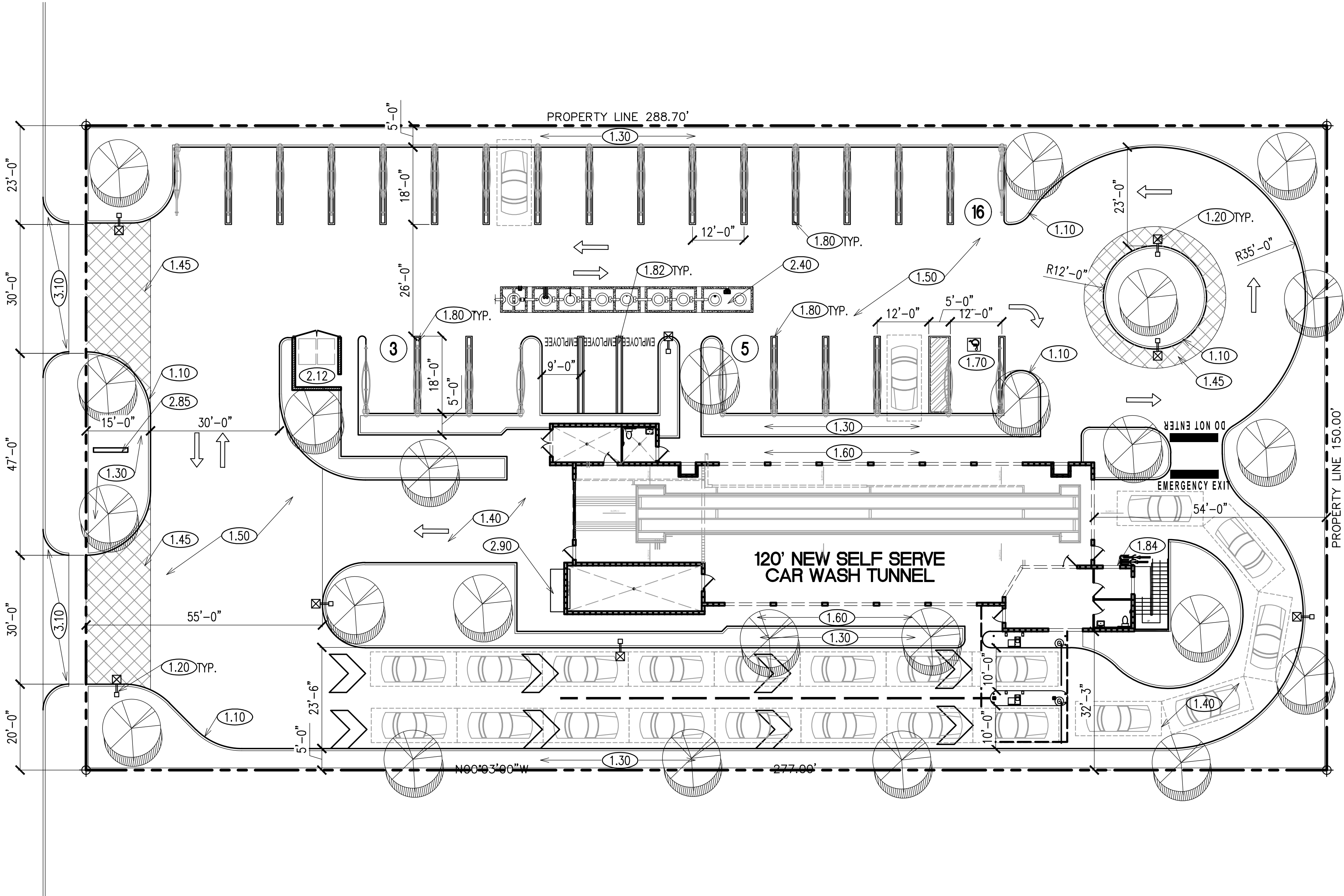
Monday	7:00AM to 9:00PM
Tuesday	7:00AM to 9:00PM
Wednesday	7:00AM to 9:00PM
Thursday	7:00AM to 9:00PM
Friday	7:00AM to 9:00PM
Saturday	7:00AM to 9:00PM
Sunday	7:00AM to 9:00PM



2-Hayx



DINUBA BOULEVARD



VICINITY MAP



CONSTRUCTION NOTES

- 1.10 NEW 6" CONCRETE CURB
- 1.20 NEW AREA LIGHT
- 1.30 NEW LANDSCAPING WITH AUTOMATIC IRRIGATION
- 1.40 NEW 6" CONCRETE DRIVE SLAB WITH #3 BARS @ 18" O.C. OR AS SPECIFIED IN SOILS REPORT IF AVAILABLE.
- 1.45 NEW STAMPED COLORED CONCRETE WITH 3X3 DIAMOND SCORELINES
- 1.50 NEW 6" OVER 4" A.B. ASPHALT PAVING OR AS SPECIFIED IN SOILS REPORT IF AVAILABLE.
- 1.60 NEW 48" HANDICAP PATH OF TRAVEL (NO ABRUPT CHANGES IN ELEVATIONS ALONG THE PATH OF TRAVEL SHOWN. THE SLOPE AND CROSS SLOP ALONG THE PATH OF TRAVEL SHALL NOT EXCEED 5% AND 2% RESPECTIVELY. INSPECTOR TO VERIFY)
- 1.70 NEW 17'X18' HANDICAP PARKING SPACE WITH ALL RELATED SIGNAGE (SLOPE NOT TO EXCEED 2% E.W.) SEE DETAIL ON SHEET ADA-4
- 1.80 NEW 12'X18' VACUUM PARKING SPACES
- 1.82 NEW 9'X18' STANDARD PARKING SPACES
- 1.84 NEW BICYCLE PARKING (MIN. 2 SPACES) WITHIN 200 FEET OF VISITORS ENTRANCE
- 2.12 NEW TRASH ENCLOSURE WITH STEEL GATES
- 2.40 NEW CAR WASH UNDERGROUND RECLAIM/CLARIFIER TANK (INSTALL MINIMUM 3 COMPARTMENT SAND AND OIL INTERCEPTOR PER CITY'S STANDARD NUMBER 2202
- 2.85 NEW MONUMENT SIGN
- 2.90 NEW ELECTRICAL PANELS
- 3.10 NEW CONCRETE DRIVEWAY PER CITY STANDARDS

SITE DATA INFORMATION

DEVELOPER'S INFORMATION:	ACCESSOR'S
MOE ASSAD	PARCEL NUMBER
EMAIL: ibermoe86@gmail.com	091-171-018
	ZONING:
	COMMERCIAL

	SQ. FT.	ACRE	RATIO
LOT AREA GROSS:	43,305.0	1.0	-
CAR WASH BUILDING			
OCCUPANCY: B	4,400.0	-	10%
CONSTRUCTION: V-B			

REVISIONS

NO.	DATE	DESCRIPTION	BY	APP.

CJC Design, Inc. **Design** **Planning** **Permitting**

22485 La Palma Avenue, Suite 202, Yorba Linda, CA 92887
Tel: (714) 920-9643
Fax: (714) 917-0250
www.cjccorp.com

Xpress Car Wash

PROJECT: 1744 N. DINUBA BOULEVARD
VISALIA, CA. 93291
PROPOSED PLOT PLAN

DATE ISSUED:	04/21/21
SCALE:	1/16"=1'-0"
DRAWN BY:	FCOHEN
CHECKED BY:	F. COHEN
PROJECT NUMBER:	21020
STORE NUMBER:	XPRESS
SHEET:	C.11

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Pinkham Place Date: 5/13/2021
 Project Description: 103 Unit Condominium Subdivision
25-4 Unit Buildings and 1-3 Unit Building
 Site Plan Review Resubmittal: Yes ☐ No ☒ If Resubmittal, Previous Site Plan Review Number: _____
 Property Owner: Silveira Rental Enterprises, Inc.
 Applicant(s) Name: Roy J. Kendall and Joe N. Silveira
 Project Address/Location: South East Corner Walnut and Pinkham
 Assessor Parcel Number: 126-530-036 (001 Visalia)
 Parcel Size (Acreage or Square Feet): 310,583 # Building or Suite Square Footage: N/A

Are There Any Proposed Building Modifications: Yes ☐ No ☒

Estimated Cost of Modifications to Building: \$ N/A

Describe All Proposed Building Modifications: N/A

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 05/13/2021

SPR Agenda: 05/19/2021 Item No. _____

Zone: R-M-2 SPR No. 21-089

Historic District: Yes ☐ No ☒

Flood Zone: X ☒ AE ☐ X/AE ☐

OPERATIONS & TRAFFIC INFORMATION

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

Existing/Prior Building Use: N/A

Proposed Building Use: N/A

Proposed Hours of Operation: N/A

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing _____ Proposed _____

Number of Customers Per Day (Estimated): Existing _____ Proposed _____

Predicted Peak Operating Hour: N/A

Describe Any Truck Delivery Schedule & Operations: N/A

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): N/A

Describe Any Special Events Planned for the Facility: N/A

SITE PLAN MINIMUM REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
- | | | |
|--|---|--|
| <ul style="list-style-type: none"> - North arrow - All existing & proposed site features - Site dimensions, including building - Existing and proposed fencing at site - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.) | <ul style="list-style-type: none"> - Existing & proposed structures - Adjacent street names - Refuse enclosures & containers - Valley oak trees (show drip line) - Existing & proposed landscaping - Parking stalls (include ADA) | <ul style="list-style-type: none"> - Loading/unloading areas - Accessible path of travel from right of way - Accessible path of travel from ADA stall - Location and width of drive approaches to site - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16 |
|--|---|--|

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Roy J. Kendall</u>	Signature of Owner or Authorized Agent*	
Address: <u>1213 So. Fairway St.</u>	Owner	Date
City, State, Zip: <u>Visalia, CA 93277</u>	<u>Roy J. Kendall</u>	<u>5/13/2021</u>
Phone: <u>559-901-1924</u>	Authorized Agent*	Date
Email: <u>royj.kendall@hotmail.com</u>		

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

OWNER:

Joe N. Silveira, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

126-530-036

AGENT:

I designate Roy J. Kendall, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

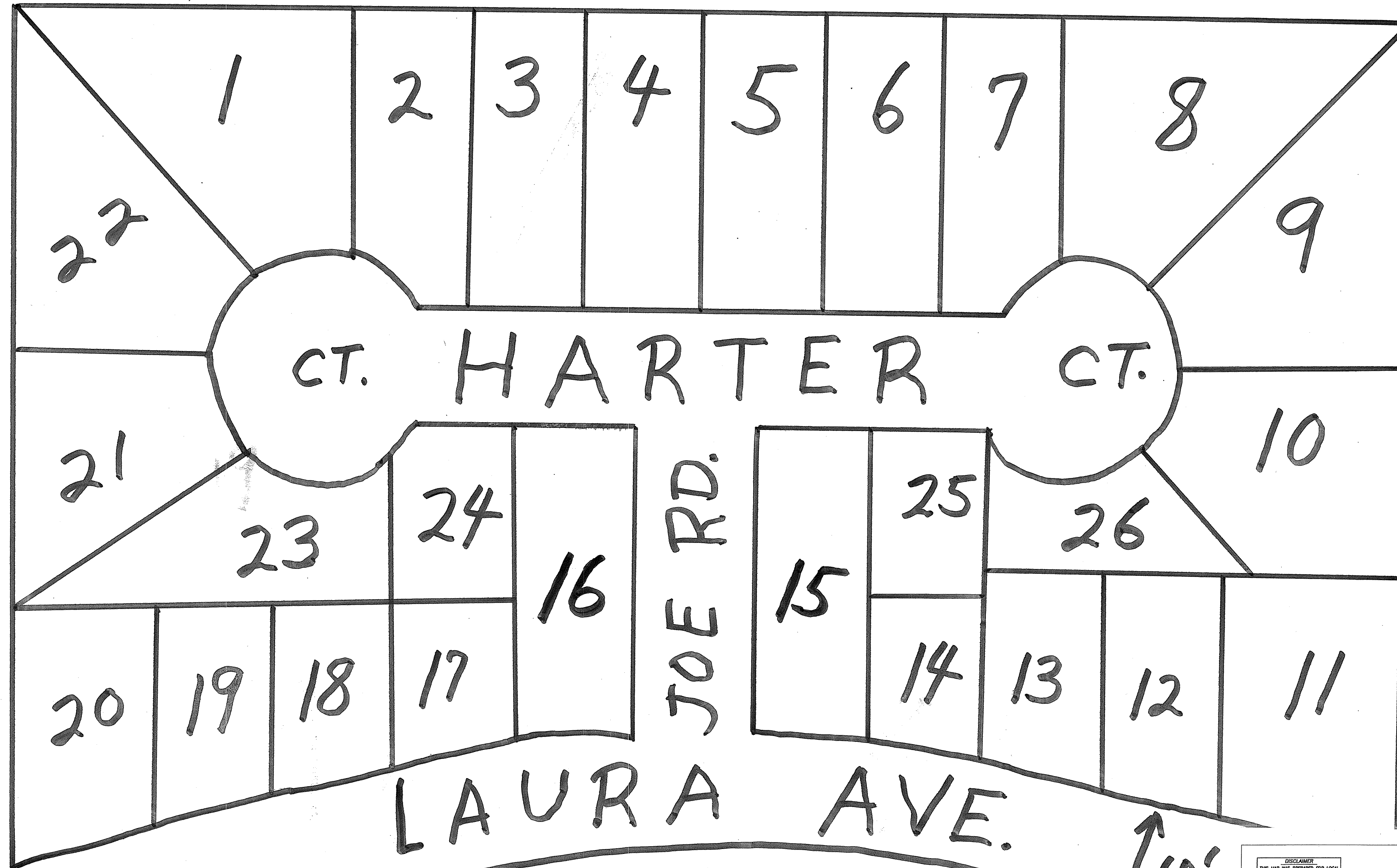
I declare under penalty of perjury the foregoing is true and correct.

Executed this 12th day of May, 2021.

OWNER	AGENT
<p><u>Joe N. Silveira</u></p> <p>Signature of Owner</p> <p><u>390 Via Bandolero</u></p> <p>Owner Mailing Address</p> <p><u>Arroyo Grande, CA 93420</u></p> <p><u>559-901-0785</u></p> <p>Owner Phone Number</p>	<p><u>Roy J. Kendall</u></p> <p>Signature of Agent</p> <p><u>1213 So. Fairway St.</u></p> <p>Agent Mailing Address</p> <p><u>Visalia, CA 93277</u></p> <p><u>559-901-1924</u></p> <p>Agent Phone Number</p>

PINKHAM PLACE

PINKHAM RD.



SITE INFO:

EXISTING USE: VACANT
 PROPOSED: 103 UNIT CONDOMINIUM SUBDIVISION
 CONSISTING OF 25-4 UNIT BUILDINGS AND 1-3 UNIT
 BUILDING WITH DETACHED COVERED PARKING.

ZONING: RM-2, 3,000 SQ. FT./UNIT.
 APN: 126-530-036
 SITE AREA: +/- 7.13 ACRES, 310,583 SQ. FT.
 TELEPHONE: SBC TELEPHONE CO.
 WATER: CALIFORNIA WATER SERVICE CO.
 REFUSE: CITY OF VISALIA
 SEWER: CITY OF VISALIA
 STORM: CITY OF VISALIA
 SOLID WASTE: CITY OF VISALIA
 GAS: THE GAS CO.
 POWER: SOUTHERN CALIF. EDISON CO.

SCALE: 3"=100'

