

# SITE PLAN REVIEW AGENDA

3/24/2021 - 9:00 A.M.

Conference Room #4

315 E. Acequia Avenue

## ITEM NO: 1 Resubmit

SITE PLAN NO: SPR21033

PROJECT TITLE: 213 W. Main St

DESCRIPTION: Renovation of Existing 2 Story Building for Retail and Restaurant. (D-MU)

APPLICANT: Justin Kirsinas

OWNER: STAR PROPERTY LB INVESTMENT

APN: 094326007

LOCATION: 213 W MAIN ST  
215 W MAIN ST  
217 W MAIN ST

## ITEM NO: 2

SITE PLAN NO: SPR21039

PROJECT TITLE: Corby's Bar & Grill

DESCRIPTION: To Obtain a CUP for Live Music. (D-MU)

APPLICANT: Corey Morse

OWNER: LESLIE A MOSLEY LLC

APN: 094296014

LOCATION: 221 E MAIN ST

## ITEM NO: 3

SITE PLAN NO: SPR21040

PROJECT TITLE: Rodriguez Apartments

DESCRIPTION: Existing 19 ft. 4 in. x 19 ft Carport - Convert into a same size Accessory Dwelling Unit. (R--M-2)

APPLICANT: Carmelita J Rodriguez

OWNER: RODRIGUEZ CARMELITA J(TR)(CJR LIV TR)

APN: 097072012

LOCATION: 622 S CHURCH ST

## ITEM NO: 4

SITE PLAN NO: SPR21041

PROJECT TITLE: Kaweah Delta Health Care

DESCRIPTION: Food Trucks in Parking Lot West of Acequia Wing(QP)

APPLICANT: Deborah Volosin

OWNER: KAWEAH DELTA HEALTH CARE DISTRICT

APN: 094311020

LOCATION: 305 W ACEQUIA AVE

## ITEM NO: 5

SITE PLAN NO: SPR21042

PROJECT TITLE: Orchard Walk Medium Density Project

DESCRIPTION: Development of Vacant Parcel into 154 Single-Family Residential Lots. (R-M-2)

APPLICANT: Steve Brandt

OWNER: NORTH VISALIA HOLDINGS LLC

APN: 079310005  
079310004

LOCATION: Northeast Corner of N. Court St. &W. Riggan Ave.

AFTER REVIEW OF REGULAR AGENDA ITEMS, THE COMMITTEE WILL BE AVAILABLE TO REVIEW OFF-AGENDA ITEMS FOR INFORMAL REVIEW. THE COMMITTEE WILL BE AVAILABLE TO ANSWER QUESTIONS AT THAT TIME.

# **SITE PLAN REVIEW AGENDA**

**3/24/2021 - 9:00 A.M.**

**Conference Room #4**

**315 E. Acequia Avenue**

## **ITEM NO: 6**

SITE PLAN NO: SPR21043

PROJECT TITLE: PK Deli Exterior Stucco

DESCRIPTION: Stucco the Front of the Building to give it a Face Lift. (D-MU)

APPLICANT: Ernesto Aceves

OWNER: VANDERHAM ROBERT W & LENA

APN: 094335011

LOCATION: 219 N COURT ST

**AFTER REVIEW OF REGULAR AGENDA ITEMS, THE COMMITTEE WILL BE AVAILABLE TO REVIEW OFF-AGENDA ITEMS FOR INFORMAL REVIEW. THE COMMITTEE WILL BE AVAILABLE TO ANSWER QUESTIONS AT THAT TIME.**

# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website ([www.visalia.city](http://www.visalia.city)) or by calling (559) 713-4440.



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -
- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: 213 W. Main St Date: 3/11/21

Project Description: Renovation of existing 2 story building - Spec build retail and restaurant

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: 2021-033

Property Owner: Star Property LLC

Applicant(s) Name: Justin Kirsinas

Project Address/Location: 213-217 W. Main St. Visalia

Assessor Parcel Number: 094-326-007

Parcel Size (Acreage or Square Feet): 0.13 AC Building or Suite Square Footage: 11,164

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ 750,000

Describe All Proposed Building Modifications: Spec build restaurant on 2<sup>nd</sup> floor, Retail First floor

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: \_\_\_\_\_

SPR Agenda: 3/24/21 Item No. \_\_\_\_\_

Zone: DMU SPR No. 2021-033

Historic District: Yes  No

Flood Zone: X  AE  X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Retail

Proposed Building Use: Restaurant/Retail

Proposed Hours of Operation: 11am - 8pm

Days of Week In Operation (Circle): (Su) (M) (T) (W) (Th) (F) (Sa) \* See attached operational statement

Number of Employees Per Day: Existing 0 Proposed \*

Number of Customers Per Day (Estimated): Existing 0 Proposed \*

Predicted Peak Operating Hour: 6pm

Describe Any Truck Delivery Schedule & Operations: TBD

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): None

Describe Any Special Events Planned for the Facility: None

**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
  - North arrow
  - Existing & proposed structures
  - Loading/unloading areas
  - All existing & proposed site features
  - Adjacent street names
  - Accessible path of travel from right of way
  - Site dimensions, including building
  - Refuse enclosures & containers
  - Accessible path of travel from ADA stall
  - Existing and proposed fencing at site
  - Valley oak trees (show drip line)
  - Location and width of drive approaches to site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed landscaping
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
  - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Justin Kirsinas Signature of Owner or Authorized Agent\*

Address: 14930 Alondra Blvd

City, State, Zip La Mirada CA 90638 Owner \_\_\_\_\_ Date \_\_\_\_\_

Phone: 562-225-6425 Authorized Agent [Signature] Date 3/3/21

Email: JKirsinas@gmail.com

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:  
I, Chris Hyan, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):  
094-326-007

AGENT:  
I designate Justin Kirsinas to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to \_\_\_\_\_ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 3 day of March, 2021.

|                           |                           |
|---------------------------|---------------------------|
| OWNER                     | AGENT                     |
| <u>[Signature]</u>        | <u>[Signature]</u>        |
| Signature of Owner        | Signature of Agent        |
| <u>14930 Alondra Blvd</u> | <u>14930 Alondra Blvd</u> |
| Owner Mailing Address     | Agent Mailing Address     |
| <u>LA Mirada CA 90638</u> | <u>LA Mirada CA 90638</u> |
| <u>(562) 623-9320</u>     | <u>562-225-6425</u>       |
| Owner Phone Number        | Agent Phone Number        |







## 213-217 Main Operations Statement

### First Floor

- Uses: The first floor is for the most part being spec built into what we hope will become Visalia's downtown boutique shopping destination. For example we anticipate this location to house small retail, Coffee shops, ice cream, quick serve food and beverage, bakery, barber/cosmetologist, butcher, boutique grab and go market or other low flow quick service type tenants.
- Hours of OP: Our early assumptions would be the hours of operation for the bottom floor to be 8-6 and to most likely fall in line with the upstairs tenant.
- Employees: The first floor would likely see a maximum of 10-12 employees on site. I do not see this space exceeding 15 depending on use.
- Customers: In this space we would expect low flow traffic. On the assumption the clients listed above came to fruition I would expect a maximum of 50-60 customers at the highest point of the day but a typical occupancy of 10-15 customers on site.
- Space usage: This space will be an open flow concept with community space. This concept allows for flexibility and will encourage customers to shop multiple business in each visit.

## Second Floor

- Use: Fine dining dinner and lunch service, this tenant is expected to be in the same tier of other local favorites like Tommy's, Fugazzis, and other upper end dining experiences.
- Hours of OP: M-F 11:00-9:00  
Sat 11:00-10:00  
Sun 11:00-10:00
- Employees: Total Employee count 30+-  
Onsite lunch 8  
Onsite Dinner 14
- Customers: We would expect the restaurant at top performance to serve 60 diners at lunch and 120 diners during the dinner hours. Total meals served including off hour dining this tenant would expect 180-200 plates a day served. This tenant does not have an expectation to cater to the downtown bar scene as reflected by their hours.
- Space usage: This space on a daily basis will expect to use rooms noted as BAR, BLUE ROOM, MAIN DINING ROOM AND PRIVATE DINING ROOM #2. PRIVATE DINING #3 would typically be used for banquets and over flow.



















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GENERAL PROJECT INFORMATION

Project/Business Name: CORBY'S Date: 3-16-2021  
 Project Description: OBTAIN CUP FOR LIVE MUSIC  
 Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: Ref: 19-231 Resub.  
 Property Owner: Lloyd Mosley  
 Applicant(s) Name: COREY MORSE  
 Project Address/Location: 221 E. MAIN ST. VISALIA 93291  
 Assessor Parcel Number: 094-296-014  
 Parcel Size (Acreage or Square Feet): 3200 Building or Suite Square Footage: 2500

Are There Any Proposed Building Modifications: Yes  No   
 Estimated Cost of Modifications to Building: \$ 0  
 Describe All Proposed Building Modifications: NONE

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 3/16/21  
 SPR Agenda: 3/24/21 Item No. \_\_\_\_\_  
 Zone: D-MU SPR No. 21-039  
 Historic District: Yes  No   
 Flood Zone: X  AE  X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: CORBY'S  
 Proposed Building Use: SAME - BAR & GRILL  
 Proposed Hours of Operation: 5-TH 11-9pm FRZ/SAT 11am-12am  
 Days of Week In Operation (Circle):  Su  M  T  W  Th  F  Sa  
 Number of Employees Per Day: Existing 7-9 Proposed 7-9  
 Number of Customers Per Day (Estimated): Existing 50 Proposed 100  
 Predicted Peak Operating Hour: 6-9 pm  
 Describe Any Truck Delivery Schedule & Operations: TUESDAY & FRIDAY FOOD & ALCOHOL DELIVERY  
before 4:00 pm  
 Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees  
 (Provide Separate Attachment if Necessary): NONE  
 Describe Any Special Events Planned for the Facility: NONE

**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
  - North arrow
  - Existing & proposed structures
  - Loading/unloading areas
  - All existing & proposed site features
  - Adjacent street names
  - Accessible path of travel from right of way
  - Site dimensions, including building
  - Refuse enclosures & containers
  - Accessible path of travel from ADA stall
  - Existing and proposed fencing at site
  - Valley oak trees (show drip line)
  - Location and width of drive approaches to site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed landscaping
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
  - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Corey Morse Signature of Owner or Authorized Agent\*

Address: 221 E. MAIN ST

City, State, Zip: Visalia CA 93291 Owner \_\_\_\_\_ Date \_\_\_\_\_

Phone: 559-730-6646 Corey Morse 3-16-21

Email: CORBYSROCK@gmail.com Authorized Agent\* \_\_\_\_\_ Date \_\_\_\_\_

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

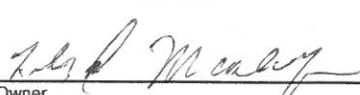

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:  
I, Lloyd Mosley, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):  
094-296-014

AGENT:  
I designate Corey Morse, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to Live Music relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.  
Executed this 16<sup>th</sup> day of MARCH, 2021.

| OWNER   | AGENT  |
|---|--|
| <br>Signature of Owner | <br>Signature of Agent |
| <u>P.O. Box 47 Visalia, CA 93229</u><br>Owner Mailing Address   | <u>221 E. MAIN ST.</u><br>Agent Mailing Address  |
| <u>559-799-5969</u><br>Owner Phone Number   | <u>Visalia 93291</u><br><u>559-730-6646</u><br>Agent Phone Number  |



DATE: MARCH 16, 2021

TO: SITE PLAN REVIEW

FROM: CORBY'S 221 E. MAIN ST VISALIA 93291

Attached is resubmittal (do not have original SPR number) of floor plan for Corby's located at 221 E. Main St. Almost a year ago I met with SPR requesting a CUP for live music then COVID hit. We were told to resubmit a diagram, and show where security will be placed, and where tables will be stored during live music. Please see attached diagram where security will be placed, and foot note for table storage during live music.

Sincerely,

  
Corey Morse



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via Conference Call (713-4041)

Call in

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

Email: [susan.currier@visalia.city](mailto:susan.currier@visalia.city) - Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: RODRIGUEZ APT'S Date: 03-15-21

Project Description: EXISTING 19'-4"X19' CARPORT TO BE CONVERTED INTO A 19'-4"X19' ACCESSORY DWELLING UNIT

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: \_\_\_\_\_

Property Owner: CARMELITA J. RODRIGUEZ

Applicant(s) Name: CARMELITA J. RODRIGUEZ

Project Address/Location: 622 S. CHURCH ST. VISALIA, CA. 93277

Assessor Parcel Number: 097-072-012

Parcel Size (Acreage or Square Feet): 6,200 SQ.FT. Building or Suite Square Footage: 367 SQ.FT.

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$36,000<sup>00</sup>

Describe All Proposed Building Modifications: EXISTING CARPORT TO BE CONVERTED INTO A (NEW) ACCESSORY DWELLING UNIT

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 03/15/2021

SPR Agenda: 03/24/2021 Item No. \_\_\_\_\_

Zone: R-M-2 SPR No. 21-040

Historic District: Yes  No

Flood Zone: X  AE  X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: \_\_\_\_\_

Proposed Building Use: \_\_\_\_\_

Proposed Hours of Operation: \_\_\_\_\_

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Number of Customers Per Day (Estimated): Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Predicted Peak Operating Hour: \_\_\_\_\_

Describe Any Truck Delivery Schedule & Operations: \_\_\_\_\_

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): \_\_\_\_\_

Describe Any Special Events Planned for the Facility: \_\_\_\_\_



**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ⇒ Plan(s) must be clear, legible, and on a sheet size appropriate to easily convey all necessary project information. Suggested minimum sheet size for site plans is 11"x17" (Excludes tentative parcel and final maps)
- ⇒ Site plan shall provide for and indicate all of the following:
  - North arrow
  - All existing & proposed site features
  - Site dimensions, including building
  - Existing and proposed fencing at site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed structures
  - Adjacent street names
  - Refuse enclosures & containers
  - Valley oak trees (show drip line)
  - Existing & proposed landscaping
  - Parking stalls (include ADA)
  - Loading/unloading areas
  - Accessible path of travel from right of way
  - Accessible path of travel from ADA stall
  - Location and width of drive approaches to site
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
- ⇒ Submit 20 copies of the site plan with this application, folded to a legal size of 9" x 12" with the print on the outside (no rolled plans)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: CARMELITA J. RODRIGUEZ Signature of Owner or Authorized Agent\*  
 Address: 1152 ALAMITA ST.  
 City, State, Zip: TULANE, CA. 93274 X Carmelita J. Rodriguez 03-15-21  
Owner Date  
 Phone: (559) 679-0831  
 Email: CARMELITAR1967@GMAIL.COM Authorized Agent\* Date

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:

I, \_\_\_\_\_, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):  
 \_\_\_\_\_

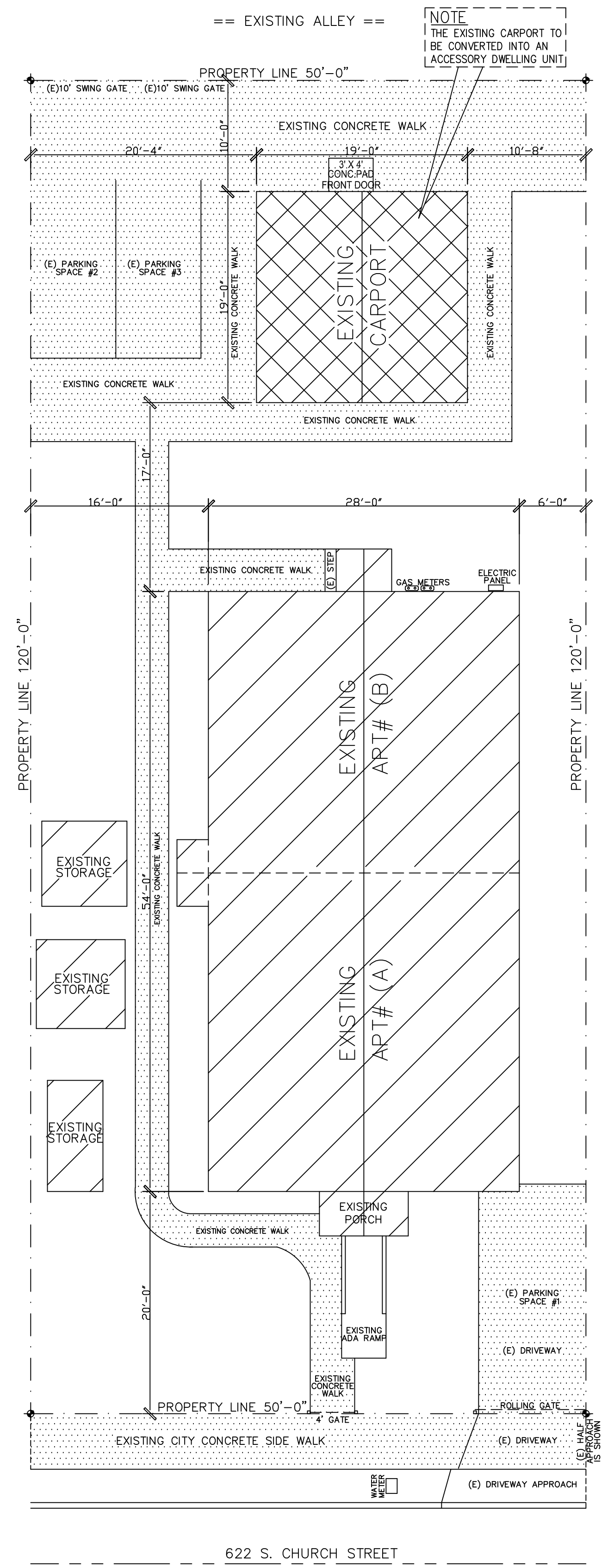
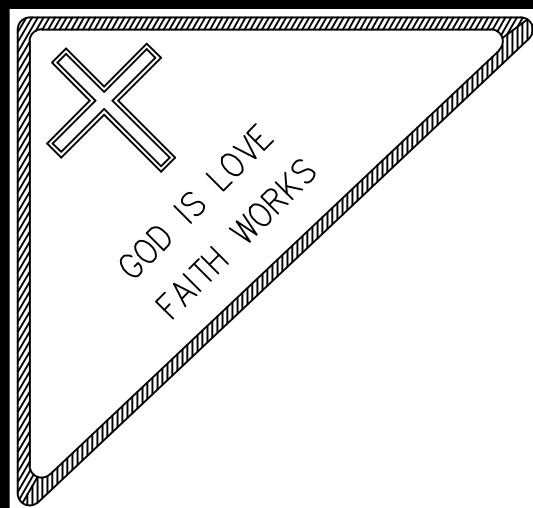
AGENT:

I designate \_\_\_\_\_, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to \_\_\_\_\_ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

| <u>OWNER</u>          | Signatures | <u>AGENT</u>          |
|-----------------------|------------|-----------------------|
| Signature of Owner    |            | Signature of Agent    |
| Owner Mailing Address |            | Agent Mailing Address |
|                       |            |                       |
| Owner Phone Number    |            | Agent Phone Number    |

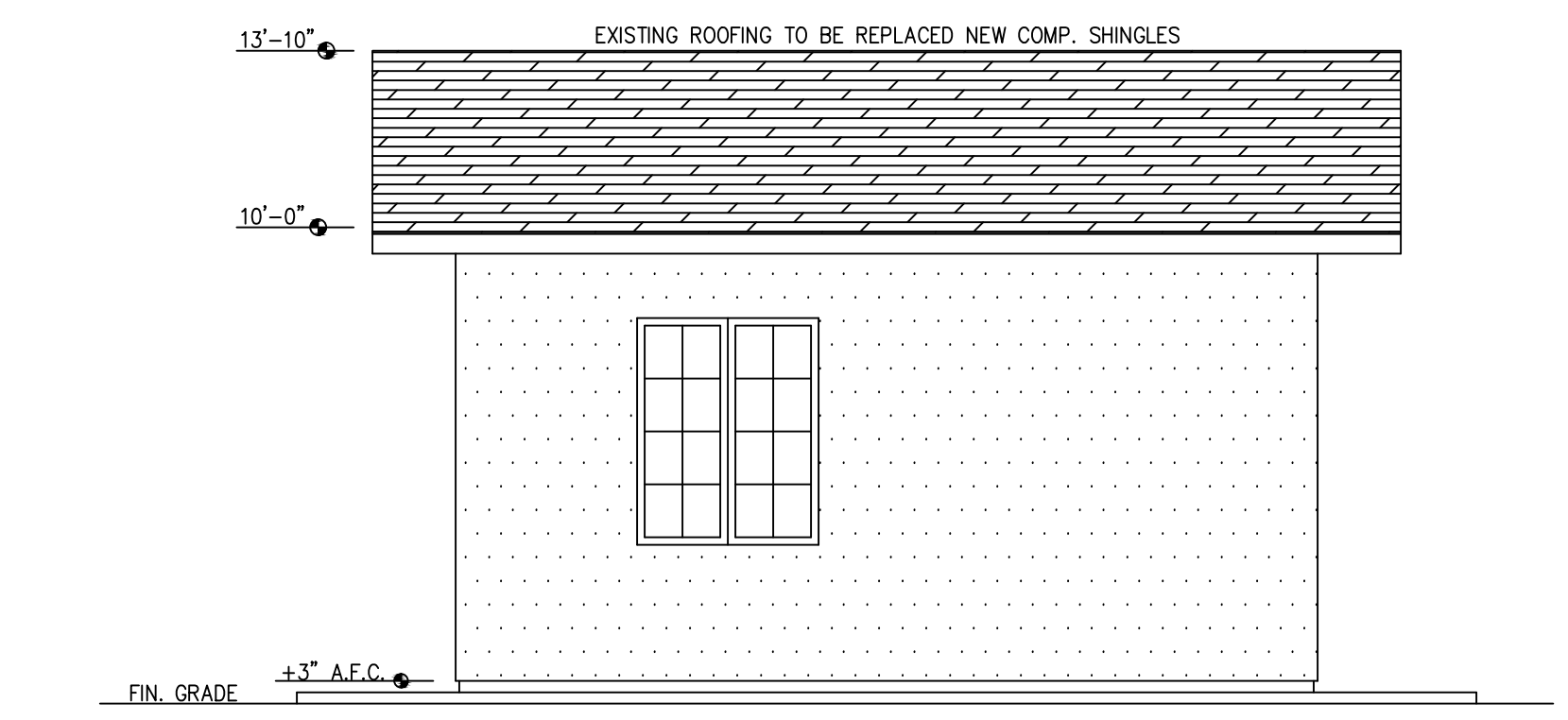


**SITE PLAN** APN# 097-072-011  
SCALE: 1/8" = 1'-0"

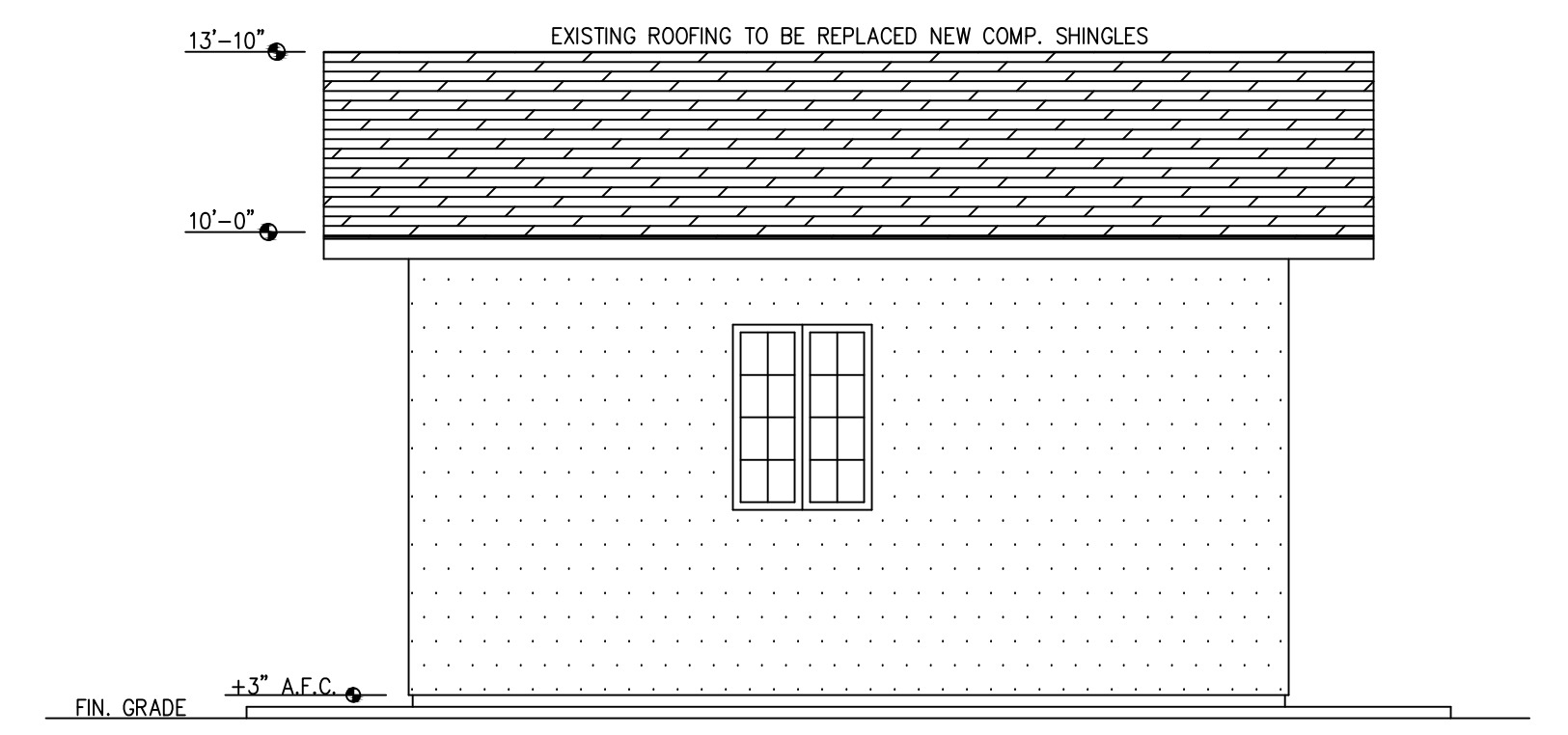
**NOTE**  
ALL THE WORK TO BE DONE  
IN ACCORDANCE W/PRESENT  
CODES AND REGULATIONS.

APPLICABLE  
CODES 2019  
CBC, CPC, CMC, CFC,  
CEC, CAL GREEN AND  
CALIF. ENERGY CODE 2019

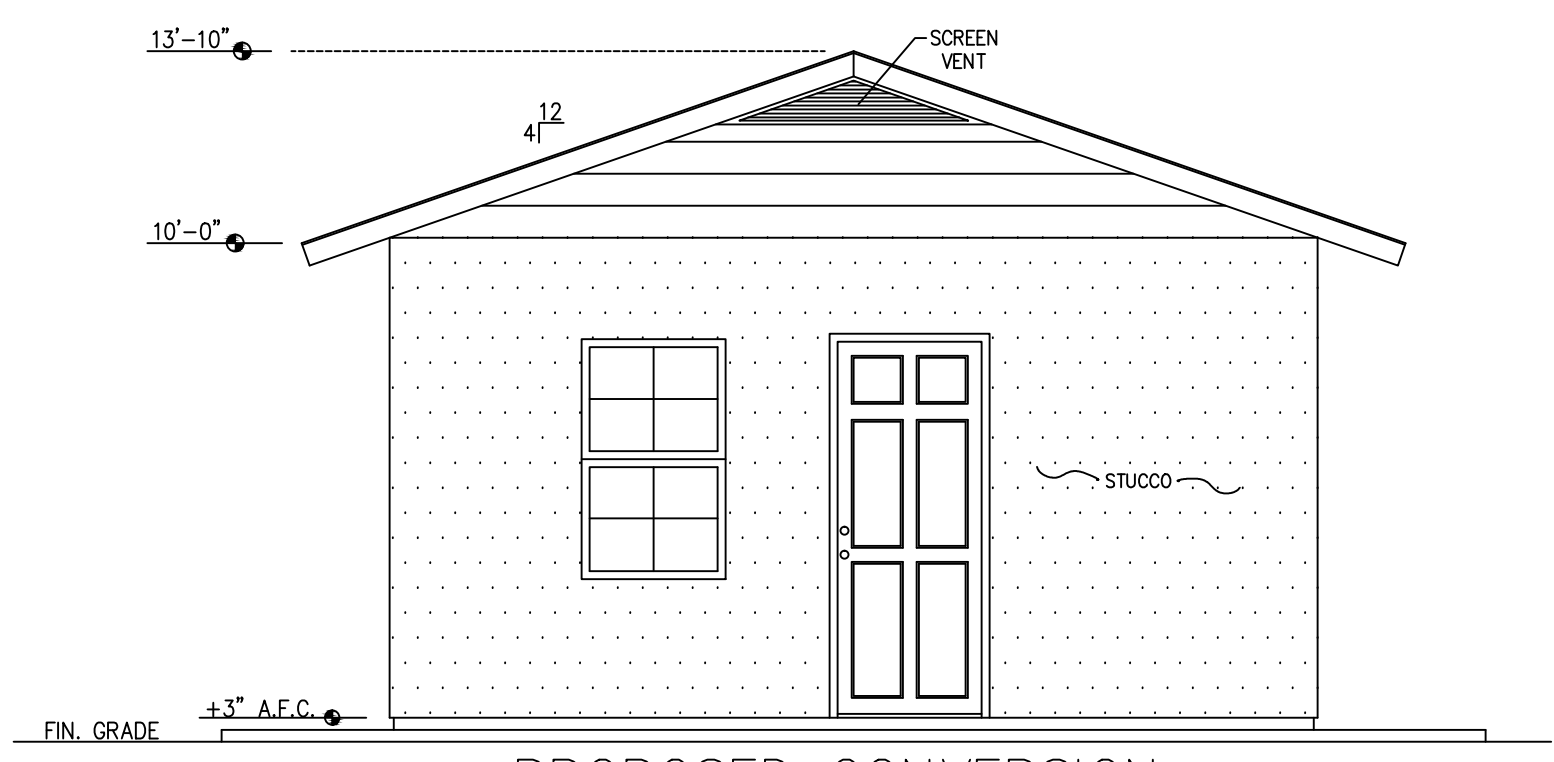
| SHEET INDEX |                                      |
|-------------|--------------------------------------|
| SHEET       | DESCRIPTION                          |
| 1           | SITE PLAN<br>FLOOR PLAN & ELEVATIONS |



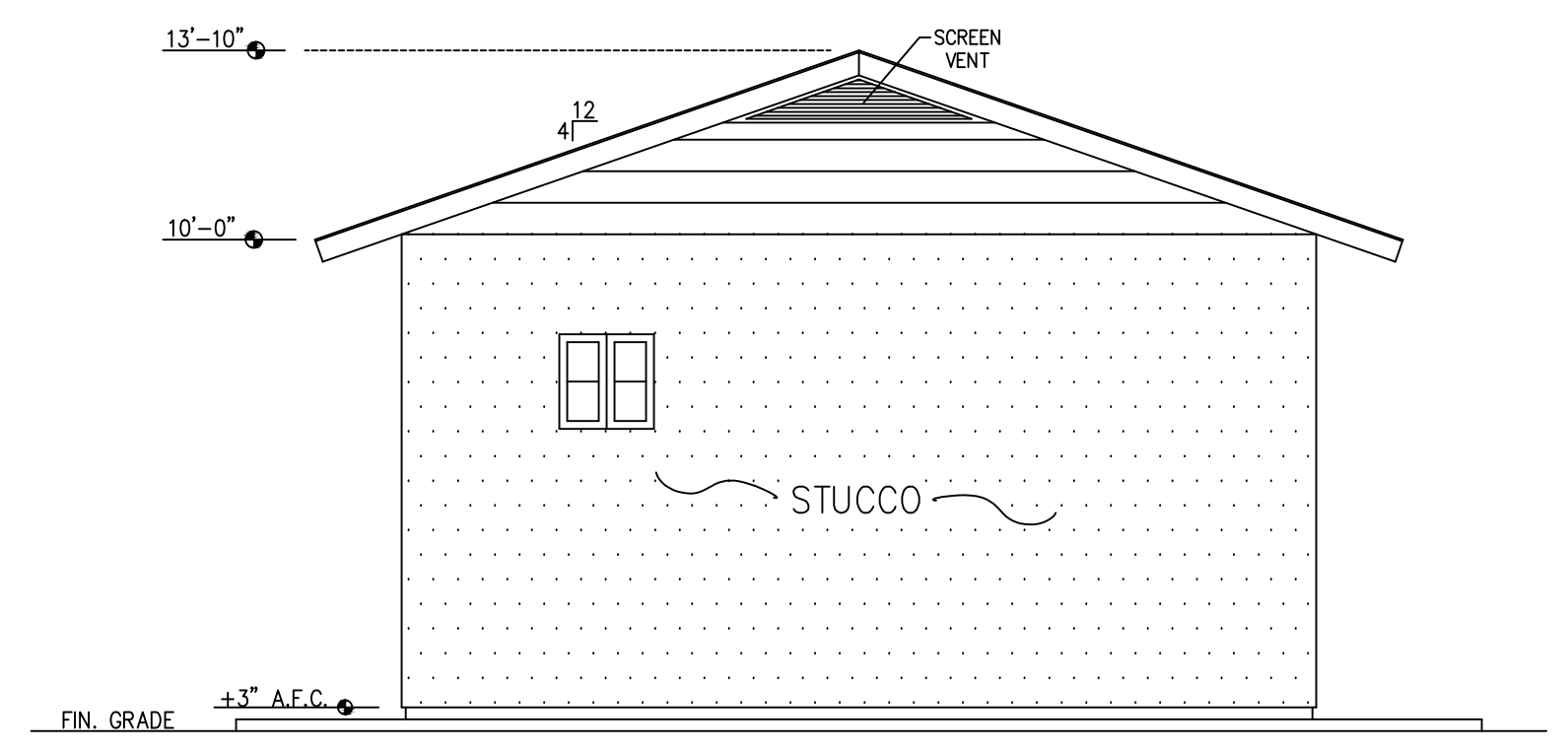
**SOUTH VIEW** LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



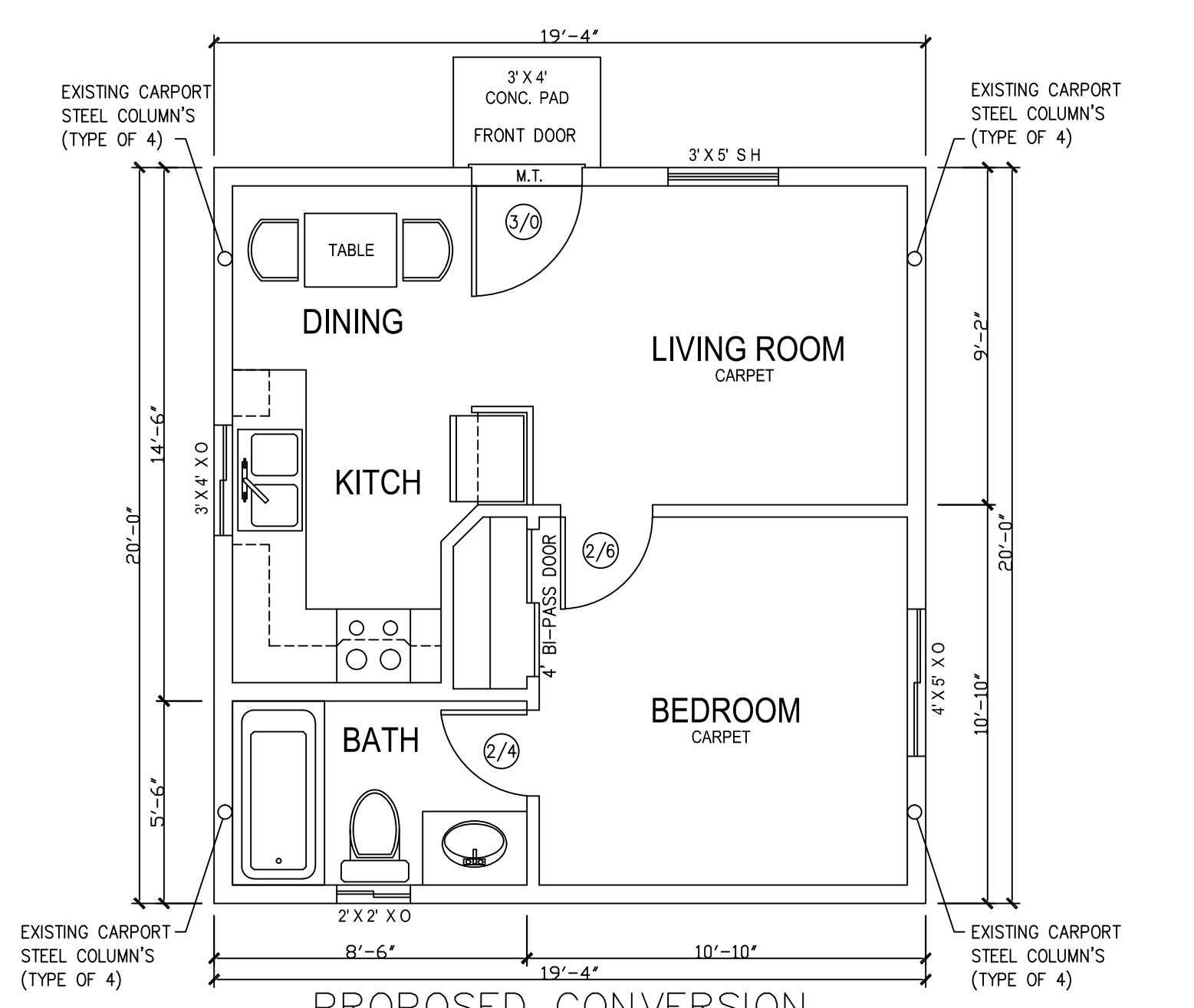
**NORTH VIEW** RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



**PROPOSED CONVERSION**  
**EAST VIEW** FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



**PROPOSED CONVERSION**  
**WEST VIEW** REAR ELEVATION  
SCALE: 1/4" = 1'-0"



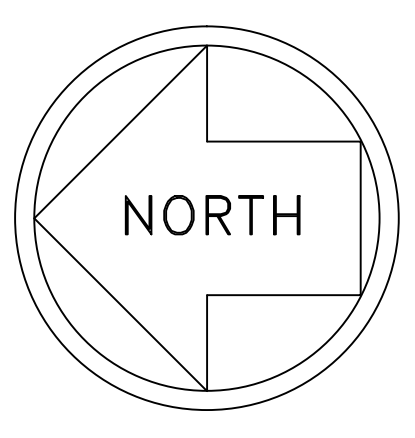
**PROPOSED CONVERSION**  
**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**NOTE**  
THE EXISTING CARPORT TO  
BE CONVERTED INTO AN  
ACCESSORY DWELLING UNIT

**NOTE**  
PROJECT ADDRESS TO BE POSTED  
AT JOB SITE W/4" HIGH NUMERALS  
ON CONSTRUCTION BACK GROUND  
WITH 1/2 MIN. STROKE

PLANNING DEPT APPROVAL

BUILDING DEPT APPROVAL



DESIGNER **Jaisal Salinas**  
**J A I S A L**  
DESIGN  
1671 Ave. 400 Kingsburg, CA 93631  
PH. (559) 887-4507 - Email: jaimedesign.com

DESIGNER **Jaisal Salinas**  
J A I S A L  
DESIGN  
CONSTRUCTION  
PLAN DESIGN

RESPONSIBLE BUILDER:  
**OWNER BUILDER**  
CARMEN SALINAS  
622 S. CHURCH ST.  
VISALIA, CALIFORNIA 93277  
CELL. 559-679-0831

PROJECT TITLE:  
**PROPOSED CONVERSION**  
CARMEN SALINAS  
622 S. CHURCH ST.  
VISALIA, CALIFORNIA 93277  
CELL. 559-679-0831

JOB NO.:  
DRAWN BY: JAISAL  
SHEET NO.:  
**1**  
OF 1 SHEETS  
DATE: 03/2021

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Email: susan.currier@visalia.city- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Kaweah Delta Health Care Date: 3/17/2024  
 Project Description: FOOD TRUCKS

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: 2018-57 Ref: 2018-57

Property Owner: Kaweah Delta Health Care District

Applicant(s) Name: Deborah Volosun

Project Address/Location: 315 W Acequia Avenue

Assessor Parcel Number: 094-311-020

Parcel Size (Acreage or Square Feet): \_\_\_\_\_ Building or Suite Square Footage: \_\_\_\_\_

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ \_\_\_\_\_

Describe All Proposed Building Modifications: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 3/17/24  
 SPR Agenda: 3/24/24 Item No. \_\_\_\_\_  
 Zone: QP SPR No. 21-041  
 Historic District: Yes  No   
 Flood Zone: X  AE  X/AE

OPERATIONS & TRAFFIC INFORMATION

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

Existing/Prior Building Use: Parking lot west of Acequia Wing

Proposed Building Use: Host Food Trucks

Proposed Hours of Operation: Monday - Thurs. 7pm - 11:00pm Wed - 11am - 2pm

Days of Week In Operation (Circle): Su  M  T  W  Th  F  Sa Fri - 11am - 2pm

Number of Employees Per Day: Existing 500 Proposed \_\_\_\_\_

Number of Customers Per Day (Estimated): Existing 500 Proposed \_\_\_\_\_

Predicted Peak Operating Hour: M-Thurs 11pm, Wed - Noon, Fri - Noon

Describe Any Truck Delivery Schedule & Operations: N/A

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees  
 (Provide Separate Attachment if Necessary): Please see parking map. we will close visitor parking stalls.

Describe Any Special Events Planned for the Facility: \_\_\_\_\_



**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ↳ Plan(s) must be clear, legible, and on a sheet size appropriate to easily convey all necessary project information. Suggested minimum sheet size for site plans is 11"x17" (Excludes tentative parcel and final maps)
- ↳ Site plan shall provide for and indicate all of the following:
  - North arrow
  - Existing & proposed structures
  - Loading/unloading areas
  - All existing & proposed site features
  - Adjacent street names
  - Accessible path of travel from right of way
  - Site dimensions, including building
  - Refuse enclosures & containers
  - Accessible path of travel from ADA stall
  - Existing and proposed fencing at site
  - Valley oak trees (show drip line)
  - Location and width of drive approaches to site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed landscaping
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
  - Parking stalls (include ADA)
- ↳ Submit 20 copies of the site plan with this application, folded to a legal size of 9" x 12" with the print on the outside (no rolled plans)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Deborah Volosin Signature of Owner or Authorized Agent\*

Address: 1001 W Acequia

City, State, Zip: Visalia, CA 93291 Owner \_\_\_\_\_ Date \_\_\_\_\_

Phone: (559) 1024-2382 Deborah Volosin \_\_\_\_\_ 3/19/2021

Email: d.volosin@kdhad.org Authorized Agent\* \_\_\_\_\_ Date \_\_\_\_\_

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:

I, \_\_\_\_\_, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN): \_\_\_\_\_

AGENT:

I designate Deborah Volosin to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to host food trucks relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 19th day of March, 2021.

| OWNER                 | AGENT   |
|-----------------------|---|
| Signature of Owner    | <u>Deborah Volosin</u><br>Signature of Agent          |
| Owner Mailing Address | <u>1001 W Acequia Avenue</u><br>Agent Mailing Address |
| Owner Phone Number    | <u>(559) 1024-2382</u><br>Agent Phone Number          |





# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website ([www.visalia.city](http://www.visalia.city)) or by calling (559) 713-4440-



This application **MUST** be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on **Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -**
- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Orchard Walk Medium Density Project Date: March 18, 2021

Project Description: Development of vacant parcel into 154 Single-Family Residential lots

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: \_\_\_\_\_

Property Owner: AHA Development Group, Inc., 20331 Irvine Avenue, Suite #E2, Newport Beach, CA 92660

Applicant(s) Name: QK, 901 E. Main Street, Visalia, CA 93292

Project Address/Location: Northeast corner of N. Court Street and W. Riggin Avenue

Assessor Parcel Number: 0 7 9 - 3 1 0 - 0 0 4 and 005

Parcel Size (Acreage or Square Feet): 15.68 acres Building or Suite Square Footage: \_\_\_\_\_

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ \_\_\_\_\_

Describe All Proposed Building Modifications: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 03/19/2021

SPR Agenda: 03/24/2021 Item No. \_\_\_\_\_

Zone: R-M-2 SPR No. 21-042

Historic District: Yes  No

Flood Zone: X  AE  X/AE

OPERATIONS & TRAFFIC INFORMATION

**-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --**

Existing/Prior Building Use: Undeveloped - Vacant

Proposed Building Use: Small Lot Single-Family Development

Proposed Hours of Operation: \_\_\_\_\_

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Number of Customers Per Day (Estimated): Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Predicted Peak Operating Hour: \_\_\_\_\_

Describe Any Truck Delivery Schedule & Operations: \_\_\_\_\_  
 \_\_\_\_\_

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees  
 (Provide Separate Attachment if Necessary): \_\_\_\_\_  
 \_\_\_\_\_

Describe Any Special Events Planned for the Facility: \_\_\_\_\_  
 \_\_\_\_\_

SITE PLAN REQUIREMENTS


**SITE PLAN MINIMUM REQUIREMENTS**

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
  - North arrow
  - Existing & proposed structures
  - Loading/unloading areas
  - All existing & proposed site features
  - Adjacent street names
  - Accessible path of travel from right of way
  - Site dimensions, including building
  - Refuse enclosures & containers
  - Accessible path of travel from ADA stall
  - Existing and proposed fencing at site
  - Valley oak trees (show drip line)
  - Location and width of drive approaches to site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed landscaping
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
  - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: AHA Development Group, Inc. Signature of Owner or Authorized Agent\* \_\_\_\_\_

Address: 20331 Irvine Avenue, Suite #E2  3/18/21

City, State, Zip Newport Beach, CA 92660 Owner \_\_\_\_\_ Date \_\_\_\_\_

Phone: (949) 612-9170 \_\_\_\_\_

Email: matt@ahadevelopment.com Authorized Agent\* \_\_\_\_\_ Date \_\_\_\_\_

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

AGENCY AUTHORIZATION FORM

**AGENCY AUTHORIZATION**

OWNER:

I, AHA Development Group, Inc., declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

079 310 004 and 005

AGENT:

I designate QK c/o Steve Brandt, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to Major Site Plan Review relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 18th day of March, 2021.

| <u>OWNER</u>                          | <u>AGENT</u>   |
|---------------------------------------|--|
| Signatures                            |  |
| Signature of Owner                    | Signature of Agent   |
| <u>20331 Irvine Avenue, Suite #E2</u> | <u>901 E. Main Street</u>  |
| Owner Mailing Address                 | Agent Mailing Address  |
| <u>Newport Beach, CA 92660</u>        | <u>Visalia, CA 93292</u>   |
| <u>(949) 612-970</u>                  | <u>(559) 733-0440</u>  |
| Owner Phone Number                    | Agent Phone Number   |







# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

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This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: P.K. Deli exterior stucco Date: 3/12/2021

Project Description: Stucco the front of the building to give it a face lift

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: \_\_\_\_\_

Property Owner: Robert & Lena Vanderham

Applicant(s) Name: Ernesto Acoves - EMC Construction

Project Address/Location: 219 N Court St.

Assessor Parcel Number: 0 9 4 3 3 5 - 0 1 1

Parcel Size (Acreage or Square Feet): 0.4701 Building or Suite Square Footage: 4000

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$40,000

Describe All Proposed Building Modifications: Adding crown molding awnings and pop out's to the windows

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 03/18/2021  
 SPR Agenda: 03/24/2021 Item No. \_\_\_\_\_  
 Zone: D-MU SPR No. 21-043  
 Historic District: Yes  No   
 Flood Zone: X  AE  X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Retail

Proposed Building Use: Resturant / Deli

Proposed Hours of Operation: \_\_\_\_\_

Days of Week In Operation (Circle): (Su) (M) (T) (W) (Th) (F) (Sa)

Number of Employees Per Day: Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Number of Customers Per Day (Estimated): Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Predicted Peak Operating Hour: This business is already operating

Describe Any Truck Delivery Schedule & Operations: as Piter Kabob this is just an extention of the business.

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): \_\_\_\_\_

Describe Any Special Events Planned for the Facility: \_\_\_\_\_



**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
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  - All existing & proposed site features
  - Adjacent street names
  - Accessible path of travel from right of way
  - Site dimensions, including building
  - Refuse enclosures & containers
  - Accessible path of travel from ADA stall
  - Existing and proposed fencing at site
  - Valley oak trees (show drip line)
  - Location and width of drive approaches to site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed landscaping
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
  - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Ernesto Aceves Signature of Owner or Authorized Agent\*

Address: 31165 Rd 160

City, State, Zip Visalia CA 93292 Owner \_\_\_\_\_ Date \_\_\_\_\_

Phone: (559) 972-7306 Authorized Agent\* \_\_\_\_\_ Date 3/18/2021

Email: emcconstruction79@yahoo.com

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:

I, \_\_\_\_\_, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):


\_\_\_\_\_

AGENT:

I designate Ernesto Aceves, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to \_\_\_\_\_ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 18 day of March, 2021.

| OWNER                 | Signatures | AGENT  |
|-----------------------|------------|--|
| Signature of Owner    |            | <br>Signature of Agent |
| Owner Mailing Address |            | <u>31165 Rd 160</u><br>Agent Mailing Address   |
|                       |            | <u>Visalia CA 93292</u>  |
| Owner Phone Number    |            | <u>(559) 972-7306</u><br>Agent Phone Number  |

# CITY OF VISALIA

315 E Acequia Ave  
Visalia, CA 93291  
559-713-4444

## PLAN CHECK CONDITION/REVISION LIST

Date: February 25, 2021  
Project Contact: ERNESTO ACEVES  
Plan Check No.: B204848  
Project Address: 219 N COURT ST  
Project Description:

Please refer to the City's stamped status **on the plans** to determine whether a plan re-submittal is required.

The items noted below delineate the conditions/revisions of the City. Based on the status of the plans, please address the conditions/revisions as necessary.

Each line item includes a Tag number and a PDF page number, if applicable, for easy reference to the reviewed plans.

**If your plans require a re-submittal (based on plan status),** re-submit a complete revised set of plans to the City for additional review.

### **Plan Check Expiration Date and Extensions:**

The permit will expire within 180 calendar days of inactivity between permit submittals. Under certain circumstances, applicants may request an extension of the 180 calendar days at the discretion of the Building Official. Inactive permits that have expired will be discarded by the City of Visalia 365 days, including the initial 180 days, after permit inactivity.

### **Building Dept.**

1. Provide a complete set of plans, with site plan, including all work to be done. [Comment 0004] Document-Page: PLAN-001 **See the last question on page 2 below.**
2. Provide project data information. [Comment 0005] Document-Page: PLAN-001 **This usually includes the APN. I'll need that number and then will add all the data in a text box on the Cover Sheet.**
3. Show where 20 percent of the adjusted cost of construction will be used for accessible path of travel 11B-202.4 [Comment 0009] Document-Page: PLAN-001 **Add a NOTE??**
4. Encroachment permits are required for all work done in the public way. [Comment 0010] Document-Page: PLAN-001 **Will you get this Encroachment Permit??**
5. This project is located in a hazard flood zone. [Comment 0011] Document-Page: PLAN-001 **???**
6. All buildings shall be identified with approved address. It shall be legible and placed in a position that is visible from the street. Numbers shall be not less than 4 inches in height and shall contrast with the background. [Comment 0012] Document-Page: PLAN-001 **I'll add this note.**
7. Signs shall be by separate permit. [Comment 0001] Document-Page: PLAN-002 **Add Note??**
8. Provide attachment detail, calculated for 20 psi live load and basic wind speed of 95. [Comment 0002] Document-Page: PLAN-002 **This depends on Pg. 2, #2.**
9. Awning with less than 15 feet of clearance above the sidewalk shall not extend into or occupy more than two-thirds the width of the sidewalk measured from the building. [Comment 0003] Document-Page: PLAN-002 **I'll add this as a note?**



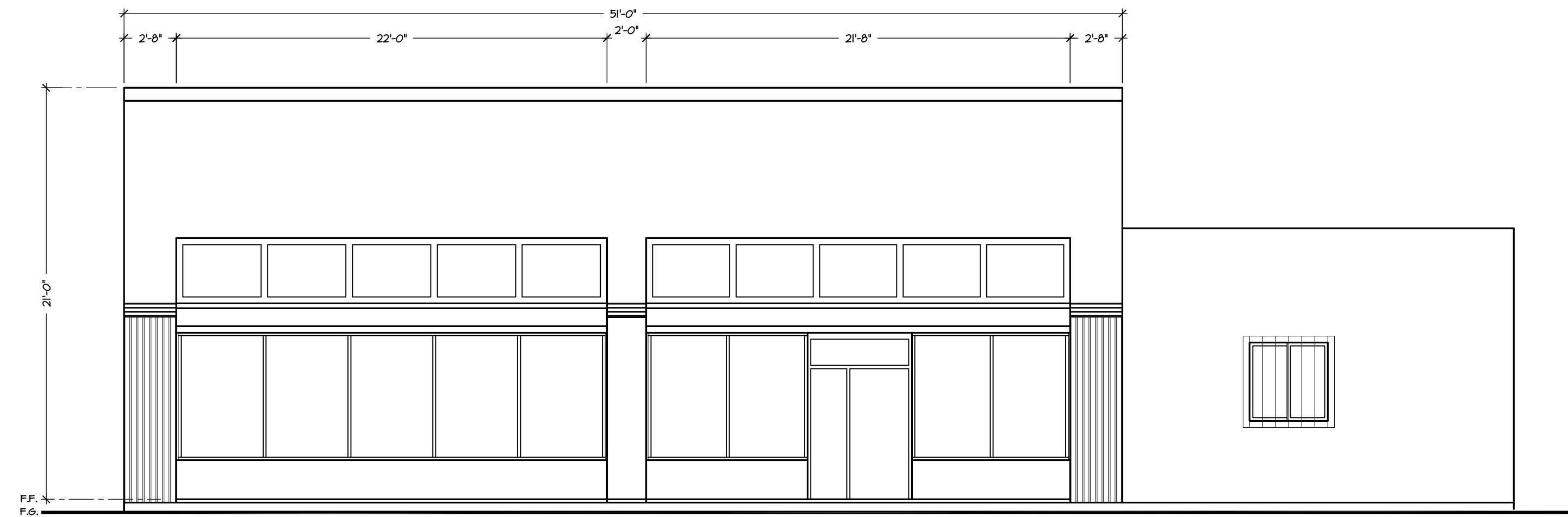
## Building Dept.

10. Provide detail, include dimensions of inset. Show landings at new door. [Comment 0006] Document-Page: PLAN-002 **We already noted that the door was from the other permit. They didn't accept that.**
11. Provide installation details on lights, glass block, corbel, etc. [Comment 0007] Document-Page: PLAN-002 **We'll say no glass block, but where to get installation details for lights and corbels??**
12. Provide energy analysis (Title 24) meeting 2019 Cal Energy Code. [Comment 0008] Document-Page: PLAN-002 **The new door could have triggered this. Was Title-24 done on the other permit? If they press the point, this would have to be done by the architect or someone with access to his plans, or they will have to be redrawn at an added cost! As you know, the floor plan area, ceiling height, and all windows and doors are used in the calculation, as well as HVAC information.**

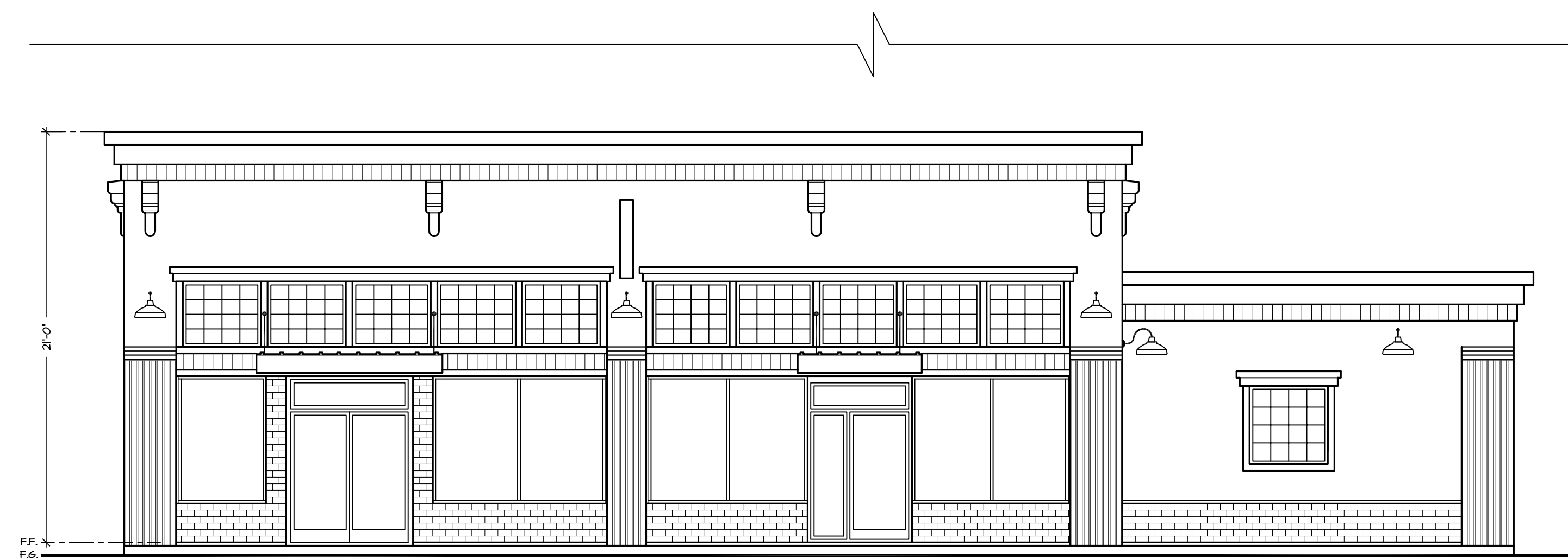
## Planning Dept.

1. Awning materials shall be cloth or canvas, based on Zoning Ordinance Standards applicable to new and alteration to existing buildings in the downtown retail overlay district (Section 17.58.080). [Comment 0013] Document-Page: PLAN-002 **I'm sure I've seen other buildings in Visalia with similar horizontal metal awnings . . . If they really don't allow them, we might have to change them to cloth or eliminate the awnings??**
2. Site Plan Review required for exterior renovations within the downtown retail design district, per Zoning Ordinance Section 17.58.050. *File application for & complete Site Plan Review before submitting for building permit. Now they tell you!* [Comment 0014] Document-Page: PLAN-002 **Is there a Site Plan for the interior plans? If you do need me to do a Site Plan, I will have to charge for that under the "after-the-fact" requests. Hopefully there is one on the other set of plans, but if not, how did that set get approved? Maybe as it says it's only required on **exterior renovations**.**

# New Elevations for 219 North Court Street Visalia, California



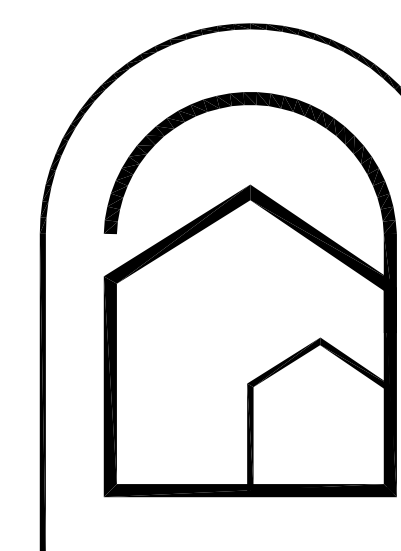
ORIGINAL / EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION (COURT STREET / EAST SIDE)

SHEET INDEX :

- A1 COVER SHEET
- A2 FRONT & NORTH SIDE ELEVATIONS
- A3 REAR & SOUTH SIDE ELEVATIONS

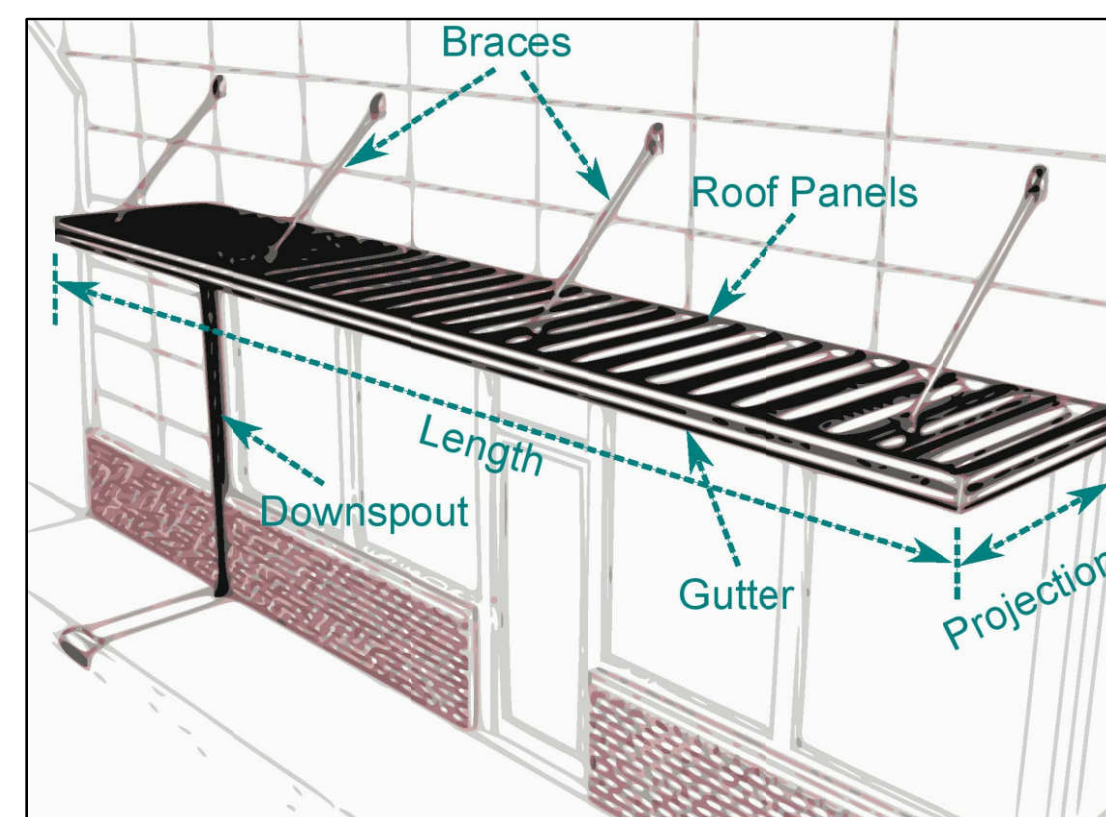
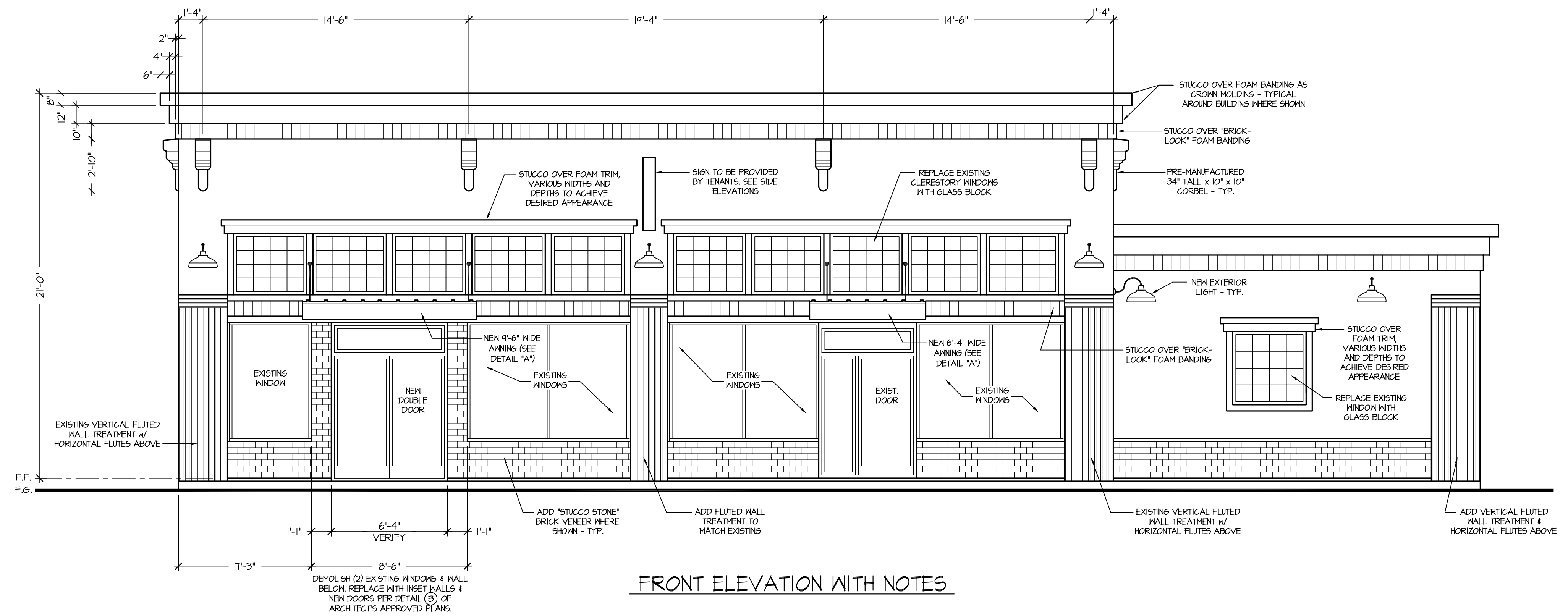


BUILDER :  
**EMC CONSTRUCTION**  
• Phone: (559) 972-7306 • emconstruction79@yahoo.com  
DRAWN BY :  
PAM GIST ~ (559) 280-1432  
pam@drawingboardusa.com

NEW ELEVATIONS  
FOR  
219 NORTH COURT STREET  
VISALIA, CALIFORNIA 93291  
ROBERT & LENA VANDERHAM

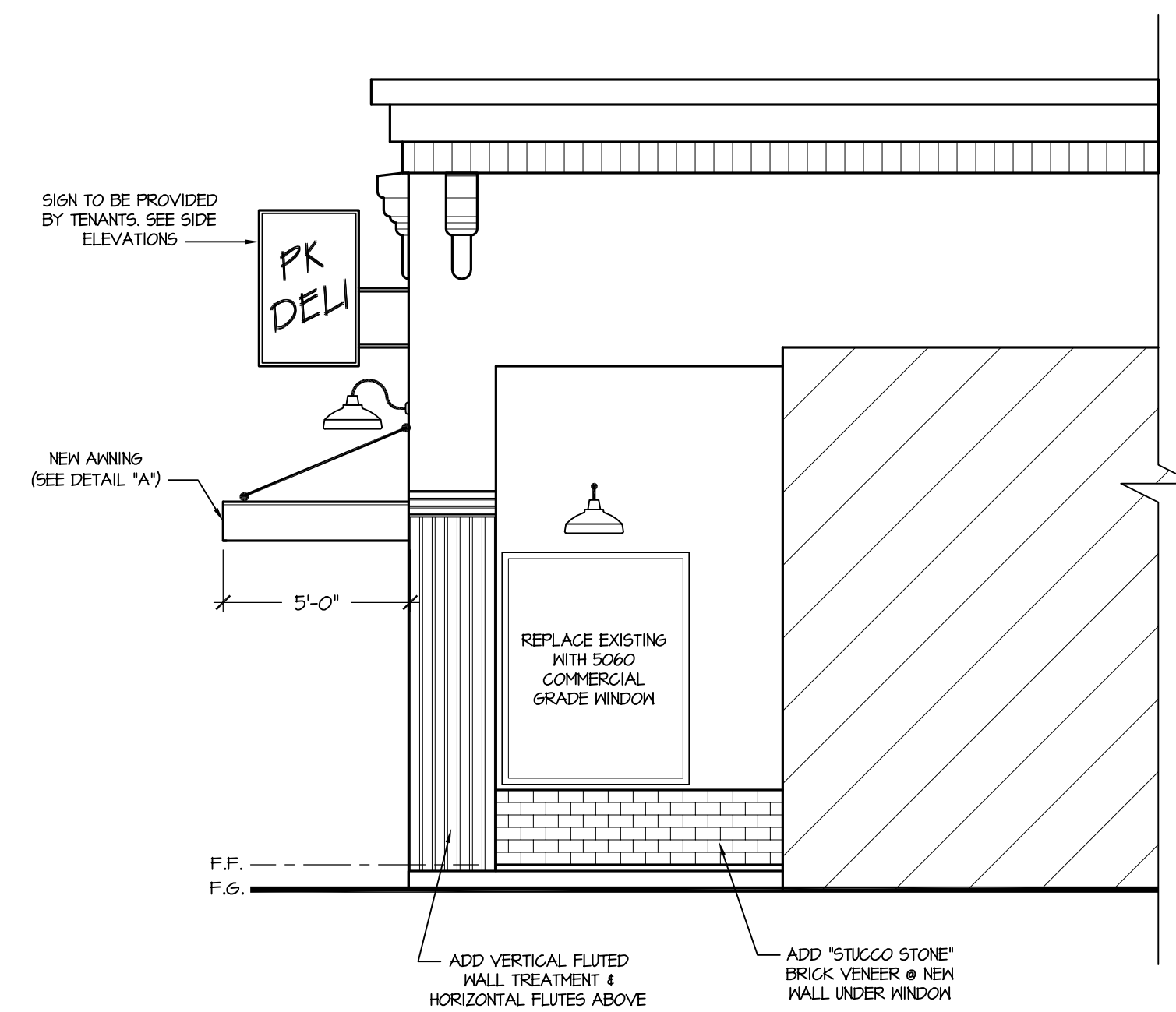
sheet number:

**A1**

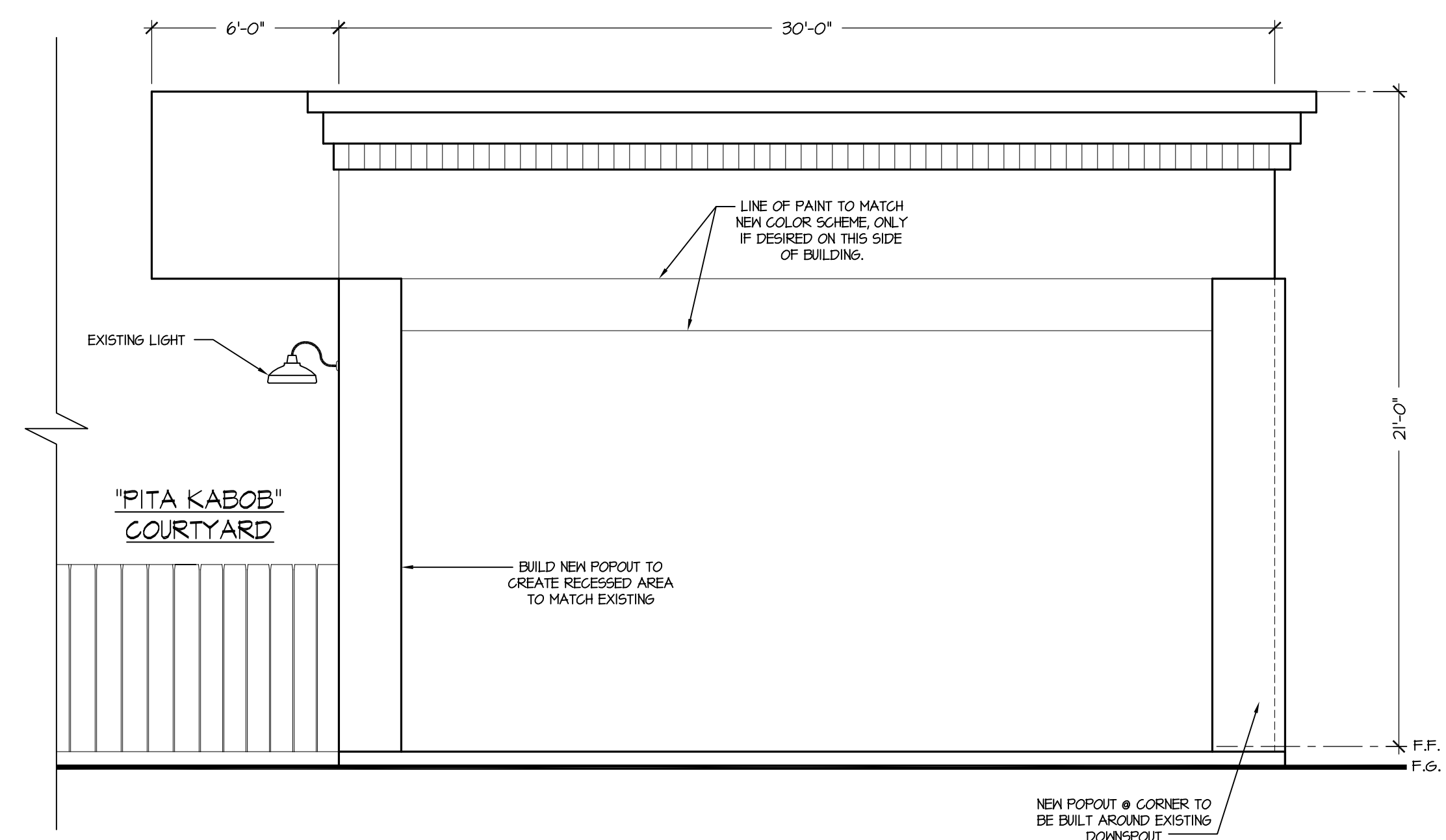


**A IMPERIAL MARQUEE AWNING PANELS BY GENERAL AWNINGS - OR EQUAL**

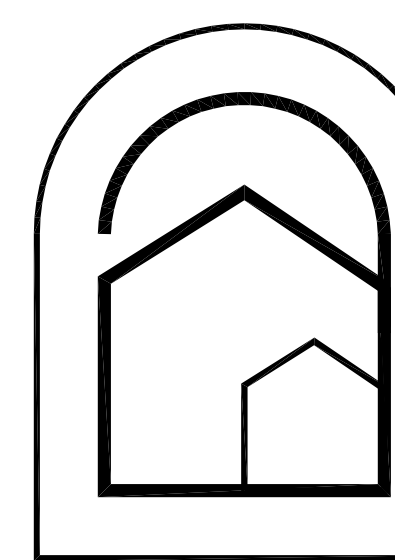
- Structural roof panels: 8"-wide aluminum flat panels.
- 10" V-shaped and 24" W-shaped aluminum stucco embossed panels are also available.
- Powder coated overhead steel braces.
- Extruded aluminum 6" tall gutter.
- Optional gutter extensions for up to 24" high gutter.
- Optional downspout kit.



NORTH SIDE



OAK STREET



BUILDER :  
**EMC CONSTRUCTION**  
 • Phone: (559) 972-7306 • emcconstruction79@yahoo.com  
 DRAWN BY :  
 PAM GIST ~ (559) 280-1432  
 pam@drawingboardusa.com

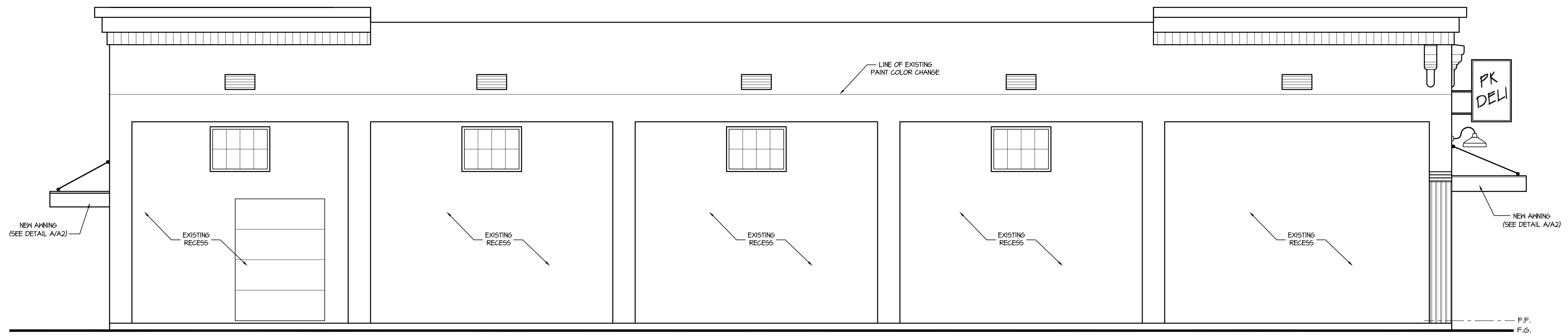
NEW ELEVATIONS  
 FOR  
 219 NORTH COURT STREET  
 VISALIA, CALIFORNIA 93291  
 ROBERT & LENA VANDERHAM

sheet number:

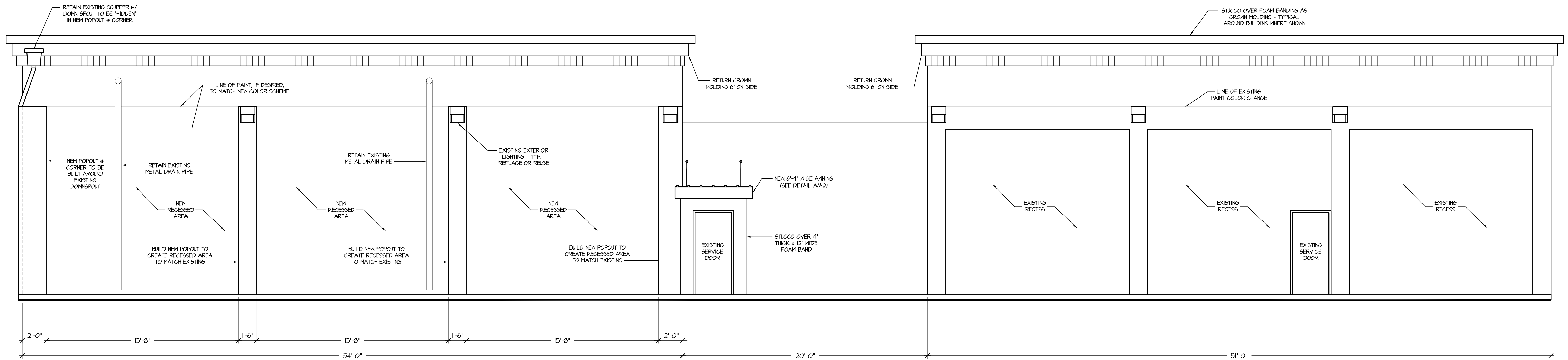
**A2**

SCALE: 1/4" = 1'-0"

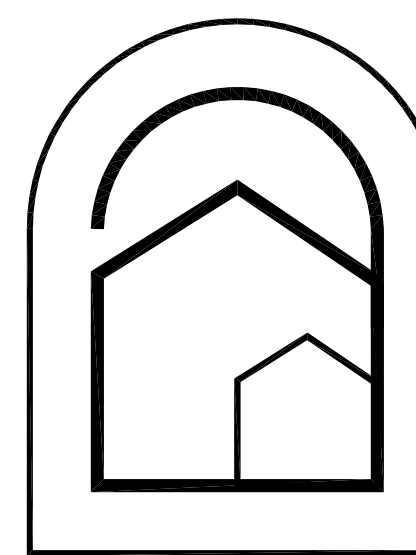




ALLEY / SOUTH SIDE



REAR ELEVATION (PARKING LOT / WEST SIDE)



BUILDER :  
**EMC CONSTRUCTION**  
 • Phone: (559) 972-7306 • emcconstruction79@yahoo.com  
 DRAWN BY :  
 PAM GIST ~ (559) 280-1432  
 pam@drawingboardusa.com

NEW ELEVATIONS  
 FOR  
 219 NORTH COURT STREET  
 VISALIA, CALIFORNIA 93291  
 ROBERT & LENA VANDERHAM

sheet number:

**A3**

SCALE: 1/4" = 1'-0"