

SITE PLAN REVIEW AGENDA

4/14/2021 - 9:00 A.M.

Conference Room #4

315 E. Acequia Avenue

ITEM NO: 1 Resubmit

SITE PLAN NO: SPR21015

PROJECT TITLE: Storland Self-Storage

DESCRIPTION: Construction of a Self-Storage Facility for Storing Personal and Business Goods in Enclosed Units. Project does not Include a Residence or RV Storage.

APPLICANT: Joshua Miller

OWNER: OMNI LAND DEVELOPMENT LLC

APN: 000013831

LOCATION: NW Corner of W. Shannon Parkway and N. Cpirt Street

ITEM NO: 2

SITE PLAN NO: SPR21059

PROJECT TITLE: ATT Mobility

DESCRIPTION: RELO Project--Moving Existing ATT Antennas to a Proposed 125'-130' Monopole. Equipment Area would Stay in same Location. (QP)

APPLICANT: Derek Turner

OWNER: VISALIA UNIFIED SCHOOL DISTRICT

APN: 093210001

LOCATION: 1001 W MAIN ST

ITEM NO: 3

SITE PLAN NO: SPR21060

PROJECT TITLE: Lampe Chrysler Dodge Delivery Canopy

DESCRIPTION: New Vehicle Delivery Shade Canopy (C-S)

APPLICANT: Jason Scott, PE

OWNER: TULARE SAG INC

APN: 081020071

LOCATION: 151 N NEELEY ST

ITEM NO: 4

SITE PLAN NO: SPR21061

PROJECT TITLE: Educational Employees Credit Union

DESCRIPTION: Construct a 90 sf Walk-up ATM Kiosk on the Existing Smart & Final Property (D-MU)

APPLICANT: Alan Weber

OWNER: R H C ASSOCIATES

APN: 093186001

LOCATION: 600 W CENTER AVE

ITEM NO: 5

SITE PLAN NO: SPR21062

PROJECT TITLE: Visalia RV Self-Storage

DESCRIPTION: Covered RV Self-Storage - Approx. 6.62 acres with 1.8 acres Future Self-Storage & 3 Separate Residential Lots. (C-S)

APPLICANT: Theodore Caldwell

OWNER: TC PROPERTY MANAGEMENT LTD

APN: 077720001

LOCATION: 6415 W DOE AVE

AFTER REVIEW OF REGULAR AGENDA ITEMS, THE COMMITTEE WILL BE AVAILABLE TO REVIEW OFF-AGENDA ITEMS FOR INFORMAL REVIEW. THE COMMITTEE WILL BE AVAILABLE TO ANSWER QUESTIONS AT THAT TIME.

SITE PLAN REVIEW AGENDA

4/14/2021 - 9:00 A.M.

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315 E. Acequia Avenue

ITEM NO: 6

SITE PLAN NO: SPR21063

PROJECT TITLE: American Inc., Old Jostens Site

DESCRIPTION: Tentative Final Parcel Map to Divide the Remainder of Parcel Map No 4764 (BRP)

APPLICANT: Ben Mullins

OWNER: JOSTENS INC

APN: 081170013

LOCATION: 231 S KELSEY ST

ITEM NO: 7

SITE PLAN NO: SPR21064

PROJECT TITLE: American Inc., Old Jostens Site #2

DESCRIPTION: Tentative Final Parcel Map to Divide the Remainder of Parcel Map No. 4764. (BRP)

APPLICANT: Ben Mullins

OWNER: JOSTENS INC

APN: 081170013

LOCATION: 231 S KELSEY ST

ITEM NO: 8

SITE PLAN NO: SPR21065

PROJECT TITLE: Valley Pacific Petroleum

DESCRIPTION: Temporary Fuel Transfer Facility (I)

APPLICANT: Aaron Oliver

OWNER: SUNSHINE REALTY CORP

APN: 077130086

LOCATION: West Doe Ave, West of North Shirk Road

ITEM NO: 9

SITE PLAN NO: SPR21066

PROJECT TITLE: Sorma USA, LLC

DESCRIPTION: Partial Electrical & Lighting Modification for Soma USA (BRP)

APPLICANT: Butch Oldfield

OWNER: JOSTENS INC

APN: 081170013

LOCATION: 231 S KELSEY ST

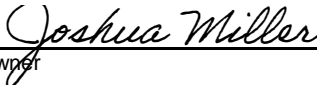
SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - All existing & proposed site features
 - Site dimensions, including building
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
 - Adjacent street names
 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Miller Accord, LP</u> Address: <u>PO Box 6398</u> City, State, Zip: <u>Visalia, CA 93290</u> Phone: <u>559-909-0979</u> Email: <u>miller@storlandstorage.com</u>	Signature of Owner or Authorized Agent*  _____ Owner	_____ Date _____ Date
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* If signed by an authorized agent , the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, _____, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

AGENT:

I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20____.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number

ALL IDEAS, REVISES, AMENDMENTS AND PLANS INDICATED OR REFERENCED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF CVEAS OR CONSULTANTS AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CVEAS OR CONSULTANTS. THESE DRAWINGS OR SPECIFICATIONS ARE NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF CVEAS OR CONSULTANTS. THESE DRAWINGS OR SPECIFICATIONS ARE NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF CVEAS OR CONSULTANTS.

ABBREVIATIONS:

Table with 4 columns: Abbreviation, Description, Abbreviation, Description. Includes terms like A.B. ANCHOR BOLT, ADJ. ADJUSTABLE, ADV. ABOVE, etc.

SEISMIC DATA: Table with 2 columns: Parameter (LATITUDE, LONGITUDE) and Value (-96.360389, -119.244533).

SEISMIC ITEM table with 4 columns: SEISMIC ITEM, VALUE, CBC REFERENCE, 2019. Includes rows for SITE CLASS, SOILS BEARING CAPACITY, etc.

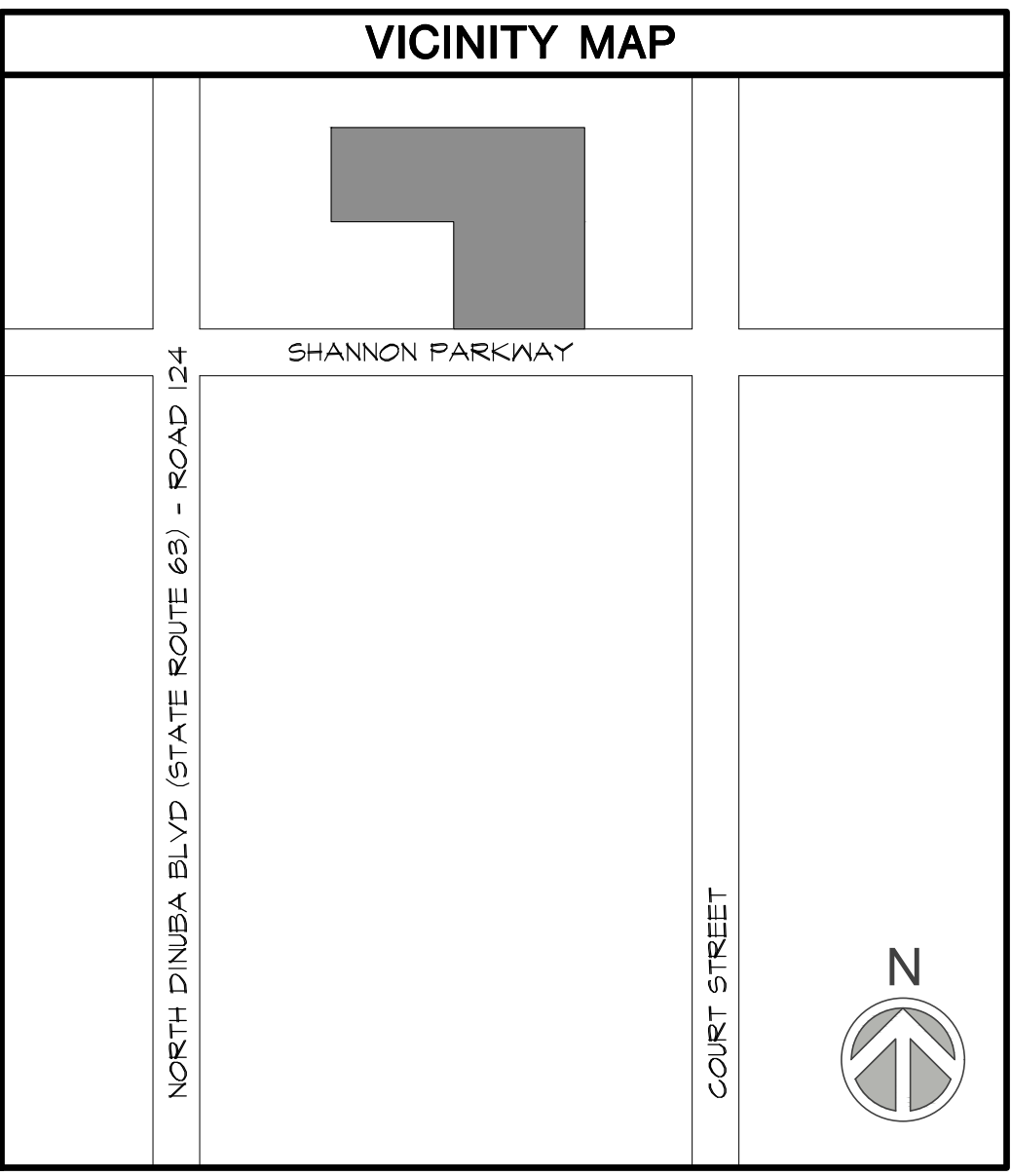
DESIGN DATA table with 2 columns: Parameter (OCCUPANCY TYPE, CONSTRUCTION TYPE, etc.) and Value (S1, IIB - NON - SPRINKLERED, etc.).

PROPOSED STORAGE FACILITY FOR: STORLAND SELF-STORAGE SHANNON PARKWAY AND ROAD 124 VISALIA, CA 93291 APN: 079-071-032

- GENERAL NOTES: 1. CHEMICAL TOILET IS REQUIRED ON-SITE DURING CONSTRUCTION. 2. PROVIDE 2% SLOPE AWAY FROM BUILDING FOR A MINIMUM OF TEN FEET. 3. PROVIDE A 12" HIGH ADDRESS POSTING WITH SUITE NUMBER 4" HIGH. ... 17. NO USES OF LAND, BUILDING, OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.

- SCOPE OF WORK: 1. CONSTRUCT A OFFICE BLDG. 2. CONSTRUCT MULTIPLE SIZE METAL STORAGE BLDGS. REFER TO SITE DATA FOR SQUARE FOOTAGE. 3. CONSTRUCT TRASH ENCLOSURE PER CITY STDS. 4. CONSTRUCT WROUGHT-IRON FENCE AND GATES. 5. CONSTRUCT CONCRETE DRIVEWAYS. 6. CONSTRUCT CONCRETE CURBS AND RAMPS.

SHEET INDEX table with 2 columns: SHEET, DESCRIPTION. Includes rows for ARCHITECTURAL, COVER SHEET, PROPOSED SITE PLAN, etc.



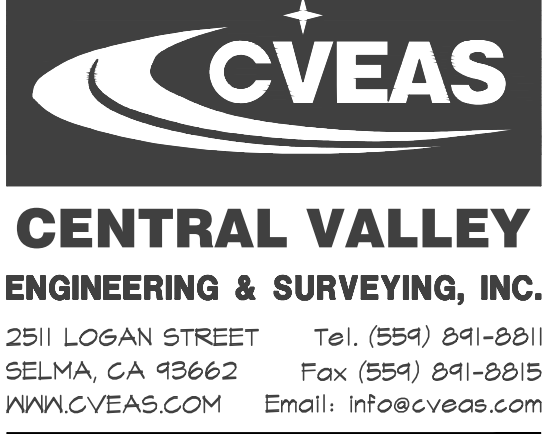
OWNER DATA: STORLAND SELF-STORAGE, P.O. BOX 6398, VISALIA, CA 93260. CONTACT: JOSH MILLER. EMAIL: miller@storlandstorage.com

DEVELOPMENT AGENCY: CITY OF VISALIA, 707 N. ACEQUIA AVE, VISALIA, CA 93291. CONTACT: PLANNING. EMAIL: --

ENGINEER IN RECORD: CVEAS, INC - RICARDO LEAL - PE, 22511 LOGAN STREET, SELMA, CA 93662. CONTACT: RICARDO. EMAIL: rleal@cveas.com

PROJECT DATA table with 2 columns: Parameter (APN, ADDRESS, EXISTING ZONING, etc.) and Value (079-071-032, SHANNON PARKWAY AND ROAD 124 VISALIA, CA 93291, C-MU - MIXED USE COMMERCIAL, etc.).

BUILDING SQUARE FOOTAGE CALCULATIONS table with 4 columns: SITE AREA, LOT #1, LOT #2, TOTAL LOT AREAS. Includes sub-tables for MAIN OFFICE, STR. BLDG 'B' through 'J', and TOTAL OF ALL STR BLDGS.



PROPOSED STORAGE FACILITY FOR" STORLAND SELF-STORAGE, INC. SHANNON PARKWAY AND DINUBA BLVD VISALIA, CA 93292 APN: 079-071-032 - PARCEL 'E' AND 'D'



Revisions table with 2 columns: Revisions, Date. Includes a grid for tracking changes.

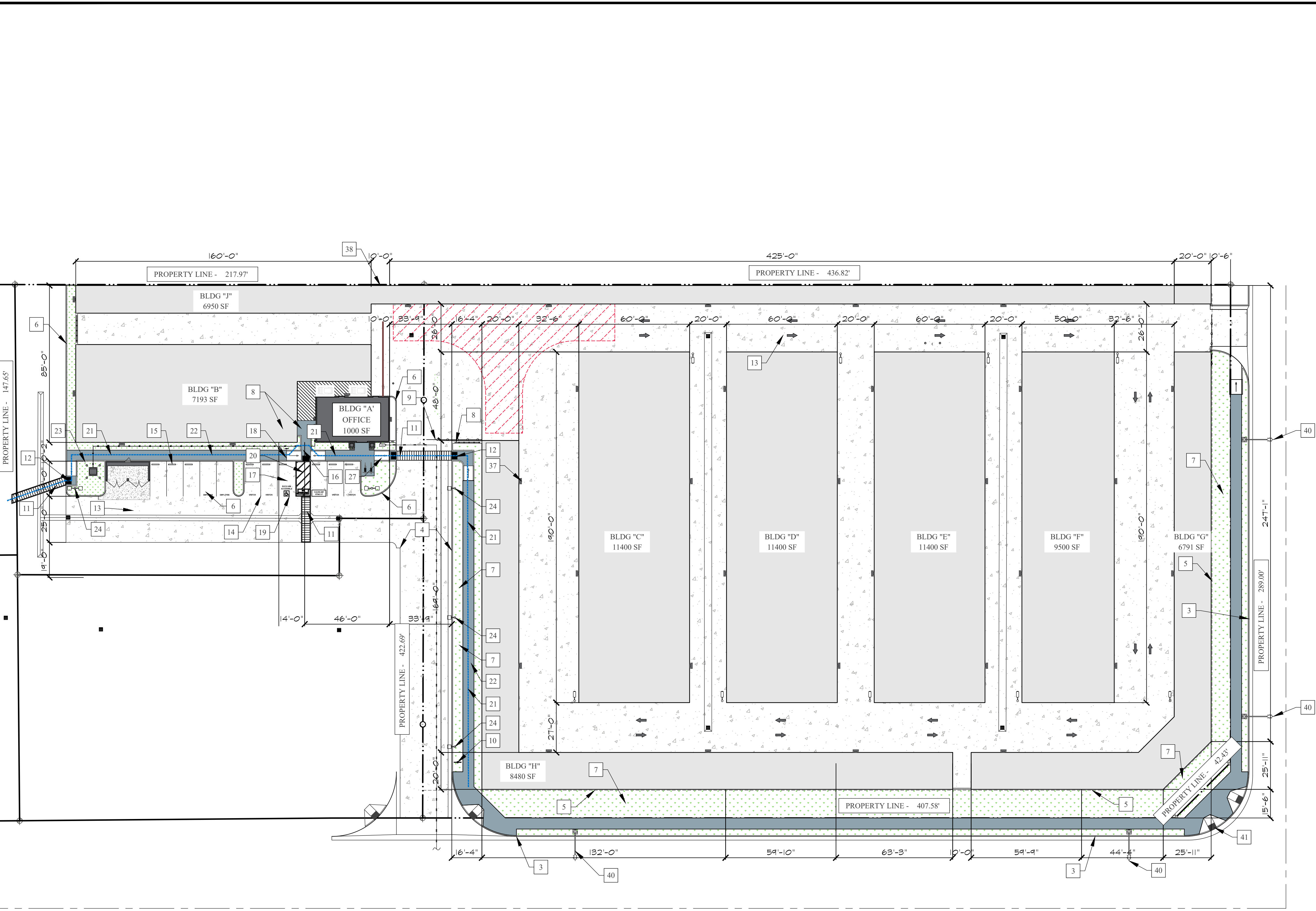
PROJECT AND OWNER DATA, VICINITY MAP, AND SHEET INDEX

Project and Owner Data table with 2 columns: Parameter (CVEAS JOB #, DATE, PLANNING SUBMITTAL #, etc.) and Value (2016, 4/8/2021, XX-XXXX, etc.).

A1.0

CIVIL ENGINEERING • LAND SURVEYING • CONSULTING • STRUCTURAL DESIGN • ARCHITECTURAL DRAFTING • COMMERCIAL & RESIDENTIAL BUILDING DESIGN • PLANNING & PROJECT MANAGEMENT

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SHANNON PARKWAY

PROPOSED SITE PLAN

SCALE: 1:30



SITE PLAN KEY NOTES

- 1 NOT USED.
- 2 NOT USED.
- 3 (N) 6" HIGH CONC. STREET CURB AND GUTTER PER CITY STD C-4.
- 4 (N) 6" HIGH CONC. CURB AND GUTTER
- 5 INDICATES SETBACK LINE AND LANDSCAPE BUFFER.
- 6 (N) 6" HIGH CONCRETE CURB.
- 7 (N) LANDSCAPE. REFER TO LANDSCAPE PLANS FOR ADDTL INFO.
- 8 (N) 2' HIGH CMU WALL WITH 6' HIGH WROUGHT-IRON FENCE ABOVE.
- 9 (N) 8' HIGH SLIDING WROUGHT-IRON GATE WITH SECURITY LOCK AND INTERCOM.
- 10 (N) TOW-AWAY SIGN PER DETAIL 5/A1.2.
- 11 (N) STRIPPING INDICATES PEDESTRIAN PATH OF TRAVEL.
- 12 (N) TRUNCATED DOME(S) PER DETAIL 2/A1.2.
- 13 (N) DIRECTIONAL ARROW PER DETAIL 7/A1.2.
- 14 (N) 4" WIDE PAINTED STRIPE (TRAFFIC WHITE) PER CITY STDS. TYP.
- 15 (N) 6" HIGH WHEEL STOP. REFER TO DETAIL 8/A1.2.
- 16 (N) CURB-CUT RAMP. REFER TO DETAIL 12/A1.2.
- 17 (N) ACCESSIBLE PARKING. REFER TO DETAIL 3/A1.2.
- 18 (N) ACCESSIBLE SIGN (POLE MOUNT). REFER TO DETAIL 5/A1.2.
- 19 (N) ACCESSIBLE PARKING SIGN (GROUND). REFER TO DETAIL 4/A1.2.
- 20 (N) ACCESSIBLE PARKING AISLE. REFER TO DETAIL 3/A1.2.
- 21 (N) PEDESTRIAN PATH OF TRAVEL FROM PUBLIC SIDEWALK TO BUILDING.
- 22 (N) CONCRETE SIDEWALK. REFER TO DETAIL 10/A1.2.
- 23 (N) TRASH ENCLOSURE PER CITY STD M-4 AND M-5.
- 24 (N) HOODED LIGHT POLE. REFER TO DETAIL 9/A1.2.
- 25 (N) SHORT/LONG TERM BIKE PARKING (W/ MIN. (1) TWO-BIKE CAPACITY RACK. SEE CAL-GREEN 5.106.4.1.1, 5.106.4.1.2 & 5.106.4.1.5.
- 26 (N) ELECTRIC VEHICLE CHARGING STATION.
- 27 INDICATES EDGE OF CONCRETE PAVING AND AC PAVING.
- 28 INDICATES FIRE TRUCK TURNING CLEARANCE.
- 29
- 30
- 31
- 32
- 33
- 34
- 35
- 36 (N) SECURITY CAMERA(S) ON BLDG.
- 37 (N) WALL-MOUNTED PACK LIGHT(S) ON BLDG.
- 38 (N) 8' HIGH CMU WALL.
- 39
- 40 (N) STREET LIGHT PER CITY STD SL-4.
- 41 (N) 35' RADIUS CORNER AND STREET CURB RAMP PER CITY STD C-17 & C-33.

HATCH LEGEND

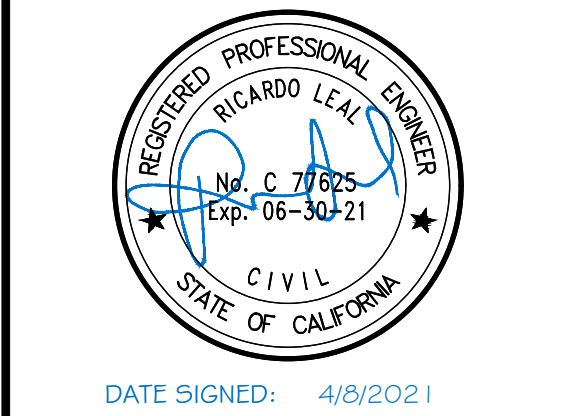
[Pattern]	NEW OFFICE BUILDING
[Pattern]	NEW STORAGE BUILDING(S)
[Pattern]	NEW LANDSCAPE AREA(S)
[Pattern]	NEW SIDEWALK
[Pattern]	NEW CONCRETE DRIVEWAY(S)
[Pattern]	NEW AC DRIVEWAY(S)
[Pattern]	NEW ALTERNATIVE HAMMERHEAD TURNAROUND

BUILDING SQUARE FOOTAGE CALCULATIONS

SITE AREA:				
LOT #1:	125,900	SF	2.88	AC
LOT #2:	33,352	SF	0.76	AC
TOTAL LOT AREAS:	159,252	SF	3.65	AC
SIZE (IN FEET)				
MAIN OFFICE:	25	X	40	1,000 SF
STR BLDG "B":	VARIES			7,193 SF
STR BLDG "C":	60	X	190	11,400 SF
STR BLDG "D":	60	X	190	11,400 SF
STR BLDG "E":	60	X	190	11,400 SF
STR BLDG "F":	50	X	190	9,500 SF
STR BLDG "G":	VARIES			6,791 SF
STR BLDG "H":	VARIES			8,480 SF
STR BLDG "J":	VARIES			6,950 SF
TOTAL OF ALL STR BLDGS:			73,114.0	SF
TOTAL AREA OF ALL BLDGS (EXCLUDES PORCH):			74,114.0	SF
ACTUAL LOT COVERAGE:			0.47	%
REQUIRED PARKING:	1	PER	1,000 SF	BLDG AREA
PROVIDED PARKING:	1	VAN ACCESSIBLE PARKING		
	1	EVCS PARKING		
	3	VISITOR PARKING		
	3	EMPLOYEE PARKING		
	3	ADDITIONAL PARKING		
TOTAL:	11	PARKING		



PROJECT
PROPOSED STORAGE FACILITY FOR
STORLAND SELF-STORAGE, INC.
SHANNON PARKWAY AND DINUBA BLVD
VISALIA, CA 93292
APN: 079-071-032 - PARCEL 'E' AND 'D'



DATE SIGNED: 4/8/2021

Revisions:	Date:
[Symbol]	
[Symbol]	
[Symbol]	
[Symbol]	
[Symbol]	

PROPOSED SITE PLAN

CVEAS JOB #: 2016

DATE: 4/8/2021

PLANNING SUBMITTAL #: XX-XXXX

PLAN CHECK SUBMITTAL #: XX-XXXX

DRAWN BY: KX

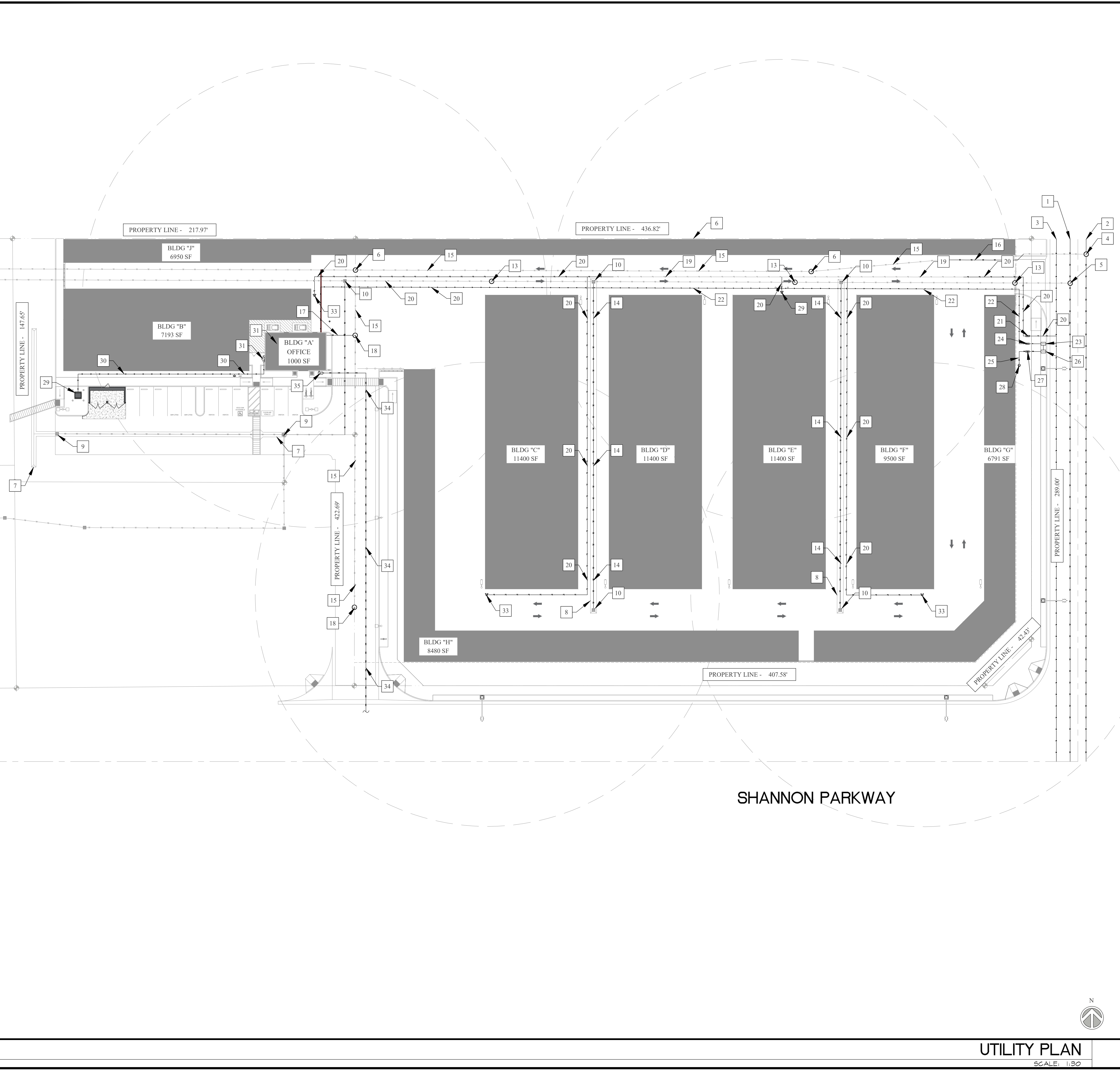
CHECKED BY: RL/KX

SCALE: NOTED ON PLANS

A1.1

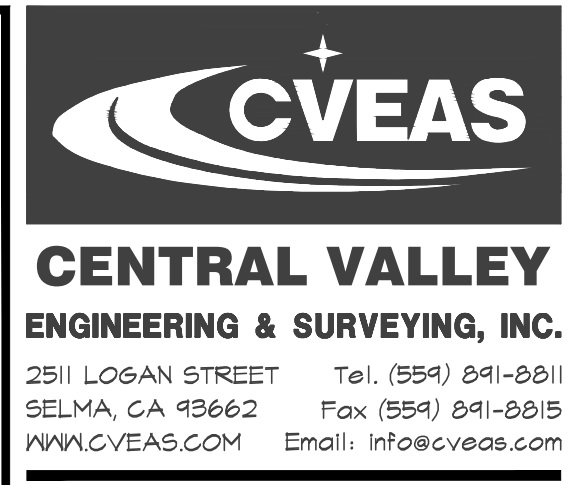
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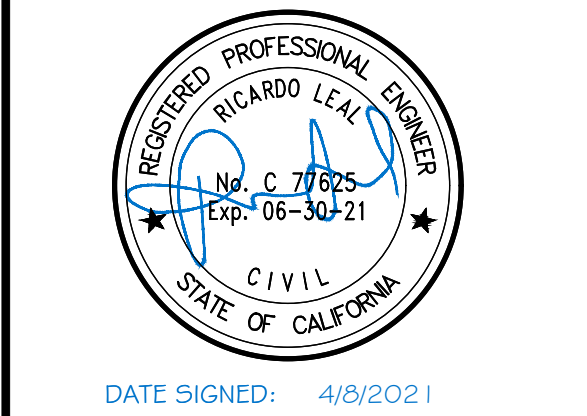


UTILITY PLAN KEYED NOTES	
1	(E) 30"Ø STORM DRAIN MAIN AT STREET.
2	(E) 12"Ø SEWER MAIN AT STREET.
3	(E) 16"Ø WATER MAIN AT STREET.
4	(E) STORM DRAIN MANHOLE AT STREET.
5	(E) SEWER MAIN MANHOLE AT STREET.
6	(E) SEWER MANHOLE(S)(E)
7	(E) 36" WIDE VALLEY GUTTER.
8	(N) 36" WIDE VALLEY GUTTER.
9	(E) DRAIN INLET.
10	(N) DRAIN INLET.
11	(E) 18"Ø STORM DRAIN LINE.
12	(N) 18"Ø STORM DRAIN LINE.
13	(E) STORM DRAIN MANHOLE(S).
14	(N) 12"Ø STORM DRAIN LINE.
15	(E) 10" ABS SEWER LINE.
16	(N) 10" ABS SEWER LINE.
17	(N) 4" ABS SEWER LATERAL TO BLDG.
18	(N) 4" SEWER CLEAN-OUT.
19	(E) 6" FIRE WATER LINE FOR FIRE HYDRANT(S).
20	(N) 6" FIRE WATER LINE FOR FIRE HYDRANT(S).
21	(N) BACK-FLOW PREVENTER FOR FIRE LINE.
22	(N) 2" WATER LINE FOR BLDG.
23	(N) 1" WATER METER FOR BLDG.
24	(N) 1" BACK-FLOW PREVENTER FOR BLDG.
25	(N) 1" WATER LINE FOR LANDSCAPE.
26	(N) 1" WATER METER FOR LANDSCAPE.
27	(N) 1" BACK-FLOW PREVENTER FOR LANDSCAPE.
28	(N) 1" IRRIGATION CONTROL FOR LANDSCAPE.
29	(E) ELECTRICAL TRANSFORMER.
30	(N) 2" UNDERGROUND ELECTRICAL CONDUIT TO OFFICE BLDG.
31	(N) ELECTRICAL SWITCHGEAR.
32	(N) ELECTRICAL PANEL INSIDE OFFICE.
33	(N) FIRE HYDRANT PER CITY STD W-1.
34	(N) 1"Ø GAS MAIN TO BLDG.
35	(N) 1"Ø GAS METER.
36	INDICATES 100' RADIUS COVERAGE.
37	EVCS CHARGING STATION - STANDARD.

UTILITY PLAN
SCALE: 1:30



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SHANNON PARKWAY AND DINUBA BLVD
VISALIA, CA 93292
APN: 079-071-032 - PARCEL 'E' AND 'D'



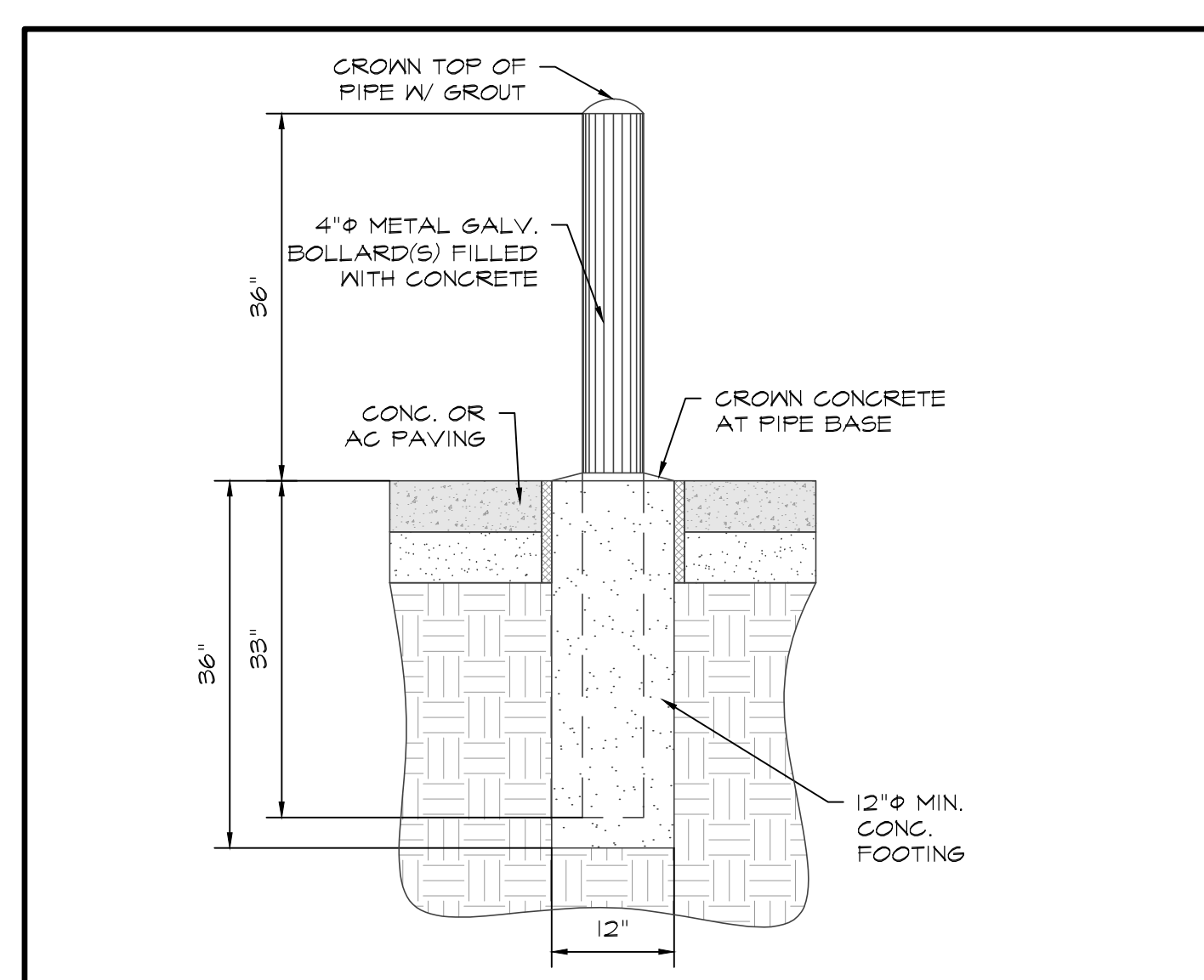
Revisions	Date
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UTILITY PLAN	
CVEAS JOB #:	2016
DATE:	4/8/2021
PLANNING SUBMITTAL #:	XX-XXXX
PLAN CHECK SUBMITTAL #:	XX-XXXX
DRAWN BY:	KX
CHECKED BY:	RL/KX
SCALE:	NOTED ON PLANS

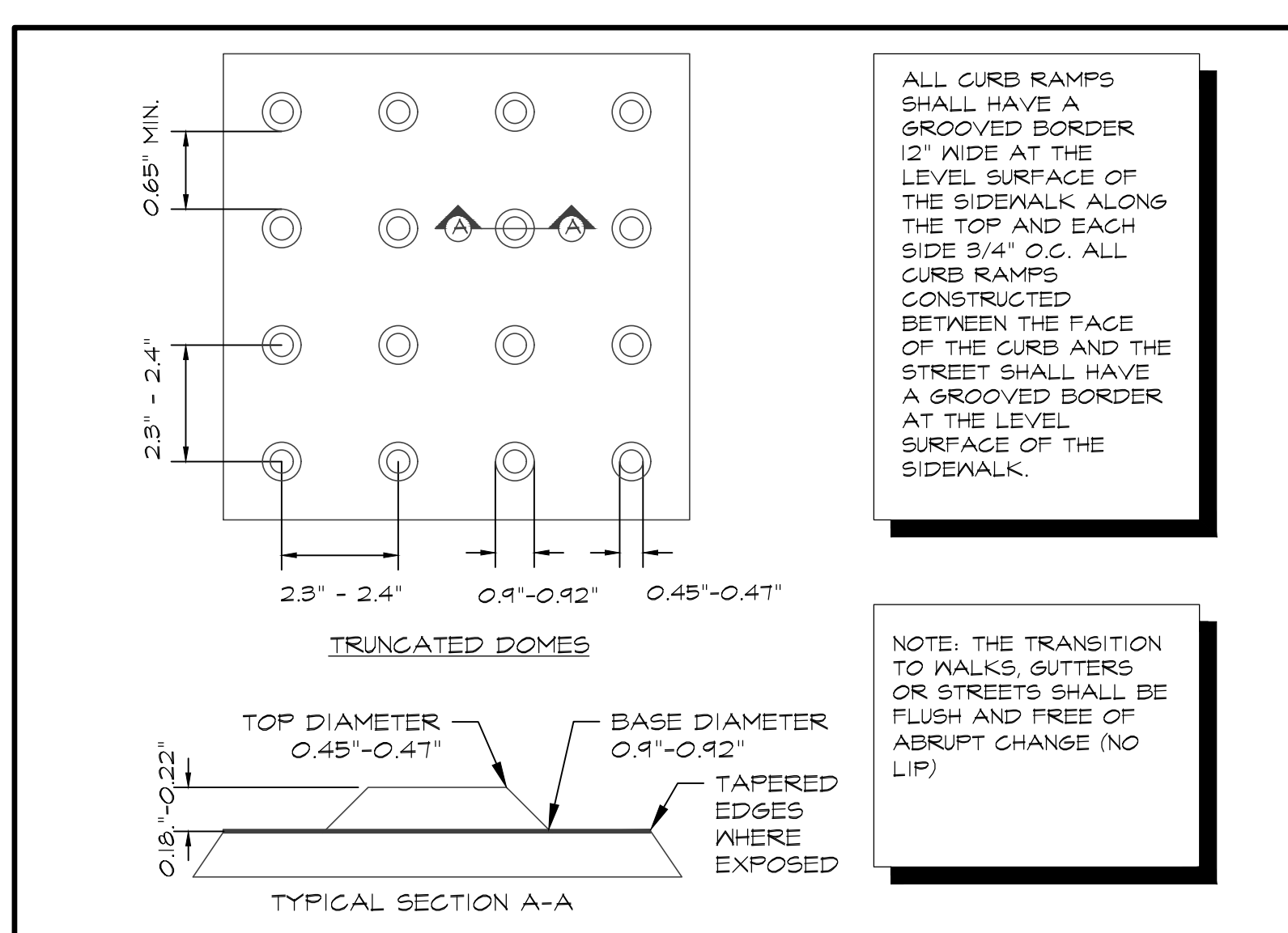
A1.2

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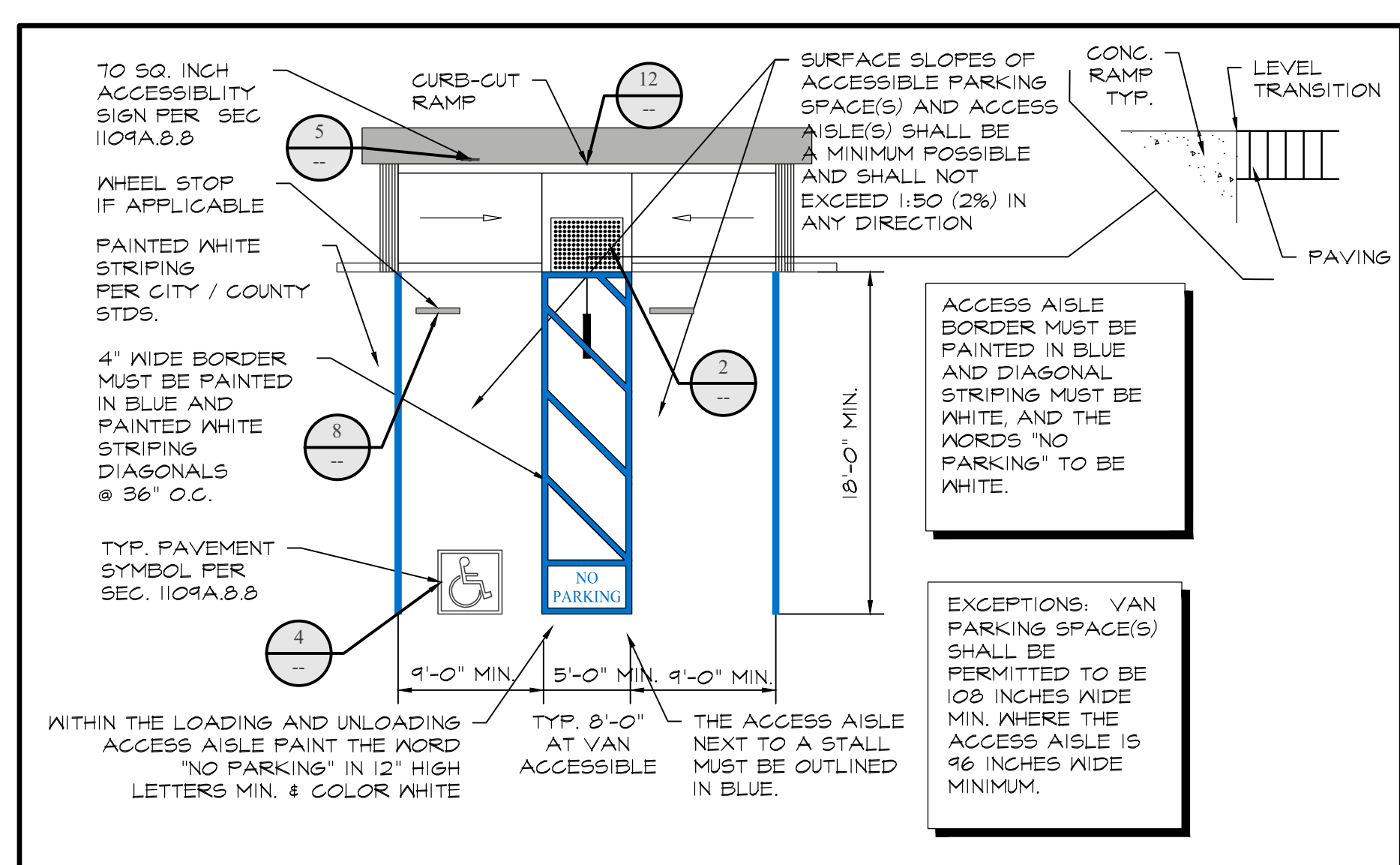
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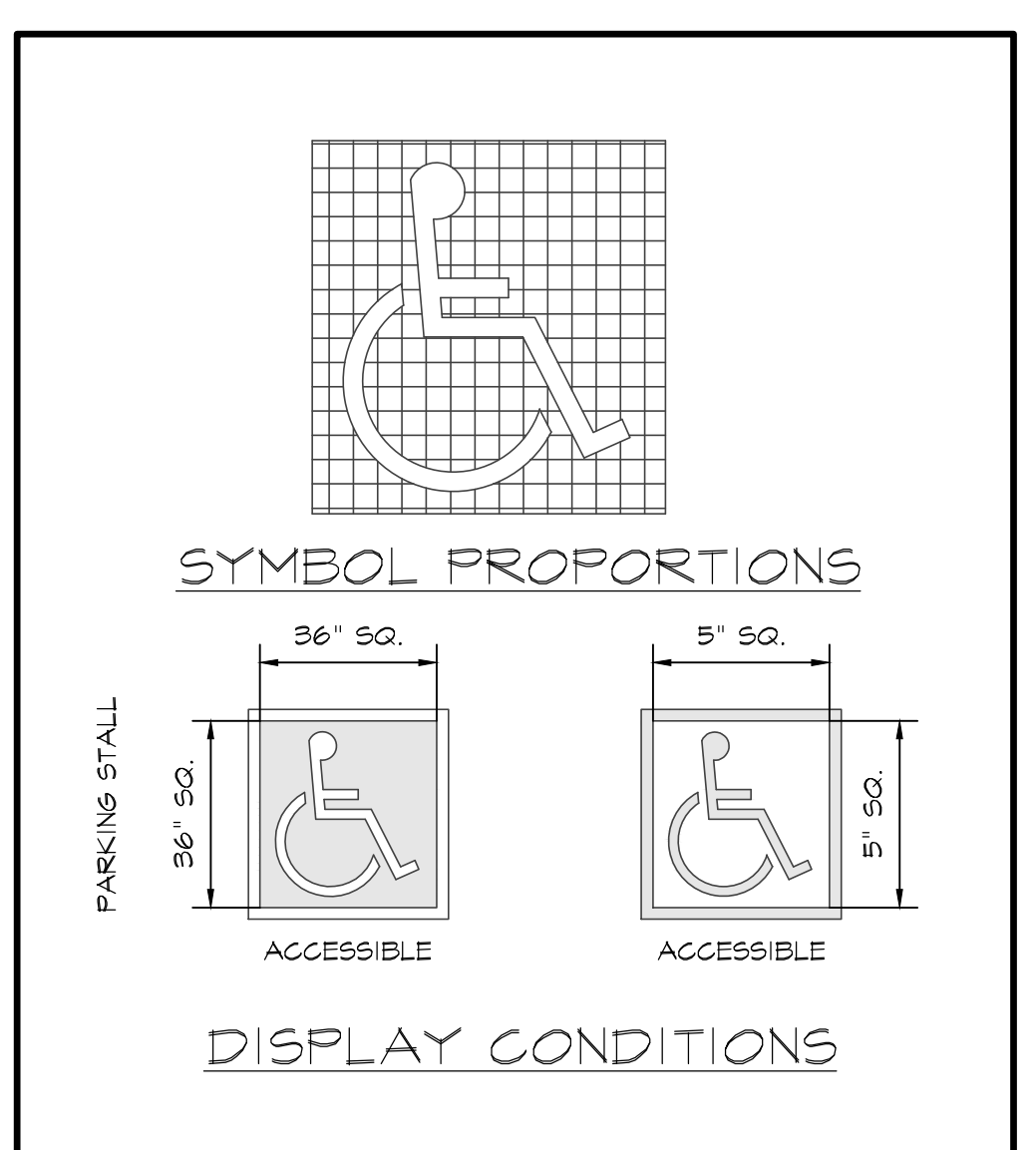
1 BOLLARD DETAIL - TYP.
SCALE: N.T.S.



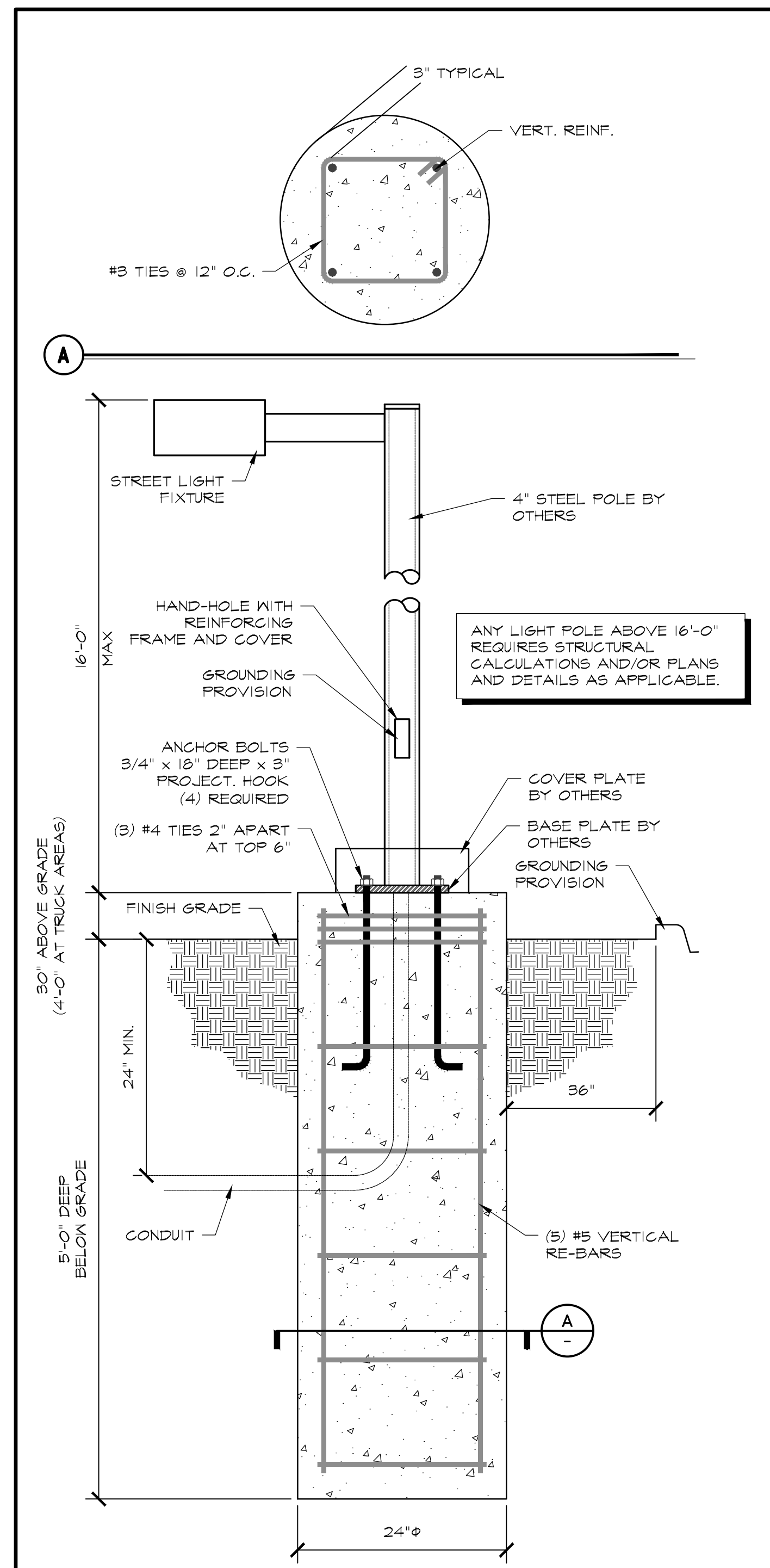
2 TRUNCATED DOMES - TYP.
SCALE: N.T.S.



3 ACCESSIBLE PARKING STALL - STRAIGHT - TYP.
SCALE: N.T.S.



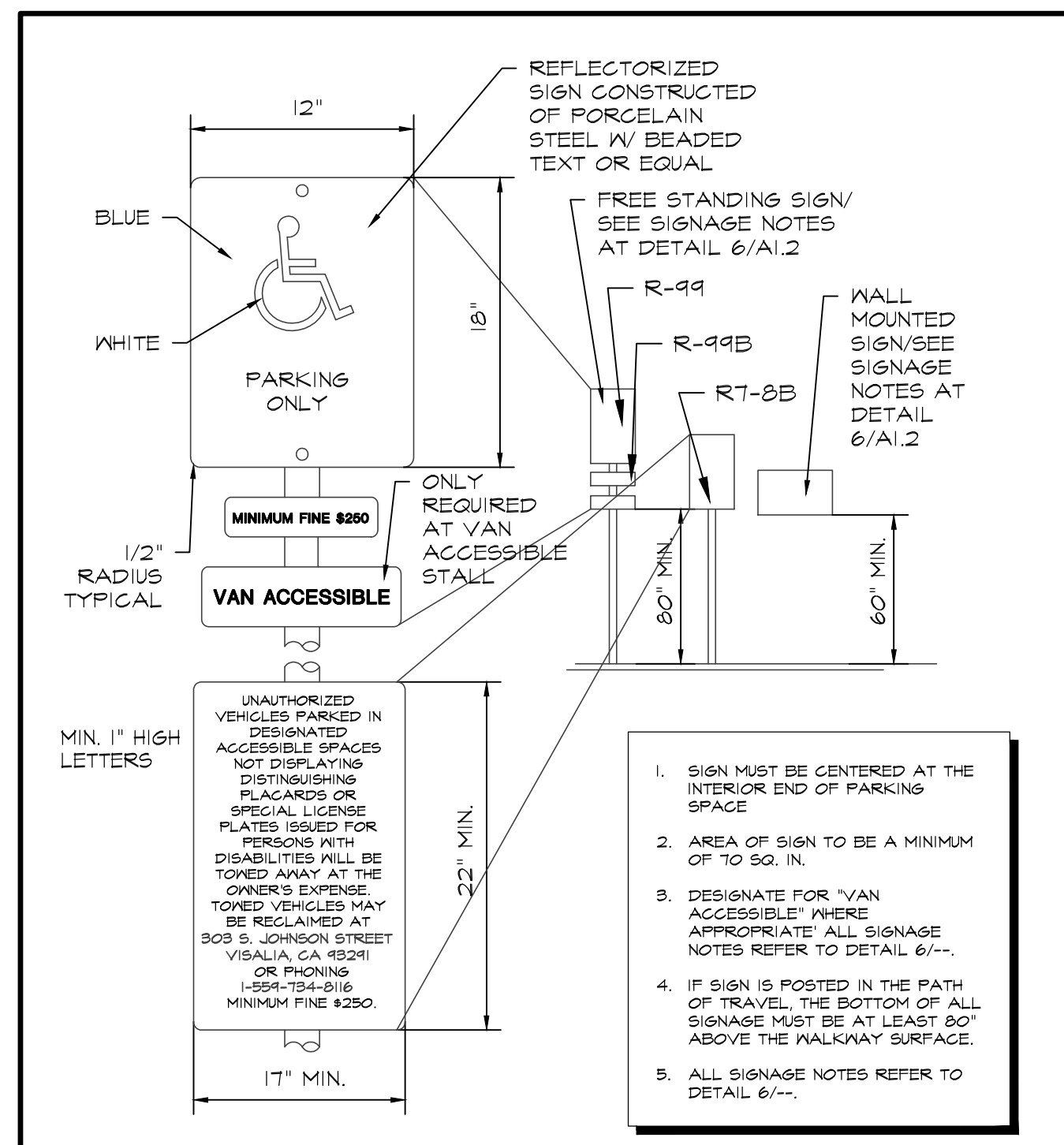
4 ISA SIGNAGE - TYP.
SCALE: N.T.S.



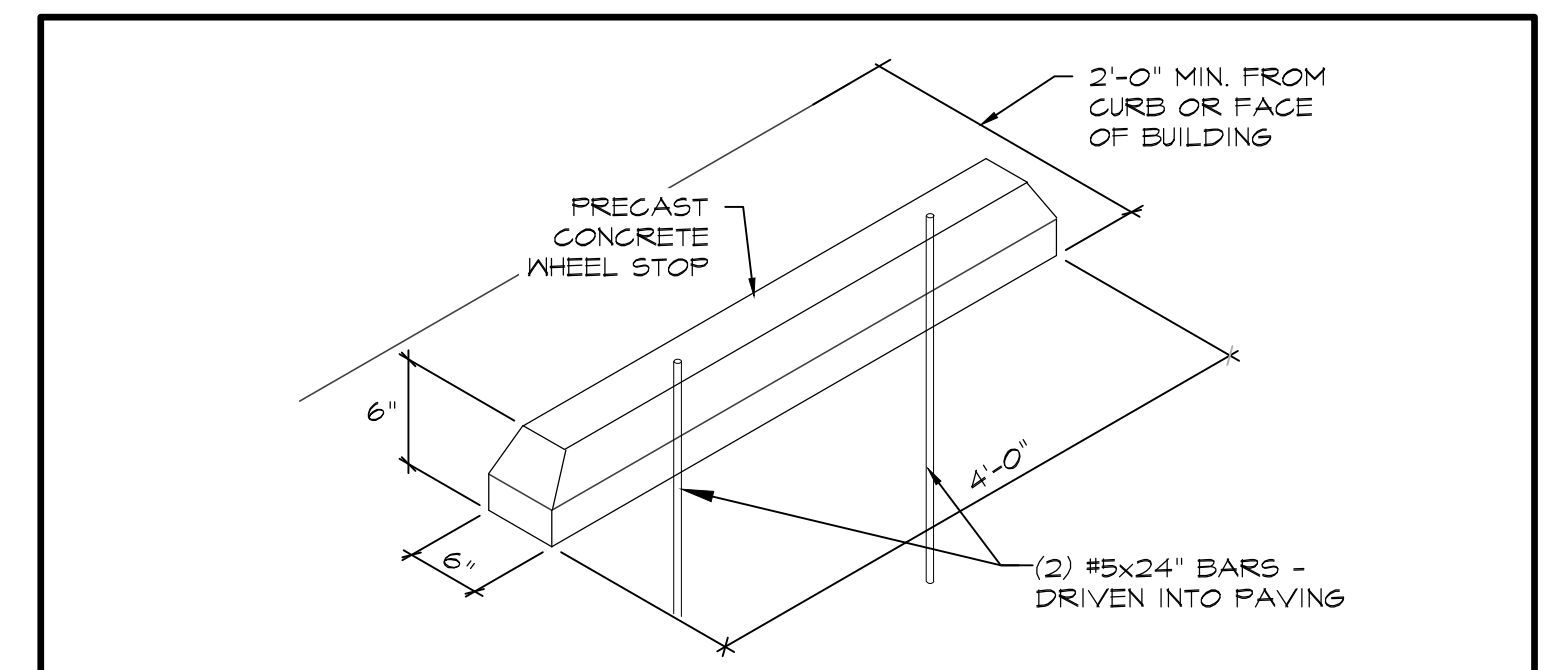
9 LIGHT POLE MOUNTING - TYP.
SCALE: N.T.S.

- CHARACTERS, SYMBOLS, AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH.
- CHARACTERS & SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND.
- VISUAL CHARACTERS ON SIGNS SHALL COMPLY WITH CBC 1117B.5.3 REGARDING FONT PROPORTIONS. (8.0113 CBC SUPPLEMENT) THE WIDTH OF THE UPPERCASE LETTER 'O' IS TO BE 60% MINIMUM AND 10% MAXIMUM OF THE HEIGHT OF THE UPPERCASE LETTER 'I'. STROKE THICKNESS OF THE UPPERCASE LETTER 'I' SHALL BE 10% MINIMUM AND 20% MAXIMUM OF THE HEIGHT OF THE CHARACTER.
- RAISED CHARACTERS ON SIGNS SHALL BE RAISED 1/32" MIN. AND SHALL BE SANS SERIF UPPERCASE CHARACTERS.
- RAISED CHARACTERS SHALL BE A MIN. OF 5/8" AND A MAX. OF 2" HIGH.
- BRAILLE SHALL BE PLACED A MIN. OF 3/8" AND A MAX. OF 1/2" DIRECTLY BELOW THE TACTILE CHARACTERS, FLUSH LEFT OR CENTERED. EDGE OF SIGNS SHALL BE ROUNDED, CHAMFERED OR EASED AND CORNERS OF SIGNS SHALL HAVE A MIN. RADIUS OF 1/8".
- PICTORIAL SYMBOL SIGNS (PICTOGRAMS) SHALL BE ACCOMPANIED BY THE VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE OUTSIDE DIMENSION OF THE PICTOGRAM FIELD SHALL BE A MINIMUM OF 6" IN HEIGHT.
- EVERY EXIT SIGN AND DIRECTION EXIT SIGN SHALL HAVE PLAINLY LEGIBLE LETTERS NOT LESS THAN 6 INCHES HIGH WITH PRINCIPAL STROKES OF THE LETTERS NOT LESS THAN 3/4 INCH WIDE.
- THE WORD "EXIT" SHALL HAVE LETTERS HAVING WIDTH NOT LESS THAN 2 INCHES WIDE, EXCEPT THE LETTER "I", AND THE MINIMUM SPACING BETWEEN LETTERS SHALL NOT BE LESS THAN 3/8 INCHES.
- THE WORD "EXIT" SHALL BE IN HIGH CONTRAST WITH BACKGROUND. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. TO ENSURE CONTINUED ILLUMINATION PROVIDE EMERGENCY BATTERY BACKUP.
- EXIT SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT.
- EXIT SIGN & TYP. SIGNS WITH RAISED CHARACTERS AND BRAILLE SHALL BE LOCATED 48" MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST LINE OF BRAILLE AND 60 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS.
- MOUNTING LOCATION SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 9 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR.
- ILLUMINATED EXIT SIGNS SHALL BE CENTERED ABOVE THE EXIT DOOR.

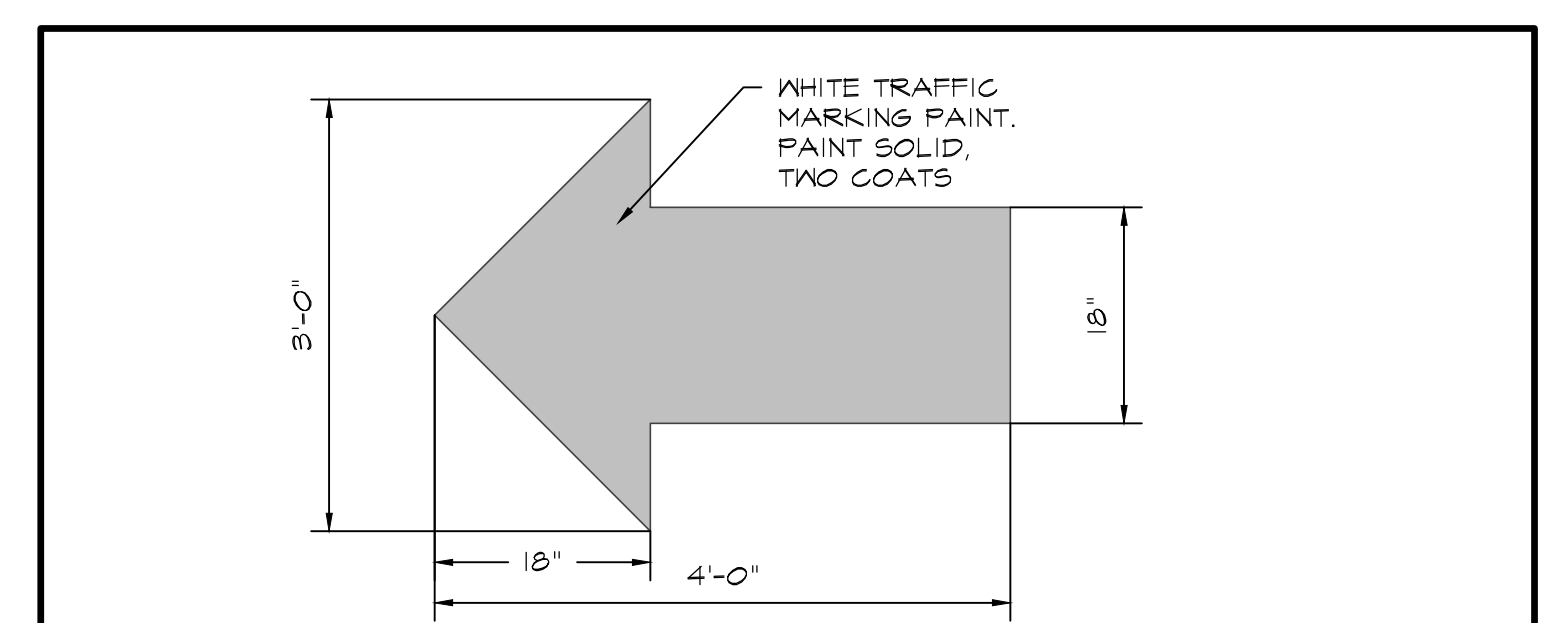
6 SIGNAGE NOTES - TYPICAL
SCALE: N.T.S.



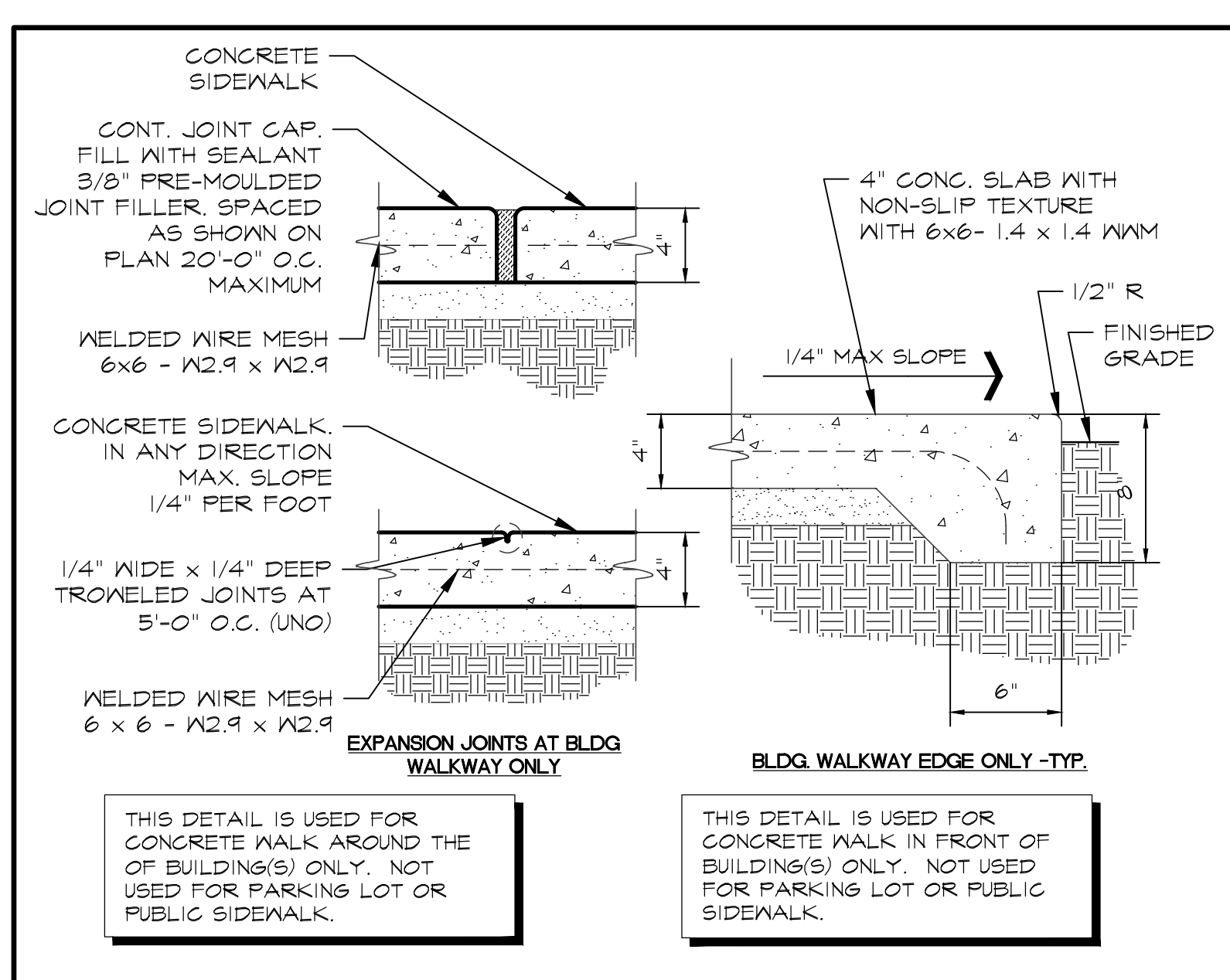
5 ACCESSIBLE SIGNAGE - TYP.
SCALE: N.T.S.



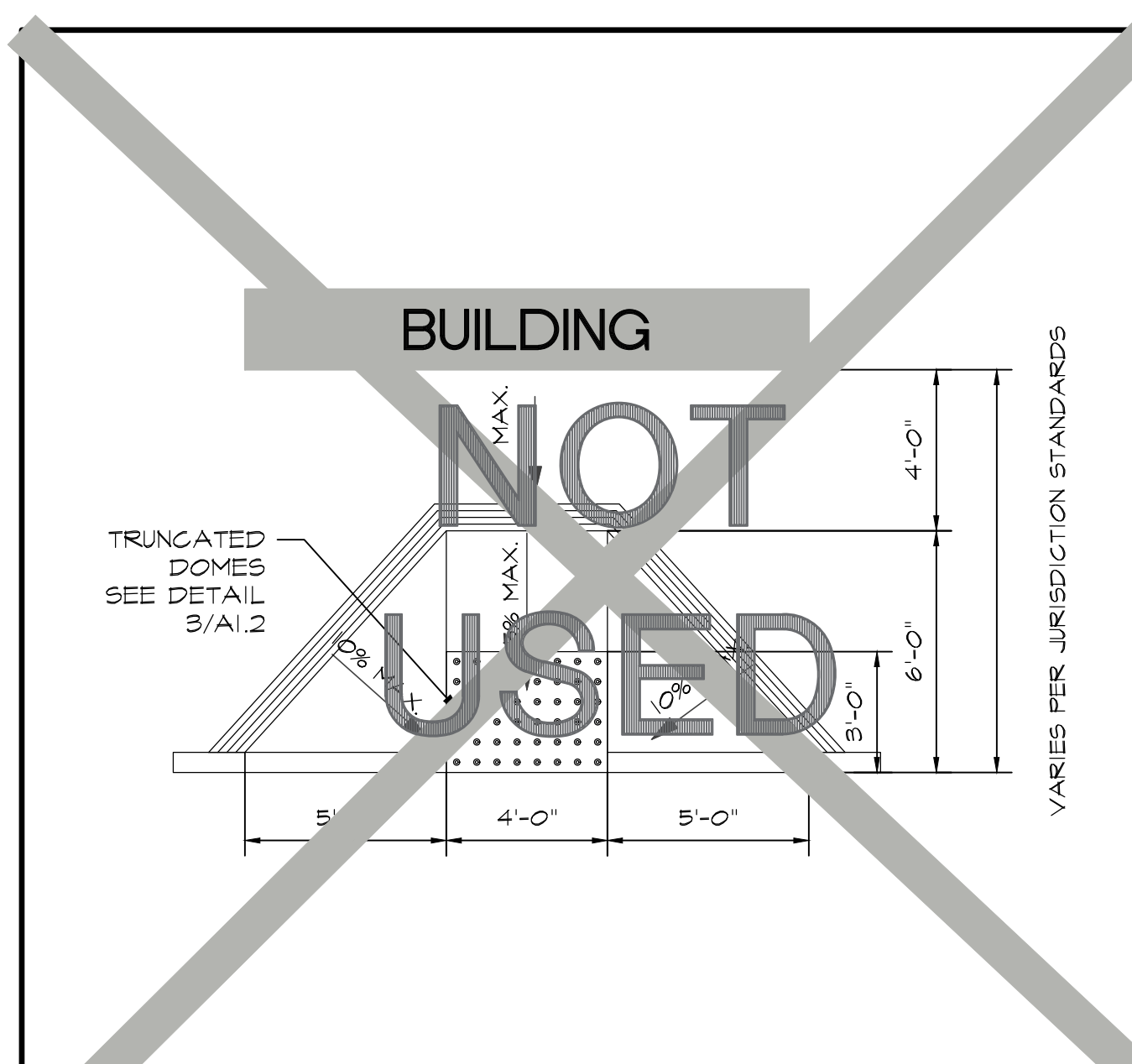
8 WHEEL STOP - TYP.
SCALE: N.T.S.



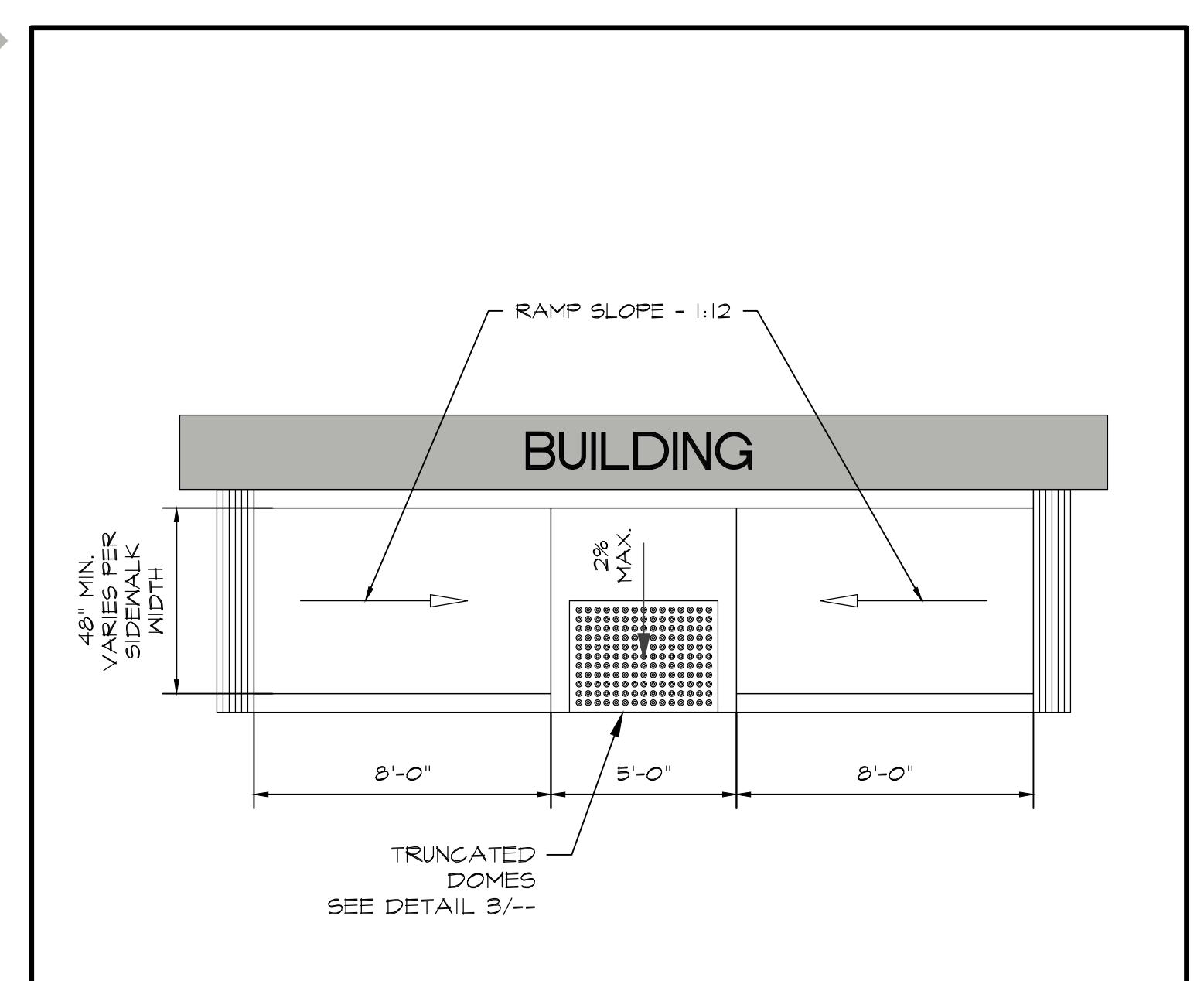
7 DIRECTIONAL ARROW - TYP.
SCALE: N.T.S.



10 BLDG WALKWAY DETAIL - TYPICAL
SCALE: N.T.S.

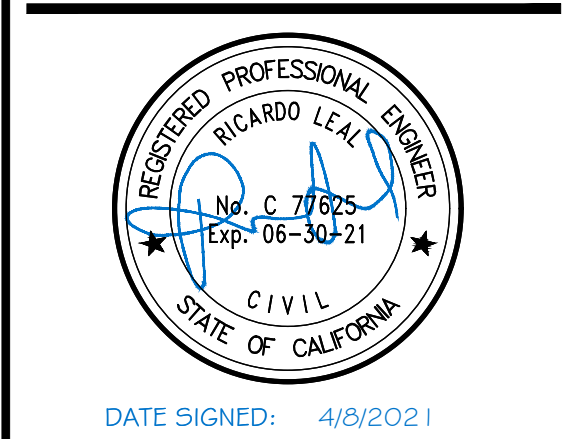


11 STANDARD CURB RAMP - TYP.
SCALE: N.T.S.



12 ACCESSIBLE CURB-CUT RAMP - TYP.
SCALE: N.T.S.

PROJECT
PROPOSED STORAGE FACILITY FOR STORLAND SELF-STORAGE, INC. SHANNON PARKWAY AND DINUBA BLVD VISALIA, CA 93292 APN: 079-071-032 - PARCEL 'E' AND 'D'



DATE SIGNED: 4/8/2021

Revisions	Date
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△	

SITE DETAILS

CVEAS JOB #:	2016
DATE:	4/8/2021
PLANNING SUBMITTAL #:	XX-XXXX
PLAN CHECK SUBMITTAL #:	XX-XXXX
DRAWN BY:	KX
CHECKED BY:	RL/KX
SCALE:	NOTED ON PLANS

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TABLE OF DIMENSIONS IN FEET

	O	S	L	A	B	C	D	E	F	G	H	J	K
0°	8.0	22.0	0.0	22.0	8.0	8.0	11.0	0.0	0.0	5.0	28.0		
	8.0	24.0	0.0	24.0	8.0	8.0	11.0	0.0	0.0	5.0	27.0		
	8.0	26.0	0.0	26.0	8.0	8.0	10.0	0.0	0.0	5.0	26.0		
30°	8.5	19.0	29.2	17.0	16.9	13.2	10.0		12.8	6.0	43.8		
	9.0	19.0	30.0	18.0	17.3	13.4	9.0		13.5	6.0	43.6		
45°	8.5	19.0	19.4	12.0	19.4	16.4	10.8	15.5	6.0	9.5	49.6	93.2	
	9.0	19.0	19.8	12.7	19.8	16.6	10.0	16.0	6.4	9.0	49.6	92.8	
	9.5	19.0	20.1	13.4	20.1	16.7	9.5	16.5	6.7	8.5	49.7	92.6	
	10.0	19.0	20.5	14.1	20.4	16.9	9.0	17.0	7.0	8.0	49.8	92.6	
60°	8.5	19.0	12.0	9.8	20.8	18.7	18.0		2.5	12.5	59.6	115.0	
	9.0	19.0	12.1	10.4	21.0	18.8	17.0		15.0	2.6	12.0	59.0	113.6
	9.5	19.0	12.3	11.0	21.3	18.9	15.5		15.0	2.8	11.5	58.1	111.4
	10.0	19.0	12.4	11.5	21.5	19.0	14.0		15.0	2.9	11.0	57.0	109.0
90°	8.5	19.0	0.0	8.5	19.0	19.0	27.0	20.0	0.0	5.0	65.0	130.0	
	9.0	19.0	0.0	9.0	19.0	19.0	25.0	20.0	0.0	5.0	63.0	126.0	
	9.5	19.0	0.0	9.5	19.0	19.0	24.0	20.0	0.0	5.0	62.0	124.0	
	10.0	19.0	0.0	10.0	19.0	19.0	23.0	20.0	0.0	5.0	61.0	122.0	

NOTES:

- PARKING LOT STRUCTURAL SECTION SHALL CONSIST OF 2" ASPHALT CONCRETE OVER 4" AGGREGATE BASE, CLASS 2, OVER 6" MINIMUM OF SUB-BASE COMPACTED TO 95% RELATIVE COMPACTION. DESIGN STRUCTURAL PAVING SECTION TO TRAFFIC INDEX OF 5.5 MINIMUM FOR SOLID WASTE TRUCK TRAVEL PATH. CITY PARKING LOT PAVEMENT SHALL BE DESIGNED PER STREET SECTION REQUIREMENTS STANDARD DRAWING.
- MINIMUM SLOPE OF ASPHALT CONCRETE SURFACE SHALL BE 1%.
- A LANDSCAPED ISLAND SHALL BE INSTALLED EVERY 10 SPACES.
- MINIMUM AMOUNT OF LANDSCAPED AREA SHALL BE 5% TOTAL AREA.
- ACCESSIBLE ROUTES SHALL BE PROVIDED TO THE CITY STREET RIGHT OF WAY, TO BUILDINGS, AND FACILITY ARRIVAL POINTS.
- PARKING STALL LENGTH (L) CAN BE REDUCED BY 2 FT WHERE VEHICLES HAVE SPACE TO OVER HANG BY 2 FT WHILE MAINTAINING AN ACCESSIBLE ROUTE.

APPROVED BY: *Notom* CITY ENGINEER R.P.E. 8734 DATE: 09/16/16
CITY OF VISALIA DESIGN & IMPROVEMENT STANDARDS

PARKING STANDARDS REVISIONS: 08/11/16 BK 2016 **PK-1**

PK-1 CITY OF VISALIA PARK'G STDS
SCALE: N.T.S.

ISA MARKING FOR ACCESSIBLE PARKING SPACE OR STALL

TOTAL NUMBER OF PARKING SPACES OR STALLS	MINIMUM NUMBER OF DISABLED ACCESSIBLE PARKING SPACES OR STALLS
1-25	1
26-50	2
51-75	3
76-100	4
101-150	5
151-200	6
201-300	7
301-400	8
401-500	9
501-1000	2 PERCENT OF TOTAL
GREATER THAN 1001	20 PLUS 1 FOR EACH 100 OR FRACTION THEREOF OVER 1000

APPROVED BY: *Notom* CITY ENGINEER R.P.E. 8734 DATE: 09/16/16
CITY OF VISALIA DESIGN & IMPROVEMENT STANDARDS

ACCESSIBLE PARKING 3 OF 3 REVISIONS: 08/12/16 BK 2016 **PK-5**

PK-5 CITY OF VISALIA ACCESS. PARK'G
SCALE: N.T.S.

TYPICAL CONFIGURATION

NOTE:

- SEE PARKING STANDARDS AND PARKING STANDARDS DRACHMAN SYSTEM FOR REQUIRED LENGTH OF STALLS.
- A R99C(CA) SIGN CAN BE USED IN PLACE OF THE R99(CA) AND R99B(CA) SIGNS.
- A MAX SLOPE OF 1.5% IN ALL DIRECTIONS ON ACCESSIBLE PARKING STALLS AND AISLES.
- ACCESSIBLE PARKING STALLS SHALL BE LOCATED AS CLOSE AS POSSIBLE, AND ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL, TO THE PEDESTRIAN ENTRANCE OF THE SITE.
- ACCESSIBLE PARKING STALLS SHALL BE SO LOCATED THAT USERS ARE NOT COMPELLED TO WHEEL OR WALK BEHIND PARKED CARS OTHER THAN THEIR OWN.
- ONE IN EVERY SIX ACCESSIBLE PARKING STALLS, BUT NOT LESS THAN ONE, SHALL BE VAN ACCESSIBLE. VAN ACCESSIBLE PARKING STALLS SHALL HAVE AN ACCESS AISLE 5' MINIMUM IN WIDTH, PLACED ON THE SIDE OPPOSITE OF THE DRIVER'S SIDE OF THE VEHICLE.
- RAMPS SHALL NOT ENDOURAGE INTO ANY ACCESSIBLE PARKING STALL OR ACCESS AISLE.
- WHERE R99(CA) AND R99B(CA) SIGNS ARE INSTALLED ON SIDEWALKS OR OTHER PATHS OF TRAVEL, THE BOTTOM OF SIGN PANEL SHALL BE A MINIMUM OF 7' ABOVE THE SURFACE OF THE SIDEWALK OR PATH. WHERE R99(CA) AND R99B(CA) SIGNS ARE NOT INSTALLED ON SIDEWALKS OR PATHS OF TRAVEL, THE BOTTOM OF THE SIGN PANEL SHALL BE AT LEAST 5' ABOVE THE SURFACE OF THE PARKING LOT.
- WHERE THERE IS A CLUSTER OF ACCESSIBLE PARKING STALLS, THE VAN ACCESSIBLE PARKING STALL SHALL BE FURTHEST FROM THE ACCESSIBLE FACILITY ENTRANCE, WITHIN SUCH CLUSTER OF ACCESSIBLE PARKING STALLS.

APPROVED BY: *Notom* CITY ENGINEER R.P.E. 8734 DATE: 09/16/16
CITY OF VISALIA DESIGN & IMPROVEMENT STANDARDS

ACCESSIBLE PARKING 1 OF 3 REVISIONS: 09/01/16 BK 2016 **PK-3**

PK-3 CITY OF VISALIA ACCESS PARK'G
SCALE: N.T.S.

PLAN

NOTES:

- POLES SHALL BE 25'-0" ROUND STRAIGHT STEEL, LITHONIA RSS 25 48 OR APPROVED EQUAL.
- LIGHTING SHALL BE LITHONIA KAD R55 400W HIGH PRESSURE SODIUM OR APPROVED EQUAL MOUNTED WITH A 4" MAST ARM.
- ALL POLES, MAST ARMS AND LIGHTING SHALL BE MEDIUM BRONZE IN COLOR.

APPROVED BY: *Notom* CITY ENGINEER R.P.E. 8734 DATE: 09/16/16
CITY OF VISALIA DESIGN & IMPROVEMENT STANDARDS

CITY PARKING LOT LIGHTING REVISIONS: 08/12/16 BK 2016 **PK-6**

PK-6 CITY OF VISALIA PARK'G LIGHT
SCALE: N.T.S.

TYPICAL CONFIGURATION

TYPICAL CONFIGURATION

APPROVED BY: *Notom* CITY ENGINEER R.P.E. 8734 DATE: 09/16/16
CITY OF VISALIA DESIGN & IMPROVEMENT STANDARDS

ACCESSIBLE PARKING 2 OF 3 REVISIONS: 08/12/16 BK 2016 **PK-4**

PK-4 CITY OF VISALIA ACCESS PARK'G
SCALE: N.T.S.

PROJECT: PROPOSED STORAGE FACILITY FOR STORLAND SELF-STORAGE, INC. SHANNON PARKWAY AND DINUBA BLVD VISALIA, CA 93292 APN: 079-071-032 - PARCEL 'E' AND 'D'



Revisions	Date
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CITY OF VISALIA STANDARDS

CVEAS JOB #: 2016

DATE: 4/8/2021

PLANNING SUBMITTAL #: XX-XXXX

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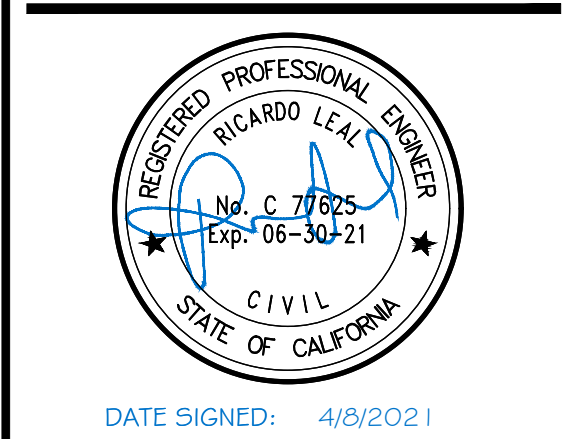
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PROJECT
PROPOSED STORAGE FACILITY FOR
STORLAND SELF-STORAGE, INC.
SHANNON PARKWAY AND DINUBA BLVD
VISALIA, CA 93292
APN: 079-071-032 - PARCEL 'E' AND 'D'



DATE SIGNED: 4/8/2021

Revisions	Date

CITY OF VISALIA STANDARDS

CVEAS JOB #:	2016
DATE:	4/8/2021
PLANNING SUBMITTAL #:	XX-XXXX
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DRAWN BY:	KX
CHECKED BY:	RL/KX
SCALE:	NOTED ON PLANS

PLAN

SECTION A-A

APPROVED BY: *[Signature]* CITY ENGINEER R.P.E. 81734 DATE: 09/16/16
 CITY OF VISALIA DESIGN & IMPROVEMENT STANDARDS

24' REFUSE CONTAINER ENCLOSURE - WITH DOOR

REVISIONS	R-4
08/15/16 BK 2016	

PK-1 CITY OF VISALIA PARK'G STDS
 SCALE: N.T.S.

PLAN

SECTION A-A

APPROVED BY: *[Signature]* CITY ENGINEER R.P.E. 81734 DATE: 09/16/16
 CITY OF VISALIA DESIGN & IMPROVEMENT STANDARDS

REFUSE CONTAINER ENCLOSURE CONCRETE APRON DETAILS

REVISIONS	R-5
08/15/16 BK 2016	

PK-3 CITY OF VISALIA ACCESS PARK'G
 SCALE: N.T.S.

GATE POST DETAIL

CANE BOLT DETAIL

NOTES:
 1. GATES TO BE PAINTED TO MATCH BUILDING ACCENT FEATURES.
 2. DESIGN, ENGINEERING AND CONSTRUCTION NOT SPECIFICALLY NOTED SHALL BE IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS & OF FIRST QUALITY.
 3. CONCRETE APRON SHALL INCLUDE TWO 3/4" STEEL PIPES SET FLUSH WITH THE CONCRETE FOR EACH GATE DOOR, BASED ON LOCATION OF CANE BOLTS ON GATE, TO SECURE THE GATE IN THE OPEN OR CLOSED POSITION. SEE REFUSE CONTAINER ENCLOSURE CONCRETE APRON DETAILS STANDARD DRAWING.
 4. GATE POST SHALL ABUT REFUSE CONTAINER ENCLOSURE.
 5. SUBMIT DETAILS OF REFUSE CONTAINER ENCLOSURES AND/OR REFUSE CONTAINERS REQUIRED TO BE ACCESSIBLE UNDER THE CURRENT CBC, OR MODIFY THIS DETAIL AS NECESSARY FOR REVIEW AND ACCEPTANCE FROM THE CITY ENGINEER.

APPROVED BY: *[Signature]* CITY ENGINEER R.P.E. 81734 DATE: 09/16/16
 CITY OF VISALIA DESIGN & IMPROVEMENT STANDARDS

REFUSE CONTAINER ENCLOSURE GATE DETAILS

REVISIONS	R-6
09/08/16 BK 2016	

PK-4 CITY OF VISALIA ACCESS PARK'G
 SCALE: N.T.S.

DOOR POST DETAIL

LOCKABLE HARDWARE DETAIL

NOTE:
 1. SUBMIT DETAILS OF REFUSE CONTAINER ENCLOSURES AND/OR REFUSE CONTAINERS REQUIRED TO BE ACCESSIBLE UNDER THE CURRENT CBC, OR MODIFY THIS DETAIL AS NECESSARY FOR REVIEW AND ACCEPTANCE FROM THE CITY ENGINEER.

APPROVED BY: *[Signature]* CITY ENGINEER R.P.E. 81734 DATE: 09/16/16
 CITY OF VISALIA DESIGN & IMPROVEMENT STANDARDS

REFUSE CONTAINER ENCLOSURE DOOR DETAILS

REVISIONS	R-7
08/16/16 BK 2016	

PK-5 CITY OF VISALIA ACCESS. PARK'G
 SCALE: N.T.S.

NOTES:
 1. MASONRY ENCLOSURE WALLS SHALL BE FULLY GROUTED.
 2. ALL MASONRY SHALL COMPLY WITH CURRENT EDITION OF THE CALIFORNIA BUILDING CODE.
 3. SLAB FLOOR AND FOOTING CONCRETE SHALL BE CLASS 3, PRE-MIXED, 28-DAY COMPRESSIVE STRENGTH = 2500 P.S.I. MINIMUM.
 4. MASONRY DESIGN IS BASED ON MINIMUM COMPRESSIVE STRENGTH OF $f_m = 1500$ P.S.I.
 5. REINFORCING BARS SHALL BE ASTM A615 GRADE 40 DEFORMED STEEL AND SHALL BE CLEAN OF DIRT AND RUST BEFORE PLACEMENT.
 6. GROUT SHALL CONFORM TO THE REQUIREMENTS OF ASTM C476 AND ATTAIN A 28-DAY STRENGTH OF 2000 P.S.I. ADMIXTURES FOR GROUT MUST BE APPROVED BY THE ENGINEER. FIELD ADDITION OF ADMIXTURES IS NOT PERMITTED IN SELF-CONSOLIDATING GROUT.
 7. GROUT STOP SHALL CONSIST OF METAL OR PLASTIC LATH APPROVED BY THE MANUFACTURER TO CREATE A BARRIER THAT STOPS THE FLOW OF GROUT WHEN FILLING BLOCK WALL CELLS.
 8. REFUSE CONTAINER ENCLOSURE SHALL BE LOCATED A MINIMUM OF 5'-0" FROM ANY BUILDING WALL LINE. OTHERWISE ENCLOSURE MUST COMPLY WITH STRICTER REQUIREMENTS PER THE CALIFORNIA FIRE CODE.
 9. ALL HORIZONTAL AND VERTICAL JOINTS SHALL HAVE A CONCAVE FINISH JOINT.
 10. GROUND SHALL BE SLOPED AWAY FROM ENCLOSURE WALLS.
 11. REFUSE CONTAINER ENCLOSURE SHALL HAVE SOLID FACE GATES.
 12. LOCATION OF REFUSE CONTAINER ENCLOSURE SHALL BE APPROVED BY THE CITY OF VISALIA SOLID WASTE DIVISION.
 13. ALL REFUSE CONTAINER ENCLOSURES SHALL HAVE A CONCRETE APRON PER REFUSE CONTAINER ENCLOSURE CONCRETE APRON DETAILS STANDARD DRAWING.
 14. SUBMIT DETAILS OF REFUSE CONTAINER ENCLOSURES AND/OR REFUSE CONTAINERS REQUIRED TO BE ACCESSIBLE UNDER THE CURRENT CBC, OR MODIFY THIS DETAIL AS NECESSARY FOR REVIEW AND ACCEPTANCE FROM THE CITY ENGINEER.
 15. WHERE REQUIRED, PROVIDE ACCESSIBLE TRASH CONTAINERS MEETING THE ACCESSIBILITY REQUIREMENTS UNDER THE CURRENT CBC. COORDINATE WITH SOLID WASTE DIVISION FOR SERVICEABILITY.
 16. CONTRACTOR SUBMITTALS SHALL CONFORM TO ARTICLE 1.5 OF TMS 602/ACI 530.1/ASCE 6.
 17. QUALITY ASSURANCE SHALL CONFORM TO LEVEL 'B' QUALITY ASSURANCE PER ARTICLE 1.6 OF TMS 602/ACI 530.1/ASCE 6 PERIODIC SPECIAL INSPECTION REQUIRED. CONTRACTOR SHALL CONTACT THE CITY FOR INSPECTIONS.
 18. INTERLOCKING BLOCKS ARE AN ACCEPTABLE ALTERNATIVE.

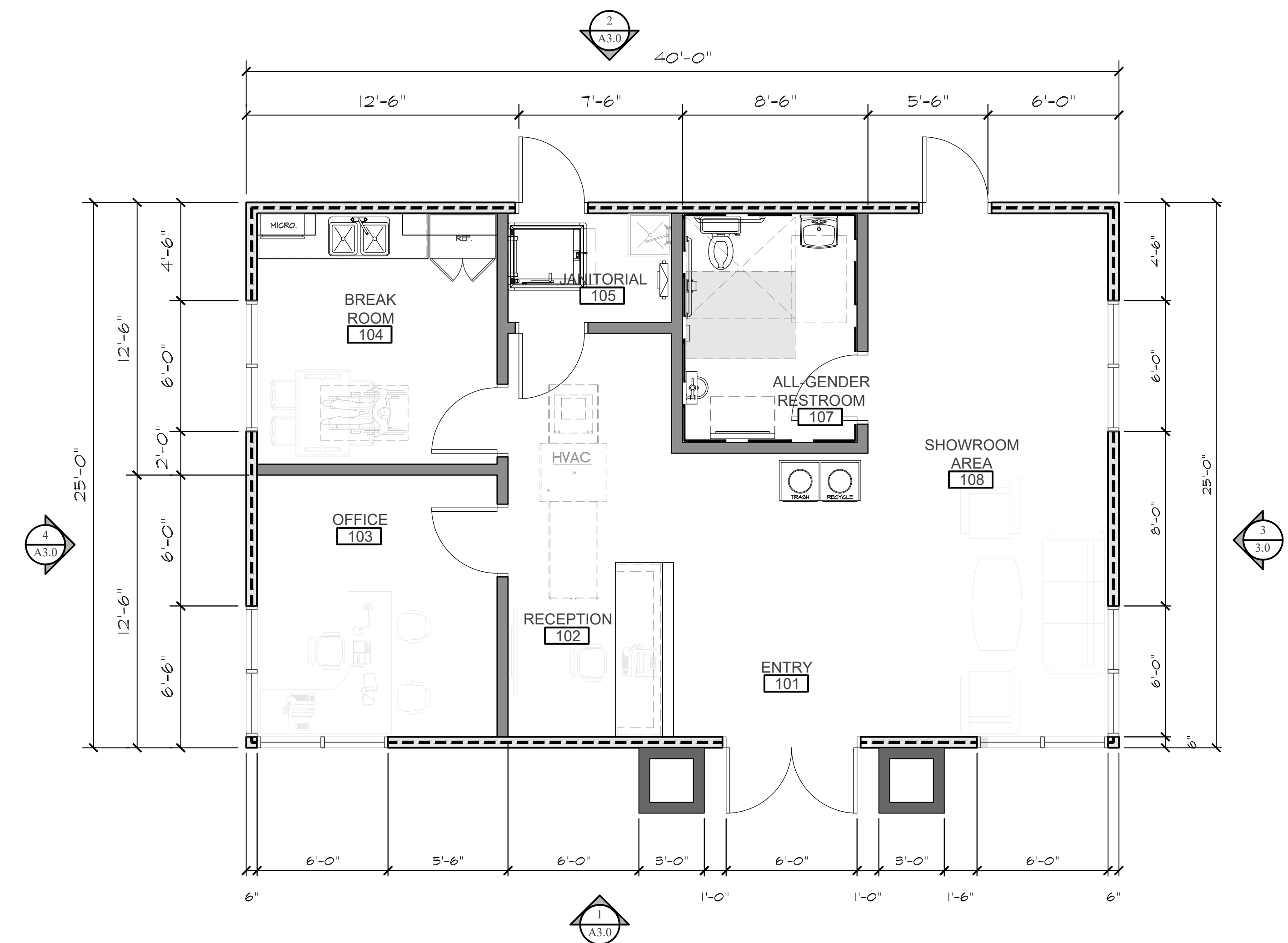
APPROVED BY: *[Signature]* CITY ENGINEER R.P.E. 81734 DATE: 09/16/16
 CITY OF VISALIA DESIGN & IMPROVEMENT STANDARDS

REFUSE CONTAINER ENCLOSURE NOTES

REVISIONS	R-8
09/08/16 BK 2016	

PK-6 CITY OF VISALIA PARK'G LIGHT
 SCALE: N.T.S.

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PROPOSED FLOOR PLAN

SCALE: 1/4"=1'-0"

WALL LEGEND	
TYPE	DESCRIPTION
	EXTERIOR WALL - 2x4 DF#2 WOOD STUD WALL @ 16" O.C. EXTERIOR - 3 COAT STUCCO WALL FINISH. 7/8" MIN. THICKNESS OVER 17 GA x 1 1/2" HEXAGONAL PAPER-BACKED WIRE LATH OVER 2-LAYERS OF TYPE 'D' PAPER UNDER-LAYMENT OVER PLYWOOD SHEATHING.
	INTERIOR WALL - 2x4 DF#2 WOOD STUD WALL @ 16" O.C. INTERIOR - 1/2" DRYWALL WITH SCREWS - REFER TO STRUCTURAL PLANS FOR NAILING.
	POP-OUT WALL - 2x4 DF#2 WOOD STUD WALL @ 16" O.C. EXTERIOR - 3 COAT STUCCO WALL FINISH. 7/8" MIN. THICKNESS OVER 17 GA x 1 1/2" HEXAGONAL PAPER-BACKED WIRE LATH OVER 2-LAYERS OF TYPE 'D' PAPER UNDER-LAYMENT OVER PLYWOOD SHEATHING.

PROJECT
PROPOSED STORAGE FACILITY FOR
STORLAND SELF-STORAGE, INC.
SHANNON PARKWAY AND DINUBA BLVD
VISALIA, CA 93292
APN: 079-071-032 - PARCEL 'E' AND 'D'



Revisions	Date

PROPOSED OFFICE FLOOR PLAN

CVEAS JOB #:	2016
DATE:	4/8/2021
PLANNING SUBMITTAL #:	XX-XXXX
PLAN CHECK SUBMITTAL #:	XX-XXXX
DRAWN BY:	KX
CHECKED BY:	RL/KX
SCALE:	NOTED ON PLANS

A2.0

CIVIL ENGINEERING • LAND SURVEYING • CONSULTING • STRUCTURAL DESIGN • ARCHITECTURAL DRAFTING • COMMERCIAL & RESIDENTIAL BUILDING DESIGN • PLANNING & PROJECT MANAGEMENT

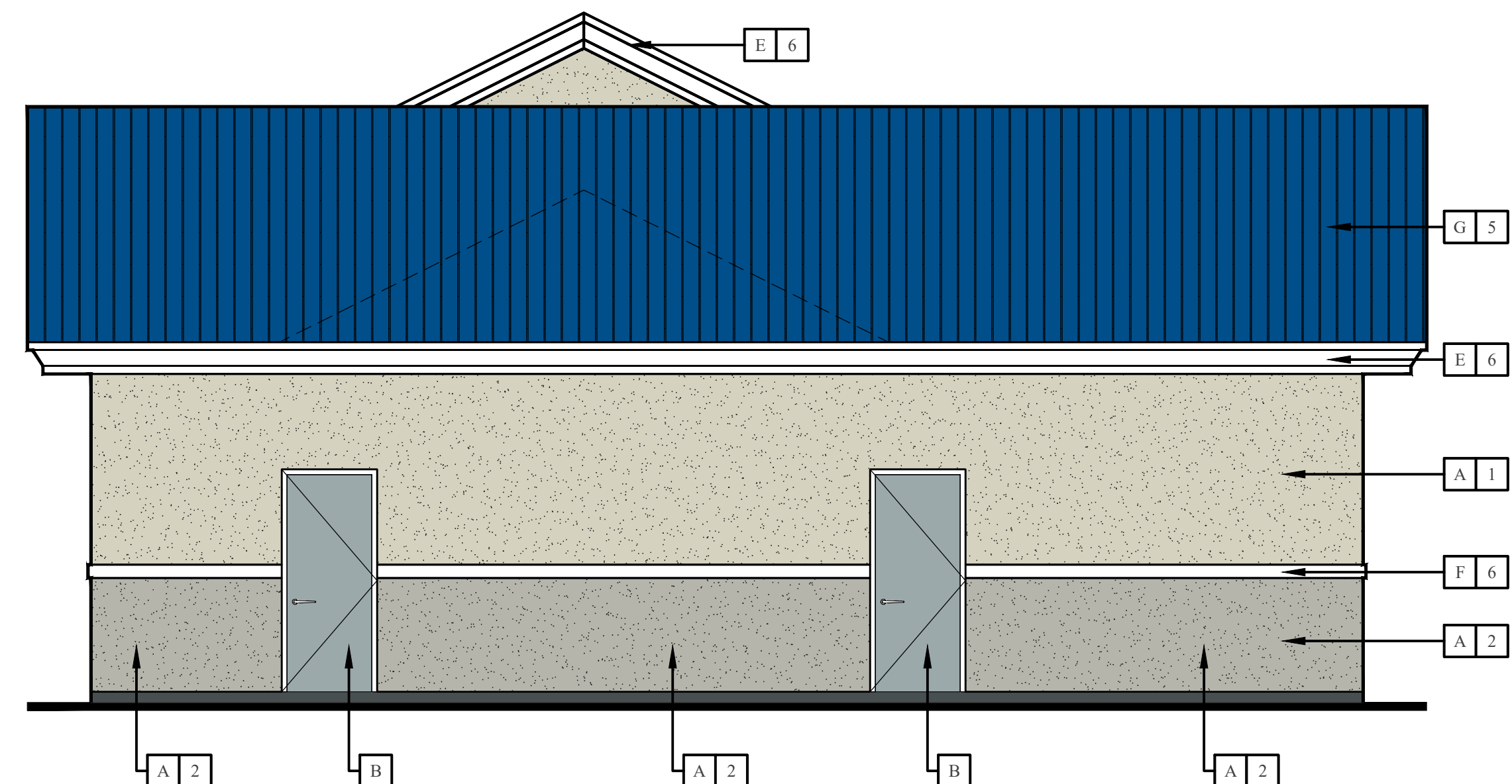
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FRONT ELEVATION - SOUTH

SCALE: 1/4" = 1'-0"

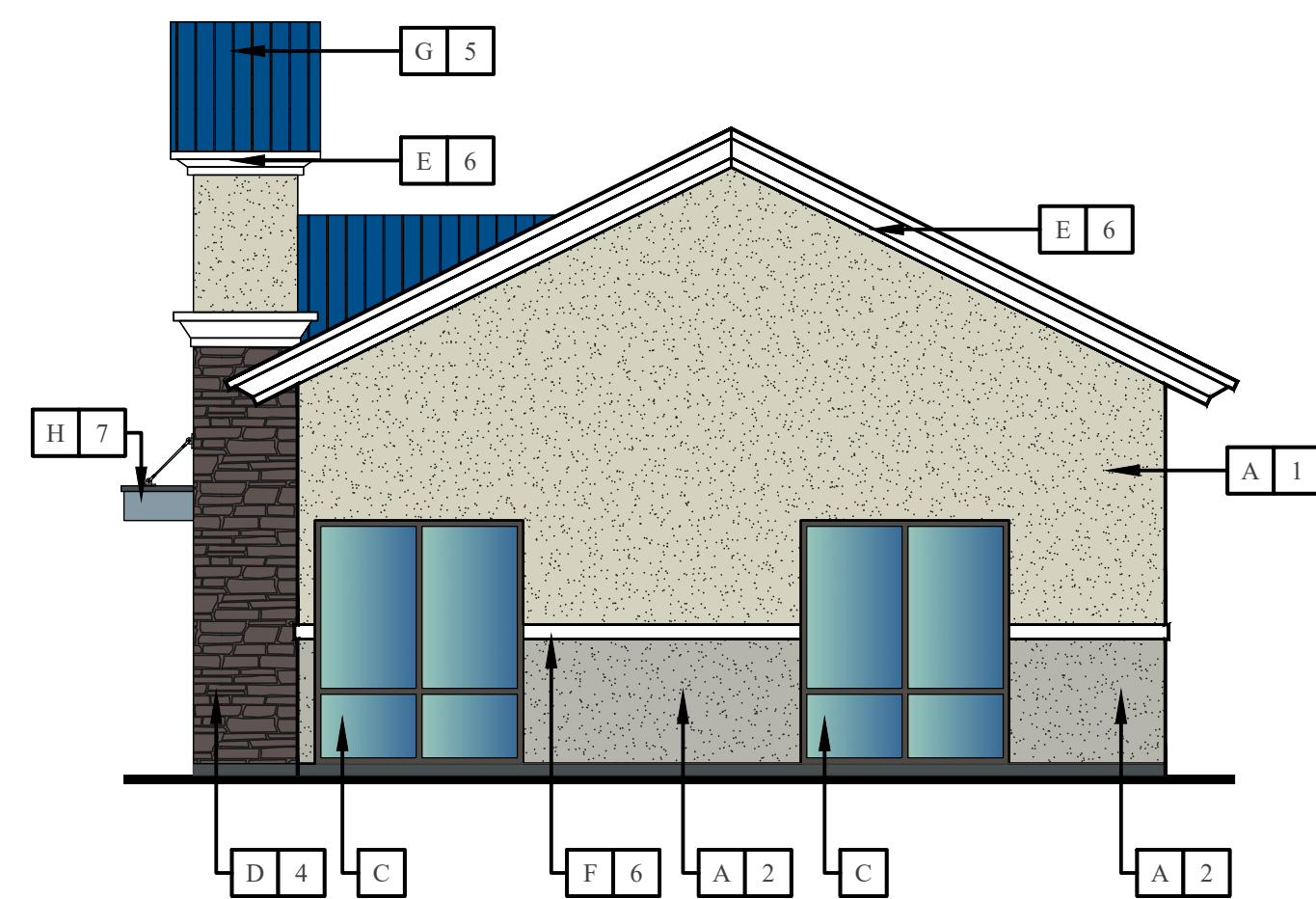
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REAR ELEVATION - NORTH

SCALE: 1/4" = 1'-0"

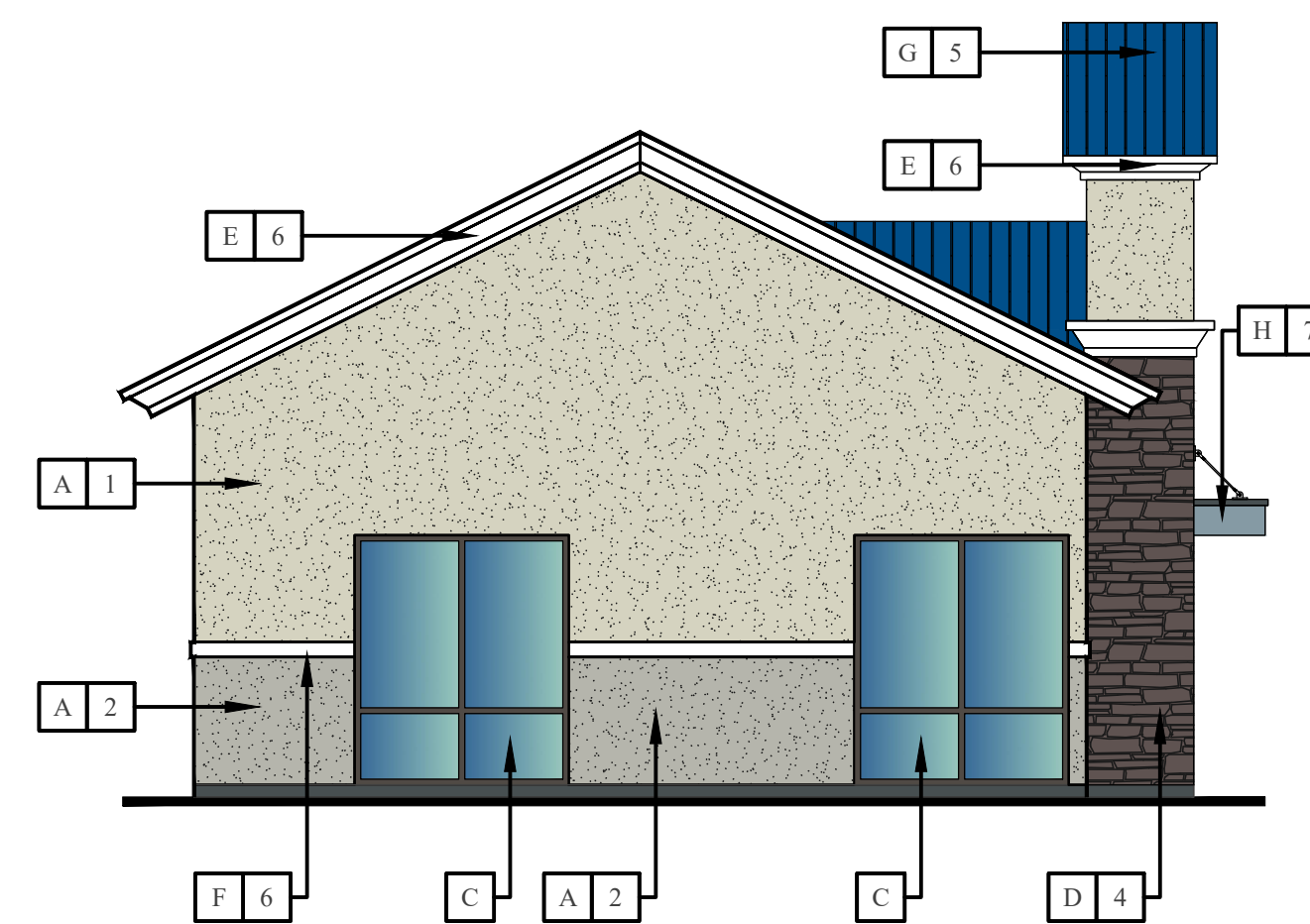
2



RIGHT SIDE ELEVATION - EAST

SCALE: 1/4" = 1'-0"

3



LEFT SIDE ELEVATION - WEST

SCALE: 1/4" = 1'-0"

4

COLOR SCHEDULE

1		STUCCO FINISH #1: COLOR - SWISS COFFEE BEHR PPU4-08 OR EQUAL
2		STUCCO FINISH #2: COLOR - DOVE BEHR PPU5-07 OR EQUAL
3		STUCCO FINISH #3: COLOR - ESPRESSO MARTINI BEHR #N210-4 OR EQUAL
4		LEDGESTONE FINISH: https://www.homedepot.com/p/Prestige-Stone-Granite-Amber-Falls-6-in-x-24-in-Natural-Stacked-Stone-Veneer-Panel-Siding-Exterior-Interior-Wall-Tile-10-Boxes-55-sq-ft-TSAF-PL/310482646
5		STANDING SEAM METAL ROOF: COLOR - RICH NAVY PPG-5 DDPEN #50BB 08/11
6		FOAM TRIM AND CORNICE FINISH: COLOR - BARONIAL BROWN BEHR #N10-1 OR EQUAL
7		METAL ANNING: COLOR - BLUEPRINT BEHR #5470-5

ELEVATION KEY NOTES

A	3 COAT STUCCO FINISH: 7/8" MIN. THICKNESS OVER 1/2" GA x 1/2" HEXAGONAL PAPER BACKED WIRE LATH OVER 2-LAYERS OF TYPE 'D' PAPER UNDER-LAYMENT
B	DOOR OPENING - REFER TO DOOR SCHEDULE ON SHEET A3.1 AND DETAIL(S) ON SHEET D6.
C	WINDOW OPENING - REFER TO WINDOW SCHEDULE ON SHEET A3.1 AND DETAIL(S) ON SHEET D6.
D	STONE VENEER PRESTIGE STONE & GRANITE REFER TO LINK.
E	FOAM CORNICE. REFER TO DETAIL.
F	FOAM TRIM. REFER TO DETAIL.
G	STANDING SEAM METAL ROOF.
H	METAL ANNING W/ SUPPORTS.
J	FACILITY SIGN AREA. SEPARATE PERMIT.

PROJECT

PROPOSED STORAGE FACILITY FOR

STORLAND SELF-STORAGE, INC.

SHANNON PARKWAY AND DINUBA BLVD

VISALIA, CA 93292

APN: 079-071-032 - PARCEL 'E' AND 'D'



DATE SIGNED: 4/8/2021

Revisions	Date
△	
△	
△	
△	
△	

ELEVATIONS

CVEAS JOB #:	2016
DATE:	4/8/2021
PLANNING SUBMITTAL #:	XX-XXXX
PLAN CHECK SUBMITTAL #:	XX-XXXX
DRAWN BY:	KX
CHECKED BY:	RL/KX
SCALE:	NOTED ON PLANS

A3.0

CIVIL ENGINEERING • LAND SURVEYING • CONSULTING • STRUCTURAL DESIGN • ARCHITECTURAL DRAFTING • COMMERCIAL & RESIDENTIAL BUILDING DESIGN • PLANNING & PROJECT MANAGEMENT

SPR No. 2021-015: Comments and Response

April 6, 2021

City of Visalia
707 W. Acequia Ave.
Visalia, CA 93291

SPR No. 2021-015

Business Name: Storland Self-Storage
Applicant Name: Miller Accord, LP
Property Owner Name: Omni Land Development, LLC
Product / Services: Self-Storage

Planning

Comment 1: Existing Conditional Use Permit must be amended to allow for self-storage use.

***Response 1:** Applicant is coordinating with developer and will submit application for CUP Amendment.*

Comment 2: CC & R's will need to be amended to accommodate self-storage use and cross access agreement.

***Response 2:** Applicant is coordinating with developer and CC&R's will be modified.*

Comment 3: Confirm that parking for site is adequate for use and over all site requirements:

***Response 3:** Confirmed.*

Comment 4: A wall is required around the project.

***Response 4:** The project includes a fortress style design which creates a wall around the entire site. Masonry block will be used for wall construction as required.*

Comment 5: Confirm that landscaping plan and setbacks work with proposed design:

***Response 5:** Confirmed. Design modifications have been made and developer is responsible for installing landscaping.*

Trash

Comment 6: Design trash enclosure with an angle such that the trash truck driver will be able to directly stab trash cans.

***Response 6:** Based on the existing traffic flow within the site and the path of travel, an angled trash enclosure will not be possible. The current location has been determined to be the best location for access by trash truck driver with the least impact to onsite traffic and surrounding uses.*

Fire

Comment 7: Drive aisles on north and south sides of project need to be a minimum of 26 feet wide. Drive aisles on east and west sides of project need to be a minimum of 32 feet wide.

***Response 7:** Site design has been modified to include wider drive aisles in these locations.*

Comment 8: Project should include 4 hydrants on site.

***Response 8:** Hydrant locations have been added and repositioned to provide coverage for entire site.*

Engineering

Comment 9: Review approved engineering plans for development to make sure that site design will accommodate drainage, utilities and site work.

***Response 9:** Project design has been modified to accommodate approved engineering plans for development.*

Building

Comment 10: Occupancy Class should be S1.

***Response 10:** Corrected.*

Comment 11: Plans indicate that project includes fire sprinkler system. Please confirm.

***Response 11:** Project will not include fire sprinkler system for any structure.*

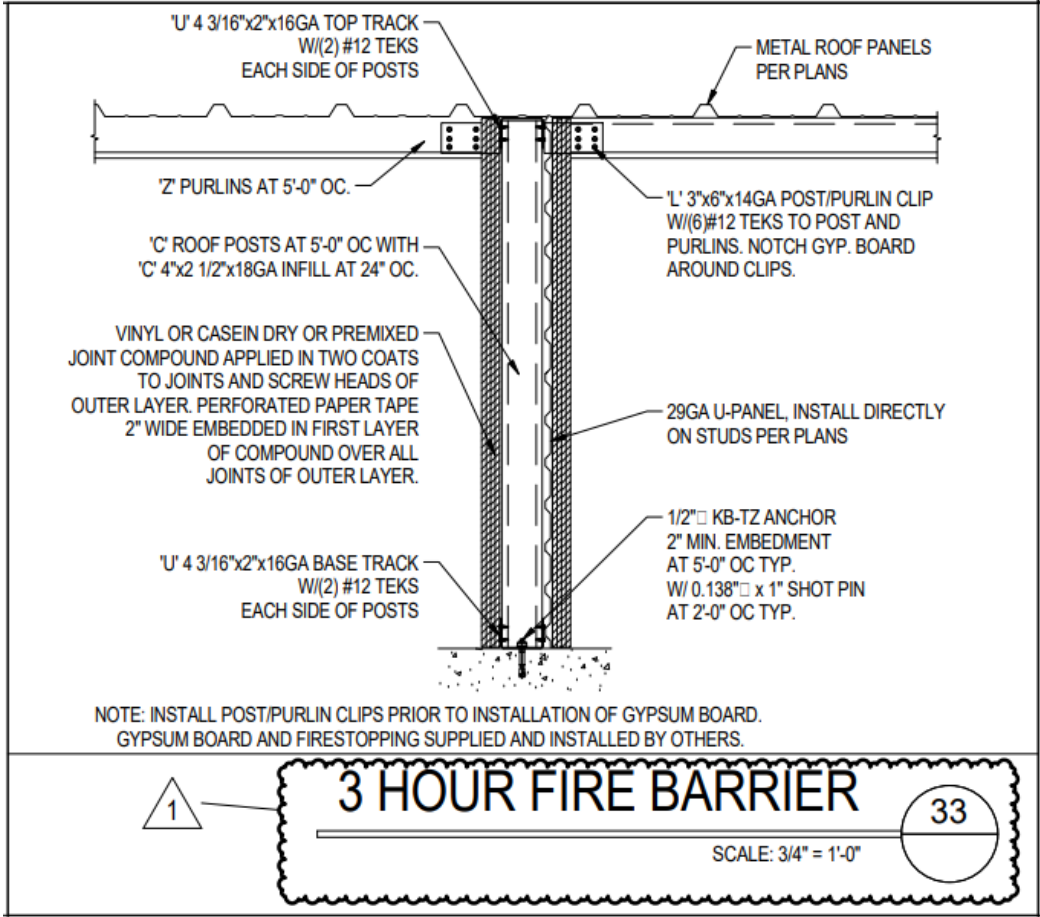
Comment 12: Each building will need to be permitted individually for building permit process.

***Response 12:** Building permits will be files accordingly.*

Comment 13: Include location and design of fire walls for the project.

***Response 13:** Based on the non-combustible construction type for this project, Fire Barriers as described in Section 707, IBC 2018 will be used. A graphic is provided below*

to indicate how these barriers will be constructed. Locations of these fire barriers will be provided with construction drawings as interior building design has not been determined yet.



Respectfully,

Josh Miller

Miller Accord, LP

PO Box 6398

Visalia, CA 93290

OPERATIONAL STATEMENT

February 3, 2021

City of Visalia
707 W. Acequia Ave.
Visalia, CA 93291

Project Description:

Storland Self-Storage is an existing self-storage business that currently owns and operates four self-storage locations throughout the California Central Valley. The new storage facility is being submitted by the owner, Josh Miller, and pertains to two parcels located at Shannon Parkway and Road 124., APN: 079-071-032 and is currently zoned C-MU with planned land use of Mixed Use Commercial. I am requesting authorization for a new storage facility.

Similar to other existing facilities, this facility will provide self-service storage units for the surrounding community and offer tenants a secure site that includes access control, video surveillance, security lighting, on-site non-resident management and security alarms. The units offered will include enclosed drive up and interior units in the following unit sizes: 5x5, 10x5, 10x10, 10x15, 10x20 and 10x25. RV storage will not be offered at this location.

Business Name:	Storland Self-Storage
Product / Services:	Storage units of various sizes.
Anticipated Traffic:	5 +/- customers at any given time are expected.
Number of Employees:	2 employees on-site. This includes one office manager that will handle daily operations and one maintenance employee around facility.
On site storage/Equipment:	Tenant personal storage belongings.
Security Measures:	Security cameras mounted interior and entry and exiting points along with designated hooded light poles throughout the premises.
Operation Time:	Monday through Saturday from 9:00 am to 6:00pm Sunday from 10:00 am to 5:00 pm Automated Access Gate Controls from 7:00 am to 7:00 pm 24-hour call service is available after normal business hours
Access to Site:	One on-site access driveway (Refer to plans)
Parking:	4 Visitor Designated parking 3 Standard parking

1 Accessible parking
1 EVCS parking
2 Employee designated parking
1 Clean-Air parking
(Refer to plans)

Supplies or Material: N/A

Unightly Appearance: N/A

Solid or Liquid Waste: Solid waste will be from restrooms and trash/bin receptors

Trash Enclosure

1-2 trash pick-ups per week

Liquid waste will be from restrooms and sanitary sinks will be discharged into City Sewer System

Estimated Water Usage: Water meter(s) for building and landscape are located off-site

Advertising Sign: One Facility sign above main entry (separate permit)

Buildings: 800 sf new office building

Multiple Storage Buildings

(Refer to plans)

Outdoor Lighting: Hooded parking light(s) – refer to plans.
Street light(s) – refer to plans.
Exterior building wall sconces(s) and/or wall-packet mounted LED light(s).

Landscape: Landscape areas consist of different all kinds of trees, shrubs, hedges, etc. all through-out.

ABC License: N/A

Respectfully,

Josh Miller

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application **MUST** be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- **Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present** -
 - Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: ATT Mobility Date: 3/29/21

Project Description: RELO project--Moving existing ATT antennas to a proposed 125'-130' Monopole. Equipment area would stay in same location

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: Cal Water

Applicant(s) Name: Derek Turner for ATT Mobility

Project Address/Location: 1001 W Main st Visalia CA 93291

Assessor Parcel Number: 0 9 3 - 2 1 0 - 0 0 1

Parcel Size (Acreage or Square Feet): _____ Building or Suite Square Footage: _____

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ 350,000

Describe All Proposed Building Modifications: _____
No Building mods proposed

- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received: 03/29/2021

SPR Agenda: 04/07/2021 Item No. _____

Zone: QP SPR No. 21-059

Historic District: Yes No

Flood Zone: X AE X/AE

- - **A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS** - -

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Water tank-Telecom site

Proposed Building Use: Telecom

Proposed Hours of Operation: 24/7 unmanned site

Days of Week In Operation (Circle): Su M T W Th F Sa
n/a

Number of Employees Per Day: Existing _____ Proposed _____

Number of Customers Per Day (Estimated): Existing _____ Proposed _____

Predicted Peak Operating Hour: _____

Describe Any Truck Delivery Schedule & Operations: none other than construction

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees
 (Provide Separate Attachment if Necessary): none

Describe Any Special Events Planned for the Facility: none

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - Existing & proposed structures
 - Loading/unloading areas
 - All existing & proposed site features
 - Adjacent street names
 - Accessible path of travel from right of way
 - Site dimensions, including building
 - Refuse enclosures & containers
 - Accessible path of travel from ADA stall
 - Existing and proposed fencing at site
 - Valley oak trees (show drip line)
 - Location and width of drive approaches to site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed landscaping
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
 - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Derek Turner</u>	Signature of Owner or Authorized Agent*	
Address: <u>1225 Clay st #5</u>		
City, State, Zip <u>SF CA 94108</u>	Owner — DocuSigned by:	Date
Phone: <u>4154204922</u>	<u>Derek Turner</u>	<u>4/5/2021</u>
Email: <u>dturner@j5ip.com</u>	Authorized Agent* <small>302F12EB44B0468...</small>	Date

* If signed by an authorized agent , the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, _____, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):
not available

AGENT:

I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

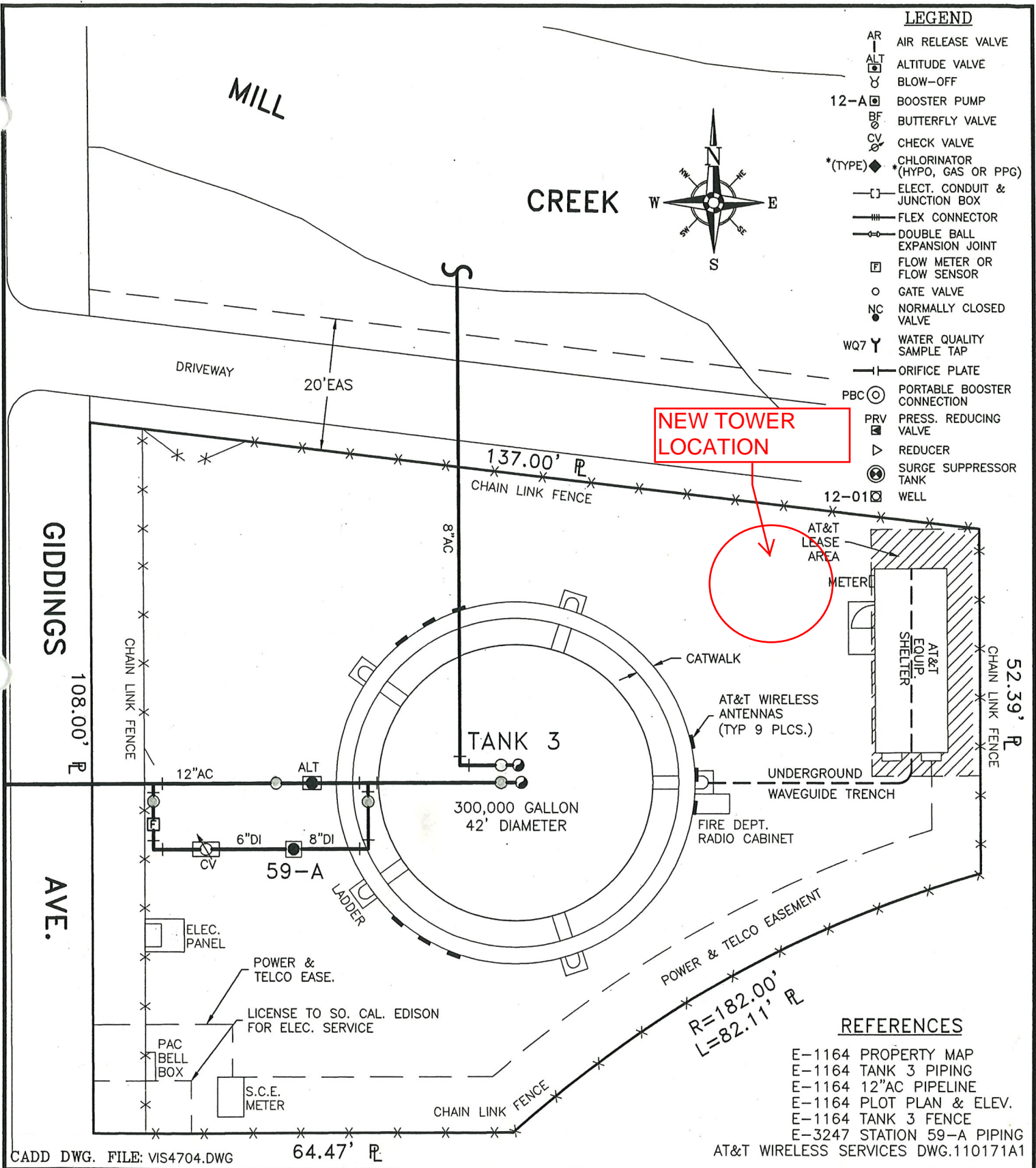
I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20____.

<u>OWNER</u>	Signatures
Signature of Owner	DocuSigned by: <u>AGENT</u> <u>Derek Turner</u> <small>302F12EB44B0468...</small>
Owner Mailing Address	<u>1225 Clay St #5 SF CA 94108</u>
Owner Phone Number	<u>4154204922</u>

LEGEND


- AR AIR RELEASE VALVE
- ALT ALTITUDE VALVE
- Y BLOW-OFF
- 12-A BOOSTER PUMP
- BF BUTTERFLY VALVE
- CV CHECK VALVE
- *(TYPE) CHLORINATOR (HYPO, GAS OR PPG)
- ELECT. CONDUIT & JUNCTION BOX
- FLEX CONNECTOR
- DOUBLE BALL EXPANSION JOINT
- FLOW METER OR FLOW SENSOR
- O GATE VALVE
- NC NORMALLY CLOSED VALVE
- WQ7 WATER QUALITY SAMPLE TAP
- ORIFICE PLATE
- PBC PORTABLE BOOSTER CONNECTION
- PRV PRESS. REDUCING VALVE
- REDUCER
- SURGE SUPPRESSOR TANK
- WELL



REFERENCES

- E-1164 PROPERTY MAP
- E-1164 TANK 3 PIPING
- E-1164 12"AC PIPELINE
- E-1164 PLOT PLAN & ELEV.
- E-1164 TANK 3 FENCE
- E-3247 STATION 59-A PIPING
- AT&T WIRELESS SERVICES DWG.110171A1

CADD DWG. FILE: VIS4704.DWG

<p>ENGINEERING</p>  <p>DEPARTMENT</p>	<p>TITLE: STATION 59 TANK 3 PIPING SCHEMATIC</p>				<p>REVISIONS:</p>		
	<p>DISTRICT: VISALIA</p>	<p>DATE: 5-16-00</p>	<p>SCALE: 1"=20'</p>	<p>EST. NO.:</p>	<p>PLAT NO.: L-14</p>		
	<p>DRAWN BY: D.E.B.</p>	<p>CHECKED BY: E.A.H.</p>	<p>APPROVED BY: <i>[Signature]</i></p>	<p>DWG. NO.: VIS 4704</p>			

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

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GENERAL PROJECT INFORMATION

Project/Business Name: Lompe Chrysler Dodge Delivery Canopy Date: 4-8-2021
 Project Description: New Vehicle Delivery Shade Canopy
 Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____
 Property Owner: Lompe Chrysler Dodge Jeep + Ram
 Applicant(s) Name: Jason Scott
 Project Address/Location: 151 N. Nealey St., Visalia, CA 93291
 Assessor Parcel Number: 081-020-071
 Parcel Size (Acreage or Square Feet): 7.18 Acres Building or Suite Square Footage: 500 SF Canopy

Are There Any Proposed Building Modifications: Yes No
 Estimated Cost of Modifications to Building: \$ _____
 Describe All Proposed Building Modifications: _____

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 04/08/2021
 SPR Agenda: 04/14/2021 Item No. _____
 Zone: C-S SPR No. 21-060
 Historic District: Yes No
 Flood Zone: X AE X/AE

OPERATIONS & TRAFFIC INFORMATION

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

Existing/Prior Building Use: Car Dealership
 Proposed Building Use: Canopy Shade Structure
 Proposed Hours of Operation: No Changes
 Days of Week In Operation (Circle): Su M T W Th F Sa
 Number of Employees Per Day: Existing No Changes Proposed —
 Number of Customers Per Day (Estimated): Existing No Changes Proposed —
 Predicted Peak Operating Hour: N/A
 Describe Any Truck Delivery Schedule & Operations: No Change

 Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees
 (Provide Separate Attachment if Necessary): No Changes

 Describe Any Special Events Planned for the Facility: No Changes

SITE PLAN MINIMUM REQUIREMENTS


SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:

- North arrow	- Existing & proposed structures	- Loading/unloading areas
- All existing & proposed site features	- Adjacent street names	- Accessible path of travel from right of way
- Site dimensions, including building	- Refuse enclosures & containers	- Accessible path of travel from ADA stall
- Existing and proposed fencing at site	- Valley oak trees (show drip line)	- Location and width of drive approaches to site
- Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)	- Existing & proposed landscaping	- Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
	- Parking stalls (include ADA)	

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Jason Scott, PE</u>	Signature of Owner or Authorized Agent*	
Address: <u>1001 N. Demoree St, Ste 7</u>	Owner	Date
City, State, Zip: <u>Visalia, CA 93291</u>		<u>4.8.21</u>
Phone: <u>559.738.0968</u>	Authorized Agent*	Date
Email: <u>jsscengineering@comcast.net</u>		

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, _____, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

AGENT:

I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20____.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

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GE ERA ROJE TI FORMATIO

Project/Business Name: Educational Employees Credit Union Date: FEB. 24, 2021

Project Description: Construct a 90 sq. ft. walk-up ATM Kiosk on the existing Smart & Final property (600 W. Center Ave.)

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: N/A

Property Owner: _____

Applicant(s) Name: Alan Weber - Weber Iness Associates Inc.

Project Address/Location: 600 W. Center Ave.

Assessor Parcel Number: 093 - 186 - 001

Parcel Size (Acreage or Square Feet): 44,116 Sq. Ft. Building or Suite Square Footage: 90 Sq. Ft.

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ N/A

Describe All Proposed Building Modifications: N/A

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 04/07/2021

SPR Agenda: 04/14/2021 Item No. _____

Zone: D-MU SPR No. 21-061

Historic District: Yes No

Flood Zone: AE X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

O ERATIO & TRAFFI I FORMATIO

Existing/Prior Building Use: N/A

Proposed Building Use: Walk-up ATM Kiosk

Proposed Hours of Operation: 24 Hours

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing 0 Proposed 0

Number of Customers Per Day (Estimated): Existing 100 Proposed 100

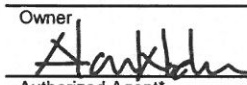
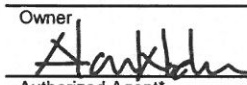
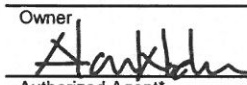
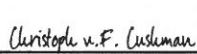

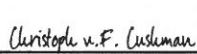

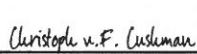

Predicted Peak Operating Hour: N/A

Describe Any Truck Delivery Schedule & Operations: N/A

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

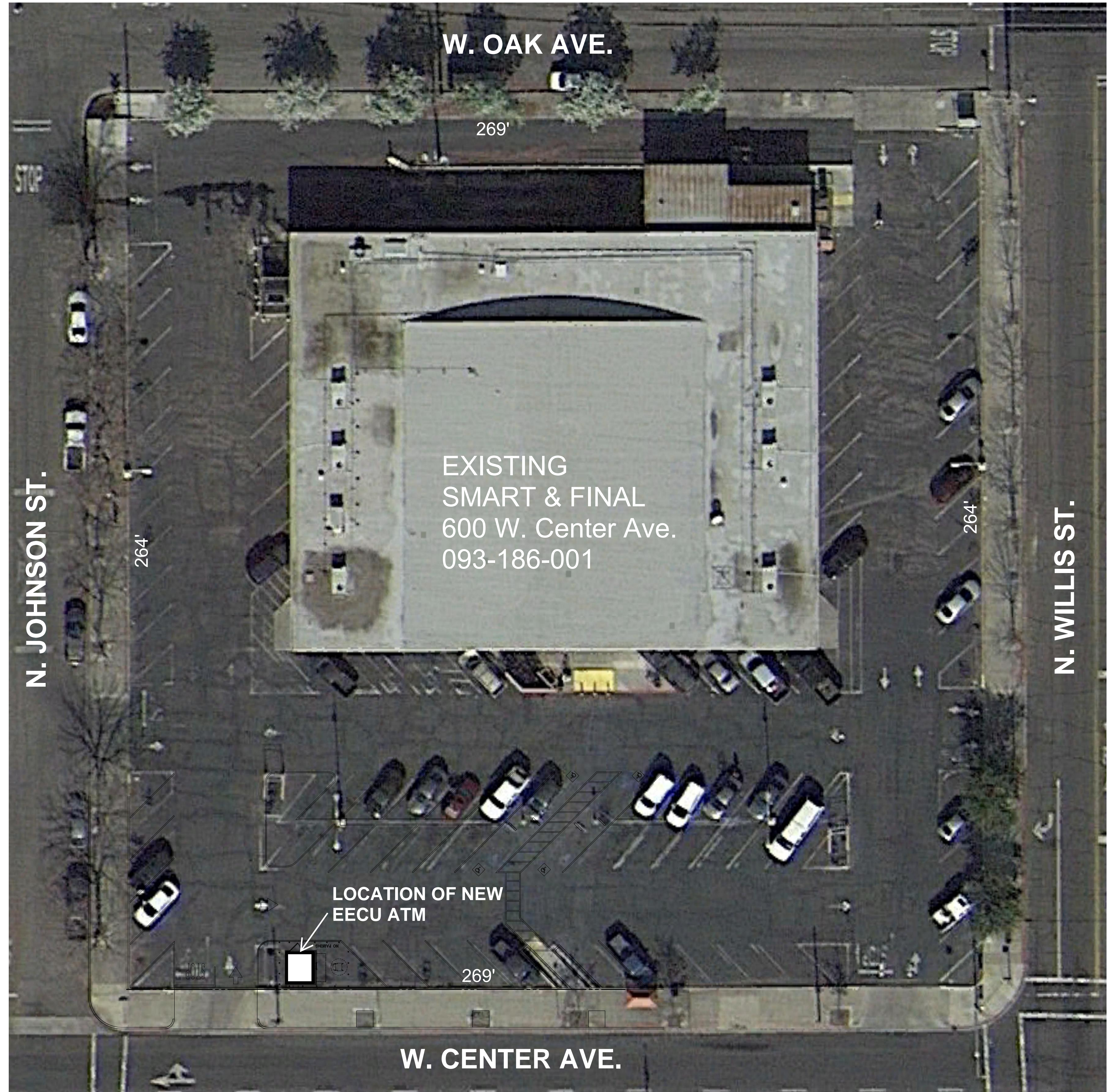
(Provide Separate Attachment if Necessary): N/A

Describe Any Special Events Planned for the Facility: N/A

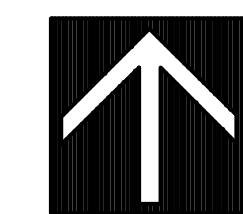
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AGENCY AUTHORIZATION																																					
OWNER:																																					
I, <u>Christoph Cushman, Authorized Representative of RHC Associates</u> , declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):																																					
<u>093-186-001</u>																																					
AGENT:																																					
I designate <u>Alan Weber</u> , to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to <u>construct 90 sq. ft. ATM Kiosk</u> relative to the property mentioned herein.																																					
I declare under penalty of perjury the foregoing is true and correct.																																					
Executed this <u>11th</u> day of <u>March</u> , 20 <u>21</u> .																																					
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;"><u>OWNER</u></td> <td style="width: 10%; text-align: center;">Signatures</td> <td style="width: 40%; text-align: center;"><u>AGENT</u></td> </tr> <tr> <td style="text-align: center;"></td> <td></td> <td style="text-align: center;"></td> </tr> <tr> <td>Signature of Owner</td> <td></td> <td>Signature of Agent</td> </tr> <tr> <td>RHC Associates c/o Christoph Cushman</td> <td></td> <td>Alan Weber 6562 N. Safford Ave. Fresno, CA 93711</td> </tr> <tr> <td>Owner Mailing Address</td> <td></td> <td>Agent Mailing Address</td> </tr> <tr> <td>5 Brewster St #368, Glen Cove, NY 11542</td> <td></td> <td></td> </tr> <tr> <td>516-987-3824</td> <td></td> <td>559-284-0692 alan@weberiness.com</td> </tr> <tr> <td>Owner Phone Number</td> <td></td> <td>Agent Phone Number</td> </tr> </table>														<u>OWNER</u>	Signatures	<u>AGENT</u>				Signature of Owner		Signature of Agent	RHC Associates c/o Christoph Cushman		Alan Weber 6562 N. Safford Ave. Fresno, CA 93711	Owner Mailing Address		Agent Mailing Address	5 Brewster St #368, Glen Cove, NY 11542			516-987-3824		559-284-0692 alan@weberiness.com	Owner Phone Number		Agent Phone Number
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REVISIONS

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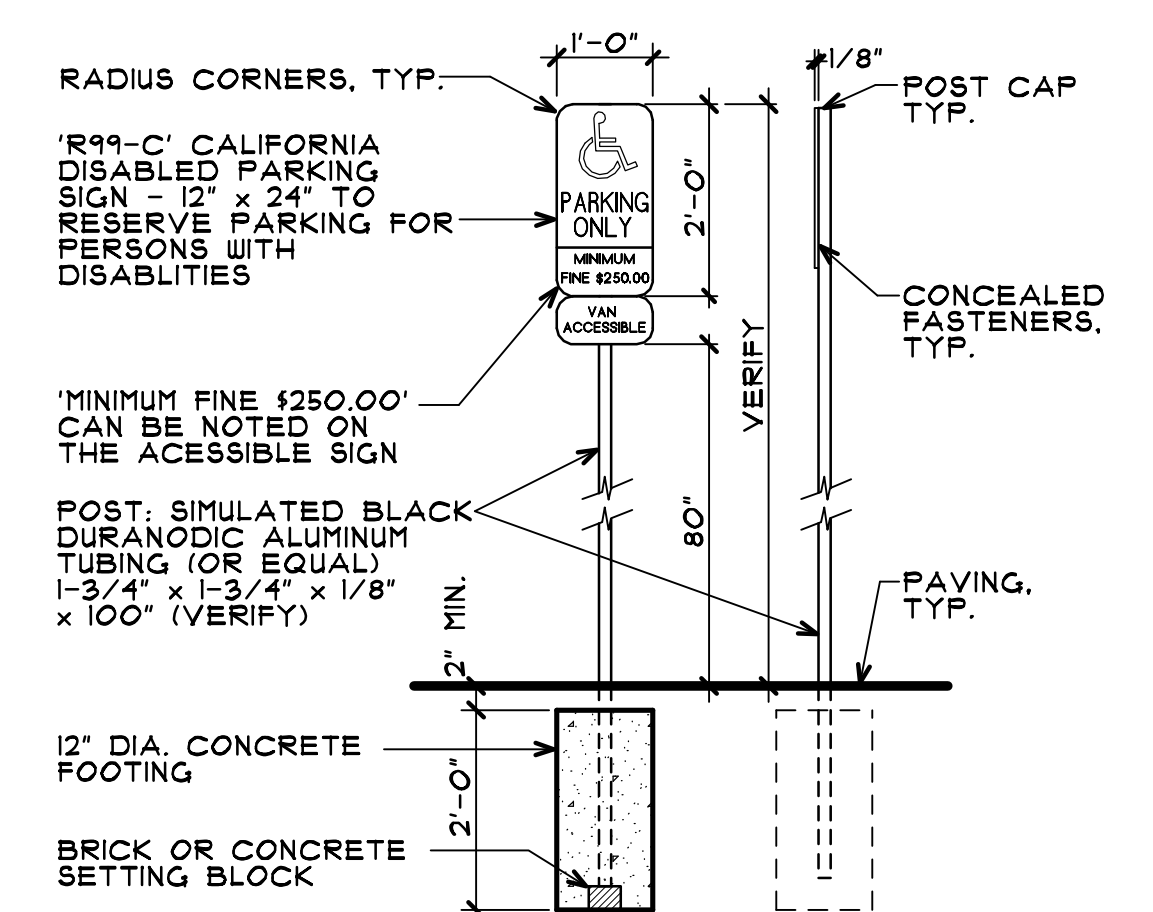
600 W. Center Avenue



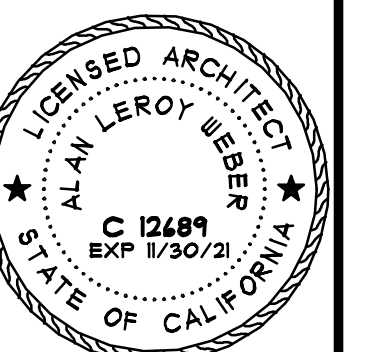
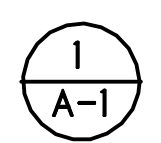
SITE PLAN

N.T.S

SEE SHEET A-2 FOR ALL NOTES AND DIMENSIONS



DETAIL
SCALE: 1/2" = 1'-0"



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4542 N. Safford Ave.
Fresno, Ca 93711
559-284-0612

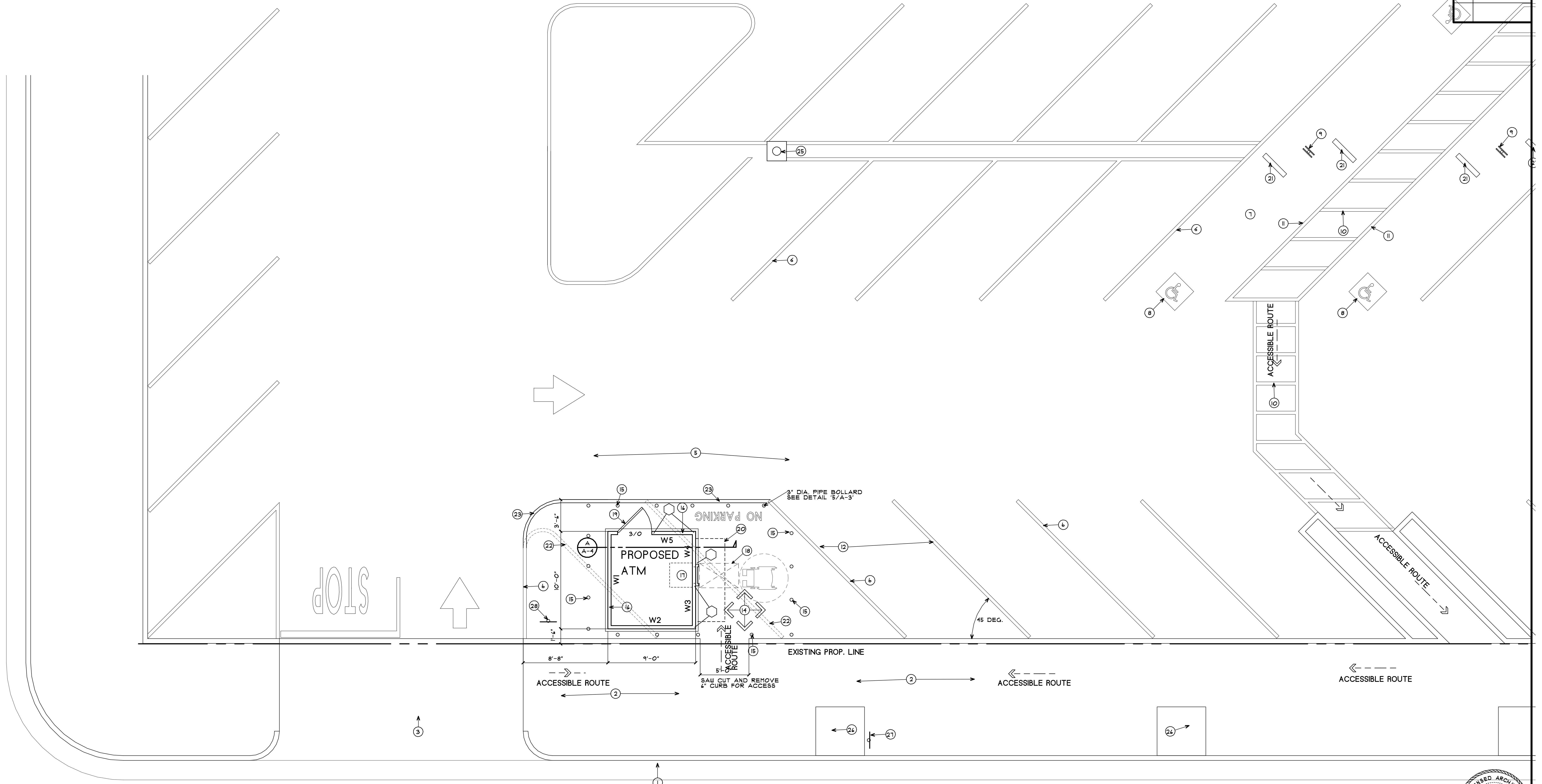
DATE: FEB. 1, 2021
JOB NO.: 11104

A-1
OF SHEETS

N. JOHNSON ST.

REVISIONS

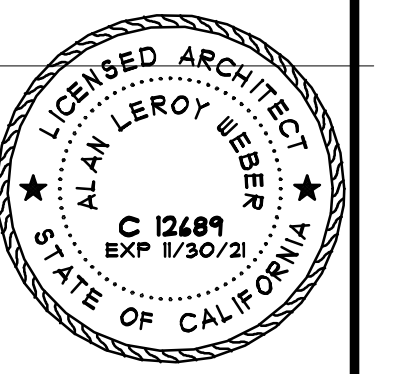
1	
2	
3	



ATM - PLAN VIEW
 SCALE: 1/4" = 1'-0"

NOTE KEY	
1. EXISTING CURB AND GUTTER	15. NEW BOLLARDS
2. EXISTING CONCRETE WALK	16. 2 x 4 D.F. NO. 2 STUDS AT 1' o.c.
3. EXISTING DRIVE APPROACH	17. ATM: INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. SEE SHEET D-2
4. EXISTING CONCRETE CURB	18. 2'-4" x 4'-0" ACCESSIBLE AREA
5. EXISTING A/C PAVING TO CITY OF VISALIA P.W. STDS.	19. 3'-0" x 1'-0" HOLLOW METAL DOOR
6. EXISTING 4" WIDE PAINTED WHITE STRIPES	20. AWNING ABOVE - SEE DETAIL '3/D-1'
7. EXISTING ACCESSIBLE PARKING STALL	21. CONCRETE WHEEL STOPS
8. EXISTING ACCESSIBLE SYMBOL ON PAVEMENT	22. EXISTING LINE STRIPE TO BE REMOVED
9. EXISTING ACCESSIBLE SIGN IN FRONT SEE DET. 1/A-1	23. NEW 4" WIDE LINE STRIPE
10. EXISTING 4" WIDE PAINTED WHITE STRIPES AT 3'-0" o.c.	24. EXISTING ONSITE LIGHTING POLE
11. 4" WIDE PAINTED LIGHT BLUE BORDER	25. EXISTING WOOD POWER POLE
12. EXISTING A/C PAVING TO CITY OF VISALIA P.W. STDS.	26. EXISTING TREE WELL
13. EXISTING CONCRETE WALK WITH 5% SLOPE IN DIRECTION OF TRAVEL AND 2% MAX.	27. EXISTING SPEED LIMIT SIGN
14. 2% MAXIMUM SLOPE IN ALL DIRECTIONS	28. EXISTING ACCESSIBLE SIGNAGE

W. CENTER AVE.



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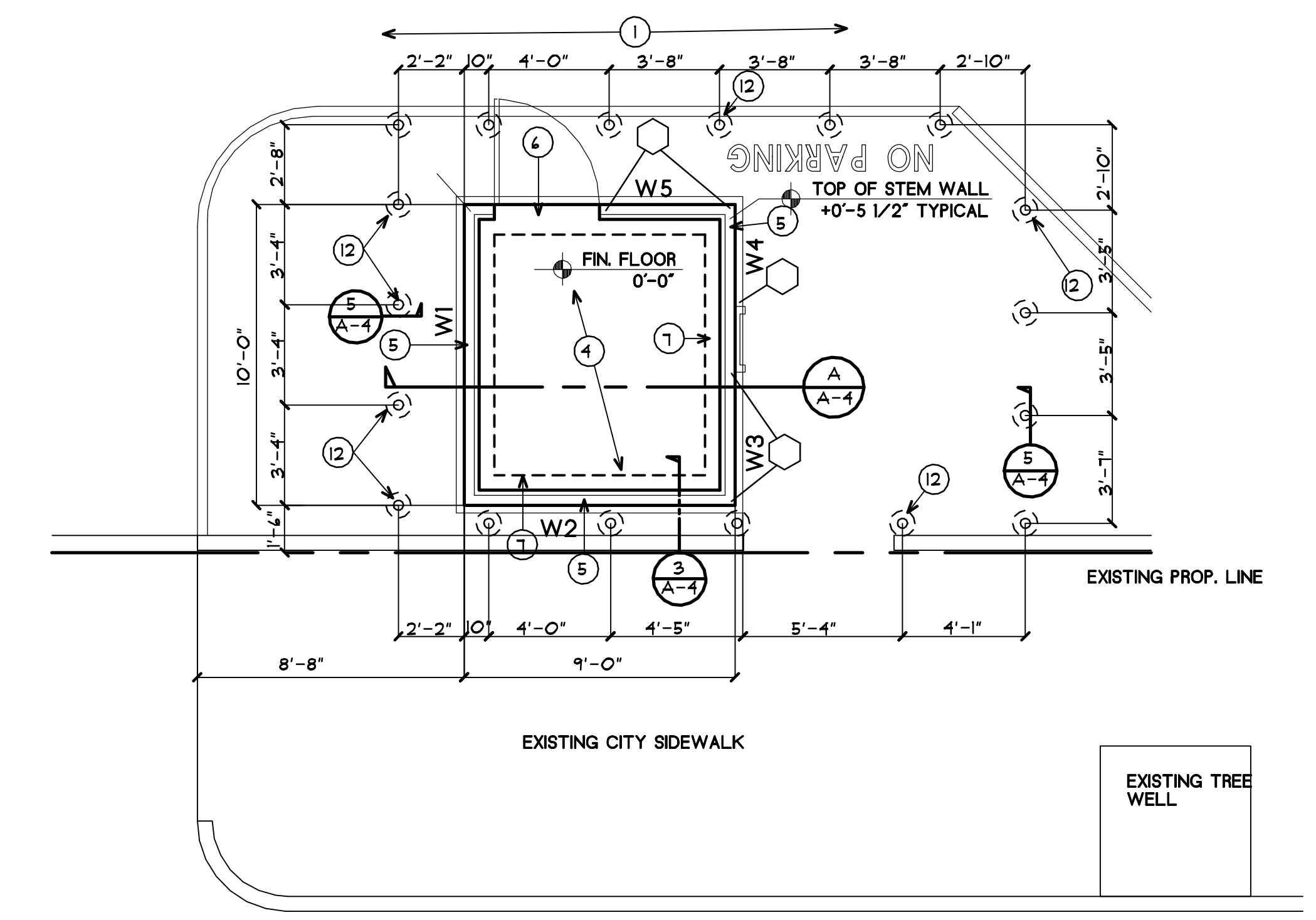
4542 N. Safford Ave.
Fresno, CA 93711
559-284-0412

DATE: FEB. 1, 2021
JOB NO.: 2104

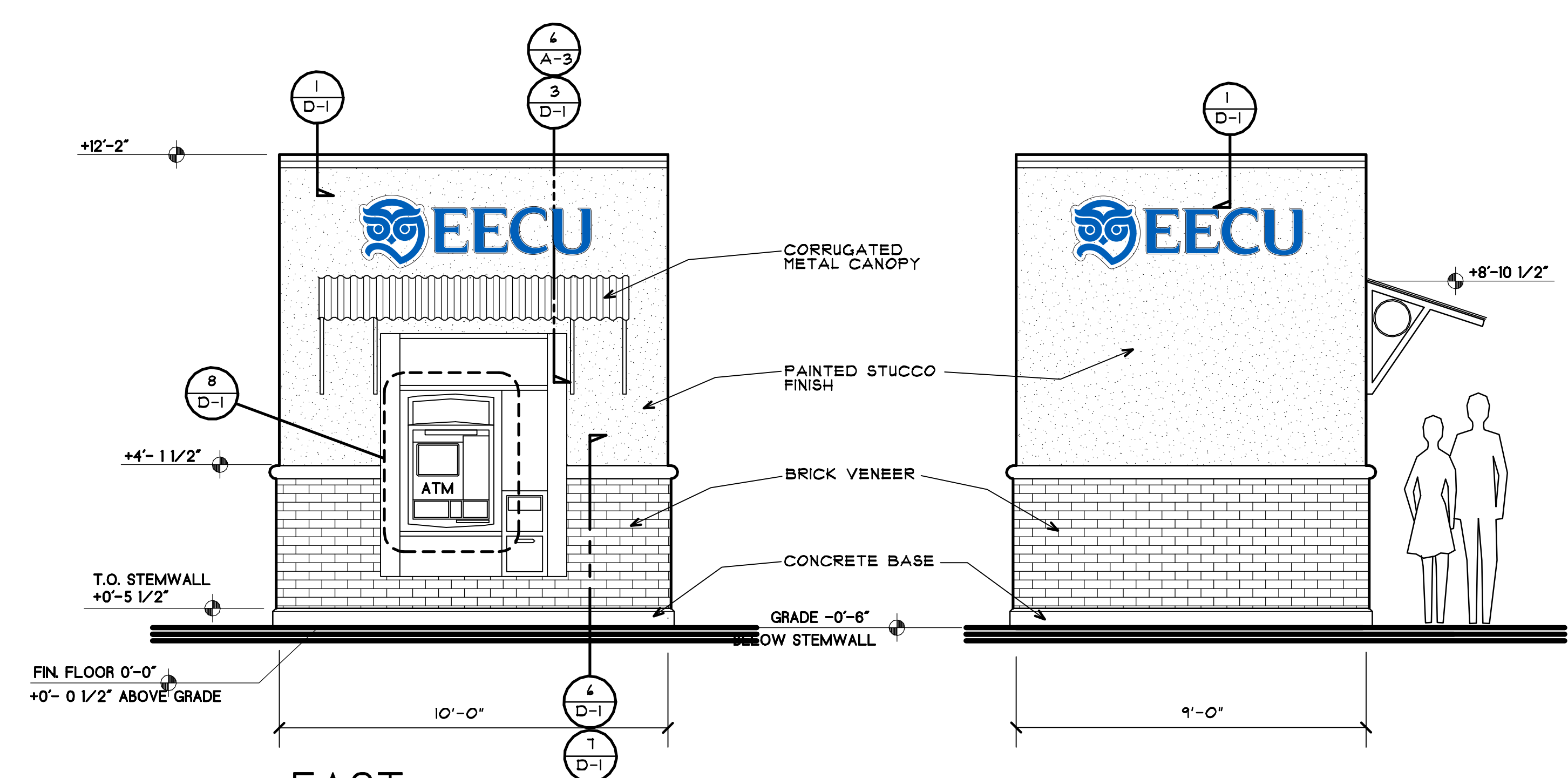
A-2
OF SHEETS

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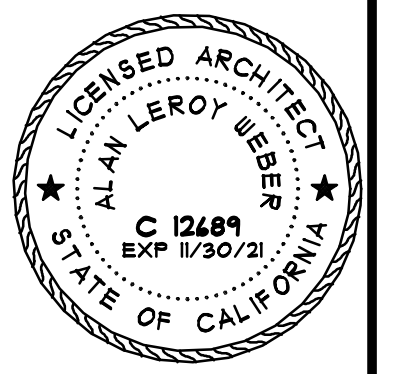
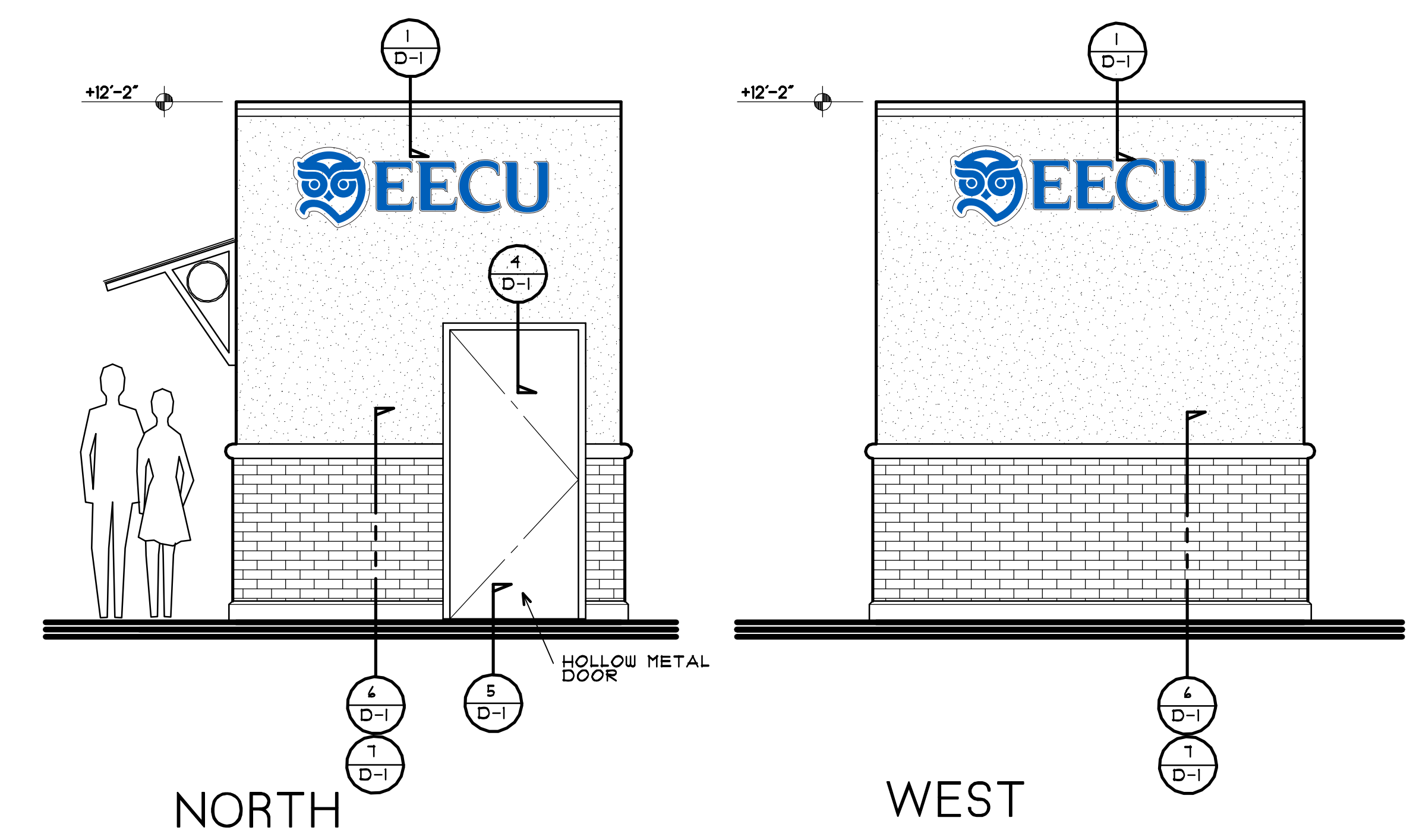
- FOUNDATION KEY**
- EXISTING A/C PAVING TO CITY OF SELMA P.W. STDS.
 - A/C PAVING TO CITY OF SELMA P.W. STDS. WITH MAXIMUM 2% SLOPE IN ANY DIRECTION
 - A/C PAVING TO CITY OF SELMA P.W. STDS. VERIFY SLOPE TO EXISTING A/C PAVING
 - 4" THICK CONCRETE SLAB OVER 2" SAND FILL PROVIDE #3 REINFORCING 18" o.c. EACH WAY AT MID DEPTH
 - 4-1/2" WIDE x 5-1/2" HIGH (MAXIMUM) CONCRETE STEM WALL. TOP OF STEM WALL 0'-0"
 - OPENING IN STEM WALL FOR DOOR LOCATION
 - 12" WIDE x 12" THICK CONCRETE FOOTING
 - FOUNDATION AT BOLLARDS, SEE DETAIL '5/A-3'



ATM - FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"

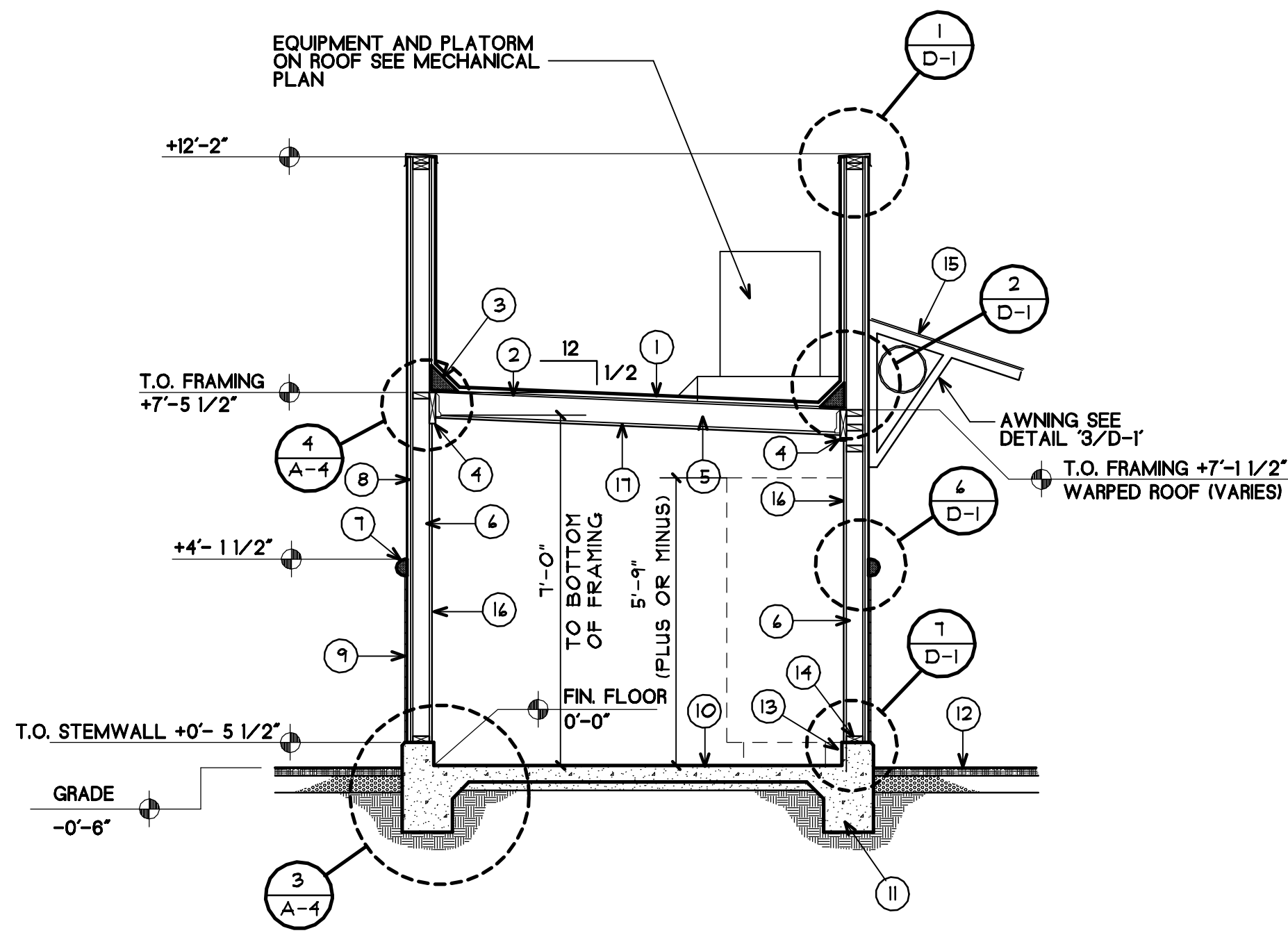


Weber Iness
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4542 N. Safford Ave.
Fresno, Ca 93711
559-284-0452

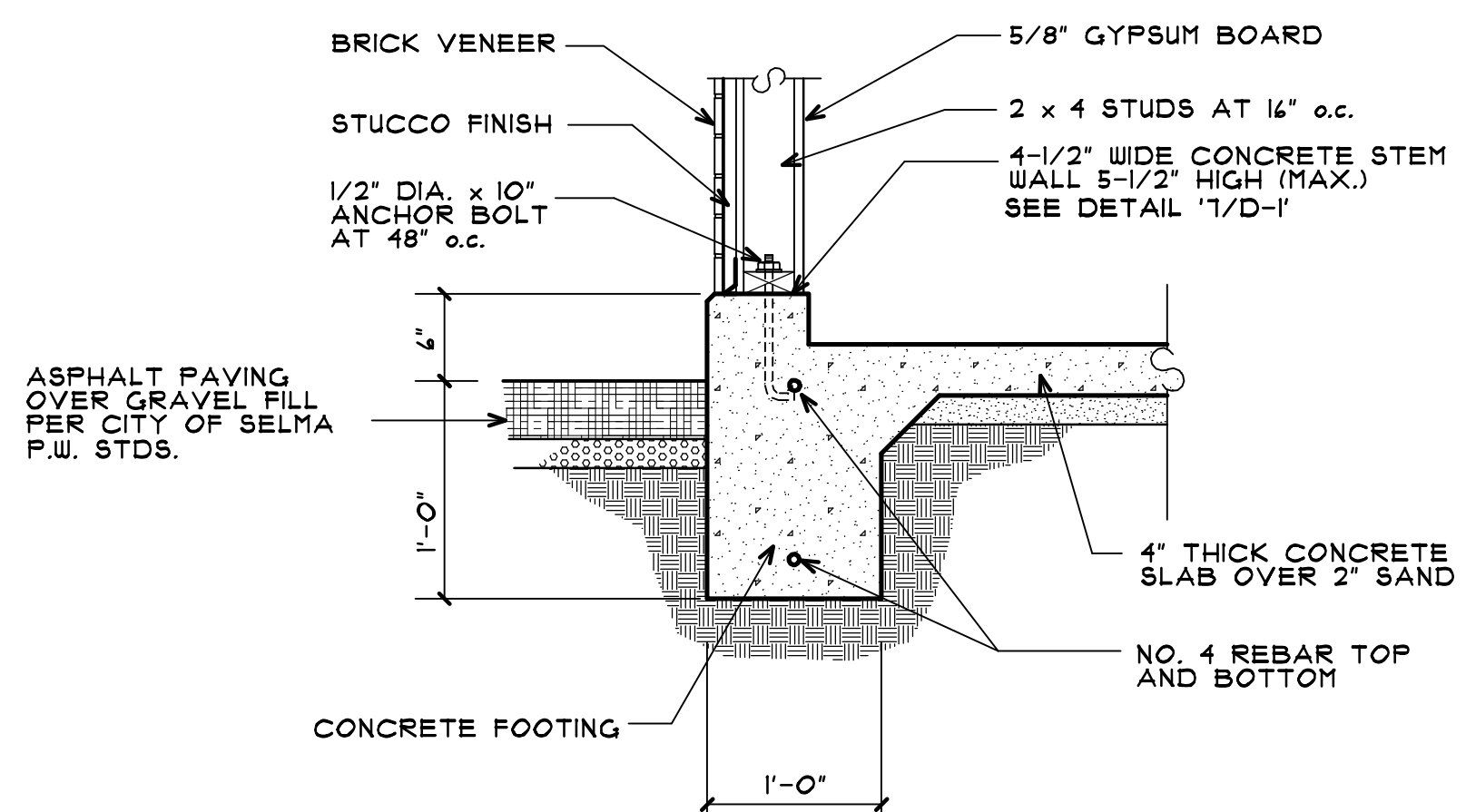
DATE: FEB. 1, 2021
JOB NO. 2104

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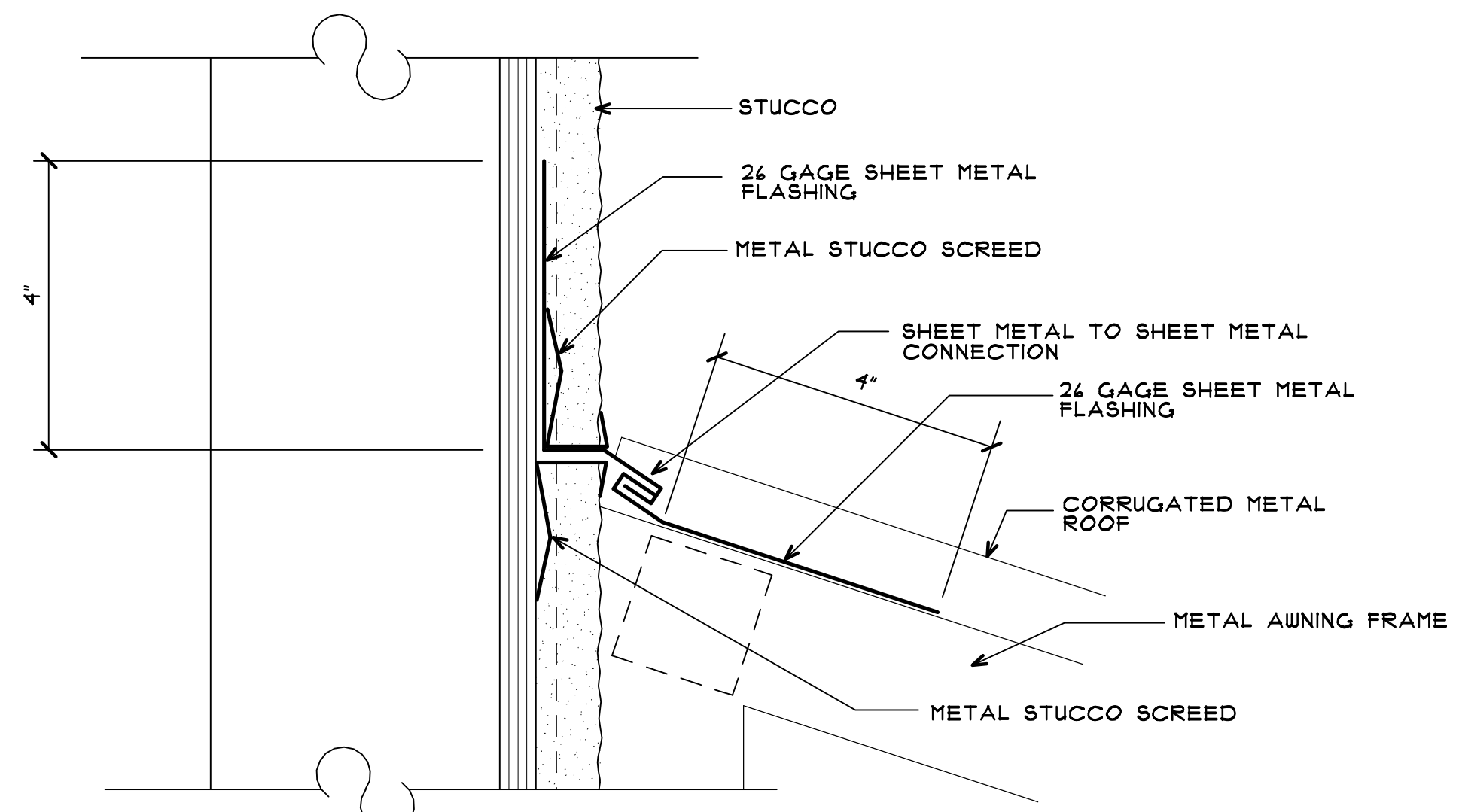


SECTION-A
SCALE: 3/8" = 1'-0"

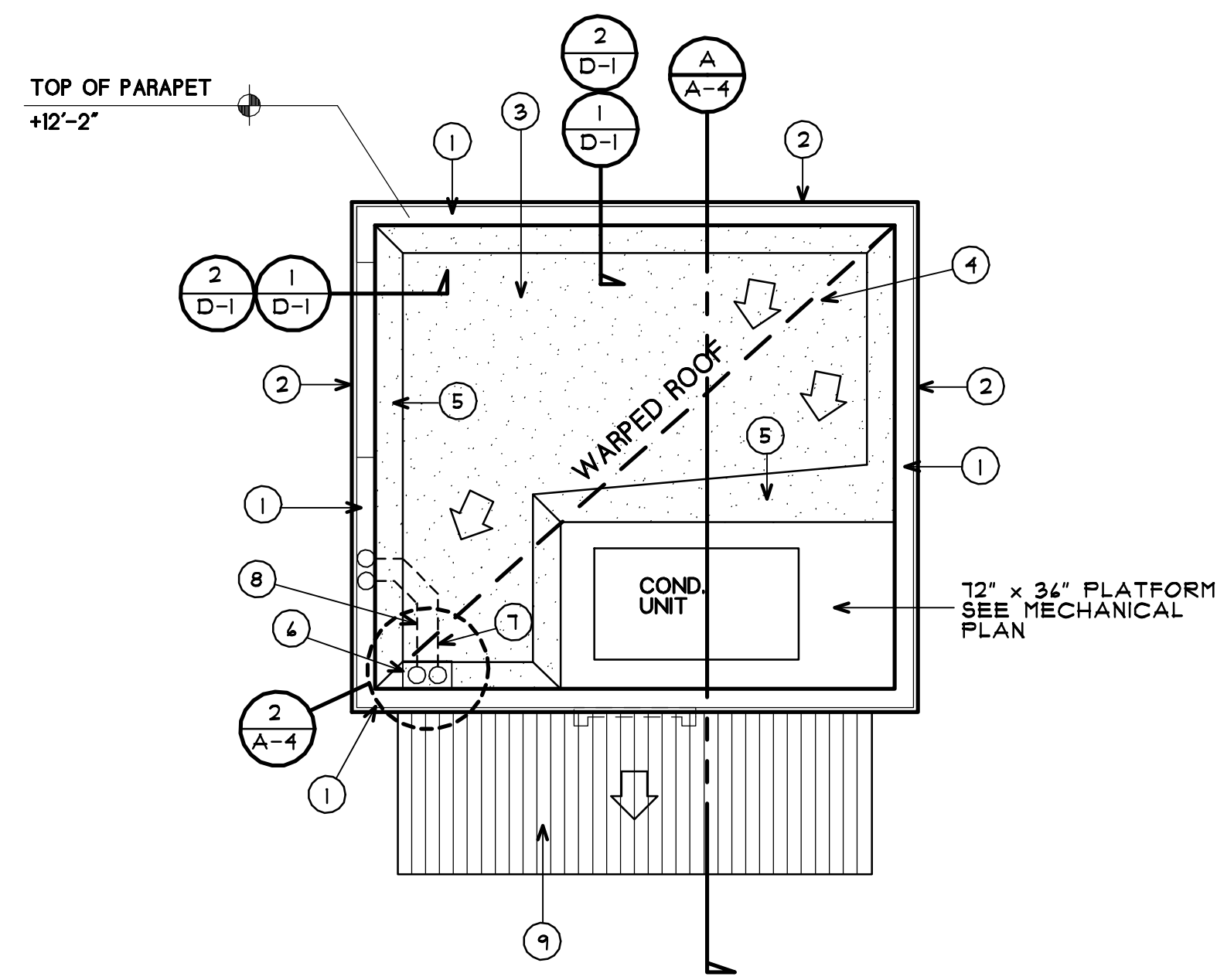
SECTION KEY	
1.	CLASS 'B' MINIMUM BUILT-UP ROOF
2.	ROOF SHEATHING
3.	FIBER CANT STRIP
4.	2 x 8 LEDGER
5.	2 x 4 ROOF FRAMING AT 24" o.c.
6.	2 x 4 STUDS AT 16" o.c.
7.	STONE MOLDING
8.	STUCCO OVER PAPER BACKED WIRE LATH
9.	BRICK VENEER
10.	4" THICK CONCRETE SLAB OVER 2" SAND FILL
11.	CONCRETE FOOTING
12.	ASPHALT PAVING TO CITY OF SELMA P.W. STANDARDS
13.	CONCRETE STEM WALL
14.	2 x 4 FOUNDATION GRADE SILL PLATE
15.	AWNING
16.	5/8" PLYWOOD AT WALLS
17.	5/8" PLYWOOD AT CEILING



DETAIL 3
SCALE: 1" = 1'-0"

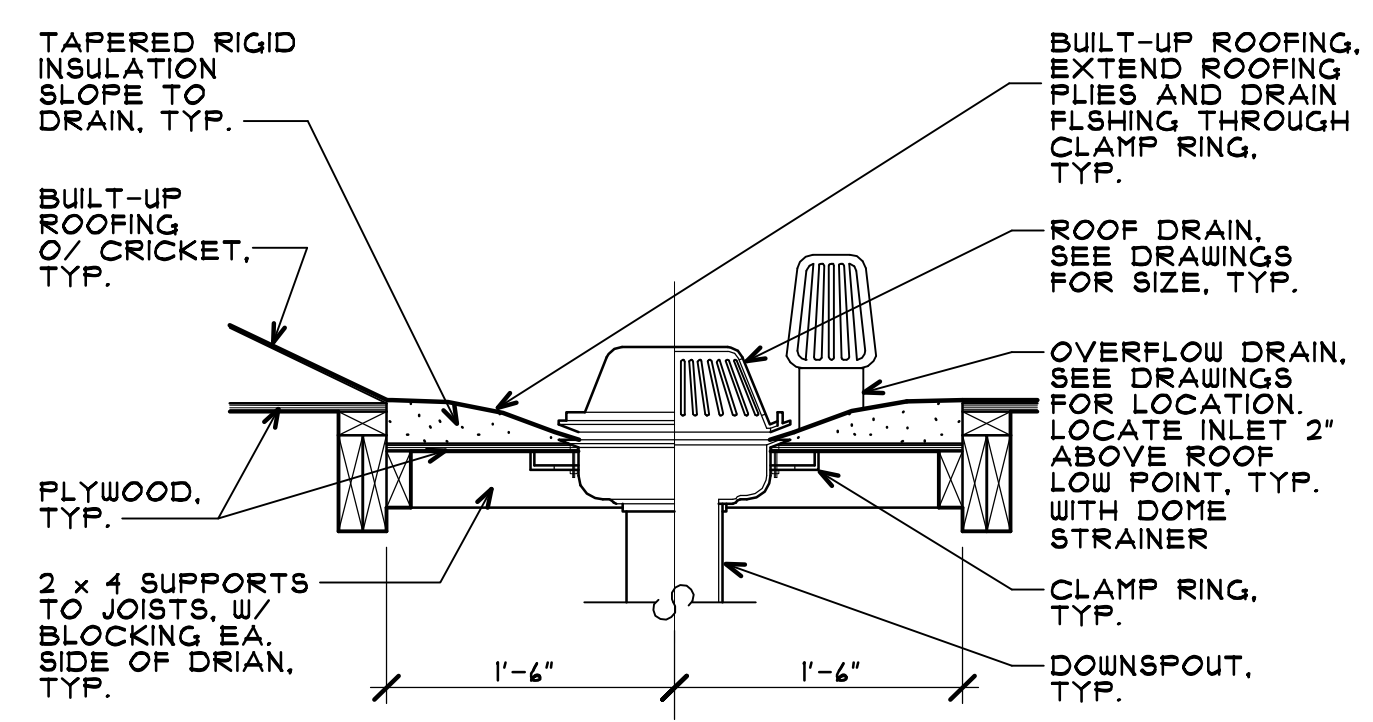


DETAIL 6
SCALE: 6" = 1'-0"

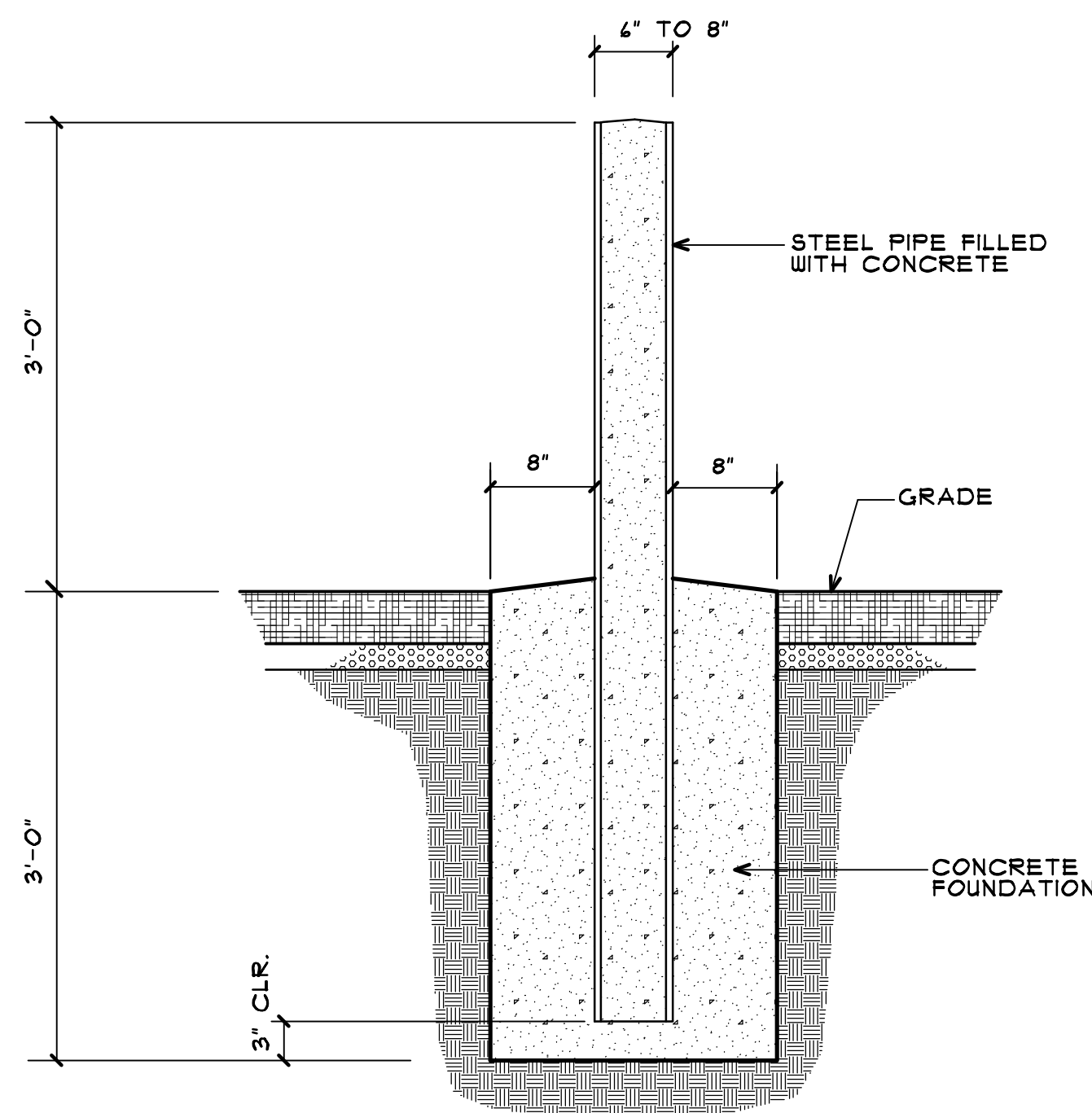


ATM - ROOF PLAN
SCALE: 3/8" = 1'-0"

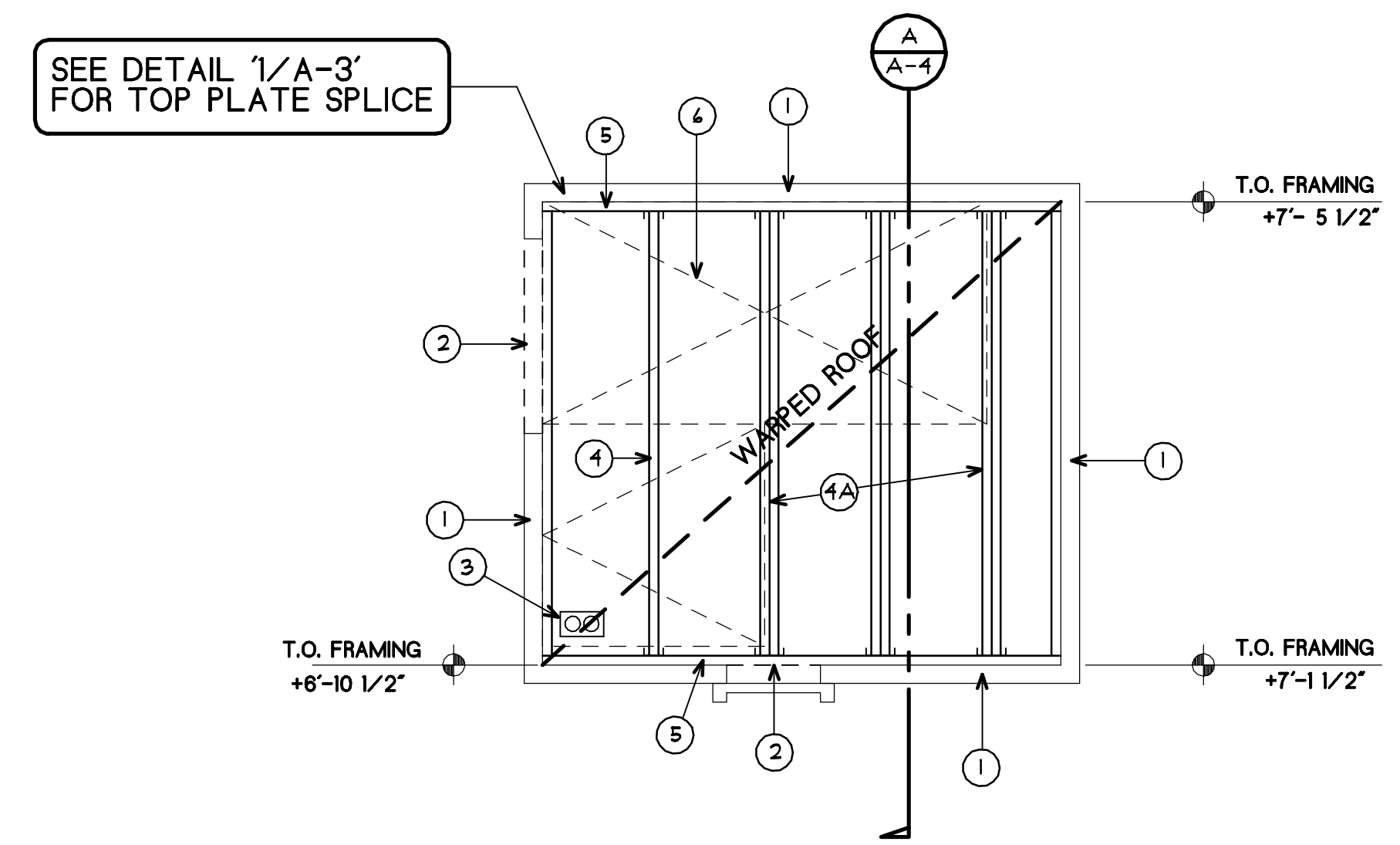
ROOF NOTE KEY	
1.	WALLS BELOW
2.	PARAPET WALL, TYPICAL
3.	CLASS 'B' MINIMUM BUILT-UP ROOF
4.	ARROWS INDICATE DIRECTION OF ROOF SLOPE
5.	FIBER CANT STRIP SEE DETAIL '1/D-1'
6.	2" DIAMETER ROOF DRAIN AND OVERFLOW DRAIN
7.	2" DIAMETER DRAIN PIPE WITH 1/4" PER FOOT SLOPE, RUN PIPE DOWN WALL AND DAYLIGHT AT SPLASHBLOCK
8.	2" DIAMETER DRAIN PIPE WITH 1/4" PER FOOT SLOPE, RUN PIPE DOWN WALL AND DAYLIGHT AT SPLASHBLOCK
9.	METAL AWNING BELOW



DETAIL 2
SCALE: 1" = 1'-0"



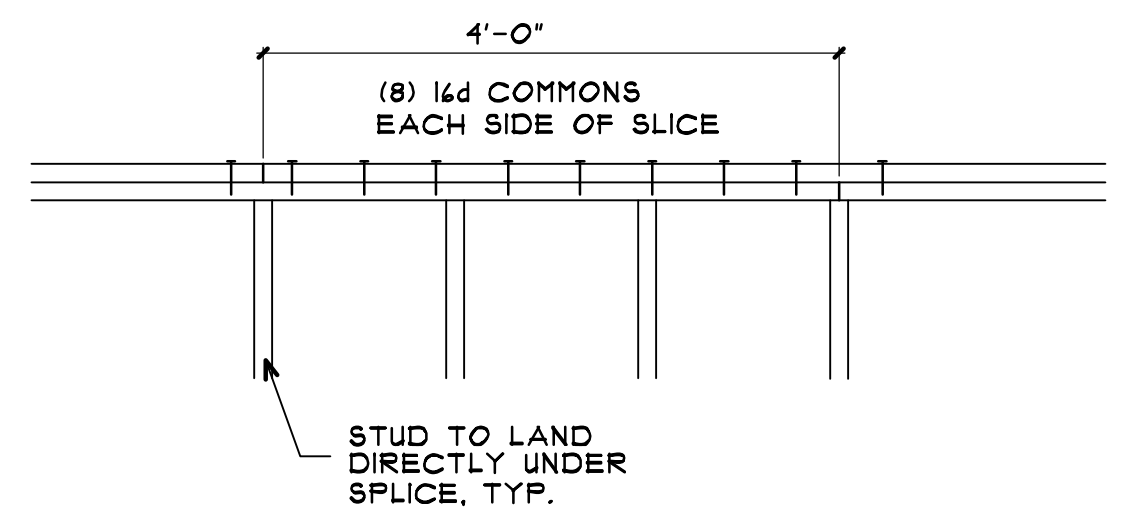
DETAIL 5
SCALE: 1" = 1'-0"



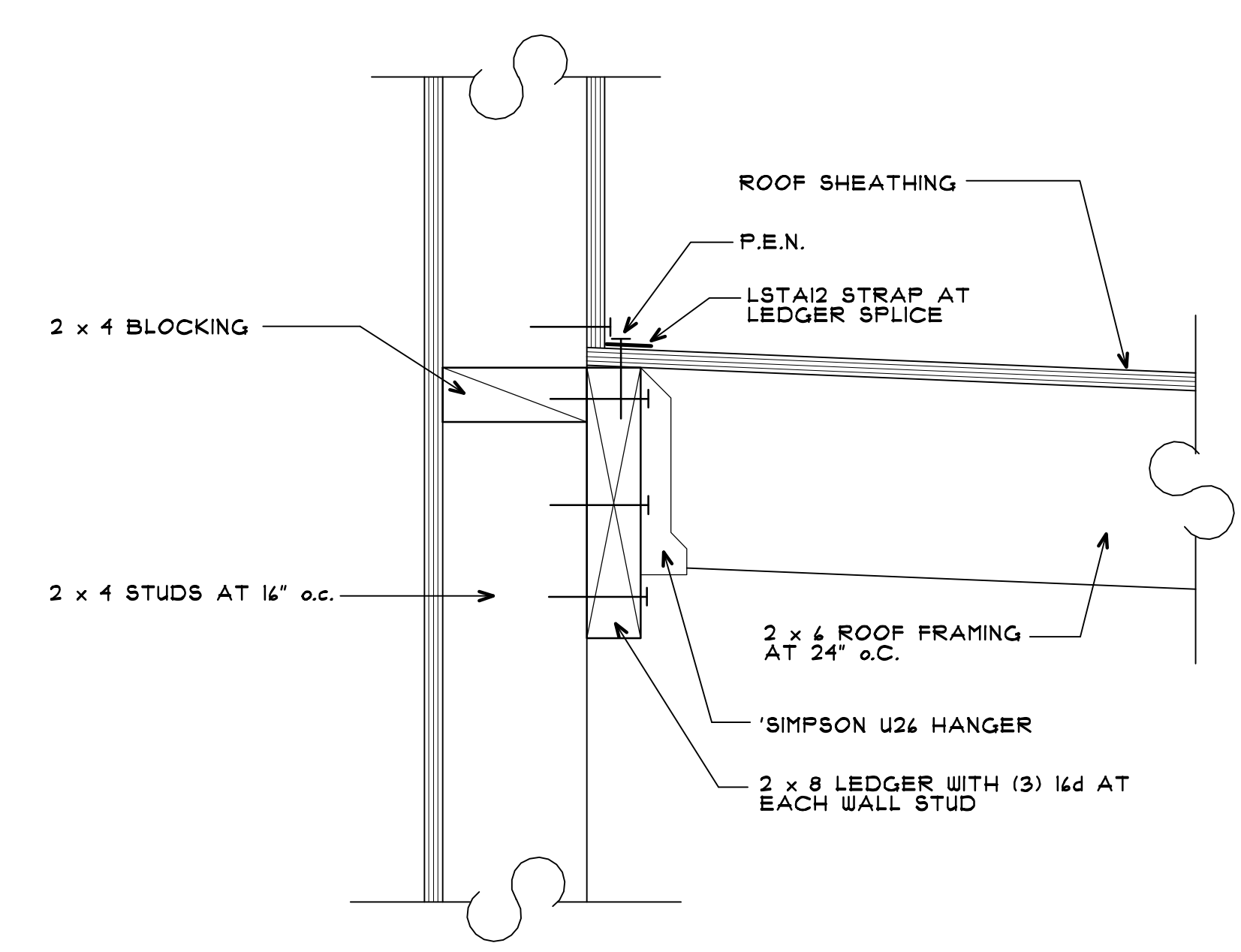
ATM - ROOF FRAMING
SCALE: 3/8" = 1'-0"

ROOF FRAMING KEY	
1.	EXTERIOR WALLS
2.	4 x 4 D.F. NO. 2 HEADER WITH (1) 2 x 4 D.F. #2 TRIMMER AND KINGSTUD EACH END MIN. NOTE: HEADER SPAN UP TO 4'-0"
3.	WARP ROOF TO ROOF DRAIN
4.	2 x 4 D.F. NO. 2 ROOF FRAMING AT 24" o.c. WITH 'SIMPSON' U24 HANGER AT EACH END
4A.	(2) 2 x 4 D.F. NO. 2 ROOF FRAMING AT 24" o.c. UNDER ROOF MOUNTED EQUIPMENT. PROVIDE 'SIMPSON' U24-2 HANGER AT EACH END
5.	2 x 8 LEDGER WITH (3) 1/4" TO EACH WALL STUD
6.	ROOF SHEATHING: 15/32" RATED SHEATHING WITH 8d COMMONS AT 4" o.c. EDGE NAILING AND 12" o.c. FIELD NAILING (UNBLOCKED) NOTE: PROVIDE (8) 1/4" COMMONS EACH SIDE OF EACH DOUBLE TOP PLATE SPLICE. PROVIDE LSTA24 STRAP AT EACH 2 x 8 LEDGER SPLICE, MIN.

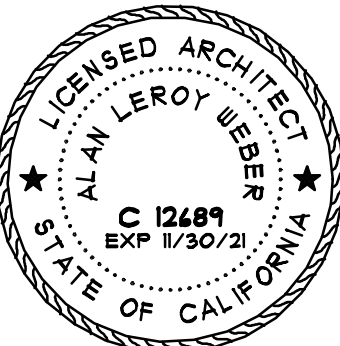
- NOTES**
- ALL FRAMING LUMBER TO BE D.F. #2 OR BETTER
 - LOADS:
ROOF DEAD LOAD : 15 PSF
ROOF LIVE LOAD : 20 PSF
WALL DEAD LOAD : 18 PSF



TYPICAL TOP PLATE SPLICE DETAIL
SCALE: 3/4" = 1'-0"



DETAIL 4
SCALE: 3" = 1'-0"



Weber Iness
associates, inc.

4542 N. Safford Ave.
Fresno, Ca 93711
559-284-0492

DATE: FEB. 1, 2021
JOB NO.: 2104

A-4

OF SHEETS

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Visalia RV Self-Storage Date: April 7, 2021
 Project Description: Covered RV Self-Storage - Approx. 6.62 acres with 1.8 acres future self-storage & 3 separate residential lots.
 Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: Ref. 18-156 R&P
 Property Owner: Theodore Caldwell
 Applicant(s) Name: Theodore Caldwell
 Project Address/Location: 6415 W. Doe Ave (W. Doe Ave & N. El Cajon St.)
 Assessor Parcel Number: 077-720-001 thru 007 & 077-730-001 thru 002
 Parcel Size (Acreage or Square Feet): 9.22 Acres Building or Suite Square Footage: _____

Are There Any Proposed Building Modifications: Yes No
 Estimated Cost of Modifications to Building: \$ N/A
 Describe All Proposed Building Modifications: N/A

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 04/07/2021
 SPR Agenda: 04/14/2021 Item No. _____
 Zone: C-S SPR No. 21-062
 Historic District: Yes No
 Flood Zone: X AE X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Vacant
 Proposed Building Use: Covered RV Parking Self-Storage
 Proposed Hours of Operation: 7am to 10pm
 Days of Week In Operation (Circle): Su M T W Th F Sa
 Number of Employees Per Day: Existing 0 Proposed (1) shared w/ existing
 Number of Customers Per Day (Estimated): Existing 0 Proposed (10) Security self-storage
 Predicted Peak Operating Hour: 10am to 4pm
 Describe Any Truck Delivery Schedule & Operations: None

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees
 (Provide Separate Attachment if Necessary): None

Describe Any Special Events Planned for the Facility: None other than the Grand Opening

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇓ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇓ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇓ Site plan shall provide for and indicate all of the following:
 - North arrow
 - Existing & proposed structures
 - Loading/unloading areas
 - All existing & proposed site features
 - Adjacent street names
 - Accessible path of travel from right of way
 - Site dimensions, including building
 - Refuse enclosures & containers
 - Accessible path of travel from ADA stall
 - Existing and proposed fencing at site
 - Valley oak trees (show drip line)
 - Location and width of drive approaches to site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed landscaping
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
 - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Theodore Caldwell Signature of Owner or Authorized Agent*
 Address: P.O. Box 38  Date: April 7, 2021
 City, State, Zip: Davis, CA 95617 Owner
 Phone: (530) 383-2233 (cell) Authorized Agent*
 Email: tedcaldwell@sbcglobal.net Date

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, _____, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

AGENT:

I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

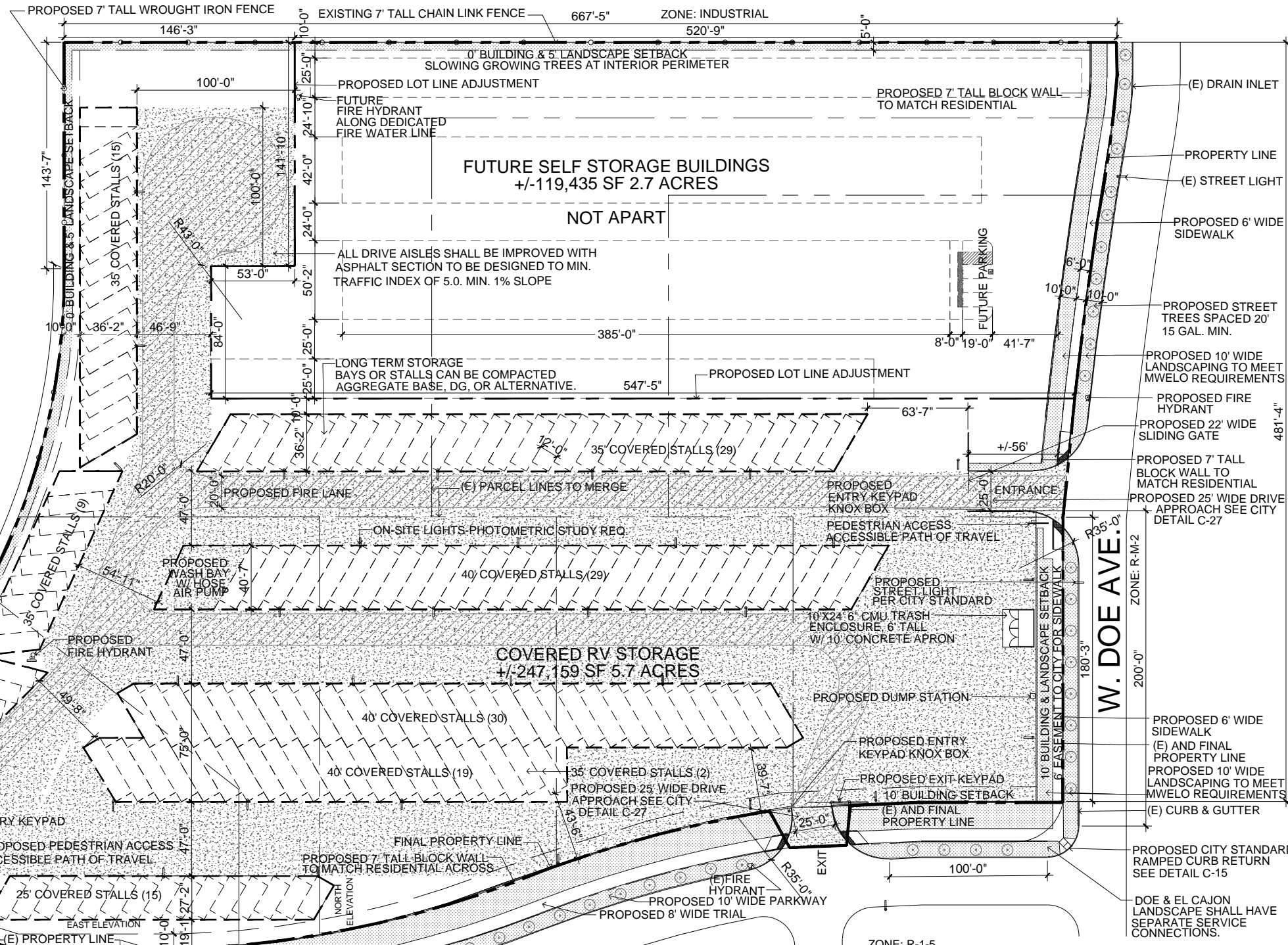
Executed this _____ day of _____, 20____.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number

PROJECT TO COMPLY WITH 2016 CBC, CFC, & CITY OF VISALIA CODES.

SITE NOTES:

1. REPLACE ANY CURB & GUTTER ACROSS THE PUBLIC STREET FRONTAGE(S) OF THE SUBJECT SITE THAT HAS BECOME UNEVEN & HAS CREATED AREAS WHERE WATER CAN STAND.
2. RIGHT-A-WAY DEDICATION REQ. A TITLE REPORT IS REQUIRED FOR VERIFICATION OF OWNERSHIP.
3. DEED REQ. PRIOR TO ISSUING BUILDING PERMIT. LANDSCAPE LOT DEDICATIONS REQ.
4. CITY ENCROACHMENT PERMIT REQ. FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
5. LANDSCAPE & LIGHTING DISTRICT/HOME OWNERS ASSOCIATION REQ. PRIOR TO APPROVAL OF FINAL MAP. LANDSCAPE & LIGHTING DISTRICT WILL MAINTAIN COMMON AREA LANDSCAPING, STREET LIGHTING, STREET LIGHTS, STREET TREES & LOCAL STREETS AS APPLICABLE. SUBMIT COMPLETED LANDSCAPE & LIGHTING DISTRICT APPLICATION & FILING FEE A MIN. OF 75 DAYS BEFORE APPROVAL OF FINAL MAP.
6. LANDSCAPE & IRRIGATION IMPROVEMENT PLANS TO BE SUBMITTED FOR EACH PHASE. LANDSCAPE PLANS WILL NEED TO COMPLY WITH THE CITY'S STREET TREE ORDINANCE. THE LOCATIONS OF STREET TREES NEAR INTERSECTIONS WILL NEED TO COMPLY WITH PLATE SD-1 OF THE CITY IMPROVEMENT STANDARDS. A STREET TREE & LANDSCAPE MASTER PLAN FOR ALL PHASES WILL NEED TO BE SUBMITTED WITH THE INITIAL PHASE TO ASSIST CITY STAFF IN THE FORMATION OF THE LANDSCAPE & LIGHTING ASSESSMENT DISTRICT.
7. GRADING & DRAINAGE PLAN REQ. ALL ELEVATIONS SHALL BE BASED ON THE CITY'S BENCHMARK NETWORK. STORM RUN-OFF SHALL BE DIRECTED TO THE CITY'S EXISTING STORM DRAINAGE SYSTEM.
8. GRADING PERMIT IS REQ. FOR CLEARING & EARTHWORK PERFORMED PRIOR TO ISSUANCE OF THE BUILDING PERMIT.
9. SHOW FINISH ELEVATIONS. (MIN. SLOPES: A.C. PAVEMENT 1%, CONCRETE PAVEMENT 0.25%, CURB & GUTTER 0.020%, V-GUTTER 0.25%).
10. SHOW ADJACENT PROPERTY GRADE ELEVATIONS. A RETAINING WALL WILL BE REQ. FOR GRADE DIFFERENCES GREATER THAN 0.5 FEET AT THE PROPERTY LINE.
11. INSTALL STREET STRIPING AS REQ. BY THE CITY ENGINEER.
12. MIN. PAVING SECTION FOR PARKING: 2" ASPHALT CONCRETE PAVING OVER 4" CLASS 2 AGG. BASE.
13. DESIGN PAVING SECTION TO TRAFFIC INDEX OF 5.0 MIN. FOR SOLID WASTE TRUCK TRAVEL PATH.
14. FUGITIVE DUST WILL BE CONTROLLED IN ACCORDANCE WITH APPLICABLE RULES OF SAN JOAQUIN VALLEY AIR DISTRICT'S REGULATION VIII. COPIES OF ANY REQ. PERMITS WILL BE PROVIDED TO THE CITY.
15. LANDSCAPE & IRRIGATION PLANS REQ. BY THE ORDINANCE. PRIOR TO FINAL FOR THE PROJECT A SIGNED CERTIFICATE OF COMPLIANCE FOR THE MWELO STANDARDS IS REQ. LOW & THIN LANDSCAPE TO DETER CRIME.
16. ADDRESS NUMBERS MUST BE PLACED ON THE EXTERIOR OF THE BUILDING IN SUCH A POSITION AS TO BE CLEARLY & PLAINLY VISIBLE FROM THE STREET. NUMBERS WILL BE AT LEAST 4" HIGH & EAST 1/2" WIDE BY 18" HIGH & HAVE RED LETTERS ON WHITE REFLECTIVE BACKGROUND. 2016 CFC 506.1
17. ALL HARDWARE ON EXIT DOORS SHALL COMPLY WITH THE 2016 CAL FIRE CODE. THIS INCLUDES ALL LOCKS, LATCHES, BOLT LOCKS, PANIC HARDWARE, FIRE EXIT HARDWARE & GATE.
18. KNOX BOX KEY LOCK SYSTEM REQ. AT GATES. A KEY BOX IS TO BE INSTALLED IN AN APPROVED LOCATION. THE KEY BOX SHALL BE ORDERED USING AN APPROVED KNOX AUTHORIZATION ORDER FORM. THE FORMS ARE LOCATED AT THE FIRE DEPT. ADMIN. OFFICE AT 420 N. BURKE VISALIA. 2016 CFC 506.1
19. APPROVED NO PARKING-FIRE LANE SIGNS SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS. SIGNS SHALL HAVE BE A MIN. 12" WIDE BY 18" HIGH & HAVE RED LETTERS ON WHITE REFLECTIVE BACKGROUND. 2016 CFC 503.3
20. "NO PARKING FIRE LANE" SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT OBSTRUCTION THEREOF. CFC 503.3
21. GATES ON ACCESS ROADS SHALL BE A MIN. WIDTH OF 20' & WITH THE FOLLOWING 2016 CFC D103.5: GATES SHALL BE OF SWINGING OR SLIDING TYPE. GATES SHALL ALLOW MANUAL OPERATION BY ONE PERSON. GATES SHALL BE MAINTAINED IN AN OPERATIVE CONDITION AT ALL TIMES. ELECTRIC GATES SHALL BE EQUIPPED WITH A MEANS OF OPENING THE GATE BY THE FIRE DEPT. FOR EMERGENCY ACCESS. SEE NOTE #18.
22. SOLID WASTE NOTES:
CUSTOMER TO PROVIDE COMBINATION OR KEYS FOR ACCESS TO LOCKED GATES. PAVED AREAS SHOULD BE ENGINEERED TO WITHSTAND 65,000 LB. REFUSE TRUCK. AREA IN FRONT OF REFUSE MUST BE MARKED OFF INDICATING NO PARKING. CONCRETE SLAB IN FRONT OF ENCLOSURE AS PER CITY STANDARDS. WIDTH OF THE ENCLOSURE BY 10', MIN. 6" IN DEPTH.
23. CONTRACTOR TO CONTRACT W/CITY FOR REMOVAL OF CONSTRUCTION DEBRIS UNLESS TRANSPORTED IN EQ. OWNED BY CONTRACTOR OR UNLESS CONTRACTING W/ A FRANCHISE PERMITEE FOR REMOVAL OF DEBRIS UTILIZING ROLL-OFF BOXES.
24. FIRE HYDRANTS, SERVICES, & BACK FLOW REQ. PER CWS SPEC.



VICINITY MAP
SCALE: NONE

SITE SUMMARY

PROJECT OWNER: TED CALDWELL
P.O. BOX 38
DAVIS, CA 95617

PROJECT LOCATION: SWC DOE & EL CAJON
VISALIA, CA
APN: 077-720-001 to 007
077-730-001 to 002

ZONING

PROPOSED USE: RV STORAGE & RESIDENTIAL PARCELS

SITE ACREAGE: +/-395,268 SF +/-9.07 ACRES

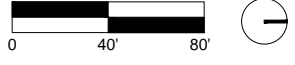
ZONE: O-PA PROFESSIONAL ADMIN. OFFICE

PROPOSED ZONE: CS SERVICE COMMERCIAL & R-1-5 RESIDENTIAL

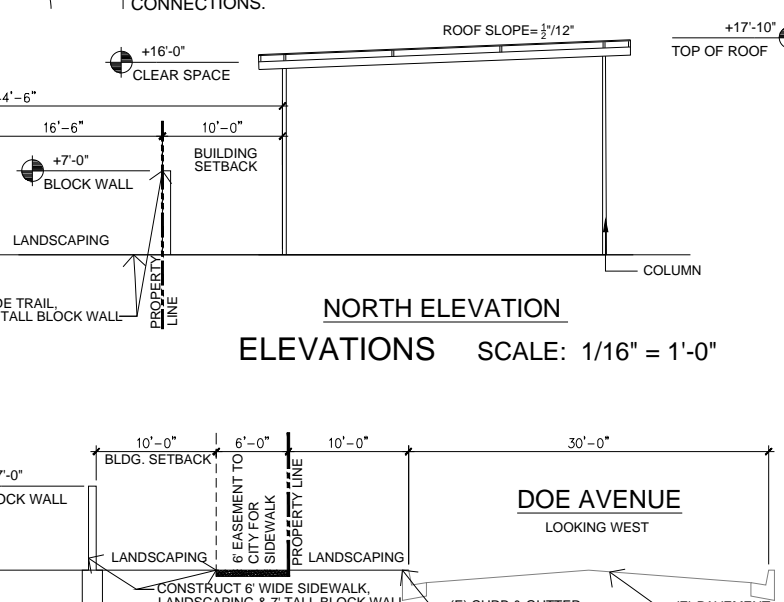
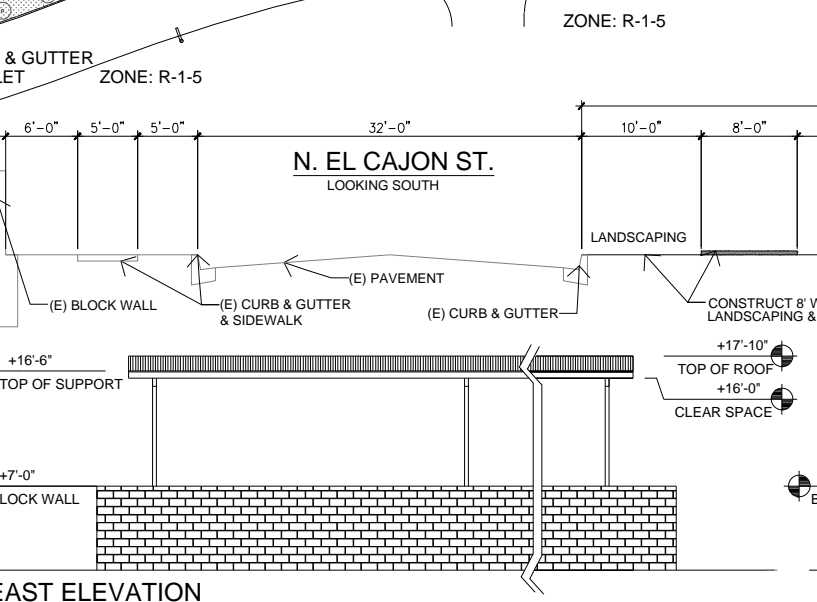
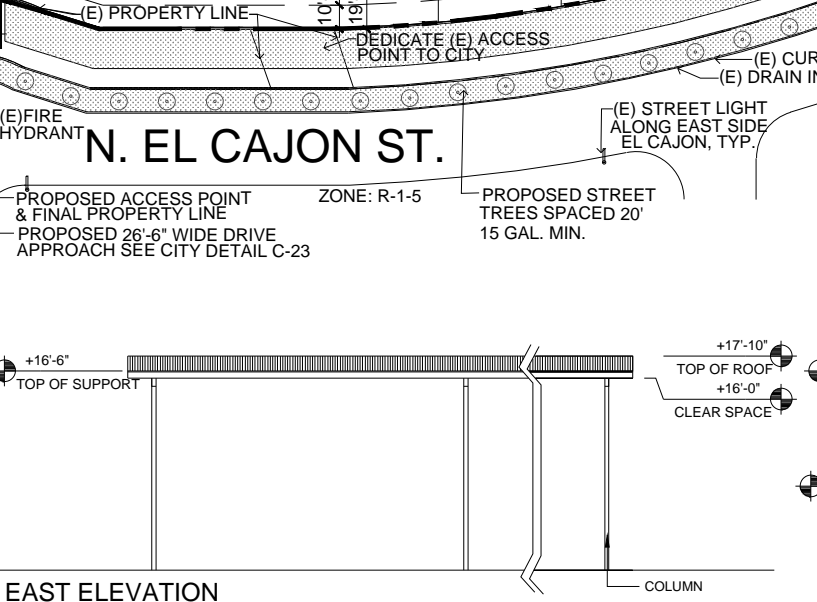
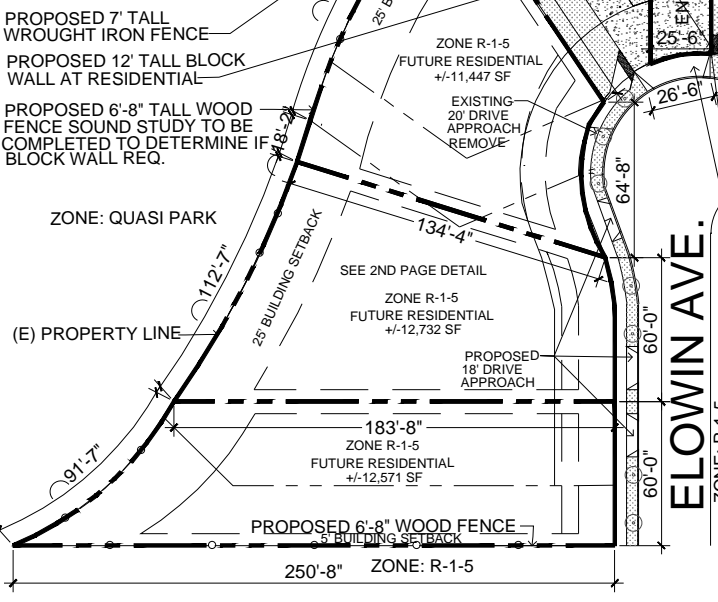
PARKING DATA

25' LONG COVERED STALLS:	15
35' LONG COVERED STALLS:	64
40' LONG COVERED STALLS:	78
TOTAL STALLS:	157

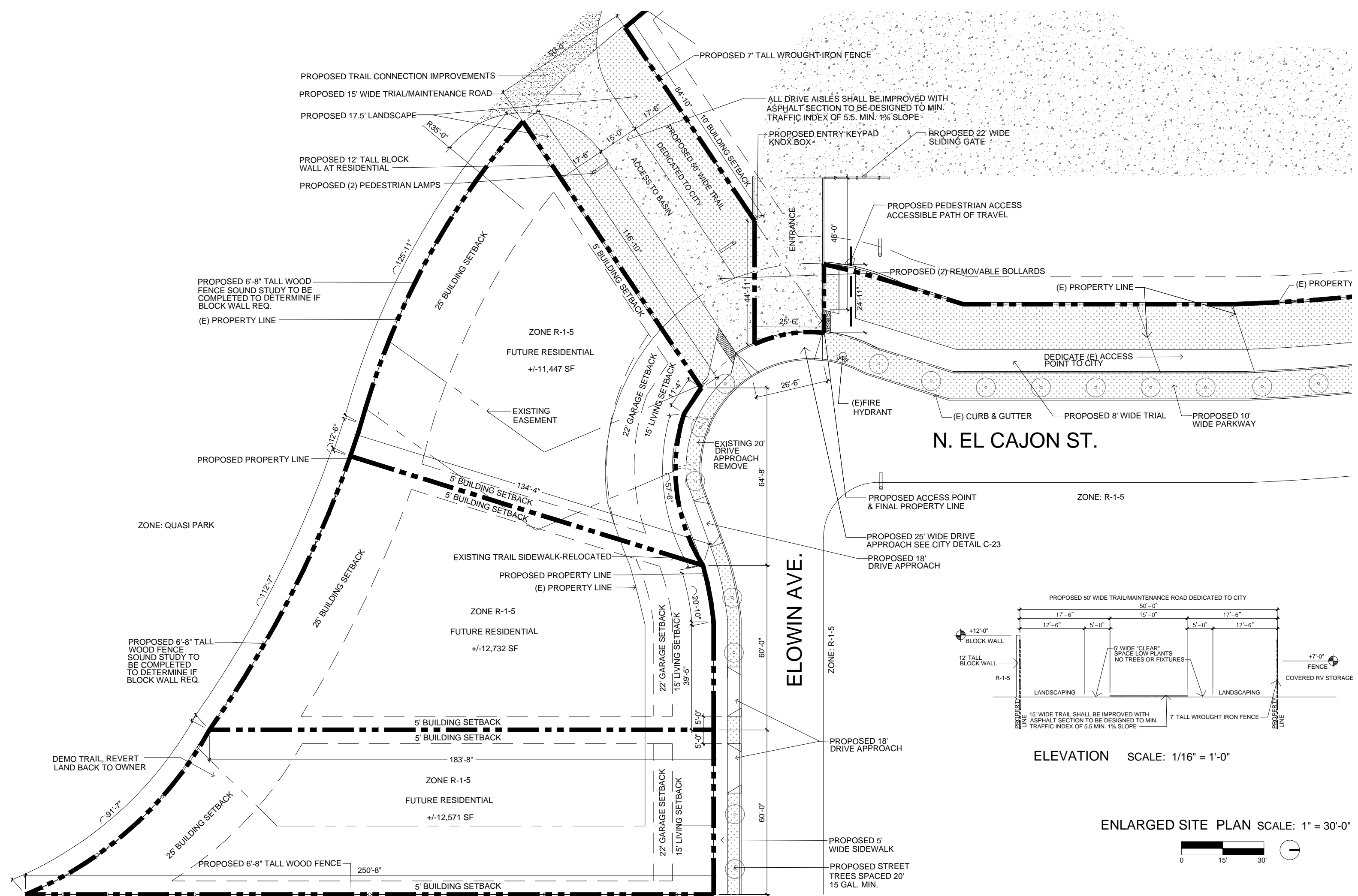
SITE PLAN SCALE: 1" = 80'-0"



MICHELLE CRINKLAW HUERTA, AIA
10100 KINGS RIVER ROAD
REEDLEY, CA 93654
559-408-4200
MICHELLE@M-ARCHDESIGN.COM



NORTH ELEVATION
ELEVATIONS SCALE: 1/16" = 1'-0"



PROPOSED TRAIL CONNECTION IMPROVEMENTS
 PROPOSED 15' WIDE TRIAL/MAINTENANCE ROAD
 PROPOSED 17.5' LANDSCAPE
 PROPOSED 12' TALL BLOCK WALL AT RESIDENTIAL
 PROPOSED (2) PEDESTRIAN LAMPS

ALL DRIVE AISLES SHALL BE IMPROVED WITH ASPHALT SECTION TO BE DESIGNED TO MIN. TRAFFIC INDEX OF 5.5. MIN. 1% SLOPE

PROPOSED ENTRY KEYPAD KNOX BOX
 PROPOSED 22' WIDE SLIDING GATE

PROPOSED PEDESTRIAN ACCESS ACCESSIBLE PATH OF TRAVEL

PROPOSED (2) REMOVABLE BOLLARDS

PROPOSED 6'-8" TALL WOOD FENCE SOUND STUDY TO BE COMPLETED TO DETERMINE IF BLOCK WALL REQ.
 (E) PROPERTY LINE

ZONE R-1-5
 FUTURE RESIDENTIAL
 +/-11,447 SF

(E) PROPERTY LINE
 (E) PROPERTY

DEDICATE (E) ACCESS POINT TO CITY

N. EL CAJON ST.

PROPOSED ACCESS POINT & FINAL PROPERTY LINE

ZONE: R-1-5

PROPOSED 25' WIDE DRIVE APPROACH SEE CITY DETAIL C-23

PROPOSED 18' DRIVE APPROACH

ZONE: QUASI PARK

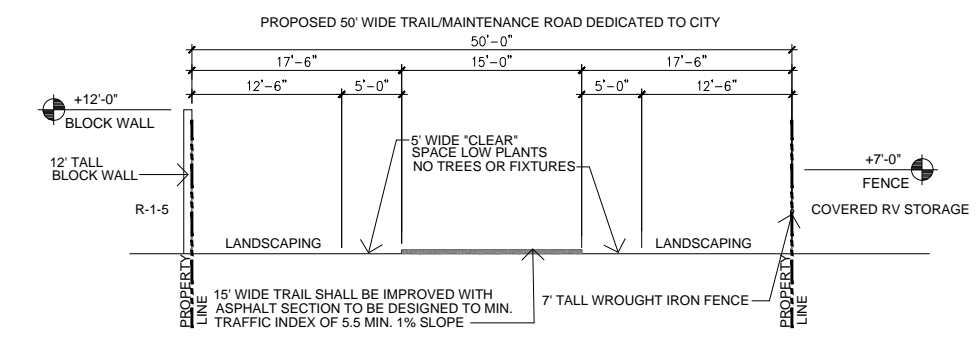
EXISTING TRAIL SIDEWALK-RELOCATED
 PROPOSED PROPERTY LINE (E) PROPERTY LINE

ZONE R-1-5
 FUTURE RESIDENTIAL
 +/-12,732 SF

ELOWIN AVE.

ZONE: R-1-5

PROPOSED 18' DRIVE APPROACH



ELEVATION SCALE: 1/16" = 1'-0"

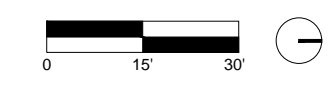
DEMO TRAIL, REVERT LAND BACK TO OWNER

ZONE R-1-5
 FUTURE RESIDENTIAL
 +/-12,571 SF

PROPOSED 5' WIDE SIDEWALK

PROPOSED STREET TREES SPACED 20' 15 GAL. MIN.

ENLARGED SITE PLAN SCALE: 1" = 30'-0"



CITY OF VISALIA SITE PLAN REVIEW APPLICATION

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- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: AMERICAN INC., OLD JOSTENS SITE Date: APRIL 7, 2021

Project Description: TENTATIVE FINAL PARCEL MAP TO DIVIDE THE REMAINDER OF
PARCEL MAP NO. 4764

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: AMERICAN, INC. (BUTCH OLDFIELD)

Applicant(s) Name: LANE ENGINEERS, INC.

Project Address/Location: WEST OF KELSEY ST. AND SOUTH OF CROWLEY AVE.

Assessor Parcel Number: 081 - 170 - 013

Parcel Size (Acreage or Square Feet): 18.97 ACRES +/- Building or Suite Square Footage: N/A

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ N/A

Describe All Proposed Building Modifications: N/A

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 04/07/2021

SPR Agenda: 04/14/2021 Item No. _____

Zone: BRP SPR No. 21-063

Historic District: Yes No

Flood Zone: X AE X/AE

OPERATIONS & TRAFFIC INFORMATION

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

Existing/Prior Building Use: PRINTING

Proposed Building Use: PRINTING

Proposed Hours of Operation: N/A

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing N/A Proposed N/A

Number of Customers Per Day (Estimated): Existing N/A Proposed N/A

Predicted Peak Operating Hour: N/A

Describe Any Truck Delivery Schedule & Operations: N/A

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees
 (Provide Separate Attachment if Necessary): N/A

Describe Any Special Events Planned for the Facility: N/A

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - All existing & proposed site features
 - Site dimensions, including building
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
 - Adjacent street names
 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>LANE ENGINEERS, INC.</u>	Signature of Owner or Authorized Agent*	
Address: <u>979 NB. BLACKSTONE</u>	Owner	<u>APRIL 7, 2021</u>
City, State, Zip <u>TULARE, CA, 93274</u>	<u>BEN MULLINS</u> <i>Ben Mullins</i>	Date <u>04/08/2021</u>
Phone: <u>559-688-5263</u>	Authorized Agent*	Date
Email: <u>ben@laneengineers.com</u>		

* If signed by an authorized agent , the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

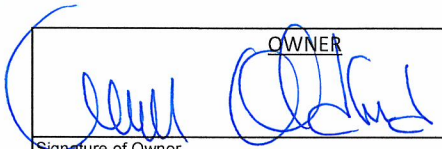

AGENCY AUTHORIZATION FORM

OWNER:
I, BUTCH OLDFIELD, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):
081-170-013

AGENT:
I designate LANE ENGINEERS, INC., to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to TENTATIVE PARCEL MAP relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 8 day of APRIL, 2021.

OWNER	AGENT
	
Signature of Owner	Signature of Agent
<u>1345 N. AMERICAN ST. VISALIA, CA 93291</u>	<u>979 N. BLACKSTONE ST. TULARE, CA 93274</u>
Owner Mailing Address	Agent Mailing Address
<u>559-730-6910</u>	<u>559-688-5263</u>
Owner Phone Number	Agent Phone Number

VESTING TENTATIVE PARCEL MAP

BEING A DIVISION OF THE REMAINDER OF PARCEL MAP NO. 4764 RECORDED IN BOOK 48, PAGE 69 OF PARCEL MAPS, T.C.R., SITUATED IN THE SE 1/4 OF SECTION 29 TOWNSHIP 18 SOUTH, RANGE 24 EAST, M.D.B. & M.

OWNER(S): BUTCH OLDFIELD FOR AMERICAN, INC.
1345 N. AMERICAN ST.
VISALIA, CA 93291

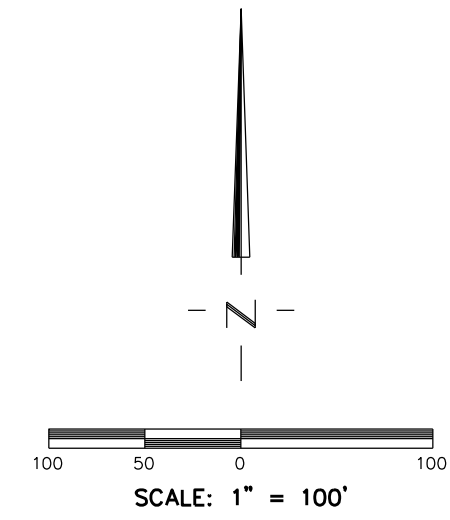
SURVEYOR/APPLICANT: LANE ENGINEERS, INC.
979 N. BLACKSTONE ST.
TULARE, CA 93274
PH. (559) 688-5263

APRIL 2021

OWNER'S STATEMENT

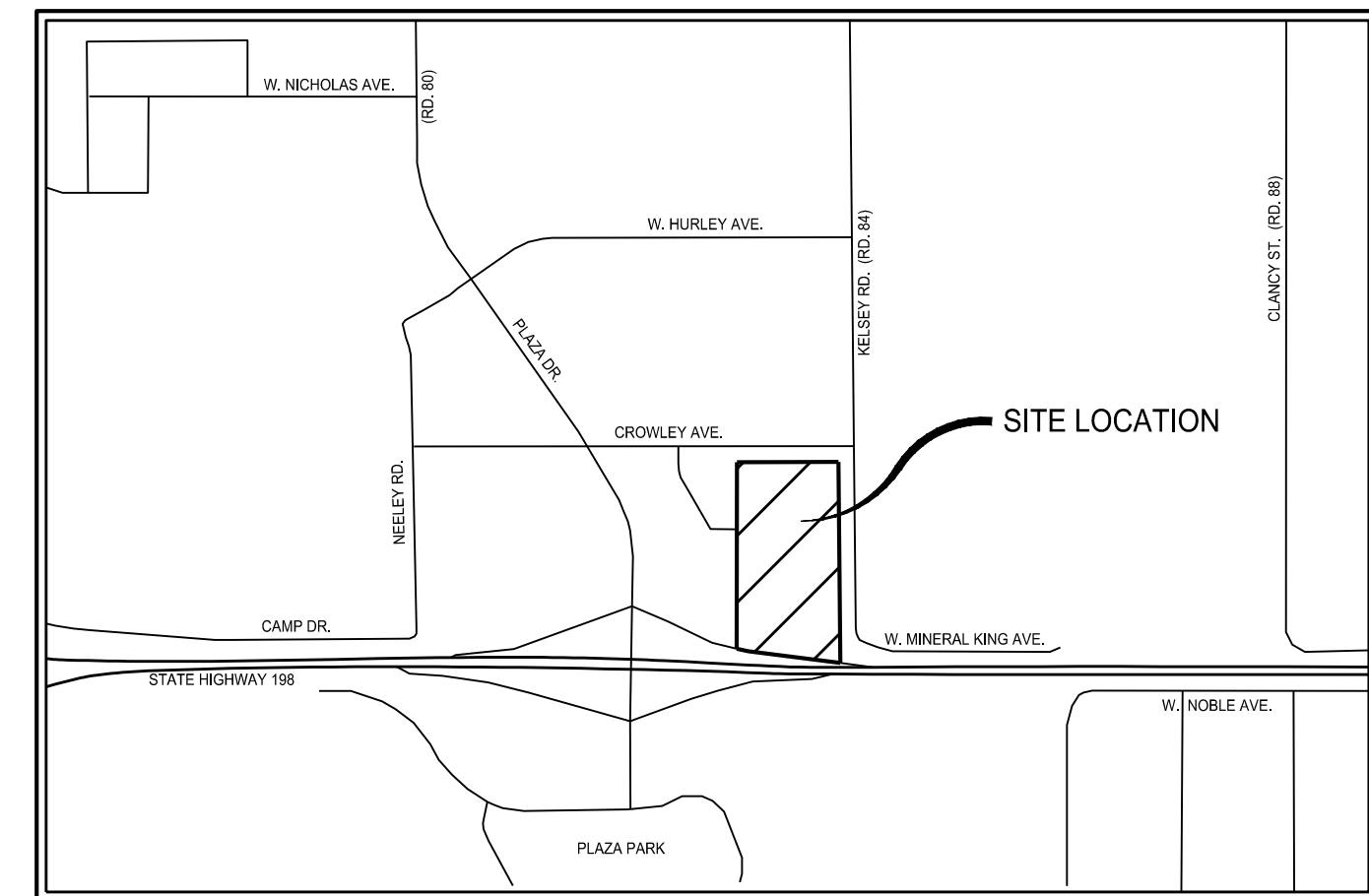
I HEREBY STATE THAT I AM THE OWNER OF OR HAVE A RECORD TITLE IN THE REAL PROPERTY PROPOSED TO BE SUBDIVIDED AS SHOWN ON THIS MAP, AND THAT I AM THE ONLY PERSON WHOSE CONSENT IS NECESSARY TO PASS A CLEAR TITLE TO SAID REAL PROPERTY, AND I HEREBY CONSENT TO THE MAKING OF SAID MAP AND SUBDIVISION AS SHOWN WITHIN THE DISTINCTIVE BORDER LINES.

BUTCH OLDFIELD
OWNER



SITE DATA

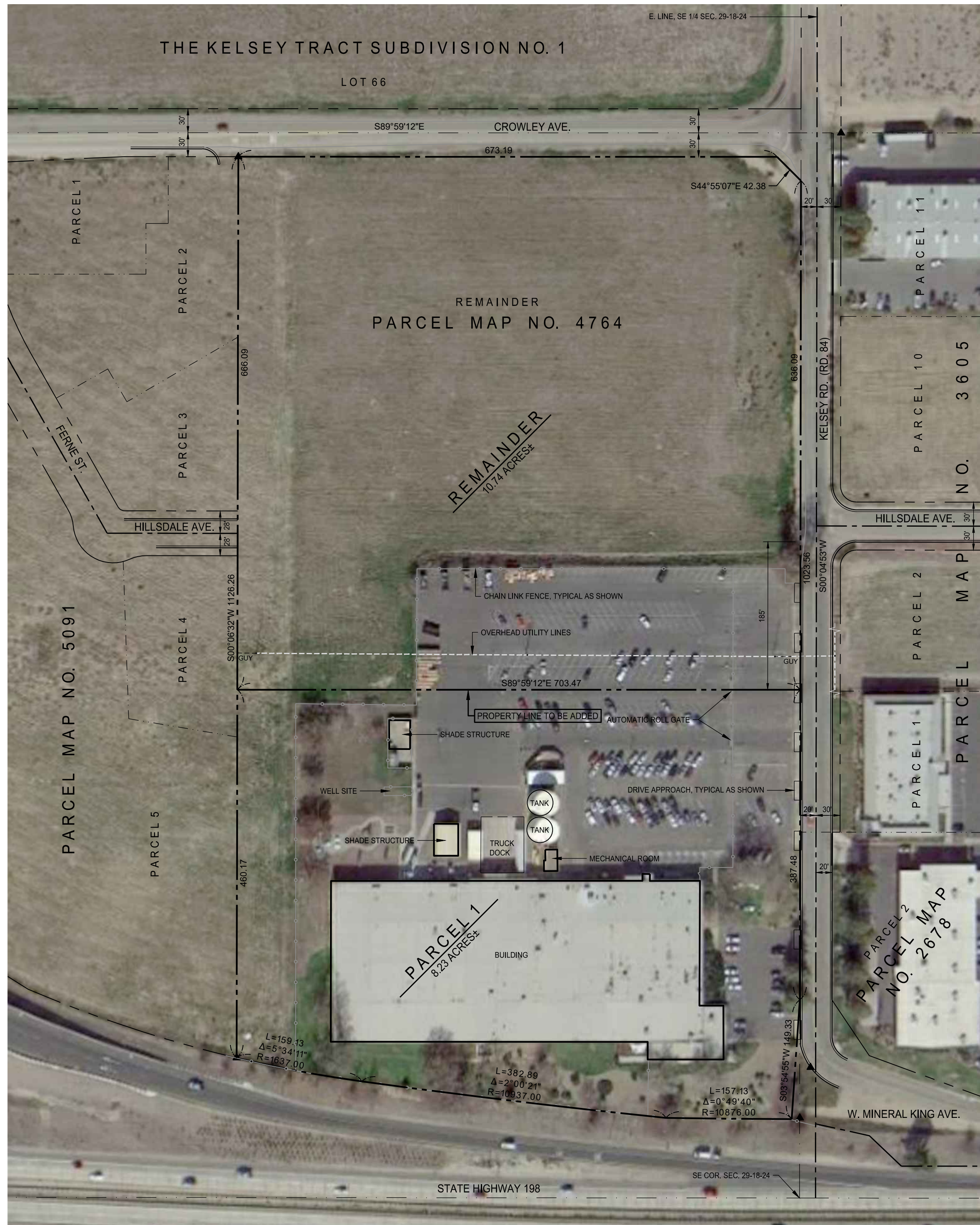
PROPOSED USE	COMMERCIAL
EXISTING USE	COMMERCIAL
EXISTING ZONING	BUSINESS RESEARCH PARK
PROPOSED ZONING	BUSINESS RESEARCH PARK
TELEPHONE	AT&T
WATER	CALIFORNIA WATER SERVICE COMPANY
SEWER	CITY OF VISALIA
SOLID WASTE	TULARE COUNTY SOLID WASTE DEPARTMENT
GAS	SOUTHERN CALIFORNIA GAS COMPANY
POWER	SOUTHERN CALIFORNIA EDISON
A.P.N.	081-170-013
FLOOD ZONE	ZONE X (SHADED)



VICINITY MAP

NOT TO SCALE

ONE SHEET ONLY
JOB NO. 21090



CITY OF VISALIA SITE PLAN REVIEW APPLICATION

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GENERAL PROJECT INFORMATION

Project/Business Name: AMERICAN INC., OLD JOSTENS SITE Date: APRIL 7, 2021

Project Description: TENTATIVE FINAL PARCEL MAP TO DIVIDE THE REMAINDER OF PARCEL MAP NO. 4764

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: AMERICAN, INC. (BUTCH OLDFIELD)

Applicant(s) Name: LANE ENGINEERS, INC.

Project Address/Location: WEST OF KELSEY ST. AND SOUTH OF CROWLEY AVE.

Assessor Parcel Number: 081 - 170 - 013

Parcel Size (Acreage or Square Feet): 18.97 ACRES +/- Building or Suite Square Footage: N/A

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: § N/A

Describe All Proposed Building Modifications: N/A

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 04/07/2021

SPR Agenda: 04/14/2021 Item No. _____

Zone: BRP SPR No. 21-064

Historic District: Yes No

Flood Zone: X AE X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: PRINTING

Proposed Building Use: PRINTING

Proposed Hours of Operation: N/A

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing N/A Proposed N/A

Number of Customers Per Day (Estimated): Existing N/A Proposed N/A

Predicted Peak Operating Hour: N/A

Describe Any Truck Delivery Schedule & Operations: N/A

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): N/A

Describe Any Special Events Planned for the Facility: N/A

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - All existing & proposed site features
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 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
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 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>LANE ENGINEERS, INC.</u>	Signature of Owner or Authorized Agent*	
Address: <u>979 NB. BLACKSTONE</u>		<u>APRIL 7, 2021</u>
City, State, Zip <u>TULARE, CA, 93274</u>	Owner	Date
Phone: <u>559-688-5263</u>	<u>BEN MULLINS</u> <i>Ben Mullins</i>	<u>04/08/2021</u>
Email: <u>ben@laneengineers.com</u>	Authorized Agent*	Date

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION FORM

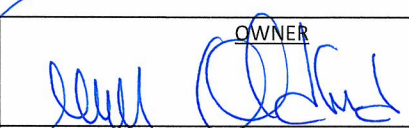

AGENCY AUTHORIZATION

OWNER:
 I, BUTCH OLDFIELD, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):
081-170-013

AGENT:
 I designate LANE ENGINEERS, INC., to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to TENTATIVE PARCEL MAP relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 8 day of APRIL, 2021.

<p>OWNER</p>  _____ Signature of Owner <u>1345 N. AMERICAN ST. VISALIA, CA 93291</u> Owner Mailing Address _____ <u>559-730-6910</u> Owner Phone Number _____	<p>AGENT</p>  _____ Signature of Agent <u>979 N. BLACKSTONE ST. TULARE, CA 93274</u> Agent Mailing Address _____ <u>559-688-5263</u> Agent Phone Number _____
---	--

VESTING TENTATIVE PARCEL MAP

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OWNER(S): BUTCH OLDFIELD FOR AMERICAN, INC.
1345 N. AMERICAN ST.
VISALIA, CA 93291

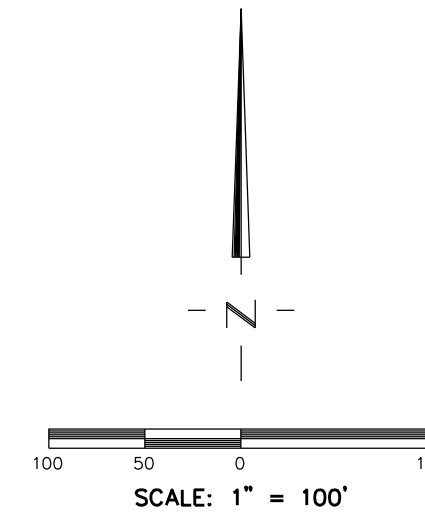
SURVEYOR/APPLICANT: LANE ENGINEERS, INC.
979 N. BLACKSTONE ST.
TULARE, CA 93274
PH. (559) 688-5263

APRIL 2021

OWNER'S STATEMENT

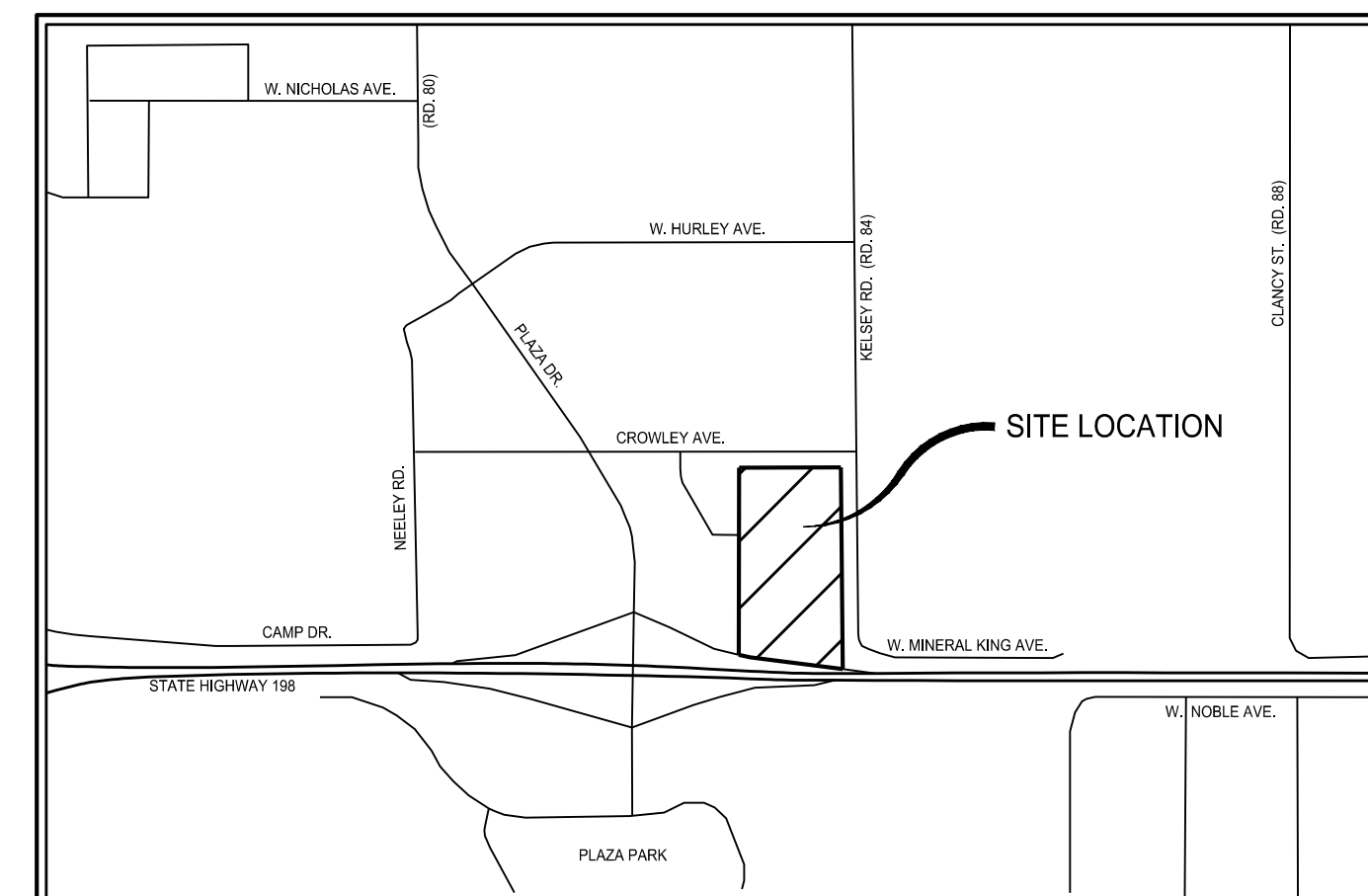
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BUTCH OLDFIELD
OWNER



SITE DATA

PROPOSED USE	COMMERCIAL
EXISTING USE	COMMERCIAL
EXISTING ZONING	BUSINESS RESEARCH PARK
PROPOSED ZONING	BUSINESS RESEARCH PARK
TELEPHONE	AT&T
WATER	CALIFORNIA WATER SERVICE COMPANY
SEWER	CITY OF VISALIA
SOLID WASTE	TULARE COUNTY SOLID WASTE DEPARTMENT
GAS	SOUTHERN CALIFORNIA GAS COMPANY
POWER	SOUTHERN CALIFORNIA EDISON
A.P.N.	081-170-013
FLOOD ZONE	ZONE X (SHADED)



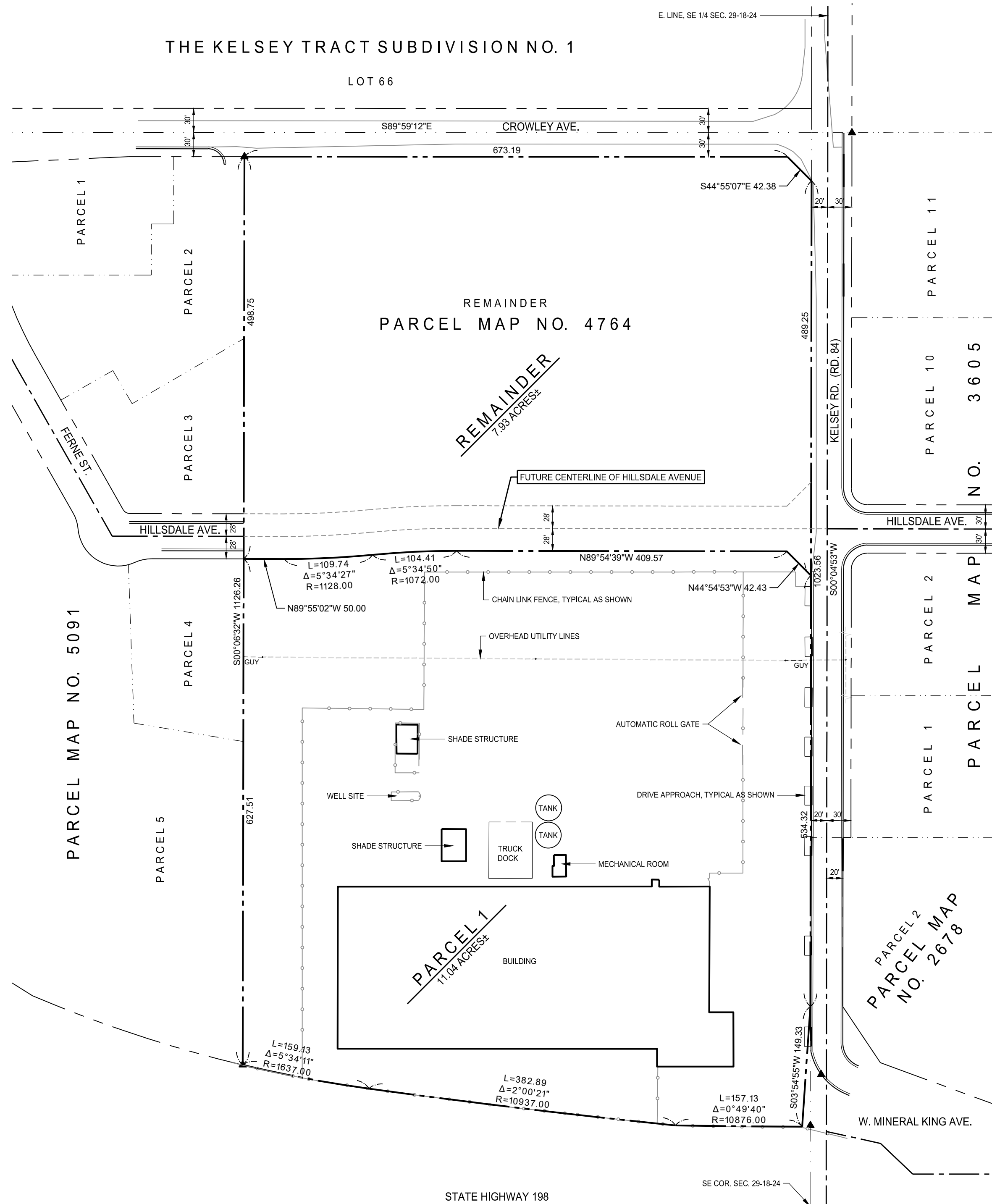
VICINITY MAP

NOT TO SCALE

ONE SHEET ONLY
JOB NO. 21090

THE KELSEY TRACT SUBDIVISION NO. 1

LOT 66



STATE HIGHWAY 198

VESTING TENTATIVE PARCEL MAP

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VISALIA, CA 93291

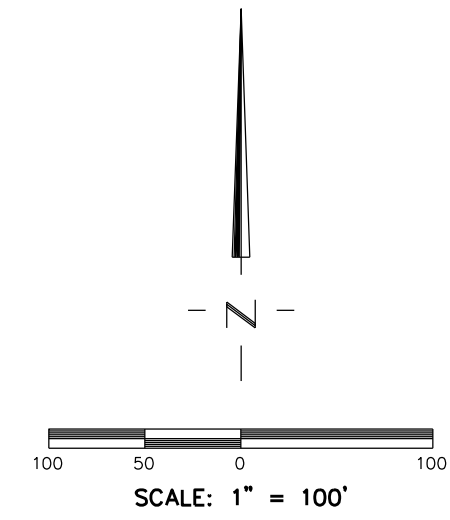
SURVEYOR/APPLICANT: LANE ENGINEERS, INC.
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TULARE, CA 93274
PH. (559) 688-5263

APRIL 2021

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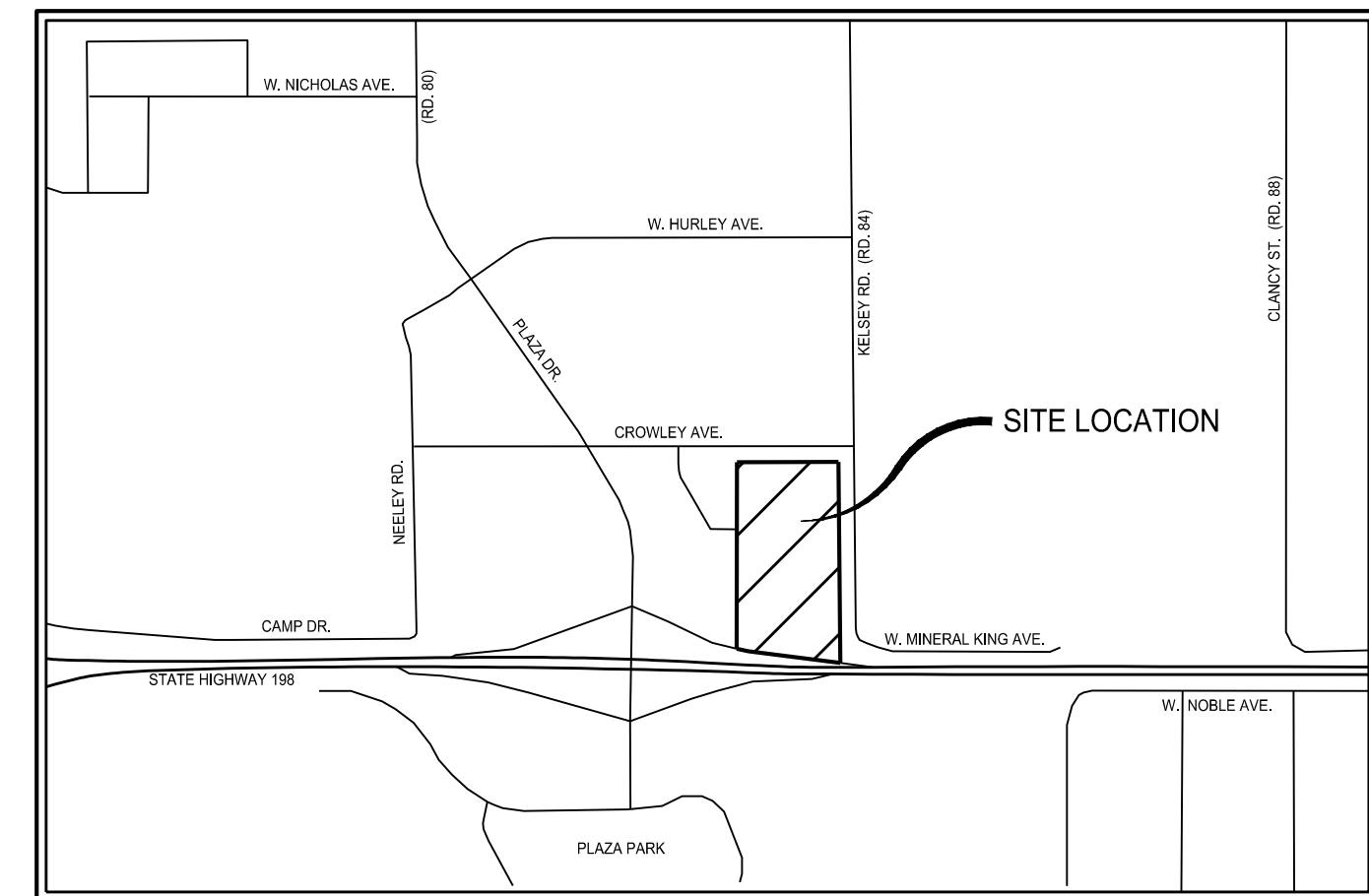
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BUTCH OLDFIELD
OWNER



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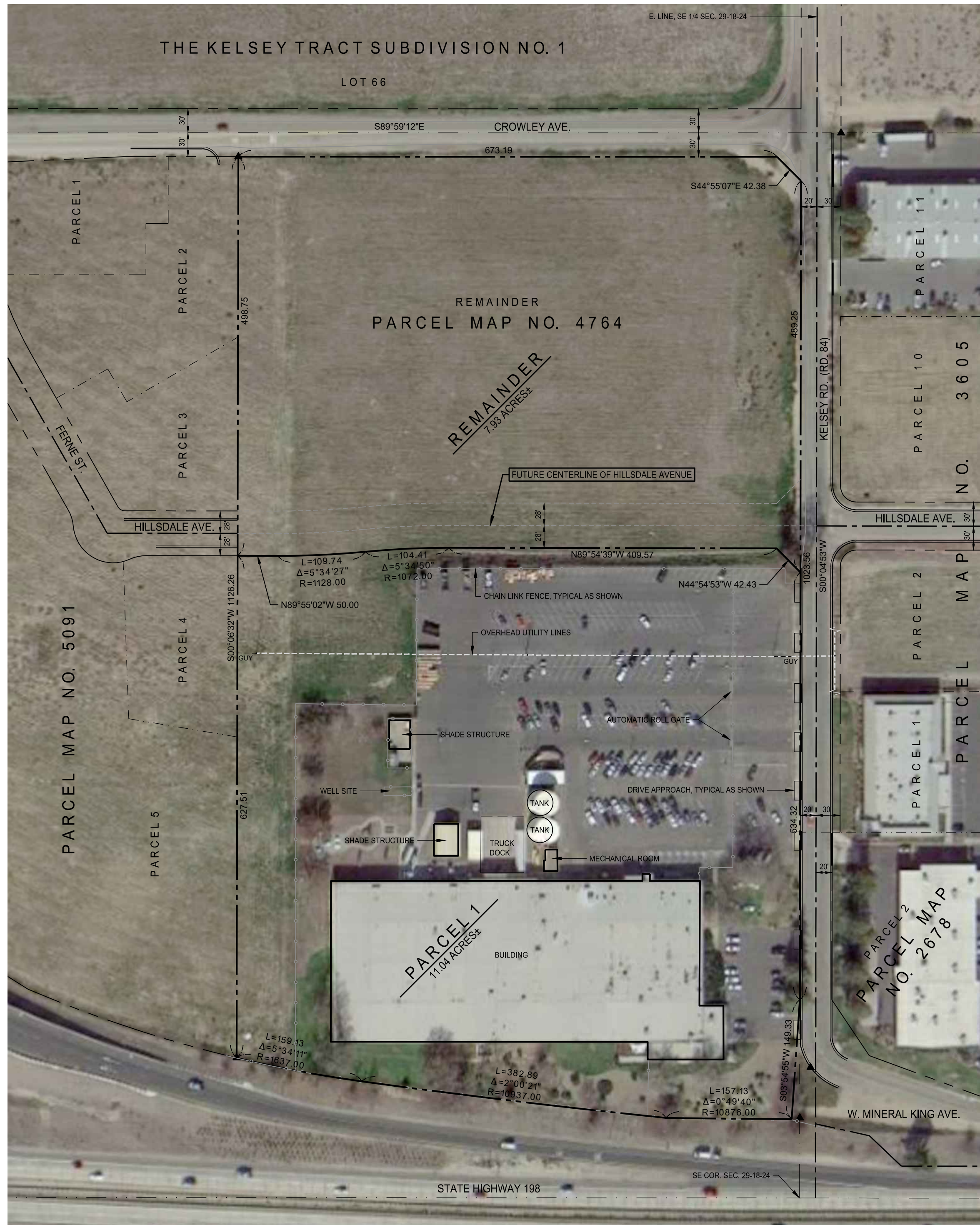
PROPOSED USE	COMMERCIAL
EXISTING USE	COMMERCIAL
EXISTING ZONING	BUSINESS RESEARCH PARK
PROPOSED ZONING	BUSINESS RESEARCH PARK
TELEPHONE	AT&T
WATER	CALIFORNIA WATER SERVICE COMPANY
SEWER	CITY OF VISALIA
SOLID WASTE	TULARE COUNTY SOLID WASTE DEPARTMENT
GAS	SOUTHERN CALIFORNIA GAS COMPANY
POWER	SOUTHERN CALIFORNIA EDISON
A.P.N.	081-170-013
FLOOD ZONE	ZONE X (SHADED)



VICINITY MAP

NOT TO SCALE

ONE SHEET ONLY
JOB NO. 21090



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GENERAL PROJECT INFORMATION

Project/Business Name: VALLEY PACIFIC PETROLEUM Date: 3/26/2021

Project Description: TEMPORARY FUEL TRANSFER FACILITY

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: VALLEY PACIFIC PETROLEUM

Applicant(s) Name: LANE ENGINEERS, INC.

Project Address/Location: WEST DOE AVENUE, WEST OF NORTH SHIRK ROAD

Assessor Parcel Number: 0 7 7 - 1 3 0 - 0 8 6

Parcel Size (Acreage or Square Feet): 19.92 ac Building or Suite Square Footage: 0

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ 0

Describe All Proposed Building Modifications: N/A

- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received: 04/08/2021

SPR Agenda: 04/14/2021 Item No. _____

Zone: I SPR No. 21-065

Historic District: Yes No

Flood Zone: X AE X/AE

- - A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS - -

Existing/Prior Building Use: N/A

Proposed Building Use: N/A

Proposed Hours of Operation: 24/7/365

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing 0 Proposed 3

Number of Customers Per Day (Estimated): Existing 0 Proposed 0

Predicted Peak Operating Hour: N/A, 3 TRUCKS PER HOUR MAX, 10 TRUCKS PER DAY MAX

Describe Any Truck Delivery Schedule & Operations: SCHEDULE AND OPERATIONS DEPEND ON RAIL CAR DELIVERY. TRUCKS WILL COME TO UNLOAD/LOAD WHEN RAIL CAR DELIVERED TO SITE.

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): N/A

Describe Any Special Events Planned for the Facility: THE PROPOSED USE IS FOR TEMPORARY LOADING AND UNLOADING. THE SITE WILL BE DEVELOPED PERMANENTLY IN THE FUTURE.

OPERATIONS & TRAFFIC INFORMATION

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
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 - Loading/unloading areas
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 - Adjacent street names
 - Accessible path of travel from right of way
 - Site dimensions, including building
 - Refuse enclosures & containers
 - Accessible path of travel from ADA stall
 - Existing and proposed fencing at site
 - Valley oak trees (show drip line)
 - Location and width of drive approaches to site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed landscaping
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
 - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>LANE ENGINEERS, INC.</u> Address: <u>979 N. BLACKSTONE STREET</u> City, State, Zip: <u>TULARE, CA 93274</u> Phone: <u>559-688-5263</u> Email: <u>AARON@LANEENGINEERS.COM</u>	Signature of Owner or Authorized Agent* _____ Owner _____ Authorized Agent* _____	_____ 4/7/2021 _____ Date _____ 4/8/2021 _____ Date
---	--	--

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AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, _____, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

AGENT:

I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20____.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number

CITY OF VISALIA SITE PLAN REVIEW APPLICATION

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GENERAL PROJECT INFORMATION

Project/Business Name: SORMA USA, LLC Date: 4/8/21

Project Description: PARTIAL ELECTRICAL & LIGHTING MODIFICATION FOR SORMA USA.

Site Plan Review Resubmittal: Yes No If Resubmittal, Previous Site Plan Review Number: _____

Property Owner: BUTCH OLDFIELD

Applicant(s) Name: BUTCH OLDFIELD

Project Address/Location: 231 NORTH KELSEY ST

Assessor Parcel Number: 081-170-013

Parcel Size (Acreage or Square Feet): 18.97 ACRES Building or Suite Square Footage: 96,862 SF

Are There Any Proposed Building Modifications: Yes No

Estimated Cost of Modifications to Building: \$ _____

Describe All Proposed Building Modifications: ELEC. MODIFICATION FOR NEW PRINTING EQUIPMENT, PARTIAL LIGHTING UPGRADE IN WAREHOUSE AREA

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 04/08/2021

SPR Agenda: 04/14/2021 Item No. _____

Zone: BRP SPR No. 21-066

Historic District: Yes No

Flood Zone: X AE X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: PRINTING COMPANY (JOSTENS)

Proposed Building Use: PRINTING COMPANY

Proposed Hours of Operation: 7am To 5:00 pm

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing 36 Proposed 50

Number of Customers Per Day (Estimated): Existing 1 Proposed _____

Predicted Peak Operating Hour: 2 pm

Describe Any Truck Delivery Schedule & Operations: COMMON TRUCKING HOURS TO DISTRIBUTE PRODUCT.

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): N/A

Describe Any Special Events Planned for the Facility: N/A

SITE PLAN MINIMUM REQUIREMENTS

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 - North arrow
 - All existing & proposed site features
 - Site dimensions, including building
 - Existing and proposed fencing at site
 - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
 - Existing & proposed structures
 - Adjacent street names
 - Refuse enclosures & containers
 - Valley oak trees (show drip line)
 - Existing & proposed landscaping
 - Parking stalls (include ADA)
 - Loading/unloading areas
 - Accessible path of travel from right of way
 - Accessible path of travel from ADA stall
 - Location and width of drive approaches to site
 - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: BUTCH OLDFIELD Signature of Owner or Authorized Agent* 

Address: 1345 N. AMERICAN Owner 4-8-2021
 City, State, Zip VISALIA, CA 93291 Date

Phone: 559 651-1776 Authorized Agent*  4-8-2021
 Email: BOLDFIELD@AMINAC.COM Date

* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION

AGENCY AUTHORIZATION FORM

OWNER:

I, CORRYN (BUTCH) OLDFIELD declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

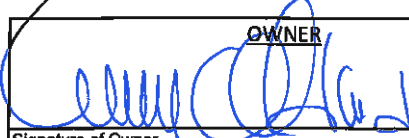

081 170 013

AGENT:

I designate MARTIN HALE, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to PROCEED IN MODIFICATION relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 8 day of April, 2021

OWNER	AGENT
	
Signature of Owner	Signature of Agent
<u>1345 N. AMERICAN</u>	<u>1345 N. AMERICAN</u>
Owner Mailing Address	Agent Mailing Address
<u>559-651-1776</u>	<u>559 786 7107</u>
Owner Phone Number	Agent Phone Number



9810 W. Ferguson Avenue . Visalia, CA 93291 . Ph: 559-651-1269 . Fax: 559-651-1410

April 8, 2021

Subject: 231 Kelsey Ave, Visalia, CA

To whom it may concern:

Sorma USA LLC is the North American division of Sorma SpA and Netpack SpA, both headquartered in Cesena, Italy. We are a multi-faceted company for the fresh produce industry. We print flexible, plastic packaging films to be used for consumer products for companies such as Sunkist and Del Monte, to name a few.

We also sell, install and service packaging equipment that we manufacture in Europe for all regions of North America, including Mexico and Canada.

Currently we employ 36, and with the expansion into the new facility, expect that to grow to 50 or more within 12 months.

The Sorma Group was established in 1973 and has become one of the world's largest providers of packaging materials and machinery with an annual revenue of over 300 million Euros per annum.

Thank you

Tracy Hart
CEO-President
Sorma USA LLC

PROJECT SCOPE:

TO ENHANCE/ALTER EXISTING ELECTRICAL AS REQUIRED FOR NEW PRINTING EQUIPMENT. ALL EQUIPMENT IS BY OWNER.

ENHANCE LIGHTING IN WAREHOUSE AREA WHERE INDICATED BELOW. NO OFFICE NOR RESTROOM ALTERATION WILL BE PERFORMED. EXISTING PARKING AREA TO RECEIVE NEW SLURRY COAT AND RE-STRIPPING OF PARKING STALLS

SORMA USA, LLC

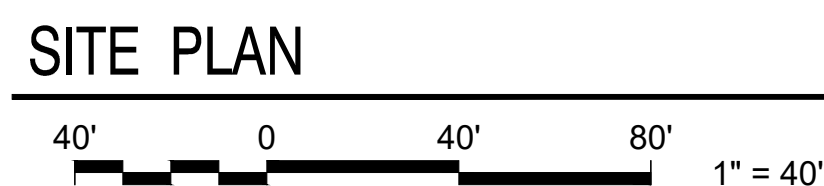
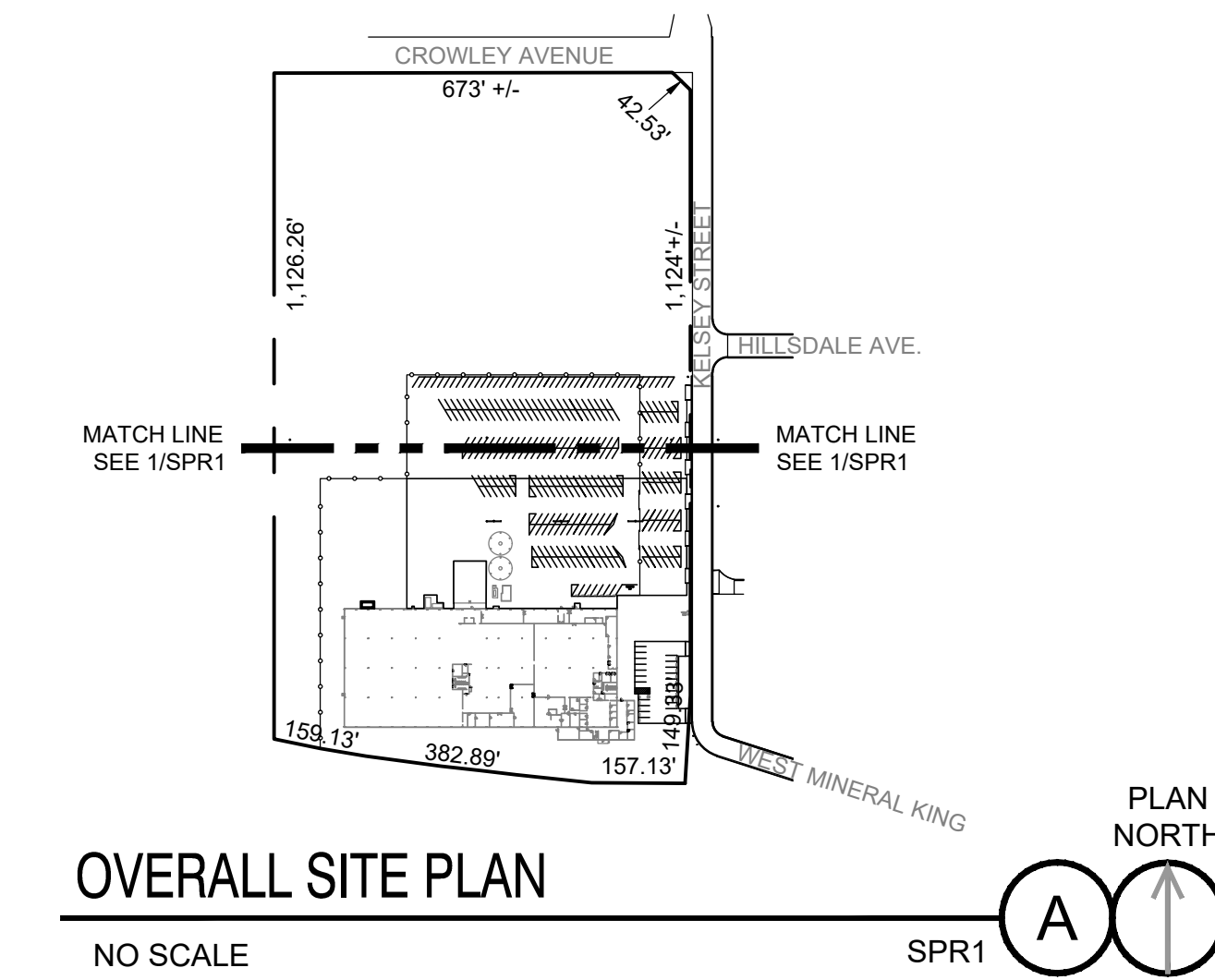
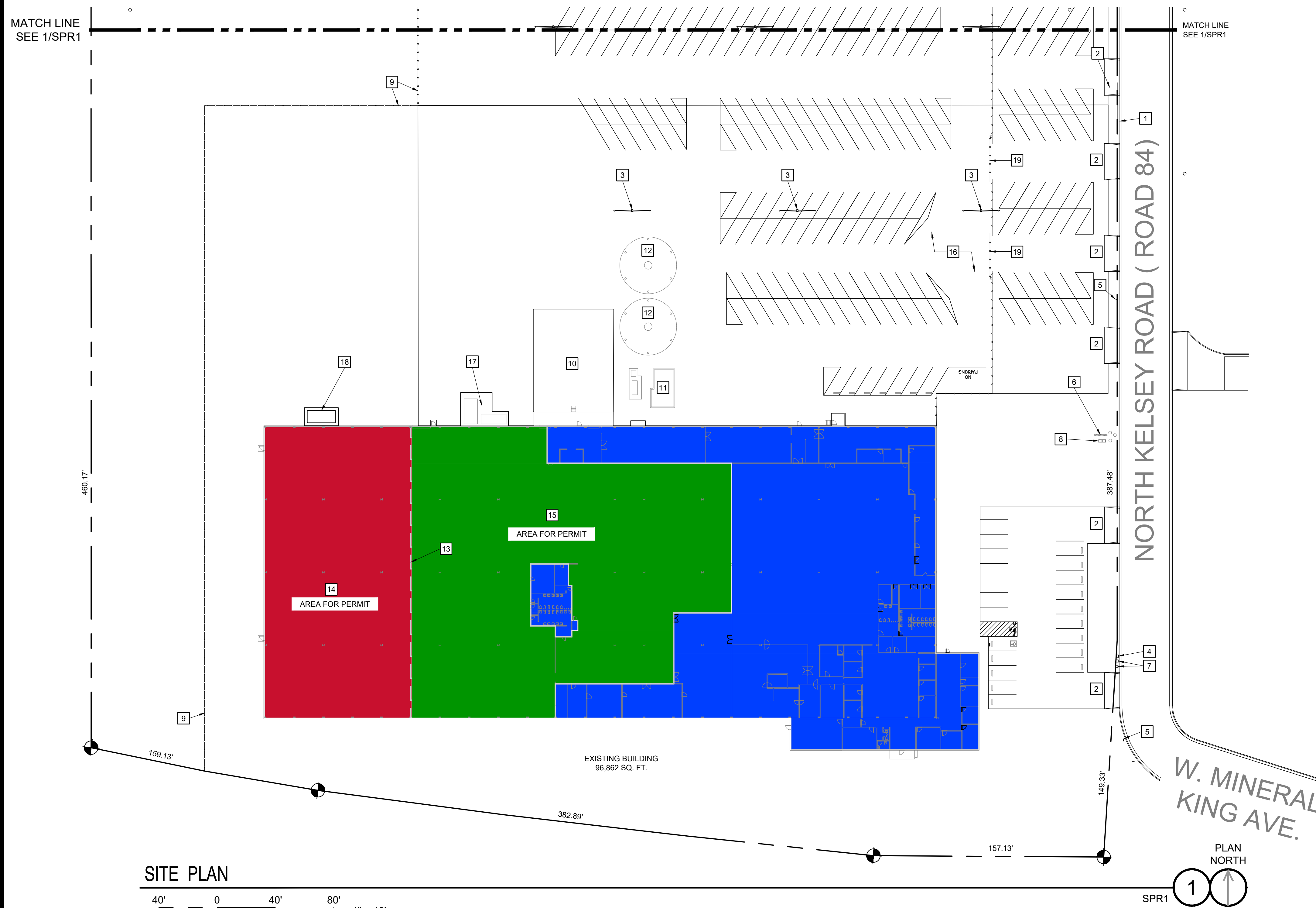
A COMPANY WHO PROVIDES PACKAGING PRINTING SERVICES FOR THE PRODUCE INDUSTRY

KEY NOTES:

- 1 (E) CONCRETE CURB AND GUTTER
- 2 (E) 25'-0" WIDE CONCRETE DRIVE APPROACH
- 3 (E) PARKING LIGHTING POLE
- 4 (E) TELEPHONE BOX
- 5 (E) STREET SIGNAGE
- 6 (E) BACKFLOW PREVENTOR
- 7 (E) METAL MAIL BOX
- 8 (E) WATER METER BOX
- 9 (E) 7'-0" HIGH CHAINLINK FENCE
- 10 (E) TRUCK DOCK (NO CHANGE)
- 11 (E) MECHANICAL ROOM (NO CHANGE)
- 12 (E) STORAGE TANK
- 13 (N) DEMISING WALL (1 HOUR FIRE RATED WALL)
- 14 THIS AREA ELECTRICAL UPGRADES FOR OWNER SUPPLIED EQUIPMENT
- 15 THIS AREA FOR ELECTRICAL UPGRADES FOR NEW LIGHTING IN WAREHOUSE
- 16 (E) PARKING AREA TO BE RE-STRIPED
- 17 (E) ELECTRICAL GEAR
- 18 (N) CONCRETE PAD FOR OWNER SUPPLIED EQUIPMENT
- 19 (E) ELECTRICAL ROLLING GATE

WORK LEGEND:

- LIGHTING ALTERATION ONLY
- NO ALTERATION/WORK TO BE PERFORMED WITHIN EXISTING OFFICE AND RESTROOM AREAS. NO PERMITS.
- ELECTRICAL AND LIGHTING ALTERATION AS REQUIRED FOR NEW PRINTING EQUIPMENT. PRINTING EQUIPMENT WILL BE BY OWNER.



PROPRIETARY:

THIS DRAWING CONTAINS CONFIDENTIAL INFORMATION PROPRIETARY TO AMERICAN INCORPORATED. IT MUST NOT BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY MANNER WITHOUT THE WRITING BY AMERICAN INCORPORATED.

NOT FOR
PROGRESS
PRINT
CONSTRUCTION

AMERICAN INCORPORATED
1345 North American Street, Visalia, CA 93291
Lic. 292529 Phone: (559) 651-1776 Fax: (559) 651-0205

REV.	DATE	DESCRIPTION

PROJECT: A NEW LOCATION FOR:
SORMA USA L.L.C.
231 NORTH KELSEY STREET
VISALIA, CA. 93291

SHEET TITLE: SITE PLAN

PROJECT NO: 10-06150
CHECKED BY: XXX
DATE: APRIL 8, 2021
SHEET: 1 OF 1
SHEET NO: SPR1

X:\Projects\SORMA\Visalia, CA\231 N. Kelsey St\CADD\SORMA USA\Sheets\A1 SITE PLAN.dwg Apr 8, 2021 - 2:18:51 PM rconteras - Plotted size is 24x36 Landscape. If actual size differs, disregard scale.