

# SITE PLAN REVIEW AGENDA

3/17/2021 - 9:00 A.M.

Conference Room #4

315 E. Acequia Avenue

**ITEM NO: 1 Resubmit**

SITE PLAN NO: SPR20135

PROJECT TITLE: Orchard Walk West - Phase 2

DESCRIPTION: Multi-Pad Commercial Development with 3 Proposed Buildings, Off-Street Parking, Walkways and Landscaping. Proposed uses are Gas Station, Retail and Drive-Thru Food. (C-MU)

APPLICANT: Donahue Schriber

OWNER: DONALD SCHRIBER REALTY GROUP LP

APN: 078120030

LOCATION: NW Corner Intersection Riggan Ave & Dinuba Blvd.

**ITEM NO: 2 Resubmit**

SITE PLAN NO: SPR20192

PROJECT TITLE: Autozone Visalia - 0265

DESCRIPTION: Proposed Commercial Retail Building and Associated Parking Lot, Hardscape, Landscaping and Associated Utilities. (C-MU)

APPLICANT: Ryan Alvarez-Kimley-Horn & Assoc.

OWNER: CLEMENTS KEVIN

APN: 126890002

LOCATION: 3549 W CALDWELL AVE

**ITEM NO: 3**

SITE PLAN NO: SPR21035

PROJECT TITLE: New Restaurant and Retail/Office

DESCRIPTION: Tenant Improvement to Convert to a Restaurant (D-MU)

APPLICANT: Mario Celillo

OWNER: DOE RUSSELL M & TAMARA J (TRS)(CH REM

APN: 093194016

LOCATION: 500 W MAIN ST

**ITEM NO: 4**

SITE PLAN NO: SPR21036

PROJECT TITLE: 830 E. Roosevelt Ave Apartments

DESCRIPTION: New Construction , (2) 2 Story Buildings - Building "A" 2 Bedroom 1 Bath; Building "B" 2 Bedroom 1 Bath Upstairs, 1 Bedroom 1 Bath Downstairs. (R-M-2)

APPLICANT: Tom Hayslett

OWNER: KAWEAH MANAGEMENT COMPANY, INC

APN: 094130056

LOCATION: 830 E. Roosevelt Ave

**ITEM NO: 5**

SITE PLAN NO: SPR21037

PROJECT TITLE: Oakwood Ranch

DESCRIPTION: New 102 - Unit Multi-Family Complex (O-PA/R-M-3)

APPLICANT: Ken Turner

OWNER: DAVIS KAP(SURV TR OF DAVIS FAM TR)

COTDALE LP

WALKER ROSE ANN

AFTER REVIEW OF REGULAR AGENDA ITEMS, THE COMMITTEE WILL BE AVAILABLE TO REVIEW OFF-AGENDA ITEMS FOR INFORMAL REVIEW. THE COMMITTEE WILL BE AVAILABLE TO ANSWER QUESTIONS AT THAT TIME.

## SITE PLAN REVIEW AGENDA

3/17/2021 - 9:00 A.M.

Conference Room #4

315 E. Acequia Avenue

APN: 077660022  
077660023  
077660024

LOCATION: Between N. Demaree and W. Houston Ave

### ITEM NO: 6

SITE PLAN NO: SPR21038

PROJECT TITLE: River Run Ranch

DESCRIPTION: Substantial Conformance Exhibit (R-1-5/R-M-2)

APPLICANT: Jocelyn Correa

OWNER: DYT DARREN & HAYLEE  
DYT DORIS (TR) (REV TR)

APN: 103020069  
103020072  
103020068

LOCATION: River Run Street - Between Houston & St. Johns

AFTER REVIEW OF REGULAR AGENDA ITEMS, THE COMMITTEE WILL BE AVAILABLE TO REVIEW OFF-AGENDA ITEMS FOR INFORMAL REVIEW. THE COMMITTEE WILL BE AVAILABLE TO ANSWER QUESTIONS AT THAT TIME.

# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website ([www.visalia.city](http://www.visalia.city)) or by calling (559) 713-4440-



This application **MUST** be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- **Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present** -  
 - Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Orchard Walk West-Phase 2 Date: \_\_\_\_\_

Project Description: Multi-Pad commercial development with 3 proposed buildings, off-street parking, walkways and landscaping. propose uses are gas station, retail and drive-thru food- we are submitting this SPR for phase 2 improvements and also CUP for having proposed lots less than 5 acres

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: SPR 20-135

Property Owner: Donahue Schriber Realty Group

Applicant(s) Name: Donahue Schriber Realty Group

Project Address/Location: NW Corner Intersection Riffin & Dinuba Blvd

Assessor Parcel Number: 078-120-030 - \_\_\_\_\_

Parcel Size (Acreage or Square Feet): 11.7 Acres +/- Building or Suite Square Footage: \_\_\_\_\_

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ \_\_\_\_\_

Describe All Proposed Building Modifications: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received: 03/11/2021

SPR Agenda: 03/17/2021 Item No. \_\_\_\_\_

Zone: C-MU SPR No. 20-135

Historic District: Yes  No

Flood Zone: X  AE  X/AE

- - **A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS** - -

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Vacant Land

Proposed Building Use: Future Commercial Mix-use

Proposed Hours of Operation: \_\_\_\_\_

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Number of Customers Per Day (Estimated): Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Predicted Peak Operating Hour: \_\_\_\_\_

Describe Any Truck Delivery Schedule & Operations: \_\_\_\_\_  
 \_\_\_\_\_

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): \_\_\_\_\_  
 \_\_\_\_\_

Describe Any Special Events Planned for the Facility: \_\_\_\_\_  
 \_\_\_\_\_

**SITE PLAN MINIMUM REQUIREMENTS**


SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 

- North arrow	- Existing & proposed structures	- Loading/unloading areas
- All existing & proposed site features	- Adjacent street names	- Accessible path of travel from right of way
- Site dimensions, including building	- Refuse enclosures & containers	- Accessible path of travel from ADA stall
- Existing and proposed fencing at site	- Valley oak trees (show drip line)	- Location and width of drive approaches to site
- Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)	- Existing & proposed landscaping	- Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
	- Parking stalls (include ADA)	

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Michael Osborne</u>	Signature of Owner or Authorized Agent*	
Address: <u>200 E. Baker St., #100</u>		<u>3-11-21</u>
City, State, Zip: <u>Costa Mesa, CA 92626</u>	Owner	Date
Phone: <u>714.336.6204</u>		
Email: <u>mosborne@westernstatescmg.com</u>	Authorized Agent*	Date

\* If signed by an authorized agent , the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:

I, \_\_\_\_\_, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

\_\_\_\_\_

AGENT:

I designate \_\_\_\_\_, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to \_\_\_\_\_ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number

**PROJECT SUMMARY**

SITE AREA (PH. II) 6.2 ACRES

**BUILDING AREAS**

PAD B	2,400 S.F.
PAD F	3,500 S.F.
PAD E1	16,000 S.F.
PAD E2	18,400 S.F.
<b>TOTAL G.L.A.</b>	<b>40,300 S.F.</b>

DRIVE THRU STACKING  
PAD B 200 L.F.

**PARKING REQUIREMENTS**

(SHOPPING CENTERS 1 SPC / 225 S.F. BLDG. AREA)

39,905 / 225 = 180 **SPCS REQ'D.**

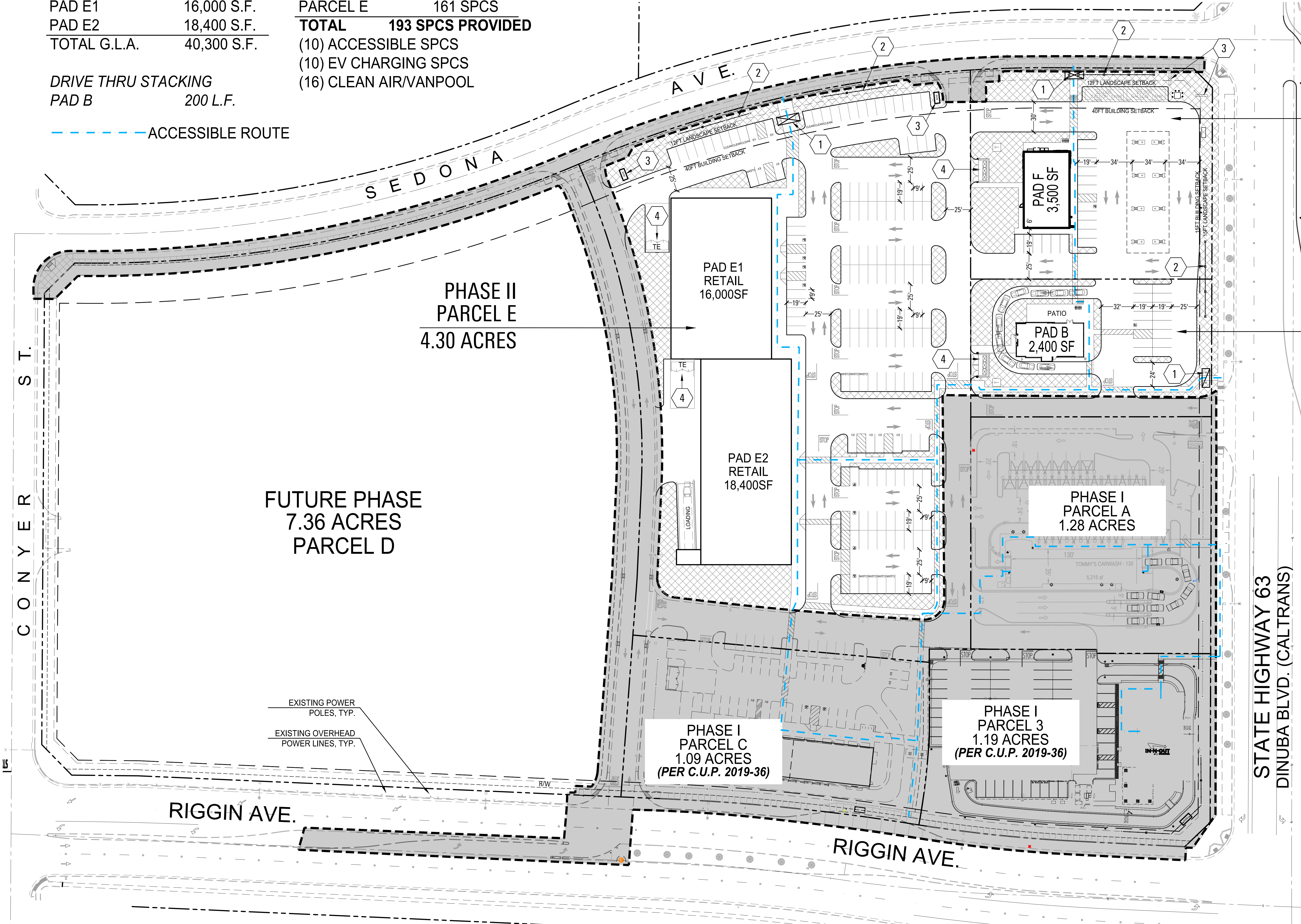
PARCEL B	15 SPCS
PARCEL F	17 SPCS
PARCEL E	161 SPCS

**TOTAL 193 SPCS PROVIDED**

- (10) ACCESSIBLE SPCS
- (10) EV CHARGING SPCS
- (16) CLEAN AIR/VANPOOL

**PROPOSED PH. II LANDSCAPE AREAS**  
ALL LANDSCAPING IN THESE AREAS TO BE INSTALLED PER APPROVED SPECIFIC PLAN TO MATCH EXISTING ORCHARD WALK EAST.

**PHASE I LIMITS**  
THESE AREAS TO BE INSTALLED PER APPROVED CUP 2019-36. DATED 11-12-19



**PHASE II PARCEL F**  
1.15 ACRES  
FUEL CENTER

**PHASE II PARCEL B**  
0.75 ACRES  
FAST FOOD W/  
DRIVE THRU

**PHASE II PARCEL E**  
4.30 ACRES

**FUTURE PHASE**  
7.36 ACRES  
PARCEL D

**PHASE I PARCEL C**  
1.09 ACRES  
(PER C.U.P. 2019-36)

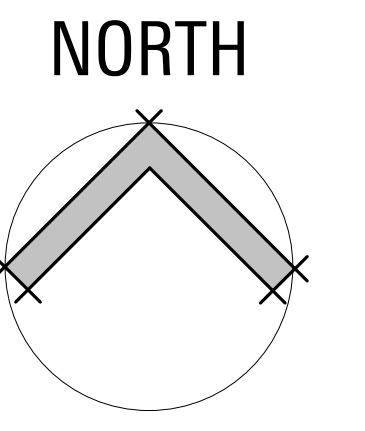
**PHASE I PARCEL 3**  
1.19 ACRES  
(PER C.U.P. 2019-36)

**LEGEND**

- 1 NEW WOOD ARCHWAYS - TO MATCH EXISTING AT ORCHARD WALK EAST, TYPICAL. (3 TOTAL)
- 2 NEW STONE PILASTERS W/ WOOD RAILING - TO MATCH EXISTING AT ORCHARD WALK EAST, TYPICAL.
- 3 NEW MONUMENT SIGN - (4) TOTAL
- 4 NEW TRASH ENCLOSURE

EXISTING POWER POLES, TYP.  
EXISTING OVERHEAD POWER LINES, TYP.

STATE HIGHWAY 63  
DINUBA BLVD. (CALTRANS)



SCALE=1"=40'-0"



**PROJECT: ORCHARD WALK WEST**  
**NE CORNER RIGGIN & DINUBA**  
**VISALIA, CA**

**SPR 20-135: 2ND SUBMITTAL**  
**MARCH 11, 2021**

**LITTLE**  
DIVERSIFIED ARCHITECTURAL CONSULTING  
1300 Dove Street, Suite # 100  
Newport Beach, CA. 92660  
T: 949.698.1400 F: 949.698.1433  
www.littleonline.com

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GENERAL PROJECT INFORMATION

Project/Business Name: AUTOZONE VISALIA - 0265 Date: 03/09/2021

Project Description: PROPOSED COMMERCIAL RETAIL BUILDING AND ASSOCIATED PARKING  
LOT, HARDSCAPE, LANDSCAPING AND ASSOCIATED UTILITES

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: SPR20-192

Property Owner: CLEMENTS KEVIN

Applicant(s) Name: RYAN ALVAREZ - KIMLEY-HORN AND ASSOCIATES

Project Address/Location: \_\_\_\_\_

Assessor Parcel Number: 126 890 002 000

Parcel Size (Acreage or Square Feet): 3.7 AC Building or Suite Square Footage: 7,380 SF

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ \_\_\_\_\_

Describe All Proposed Building Modifications: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received: 03/09/2021

SPR Agenda: 03/17/2021 Item No. \_\_\_\_\_

Zone: C-MU SPR No. 20-192

Historic District: Yes  No

Flood Zone: X  AE  X/AE

OPERATIONS & TRAFFIC INFORMATION

- - **A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS** - -

Existing/Prior Building Use: VACANT

Proposed Building Use: COMMERCIAL RETAIL

Proposed Hours of Operation: \_\_\_\_\_

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Number of Customers Per Day (Estimated): Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Predicted Peak Operating Hour: \_\_\_\_\_

Describe Any Truck Delivery Schedule & Operations: \_\_\_\_\_  
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 (Provide Separate Attachment if Necessary): \_\_\_\_\_  
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  - Existing and proposed fencing at site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed structures
  - Adjacent street names
  - Refuse enclosures & containers
  - Valley oak trees (show drip line)
  - Existing & proposed landscaping
  - Parking stalls (include ADA)
  - Loading/unloading areas
  - Accessible path of travel from right of way
  - Accessible path of travel from ADA stall
  - Location and width of drive approaches to site
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>RYAN ALVAREZ - KIMLEY-HORN AND ASSOCIATES</u> Address: <u>765 The City Drive, Suite 200</u> City, State, Zip <u>Orange, CA 92868</u> Phone: <u>714-786-6322</u> Email: <u>ryan.alvarez@kimley-horn.com</u>	Signature of Owner or Authorized Agent* _____ Owner _____ Authorized Agent* _____ Date _____ Date _____
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\* If signed by an authorized agent , the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:

I, \_\_\_\_\_, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN): 126 890 002 000

AGENT:

I designate \_\_\_\_\_, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to \_\_\_\_\_ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number

## MEMORANDUM

To: City of Visalia  
From: Ryan Alvarez  
Kimley-Horn and Associates, Inc.  
Date: 3/8/2021  
Subject: **AutoZone Visalia – SPR 20-192**

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Response to comments:

The following corresponds to the *ADDITIONAL* comments and comment list provided.

### **Engineering Division:**

1. The city is currently at 90% design for Caldwell realignment which affects your property frontage. Coordinate with Fred Lampe.  
*Response: Caldwell improvements will be shown on future submittal. I have coordinated the request for files to incorporate improvements along Caldwell. From the discussion I had with Fred, the CIP improvements will not cause any major changes to our improvements or landscaping along Caldwell.*
2. Install frontage improvements according to CIP design  
*Response: Improvements from CIP will be incorporated during building plan check, files have been requested from engineer/designer. CIP improvements will not cause any major changes to proposed on-site improvements according to Fred Lampe.*
3. Install street trees per city standards  
*Response: Updated.*
4. Pedestrian access easement may be necessary based on final design.  
*Response: Noted, please elaborate on what may cause this to be required and where the easement would be located.*
5. How will the proposed parcel be established?  
*Response: The proposed lot will undergo a lot split – provided with future submittal*
6. Provided A/C curb at all pavement perimeters to prohibit vehicles from driving on unimproved surfaces.  
*Response: Provided, see site plan.*
7. Meet planning conditions and entitlements  
*Response: Noted.*
8. Connect to internal sewer/storm infrastructure  
*Response: Can you please provide point of connection or location of existing adjacent utilities*
9. Meet city standards for new construction.



*Response: Noted.*

## **Planning Division:**

1. Will the lot be created by lot line adjustment or Parcel map  
*Response: The proposed lot will undergo a lot split – provided with future submittal*
2. Comply with the Caldwell Demaree Specific Plan requirements  
*Response: Noted.*
3. Staff would like to know what will happen with the dirt area to the east. At a minimum frontage landscaping, consistent with the SP, shall be provided across it.  
*Response: Area will not be a part of proposed parcel, owner is responsible for area to the east. Landscaping and screening provided in landscape median adjacent to proposed building and parking spaces per development requirements.*
4. Maximum 10 consecutive parking stalls, shall be reduced or interrupted by landscape island/tree well.  
*Response: Plans have been updated.*

## **Other Divisions:**

1. Install trash enclosure 5' away from PL  
*Response: updated*
2. Provide bike rack.  
*Response: Provided.*
3. Future eve charging and clean air parking per cal green code.  
*Response: Provided on plans.*
4. High Pile storage shall be fully sprinklered with TYPE B system  
*Response: No High pile storage proposed.*
5. Landscaping shall meet the MWELo requirements.  
*Response: updated*



J.B.H. = JOIST BEARING HEIGHT

- 1 TWO PIECE COMPRESSION TRIM SEE DETAIL 4/A6
- 2 SMOOTH FACE CMU, PT. COLOR E
- 3 WALL MOUNTED LIGHT FIXTURE
- 4 PIPE GUARD WITH RED SLEEVE
- 5 STUCCO FINISH (REFER TO PAINT COLOR SCHEDULE)
- 6 PAINT MAN DOOR COLOR AS INDICATED IN COLOR CHART & METAL FRAMES BLACK
- 7 DO NOT PAINT OVERHEAD DOOR PAINT ANGLES BLACK
- 8 EXPANSION JOINT
- 9 ALUMINUM STOREFRONT - REFER TO COLOR CHART
- 10 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 11 FRONT WALL SIGN - 44" AZ ONLY CHANNEL SIGN
- 12 LEFT SIDE WALL SIGN - 36" Right Stripe CHANNEL SIGN
- 13 TOILET WALL VENTS PAINT TO MATCH WALL
- 14 STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS
- 15
- 16 BOND BEAM AT ROOF LINE
- 17 STUCCO FINISH OVER 8" SMOOTH CMU, COLOR PER CHART
- 18 V GROOVE SCORE JOINT
- 19 REAR WALL SIGN - 36" AZ ONLY CHANNEL SIGN

2 ELEVATION KEY NOTES

Materials

- (a)** Two Piece Compression Trim  
Mfg: Metal Era  
Color: "Dark Bronze"
- (b)** Pipe Guard Sleeve  
Mfg: Ideal Shield  
Color: "Red"
- (c)** Aluminum Storefront  
Color: "Red"

Paint Colors

Mfg: Sherwin-Williams Color: SW6086 "Sand Dune"	Mfg: Sherwin-Williams Color: SW6088 "Nuthatch"
<b>(d)</b>	<b>(e)</b>

REVISIONS

1	4	5	6
2			
3			

AutoZone Store No. 0265  
DEMAREE ST AND CALDWELL

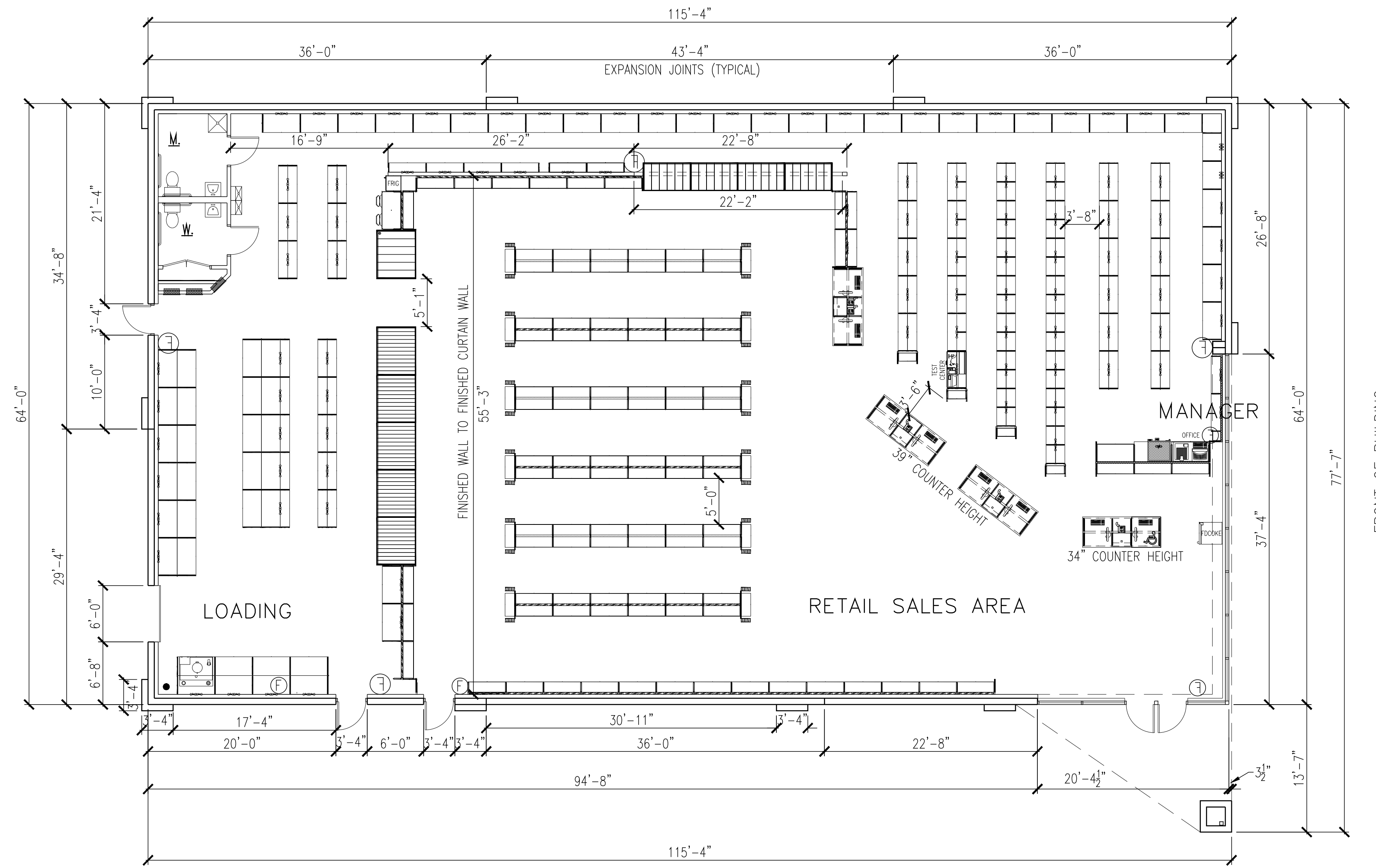
VISALIA CA 92377

COLOR ELEVATIONS AND KEYNOTES

10-16-2020

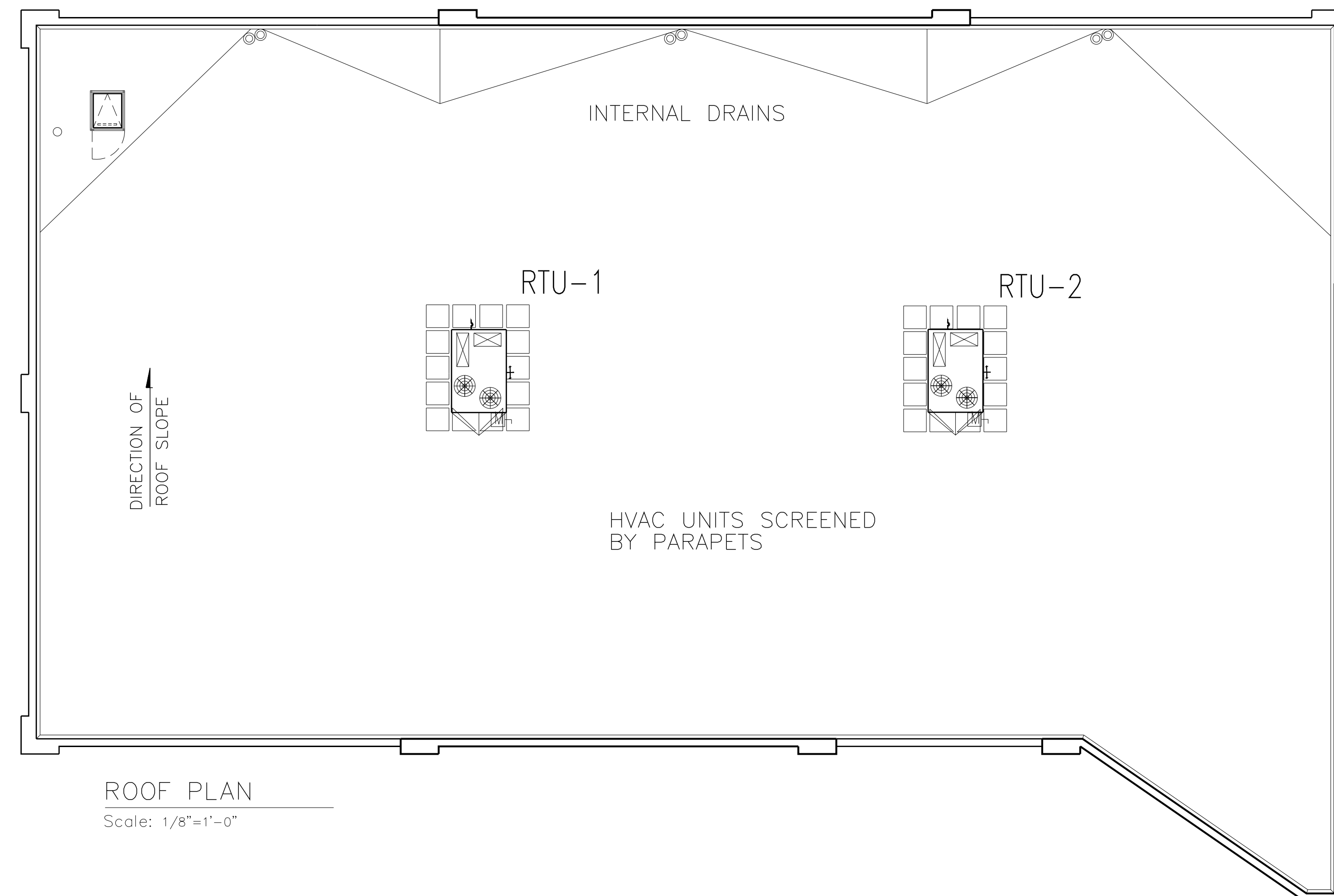
7N2-R

CE1



FLOOR PLAN

Scale: 1/8"=1'-0"



ROOF PLAN

Scale: 1/8"=1'-0"

REVISIONS

1	4
2	5
3	6

AutoZone Store No. 0265  
DEMAREE ST AND CALDWELL

VISALIA CA 92377

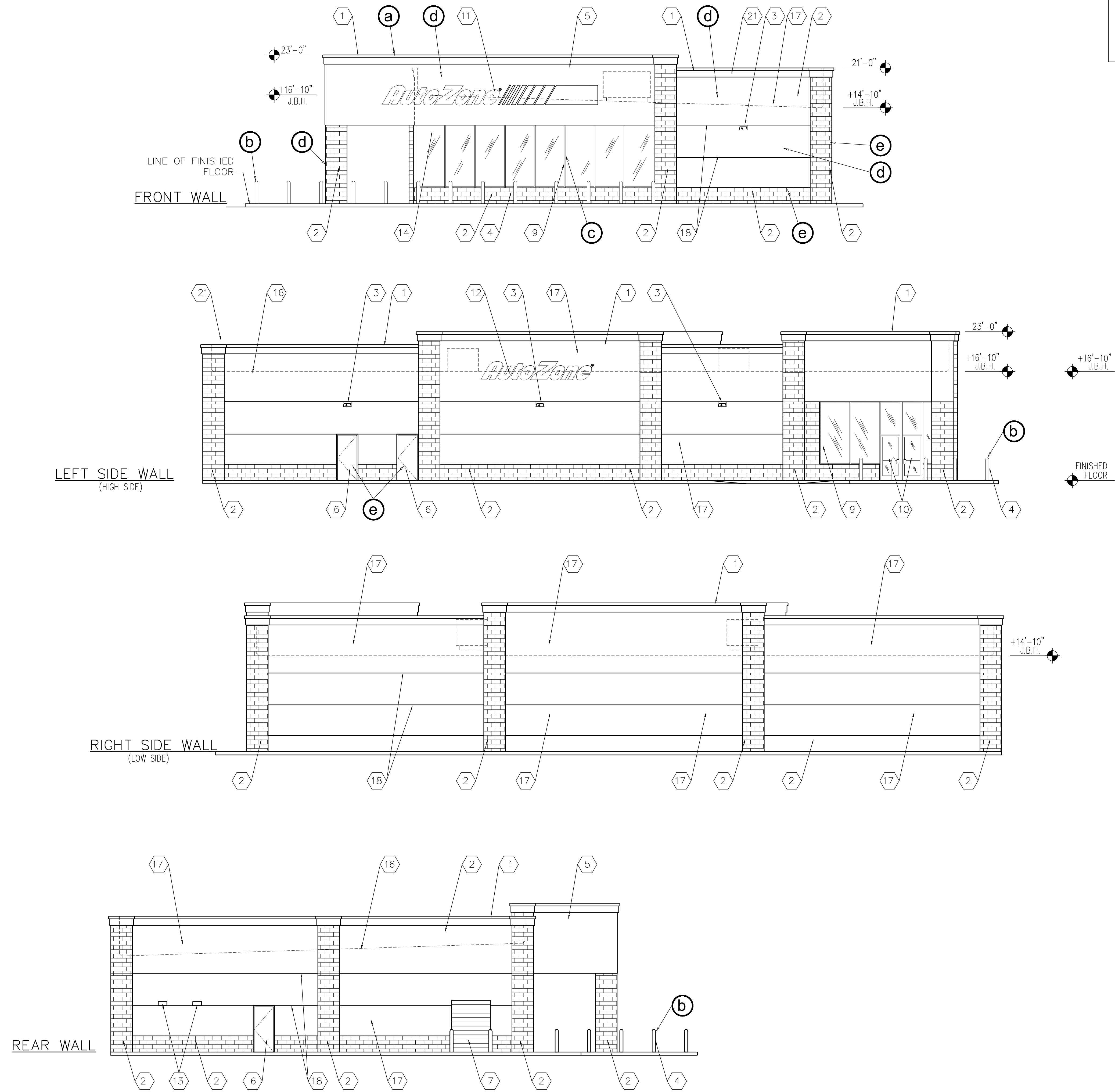
FLOOR PLAN / DOOR SCHEDULE / WALL DETAILS

Architect:  
123 South Front Street  
Memphis, Tennessee 38103  
TEL:  
FAX: (901) 495-8969  
For Bidding & Contractor Information Contact:  
McGraw - Hill Construction Tel. 615-884-1017  
www.construction.com

10-16-2020

7N2-R

PS1



J.B.H. = JOIST BEARING HEIGHT

- 1 TWO PIECE COMPRESSION TRIM SEE DETAIL 4/A6
- 2 SMOOTH FACE CMU, PT. COLOR E
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2 ELEVATION KEY NOTES

Materials

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Mfg: Metal Era  
Color: "Dark Bronze"
- (b) Pipe Guard Sleeve  
Mfg: Ideal Shield  
Color: "Red"
- (c) Aluminum Storefront  
Color: "Red"

Paint Colors

Mfg: Sherwin-Williams Color: SW6086 "Sand Dune"	Mfg: Sherwin-Williams Color: SW6088 "Nuthatch"
(d)	(e)

REVISIONS		
1	2	3
4	5	6

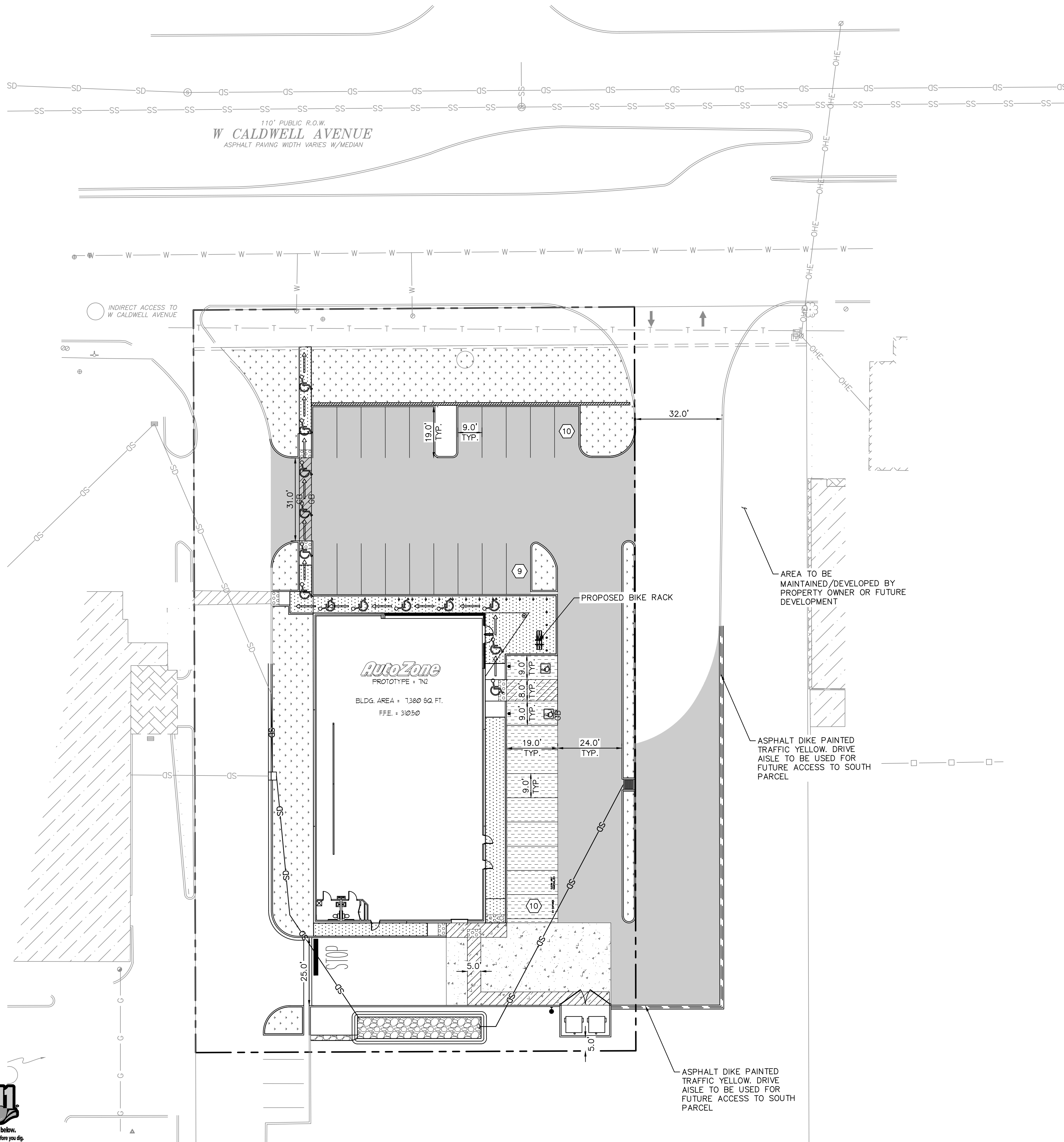
AutoZone Store No. 0265  
DEMAREE ST AND CALDWELL  
VISALIA CA 92377

EXTERIOR ELEVATIONS AND NOTES

10-16-2020  
7N2-R

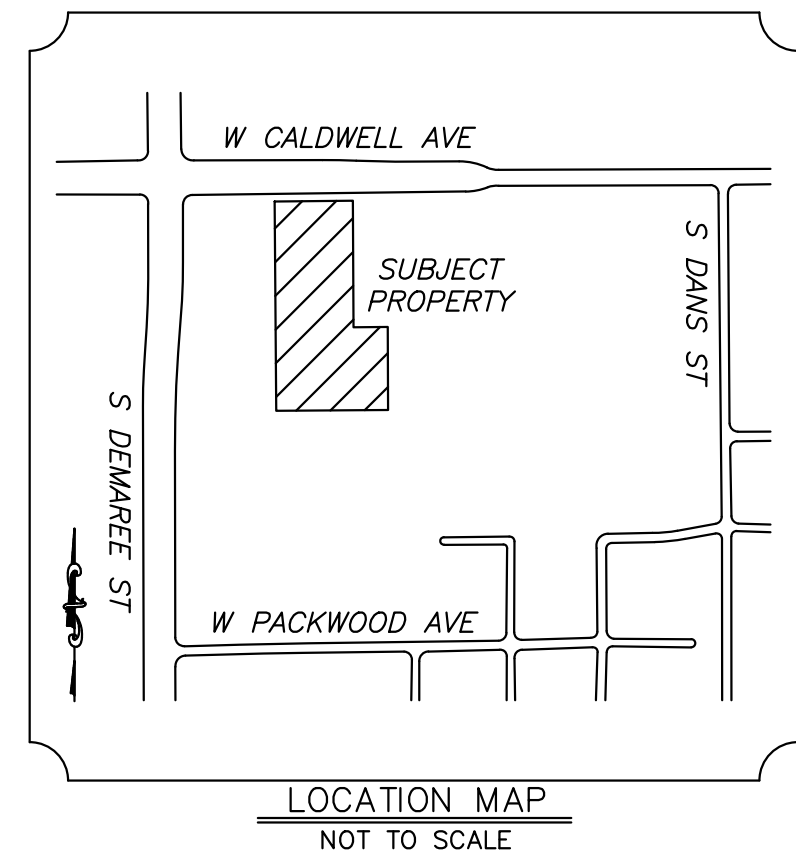
PS2

Plotted By: Alvarez, Ryan. Sheet Set: KHA - Layout: Conceptual Site Plan. March 08, 2021. 08:34:11pm. C:\Users\Don.alvarez\Desktop\WORKLOAD\Autozone\VISALIA\CAD\Exhibits\Conceptual Site Plan.dwg. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



### LEGEND

- PROPERTY LINE
- STREET CENTER LINE
- ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)
- ACCESSIBLE PARKING STALLS
- NUMBER OF PARKING SPACES
- HEAVY DUTY CONCRETE PAVEMENT
- LIGHT DUTY CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- PROPOSED LANDSCAPING



### PROJECT TEAM

<b>DEVELOPER/OWNER</b> AUTOZONE, INC. C/O MITCH BRAMLITT 123 S. FRONT STREET, 3RD FLOOR MEMPHIS, TN 38103 (901) 495-8714	<b>CIVIL ENGINEER</b> KIMLEY-HORN & ASSOCIATES C/O JACOB GLAZE, P.E. 765 THE CITY DRIVE SOUTH, SUITE 200 ORANGE, CA 92868 (714) 705-1374	<b>ARCHITECT</b> AUTOZONE, INC. C/O MITCH BRAMLITT 123 S. FRONT STREET, 3RD FLOOR MEMPHIS, TN 38103 (901) 495-8714
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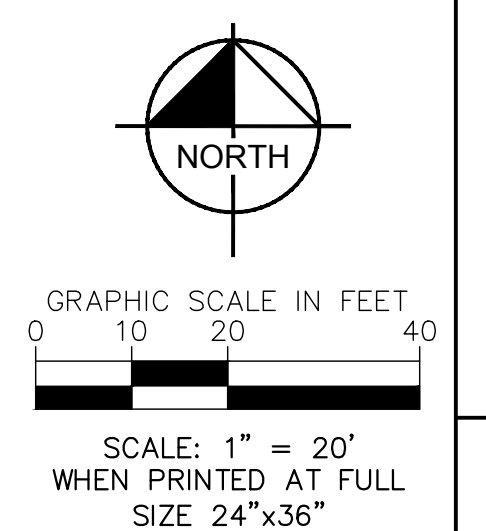
### DATA SUMMARY

APN:	126-890-002-000		
ZONING DISTRICT:	MIXED USE COMMERCIAL (C-MU)		
LAND USE:	COMMERCIAL		
OCCUPANCY:	M		
BUILDING CONSTRUCTION:	VB		
FLOOD ZONE:	ZONE X - AREA DETERMINED TO BE OUTSIDE THE .2% ANNUAL CHANCE FLOODPLAIN. PER FEMA MAP NO. 06107C0937E		
<b>LEASE COVERAGE</b>			
TOTAL SITE AREA:	44,523 S.F.	(1.02 AC)	100%
BUILDING AREA:	7,380 S.F.	(0.17 AC)	16.7%
IMPERVIOUS AREA:	30,736 S.F.	(0.70 AC)	69.3%
LANDSCAPE AREA:	6,407 S.F.	(0.15 AC)	14.0%
FLOOR AREA RATIO:			16.7%
<b>PARKING/LANDSCAPE SETBACK</b>			
FRONT:	15.0'		
REAR:	0'		
SIDE (E):	0'		
SIDE (W):	15'		

### PARKING SUMMARY

**PARKING REQUIREMENTS:** (7,380 S.F. \* 1 STALL/300 S.F.) = 25 STALLS REQUIRED PER CITY CODE  
ADA PARKING FOR 26-50 PARKING STALLS = 2 ADA PARKING STALLS REQUIRED PER CALIFORNIA BUILDING CODE

<b>PARKING TABLE:</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
STANDARD	25	25
COMPACT (C)	N/A	0
CLEAN AIR / VANPOOL / EV	1	1
EV CAPABLE	1	1
ACCESSIBLE	2	2
<b>TOTAL:</b>	<b>25</b>	<b>29</b>



NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
© 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
1100 W. TOWN AND COUNTRY ROAD, SUITE 700, ORANGE, CA 92868  
PHONE: 714-939-1030 FAX: 714-939-9488  
WWW.KIMLEY-HORN.COM

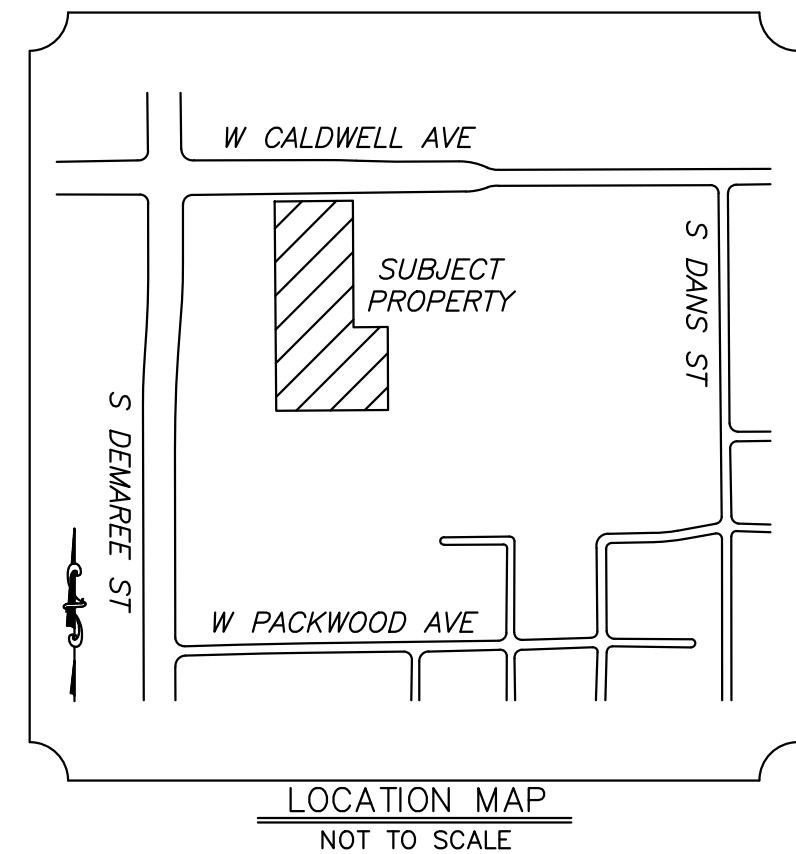
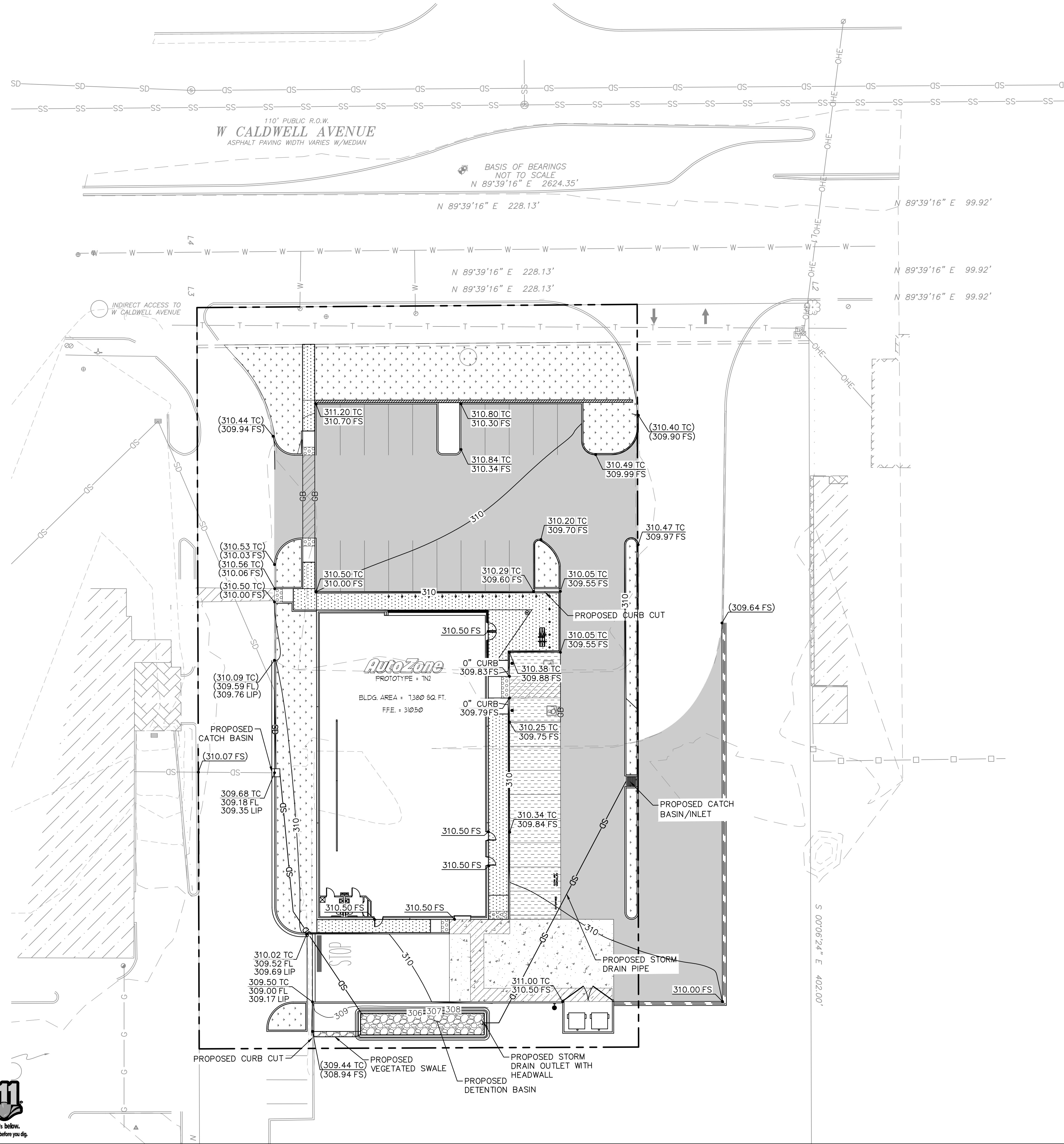


DATE	3/8/2021
SCALE AS SHOWN	RWA
DESIGNED BY	KG
DRAWN BY	JG
CHECKED BY	

## CONCEPTUAL SITE PLAN

**AUTOZONE 0265**  
PREPARED FOR  
CITY OF VISALIA, CA

SHEET NUMBER  
1

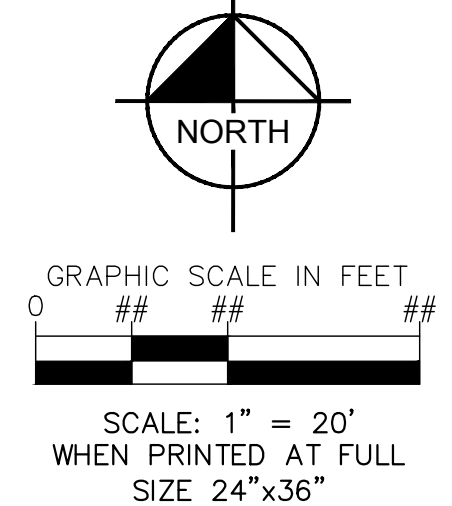


### LEGEND

---	RIGHT OF WAY		PROPOSED LANDSCAPING
---	STREET CENTERLINE		HEAVY DUTY CONCRETE PAVING
---	EASEMENT LINE		CONCRETE SIDEWALK
-925-	EXISTING CONTOUR		ASPHALT PAVEMENT
-925-	PROPOSED CONTOUR		EXISTING GRADE
-R-	RIDE LINE		PROPOSED GRADE
	ACCESSIBLE PARKING SPACE		PROPOSED SLOPE

DMA	BMP ID #	BMP PROVIDED	REQUIRED TREATMENT/STORAGE VOLUME	PROPOSED TREATMENT VOLUME
1	1	INFILTRATION BASIN (597 SF)	1307 FT <sup>3</sup>	1560 FT <sup>3</sup>

DESIGN VOLUME  
EXISTING RUNOFF VOLUME  
.0115 AC-FT  
PROPOSED RUNOFF VOLUME  
.0416 AC-FT  
DIFFERENCE  
.03 AC-FT, 1307 FT<sup>3</sup>



No.	REVISIONS	DATE	BY

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PHONE: 714-939-1030 FAX: 714-938-9488  
WWW.KIMLEY-HORN.COM

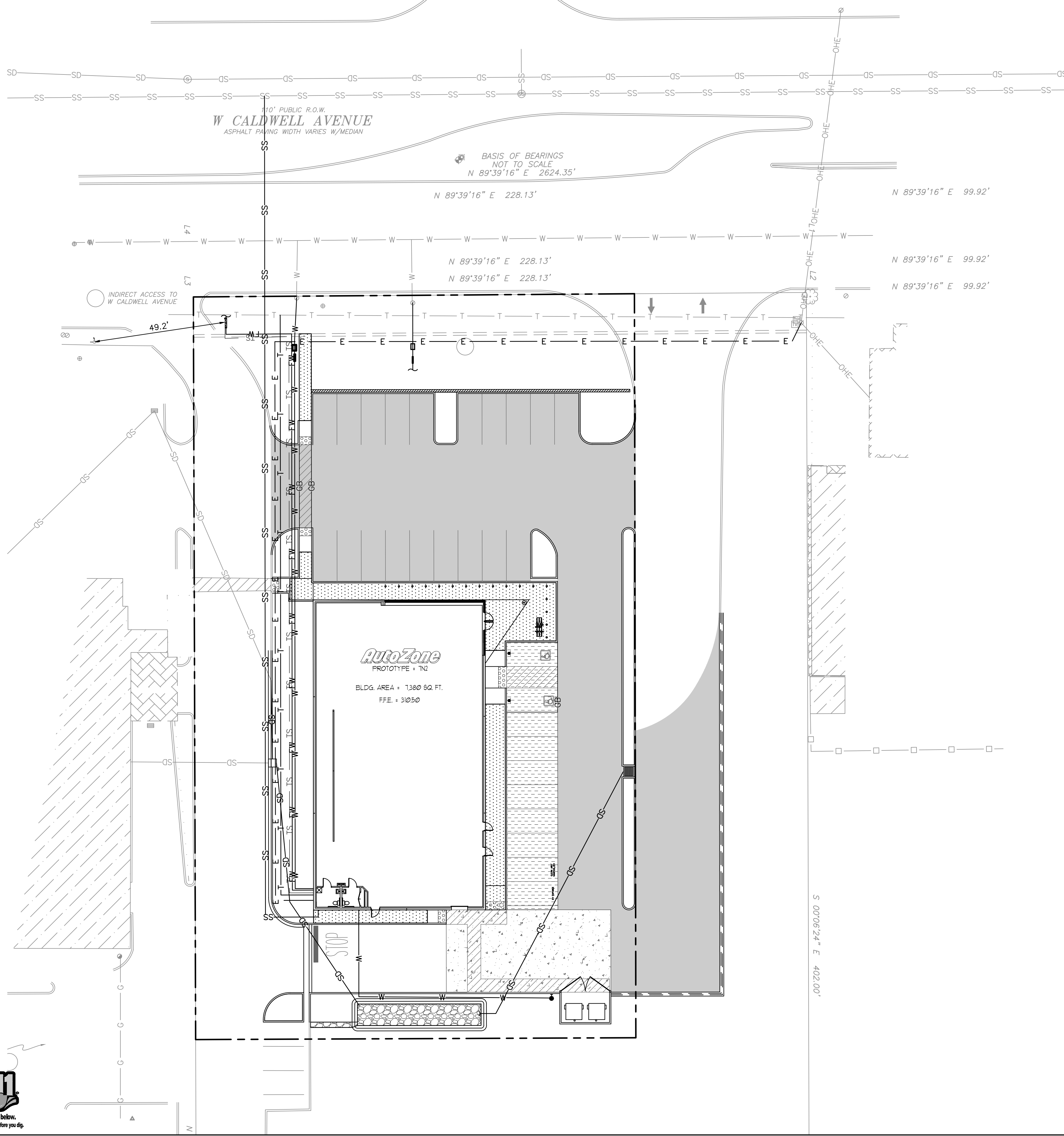


DATE: 3/8/2021  
SCALE AS SHOWN: RWA, KG, JCG  
DESIGNED BY: RWA  
DRAWN BY: KG  
CHECKED BY: JCG

## CONCEPTUAL GRADING PLAN

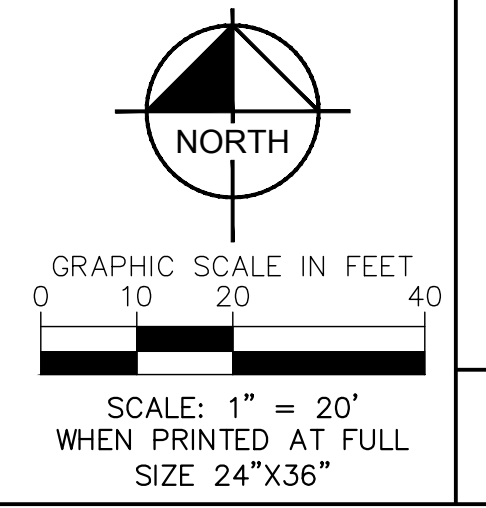
AUTOZONE 0265  
PREPARED FOR  
CITY OF VISALIA, CA

Plotted By: Alvarez, Eyan. Sheet Set: K:\AutoZone\AutoZone\094858026 - VISALIA\CAD\Exhibits\Conceptual Utility plan.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



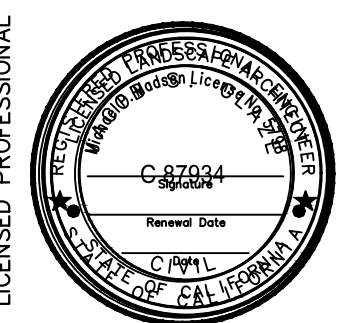
**LEGEND**

	PROPERTY LINE		PROPOSED FIRE WATER PIPE
	PROPOSED SANITARY SEWER PIPE		EXISTING ELECTRICAL
	PROPOSED WATER PIPE		EXISTING SANITARY SEWER PIPE
	PROPOSED ELECTRICAL		EXISTING WATER LINE
	PROPOSED STORM DRAIN		EXISTING STORM DRAIN LINE



NO.	REVISIONS	DATE	BY

**Kimley & Horn**  
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LICENSED PROFESSIONAL

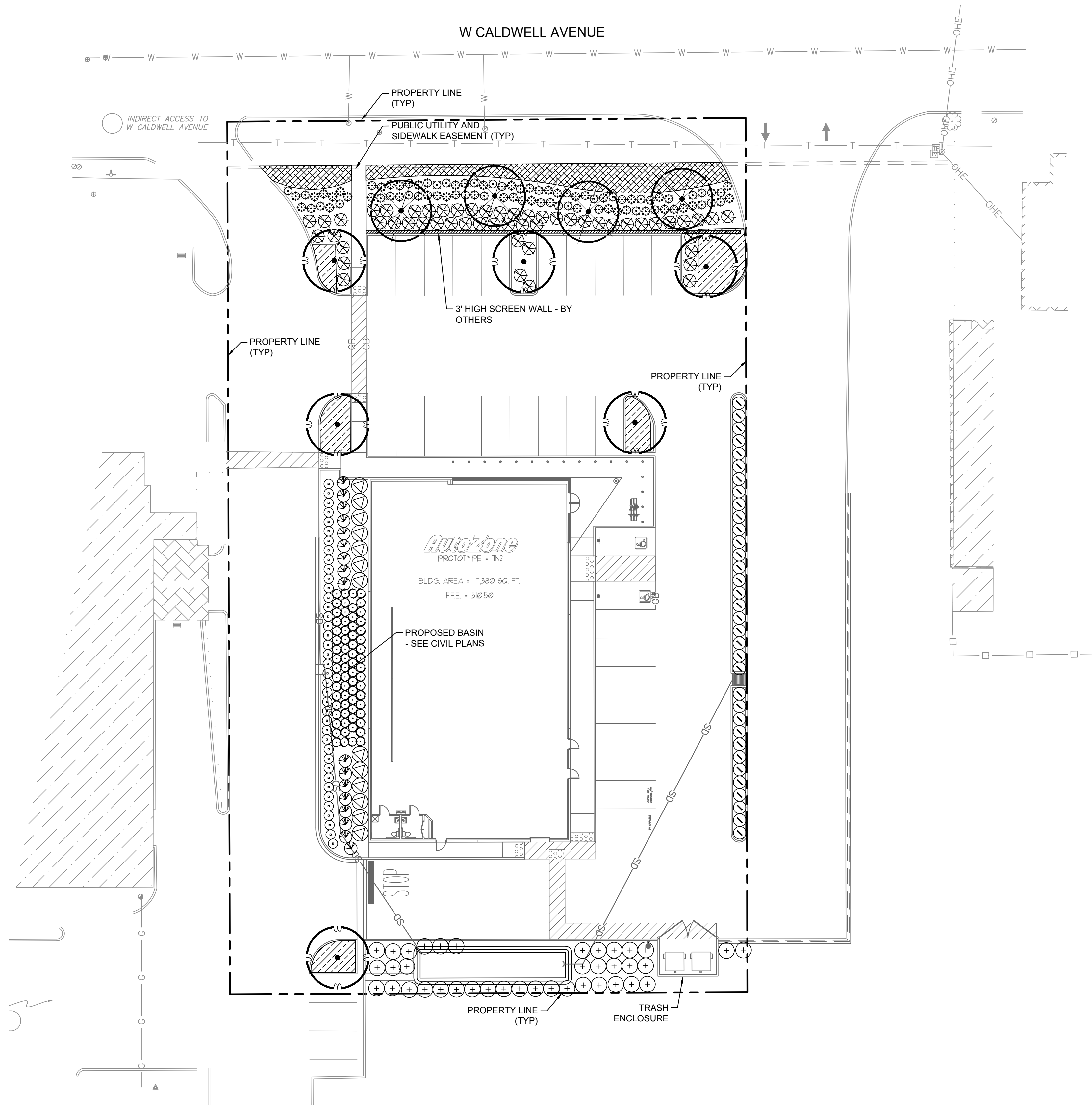
DATE	3/8/2021
SCALE	AS SHOWN
DESIGNED BY	EB
DRAWN BY	EB
CHECKED BY	LD

**CONCEPTUAL UTILITY PLAN**

**AUTOZONE 0265**  
 PREPARED FOR  
 CITY OF VISALIA, CA

SHEET NUMBER  
**3**

Plotted By: Alvarez, Eyan. Sheet Set: K10. Layout: LANDSCAPE PLAN. March 08, 2021. 08:34:13pm. C:\Users\yan.alvarez\Desktop\WORKLOAD\AutoZone\AutoZone\_VISALIA\CAD Exhibits\Conceptual Landscape Plan.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



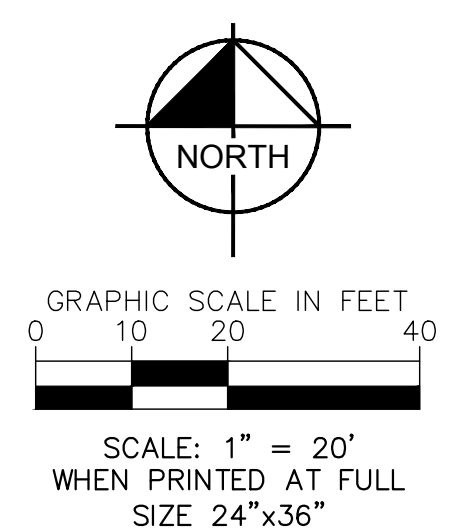
**PLANT SCHEDULE**

TREES	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT/SPREAD	CAL.	WUCOLS
	4	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE	24" BOX	9'-10" HT. X 3'-4" SPR.	1" CAL.	MODERATE
	6	ULMUS PARVIFOLIA 'DRAKE' / DRAKE LACEBARK ELM	24" BOX	9'-11" HT. X 4'-5" SPR.	1" CAL.	MODERATE
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	WUCOLS	SIZE
	39	CALLISTEMON VIMINALIS 'LITTLE JOHN' / LITTLE JOHN WEeping BOTTLEBRUSH	5 GAL.	3' O.C.	LOW	
	88	DIANELLA REVOLUTA 'VARIEGATED' / VARIEGATED FLAX LILY	1 GAL.	3' O.C.	LOW	
	53	DIETES IRIDIODES / FORTNIGHT LILY	5 GAL.	4' O.C.	LOW	
	35	EUONYMUS JAPONICUS 'MICROPHYLLUS VARIEGATUS' / VARIEGATED BOXLEAF EUNONYMUS	5 GAL.	4' O.C.	LOW	
	67	MUHLBERGIA DUBIA / PINE MUHLY	5 GAL.	3' O.C.	LOW	
	13	MYRTUS COMPACTA / COMPACT MYRTLE	5 GAL.	5' O.C.	LOW	
	36	OLEA EUROPAEA 'LITTLE OLLIE' TM / LITTLE OLLIE OLIVE	5 GAL.	5' O.C.	LOW	
	17	WESTRINGIA FRUTICOSA 'MORNING LIGHT' / MORNING LIGHT COAST ROSEMARY	5 GAL.	4' O.C.	LOW	
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	WUCOLS	
	104	JUNIPERUS HORIZONTALIS / CREEPING JUNIPER	5 GAL.	3' O.C.	LOW	
	92	LANTANA MONTEVIDENSIS / TRAILING LANTANA	5 GAL.	3' O.C.	LOW	

**LANDSCAPE NOTE:**  
 THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC, AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. DECOMPOSED GRANITE SHALL FILL IN BETWEEN SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION, AND RUN-OFF. ALL SHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER SOIL TEMPERATURE, AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE GUIDELINES SET FORTH BY THE CITY OF VISALIA MUNICIPAL CODE.

**IRRIGATION NOTE:**  
 AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE 100% COVERAGE FOR ALL PLANTING AREAS SHOWN ON THE PLAN. THE WATER SUPPLY FOR THIS SITE IS A POTABLE WATER CONNECTION AND A DEDICATED IRRIGATION METER WILL BE PROVIDED. LOW VOLUME EQUIPMENT SHALL PROVIDE SUFFICIENT WATER FOR PLANT GROWTH WITH NO WATER LOSS DUE TO WATER CONTROLLERS, AND OTHER NECESSARY IRRIGATION EQUIPMENT. ALL POINT SOURCE SYSTEM SHALL BE ADEQUATELY FILTERED AND REGULATED PER THE MANUFACTURER'S RECOMMENDED DESIGN PARAMETERS. ALL IRRIGATION IMPROVEMENTS SHALL FOLLOW THE GUIDELINES SET FORTH BY THE CITY OF VISALIA MUNICIPAL CODE.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AB-1881 AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.  
*Michael P. Madsen*  
 MICHAEL P. MADSEN, LLA 5798



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		DATE 3/8/2021	SCALE AS SHOWN DESIGNED BY EB
<b>CONCEPTUAL LANDSCAPE PLAN</b>		<b>AUTOZONE 0265                  PREPARED FOR                  CITY OF VISALIA, CA</b>	
SHEET NUMBER 4		REVISIONS No. _____ BY _____ DATE _____	



# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and help in filling out this application can be found at the City of Visalia website (www.ci.visalia.ca.us) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see details below). Failure to provide all requested information may result in your application being rejected for additional information and excluded from the Site Plan Review agenda

- All plans to be considered on the next available agenda must be submitted by 4:00 p.m. on the Thursday prior to the meeting -

- Site plan review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant or representative must be present -

GENERAL PROJECT INFORMATION

Project/Business Name: \_\_\_\_\_ Date: **03/09/2021**

Project Description: NEW RESTAURANT AND RETAIL/OFFICE

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: \_\_\_\_\_

Property Owner: Russell & Tamara Doe

Applicant(s) Name: MARIO CELLO

Project Address/Location: 500 W. MAIN ST.

Assessor Parcel Number: 093-194-016

Parcel Size (Acreage or Square Feet): 15,446 sq. ft. Building or Suite Square Footage: 10,872 sq. ft.

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ 100,000

Describe All Proposed Building Modifications: \_\_\_\_\_

TENANT IMPROVEMENT TO CONVERT TO RESTAURANT

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: **03/09/2021**

SPR Agenda: **03/17/2021** Item No. \_\_\_\_\_

Zone: **D-MU** SPR No. 21-035

Historic District: Yes  No

Flood Zone: X  AE  X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: BANK

Proposed Building Use: RESTAURANT, RETAIL/OFFICE

Proposed Hours of Operation: 8:00 - 9:00

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing ~~10~~ ± 20 Proposed ± 20

Number of Customers Per Day (Estimated): Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Predicted Peak Operating Hour: \_\_\_\_\_

Describe Any Truck Delivery Schedule & Operations: FOOD DELIVERY

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): \_\_\_\_\_

Describe Any Special Events Planned for the Facility: \_\_\_\_\_

**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ⇒ Plan(s) must be clear, legible, and on a sheet size appropriate to easily convey all necessary project information. Suggested minimum sheet size for site plans is 11"x17" (Excludes tentative parcel and final maps)
- ⇒ Site plan shall provide for and indicate all of the following:
  - North arrow
  - All existing & proposed site features
  - Site dimensions, including building
  - Existing and proposed fencing at site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed structures
  - Adjacent street names
  - Refuse enclosures & containers
  - Valley oak trees (show drip line)
  - Existing & proposed landscaping
  - Parking stalls (include ADA)
  - Loading/unloading areas
  - Accessible path of travel from right of way
  - Accessible path of travel from ADA stall
  - Location and width of drive approaches to site
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
- ⇒ Submit 20 copies of the site plan with this application, folded to a legal size of 9" x 12" with the print on the outside (no rolled plans)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: MARIO CELILLO Signature of Owner or Authorized Agent\*  
 Address: PO BOX 648  
 City, State, Zip: VISALIA, CA 93279 Owner \_\_\_\_\_ Date \_\_\_\_\_  
 Phone: 559-553-2861 Authorized Agent\* \_\_\_\_\_ 3-8-21  
 Email: MCELLLO@OCELOINC.COM

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered complete

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:

I, \_\_\_\_\_, declare as follows; I am the owner of certain real property bearing assessor' parcel number (APN):

093-194-016

AGENT:

I designate MARIO CELILLO to act as my duty authorized agent for all purposes necessary to fill an application for, and obtain a permit to REMODEL relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_

<p><b>OWNER</b></p> <p>DocuSigned by: <u>Tamara</u></p> <p>Signature of Owner (Notary Required) _____</p> <p>Owner Mailing Address <u>165 High Sierra Dr. Exeter CA 93221</u></p> <p><u>559-901-8362</u></p> <p>Owner Phone Number _____</p>	<p style="text-align: center;"><b>Signatures</b></p> <p style="text-align: center;"><b>AGENT</b></p> <p>Signature of Agent _____</p> <p>Agent Mailing Address <u>PO BOX 648</u> <u>VISALIA, CA 93279</u></p> <p><u>559-553-2861</u></p> <p>Agent Phone Number _____</p>
--	---

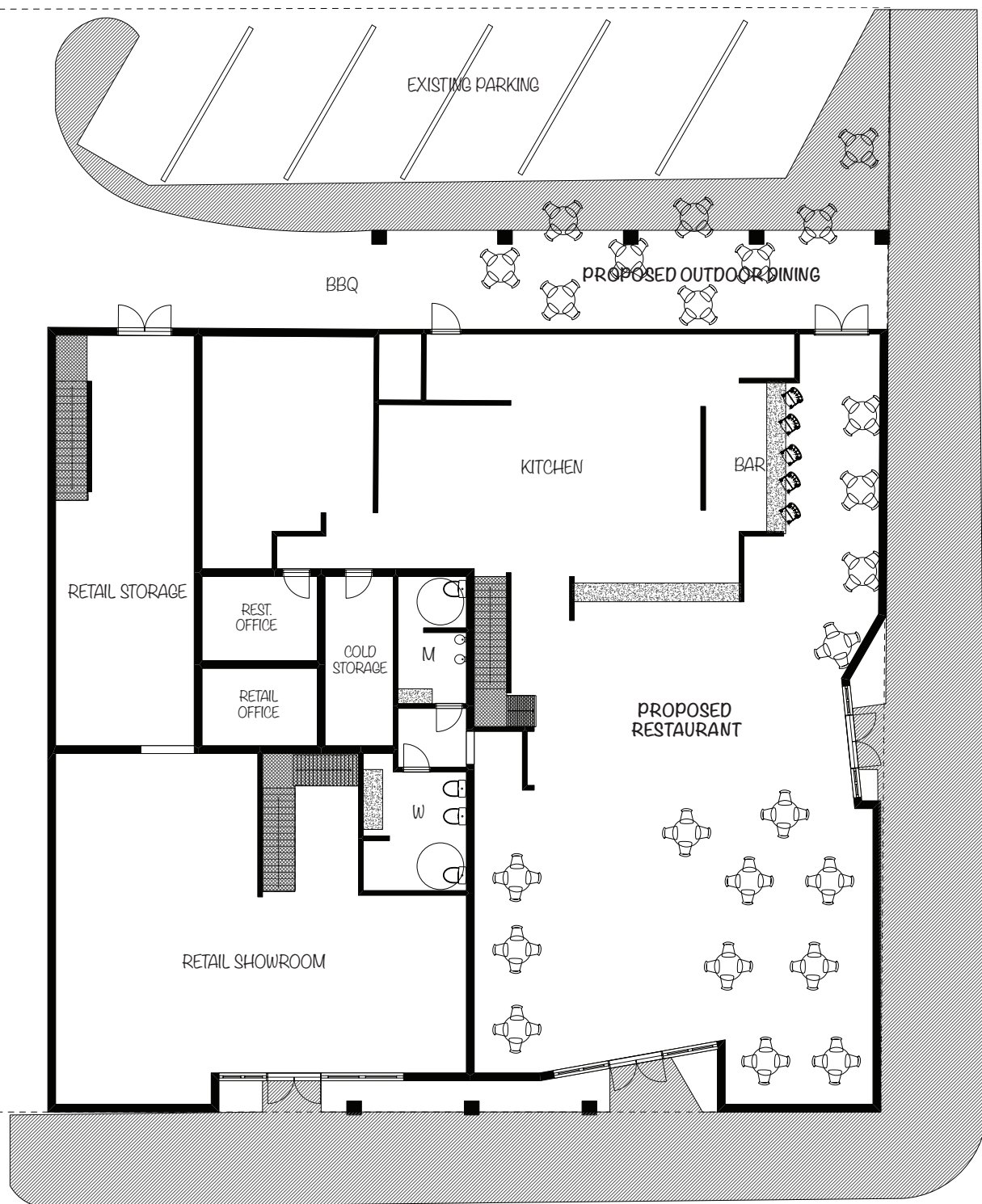
Approved by City of Visalia:

By: \_\_\_\_\_ Date: \_\_\_\_\_

# SITE PLAN

## 500 W MAIN ST

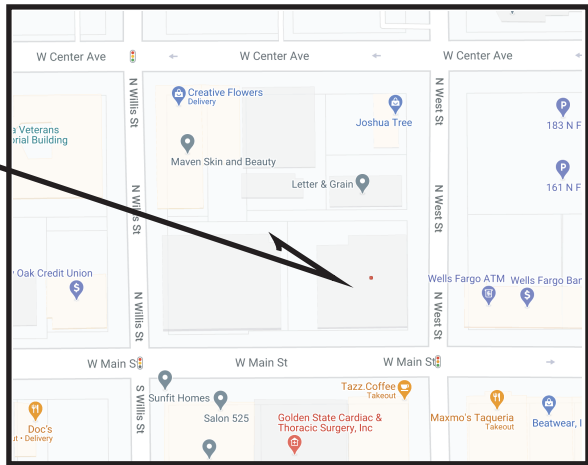
NORTH



W. MAIN ST.

LOCATION

VICINITY MAP



- GENERAL NOTES:
- PLEASE REVIEW DESIGNER DRAWINGS AND NOTIFY ANY DISCREPANCY
  - SEE INTERIOR DOOR SCHEDULE FOR FINISHES
  - SEE WINDOW TREATMENT SCHEDULE FOR MORE INFORMATION ON SHUTTERS, SHADES AND POWER REQUIRED
  - DECORATIVE LIGHTING BY DESIGN, INSTALLED BY GC, GC TO PROVIDE BLOCKING AS REQUIRED FOR STABILITY, DRIVER TO CONCEALED WITH J-BOX, DECORATIVE LIGHTING LOCATIONS TO BE CONFIRMED WITH DESIGNER
  - GC TO PROVIDE BLOCKING AT ALL ART, DECORATIVE LIGHTING, CURTAIN HARDWARE AND TV LOCATIONS
  - PLEASE SEE ARCHITECTS PLANS FOR ARCHITECTURAL LIGHTING, AV, HVAC, SECURITY DEVICES, SPRINKLERS, SMOKE DETECTOR LOCATIONS
  - PLEASE CONFIRM LOCATIONS AND SPECS LISTED ABOVE WITH DESIGNER, CONSULTANTS, GC AND ARCHITECTS
  - REFER TO ENLARGED PLANS FOR MORE DETAILS
  - OUTLET & SWITCH LOCATIONS AS IS UNLESS NOTED BY DESIGNER, NOTIFY ARCHITECT AND DESIGNER WITH CODE DISCREPANCY

2ND FLOOR



dlb design

7202 w perishing ct, visalia ca 93274  
+1 559 679 7586 | derrickbrinkman.com

7 TEN PROPERTIES

PO BOX 648, VISALIA CA 93291  
MARIO CELILLO 559-553-2861

NOTE: DLB DESIGN CREATED THE DRAWINGS AS AN INSTRUMENTS OF SERVICE, TO HELP AID THE CONSTRUCTION PROCESS. THE DRAWINGS ARE PROPERTY OF THE LISTED CLIENTS NAME ABOVE. WRITTEN DIMENSIONS ON THE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE DRAWINGS HEREIN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY ARCHITECTURAL, STRUCTURAL, SEISMIC, MECHANICAL, ELECTRICAL AND/OR PLUMBING BUILDING SYSTEMS. ALL DRAWINGS WITHIN THESE DOCUMENTS, AND ALL DIMENSIONS BEGIN AT THE FACE OF FINISHED SURFACE. THE ARCHITECT OF RECORD IS RESPONSIBLE FOR ALL WALL, CEILING AND FLOOR TYPES. CODE COMPLIANCE IS NEITHER EXPRESSED NOR IMPLIED, AND ARE THE SOLE RESPONSIBILITY OF THE ARCHITECT OF RECORD.

PROJECT: 7 TEN

START DATE:

REVISIONS/UPDATES

# DATE ISSUE

3.8.21

DRAWING BY:

REVIEWED BY:

DRAWING TITLE:

PROPOSED REST. AND RETAIL

LOCATION:

500 W MAIN

SCALE: N/A

SHEET

REV:

SITE PLAN

# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

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This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirement details below). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: 830 E. Roosevelt Ave  
~~301 N. Bridge St. Apartments~~ Date: 03/11/2021

Project Description: New construction, (2) 2 story buildings, (1) Bldg "A" both 2 bedrooms (1) bath - other Bldg "B" 2 bed, upper bath, lower

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: 1 Bedroom, 1 Bath

Property Owner: Kaweah Management Co., L

Applicant(s) Name: Tom Hayslett

Project Address/Location: ~~301 N. Burke St.~~ **830 E Roosevelt Ave**

Assessor Parcel Number: 094-130-056 Bldg "A" 1,200sf

Parcel Size (Acreage or Square Feet): Approx 12,310sf. Building or Suite Square Footage: Bldg "B" 1,747sf.

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ 631,366

Describe All Proposed Building Modifications: New construction multi family apartments

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 03/11/2021

SPR Agenda: 03/17/2021 Item No. \_\_\_\_\_

Zone: R-M-2 SPR No. 21-036

Historic District: Yes  No

Flood Zone: X  AE  X/AE

OPERATIONS & TRAFFIC INFORMATION

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

Existing/Prior Building Use: Vacant Land

Proposed Building Use: R-2 Residential Occupancy

Proposed Hours of Operation: \_\_\_\_\_

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: N.A. Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Number of Customers Per Day (Estimated): N.A. Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Predicted Peak Operating Hour: 8 AM & 5 PM

Describe Any Truck Delivery Schedule & Operations: N.A.

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): \_\_\_\_\_

Describe Any Special Events Planned for the Facility: \_\_\_\_\_

**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ⇒ Plan(s) must be clear, legible, and on a sheet size appropriate to easily convey all necessary project information. Suggested minimum sheet size for site plans is 11"x17" (Excludes tentative parcel and final maps)
- ⇒ Site plan shall provide for and indicate all of the following:
  - North arrow
  - Existing & proposed structures
  - Loading/unloading areas
  - All existing & proposed site features
  - Adjacent street names
  - Accessible path of travel from right of way
  - Site dimensions, including building
  - Refuse enclosures & containers
  - Accessible path of travel from ADA stall
  - Existing and proposed fencing at site
  - Valley oak trees (show drip line)
  - Location and width of drive approaches to site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed landscaping
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
  - Parking stalls (include ADA)
- ⇒ Submit 20 copies of the site plan with this application, folded to a legal size of 9" x 12" with the print on the outside (no rolled plans)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Tom Hayslett</u>	Signature of Owner or Authorized Agent* <u>Tom Hayslett</u>	
Address: <u>303 N. Church St,</u>	<u>Tom Hayslett</u>	<u>3/10/21</u>
City, State, Zip: <u>Visalia, CA 93291</u>	Owner	Date
Phone: <u>(559) 303-8953</u>	<u>Tom Hayslett</u>	<u>3/10/21</u>
Email: <u>thayslett@pacbell.net</u>	Authorized Agent*	Date

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

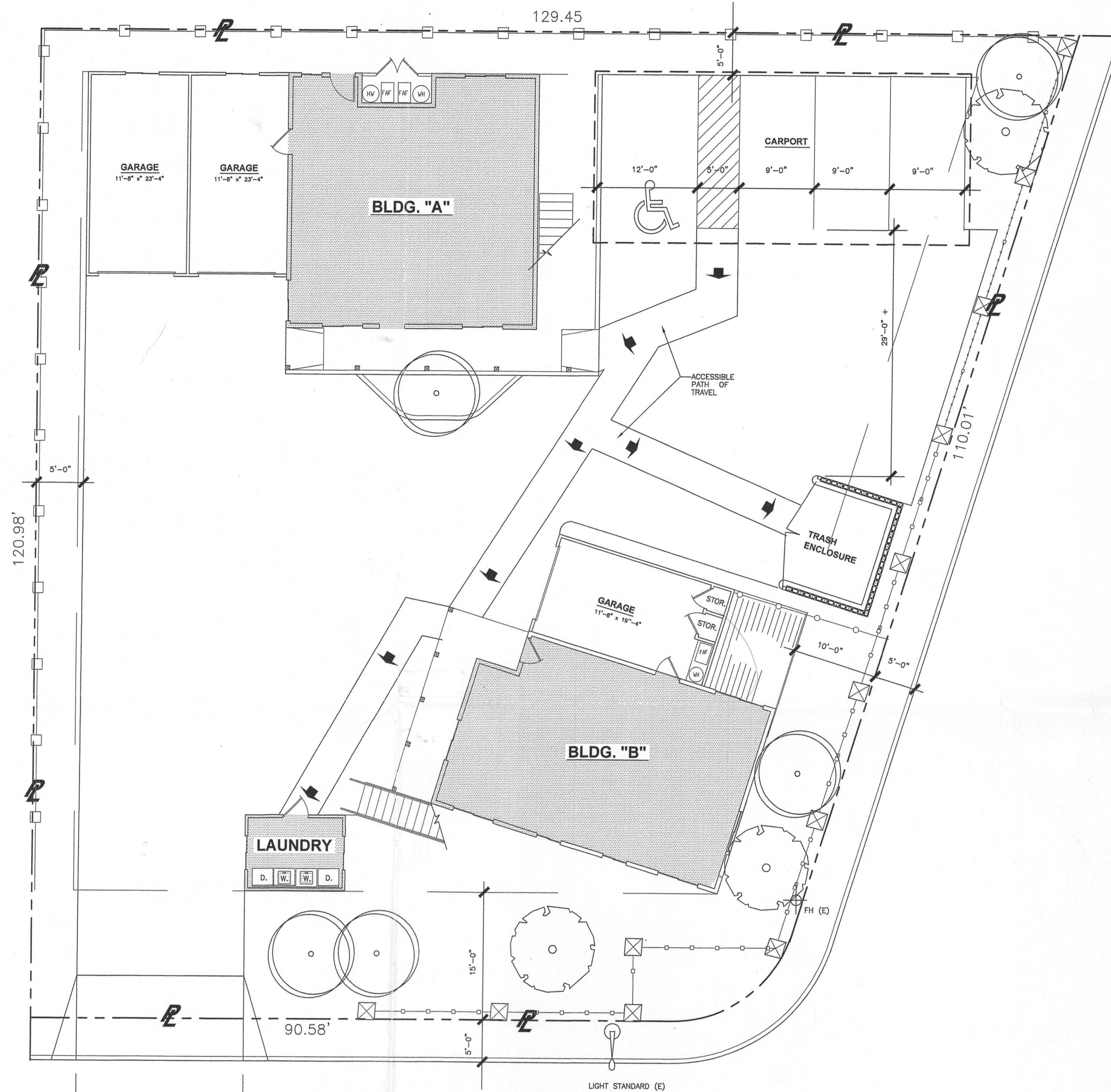
OWNER:  
I, KEN KUGLER, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):  
094-130-056

AGENT:  
I designate Tom Hayslett, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to \_\_\_\_\_ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 11<sup>th</sup> day of MARCH, 2021.

<u>OWNER</u>	<u>AGENT</u>
<u>Ken Kugler</u>	
Signature of Owner	Signature of Agent
<u>P.O. Box 791</u>	
Owner Mailing Address	Agent Mailing Address
<u>VISALIA, CA 93279</u>	
Owner Phone Number	Agent Phone Number
<u>559 627-3700 X 114</u>	



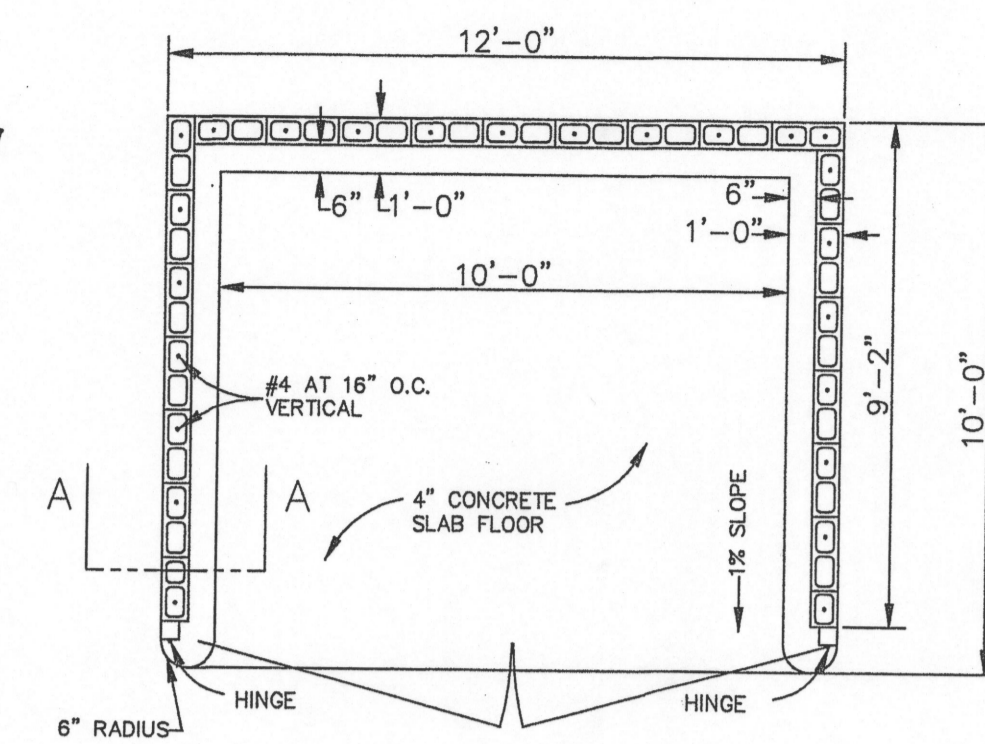
**SITE PLAN**

801 N. BURKE ST.

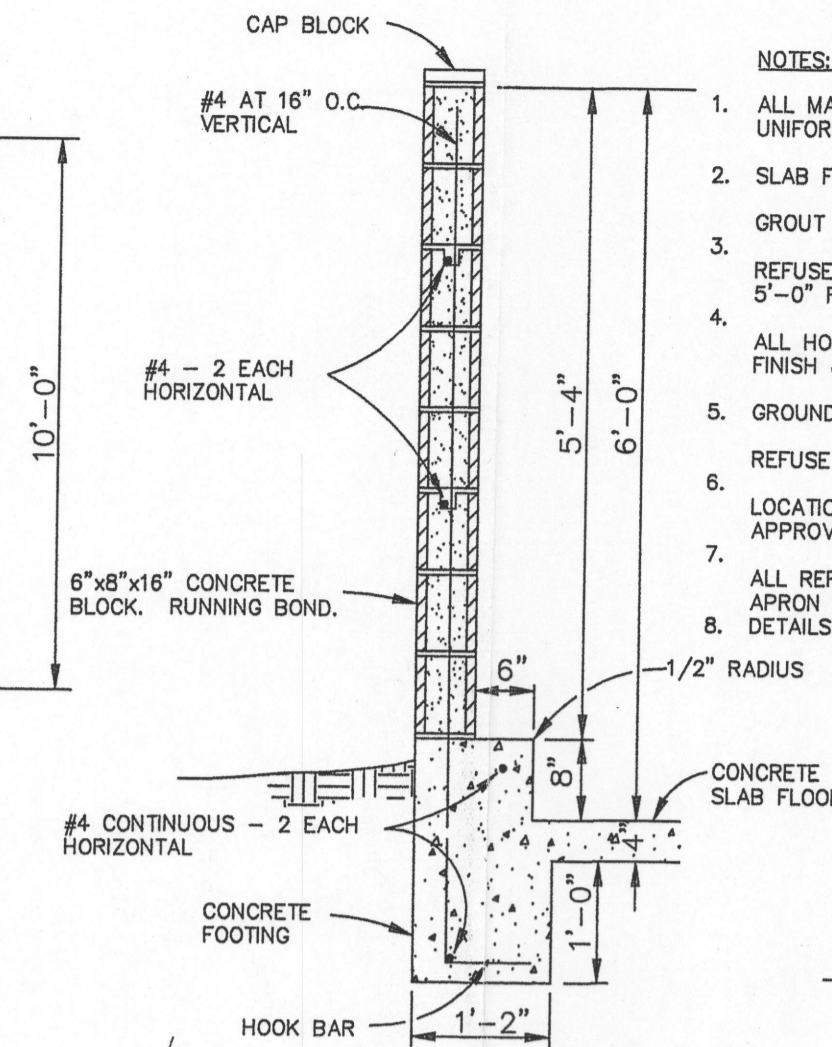
APN 094-130-056

**ROOSEVELT AVE.**

**BURKE ST**

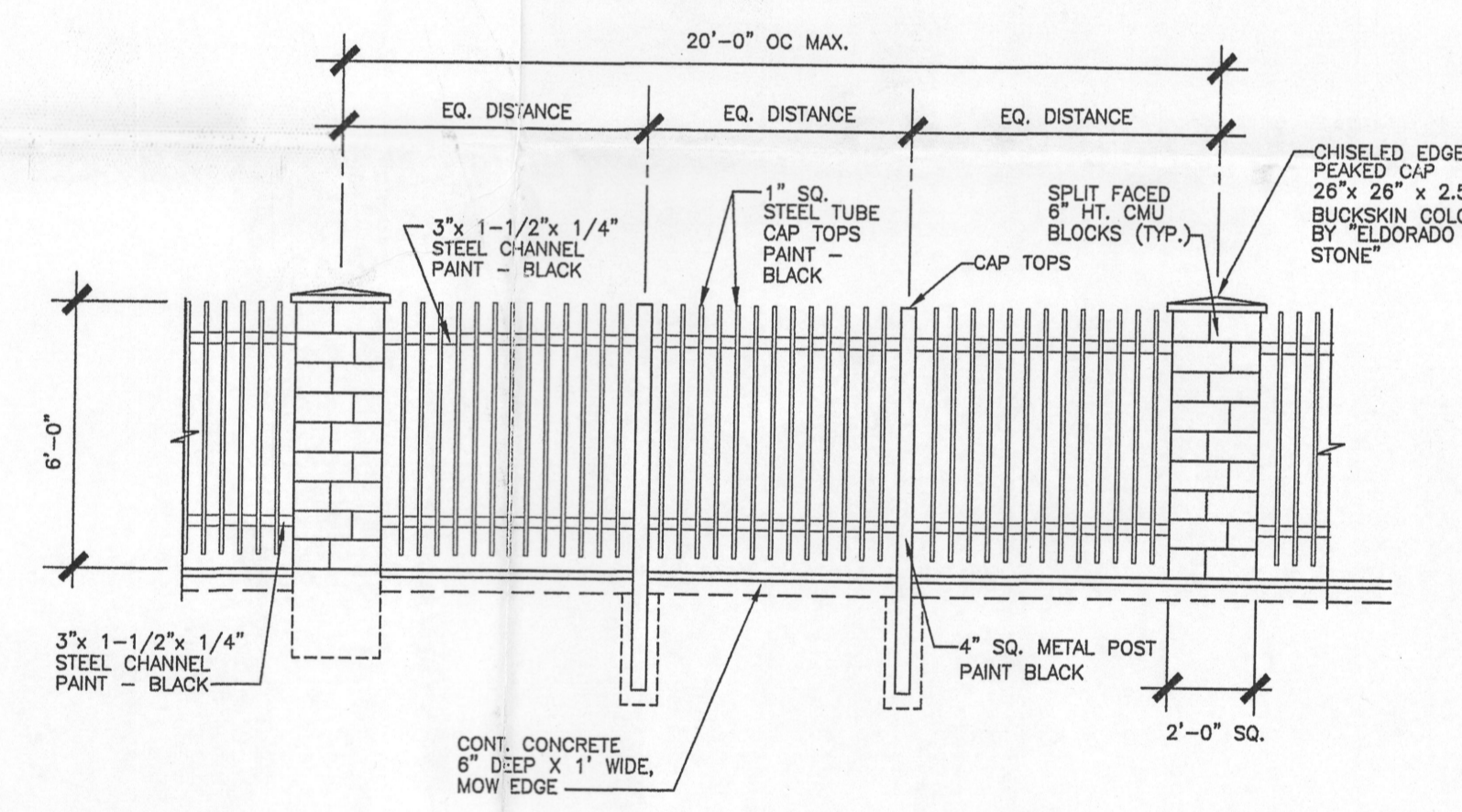


**PLAN  
TRASH ENCLOSURE**

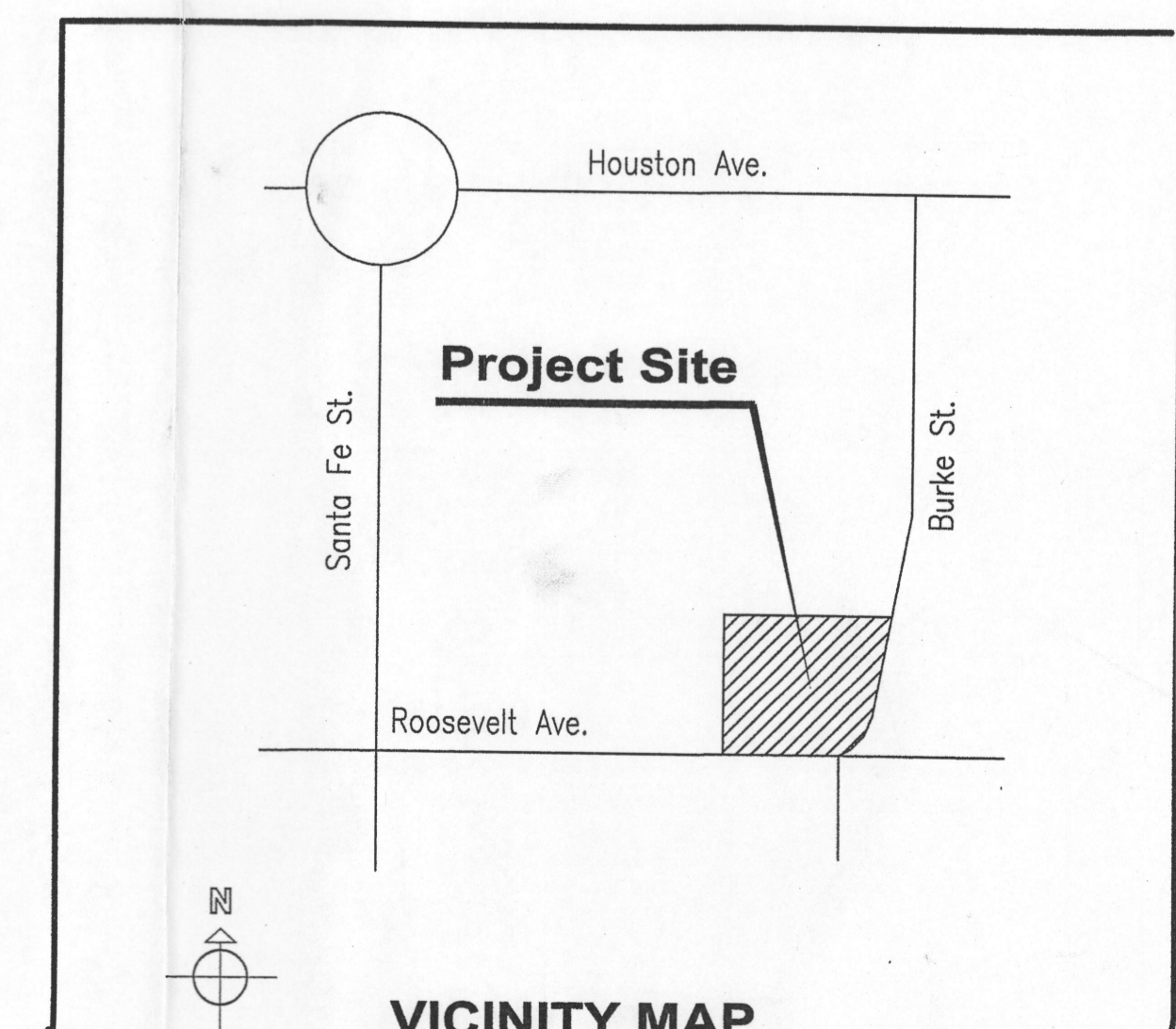


**SECTION A-A**

- NOTES:**
1. ALL MASONRY SHALL COMPLY WITH CURRENT EDITION OF THE UNIFORM BUILDING CODE.
  2. SLAB FLOOR AND FOOTING SHALL BE CLASS 3 CONCRETE.
  3. GROUT ALL HORIZONTAL AND VERTICAL REINFORCING STEEL SOLID.
  4. REFUSE CONTAINER ENCLOSURE SHALL BE LOCATED A MINIMUM OF 5'-0" FROM ANY BUILDING WALL LINE.
  5. ALL HORIZONTAL AND VERTICAL JOINTS SHALL HAVE A CONCAVE FINISH JOINT.
  6. GROUND SHALL BE SLOPED AWAY FROM ENCLOSURE WALLS.
  7. REFUSE CONTAINER ENCLOSURE SHALL HAVE SOLID FACE GATES.
  8. LOCATION OF REFUSE CONTAINER ENCLOSURE SHALL BE APPROVED BY THE CITY OF VISALIA SOLID WASTE DIVISION.
  9. ALL REFUSE CONTAINER ENCLOSURES SHALL HAVE A CONCRETE APRON PER REFUSE CONTAINER ENCLOSURE CONCRETE APRON DETAILS.



**FENCE ELEVATION** SCALE: 1/4" = 1'-0"



**VICINITY MAP**

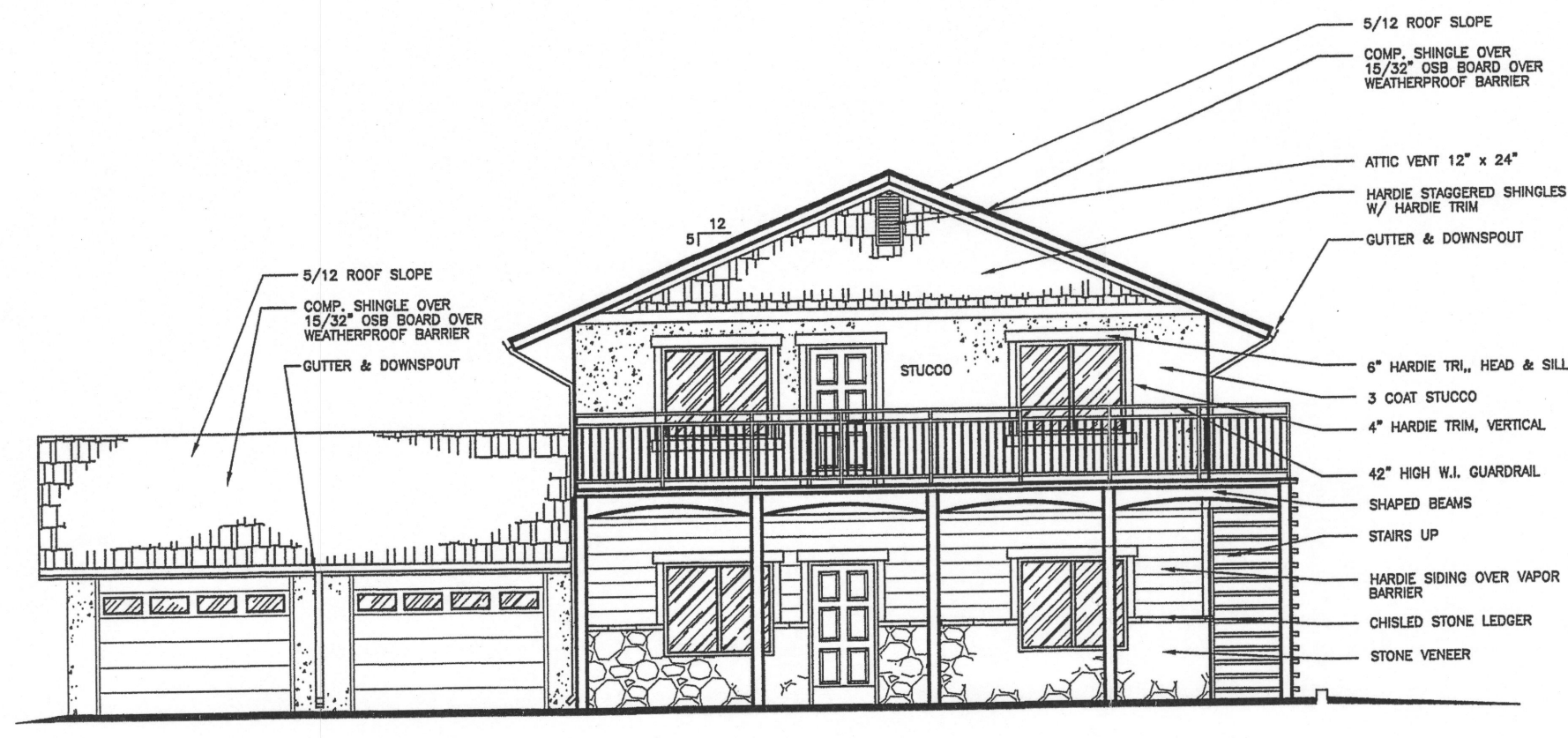
REVISIONS	DESCRIPTION
DATE	01/27/11
	SEE CLOUDED AREAS, PLAN REVIEW COMMENTS

CONSULTANT:

**Thomas K. Hayslett, Architect**  
 303 North Church Street, Visalia, CA 93291  
 Phone: (559) 732-9808  
 Fax: (559) 636-8585

PROJECT: **Burke & Roosevelt Apartments**  
 for: **Kaweath Management Company**  
 625-632, 640-646 & 638 E. Kaweah, Visalia, CA.  
 SHEET TITLE: **SITE PLAN**

DATE: 03/20/21  
 JOB NO: 1904  
 SHEET NO: **A-1**  
 1 OF 2 SHEETS



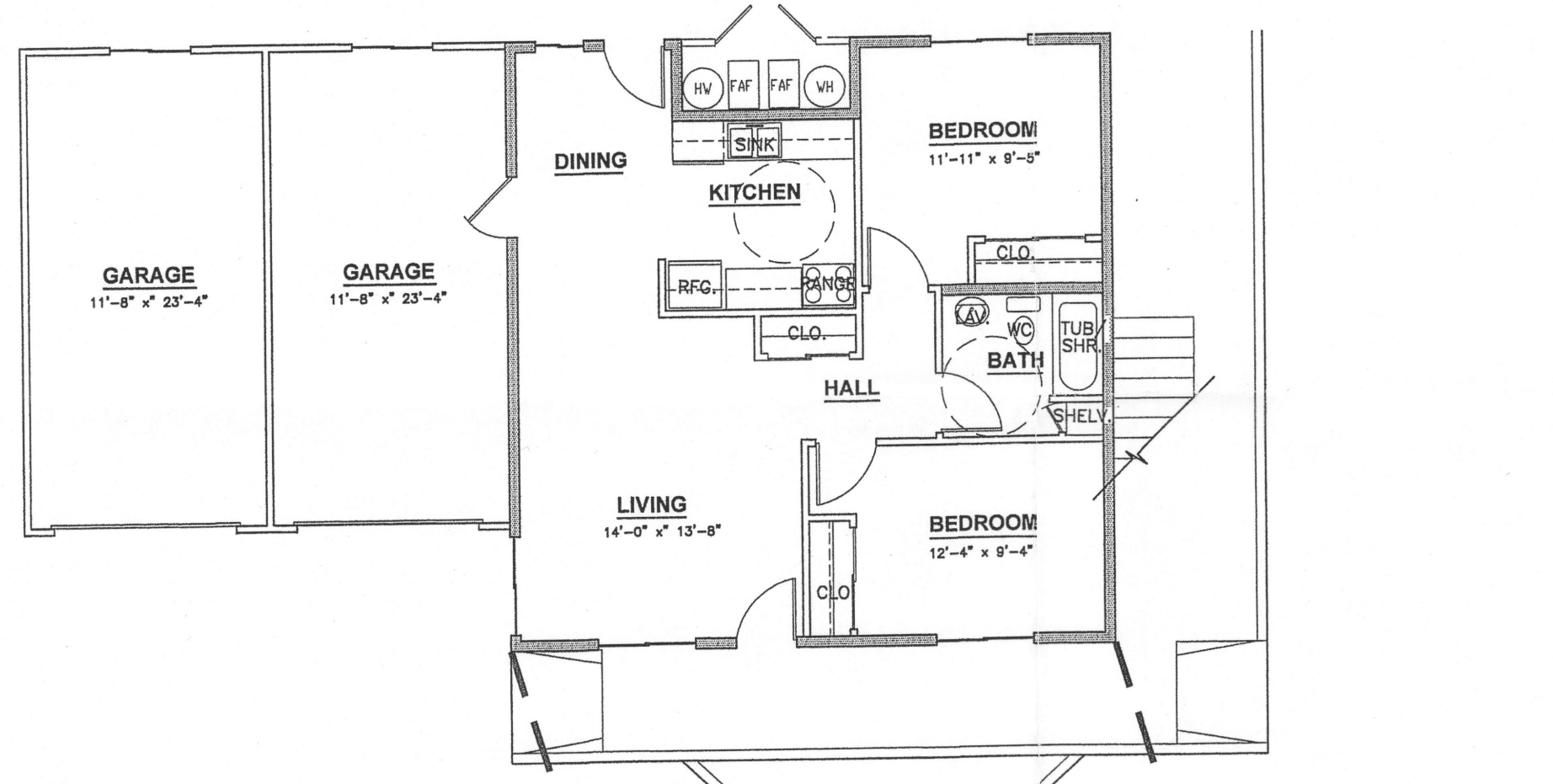
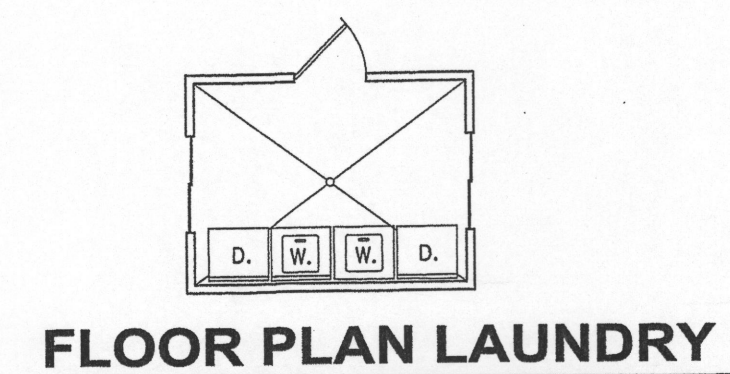
**BLDG. "A" FRONT ELEVATION**

(2) 2 BDRM. / 1 BATH



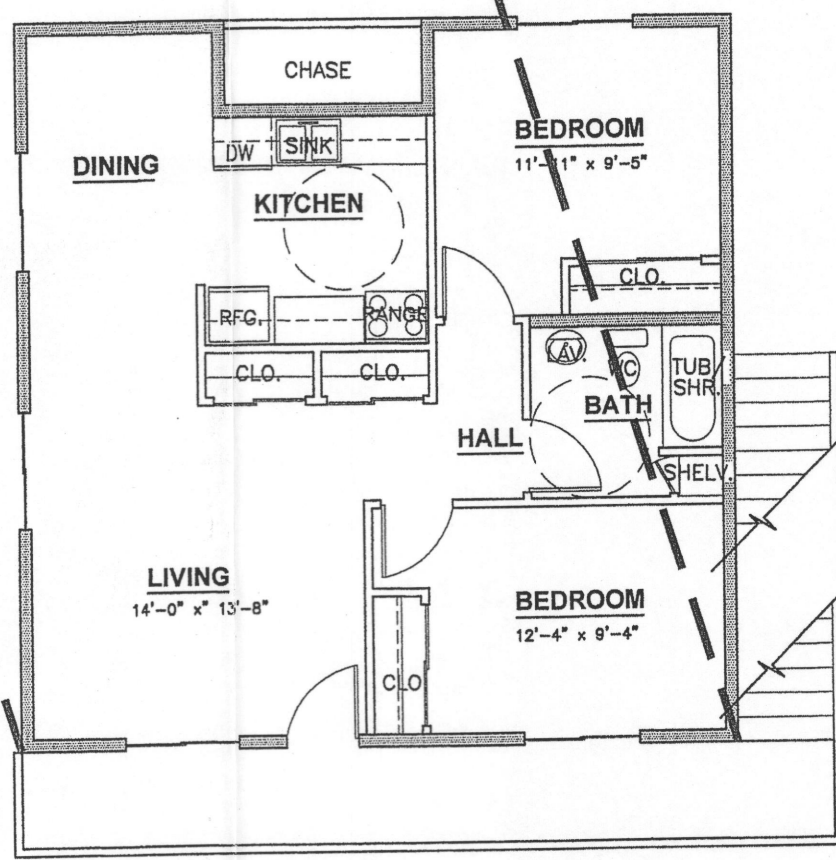
**BLDG. "B" FRONT ELEVATION**

1 BDRM. / 1 BATH BELOW 2 BDRM. / 1 BATH ABOVE



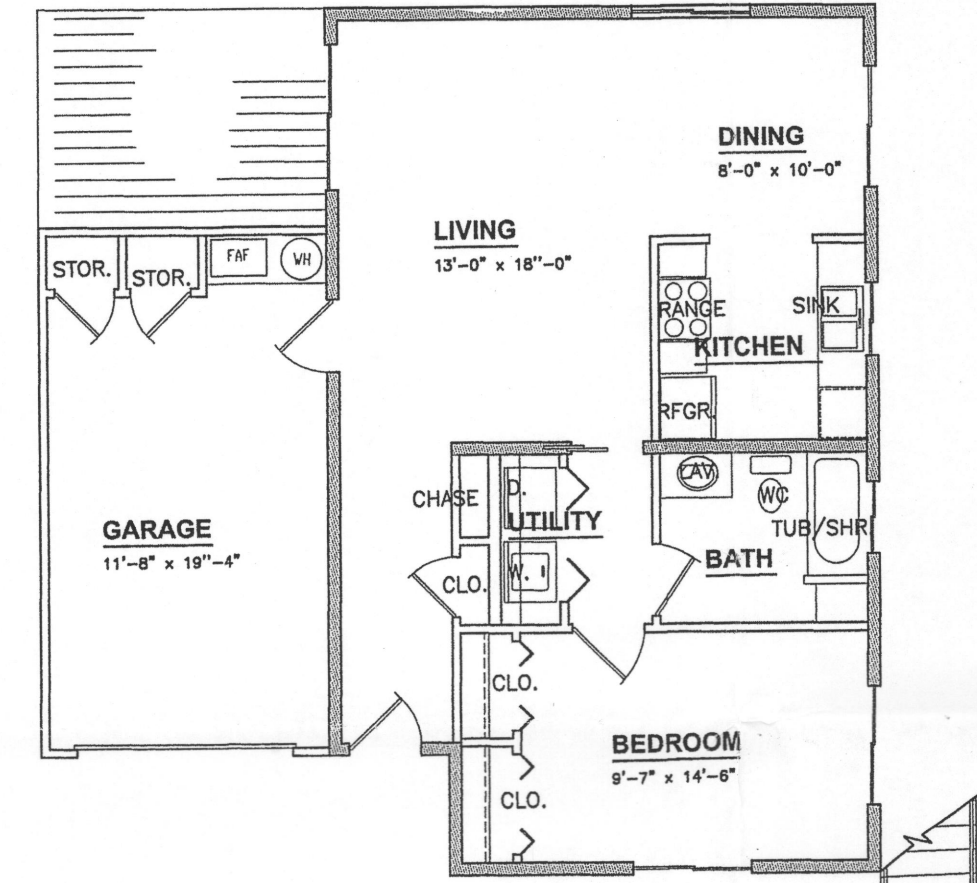
**FLOOR PLAN LOWER UNIT**

2 BDRM. / 1 BATH



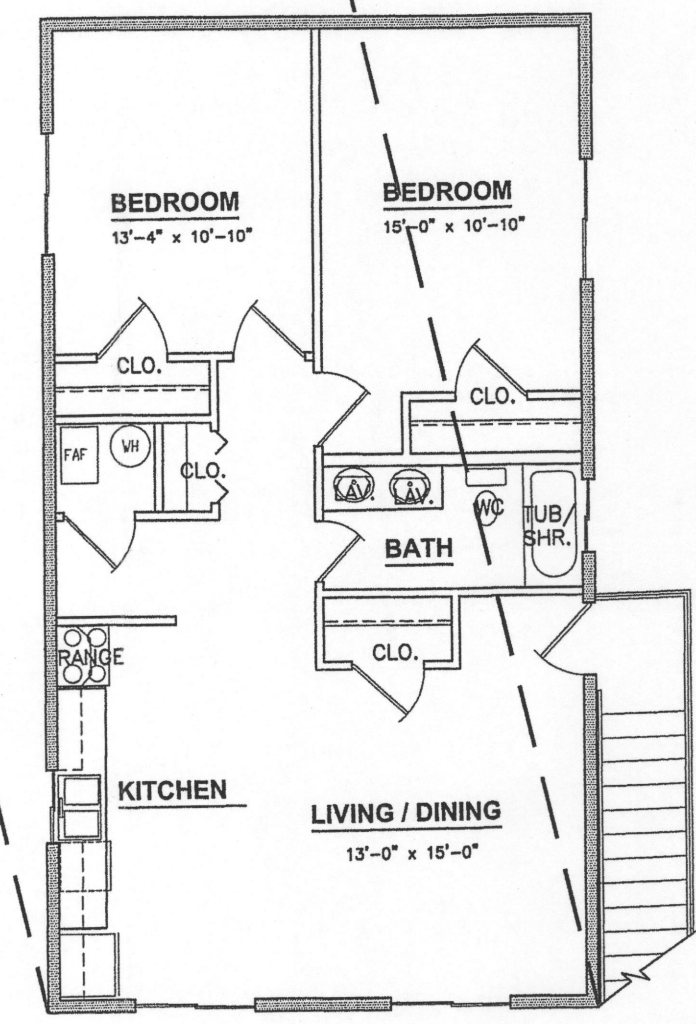
**FLOOR PLAN UPPER UNIT**

2 BDRM. / 1 BATH



**FLOOR PLAN LOWER UNIT**

1 BDRM. / 1 BATH



**FLOOR PLAN UPPER UNIT**

2 BDRM. / 1 BATH

REVISIONS	DESCRIPTION
DATE	01/27/11
	SEE CLOUDED AREAS, PLAN REVIEW COMMENTS

CONSULTANT:

Thomas K. Hayslett, Architect

303 North Church Street, Visalia CA 93291  
 Phone: (559) 732-9808  
 Fax: (559) 636-8585

PROJECT: **Burke & Roosevelt Apartments**  
 for: Kaweah Management Company  
 626-632, 640-646 & 638 E. Kaweah, Visalia, CA.  
 SHEET TITLE: **SITE PLAN**

DATE: 03/20/21  
 JOB NO: 1904  
 SHEET NO: **A-2**  
 2 OF 2 SHEETS

# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website ([www.visalia.city](http://www.visalia.city)) or by calling (559) 713-4440-



This application **MUST** be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- **Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present** -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Oakwood Ranch Date: 3-9-2021

Project Description: New 102 - Unit Multi-Family Complex

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: \_\_\_\_\_

Property Owner: Smee Homes

Applicant(s) Name: Ken Turner

Project Address/Location: 2392 N Demaree Ave. ( Between N. Demaree and W. Houston Ave.)

Assessor Parcel Number: 0 7 7 - 6 6 0 - 0 2 2, 023 and 024

Parcel Size (Acreage or Square Feet): 8.04 acres Building or Suite Square Footage: 2BR / 3BR 1,196 sq.ft.

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ N/A

Describe All Proposed Building Modifications: N/A

- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received: 03/09/2021

SPR Agenda: 03/17/2021 Item No. \_\_\_\_\_

Zone: O-PA/R-M-3 SPR No. 21-037

Historic District: Yes  No

Flood Zone: X  AE  X/AE

- - **A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS** - -

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Vacant

Proposed Building Use: New 102 - Unit Multi-Family Complex

Proposed Hours of Operation: N/A - Residential

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing N/A Proposed N/A

Number of Customers Per Day (Estimated): Existing N/A Proposed N/A

Predicted Peak Operating Hour: N/A

Describe Any Truck Delivery Schedule & Operations: N/A

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): \_\_\_\_\_

Describe Any Special Events Planned for the Facility: \_\_\_\_\_



**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ⇨ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇨ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇨ Site plan shall provide for and indicate all of the following:
  - North arrow
  - All existing & proposed site features
  - Site dimensions, including building
  - Existing and proposed fencing at site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed structures
  - Adjacent street names
  - Refuse enclosures & containers
  - Valley oak trees (show drip line)
  - Existing & proposed landscaping
  - Parking stalls (include ADA)
  - Loading/unloading areas
  - Accessible path of travel from right of way
  - Accessible path of travel from ADA stall
  - Location and width of drive approaches to site
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

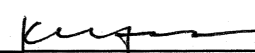
REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Ken Turner / Smee Homes Signature of Owner or Authorized Agent\* \_\_\_\_\_

Address: 444 N. Prospect St., Suite A \_\_\_\_\_

City, State, Zip Porterville, CA 93257 Owner \_\_\_\_\_ Date \_\_\_\_\_

Phone: 559-788-0525  3-9-21

Email: 559-310-0442 dbryan@awe-inc.com Authorized Agent\* \_\_\_\_\_ Date \_\_\_\_\_

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:

I, Kap So Davis, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

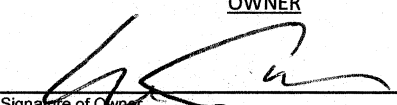
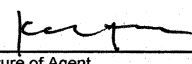
077-660-022

AGENT:

I designate Smee Homes Inc, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to \_\_\_\_\_ relative to the property mentioned herein.

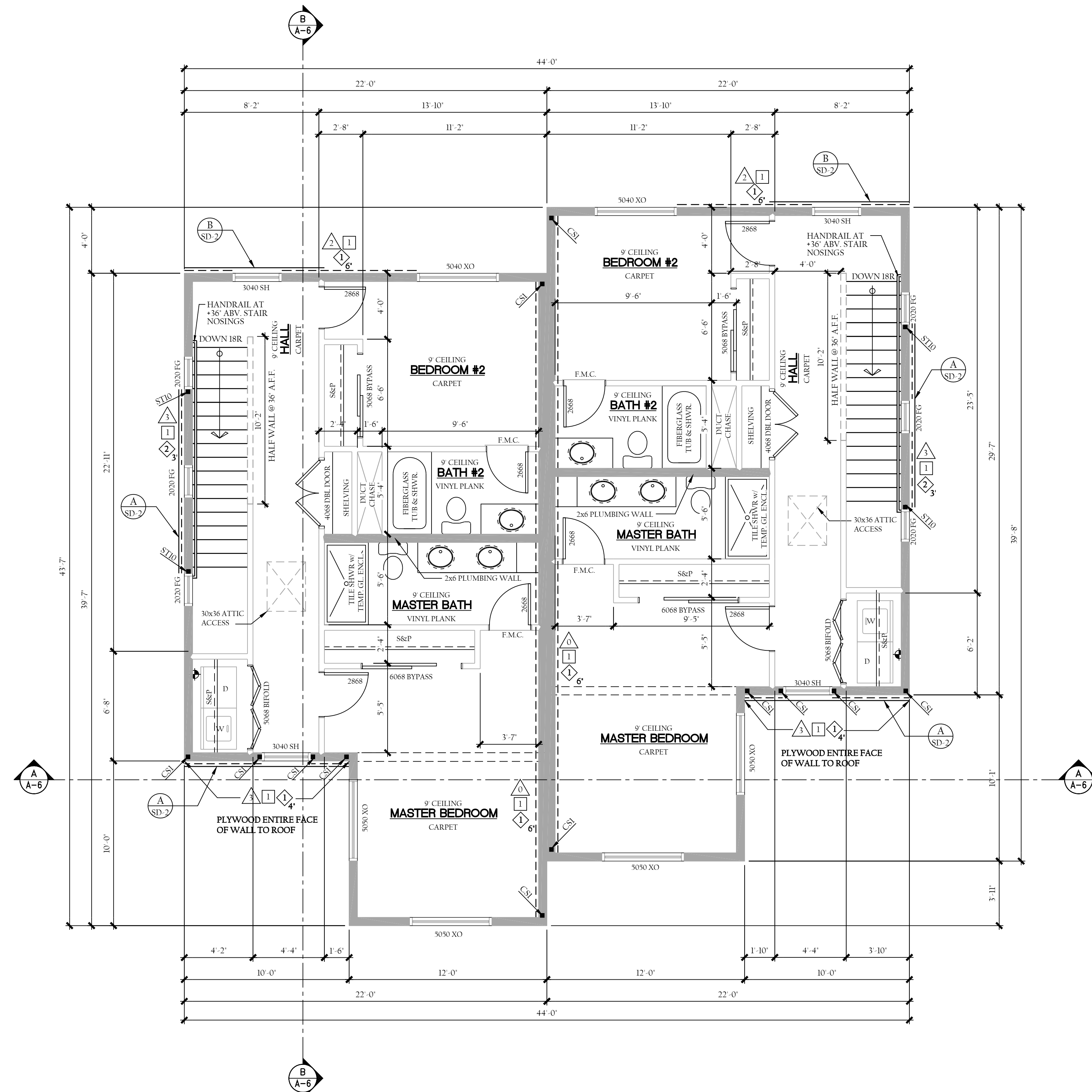
I declare under penalty of perjury the foregoing is true and correct.

Executed this 9 day of March, 2021

OWNER	AGENT
Signatures	Signatures
	 <u>Smee Homes Inc</u>
Signature of Owner	Signature of Agent
<u>440 N. Powell Ct.</u>	<u>444 N Prospect #A</u>
Owner Mailing Address	Agent Mailing Address
<u>Visalia, CA 93291</u>	<u>Porterville CA 93257</u>
<u>(559) 734-1544</u>	<u>559-310-0442</u>
Owner Phone Number	Agent Phone Number

**REVISION**

DESCRIPTION	DATE



ENGINEER'S SEAL AND SIGNATURE ON PLANS ARE LIMITED TO THE ITEMS ON THE PLANS ADDRESSED IN THE STRUCTURAL CALCULATIONS ONLY. NO OTHER APPROVAL, LIABILITY OR CONSENT FOR ANY OTHER ASPECT OR PHASE OF THIS STRUCTURE IS IMPLIED OR EXPRESSED.

JOB NUMBER: E20-171  
DATE: 12/14/2020 SIGNATURE: *Terry A. Moore*

**DIAPHRAGM SCHEDULE**

- ROOF DIAPHRAGM:  
15/32" CDX PLYWOOD\* (CCX EXT. GRADE @ EXP. AREAS)  
APA(32/16) W/ 8d CMN @ 6" O.C. EN, BN & 12" O.C. FN.  
\*[ALT.: 15/32" O.S.B. BD, STRUCT. RATED, APA(32/16)]  
[W/ SAME NAILING.]
- WALL SHEAR PANELS:  
3/8" CDX PLYWOOD\*, (CCX EXT. GRADE @ EXP. AREAS)  
APA(24/0) W/ NAILING PER SHEAR SCHEDULE.  
\*[ALT.: 3/8" O.S.B. BD, STRUCT. RATED, APA(24/0)]  
[W/ SAME NAILING PER SHEAR SCHEDULE.]

**SHEARWALL SCHEDULE:**

- 3/8" TYPE X DRYWALL W/ 6dX1-7/8 COOLER NAILS @ 7" O.C. EN, BN & 12" O.C. FN. (UNBLOCKED)
- 3/8" TYPE X DRYWALL (BASE PLY) W/ 6dX1-7/8 COOLER NAILS @ 9" O.C. EN, BN & 12" O.C. FN. (BLOCKED) FOR BASE PLY 5/8" TYPE X DRYWALL FACE PLY W/ 8dX2-3/8 COOLER NAILS @ 7" O.C. EN, BN & 12" O.C. FN. (BLOCKED) FOR FACE PLY
- 3/8" CDX PLYWOOD W/ 8d CMN @ 6" O.C. EN, BN & (131 WIRE DIA.) (BLOCKED) GF 260 PLF 12" O.C. FN.
- 3/8" CDX PLYWOOD W/ 8d CMN @ 4" O.C. EN, BN & (131 WIRE DIA.) (BLOCKED) GF 350 PLF 12" O.C. FN.
- 3/8" CDX PLYWOOD W/ 8d CMN @ 3" O.C. EN, BN & (131 WIRE DIA.) (BLOCKED) 12" O.C. FN.  
(4x4 POST AT ABUTTING PANEL EDGES) GF 490 PLF
- SIMPSON STRONG-TIE STRONG WALL SSW18X10 INSTALL PER MANUFACTURERS SPECIFICATIONS GF 175# INSTALL 1/4" X 3-1/2 SWS SCREWS TO TOP PLATE PER SIMPSON SPECIFICATIONS

**TOP PLATE SPLICES**

- DBL. 2x TOP PLATE (DF#2) W/ 18-16d SINKERS @ EA. SIDE OF 4'-0" LAP SPLICE OR SIMPSON ST6236 W/ 10d CMN. OR MSTC28 W/ 16d SINKERS @ BUTT SPLICES. .148 WIRE DIA. 16d SINKERS & 10d CMN.
- DBL. 2x TOP PLATE (DF#2) W/ 22-16d SINKERS @ EA. SIDE OF 4'-0" LAP SPLICE OR SIMPSON MST37 W/ 10d CMN. OR MSTC-40 W/ 16d SINKERS @ BUTT SPLICES. .148 WIRE DIA. 16d SINKERS & 10d CMN.

**WALL LEGEND**

[Symbol]	2x6 DF #2 STUDS AT 16" o.c WALLS w/ INSULATION PER T-24
[Symbol]	2x4 DF #2 STUDS AT 16" o.c WALLS w/ INSULATION PER T-24

UPPER FLOOR PLAN  
SCALE: 1/4" = 1'-0"

2392

UPPER FLOOR PLAN

REVISION

DESCRIPTION	DATE

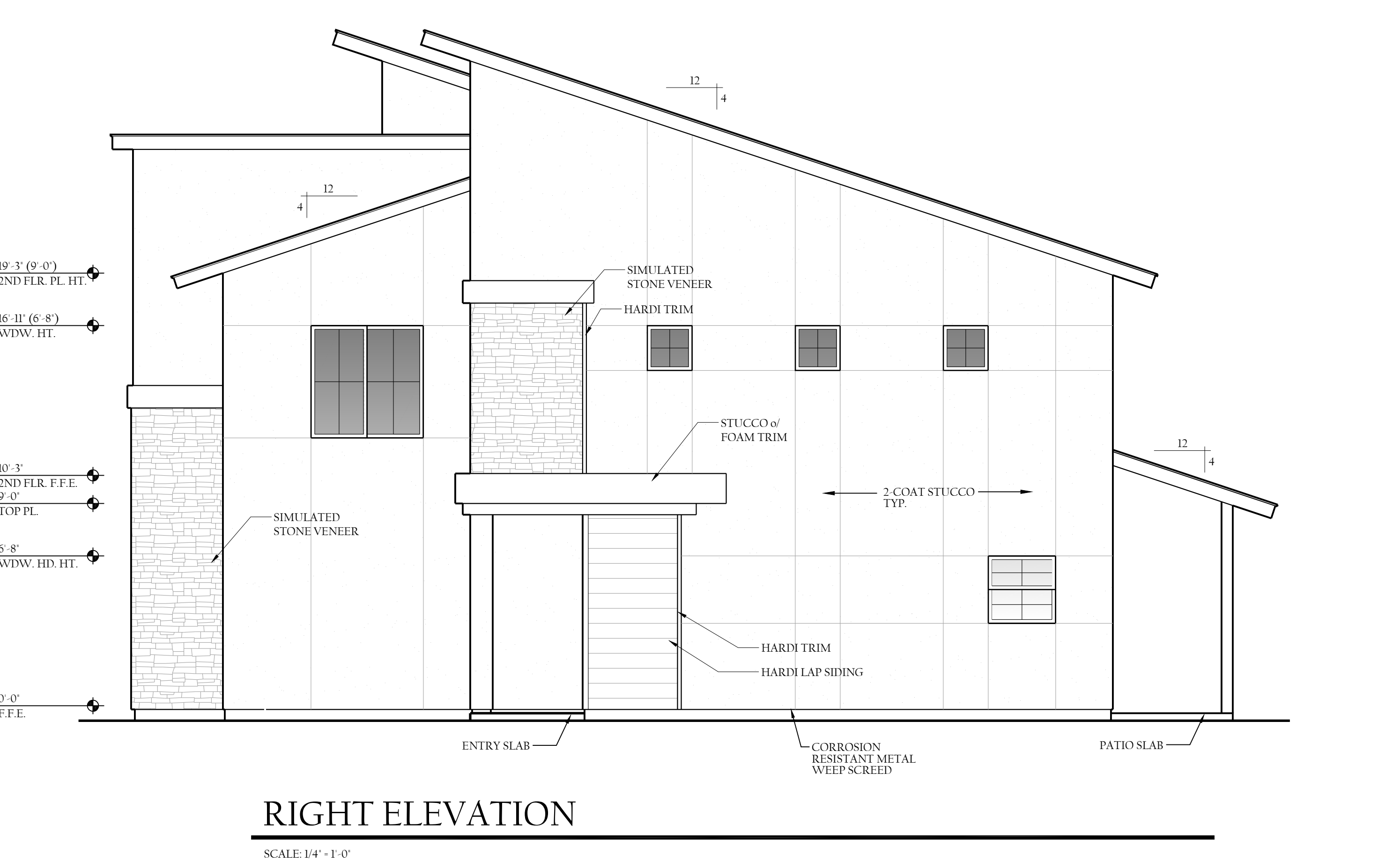
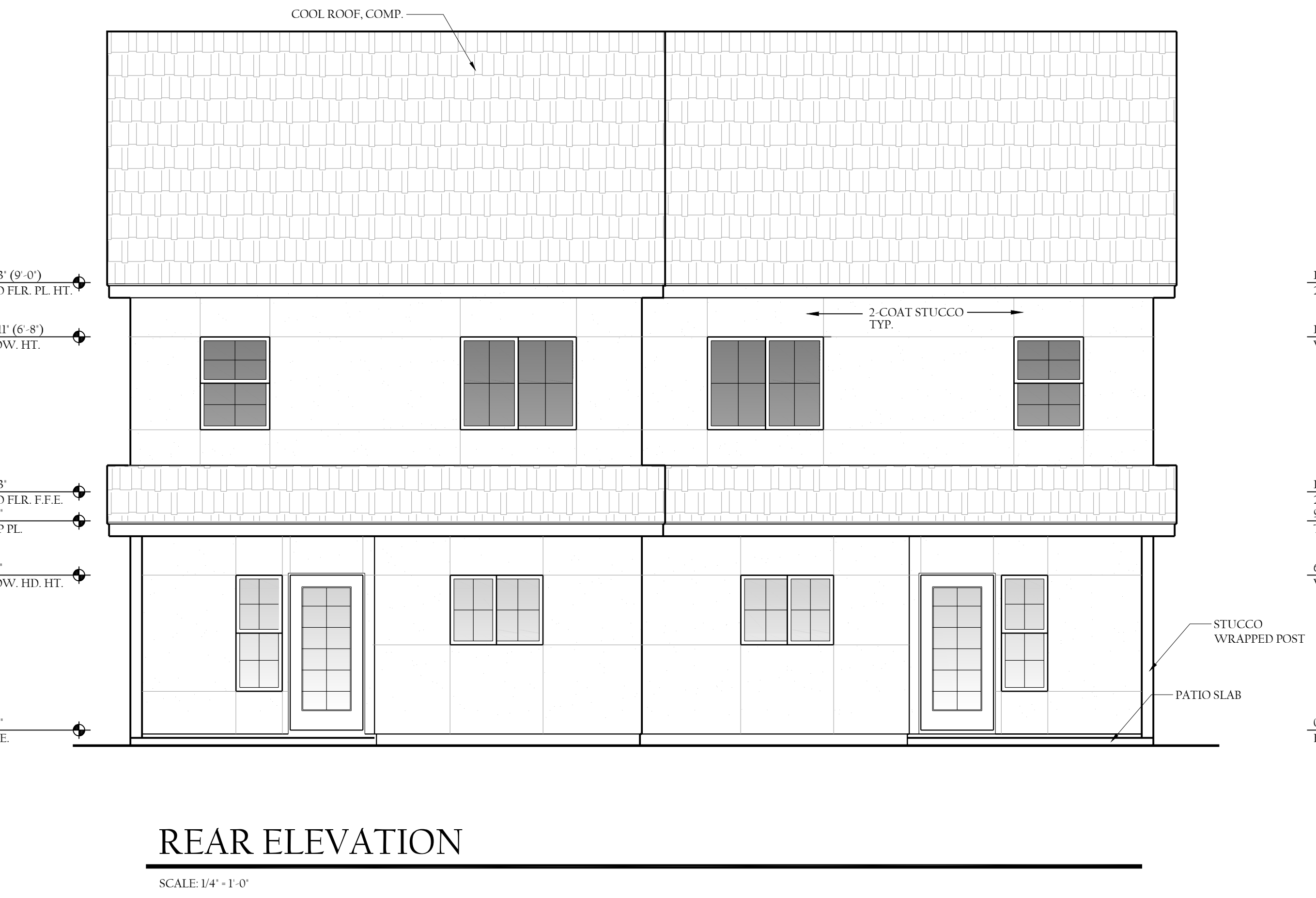
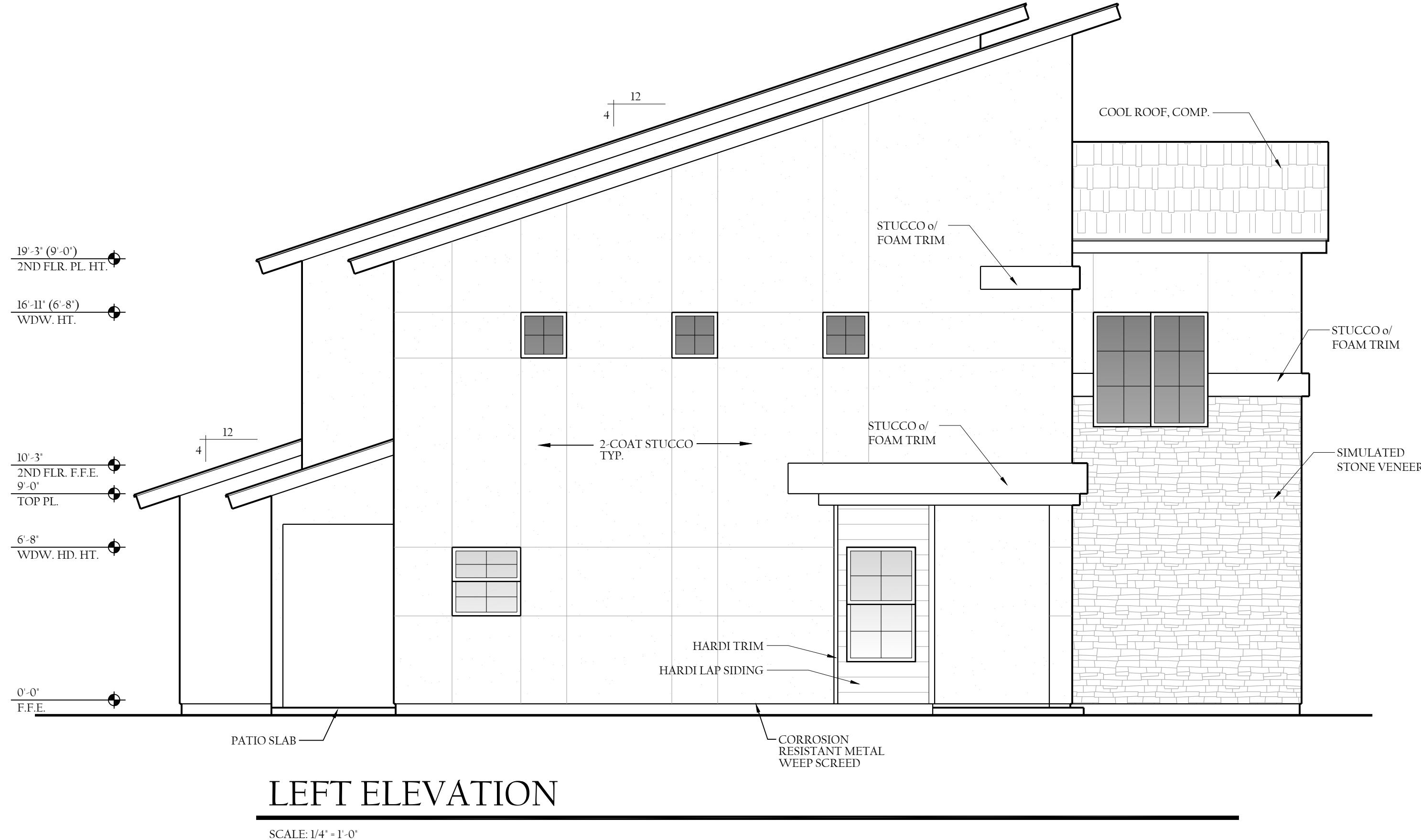
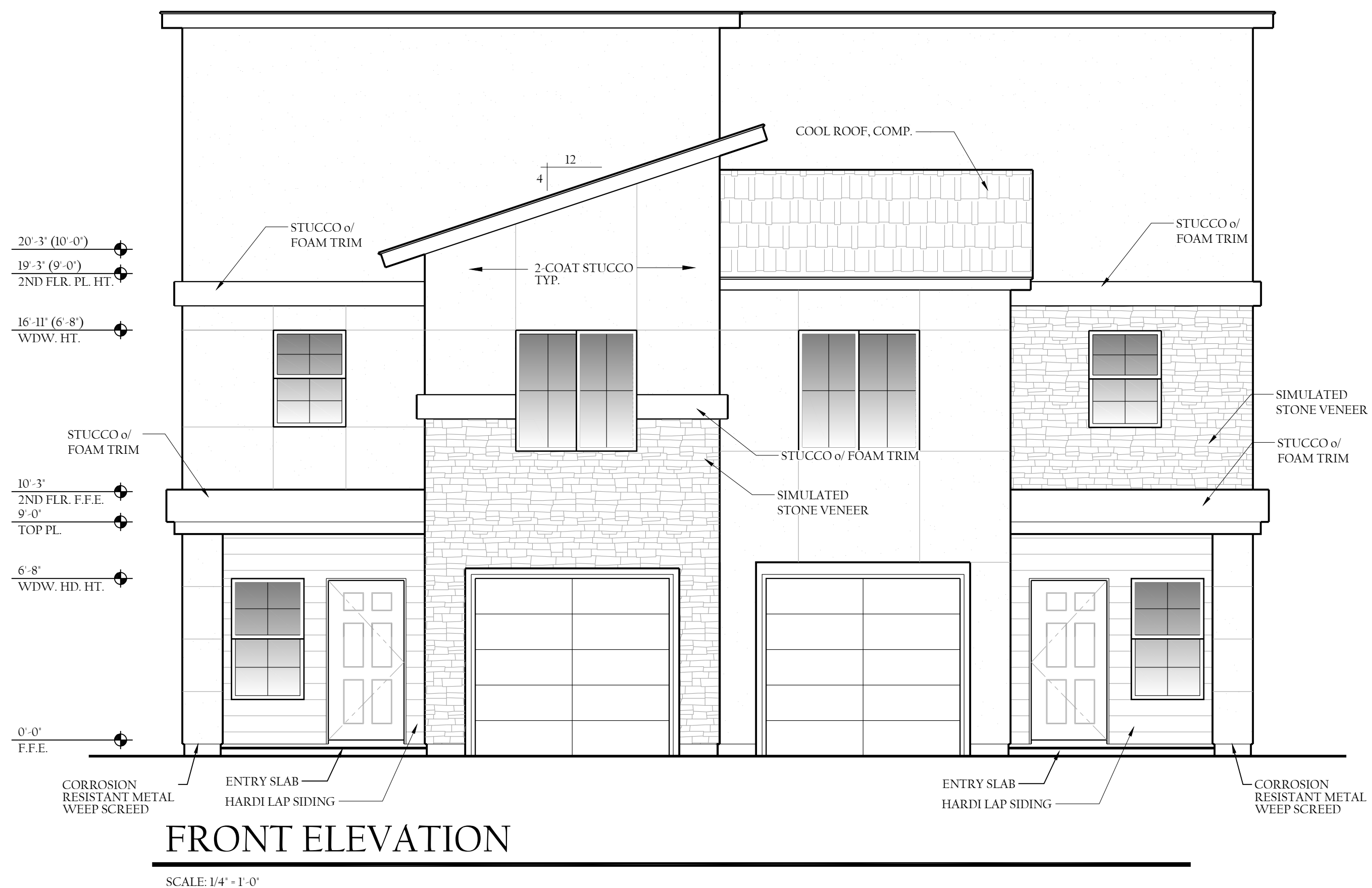
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2392

ELEVATIONS

SHEET NUMBER

A-7





444 N. Prospect St. Suite A  
Porterville, CA 93257

DRAWN BY: SMEE HOMES  
DES BY: R. SIMMONS  
DRAWN DATE: 09/29/2020  
PLOT DATE: 12/10/2020  
CHK'D BY: R. SIMMONS

**REVISION**

DESCRIPTION	DATE

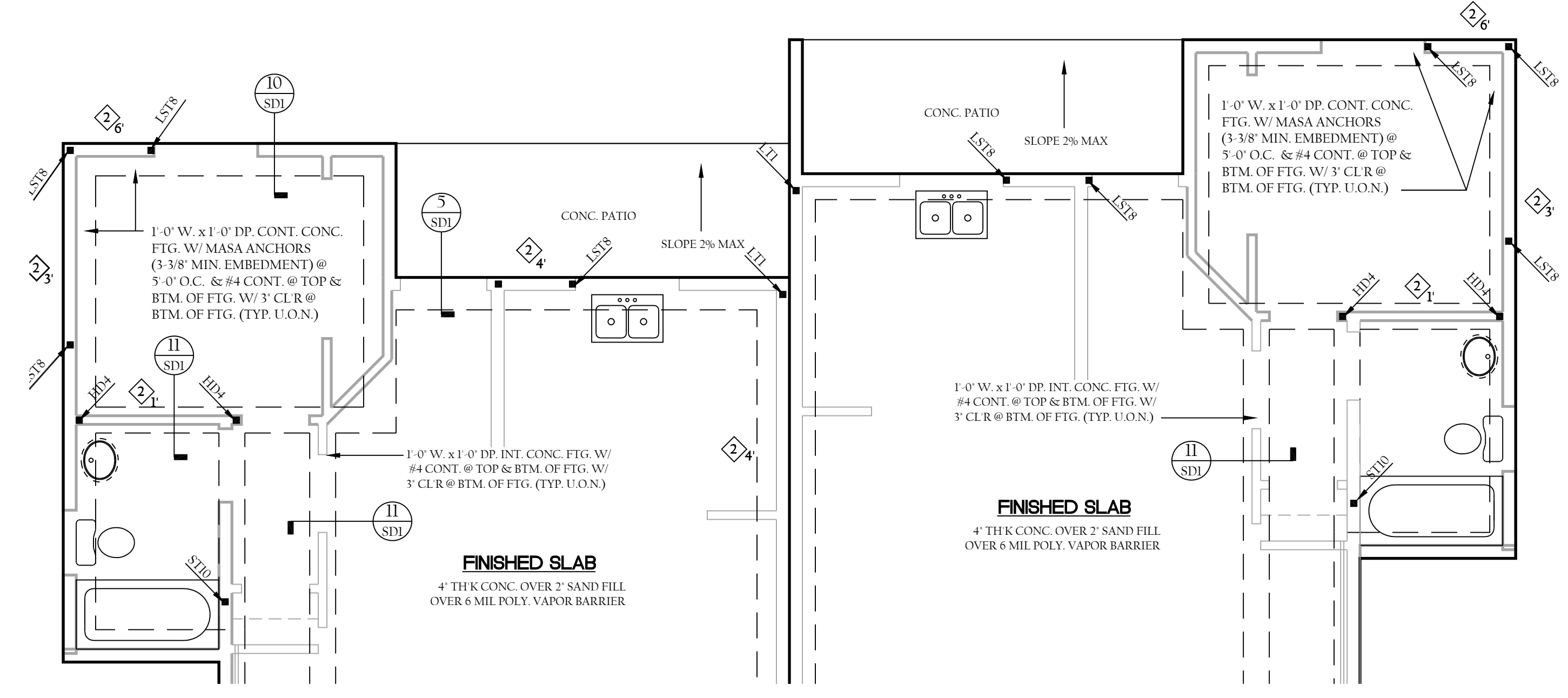
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2392

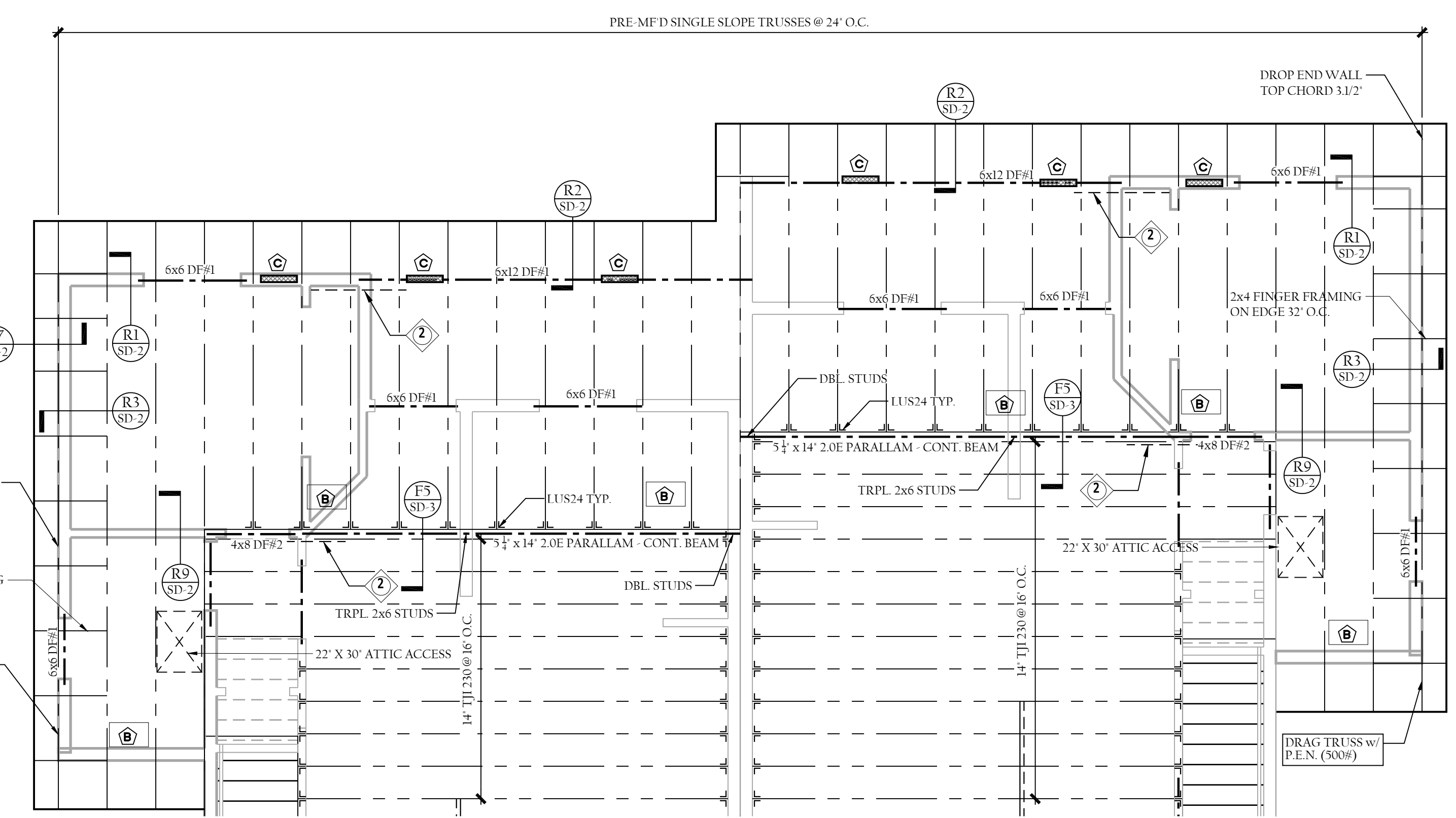
**FLOOR PLAN OPTIONS**

SHEET NUMBER

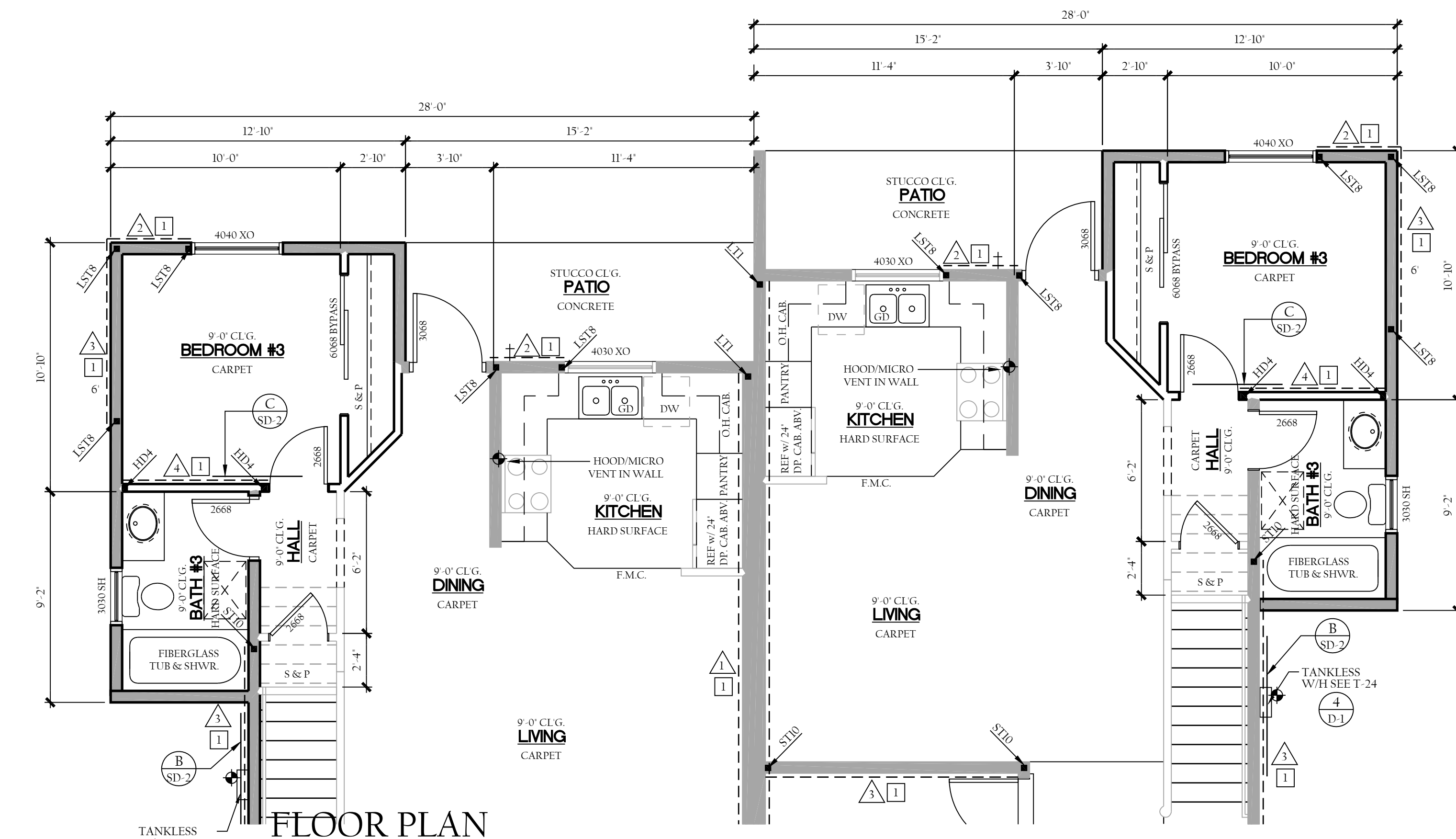
A-8



**FOUNDATION PLAN**



**ROOF FRAMING**



**FLOOR PLAN**

**OPTIONAL BEDROOM 3**

SCALE: 1/4" = 1'-0"

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JOB NUMBER: E20-177  
DATE: 12/14/2020 SIGNATURE: TERRY MOORE  
NO. 55682  
EXP. 12-31-20  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL  
STATE OF CALIFORNIA

**ATTIC VENT CALCULATIONS:**

**VENT NOTES PER C.R.C. R806.2:**  
1. 50% OF THE REQ'D VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED @ LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS W/ THE BALANCE OF THE REQ'D VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.

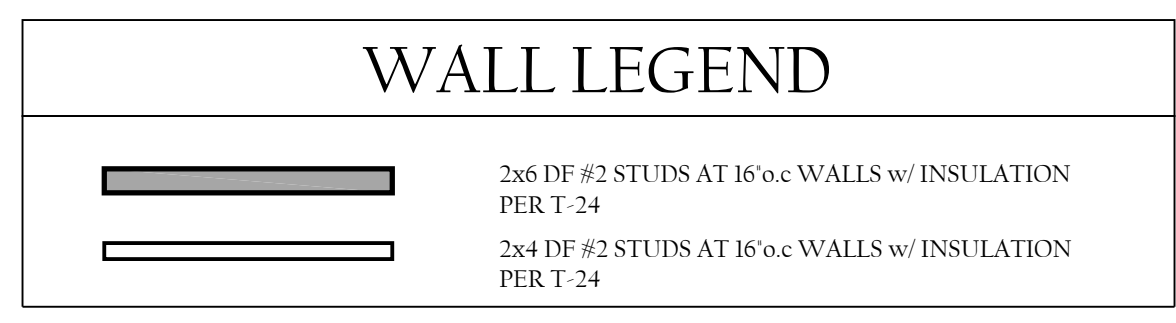
DIVIDE ATTIC AREA BY 150 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED NET VENTING AREA IN SQUARE INCHES.

UPPER ROOF REQUIRED VENTILATION:  
699 sq. ft. x 144 / 150 = 672 sq. in.

**PROVIDED VENTILATION:**

- (B) (6) UPPER VENTILATION DORMER VENTS [PLYCO 918 D] (80 sq. in. ea.) - 480 sq. in.
  - (C) (6) EAVE VENTS [METAL RAFTER VENT] (65 sq. in. ea.) - 390 sq. in.
- TOTAL PROVIDED - 870 sq. in.

ALL VENT OPENINGS SHALL BE COVERED W/ 1/4" CORROSIVE RESISTANT METAL MESH. FRAMER SHALL BE RESPONSIBLE FOR COORDINATING W/ TRUSS MFR. TO ACCOMMODATE ALL ATTIC VENTS. ALL VENTS SHALL BE INSTALLED SO AS TO MAKE THEM WATER-PROOF AND WALL MOUNTED LOUVERS SHALL BE SEALED AND FLASHED WITH "MOISTOP" IN THE SAME MANNER PRESCRIBED FOR WINDOW INSTALLATION. PROVIDE APPROVED INSULATION DAMS (BAFFLES) WHERE VENTS BLOCKS ARE USED BETWEEN ROOF FRAMING MEMBERS TO PREVENT VENT HOLES BEING BLOCKED BY INSULATION.



**WALL LEGEND**

3RD BEDROOM OPTION CAN BE BUILT ON EITHER OR BOTH SIDES OF UNIT

SEE STANDARD PLANS FOR INFORMATION NOT SHOWN HERE

REVISION

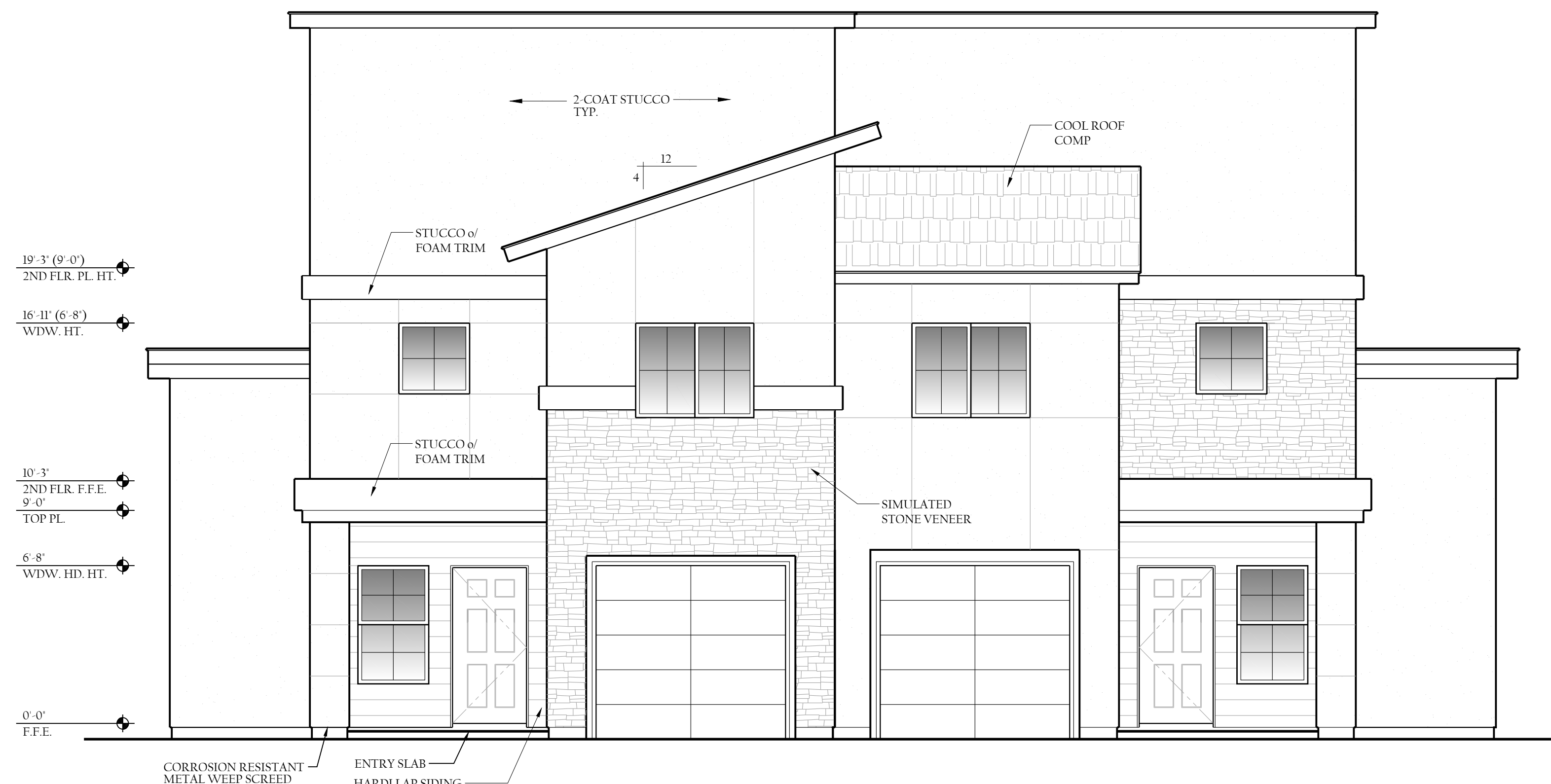
DESCRIPTION	DATE

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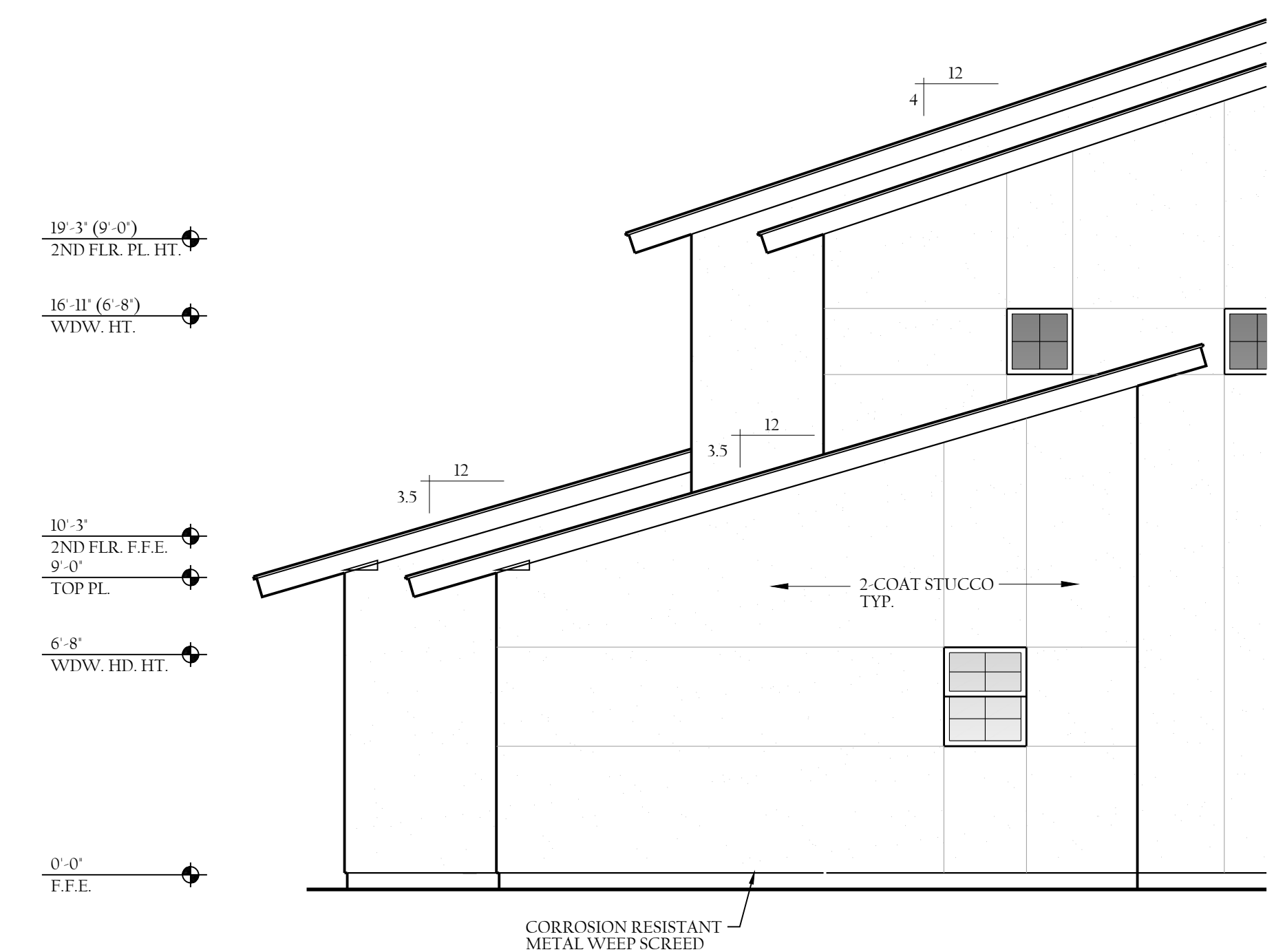
**2392**

FLOOR PLAN  
OPTION

SHEET NUMBER  
**A-8.1**



FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION

OPTIONAL BEDROOM 3

SCALE: 1/4" = 1'-0"

3RD BEDROOM OPTION  
CAN BE BUILT ON EITHER  
OR BOTH SIDES OF UNIT

SEE STANDARD PLANS  
FOR INFORMATION  
NOT SHOWN HERE



444 N. Prospect St. Suite A  
Porterville, CA 93257

DRAWN BY: SMEE HOMES  
DES. BY: R. SIMMONS  
DRAWN DATE: 09.29.2020  
PLOT DATE: 12.10.2020  
CHK'D BY: R. SIMMONS

**REVISION**

DESCRIPTION	DATE

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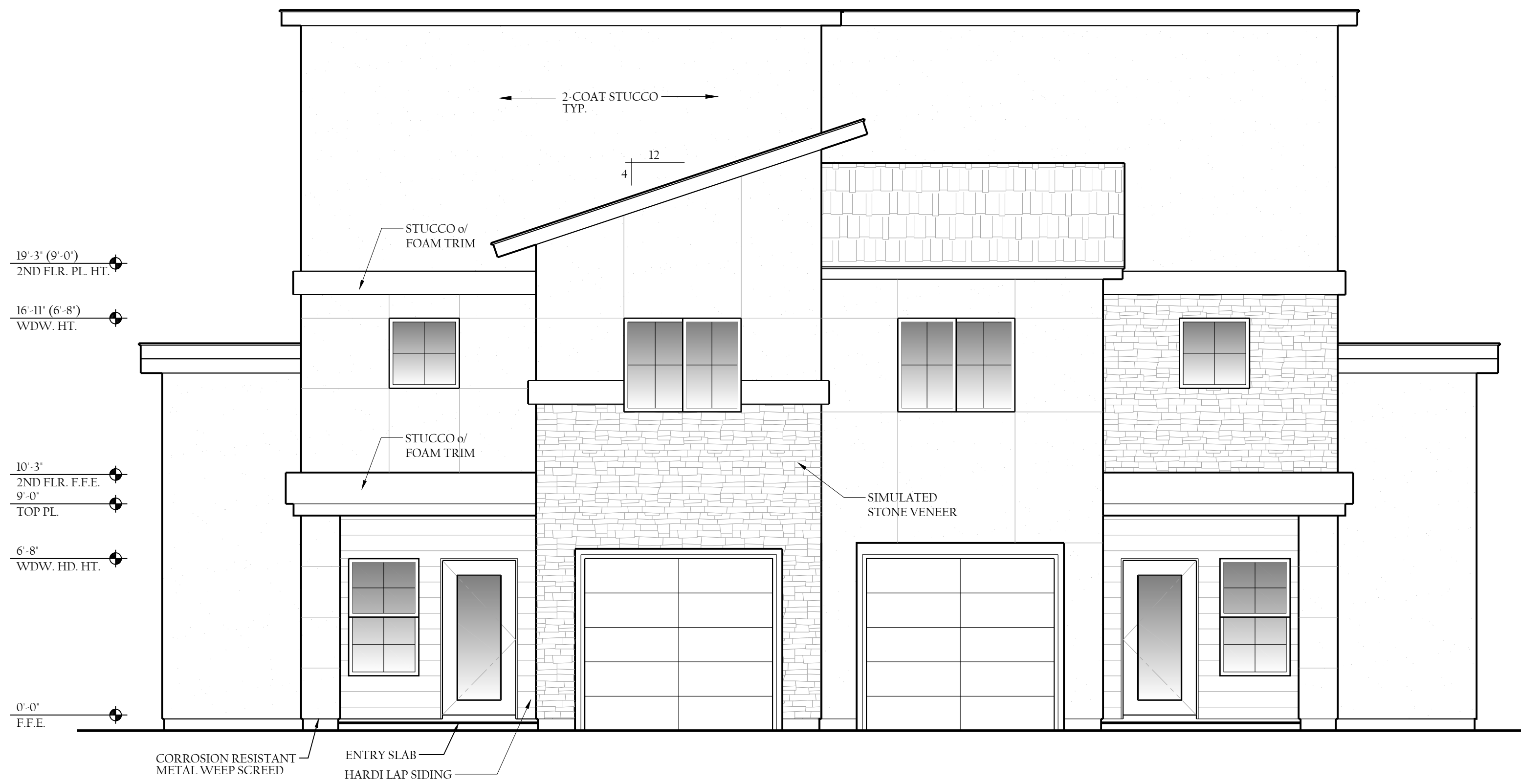
FLOOR PLAN  
OPTION

SHEET NUMBER

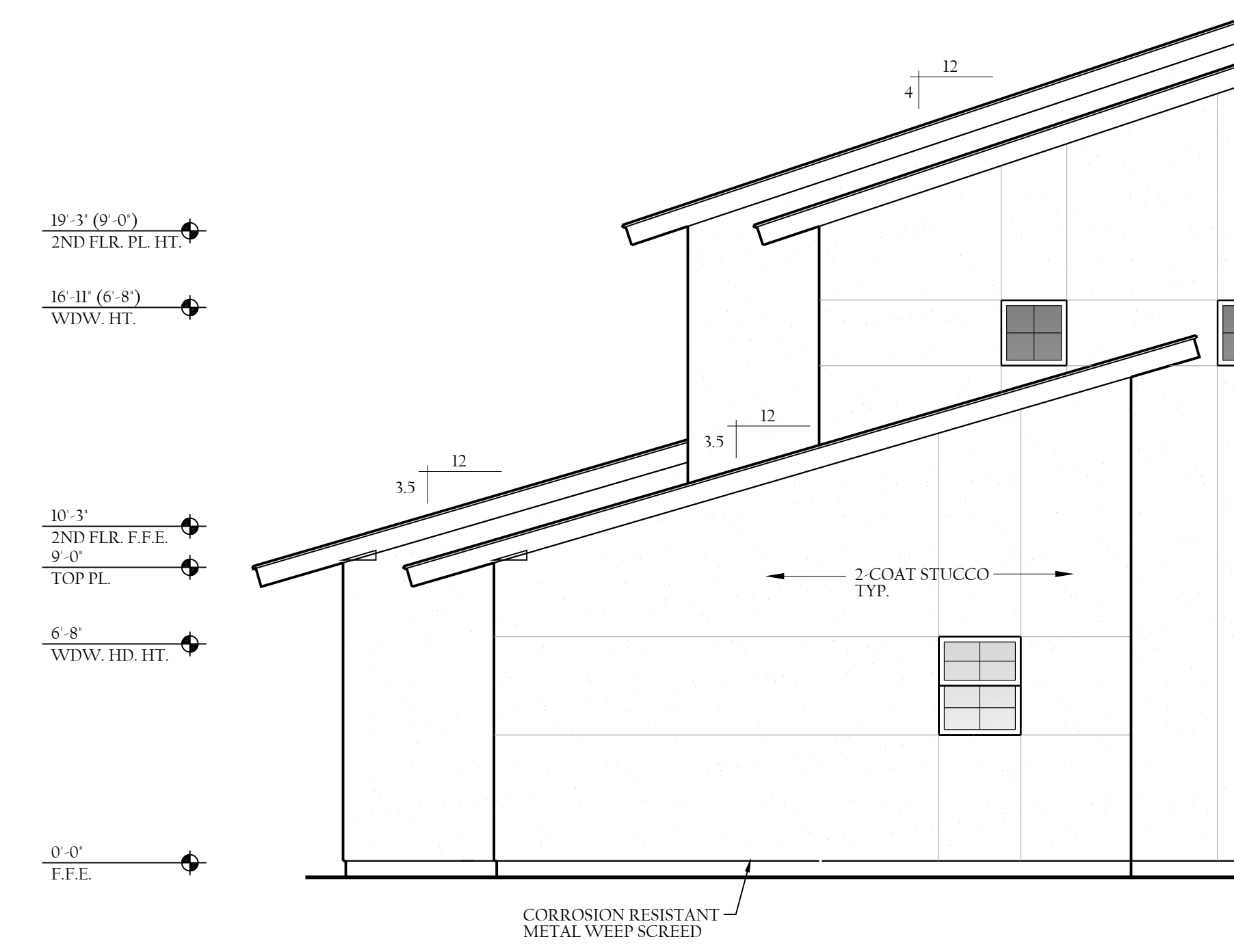
A-8.1

3RD BEDROOM OPTION CAN BE BUILT ON EITHER OR BOTH SIDES OF UNIT

SEE STANDARD PLANS FOR INFORMATION NOT SHOWN HERE



FRONT ELEVATION



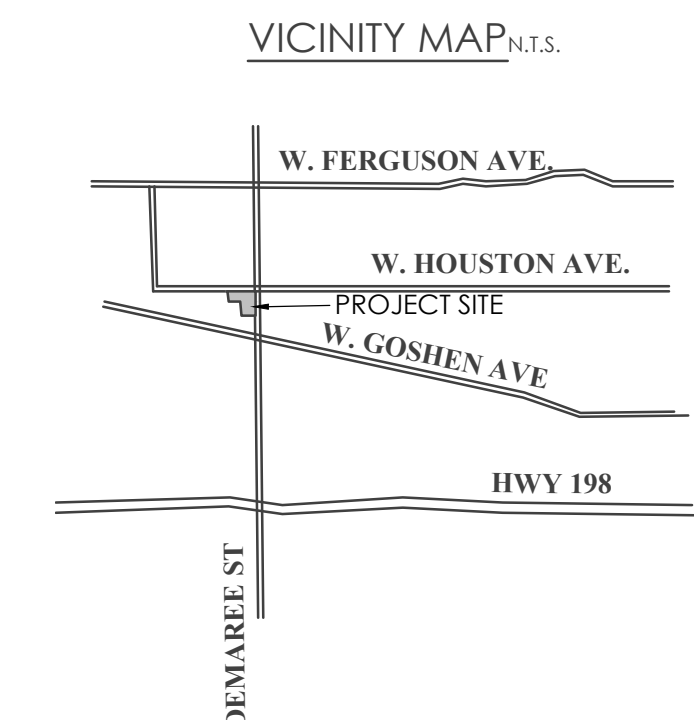
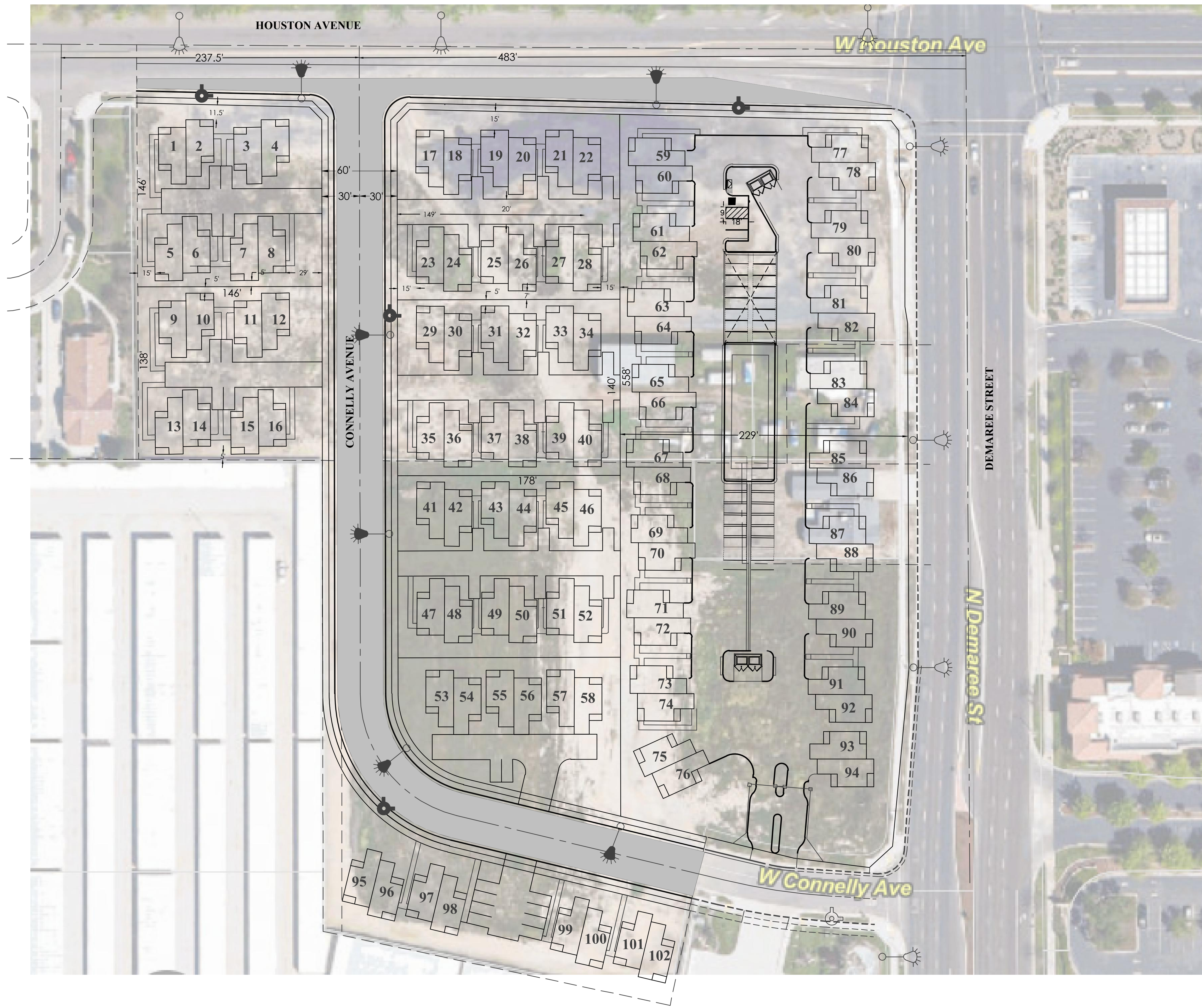
SIDE ELEVATION



REAR ELEVATION

OPTIONAL BEDROOM 3

SCALE: 1/4" = 1'-0"



**SITE INFORMATION**

DEVELOPER/OWNER: SMEE HOMES  
444 NORTH PROSPECT  
SUITE A  
PORTERVILLE, CA 93257

ENGINEER: AW ENGINEERING  
724 NORTH BEN MADDOX  
WAY, SUITE A  
VISALIA, CA 93292

APN NO'S: 077-66-21, 22, 23 AND 24'

TOTAL COMBINED AREA: 8.04 ACRES

EXISTING ZONE: PROFESSIONAL OFFICE/RM3

PROPOSED ZONE: RM3

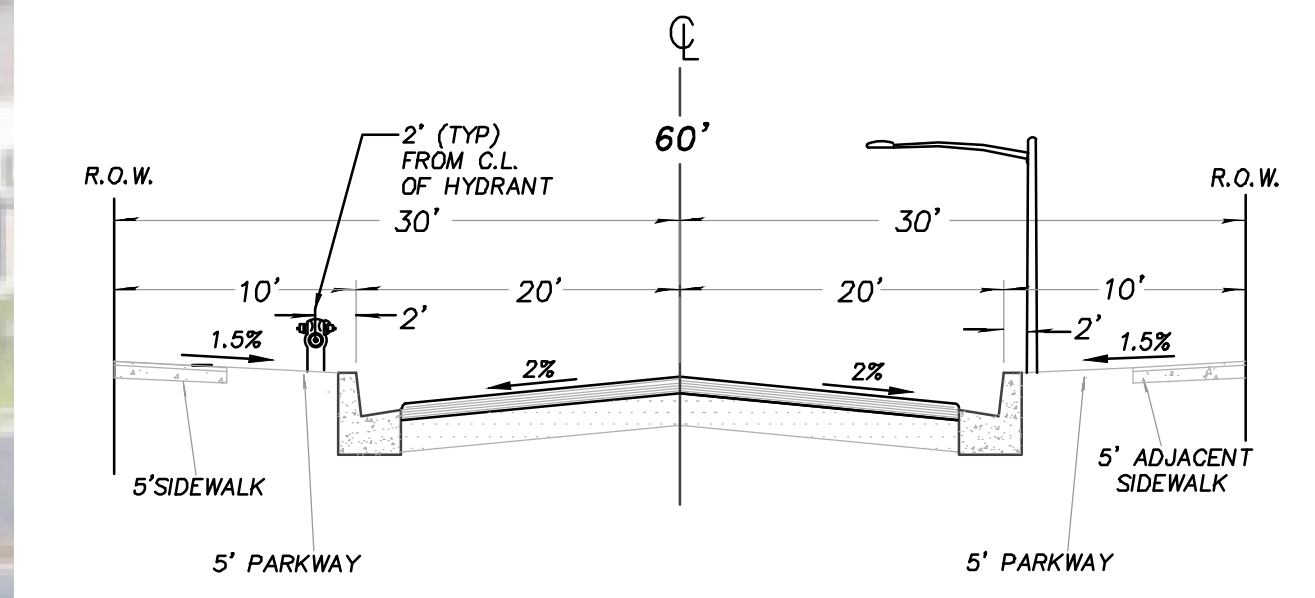
PROPOSED UNITS: 102 UNITS

UNIT INFORMATION: 2BR/3BR UNITS  
1,196 SQ FT EACH UNIT  
1 GARAGE PER UNIT

DENSITY: 12.7 UNITS PER AC  
ALLOWED UNITS  
(29 UNITS PER AC = 233 UNITS  
ALLOWED PER RM3)

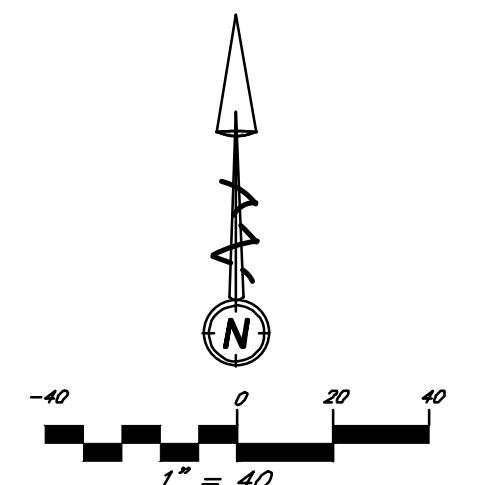
PARKING: 1.5 SPACE PER UNIT

CONNELLY AVENUE CROSS SECTION



LEGEND

- NEW STREET LIGHT (COV STD)
- (E) STREET LIGHT
- (E) FIRE HYDRANT
- (N) FIRE HYDRANT
- (E) EXISTING
- (N) NEW

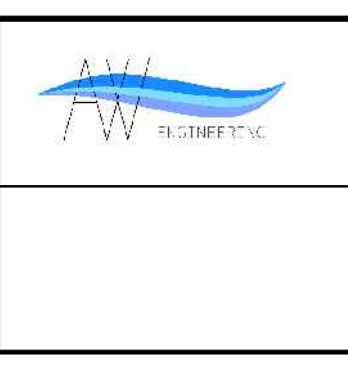
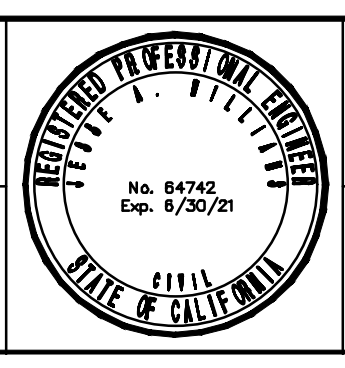


CONCEPTUAL SITE PLAN

REVISIONS	REV. BY	DATE

APPROVED
Jesse Allen Williams R.C.E. 64742

724 N. BEN MADDOX  
WAY SUITE "A"  
(559) 967-8089



# OAKWOOD RANCH DUPLEX

SCALE: 1" = 40'	SHEET 1 OF 1 SHEETS
JOB #: ---	FLOOD ZONE: "X"
DRAWN BY: JAWII	

© Smee Homes/Smith Urban/Urban Design Group - May 11, 2021 - 11:55am - A.E. Engineering

# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website ([www.visalia.city](http://www.visalia.city)) or by calling (559) 713-4440-



This application **MUST** be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- **Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present** -  
 - Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: RIVER RUN RANCH Date: 03/11/2021

Project Description: SUBSTANTIAL CONFORMANCE EXHIBIT

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: \_\_\_\_\_

Property Owner: CASTLEWOOD PARTNERS

Applicant(s) Name: DR HORTON

Project Address/Location: RIVER RUN STREET - BETWEEN HOUSON & ST. JOHNS

Assessor Parcel Number: 103-020-068,069, 072

Parcel Size (Acreage or Square Feet): 27.78 AC Building or Suite Square Footage: \_\_\_\_\_

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ \_\_\_\_\_

Describe All Proposed Building Modifications: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received: 03/11/2021

SPR Agenda: 03/17/2021 Item No. \_\_\_\_\_  
R-1-5/R-M-2

Zone: \_\_\_\_\_ SPR No. 21-038

Historic District: Yes  No

Flood Zone: X  AE  X/AE

OPERATIONS & TRAFFIC INFORMATION

**- - A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS - -**

Existing/Prior Building Use: N/A - VACANT LAND

Proposed Building Use: \_\_\_\_\_

Proposed Hours of Operation: \_\_\_\_\_

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Number of Customers Per Day (Estimated): Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Predicted Peak Operating Hour: \_\_\_\_\_

Describe Any Truck Delivery Schedule & Operations: \_\_\_\_\_  
 \_\_\_\_\_

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees  
 (Provide Separate Attachment if Necessary): \_\_\_\_\_  
 \_\_\_\_\_

Describe Any Special Events Planned for the Facility: \_\_\_\_\_  
 \_\_\_\_\_



**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
  - North arrow
  - All existing & proposed site features
  - Site dimensions, including building
  - Existing and proposed fencing at site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed structures
  - Adjacent street names
  - Refuse enclosures & containers
  - Valley oak trees (show drip line)
  - Existing & proposed landscaping
  - Parking stalls (include ADA)
  - Loading/unloading areas
  - Accessible path of travel from right of way
  - Accessible path of travel from ADA stall
  - Location and width of drive approaches to site
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Jocelyn Correa</u>	Signature of Owner or Authorized Agent*	
Address: <u>901 E. main Street</u>	Owner _____	Date _____
City, State, Zip <u>Visalia CA 93292</u>	Authorized Agent* _____	Date _____
Phone: <u>559-303-5628</u>		
Email: <u>Jocelyn.Correa@qkinc.com</u>		

\* If signed by an authorized agent , the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:


I, \_\_\_\_\_, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):  
103-020-068,069, & 072

AGENT:

I designate QK - Jocelyn Correa, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to \_\_\_\_\_ SPR - substantial conformance \_\_\_\_\_ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

<u>OWNER</u>	Signatures	<u>AGENT</u>
 Signature of Owner		Signature of Agent
<u>30312 Road 152. Visalia, CA. 93292</u> Owner Mailing Address		Agent Mailing Address
<u>559-805-3608</u> Owner Phone Number		Agent Phone Number



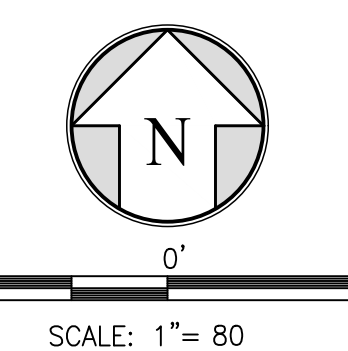
**SUBSTANTIAL CONFORMANCE EXHIBIT  
RIVER RUN RANCH, PHASE 6 & 7 (LOT 8, 9, 10)**

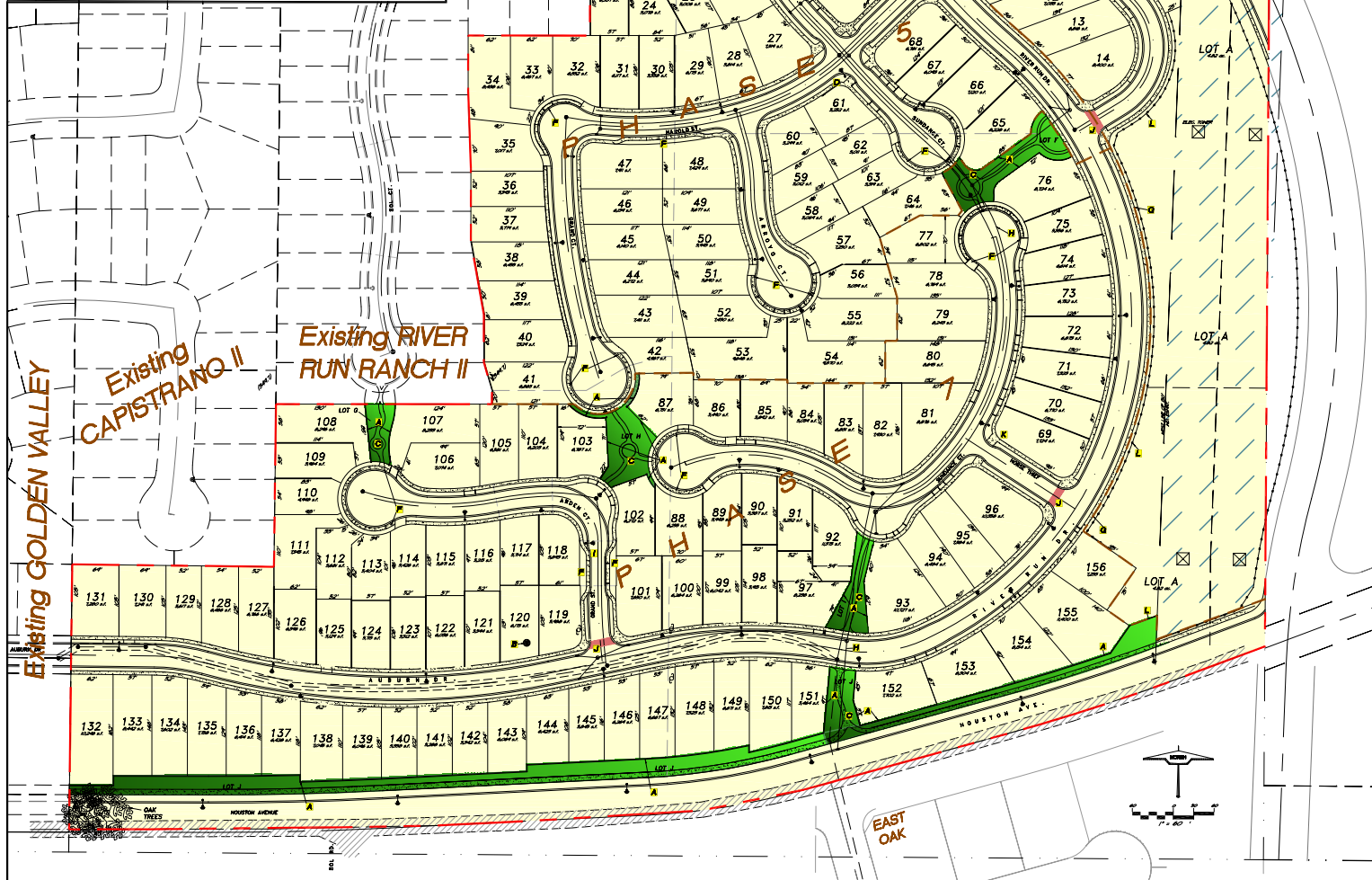
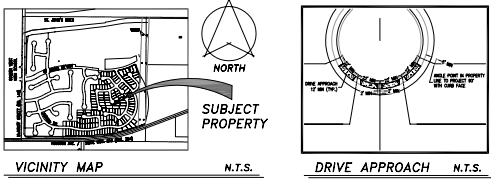
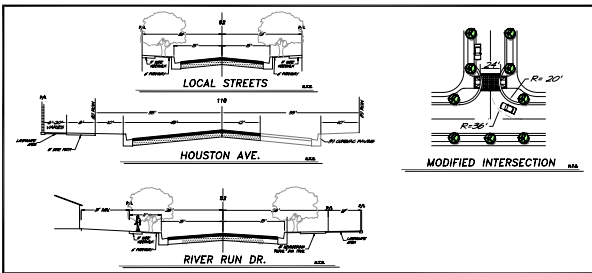
BEING A PORTION OF PARCELS 51, 52, 57, 64, 65 & 70 RECORDED IN BOOK 103 OF PARCEL MAPS AT PAGE 02, OF TULARE COUNTY RECORDS. LOCATED IN THE SOUTH 1/2 OF SECTION 22, TOWNSHIP 18 SOUTH, RANGE 25 EAST, MOUNT DIABLO BASE & MERIDIAN

APN:	103-020-051, 052, 057, 064, 065, 070
ACREAGE:	21.74 AC.
FLOOD ZONE:	ZONE X
ZONING (EXISTING):	R-1-5, R-2, QP
ZONING (PROPOSED):	R-1-5 (PRD)
GENERAL PLAN (EXISTING):	RLD
GENERAL PLAN (PROPOSED):	RLD
ELECTRICITY:	SOUTHERN CALIFORNIA EDISON
WATER:	CALIFORNIA WATER SERVICE
SEWER:	CITY OF VISALIA
TELEPHONE:	AT&T
REFUSE:	CITY OF VISALIA
NATURAL GAS:	SOUTHERN CALIFORNIA GAS
EXISTING USE:	VACANT
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL

GROSS ACREAGE:	21.74
DEVELOPABLE ACREAGE:	12.68
TOTAL UNITS:	95
GROSS DENSITY:	4.37
DEVELOPABLE DENSITY:	7.49

UTILITIES:  
 WATER: CONNECT TO EXISTING LINES IN ST. JOHNS PRKWY  
 SEWER: EXISTING SEWER LINE IN AUBURN DR.  
 STORM: CONNECT EXISTING LINE IN AUBURN DR.





DEVELOPER:  
 DEL CO.  
 P.O. BOX 2822  
 BAKERSFIELD, CA 93379  
 (805) 835-0844  
 A.P.N. #103-020-0834.08.06

TENTATIVE SUBDIVISION  
**River Run Ranch**  
 PHASES 5-7  
 A MASTER PLANNED P.U.D.  
 DEVELOPMENT

SITE NOTES

- EXIST. USE VACANT  
 PROPOSED USE RESIDENTIAL  
 SERVICE DISPOSAL: CITY OF VISALIA  
 DRAINAGE: STORM DRAIN (CITY R/S/S/D)  
 WATER SUPPLY: CAL. WATER COS.  
 DESIGN: DEL CO.  
 TOTAL LOTS: 156  
 LOTS AREA: 3,070,744 SQ. FT. (70.5 AC.)  
 JOINTING: R/S  
 LOCAL AREA: 261 AC. (691,883 AC. IN  
 CREDITS) 448 (DISTRICT) FEET
- A/ CONSTRUCT 4" S/G CONC. BLOCK WALL (CITY SITE N.E./W.)  
 B/ ALL EXISTING ON-SITE IRRIGATION SYSTEMS SHALL BE  
 DEMOLISHED & REMOVED PER CITY STANDARDS  
 C/ PROPOSED PARK TO BE DESIGNATED & MAINTAINED BY  
 LANDSCAPE LIGHTING DISTRICT (LOTS D-J)  
 D/ COURT/YARD WALLS & FENCES FROM PROPERTY LINE SHALL  
 HAVE NO FOOTING (S/G CONC. FENCE)  
 E/ 6" CHAINLINK FENCE  
 F/ 8" S/G CONC. WALK ADJACENT TO CURB IN CAL. DE-SIGS 1  
 G/ 8" S/G CONC. WALK ADJACENT TO DRIVE DRIVE  
 H/ 8" S/G CONC. WALK IN PARKWAY AND SPURIAL FENCE  
 I/ CONSTRUCT STORM DRAIN SYSTEM TO NEW STORM  
 BASIN (CITY R/S/S/D)  
 J/ NO PARKING: PAINT CURB RED  
 K/ INTERSECTIONS CONCRETE PAVED  
 L/ BUILDINGS TO BE A MIN. OF 4' FROM PROPERTY LINE  
 ON CORNER LOTS  
 M/ CONSTRUCT VINYL SPLIT-RAIL FENCE

LEGEND

- DIRECTION OF SURFACE FLOW
- 6" STREET LIGHT
- 8" STREET LIGHT
- 4" MANHOLE
- 8" FIRE HYDRANT
- 10" FIRE HYDRANT
- 12" FIRE HYDRANT
- 18" FIRE HYDRANT
- 24" FIRE HYDRANT
- 30" FIRE HYDRANT
- 36" FIRE HYDRANT
- 42" FIRE HYDRANT
- 48" FIRE HYDRANT
- 54" FIRE HYDRANT
- 60" FIRE HYDRANT
- 66" FIRE HYDRANT
- 72" FIRE HYDRANT
- 78" FIRE HYDRANT
- 84" FIRE HYDRANT
- 90" FIRE HYDRANT
- 96" FIRE HYDRANT
- 102" FIRE HYDRANT
- 108" FIRE HYDRANT
- 114" FIRE HYDRANT
- 120" FIRE HYDRANT
- 126" FIRE HYDRANT
- 132" FIRE HYDRANT
- 138" FIRE HYDRANT
- 144" FIRE HYDRANT
- 150" FIRE HYDRANT
- 156" FIRE HYDRANT

