

# SITE PLAN REVIEW AGENDA

2/10/2021 - 9:00 A.M.

Conference Room #4

315 E. Acequia Avenue

## ITEM NO: 1      **Resubmit**

SITE PLAN NO: SPR20180

PROJECT TITLE: Emerald Creek Multifamily Subdivision

DESCRIPTION: A New Multifamily Subdivision Consisting of Duplex and Single Units (R-1-5)

APPLICANT: Kevin Fisolera

OWNER: EMERALD CREEK DEVELOPMENT

APN: 101370001

101370002

101370003

101370004

101370005

101370006

LOCATION: 4102 E KAWEAH AVE

4104 E KAWEAH AVE

4106 E KAWEAH AVE

4108 E KAWEAH AVE

4112 E KAWEAH AVE

4114 E KAWEAH AVE

4116 E KAWEAH AVE

4118 E KAWEAH AVE

4122 E KAWEAH AVE

4124 E KAWEAH AVE

4126 E KAWEAH AVE

4132 E KAWEAH AVE

4134 E KAWEAH AVE

4136 E KAWEAH AVE

4140 E KAWEAH AVE

4142 E KAWEAH AVE

4200 E KAWEAH AVE

4202 E KAWEAH AVE

## ITEM NO: 2      **Resubmit**

SITE PLAN NO: SPR20185

PROJECT TITLE: Central Point Logistics Phase II

DESCRIPTION: Two Concrete tilt-up Industrial Buildings Totaling 2,274,048 SF (I)

APPLICANT: CapRock Partners

OWNER: D & P CORNERSTONE PROPERTIES LLC

APN: 077120018

LOCATION: 8383 AVE 320

8385 AVE 320

8391 AVE 320

8400 AVE 320

8515 W KIBLER AVE

8525 W KIBLER AVE

8535 W KIBLER AVE

8545 W KIBLER AVE

## ITEM NO: 3      **Resubmit**

SITE PLAN NO: SPR20212

PROJECT TITLE: SJVC Satellite Building

DESCRIPTION: Review of Existing Use (C-S)

APPLICANT: Thom Black

OWNER: PERRY ENTERPRISES

**AFTER REVIEW OF REGULAR AGENDA ITEMS, THE COMMITTEE WILL BE AVAILABLE TO REVIEW OFF-AGENDA ITEMS FOR INFORMAL REVIEW. THE COMMITTEE WILL BE AVAILABLE TO ANSWER QUESTIONS AT THAT TIME.**

# SITE PLAN REVIEW AGENDA

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315 E. Acequia Avenue

APN: 081071027

LOCATION: 8233 W HILLSDALE CT

**ITEM NO: 4 Resubmit**

SITE PLAN NO: SPR21007

PROJECT TITLE: Smoking Barrel Gun Shop

DESCRIPTION: Build out Interior Finish for Retail; Complete Construction of NRA Approved In-door Shooting Range. (I)

APPLICANT: Martin Hale

OWNER: KING HOLLIE

APN: 073160020

LOCATION: 10417 W GOSHEN AVE

**ITEM NO: 5**

SITE PLAN NO: SPR21013

PROJECT TITLE: Pinkham St Multifamily Complex

DESCRIPTION: Multi-Family Residential (R-M-2

APPLICANT: Kevin Fistolera

OWNER: BENART S&L CUSTOM HOMES INC

APN: 100050012

LOCATION:

**ITEM NO: 6**

SITE PLAN NO: SPR21014

PROJECT TITLE: Samis Tacos

DESCRIPTION: Taco Truck in Parking Lot Next to Franks Liquor - will use the Franks Restrooms. (D-MU)

APPLICANT: Yohana Cabrera

OWNER: KASSAB GEORGE (TR)(GMK REV TR)

APN: 093175008

LOCATION: 515 W MURRAY AVE

**ITEM NO: 7**

SITE PLAN NO: SPR21015

PROJECT TITLE: Storland Self-Storage

DESCRIPTION: Construction of a Self-Storage Facility for Storing Personal and Business Goods in Enclosed Units.  
Project does not include a Residence or RV Storage.

APPLICANT: Joshua Miller

OWNER: OMNI LAND DEVELOPMENT LLC

APN: 000013831

LOCATION: NW Corner of W. Shannon Parkway and N. Cpirt Street

**ITEM NO: 8**

SITE PLAN NO: SPR21016

PROJECT TITLE: Beyond the Wood Design, LLC

DESCRIPTION: Custom Wood Home Décor (IL)

APPLICANT: Rob Ladue

OWNER: FERRERO ROBERT

APN: 085340048

LOCATION: 1220 N MARCIN ST

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**315 E. Acequia Avenue**

## **ITEM NO: 9**

SITE PLAN NO: SPR21017

PROJECT TITLE: Iron Ridge

DESCRIPTION: To Develop a 238 lot Residential Subdivision (R-1-20/R-1-5)

APPLICANT: Ernie Escobedo

OWNER: TULARE COUNTY PROPERTIES INC

ROAD 88 LLC

APN: 081030036

081030046

LOCATION: 945 N SHIRK ST

## **ITEM NO: 10**

SITE PLAN NO: SPR21018

PROJECT TITLE: Dutch Bros Coffee

DESCRIPTION: 950 SF Dutch Bros Coffee with Double Drive-through Lanes. (

APPLICANT: Russ Orsi

OWNER: VISCA INVESTMENT CO

APN: 126960001

LOCATION: SWQ Visalia Parkway & S Mooney Blvd

# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional Information and assistance in filling out this application can be found at the City of Visalia website ([www.visalia.city](http://www.visalia.city)) or by calling (559) 713-4440-



This application **MUST** be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -
- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Emerald Creek Duplex Date: 1/29/21

Project Description: Lot 7 thru 6 Emerald Creek, PM 44-5

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: 2020-180

Property Owner: Emerald Creek Development

Applicant(s) Name: Kevin Fistolera

Project Address/Location: East Kaweah Ave E Casablanca St

Assessor Parcel Number: 101-370-006,005,004,003,002,001

Parcel Size (Acreage or Square Feet): 8,530 Building or Suite Square Footage: \_\_\_\_\_

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ \_\_\_\_\_

Describe All Proposed Building Modifications: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 02/03/2021

SPR Agenda: 02/10/2021 Item No. \_\_\_\_\_

Zone: R-1-5 SPR No. 2020-180

Historic District: Yes  No

Flood Zone: X  AE  X/AE

OPERATIONS & TRAFFIC INFORMATION

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

Existing/Prior Building Use: \_\_\_\_\_

Proposed Building Use: \_\_\_\_\_

Proposed Hours of Operation: \_\_\_\_\_

Days of Week In Operation (Circle):    Su   M   T   W   Th   F   Sa

Number of Employees Per Day:                      Existing    \_\_\_\_\_    Proposed    \_\_\_\_\_

Number of Customers Per Day (Estimated):    Existing    \_\_\_\_\_    Proposed    \_\_\_\_\_

Predicted Peak Operating Hour: \_\_\_\_\_

Describe Any Truck Delivery Schedule & Operations: \_\_\_\_\_

\_\_\_\_\_

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees  
(Provide Separate Attachment if Necessary): \_\_\_\_\_

\_\_\_\_\_

Describe Any Special Events Planned for the Facility: \_\_\_\_\_

\_\_\_\_\_

**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
  - North arrow
  - Existing & proposed structures
  - Loading/unloading areas
  - All existing & proposed site features
  - Adjacent street names
  - Accessible path of travel from right of way
  - Site dimensions, including building
  - Refuse enclosures & containers
  - Accessible path of travel from ADA stall
  - Existing and proposed fencing at site
  - Valley oak trees (show drip line)
  - Location and width of drive approaches to site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed landscaping
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
  - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Kevin Fistolera Signature of Owner or Authorized Agent\*  
 Address: 420 N. Court St Ste 200 [Signature] Date: 1/29/21  
 City, State, Zip: Visalia, CA 93291 Owner  
 Phone: (559) 624-9372 Authorized Agent\*  
 Email: Kevin@Fistolera.com Date

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:

I, \_\_\_\_\_, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):  
 \_\_\_\_\_

AGENT:

I designate \_\_\_\_\_, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to \_\_\_\_\_ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

OWNER	Signatures	AGENT
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number

PARKING INFORMATION	
SPACES REQUIRED:	
MULTI-FAMILY DWELLING:	29 / 1.5 (17.34.020.A.2) MULTI-FAMILY DWELLING
SPACES PER DWELLING:	29
SPACES REQUIRED (TOTAL):	0
COMPACT SPACES ALLOWED:	0 30% TOTAL SPACES (17.34.030.1)
ACCESSIBLE SPACES REQUIRED, PER 2019 CBC TABLE 11B-208.2 PARKING SPACES:	0 50 to 75
SPACES PROVIDED:	
0 ACCESSIBLE (a)	
15 STANDARD (PARKING SPACES)	
19 RESIDENTIAL DRIVEWAY/GARAGE	
0 COMPACT	
34 TOTAL	

CITY OF VISALIA MUNICIPAL CODE 17.34.020

**CITY OF VISALIA**

**PUBLIC WORKS**  
315 EAST ACEQUIA AVENUE  
VISALIA, CA 93291  
559-713-4444

**FIRE DEPARTMENT**  
707 WEST ACEQUIA AVENUE  
VISALIA, CA 93291  
559-713-4300

**COMMUNITY DEVELOPMENT**  
315 EAST ACEQUIA AVENUE  
VISALIA, CA 93291  
559-621-2489

**BUILDING SAFETY**  
315 EAST ACEQUIA AVENUE  
VISALIA, CA 93291  
559-621-2489

PROVIDE 24 HOURS NOTICE TO APPLICABLE AGENCIES BEFORE INSPECTIONS ARE REQUIRED. NO WORK SHALL BEGIN UNTIL A PERMIT IS ISSUED.

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:  
2019 CALIFORNIA BUILDING CODE (CBC)  
2019 CALIFORNIA ELECTRICAL CODE (CEC)  
2019 CALIFORNIA MECHANICAL CODE (CMC)  
2019 CALIFORNIA PLUMBING CODE (CPC)  
2019 CALIFORNIA ENERGY CODE (CEC)  
2019 CALIFORNIA FIRE CODE (CFC)  
2019 CALIF. GREEN BUILDING STANDARDS CODE (CGBS)  
PLANS SHALL COMPLY WITH 2019 TITLE 24 ENERGY CODES  
CITY OF VISALIA LOCAL ORDINANCES (EFFECTIVE OCTOBER 7, 2019)

**PROJECT INFORMATION**

SITE ADDRESS: EAST KAWEAH AVENUE AND CASABLANCA STREET  
VISALIA, CA 93292

A.P.N.: 101-370-006, 005, 004, 003, 002 AND 001

LEGAL DESCRIPTION: LOT 1 THRU 6 EMERALD CREEK, PM 44-5

PARCEL SIZE: LOT 1 - 11,476 SQ. FT.  
LOT 2 - 14,436 SQ. FT.  
LOT 3 - 12,468 SQ. FT.  
LOT 4 - 13,168 SQ. FT.  
LOT 5 - 14,842 SQ. FT.  
LOT 6 - 15,322 SQ. FT.

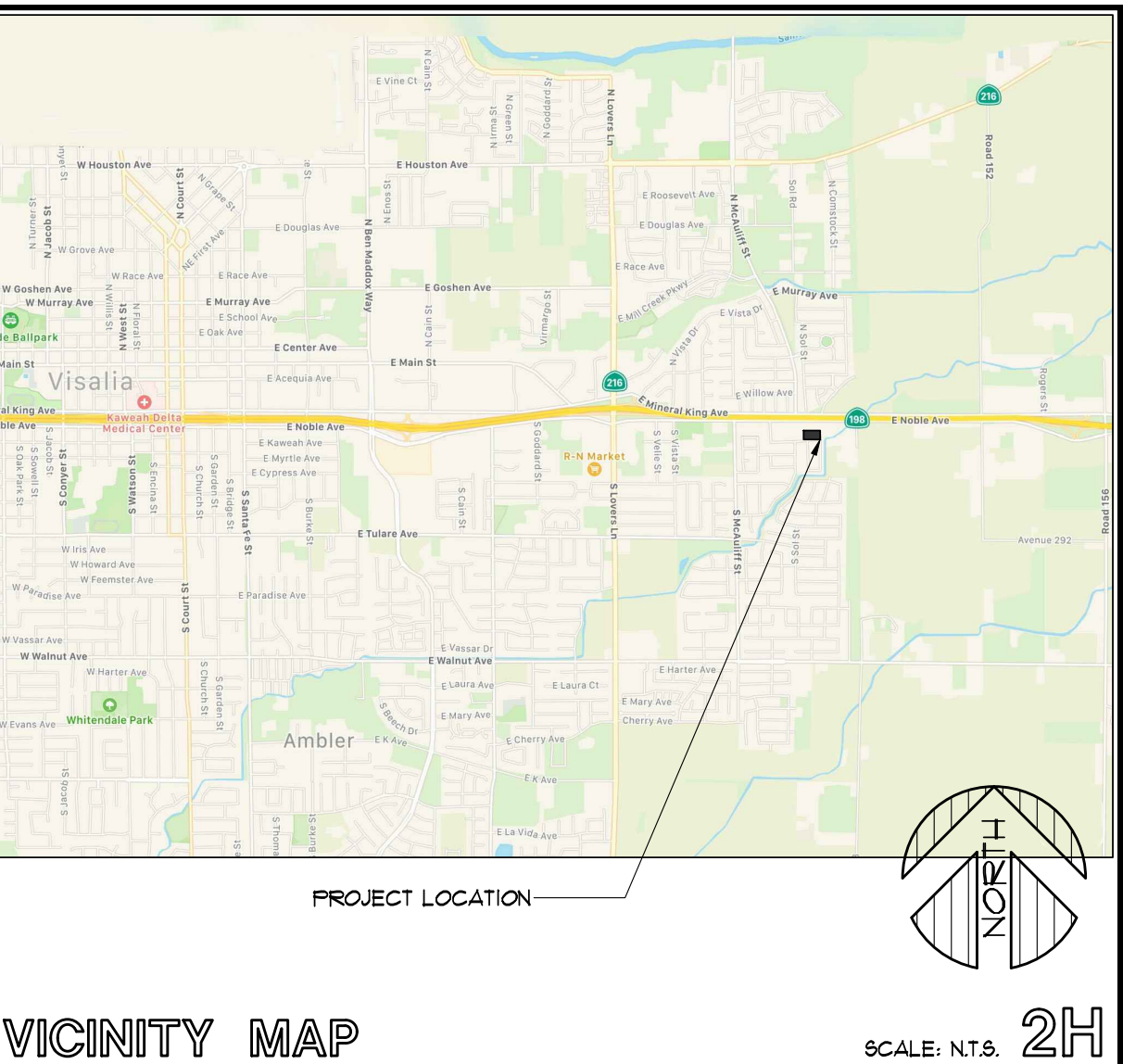
ZONING: R-1-S (SINGLE-FAMILY RESIDENTIAL 5,000 SF MIN. LOT SIZE)  
RLD (RESIDENTIAL LOW DENSITY)

GENERAL PLAN: X02  
FLOOD ZONING (FEMA): RESIDENTIAL, TYPE 13D FIRE SPRINKLER SYSTEM  
PROPOSED USE: NEW MULTIFAMILY RESIDENCES

BUILDING HEIGHT: 15'-0"±

NUMBER OF STORIES: 1

RESIDENCE AREA BREAKDOWN Unit "A" ( DUPLX )	RESIDENCE AREA BREAKDOWN Unit "B" ( SINGLE )
CONDITIONED AREA: 930 SQ. FT.	CONDITIONED AREA: 930 SQ. FT.
COVERED PORCH: 20 SQ. FT.	COVERED PORCH: 20 SQ. FT.
COVERED PATIO: 50 SQ. FT.	COVERED PATIO: 50 SQ. FT.
MECHANICAL: 10 SQ. FT.	MECHANICAL: 10 SQ. FT.
SINGLE CAR GARAGE: 235 SQ. FT.	SINGLE CAR GARAGE: 235 SQ. FT.
TOTAL: 1245 SQ. FT.	TOTAL: 1245 SQ. FT.



- 1 PROPERTY LINE (TYPICAL)
- 2 EXISTING CONCRETE CURB, REPLACE IF NEEDED, SEE CITY OF VISALIA C-5
- 3 NEW 5'-0" WIDE CONCRETE SIDEWALK WITH PARKWAY, SEE CITY OF VISALIA C-9
- 4 INSTALL NEW CITY STANDARD DRIVE APPROACH C-25, PAVEMENT AND BACKFILL PER CITY STANDARDS E-1
- 5 EXISTING PHONE SERVICE (VERIFY EXACT LOCATION, RELOCATED OUT OF DRIVE APPROACH IF NEEDED)
- 6 EXISTING CABLE TV SERVICE (VERIFY EXACT LOCATION, RELOCATED OUT OF DRIVE APPROACH IF NEEDED)
- 7 WATER MAIN (SHOWN FOR REFERENCE ONLY, VERIFY LOCATION IN FIELD)
- 8 POINT OF CONNECTION TO NEW WATER METER/SERVICE (FIELD VERIFY EXACT LOCATION) REMOVE ABANDONED METER BOX, IF NOT USED
- 9 PROVIDE (4) NEW WATER METERS, ONE FOR EACH UNIT AND ONE FOR COMMON AREA LANDSCAPING
- 9a PROVIDE (2) NEW WATER METERS, ONE FOR EACH UNIT
- 9b PROVIDE (3) NEW WATER METERS, ONE FOR EACH UNIT
- 9c PROVIDE (4) NEW WATER METERS, ONE FOR EACH UNIT
- 10 FIRE SPRINKLER CONTROL BOX LOCATION, VERIFY WITH FIRE SPRINKLER INSTALLER
- 11 EXISTING SANITARY SEWER STUB, VERIFY LOCATION IN FIELD
- 12 NEW SEWER LINE
- 13 COVERED CONCRETE PORCH/PATIO
- 14 SEE ELEVATIONS (SHEET A3.1/A3.2) FOR ROOF PITCH, METAL ROOFING (COLOR AND DESIGN AS SELECTED BY OWNER), TOP OF FINISH RESIDENCE PAD TO BE A +8" MINIMUM ABOVE FINISH PAD GRADE
- 15 CONDENSER UNIT FOR FAF ON A CONCRETE PAD (VERIFY SIZE) CONDENSERS TO BE A MINIMUM OF 3" ABOVE FINISH GRADE
- 16 42"x42" MINIMUM CONCRETE STOOP AT EXTERIOR DOORS (TYPICAL AT EXTERIOR DOORS)
- 17 CONCRETE DRIVEWAY PROVIDE CONTROL JOINTS AT 10'-0" ON CENTER MAXIMUM EACH WAY
- 18 9'-0"x18'-0" CONCRETE PARKING SPACES, SEE PLAN FOR QUANTITY
- 19 EXISTING WOOD FENCE, REMOVE AND REPLACE AS NEEDED, AT NORTH AND WEST PROPERTY LINES
- 20 NEW CEDAR PICKET FENCE, TO MATCH EXISTING (VERIFY IN FIELD)
- 21 3660 WOOD FRAMED GATE WITH WOOD INSERTS AND WOOD FENCE TO MATCH EXISTING
- 22 200 AMP ELECTRICAL METER/PANEL (SEE ELECTRICAL PLAN (SHEET E1.1))
- 23 CABLE TV (CATV) OR SATELLITE ENTRANCE (IF AVAILABLE)
- 24 TELEPHONE ENTRANCE (IF AVAILABLE)
- 25 GAS METER LOCATION VERIFY LOCATION WITH GAS COMPANY
- 26 3" PVC SLEEVE UNDER DRIVEWAY FOR FUTURE CONTROL CABLES OR LIGHTING CONDUCTORS
- 27 3" PVC SLEEVE UNDER DRIVEWAY FOR FUTURE LANDSCAPE WATER LINES
- 28 VERIFY LOCATION OF LANDSCAPING VALVES ON LANDSCAPING PLANS ) LANDSCAPING SHALL MEET THE STATE OF CALIFORNIA MWELQ REQUIREMENTS
- 29 INSTALL NEW CITY STANDARD L-1 BACKFLOW PREVENTER - INSTALL OUTSIDE CITY RIGHT OF WAY (BACKFLOW PREVENTION DEVICE SHALL BE PLACED ON PRIVATE PROPERTY)
- 30 LOTS ARE TO BE GRADED PER THE CITY OF VISALIA STANDARD D-21
- 31 SANITARY SEWER MAIN (SHOWN FOR REFERENCE ONLY, VERIFY LOCATION IN FIELD)
- 32 10'-0" LANDSCAPE EASEMENT NOT A PART, SHOWN FOR REFERENCE ONLY
- 33 LANDSCAPE, SHOWN FOR REFERENCE ONLY, DESIGN BY OTHERS, IRRIGATION IS TO BE DESIGNED TO MEET THE CURRENT STATE OF CALIFORNIA MWELQ REQUIREMENTS
- 34 CONCRETE HAMMERHEAD FOR GARAGES
- 35 EXISTING CMU BLOCK WALL, SHOWN FOR REFERENCE ONLY
- 36 EXISTING STREET LIGHT SHOWN FOR REFERENCE ONLY
- 37 EXISTING FIRE HYDRANT SHOWN FOR REFERENCE ONLY, LOCATED ON THE SOUTH CORNER OF KAWEAH AVENUE AND CASABLANCA STREET
- 38 EXISTING CURB CUT SHOWN FOR REFERENCE ONLY.
- 39 CITY OF VISALIA 12'-0" TRASH ENCLOSURE (R-1), CONCRETE APRON (R-5) AND ENCLOSURE GATE (R-6)

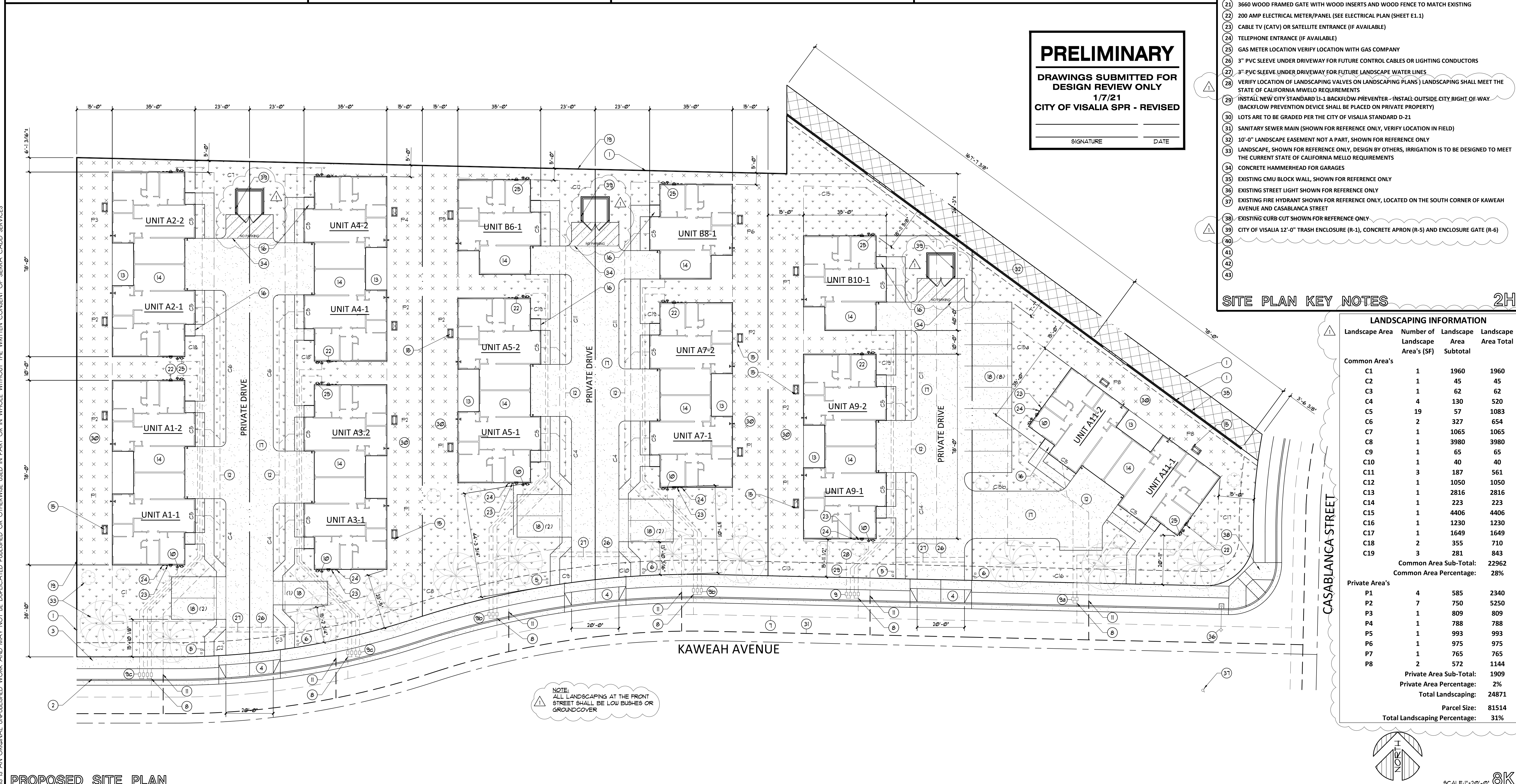
PARKING INFORMATION

2B CITY INFORMATION

2D PROJECT INFORMATION

2F VICINITY MAP

SCALE: N.T.S. 2H



**PRELIMINARY**  
DRAWINGS SUBMITTED FOR  
DESIGN REVIEW ONLY  
1/7/21  
CITY OF VISALIA SPR - REVISED

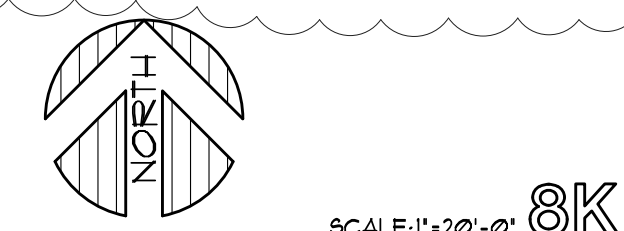
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- SITE PLAN KEY NOTES**
- 40
  - 41
  - 42
  - 43

**LANDSCAPING INFORMATION**

Landscape Area	Number of Landscape Area's (SF)	Landscape Area Subtotal	Landscape Area Total
Common Area's			
C1	1	1960	1960
C2	1	45	45
C3	1	62	62
C4	4	130	520
C5	19	57	1083
C6	2	327	654
C7	1	1065	1065
C8	1	3980	3980
C9	1	65	65
C10	1	40	40
C11	3	187	561
C12	1	1050	1050
C13	1	2816	2816
C14	1	223	223
C15	1	4406	4406
C16	1	1230	1230
C17	1	1649	1649
C18	2	355	710
C19	3	281	843
Common Area Sub-Total:		22962	
Common Area Percentage:		28%	
Private Area's			
P1	4	585	2340
P2	7	750	5250
P3	1	809	809
P4	1	788	788
P5	1	993	993
P6	1	975	975
P7	1	765	765
P8	2	572	1144
Private Area Sub-Total:		1909	
Private Area Percentage:		2%	
Total Landscaping:		24871	
Parcel Size:		81514	
Total Landscaping Percentage:		31%	

PROPOSED SITE PLAN



REVISIONS


**PROPOSED SITE PLAN AND NOTES**  
EMERALD CREEK MULTIFAMILY SUBDIVISION FOR:  
**FISTOLERA CONSTRUCTION**

APN: 101-037-006, 005, 004, 003, 002 AND 001  
PROPERTY ADDRESS: KAWEAH AVENUE  
VISALIA, CA

DATE: \_\_\_\_\_ DRAWN: RAM. JOB NO. 20018

**SIERRA**  
CADD SERVICES

Voice: 559-967-1607  
Post Office Box 230  
Bass Lake, CA 93604  
russ@sierracadd.com

**SHEET AO.1 OF**

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- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Visalia Logistics Center, Phase 2 Date: 02/04/2021

Project Description: Two (2) concrete tilt-up industrial buildings totaling 2,495,808 SF.

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: 20-185

Property Owner: CapRock Acquisitions, LLC

Applicant(s) Name: CapRock Acquisitions, LLC

Project Address/Location: Land bounded by Plaza Dr., Kelsey St., River Way Ave., Ave. 320

Assessor Parcel Number: 0 7 7 - 1 2 0 - 0 1 8

Parcel Size (Acreage or Square Feet): 152.85 ac Building or Suite Square Footage: 2,495,808 SF

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ N/A

Describe All Proposed Building Modifications: N/A

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 02/04/2021

SPR Agenda: 02/10/2021 Item No. \_\_\_\_\_

Zone: I SPR No. 20-185

Historic District: Yes  No

Flood Zone: X  AE  X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Vacant Land

Proposed Building Use: Industrial Warehouse Use / Distribution Center / Logistics Center

Proposed Hours of Operation: While no tenant has been identified, typical uses are 24 hours per day

Days of Week In Operation (Circle):  Su  M  T  W  Th  F  Sa

Number of Employees Per Day: Existing N/A Proposed TBD

Number of Customers Per Day (Estimated): Existing N/A Proposed TBD

Predicted Peak Operating Hour: N/A

Describe Any Truck Delivery Schedule & Operations: Truck deliveries and departures will take place throughout the day.

The proposed use is a distribution center which, depending on future tenant, will dictate truck usage/volume.

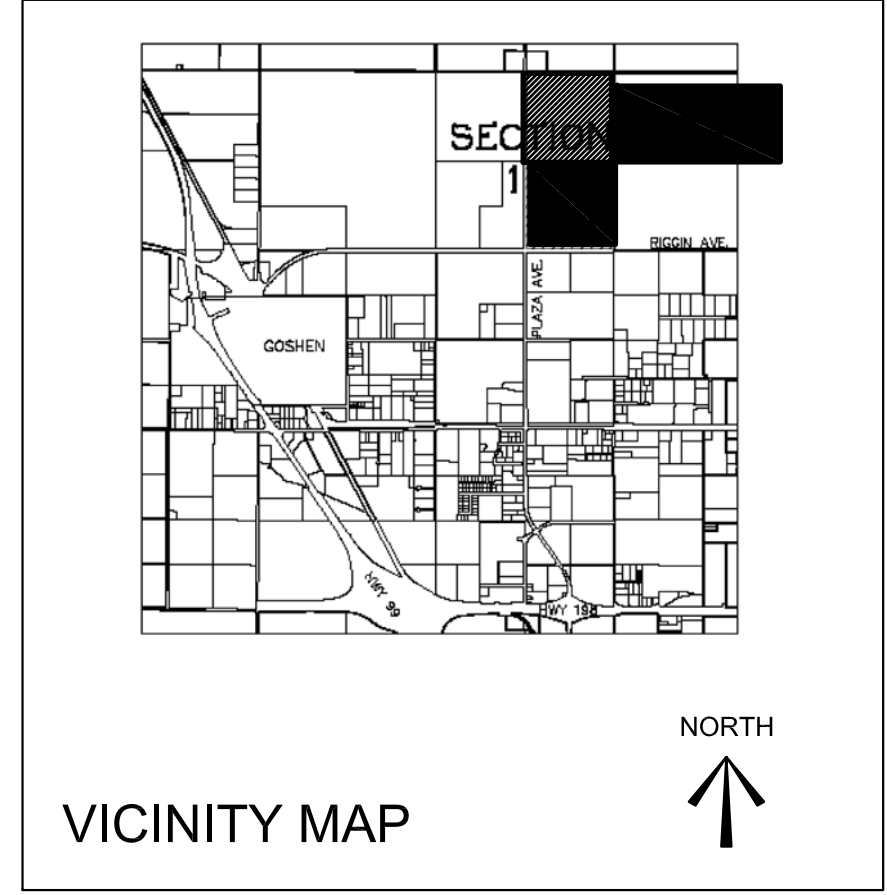
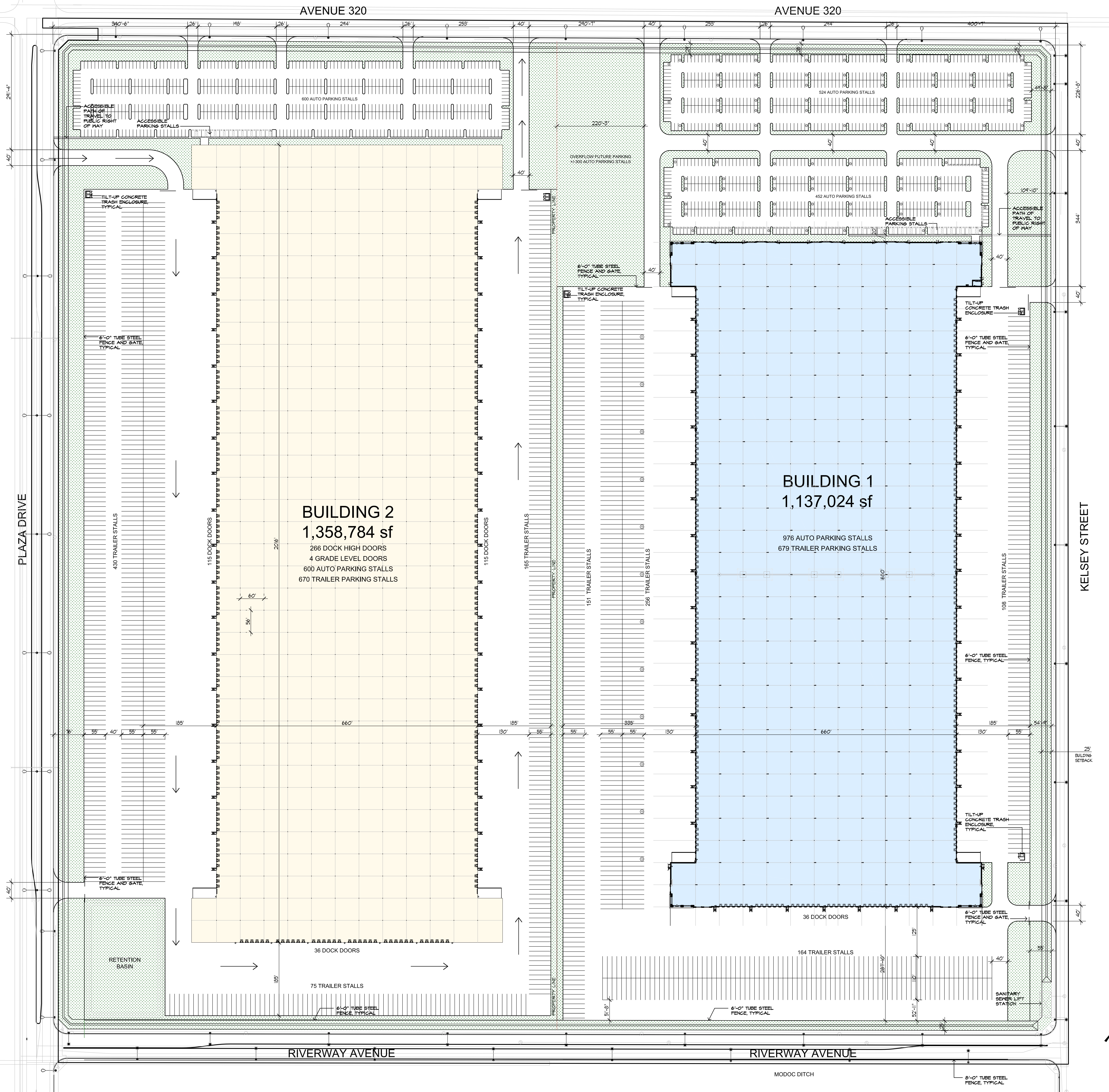
Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): None

Describe Any Special Events Planned for the Facility: None by the developer

SITE PLAN REQUIREMENTS	<p><b><u>SITE PLAN MINIMUM REQUIREMENTS</u></b></p>																		
	<p>⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).</p> <p>⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.</p> <p>⇒ Site plan shall provide for and indicate all of the following:</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 33%;">- North arrow</td> <td style="width: 33%;">- Existing &amp; proposed structures</td> <td style="width: 33%;">- Loading/unloading areas</td> </tr> <tr> <td>- All existing &amp; proposed site features</td> <td>- Adjacent street names</td> <td>- Accessible path of travel from right of way</td> </tr> <tr> <td>- Site dimensions, including building</td> <td>- Refuse enclosures &amp; containers</td> <td>- Accessible path of travel from ADA stall</td> </tr> <tr> <td>- Existing and proposed fencing at site</td> <td>- Valley oak trees (show drip line)</td> <td>- Location and width of drive approaches to site</td> </tr> <tr> <td>- Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)</td> <td>- Existing &amp; proposed landscaping</td> <td>- Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16</td> </tr> <tr> <td></td> <td>- Parking stalls (include ADA)</td> <td></td> </tr> </table>	- North arrow	- Existing & proposed structures	- Loading/unloading areas	- All existing & proposed site features	- Adjacent street names	- Accessible path of travel from right of way	- Site dimensions, including building	- Refuse enclosures & containers	- Accessible path of travel from ADA stall	- Existing and proposed fencing at site	- Valley oak trees (show drip line)	- Location and width of drive approaches to site	- Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)	- Existing & proposed landscaping	- Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16		- Parking stalls (include ADA)	
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REQUIRED SIGNATURE	<p>Applicant Information (Final comments will be mailed to the name and address provided below)</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 40%;">Name: <u>Patrick Daniels - CapRock Acquisitions, LLC</u></td> <td style="width: 30%;">Signature of Owner or Authorized Agent* </td> <td style="width: 30%;"></td> </tr> <tr> <td>Address: <u>1300 Dove Street, Suite 200</u></td> <td>Owner</td> <td>Date <u>2/3/2021</u></td> </tr> <tr> <td>City, State, Zip <u>Newport Beach, CA 92660</u></td> <td></td> <td></td> </tr> <tr> <td>Phone: <u>(949) 342-8000 (x102)</u></td> <td><u>N/A</u></td> <td>Date</td> </tr> <tr> <td>Email: <u>pdaniels@caprock-partners.com</u></td> <td>Authorized Agent*</td> <td>Date</td> </tr> </table> <p style="font-size: small; border: 1px solid black; padding: 2px;">* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.</p>	Name: <u>Patrick Daniels - CapRock Acquisitions, LLC</u>	Signature of Owner or Authorized Agent* 		Address: <u>1300 Dove Street, Suite 200</u>	Owner	Date <u>2/3/2021</u>	City, State, Zip <u>Newport Beach, CA 92660</u>			Phone: <u>(949) 342-8000 (x102)</u>	<u>N/A</u>	Date	Email: <u>pdaniels@caprock-partners.com</u>	Authorized Agent*	Date			
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AGENCY AUTHORIZATION FORM	<p><b>AGENCY AUTHORIZATION</b></p>																		
	<p>OWNER:</p> <p>I, _____, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):</p> <p>_____</p> <p>AGENT:</p> <p>I designate _____, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to _____ relative to the property mentioned herein.</p> <p>I declare under penalty of perjury the foregoing is true and correct.</p> <p>Executed this _____ day of _____, 20____.</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr> <th style="width: 50%; text-align: center;"><u>OWNER</u></th> <th style="width: 10%; text-align: center;">Signatures</th> <th style="width: 40%; text-align: center;"><u>AGENT</u></th> </tr> </thead> <tbody> <tr> <td style="height: 40px; vertical-align: bottom;">Signature of Owner</td> <td></td> <td style="height: 40px; vertical-align: bottom;">Signature of Agent</td> </tr> <tr> <td style="height: 40px; vertical-align: bottom;">Owner Mailing Address</td> <td></td> <td style="height: 40px; vertical-align: bottom;">Agent Mailing Address</td> </tr> <tr> <td style="height: 40px; vertical-align: bottom;">Owner Phone Number</td> <td></td> <td style="height: 40px; vertical-align: bottom;">Agent Phone Number</td> </tr> </tbody> </table>	<u>OWNER</u>	Signatures	<u>AGENT</u>	Signature of Owner		Signature of Agent	Owner Mailing Address		Agent Mailing Address	Owner Phone Number		Agent Phone Number						
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Signature of Owner		Signature of Agent																	
Owner Mailing Address		Agent Mailing Address																	
Owner Phone Number		Agent Phone Number																	
	<p>Page 2 of 2</p>																		





**BUILDING #1**

SITE AREA: 12.25 ACRES  
5,475,655 SF

PROPOSED BUILDING AREA: 1,137,024 SF

FAR (NET SITE AREA): 36%

PARKING PROVIDED (1:1000s): 1,137 STALLS

PARKING PROVIDED:  
20 ACCESSIBLE STALLS  
256 STANDARD STALLS  
476 TOTAL STALLS  
524 STALLS

TRAILER PARKING: 679 STALLS

TOTAL PARKING PROVIDED: 1,504 STALLS

---

**BUILDING #2**

SITE AREA: 11.54 ACRES  
5,116,421 SF

PROPOSED BUILDING AREA: 1,358,784 SF

FAR (NET SITE AREA): 49%

PARKING PROVIDED (1:1000s): 1,359 STALLS

PARKING PROVIDED:  
20 ACCESSIBLE STALLS  
280 STANDARD STALLS  
600 TOTAL PARKING STALLS  
670 TOTAL STALLS

TRAILER PARKING: 670 STALLS

TOTAL PARKING PROVIDED: 1,270

**PROJECT SUMMARY**

**LEGAL DESCRIPTION**

Real property in the City of Visalia, County of Tulare, State of California, described as follows:

THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 18 SOUTH, RANGE 24 EAST, MOUNT DIABLO BASE AND MERIDIAN, IN THE COUNTY OF TULARE, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

EXCEPTING THEREFROM THE WEST 40 FEET THEREOF AS CONVEYED TO THE COUNTY OF TULARE BY DEED RECORDED DECEMBER 30, 1955 IN BOOK 652, PAGE 204 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM PORTION OF LAND AS CONVEYED TO THE COUNTY OF TULARE FOR RIGHT OF WAY ACQUISITION BY GRANT DEED RECORDED AUGUST 25, 2009, INSTRUMENT NO. 2009-0086289 OF OFFICIAL RECORDS.

AND ALSO EXCEPTING THEREFROM AN UNDIVIDED 50% INTEREST IN AND TO SAID OIL, GAS, MINERALS AND OTHER HYDROCARBON SUBSTANCES IN SAID LAND WITHOUT RIGHT OF ENTRY.

APN: 071-120-018-000

**LEGAL DESCRIPTION**

**Visalia Logistics Center  
Phase II**

Ridgeway Ave at Plaza Dr. and Kelsey St.  
Visalia, California

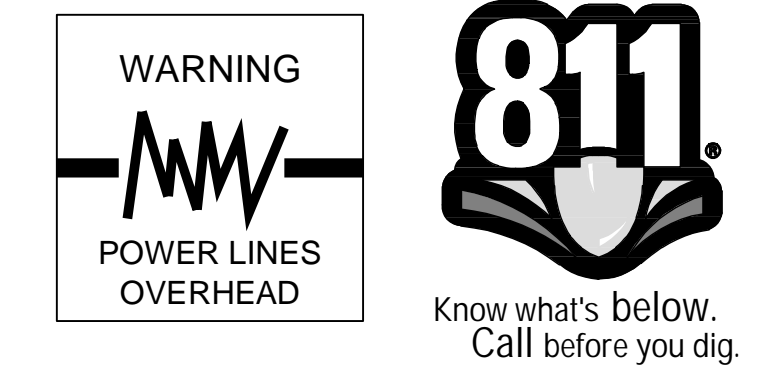
**SITE PLAN**

DATE:	1-26-2024
SCALE:	1" = 100'-0"
DRAWN BY:	DFA
PROJECT NO.:	20007.00

**A.10**  
opt #10c

**OVERALL SITE PLAN**  
SCALE: 1" = 80'-0"





- LEGEND**
- STREET LIGHT ASSEMBLY (16000 LUMENS)
  - STREET LIGHT ASSEMBLY (9500 LUMENS)
  - 2-NOZZLE HYDRANT
  - STORM DRAIN INLET
  - STORM DRAIN OUTLET STRUCTURE

**LEGAL DESCRIPTION**

REAL PROPERTY IN THE CITY OF VISALIA, COUNTY OF TULARE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

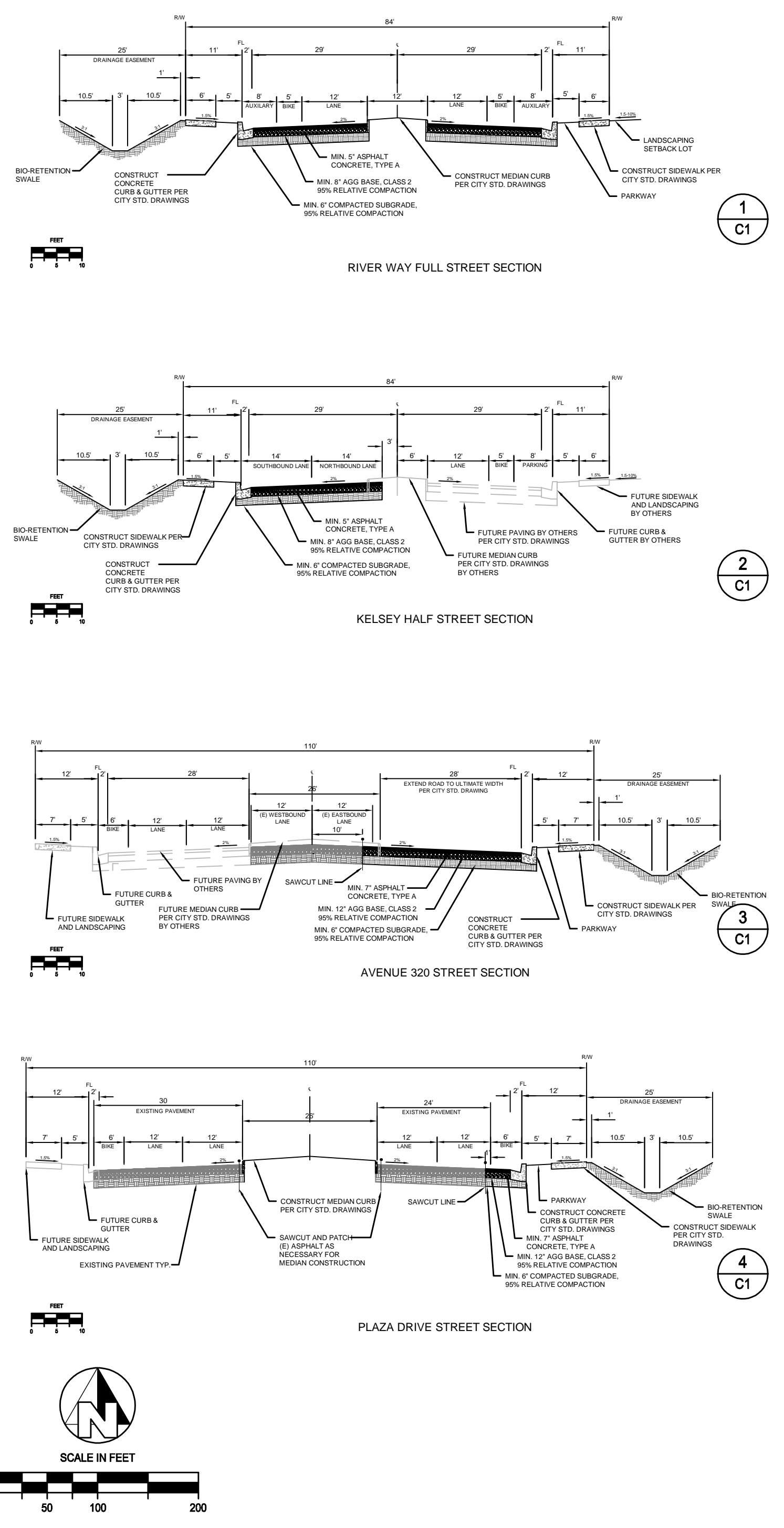
THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 18 SOUTH, RANGE 24 EAST, MOUNT DIABLO BASE AND MERIDIAN, IN THE COUNTY OF TULARE, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.

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AND ALSO EXCEPTING THEREFROM AN UNDIVIDED 50% INTEREST IN AND TO SAID OIL, GAS, MINERALS AND OTHER HYDROCARBON SUBSTANCES IN SAID LAND WITHOUT RIGHT OF ENTRY.

APN: 077-120-018-000



COMPANY AND PROJECT ARCHITECTURE ENGINEERING  
 150 NORTH GARDNER STREET  
 VISALIA, CA 93278  
 558-263-1186 FAX 558-263-1177  
 www.pawp.com

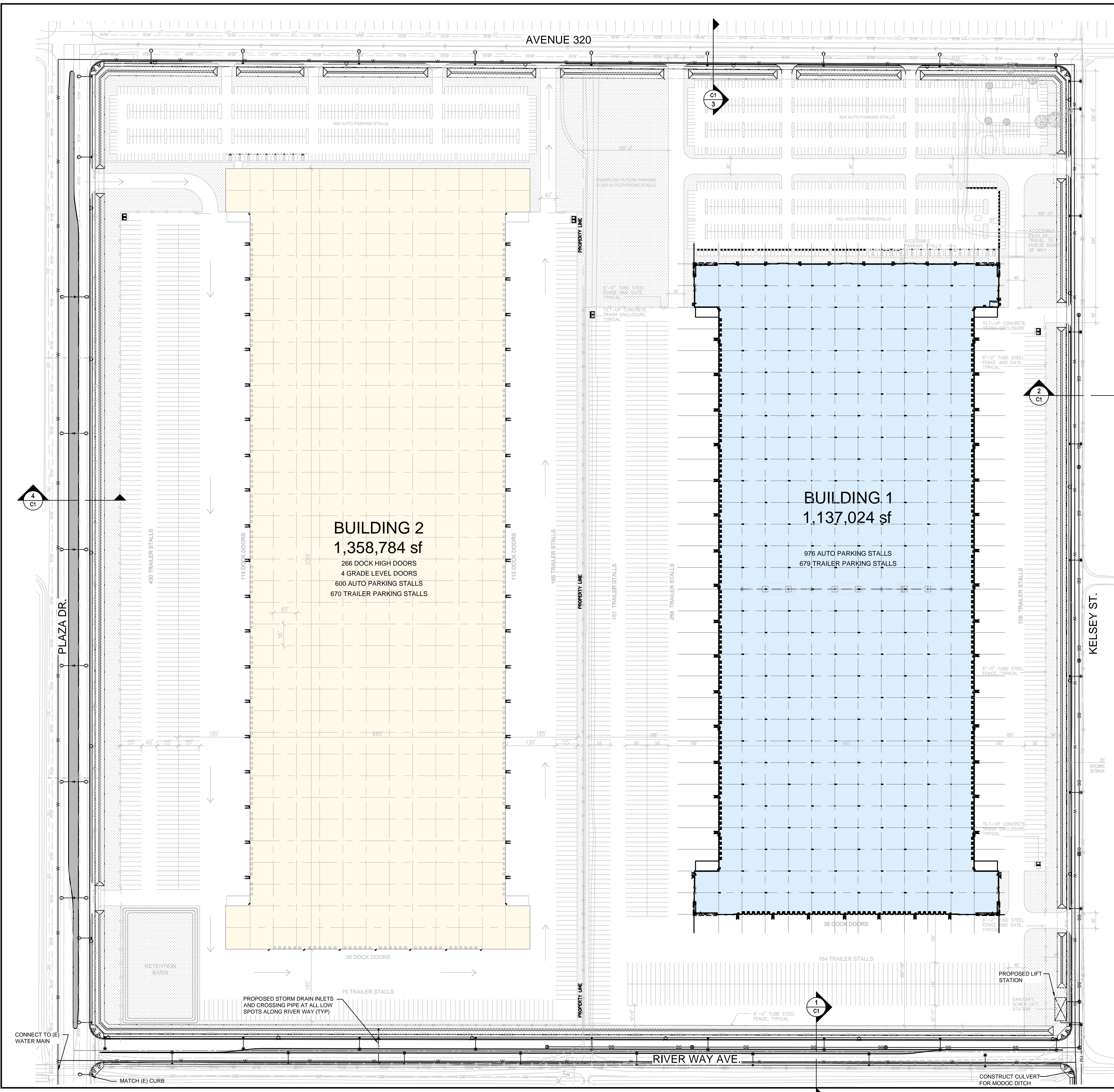
**PROVOST & PRITCHARD**  
 CONSULTING GROUP  
 AN Employee-Owned Company

DESIGN ENGINEER: MATTHEW J. BARNES  
 LICENSE NO: C78145  
 DRAFTED BY: JLS CHECKED BY: MJB  
 DATE: 1/28/2021  
 JOB NO: 291621001  
 PROJECT NO: 291621001  
 PHASE: 2  
 ORIGINAL SCALE SHOWN IS ONE INCH. ADJUST SCALE FOR REDUCED OR ENLARGED PLANS.  
 SHEET C1

VISALIA LOGISTICS PHASE 2  
 SITE PLAN REVIEW  
 CITY OF VISALIA, CA  
 CIVIL  
 OFF-SITE IMPROVEMENTS

NO.	REVISION	BY	DATE
1	PRELIMINARY NOT FOR CONSTRUCTION [ENTER DATE HERE]		

1/28/2021 1:44 PM C:\pawp\Acad\291621001\Vis Logistics C1 1800 DCD300 Sheet 05a(CR)S099\_Exp\PH020 phase 2 offsite\RIVERWAY.dwg - Logan Keenan



# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: SJVC Satellite Building Date: 02/03/2021

Project Description: Review of existing use

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: 20-212

Property Owner: San Joaquin Valley College

Applicant(s) Name: Thom Black

Project Address/Location: 8233 W Hillsdale (cul-de-sac lot)

Assessor Parcel Number: 081-071-027 - - - -

Parcel Size (Acreage or Square Feet): 0.96 Ac Building or Suite Square Footage: 20,000 sq ft

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ TBD

Describe All Proposed Building Modifications: Pending evaluation

- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received: 02/04/2021

SPR Agenda: 02/10/2021 Item No. \_\_\_\_\_

Zone: QP SPR No. 20-212

Historic District: Yes  No

Flood Zone: X  AE  X/AE

- - A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS - -

Existing/Prior Building Use: No change: vocational classrooms, campus warehouse supply

Proposed Building Use: \_\_\_\_\_

Proposed Hours of Operation: 8 -5 M - F

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing \_\_\_\_\_ Proposed 8 staff/faculty F/T;

Number of Customers Per Day (Estimated): Existing \_\_\_\_\_ Proposed 60 students rotating through class periods

Predicted Peak Operating Hour: \_\_\_\_\_

Describe Any Truck Delivery Schedule & Operations: 2 days/week, on varying schedules

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): \_\_\_\_\_

Describe Any Special Events Planned for the Facility: \_\_\_\_\_

OPERATIONS & TRAFFIC INFORMATION

**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
  - North arrow
  - All existing & proposed site features
  - Site dimensions, including building
  - Existing and proposed fencing at site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed structures
  - Adjacent street names
  - Refuse enclosures & containers
  - Valley oak trees (show drip line)
  - Existing & proposed landscaping
  - Parking stalls (include ADA)
  - Loading/unloading areas
  - Accessible path of travel from right of way
  - Accessible path of travel from ADA stall
  - Location and width of drive approaches to site
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Thom Black</u>	Signature of Owner or Authorized Agent*	
Address: <u>P O Box 3424</u>	Owner _____	Date _____
City, State, Zip <u>Visalia, CA 93278</u>	<i>Thom Black</i>	<u>02/03/2021</u>
Phone: <u>559 967-0850</u>	Authorized Agent*	Date
Email: <u>thomabg1@gmail.com</u>		

\* If signed by an authorized agent , the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:

I, \_\_\_\_\_, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

\_\_\_\_\_

AGENT:

I designate \_\_\_\_\_, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to \_\_\_\_\_ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number

# SAN JOAQUIN VALLEY COLLEGE EXISTING SATELLITE BUILDING 8233 W. HILLSDALE

EVALUATION OF EXISTING USES:  
1. SHIPPING/RECEIVING/WAREHOUSING  
EDUCATIONAL RESOURCES (BOOKS, CLASSROOM SUPPLIES,  
TEACHING RESOURCES)  
2. VOCATIONAL CLASSROOMS

**PROPERTY:**  
APN: 081-071-027  
ADDRESS: 8233 W HILLSDALE  
0.96 AC  
SERVICE COMMERCIAL ZONE

**EXISTING BUILDING**  
- 80 x 250  
- 20,000 SQ FT  
- SINGLE STORY PRE-ENGINEERED METAL BUILDING, ( CMU WALL AT EAST PROPERTY LINE), CONCRETE FOUNDATION AND SLAB-ON-GRADE, WOOD FRAMED OFFICE & ANCILLARY SPACES.  
- SPRINKLERED

**CODE CLASSIFICATION:**  
TYPE VB, SPRINKLERED  
ALLOWABLE AREA  
BL: 36,000 (SPRINKLERED, NO INCREASES)  
FI: 34,000 (SPRINKLERED, NO INCREASES)  
NON-SEPARATED OCCUPANCY (CBC 508.3, TABLE 508.4)  
EXITING:  
MAXIMUM COMMON PATH OF EXIT EGRESS TRAVEL (TABLE 1006.3.2(2))  
B: 100 FT (SPRINKLERED) MAX 49 OCC  
F: 100 FT (SPRINKLERED) MAX 49 OCC

**SPACE ANALYSIS**

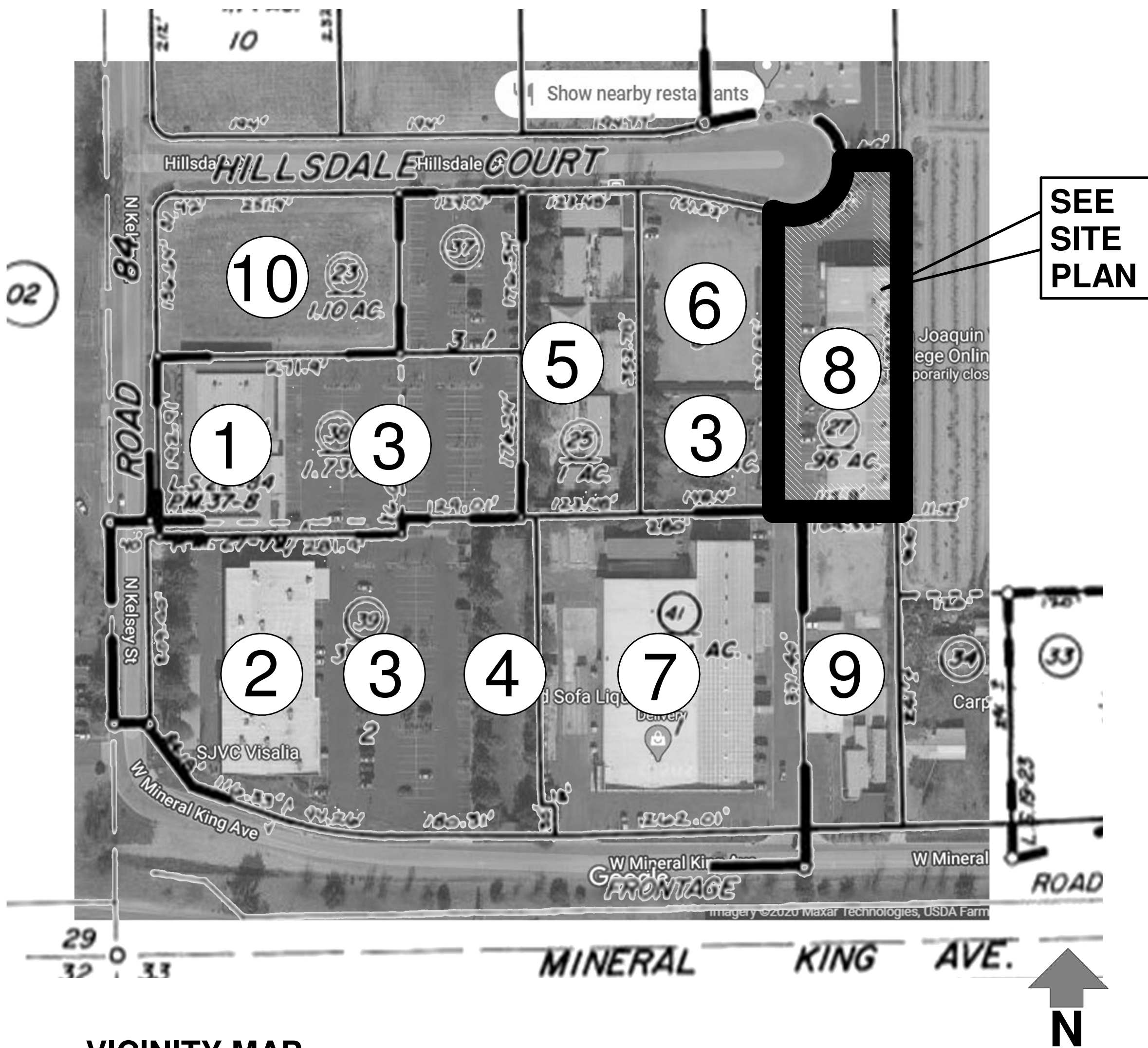
SPACE	USE	OCC	AREA	OLF	OCC's
1	EDUCATIONAL RESOURCES	F1	1659	500	4
2	CLASSROOM	B	1330	100	27
3	WAREHOUSE (SCHOOL SUPPLIES)	F1	882	500	2
4	WAREHOUSE (SCHOOL SUPPLIES)	F1	3340	500	7
5	OFFICE	B	660	100	7
6	OFFICE	B	660	100	7
7	WAREHOUSE (SCHOOL SUPPLIES)	F1	3340	500	7
8	WAREHOUSE (SCHOOL SUPPLIES)	F1	3340	500	7
9	OFFICE	B	660	100	7
10	CLASSROOM LAB	B	660	50	(1)
11	CLASSROOM	B	3340	50	(1)

FOOTNOTE:  
(1) CLASSROOM USE: HVAC LAB w/ TEST BENCHES AND TEACHING STATIONS. OCCUPANT CT 30

**PARKING:**  
REQUIRED  
10 STALLS PER CLASSROOM  
1 STALL PER STAFF MEMBER

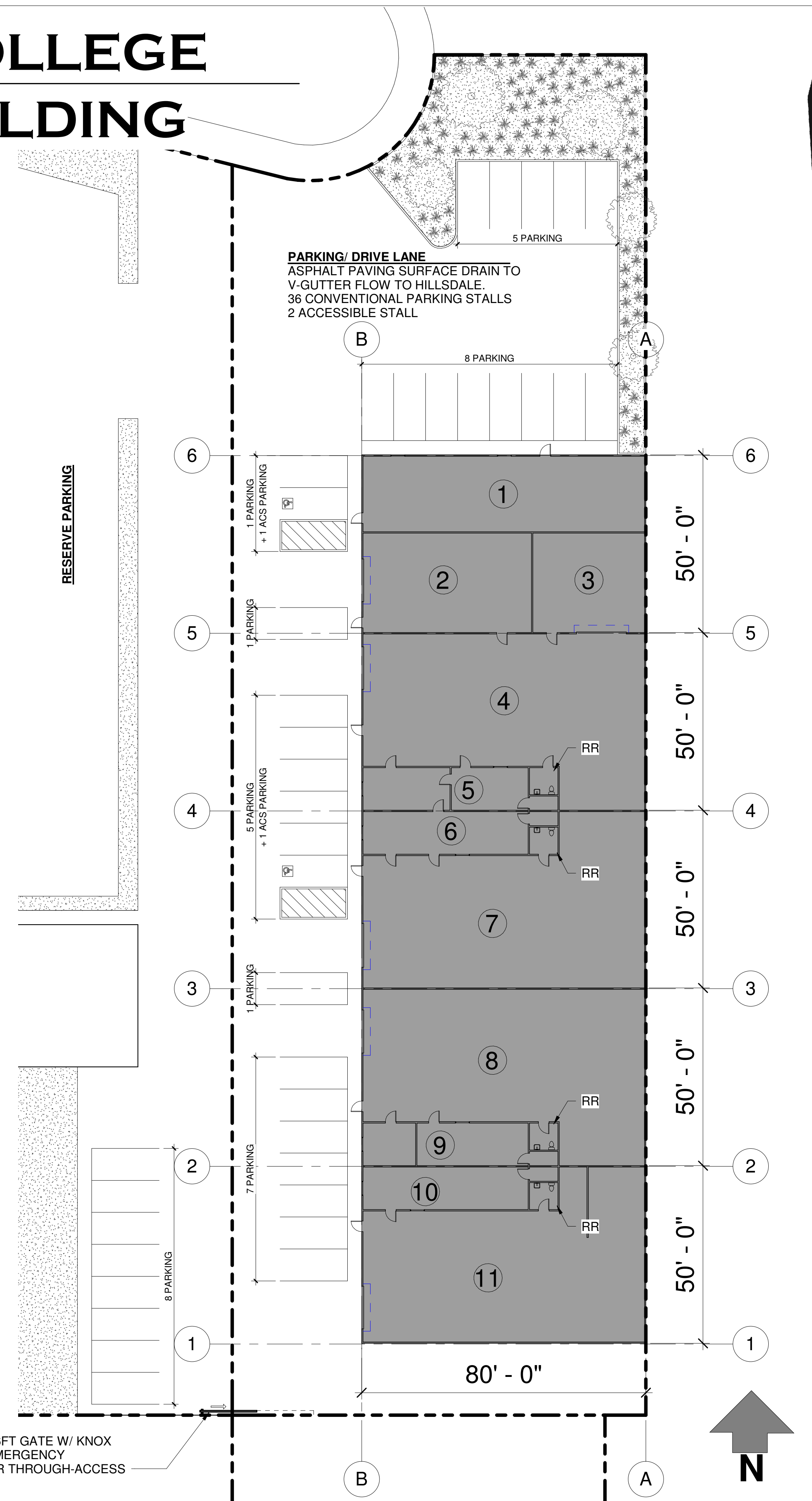
CATEGORY	ACTUAL	RATIO	COUNT
CLASSROOMS	3	10 / CLASSROOM	30
STAFF	6	1 / STAFF	6
			36 REQ'D

+ 2 ACCESSIBLE STALLS REQUIRED



**VICINITY MAP**

- ① SJVC CLASSROOM CENTER A
- ② SJVC CLASSROOM CENTER B
- ③ CAMPUS PARKING
- ④ STORM RETENTION BASIN
- ⑤ SJVC CLASSROOM CENTER C
- ⑥ RESERVE PARKING
- ⑦ 8246 W MINERAL KING (RETAIL)
- ⑧ 8233 W HILLSDALE: SJVC SATELLITE BUILDING
- ⑨ 8226 W MINERAL KING SERVICE COMMERCIAL ZONE
- ⑩ VACANT PARCEL

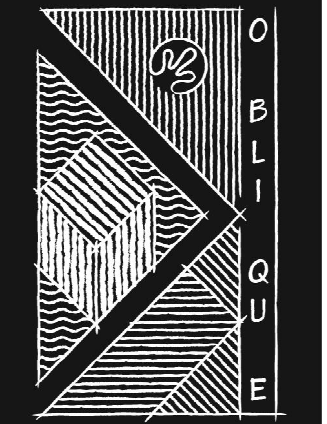


EXISTING 16FT GATE W/ KNOX BOX FOR EMERGENCY RESPONDER THROUGH-ACCESS

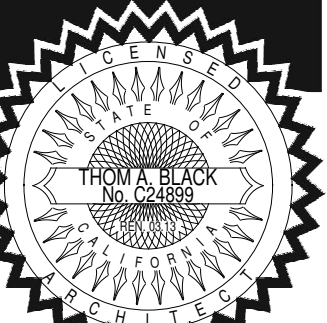
① SITE PLAN  
1" = 20'-0"

APN: 081-071-027

SITE PLAN REVIEW



Thom Black  
ARCHITECT



SAN JOAQUIN VALLEY COLLEGE  
SATELLITE BUILDING



No.	DATE	Description
A	12/17/2020	SPR SUBMITTAL
B	02/03/2021	SPR RESUBMITTAL
C		
D		
E		

Project number  
2025.1  
Drawn by  
Carlos  
Checked by  
Thom

SPR

12/17/2020

# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

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This application MUST be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Smoking Barrel Gun Shop Date: 1/14/21

Project Description: Build out interior finish for Retail; Complete Construction of NEA Approved IN-door SHOOTING RANGE

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: 21-007

Property Owner: HK Group

Applicant(s) Name: MARTIN HALE ARCHITECT

Project Address/Location: 10417 W. Goshaw Ave., Visalia, CA. 93291

Assessor Parcel Number: 073-160-020

Parcel Size (Acreage or Square Feet): 1 ACRE Building or Suite Square Footage: 11,363

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ 300,000.00

Describe All Proposed Building Modifications: RETAIL; New Restrooms - Electric Service, HVAC & Site work

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 02/04/2021

SPR Agenda: 02/10/2021 Item No. \_\_\_\_\_

Zone: I SPR No. 21-007

Historic District: Yes  No

Flood Zone: X  AE  X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: VACANT

Proposed Building Use: GUN STORE WITH SHOOTING RANGE

Proposed Hours of Operation: 10-6

Days of Week In Operation (Circle): Su  M  Tu  We  Th  Fr  Sa

Number of Employees Per Day: Existing 4 Proposed 7

Number of Customers Per Day (Estimated): Existing 50 Proposed 75

Predicted Peak Operating Hour: 4pm - 6:00 pm

Describe Any Truck Delivery Schedule & Operations: UPS

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees

(Provide Separate Attachment if Necessary): None - Limited

Describe Any Special Events Planned for the Facility: None

**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ↪ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ↪ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ↪ Site plan shall provide for and indicate all of the following:
  - North arrow
  - Existing & proposed structures
  - Loading/unloading areas
  - All existing & proposed site features
  - Adjacent street names
  - Accessible path of travel from right of way
  - Site dimensions, including building
  - Refuse enclosures & containers
  - Accessible path of travel from ADA stall
  - Existing and proposed fencing at site
  - Valley oak trees (show drip line)
  - Location and width of drive approaches to site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed landscaping
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
  - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: MARTIN HALE ARCHITECT Signature of Owner or Authorized Agent\*      02/04/2021 - 2nd submittal  
 Address: 1345 N. AMERICAN ST \_\_\_\_\_ Date \_\_\_\_\_  
 City, State, Zip: VISALIA, CA 93292 Owner \_\_\_\_\_  
 Phone: 559 786 7107 \_\_\_\_\_ Date 1/14/21  
 Email: MHALE@AMPL.COM Authorized Agent\* [Signature] \_\_\_\_\_

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:

I, \_\_\_\_\_, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN): \_\_\_\_\_

AGENT:

I designate Martin Hale / Ernie Kumpf to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to \_\_\_\_\_ relative to the property mentioned herein.

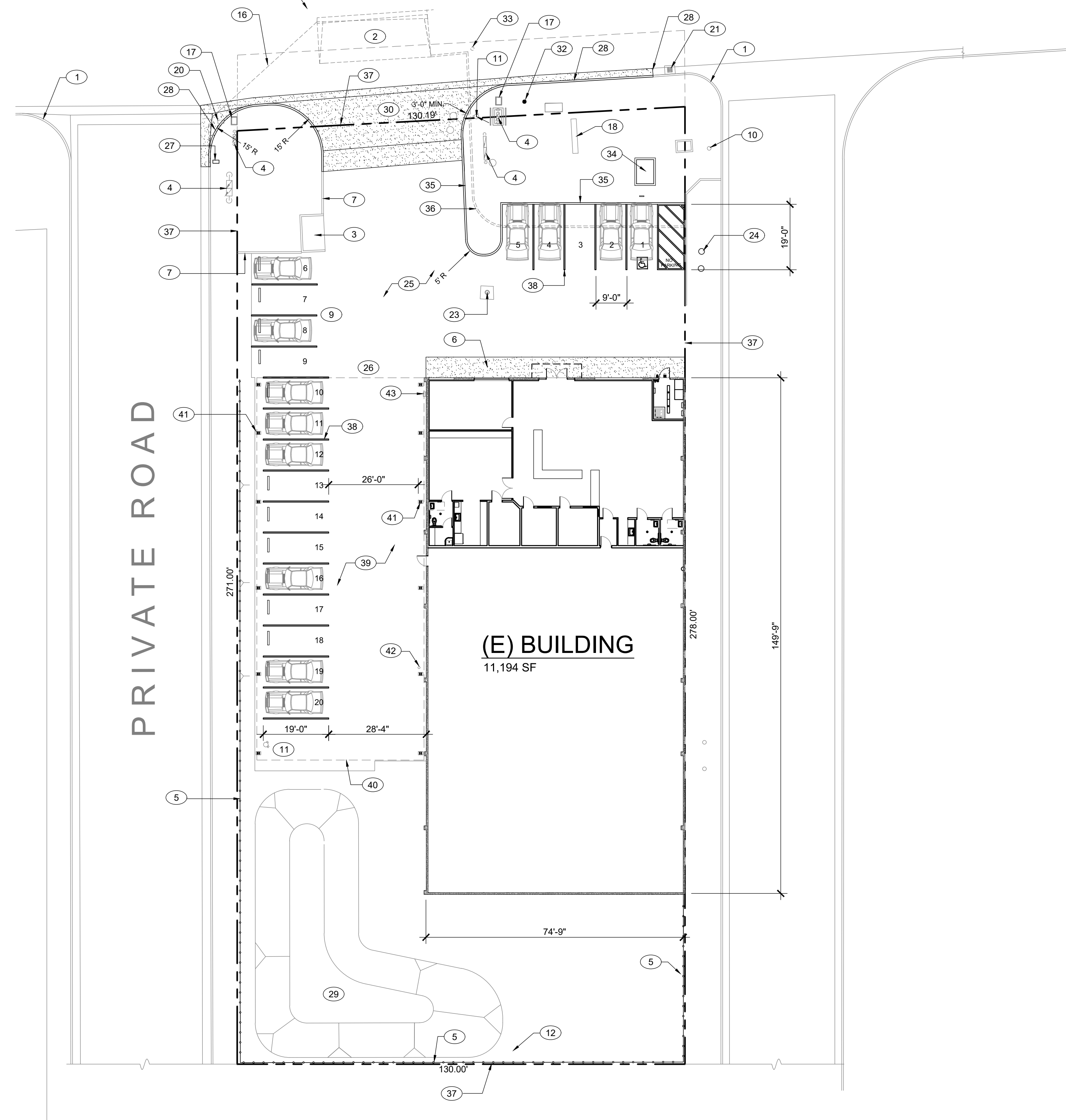
I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number

NOTE: STREET / DRIVE APPROACH IMPROVEMENT AREA WAS SUBMITTED UNDER PREVIOUS SPR 20205

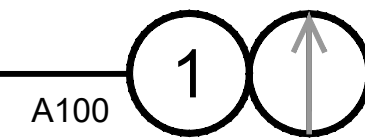
W GOSHEN AVE.



SITE PLAN



PLAN NORTH



PROJECT SCOPE:  
TO IMPROVE THE STREET FRONTAGE TO MATCH SURROUNDING SITE WHICH ARE ALREADY IMPROVED.

TENANT IMPROVEMENT  
TENANT : SMOKING BARREL GUN SHOP  
- BUISNESS OFFICE  
- RETAIL AREA  
- ADA RESTROOMS  
- NRA APPROVED INDOOR SHOOTING AREA

OPERATIONAL STATEMENT

BUSINESS NAME : SMOKIN BARREL FIREARMS  
EMPLOYEES: 5 FULL TIME  
4 PART TIME

FIREARMS : ALL FIREARMS IN THE SHOWROOM WILL BE IN LOCKED CASES. SOLD AND BACK STOCKED FIREARMS WILL BE STORED IN THE SAFE.

POWDER : POWDER FOR SALE WILL BE STORED ON SHELVES IN SHOWROOM. OVERSTOCK WILL BE STORED IN STOCK RM ON SHELVES.

AMMO : AMMO WILL BE STORED ON SHELVES BEHIND COUNTER.

INDOOR RANGE : 16 LANES

KEY NOTES:

- 1 (E) CONC. CURB & GUTTER TO REMAIN
- 2 (E) CONC. DRIVE APPROACH TO BE DEMOLISHED AND REMOVED
- 3 (E) REFUGE ENCLOSURE (R.E.)
- 4 (E) BACKFLOW PREVENTER
- 5 (E) 6' HIGH CHAIN LINK FENCE W/ SLATS
- 6 5' WIDE CONC. WALK
- 7 (E) 6" WIDE CONC. CURB
- 8 (E) DUB DOWN CURB TO BACK OF DRIVE APPROACH
- 9 (E) PARKING AREA, TO BE RE-STRIPED
- 10 (E) POWER POLE
- 11 (E) FIRE HYDRANT, A MIN. DISTANCE OF 36" SHALL BE PROVIDED FROM CENTERLINE OF (E) FIRE HYDRANT TO EDGE OF (N) CONC. CURB
- 12 (E) CATCH BASIN
- 13 (E) CLEAN-OUT
- 14 (E) 3 COMPONENT SUMP
- 15 (E) TRENCH BACKFILL
- 16 (E) EDGE OF ASPHALT
- 17 (E) WATER METER BOX
- 18 (E) SIGNAGE
- 19 (E) IRRIGATION CONTROL VALVE
- 20 (E) MAIL BOX TO BE RELOCATED
- 21 (E) STORM DRAIN COVER
- 22 (E) WATER METER BOX
- 23 (E) 10" LID
- 24 (E) GAS LINE VALVE
- 25 (E) A.C. PAVING
- 26 (E) ROLLING GATE TO BE REMOVED
- 27 PROPOSED NEW LOCATION OF MAIL BOX., VERIFY W/ OWNER
- 28 (N) CURB AND GUTTER PER CITY OF VISALIA
- 29 (E) PONDING BASIN
- 30 (N) CONCRETE DRIVE APPROACH, PER CITY OF VISALIA STDS
- 31 (N) CONC. CURB AND GUTTER TO CONFORM TO (E) CURB AND GUTTER
- 32 (N) POWER POLE LOCATION. SCE TO VERIFY LOCATION
- 33 (E) POWER POLE TO BE REMOVED / RELOCATED
- 34 (N) TRANSFORMER
- 35 (N) 6" WIDE CONCRETE CURB
- 36 (E) CONCRETE CURB TO BE REMOVED
- 37 PROPERTY LINE
- 38 NEW 4" WIDE PAINTED PARKING STRIPE (WHITE)
- 39 (E) CONC. PAVING
- 40 DRIP EDGE OF EXISTING ROOF COVER ABOVE
- 41 (E) STEEL COLUMN ON CONC. PEDESTAL
- 42 (E) FIRE RISER
- 43 (E) GAS METER

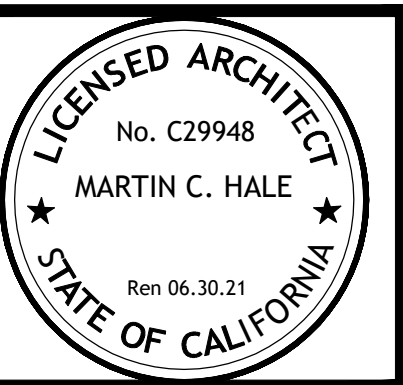


VICINITY AREA



PLAN NORTH

PROPRIETARY:



REV.	DATE	DESCRIPTION

PROJECT:  
**H K GROUP**  
10417 W Goshen Avenue  
Visalia, CA 93291

SHEET TITLE:  
**SITE PLAN**

PROJECT NO:	CHECKED BY:	DRAWN BY:
DATE:		
SHEET:	OF X	
SHEET NO.		

A100

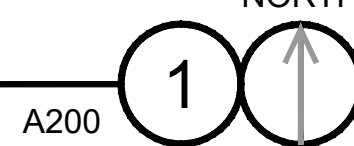




FLOOR PLAN

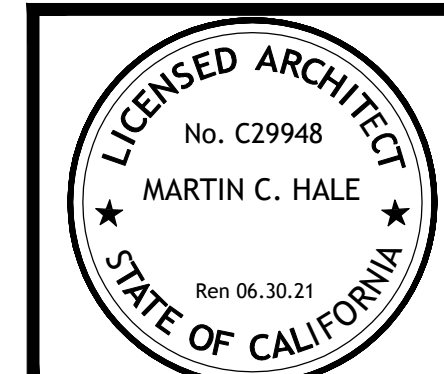


PLAN NORTH



A200

**PROPRIETARY:**  
THIS DRAWING CONTAINS CONFIDENTIAL INFORMATION. IT IS THE PROPERTY OF AMERICAN INCORPORATED AND IS NOT TO BE REPRODUCED OR DISCLOSED TO OTHERS OR USED IN ANY OTHER WAY, IN WHOLE OR IN PART, EXCEPT AS AUTHORIZED IN WRITING BY AMERICAN INCORPORATED.



REV.	DATE	DESCRIPTION

PROJECT:  
**H K GROUP**  
10417 W Goshen Avenue  
Visalia, CA 93291  
SHEET TITLE:  
**FLOOR PLAN**

PROJECT NO:	10-05689
CHECKED BY:	XXX
DATE:	2/3/2021
SHEET:	2 OF X
SHEET NO.	A200

Z:\1 - Active Projects - American Inc\Bldg\Office\10-05689\HK Group\10417 W Goshen Avenue\FLOOR PLAN.dwg Feb 3, 2021 - 2:32:03 PM mshale - Plot Size is 30x42 Landscape. If actual size differs, disregard scale.

# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website ([www.visalia.city](http://www.visalia.city)) or by calling (559) 713-4440-



This application **MUST** be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -  
 - Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Pinkham St Multifamily Complex Date: 1/29/21  
 Project Description: Multi-Family Residential  
 Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: \_\_\_\_\_  
 Property Owner: Sue & Nan Yin  
 Applicant(s) Name: Kevin Fistolera  
 Project Address/Location: South Pinkham Rd & Myrtle Ct. 93292  
 Assessor Parcel Number: 100-050-012  
 Parcel Size (Acreage or Square Feet): 1.89 Acres Building or Suite Square Footage: 1912

Are There Any Proposed Building Modifications: Yes  No   
 Estimated Cost of Modifications to Building: \$ \_\_\_\_\_  
 Describe All Proposed Building Modifications: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 02/03/2021  
 SPR Agenda: 02/10/2021 Item No. \_\_\_\_\_  
 Zone: R-M-2 SPR No. 21-013  
 Historic District: Yes  No   
 Flood Zone: X  AE  X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: \_\_\_\_\_  
 Proposed Building Use: \_\_\_\_\_  
 Proposed Hours of Operation: \_\_\_\_\_  
 Days of Week In Operation (Circle):    Su   M   T   W   Th   F   Sa  
 Number of Employees Per Day:                      Existing \_\_\_\_\_ Proposed \_\_\_\_\_  
 Number of Customers Per Day (Estimated):    Existing \_\_\_\_\_ Proposed \_\_\_\_\_  
 Predicted Peak Operating Hour: \_\_\_\_\_  
 Describe Any Truck Delivery Schedule & Operations: \_\_\_\_\_  
 \_\_\_\_\_  
 Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees  
 (Provide Separate Attachment if Necessary): \_\_\_\_\_  
 \_\_\_\_\_  
 Describe Any Special Events Planned for the Facility: \_\_\_\_\_  
 \_\_\_\_\_

**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
  - North arrow
  - Existing & proposed structures
  - Loading/unloading areas
  - All existing & proposed site features
  - Adjacent street names
  - Accessible path of travel from right of way
  - Site dimensions, including building
  - Refuse enclosures & containers
  - Accessible path of travel from ADA stall
  - Existing and proposed fencing at site
  - Valley oak trees (show drip line)
  - Location and width of drive approaches to site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed landscaping
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
  - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Fistolera Const Inc</u>	Signature of Owner or Authorized Agent*	
Address: <u>420 W. Court St, Ste 200</u>	<u>X</u> <u>Scott</u>	<u>1/29/21</u>
City, State, Zip: <u>Visalia CA 93291</u>	Owner	Date
Phone: <u>(559) 625-8372</u>	<u>K. Fistolera</u>	<u>1/29/21</u>
Email: <u>Kevin@fistolera.com</u>	Authorized Agent*	Date

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:

I, X. Nam ying wa so Chan declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):  
100-050-012

AGENT:

I designate Fistolera Const Inc, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to \_\_\_\_\_ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 1<sup>st</sup> day of Feb, 2021.

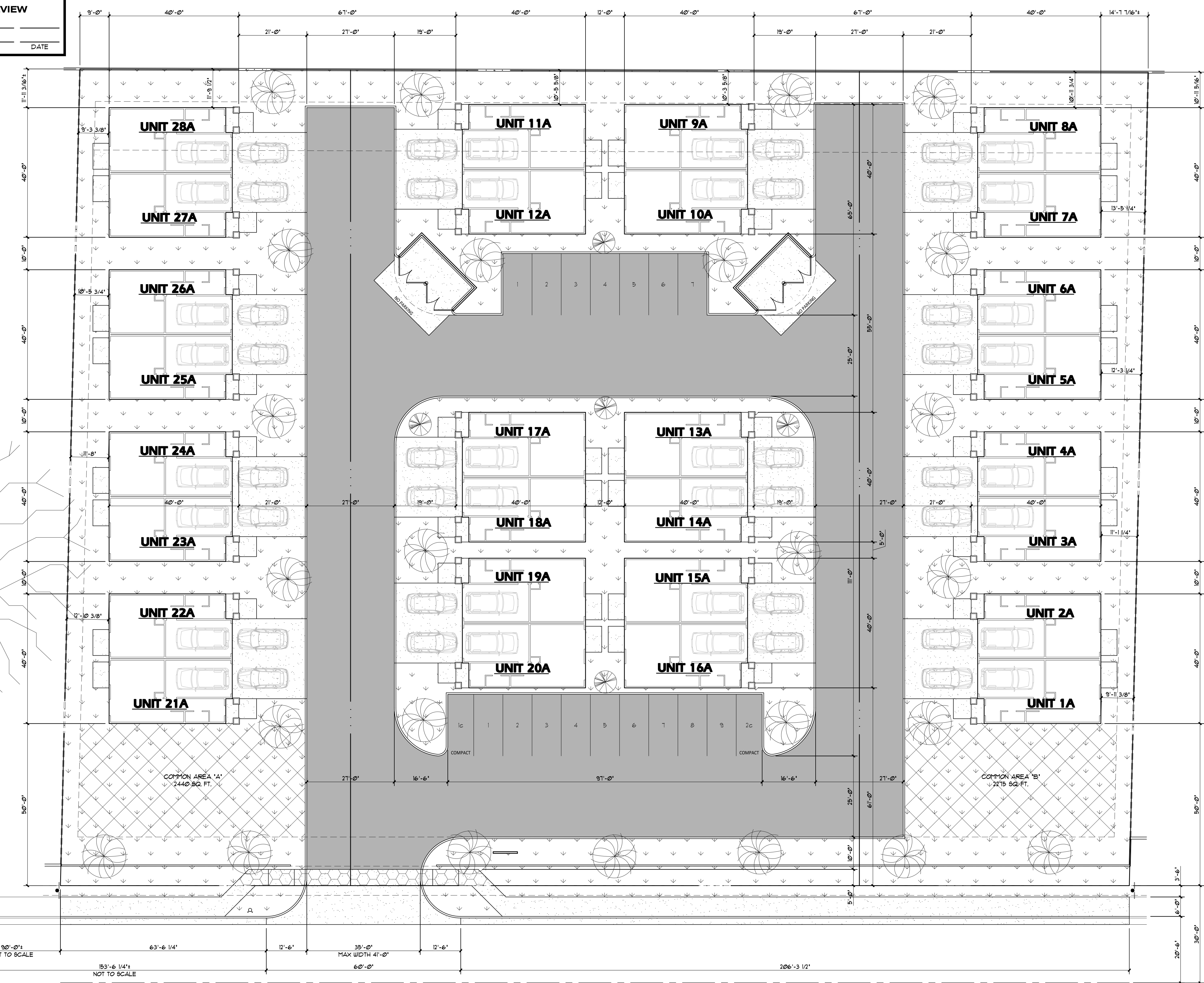
OWNER	AGENT
Signatures	Signatures
<u>Scott</u>	<u>K. Fistolera</u>
Signature of Owner	Signature of Agent
<u>1746<sup>S</sup> Elverta St Visalia, CA 93292</u>	<u>420 W. Court St, Ste 200</u>
Owner Mailing Address	Agent Mailing Address
	<u>Visalia, CA 93291</u>
	<u>(559) 625-8372</u>
Owner Phone Number	Agent Phone Number
<u>(559) 736-6878</u>	

**PRELIMINARY**

DRAWINGS SUBMITTED FOR  
DESIGN REVIEW ONLY  
1/25/21  
OWNERS REVIEW

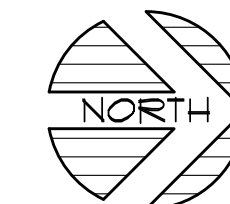
SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

THIS IS AN ORIGINAL UNPUBLISHED WORK AND MAY NOT BE DUPLICATED, PUBLISHED, OR OTHERWISE USED IN PART OR IN WHOLE WITHOUT THE WRITTEN CONSENT OF SIERRA CADDO SERVICES.



C.L. OF PINKHAM ROAD

OPEN SPACE AND RECREATIONAL AREAS	
LOT AREA	82,905 SQ. FT.
OPEN SPACE AND RECREATIONAL AREAS (5%) REQUIRED	4,145 SQ. FT.
COMMON AREA "A"	2440 SQ. FT.
COMMON AREA "B"	2275 SQ. FT.
TOTAL COMMON AREA	4715 SQ. FT.



SCALE: 1/16"=1'-0" 8H

**SITE PLAN KEY NOTES**

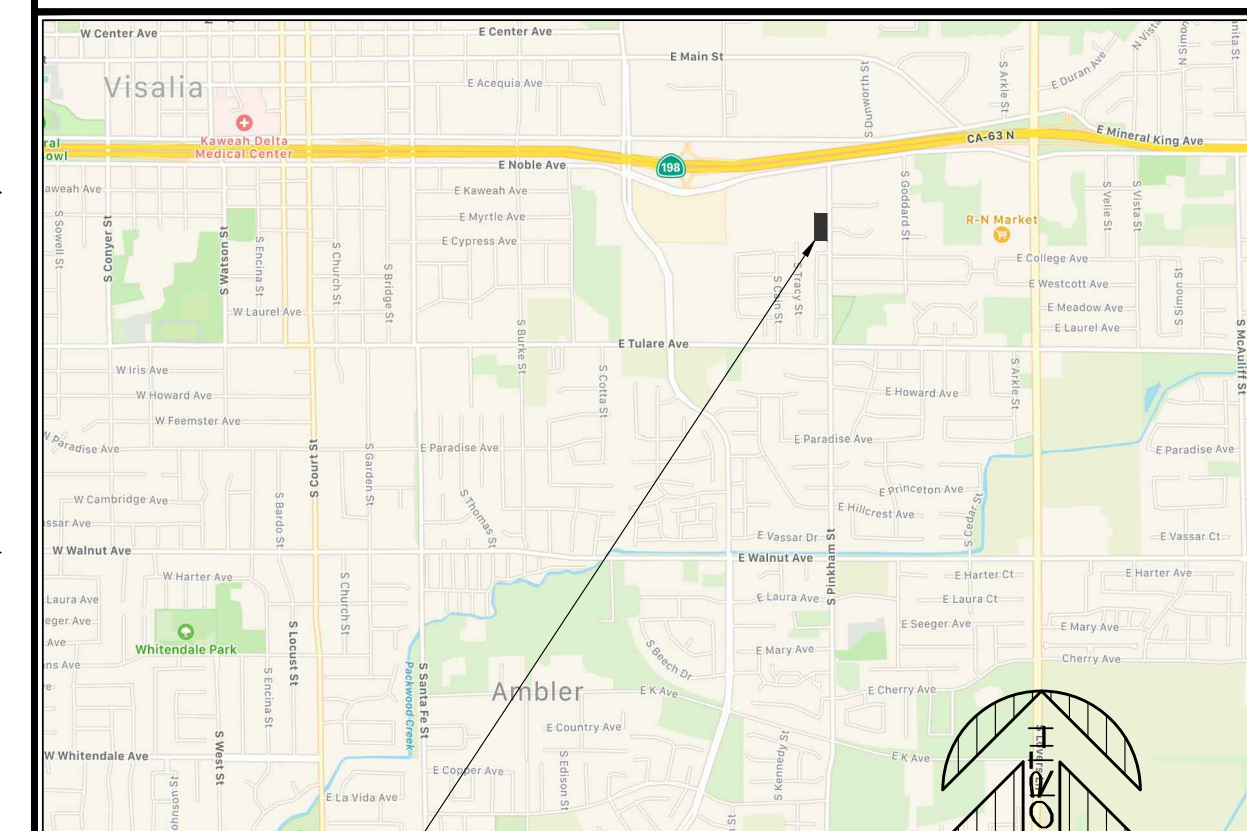
CONDITIONED FLOOR AREA		OWNER INFORMATION	
FIRST FLOOR RESIDENCE:	505 SQ. FT.	FISTOLERA CONSTRUCTION	
SECOND FLOOR:	635 SQ. FT.	420 NORTH COURT STREET, SUITE 200	
		VISALIA, CA 93291	
TOTAL:	1140 SQ. FT.	PHONE: 559625-8372	

RESIDENCE AREA BREAKDOWN		UTILITIES	
CONDITIONED AREA:	1140 SQ. FT.	ELECTRICAL	SOUTHERN CALIFORNIA EDISON
SINGLE CAR GARAGE	240 SQ. FT.	GAS	SOUTHERN CALIFORNIA GAS
COVERED PORCH:	32 SQ. FT.	REFUSE	CITY OF VISALIA
COVERED PATIO:	500 SQ. FT.	SEWER	CITY OF VISALIA
		WATER	CALIFORNIA WATER SERVICE
TOTAL:	1912 SQ. FT.		

BUILDING HEIGHT	7 FT.	SITE ADDRESS:	SOUTH PINKHAM ROAD AND MYRTLE COURT
STORIES	2		VISALIA, CA 93292
		A.P.N.:	100-050-012
		SUBDIVISION:	POR 2 PM 4261 V43 P65
		SITE:	PARCEL NUMBER 2
		PARCEL SIZE:	1.89 ACRES
		ZONING:	R-M-2 (MULTI-FAMILY RESIDENTIAL 3,000 SF MIN. SITE AREA PER DWELLING UNIT)
		BUILDING HEIGHT	17'-8" (MUNI CODE MAX 35'-0")
		FLOOD ZONING (FEMA):	X02
		FIRE SPRINKLERS:	SINGLE FAMILY (NFPA 13D)
		PROPOSED USE:	MULTIFAMILY
		BUILDING OCCUPANCY (RESIDENCE):	R-2
		BUILDING OCCUPANCY (GARAGE):	U
		CONSTRUCTION TYPE:	V-B
		SEISMIC DESIGN CATEGORY:	D1

PARKING INFORMATION	
SPACES REQUIRED:	
MULTI-FAMILY DWELLING: 1.5 PARKING	42
SPACES PER DWELLING UNIT (20 UNITS)	28 / 1.5 (17.34.020.A.2) MULTI-FAMILY DWELLING
25 PARKING SPACES PER DWELLING UNIT (20 UNITS)	7 28 / 0.25 (17.34.020.B.1) GUEST PARKING
SPACES REQUIRED (TOTAL):	49
COMPACT SPACES ALLOWED	15 30% TOTAL SPACES (17.34.030.I)
SPACES PROVIDED:	40 PARKING AT UNITS
	16
	2 COMPACT
	58 TOTAL

**CITY/CODE INFORMATION**



PROJECT LOCATION VICINITY MAP

REVISIONS

**PROPOSED SITE PLAN AND NOTES (OPTION 2)**  
A NEW MULTIFAMILY COMPLEX FOR:  
**FISTOLERA CONSTRUCTION**  
PROPERTY ADDRESS: SOUTH PINKHAM ROAD AND MYRTLE COURT  
VISALIA, CA 93292  
APN: 100-050-012  
PHONE: 559-967-1667  
Post Office Box 230  
Bass Lake, CA 93204  
fuss@sierracaddo.com

**SIERRA CADDO SERVICES**

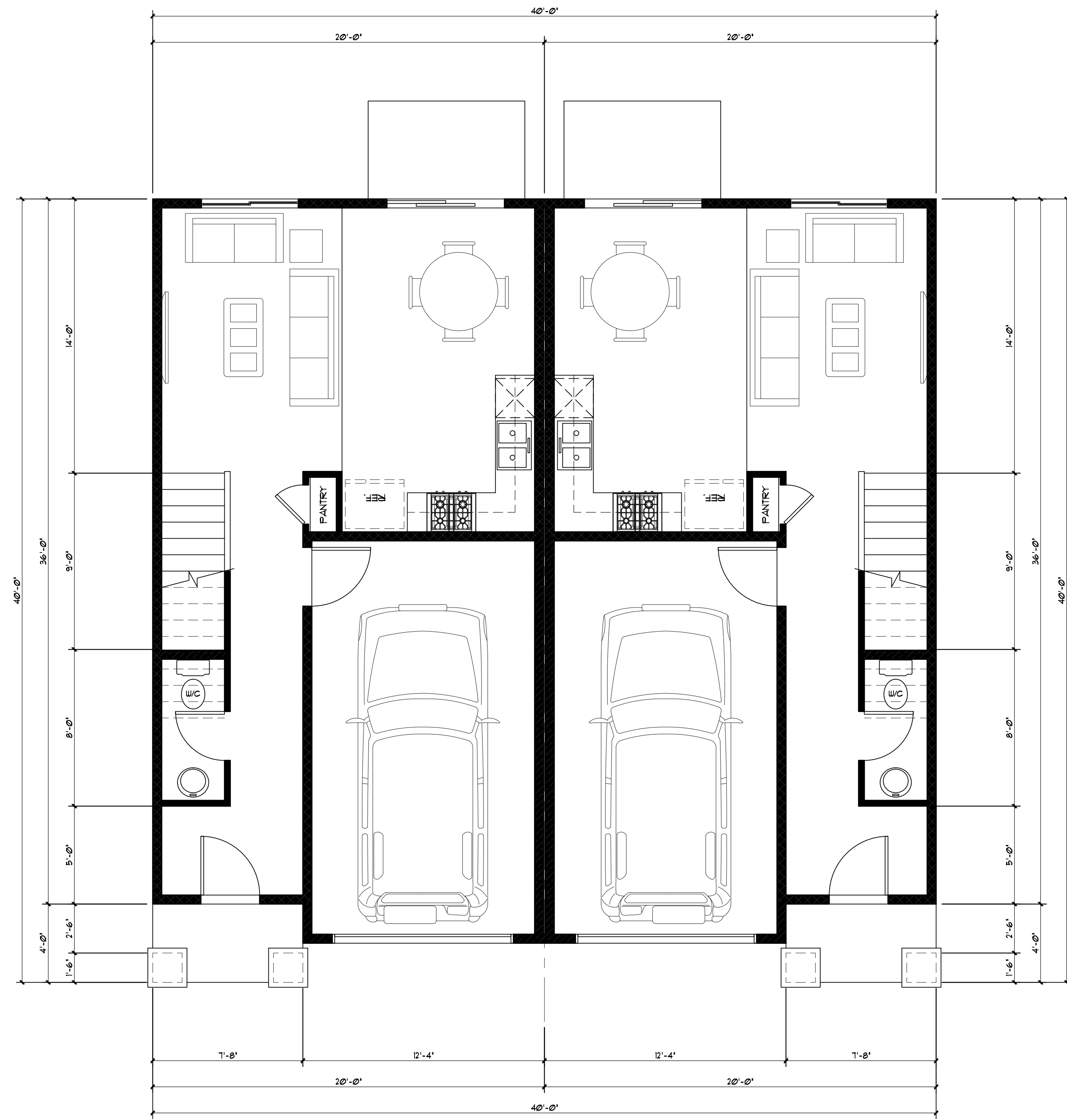
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		20216
JOB NO.		

**SHEET A0.1**  
**OF Opt. 2**

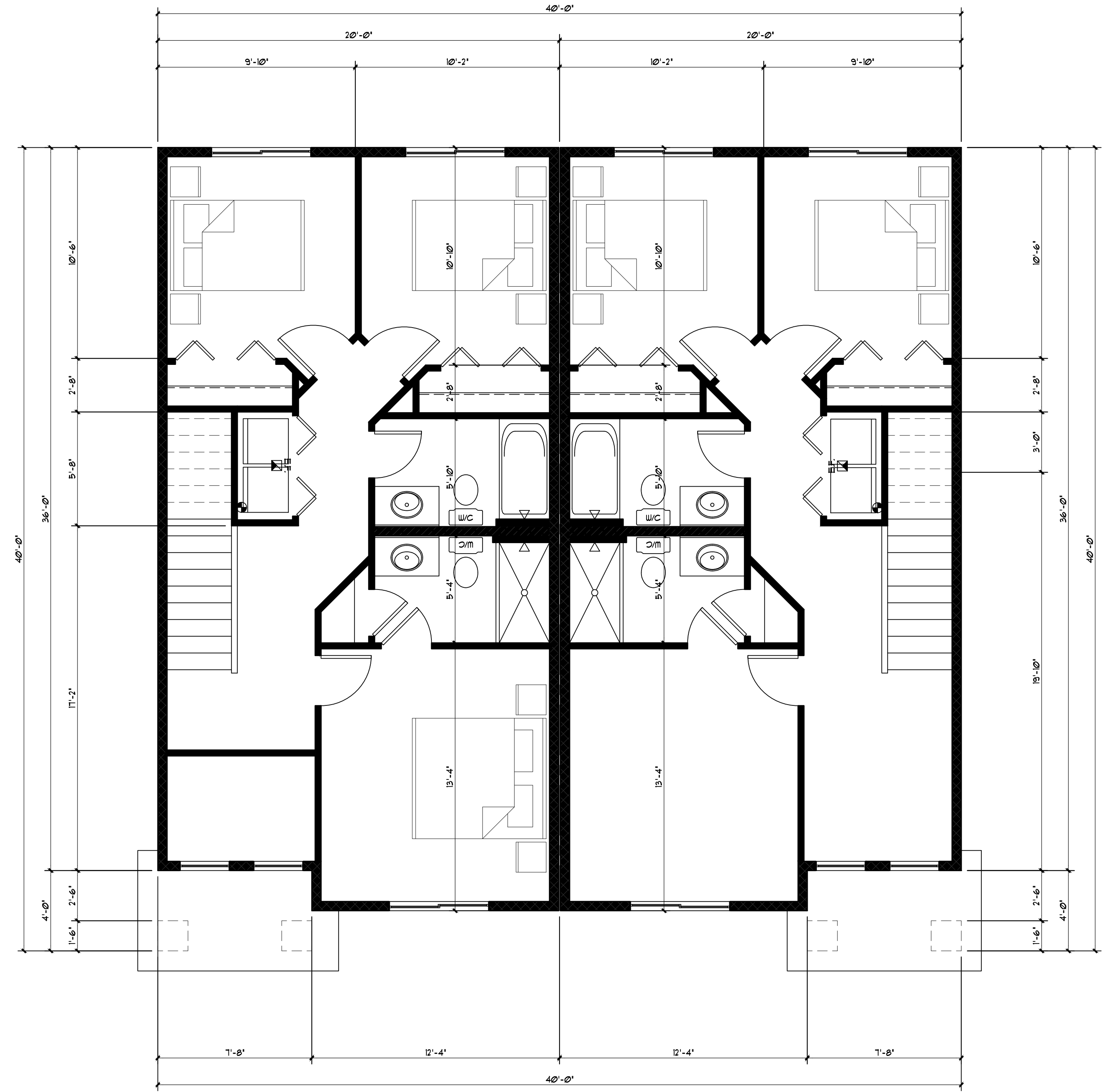
PROPOSED SITE PLAN

THIS IS AN ORIGINAL UNPUBLISHED WORK AND MAY NOT BE DUPLICATED, PUBLISHED, OR OTHERWISE USED IN PART OR IN WHOLE WITHOUT THE WRITTEN CONSENT OF SERRA CADDO SERVICES.

FIRST FLOOR PLAN



SCALE: 1/4" = 1'-0" 2D SECOND FLOOR PLAN



SCALE: 1/4" = 1'-0" 2K

2B

2D

2F

2H

2K

**PRELIMINARY**  
 DRAWINGS SUBMITTED FOR  
 DESIGN REVIEW ONLY  
 1/25/21  
 OWNERS REVIEW

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

REVISIONS

**PROPOSED FLOOR PLAN AND NOTES**  
 A NEW MULTIFAMILY COMPLEX FOR:  
**FISTOLERA CONSTRUCTION**  
 PROPERTY ADDRESS:  
 SOUTH PINNHAM ROAD AND MYRTLE COURT  
 VISALIA, CA 93292  
 APN: 100-050-012

**SIERRA**  
 CADDO SERVICES

Voice: 559-967-1667  
 Post Office Box 230  
 Bass Lake, CA 93604  
 russ@sierracaddo.com



DATE \_\_\_\_\_  
 DRAWN R.A.M.  
 JOB NO. 200216

**SHEET A1.1**  
 OF \_\_\_\_\_

# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and help in filling out this application can be found at the City of Visalia website ([www.ci.visalia.ca.us](http://www.ci.visalia.ca.us)) or by calling (559) 713-4440-



This application MUST be filled out in its entirety and submitted with an acceptable site plan (see details below). Failure to provide all requested information may result in your application being rejected for additional information and excluded from the Site Plan Review agenda

- All plans to be considered on the next available agenda must be submitted by 4:00 p.m. on the Thursday prior to the meeting -

- Site plan review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant or representative must be present -

GENERAL PROJECT INFORMATION

Project/Business Name: SOMIS TACOS Date: 02-01-2021  
 Project Description: TACO TRUCK - use Franks Liguor for restrooms

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: \_\_\_\_\_

Property Owner: \_\_\_\_\_

Applicant(s) Name: Yohana Cabrera

Project Address/Location: 515 W Murray Ave Visalia CA 93291

Assessor Parcel Number: 093-175-008

Parcel Size (Acreage or Square Feet): \_\_\_\_\_ Building or Suite Square Footage: \_\_\_\_\_

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ \_\_\_\_\_

Describe All Proposed Building Modifications: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 02/01/2021  
 SPR Agenda: 02/10/2021 Item No. \_\_\_\_\_  
 Zone: D-MU SPR No. 21-014  
 Historic District: Yes  No   
 Flood Zone: X  AE  X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: Parking Lot

Proposed Building Use: Parking Lot - Food Truck

Proposed Hours of Operation: 8 hours

Days of Week In Operation (Circle): (Su) (M) (T) (W) (Th) (F) (Sa)

Number of Employees Per Day: 2 Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Number of Customers Per Day (Estimated): 20 Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Predicted Peak Operating Hour: N/A

Describe Any Truck Delivery Schedule & Operations: N/A

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): N/A

Describe Any Special Events Planned for the Facility: N/A

**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ⇒ Plan(s) must be clear, legible, and on a sheet size appropriate to easily convey all necessary project information. Suggested minimum sheet size for site plans is 11"x17" (Excludes tentative parcel and final maps)
- ⇒ Site plan shall provide for and indicate all of the following:
  - North arrow
  - All existing & proposed site features
  - Site dimensions, including building
  - Existing and proposed fencing at site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed structures
  - Adjacent street names
  - Refuse enclosures & containers
  - Valley oak trees (show drip line)
  - Existing & proposed landscaping
  - Parking stalls (include ADA)
  - Loading/unloading areas
  - Accessible path of travel from right of way
  - Accessible path of travel from ADA stall
  - Location and width of drive approaches to site
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
- ⇒ Submit 20 copies of the site plan with this application, folded to a legal size of 9" x 12" with the print on the outside (no rolled plans)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Somis Tacos Signature of Owner or Authorized Agent\* \_\_\_\_\_

Address: 3431 S. Shirk Rd \_\_\_\_\_

City, State, Zip: Visalia, CA 93277 Owner \_\_\_\_\_ Date \_\_\_\_\_

Phone: (559) 667 3212 \_\_\_\_\_

Email: \_\_\_\_\_ Authorized Agent\* \_\_\_\_\_ Date \_\_\_\_\_

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered complete

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:

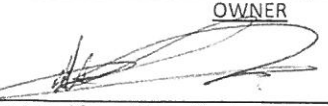

I, \_\_\_\_\_, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN): \_\_\_\_\_

AGENT:

I designate \_\_\_\_\_, to act as my duty authorized agent for all purposes necessary to fill an application for, and obtain a permit to \_\_\_\_\_ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

OWNER	Signatures	AGENT
		
Signature of Owner (Notary Required) <u>410 N. Willis St.</u>		Signature of Agent
Owner Mailing Address <u>Visalia CA 93291</u>		Agent Mailing Address
Owner Phone Number <u>559-310-9128</u>		Agent Phone Number

Approved by City of Visalia:

By: \_\_\_\_\_ Date: \_\_\_\_\_



**HHSA**  
Public Health

**Environmental Health Services**  
WWW.TULARECOUNTYEH.ORG • (559) 624-7400

**Verification of Restroom for Mobile Food Facility (MFF)**

FA #	1354547
PR #	1362280

A Mobile Food Facility (MFF) shall be operating within 200 feet travel distance of an approved and readily available toilet and hand-washing facility when parked in any location for longer than one hour. (Chapter 10, Sec. 114315). Please provide all information requested. **This form shall be completed and submitted for every location conducting business.**

**NOTE: Porta-potties are not approved.**

**MFF Information**

MFF Name (DBA): Yonana Cabrera Valdez.

Address or Cross Street of operation: \_\_\_\_\_  
Street Address City Zip Code

Hours of Operation 8 hours Days of Operation: 7 Days  
(At this location)

License Plate #: \_\_\_\_\_

**MFF Owner Information**

Owner Name: Yonana Cabrera Valdez.

Address of Owner: 416 n willis st visalia ca 93291  
Street Address City Zip Code

I have access to the restroom facilities at the following business during my business hours and I am parked less than 200 feet away from the restroom facilities. I will be responsible for maintaining the restroom as listed below.

Yonana Cabrera Valdez 11-25-19  
Signature of MFF Operator Date

**Restroom Information**

Business Name: Franks LIQUOR Phone: 559-734-3197

Owner Name: \_\_\_\_\_

Address: 416 n willis st visalia ca 93291  
Street Address City Zip Code

- Restroom Requirements:**
- Toilet facilities in good repair
  - Smooth cleanable surfaces
  - Toilet paper in a dispenser
  - Ventilation fan or openable window
  - Handwashing sink with hot and cold water
  - Paper towels in a dispenser
  - Liquid soap in a dispenser
  - Hours that restroom is available: \_\_\_\_\_

I, the business owner/operator, can and will provide restroom facilities for the operators of the above-mentioned MFF at my business and I understand that the restroom facilities are subject to Environmental Health Department inspection.

\_\_\_\_\_  
Signature of Business Owner

11/25/19  
Date

**OFFICIAL USE ONLY**

Approved by: \_\_\_\_\_ Date: 11/25/19



ATTN: YOHANA CABERA VALDEZ  
SAMI'S TACOS  
3431 S SHIRK RD  
VISALIA, CA 93277

**TULARE CO. ENVIRONMENTAL HEALTH**  
5957 S MOONEY BLVD  
VISALIA, CA 93277



REGULATED FACILITY: **SAMI'S TACOS**  
**COUNTYWIDE**  
**TULARE COUNTY, CA 93277**

OWNER NAME: YOHANA CABERA VALDEZ

Facility #: FA1354547  
Account #: AR1356725  
District: 005

**Valid From 12/1/2020 to 12/1/2021**

ID # 93259V2 #6600

PT0020090 1635 - MOBILE FOOD PREPARATION UNIT

  
\_\_\_\_\_  
Environmental Health Specialist

  
\_\_\_\_\_  
Date Signed

This permit is issued with the condition that the facility remains in compliance with the California Retail Food Code, and all other laws and ordinances. Serious or repeat violations will result in an action to revoke this permit.

Please notify Environmental Health of any changes in ownership, business activity, business name, or billing address. Failure to notify Environmental Health may result in permit denial, revocation, and/or business closure. Permits become void on change of ownership. New owners must apply and pay for new Permit(s) prior to beginning operation.

**PERMITS TO OPERATE AND ANNUAL FEE PAYMENTS ARE NOT TRANSFERABLE**

SIS W Murray  
Ave Uisaiia Ra  
93291

FRANK'S LIQUOR

POSTING

two truck

Sidewalk

Murray Ave

FS

William



# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website ([www.visalia.city](http://www.visalia.city)) or by calling (559) 713-4440-



This application **MUST** be filled out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- **Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present** -  
 - Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Storland Self-Storage Date: 2/3/2021

Project Description: Construction of a self-storage facility for storing personal and business goods in enclosed units. Project does not include a residence or RV storage.

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: \_\_\_\_\_

Property Owner: Omni Land Development, LLC

Applicant(s) Name: Miller Accord, LP

Project Address/Location: NW Corner of W Shannon Parkway and N Court Street

Assessor Parcel Number: 0 0 0 - 0 1 3 - 8 3 1

Parcel Size (Acreage or Square Feet): 3.80 Ac Building or Suite Square Footage: 71,644

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ \_\_\_\_\_

Describe All Proposed Building Modifications: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received: 02/04/2021

SPR Agenda: 02/10/2021 Item No. \_\_\_\_\_

Zone: C-MU SPR No. 21-015

Historic District: Yes  No

Flood Zone: X  AE  X/AE

OPERATIONS & TRAFFIC INFORMATION

- - **A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS** - -

Existing/Prior Building Use: NA

Proposed Building Use: Self-storage

Proposed Hours of Operation: 10:00 am - 6:00 pm Monday - Saturday and 10:00 am - 5:00 pm on Sunday

Days of Week In Operation (Circle):  Su  M  T  W  Th  F  Sa

Number of Employees Per Day: Existing \_\_\_\_\_ Proposed 2

Number of Customers Per Day (Estimated): Existing \_\_\_\_\_ Proposed 20

Predicted Peak Operating Hour: The nature of the business is such that there are no consistent peak hours.

Describe Any Truck Delivery Schedule & Operations: NA

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): None

Describe Any Special Events Planned for the Facility: None

**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
 

- North arrow	- Existing & proposed structures	- Loading/unloading areas
- All existing & proposed site features	- Adjacent street names	- Accessible path of travel from right of way
- Site dimensions, including building	- Refuse enclosures & containers	- Accessible path of travel from ADA stall
- Existing and proposed fencing at site	- Valley oak trees (show drip line)	- Location and width of drive approaches to site
- Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)	- Existing & proposed landscaping	- Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
	- Parking stalls (include ADA)	

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Miller Accord, LP</u>	Signature of Owner or Authorized Agent*	
Address: <u>PO Box 6398</u>	 Owner	<u>02/03/2021</u>
City, State, Zip <u>Visalia, CA 93290</u>		Date
Phone: <u>559-909-0979</u>		
Email: <u>miller@storlandstorage.com</u>	Authorized Agent*	Date

\* If signed by an authorized agent , the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:

I, \_\_\_\_\_, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

\_\_\_\_\_

AGENT:

I designate \_\_\_\_\_, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to \_\_\_\_\_ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner		Signature of Agent
Owner Mailing Address		Agent Mailing Address
Owner Phone Number		Agent Phone Number

## OPERATIONAL STATEMENT

February 3, 2021

City of Visalia  
707 W. Acequia Ave.  
Visalia, CA 93291

### Project Description:

Storland Self-Storage is an existing self-storage business that currently owns and operates four self-storage locations throughout the California Central Valley. The new storage facility is being submitted by the owner, Josh Miller, and pertains to two parcels located at Shannon Parkway and Road 124., APN: 079-071-032 and is currently zoned C-MU with planned land use of Mixed Use Commercial. I am requesting authorization for a new storage facility.

Similar to other existing facilities, this facility will provide self-service storage units for the surrounding community and offer tenants a secure site that includes access control, video surveillance, security lighting, on-site non-resident management and security alarms. The units offered will include enclosed drive up and interior units in the following unit sizes: 5x5, 10x5, 10x10, 10x15, 10x20 and 10x25. RV storage will not be offered at this location.

<b>Business Name:</b>	Storland Self-Storage
<b>Product / Services:</b>	Storage units of various sizes.
<b>Anticipated Traffic:</b>	5-10+ customers at any given time are expected.
<b>Number of Employees:</b>	2 employees on-site. This includes one office manager that will handle daily operations and one maintenance employee around facility.
<b>On site storage/Equipment:</b>	Tenant personal storage belongings.
<b>Security Measures:</b>	Security cameras mounted interior and entry and exiting points along with designated hooded light poles throughout the premises.
<b>Operation Time:</b>	Monday through Saturday from 9:00 am to 6:00pm Sunday from 10:00 am to 5:00 pm Automated Access Gate Controls from 7:00 am to 7:00 pm 24-hour call service is available after normal business hours
<b>Access to Site:</b>	One on-site access driveway (Refer to plans)
<b>Parking:</b>	4 Visitor Designated parking 4 standard parking

1 accessible parking  
1 EVCS parking  
2 Employee designated parking  
(Refer to plans)

**Supplies or Material:** N/A

**Unightly Appearance:** N/A

**Solid or Liquid Waste:** Solid waste will be from restrooms and trash/bin receptors  
  
Trash Enclosure  
  
1-2 trash pick-ups per week  
  
Liquid waste will be from restrooms and sanitary sinks will be discharged into City Sewer System

**Estimated Water Usage:** Water meter(s) for building and landscape are located off-site

**Advertising Sign:** One Facility sign above main entry (separate permit)

**Buildings:** 1150 sf new office building  
  
Multiple Storage Buildings  
  
(Refer to plans)

**Outdoor Lighting:** Hooded parking light(s) – refer to plans.  
Street light(s) – refer to plans.  
Exterior building wall sconces(s) and/or wall-packet mounted LED light(s).

**Landscape:** Landscape areas consist of different all kinds of trees, shrubs, hedges, etc. all through-out.

**ABC License:** N/A

Sincerely,



Josh Miller

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ABBREVIATIONS:			
A.B.	ANCHOR BOLT	HDR.	HEADER
ADJ.	ADJUSTABLE	HT.	HEIGHT
ABV.	ABOVE	HORIZ.	HORIZONTAL
A.C.I.	AMERICAN CONCRETE INSTITUTE	H5B	HIGH STRENGTH BOLT
A.I.S.C.	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	H.S.	HIGH SIDE
A.S.T.M	AMERICAN SOCIETY FOR TESTING MATERIALS	IN	INCH
A.P.A.	AMERICAN PLYWOOD ASSOCIATION	I.D.	INSIDE DIAMETER
ARCH.	ARCHITECTURAL	INT.	INTERIOR
AWG	AMERICAN WELDING SOCIETY	JST.	JOIST
BD.	BOARD	K OR KIPS	1000 LBS.
BF.	BRIQUETTED FRAME	LAM.	LAMINATED
BLK.	BLOCK	LB OR LBS	POUNDS
BLKS.	BLOCKING	L.S.	LONG SIDE
BOT.	BOTTOM	LT. WT.	LIGHT WEIGHT
BLDG.	BUILDING	LLV	LONG LEG VERTICAL
BM.	BEAM	MB	MACHINE BOLT
B.N.	BOUNDARY NAILING	MAS.	MASONRY
C	CHANNEL	MAX.	MAXIMUM
C.C.	CEILING	MF.	MOMENT FRAME
CLR.	CLEAR	MTL.	METAL
COL.	COLUMN	MIN.	MINIMUM
C.M.U.	CONCRETE MASONRY UNIT	N.T.S.	NOT TO SCALE
C.J.	CONSTRUCTION JOINT	NO OR #	NUMBER
CONC.	CONCRETE	O.C.	ON CENTER
CONN.	CONNECTION	OPNG.	OPENING
CONST.	CONSTRUCTION	OPP.	OPPOSITE
CONT.	CONTINUOUS	O.A.	OUTSIDE DIA.
DA	DOUBLE ANGLE	PL	PLATE
DEMO.	DEMOLISH	PENNY (d)	NAILS
DET.	DETAIL	PLYND.	PLYWOOD
DIAG.	DIAGONAL	P.S.F.	POUNDS PER SQUARE FOOT
DIA.(Ø)	DIAMETER	P.S.I.	POUNDS PER SQUARE INCH
DIM.	DIMENSION	PRESS.	PRESSURE
DBL.	DOUBLE	R	RADIUS
DWG.	DRAWING	REINF.	REINFORCING
EA	EACH	REQD.	REQUIRED
E.N.	EDGE NAILING	RM.	ROOM
ELEV.	ELEVATION	SCHED.	SCHEDULE
EOR	ENGINEER OF RECORD	SHTG.	SHEATHING
ENG.	ENGINEER	SHT	SHEET
EQ.	EQUAL	SIM.	SIMILAR
EQUIP.	EQUIPMENT	SLV	SHORT LEG VERTICAL
ES	EDGE SCREW OR EACH SIDE	SPEC.	SPECIFICATION
EXIST (E)	EXISTING	STGR.	STAGGER
EXP.	EXPANSION	STD.	STANDARD
FIN.	FINISH	STL.	STEEL
F.N.	FIELD NAILING	STIFF.	STIFFENER
FM	FACE MOUNT	STRUCT.	STRUCTURAL
FLR.	FLOOR	SQ.	SQUARE
FTF	FLOOR TO FLOOR	SYM.	SYMMETRICAL
FTG.	FOOTING	TF	TOP FLANGE
FDN.	FOUNDATION	THK.	THICK
FRMG.	FRAMING	TS	TUBE STEEL
GA.	GAUGE	U.B.C.	UNIFORM BUILDING CODE
GALV.	GALVANIZED	U.N.O.	UNLESS NOTED OTHERWISE
GF	GOOD FOR	VERT.	VERTICAL
GL.B.	GLUE LAM BEAM	W.	WIDTH
GRD.	GRADE	WT.	WEIGHT
H.D.	HOLD DOWN	W.W.F.	WELDED WIRE FABRIC
HGR.	HANGER	W.W.M.	WELDED WIRE MESH
		W.F.	WIDE FLANGE
		W.	WITH
		WS	WOOD SCREW

SEISMIC DATA:			
LATITUDE	36.360389		
LONGITUDE	-119.244538		
SEISMIC ITEM	VALUE	CBC REFERENCE	2019
SITE CLASS	D		
SOILS BEARING CAPACITY	1500 PSF	APPENDIX 106.1 & TABLE 1804.2	
SEISMIC IMPORTANCE FACTOR	1.0	CBC 1609.1.5.1	
SITE COEFFICIENT, Fa	1.374	TABLE 1613.3.3 (I)	
Sa	0.532	FIGURE 1613.3 (I)	
Sms	0.732	SECTION 1613.3.3 EQN. 16-37	
Sds	0.488	TABLE 1613.3.3 (I)	
SITE COEFFICIENT, Fv	--	NULL - SEE SECTION 11.4.8	
SI	0.214	TABLE 1613.3.1 (2)	
Sm1	--	NULL - SEE SECTION 11.4.8	
Sd1	--	NULL - SEE SECTION 11.4.8	

DESIGN DATA:	
OCCUPANCY TYPE:	S2
CONSTRUCTION TYPE:	11B - NON - SPRINKLERED
GOVERNING CODE:	2019
SEISMIC DESIGN CATEGORY:	D
DESIGN WIND LOAD:	EXPOSURE "B", 75 MPH
ALLOWABLE SOIL BEARING PRESSURE:	1500 CBC MIN.
COMPRESSIVE STRENGTH OF CONC. @ 28 DAYS	2500 PSI (FOR TRENCHING)
LIVE LOADS:	-
ROOF:	N/A PSF
FLOOR:	N/A
DEAD LOADS:	-
ROOF: ( T-BAR CEILING)	N/A
ROOF: ( STUCCO CEILING)	N/A PSF
WALL:	N/A PSF

# PROPOSED STORAGE FACILITY FOR: STORLAND SELF-STORAGE

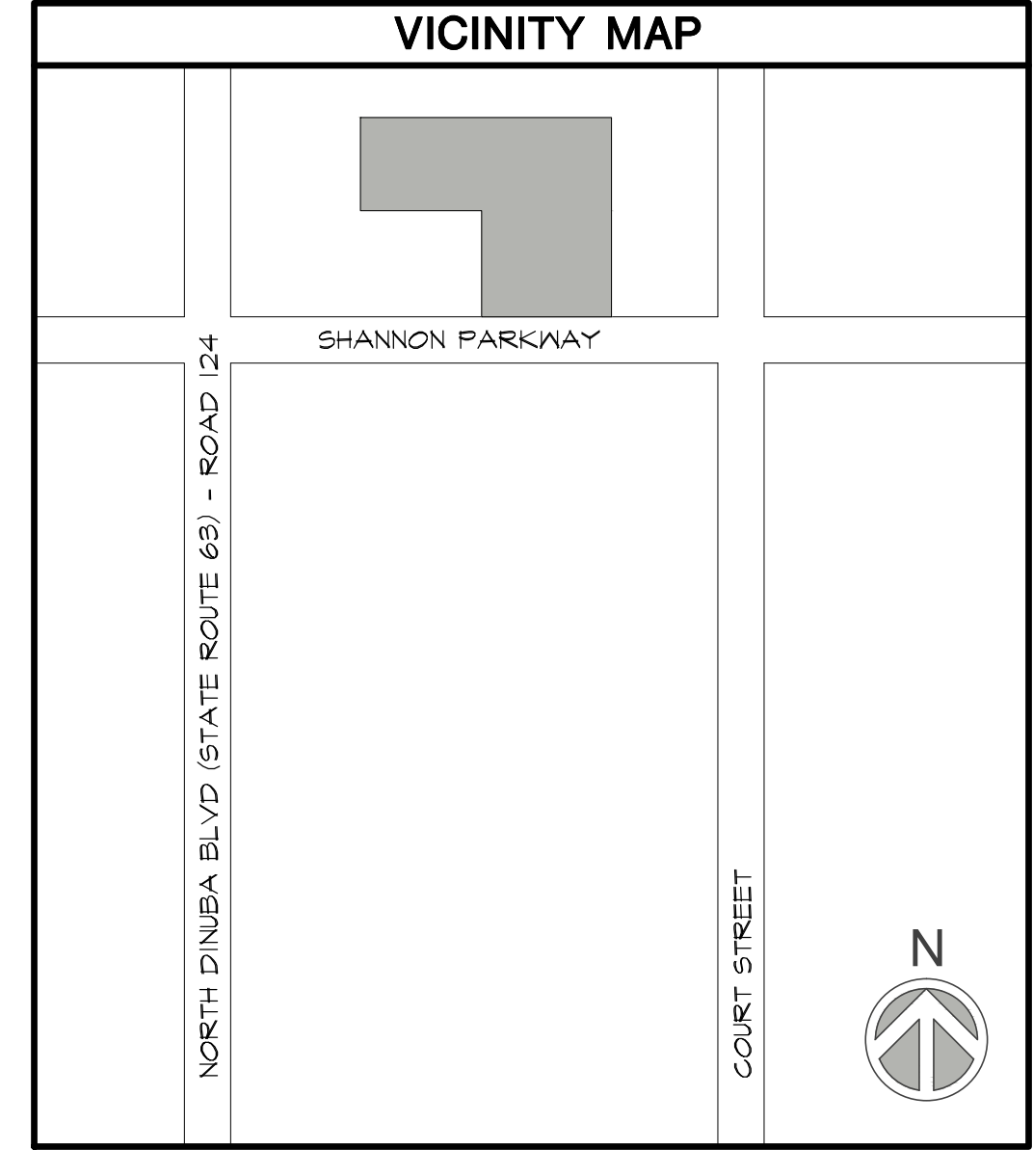
**SHANNON PARKWAY AND ROAD 124  
VISALIA, CA 93291  
APN: 079-071-032**

- GENERAL NOTES:**
- CHEMICAL TOILET IS REQUIRED ON-SITE DURING CONSTRUCTION.
  - PROVIDE 2% SLOPE AWAY FROM BUILDING FOR A MINIMUM OF TEN FEET.
  - PROVIDE A 12" HIGH ADDRESS POSTING WITH SUITE NUMBER 4" HIGH.
  - IF THE PLANS DO NOT ACCURATELY REFLECT THE JOB CONDITIONS OR THE CONSTRUCTION IS NOT PER PLANS, NO INSPECTIONS WILL OCCUR UNTIL AN ADDENDUM IS APPROVED BY THE CITY/COUNTY IS OBTAINED.
  - ANY CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE DESIGNER AND SUBMITTED TO THE CITY/COUNTY FOR REVIEW AND APPROVAL.
  - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, GRADES, AND ALL OTHER CONDITIONS AND CORRELATE AT THE JOBSITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION PRIOR TO COMMENCING ANY WORK.
  - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE COORDINATION OF ALL TRADES AND GOVERNING AGENCIES.
  - THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF THE WORK AND/OR POSSIBLE ERRORS OR OMISSIONS SHOWN OR INFERRED ON THE DRAWINGS OR THE PROPER EXECUTION OF THE SAME.
  - COMPLIES WITH 2019 CBC, CMG, CFC, CEC, CFG, CA ENERGY, AND CALGREEN BUILDING STANDARD CODES.
  - JOB CARD REQUIRED TO BE AVAILABLE FOR SIGNATURE AT JOBSITE.
  - THESE PLANS AND RELATED DOCUMENTS MUST BE AVAILABLE AT THE JOBSITE DURING ANY INSPECTION ACTIVITY.
  - DEFERRED SEPARATE SUBMITTAL PERMIT, REVIEW, AND APPROVAL FOR THE FOLLOWING ITEMS:  
12.1. EXTERIOR BUILDING SIGNAGE  
12.2. SITE SIGNAGE
  - NO DRAINAGE TO BE TAKEN TO ADJACENT PROPERTY.
  - ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
  - TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS. ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-642-2444.
  - CONTACT PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING 10 WORKING DAYS PRIOR TO ANY OFF-SITE CONCRETE CONSTRUCTION.
  - NO USES OF LAND, BUILDING, OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED.

- SCOPE OF WORK**
- CONSTRUCT A 1150.0 SF OFFICE BLDG.
  - CONSTRUCT MULTIPLE SIZE METAL STORAGE BLDGS.
  - REFER TO SITE DATA FOR SQUARE FOOTAGE.
  - CONSTRUCT TRASH ENCLOSURE PER CITY STDS.
  - CONSTRUCT WROUGHT-IRON FENCE AND GATES.
  - CONSTRUCT CONCRETE DRIVEWAYS.
  - CONSTRUCT CONCRETE CURBS AND RAMPS

**SHEET INDEX**

SHEET	DESCRIPTION
	ARCHITECTURAL
A1.0	COVER SHEET
A1.1	PROPOSED SITE PLAN
A1.2	SITE DETAILS
A1.3	CITY STDS
A2.0	PROPOSED FLOOR PLAN
A3.0	EXTERIOR ELEVATIONS



**OWNER DATA**

STORLAND SELF-STORAGE P.O. BOX 6398 VISALIA, CA 93260 PHONE: 559-909-0979 EMAIL: miller@storlandstorage.com	CONTACT: JOSH MILLER
---	----------------------

**DEVELOPMENT AGENCY**

CITY OF VISALIA 107 W. ACEQUIA AVE VISALIA, CA 93291 PHONE: 559-713-4300 EMAIL: --	CONTACT: PLANNING
--	-------------------

**ENGINEER IN RECORD**

CVEAS, INC - RICARDO LEAL - PE 22511 LOGAN STREET SELMA, CA 93662 PHONE: 559-891-8811 EMAIL: rleal@cveas.com	CONTACT: RICARDO
--	------------------

**PROJECT DATA**

APN:	079-071-032
ADDRESS:	SHANNON PARKWAY AND ROAD 124 VISALIA, CA 93291
EXISTING ZONING:	C-MU - MIXED USE COMMERCIAL
NEW ZONING:	NO CHANGE
EXISTING USE:	EXISTING VACANT LAND
NEW USE:	NEW STORAGE FACILITY
EXISTING OCCUPANCY:	N/A
NEW OCCUPANCY:	S2, B
CONSTRUCTION TYPE:	11B, VB
FIRE SPRINKLER SYSTEM:	YES - ONLY STORAGE BLDGS
FIRE ALARM SYSTEM:	YES

**CVEAS**  
CENTRAL VALLEY  
ENGINEERING & SURVEYING, INC.  
22511 LOGAN STREET Tel: (559) 891-8811  
SELMA, CA 93662 Fax: (559) 891-8815  
WWW.CVEAS.COM Email: info@cveas.com

PROJECT

PROPOSED STORAGE FACILITY FOR"  
STORLAND STORAGE, INC.  
SHANNON PARKWAY AND DINUBA BLVD  
VISALIA, CA 93292  
APN: 079-071-032 - PARCEL 'E' AND 'D'

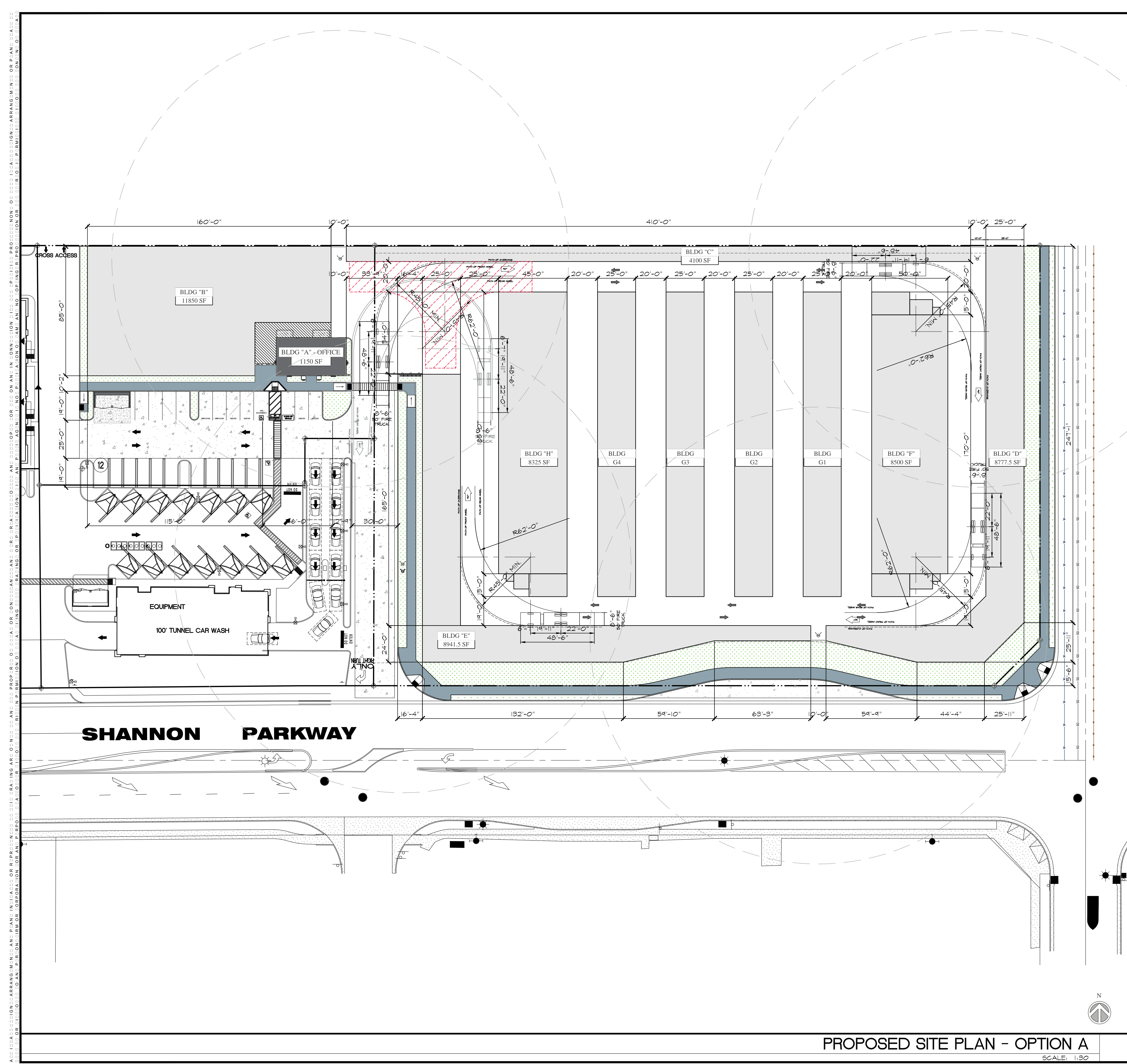
DATE SIGNED: 2/22/2021

Revisions	Date
△	
△	
△	
△	
△	

**PROJECT AND OWNER DATA, VICINITY MAP, AND SHEET INDEX**

CVEAS JOB #:	2016
DATE:	2/2/2021
PLANNING SUBMITTAL #:	XX-XXXX
PLAN CHECK SUBMITTAL #:	XX-XXXX
DRAWN BY:	KX
CHECKED BY:	RL/KX
SCALE:	NOTED ON PLANS

A1.0



BUILDING SQUARE FOOTAGE CALCULATIONS				
SITE AREA:				
LOT #1:	125,900	SF	2.884307	AC
LOT#2:	33,352	SF	0.76	AC
TOTAL LOT AREAS:	159,252	SF	3.65	AC
MAIN OFFICE:				
	25	X	46	1150
STR. BLDG "B":	VARIES		1	11850
STR. BLDG "C":	10	X	410	4100
STR. BLDG "D":	VARIES		1	8777.5
STR. BLDG "E":	VARIES		1	8941.5
STR. BLDG "F":	50	X	170	8500
STR. BLDG "G":	25	X	200	20000
STR. BLDG "H":	45	X	185	8325
STR. BLDG "I":	25	X	15	1125
STR. BLDG "J":	15	X	10	300
STR. BLDG "K":	10	X	1	100
STR. BLDG "L":	5	X	5	75
TOTAL OF ALL STR BLDGS: 70,444.0 SF				
TOTAL AREA OF ALL BLDGS (EXCLUDES PORCH): 71,644.0 SF				
ACTUAL LOT COVERAGE: 0.45 %				
REQUIRED PARKING: 1 PER 1,000 SF BLDG AREA				
PROVIDED PARKING:				
1	VAN ACCESSIBLE PARKING			
1	EVGS PARKING			
3	VISITOR PARKING			
3	EMPLOYEE PARKING			
3	ADDITIONAL PARKING			
TOTAL:	11	PARKING		

PROJECT  
**PROPOSED STORAGE FACILITY FOR**  
**STORLAND STORAGE, INC.**  
**SHANNON PARKWAY AND DINUBA BLVD**  
**VISALIA, CA 93292**  
**APN: 079-071-032 - PARCEL 'E' AND 'D'**

REVIEW PROCESS  
 NOT FOR  
 CONSTRUCTION  
 2/2/2021

DATE SIGNED: 2/2/2021

Revisions:	Date:
△	
△	
△	
△	
△	

PROPOSED  
 SITE PLAN  
 OPTION A

CVEAS JOB #: 2016

DATE: 2/2/2021

PLANNING SUBMITTAL #: XX-XXXX

PLAN CHECK SUBMITTAL #: XX-XXXX

DRAWN BY: KX

CHECKED BY: RL/KX

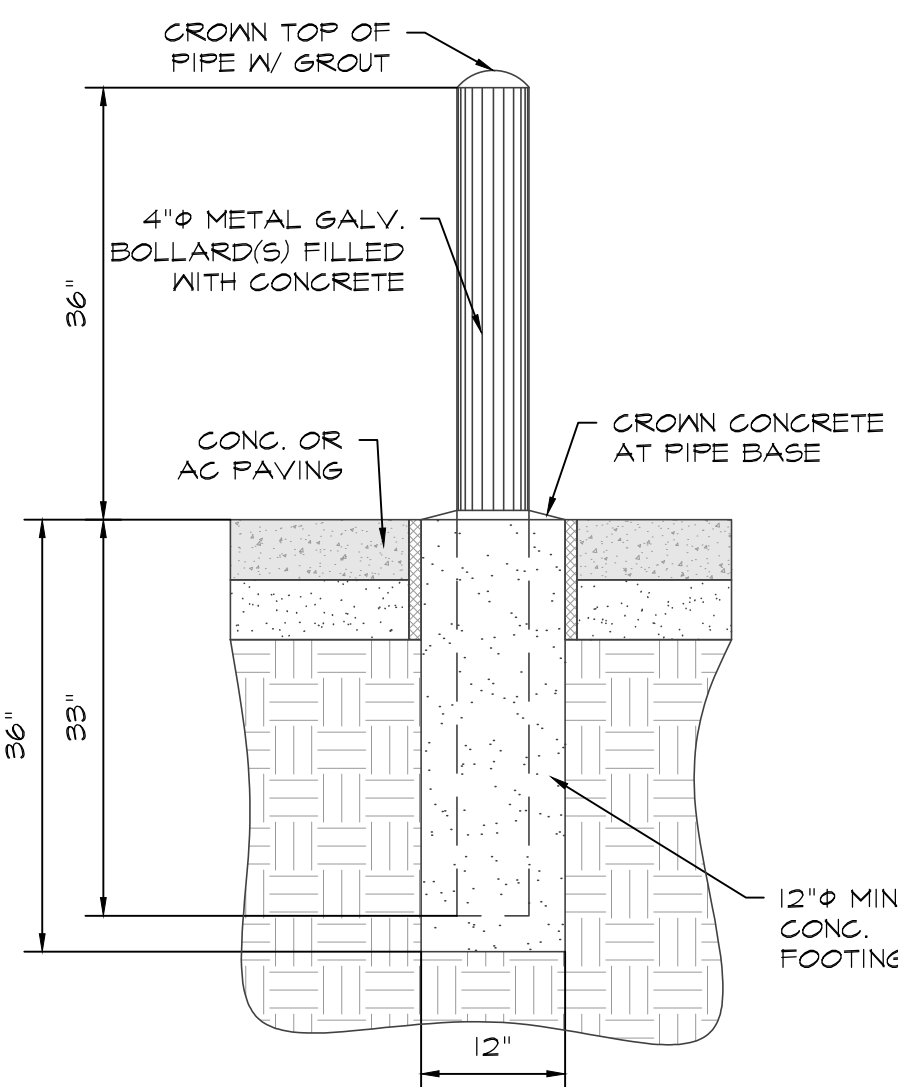
SCALE: NOTED ON PLANS

PROPOSED SITE PLAN - OPTION A  
 SCALE: 1:30

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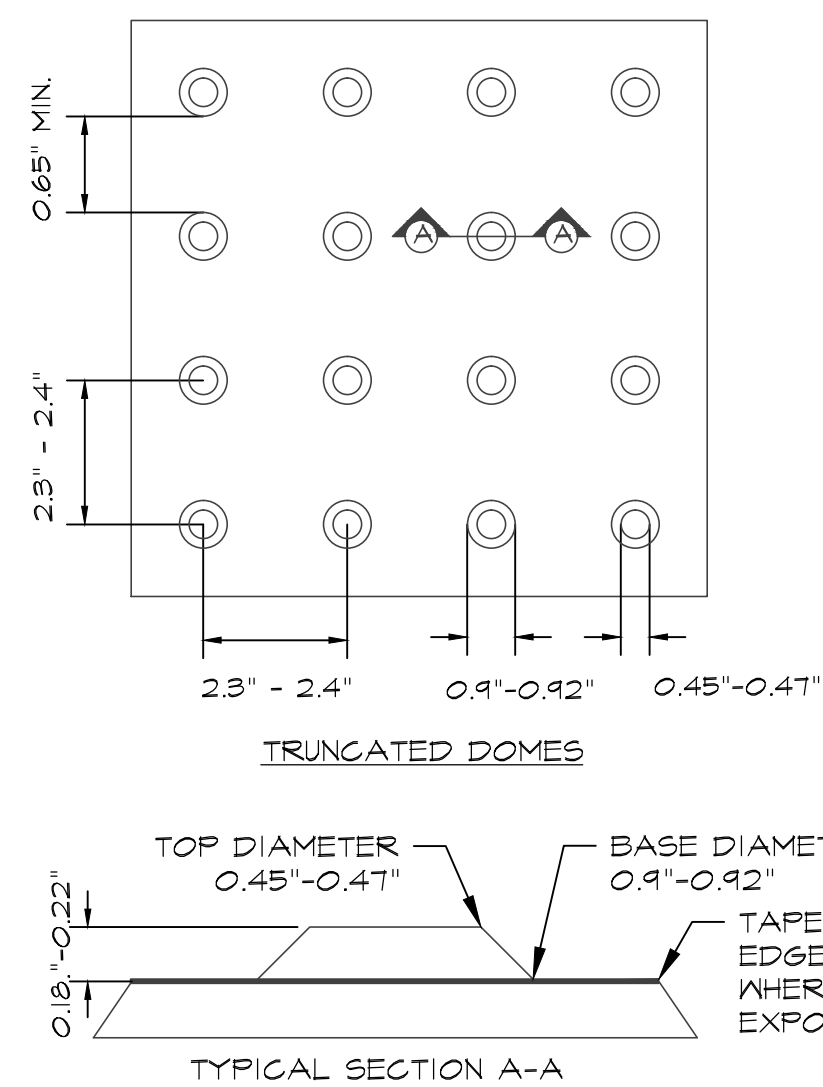
CIVIL ENGINEERING • LAND SURVEYING • CONSULTING • STRUCTURAL DESIGN • ARCHITECTURAL DRAFTING • COMMERCIAL & RESIDENTIAL BUILDING DESIGN • PLANNING & PROJECT MANAGEMENT





**1 BOLLARD DETAIL - TYP.**

SCALE: N.T.S.

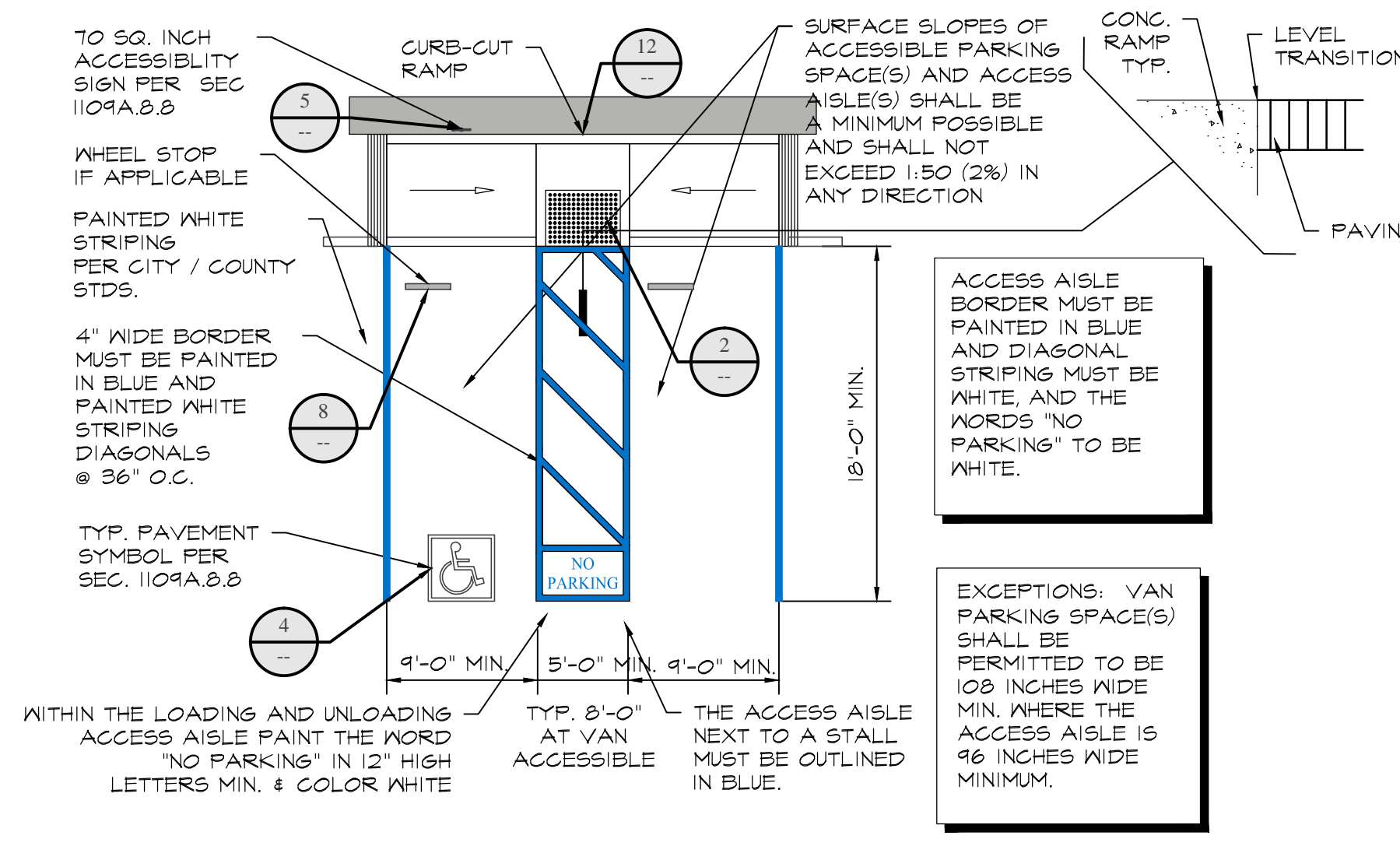


**2 TRUNCATED DOMES - TYP.**

SCALE: N.T.S.

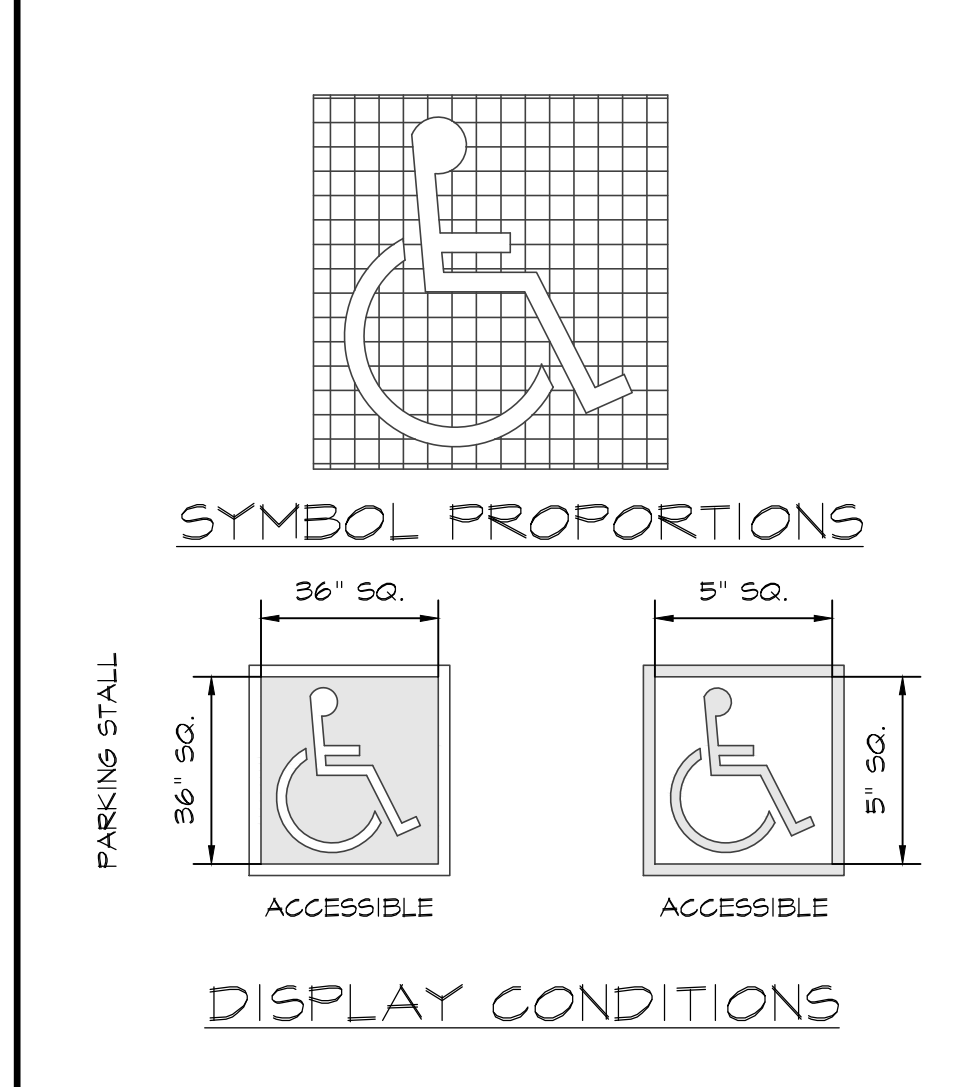
ALL CURB RAMP SHALL HAVE A GROOVED BORDER 12" WIDE AT THE LEVEL SURFACE OF THE SIDEWALK ALONG THE TOP AND EACH SIDE 3/4" O.C. ALL CURB RAMP CONSTRUCTED BETWEEN THE FACE OF THE CURB AND THE STREET SHALL HAVE A GROOVED BORDER AT THE LEVEL SURFACE OF THE SIDEWALK.

NOTE: THE TRANSITION TO WALKS, GUTTERS OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGE (NO LIP)



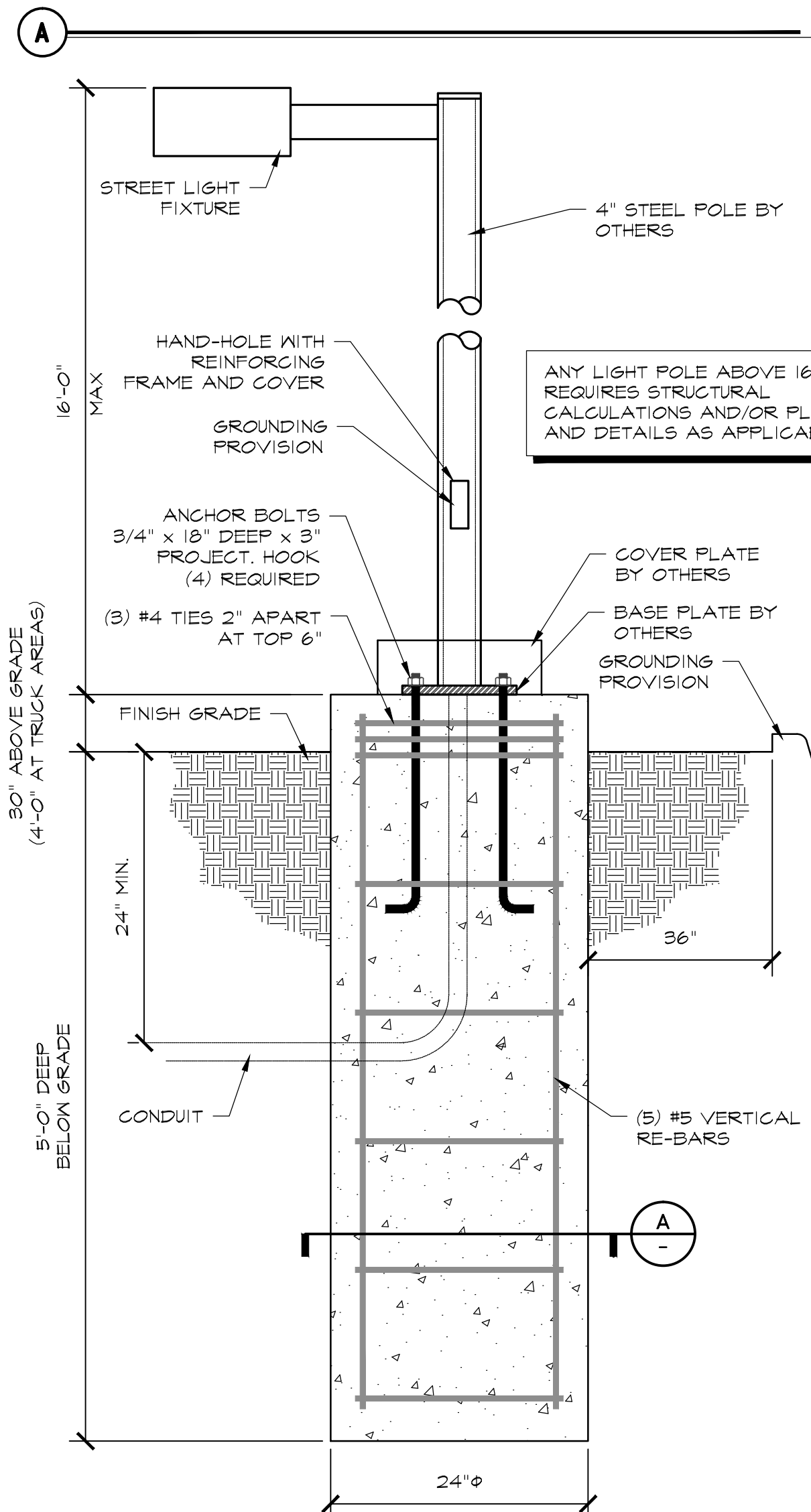
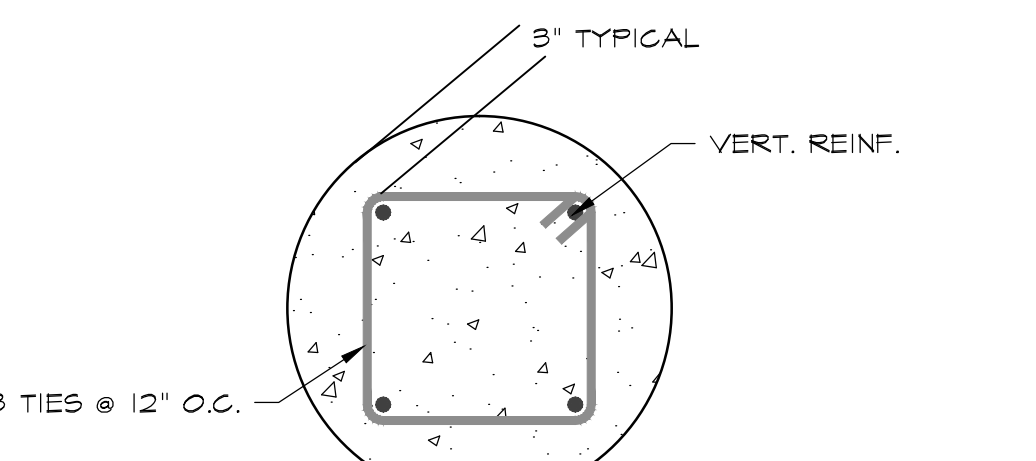
**3 ACCESSIBLE PARKING STALL - STRAIGHT - TYP.**

SCALE: N.T.S.



**4 ISA SIGNAGE - TYP.**

SCALE: N.T.S.



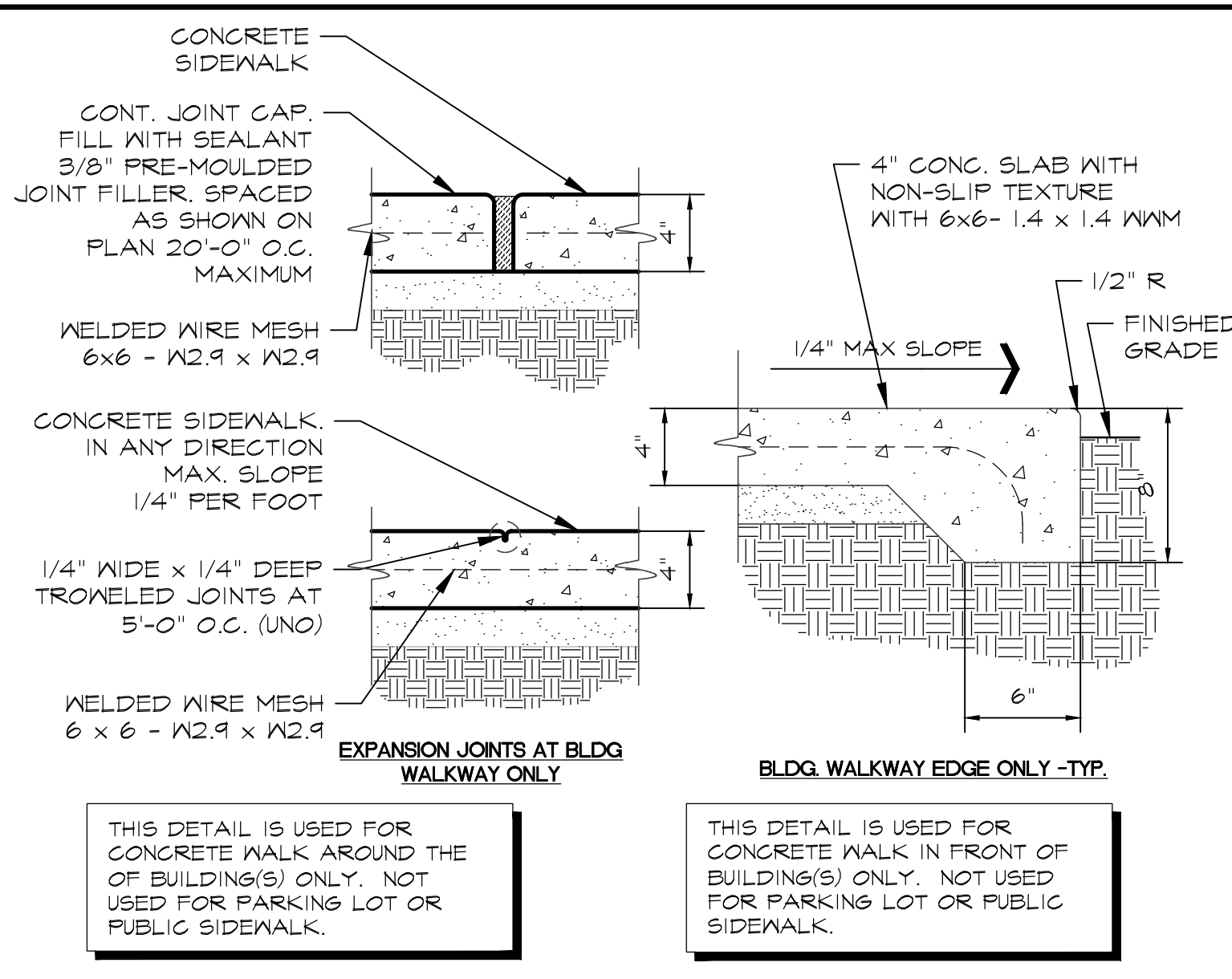
**9 LIGHT POLE MOUNTING - TYP.**

SCALE: N.T.S.

- CHARACTERS, SYMBOLS, AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH.
- CHARACTERS & SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND.
- VISUAL CHARACTERS ON SIGNS SHALL COMPLY WITH CBC 1117B.5.3 REGARDING FONT PROPORTIONS. (8.01.13 CBC SUPPLEMENT) THE WIDTH OF THE UPPERCASE LETTER 'O' IS TO BE 60% MINIMUM AND 10% MAXIMUM OF THE HEIGHT OF THE UPPERCASE LETTER 'I'. STROKE THICKNESS OF THE UPPERCASE LETTER 'I' SHALL BE 10% MINIMUM AND 20% MAXIMUM OF THE HEIGHT OF THE CHARACTER.
- RAISED CHARACTERS ON SIGNS SHALL BE RAISED 1/32" MIN. AND SHALL BE SANS SERIF UPPERCASE CHARACTERS.
- RAISED CHARACTERS SHALL BE A MIN. OF 5/8" AND A MAX. OF 2" HIGH.
- BRAILLE SHALL BE PLACED A MIN. OF 3/8" AND A MAX. OF 1/2" DIRECTLY BELOW THE TACTILE CHARACTERS, FLUSH LEFT OR CENTERED. EDGE OF SIGNS SHALL BE ROUNDED, CHAMFERED OR EASED AND CORNERS OF SIGNS SHALL HAVE A MIN. RADIUS OF 1/8".
- PICTORIAL SYMBOL SIGNS (PICTOGRAMS) SHALL BE ACCOMPANIED BY THE VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE OUTSIDE DIMENSION OF THE PICTOGRAM FIELD SHALL BE A MINIMUM OF 6" IN HEIGHT.
- EVERY EXIT SIGN AND DIRECTION EXIT SIGN SHALL HAVE PLAINLY LEGIBLE LETTERS NOT LESS THAN 6 INCHES HIGH WITH THE PRINCIPAL STROKES OF THE LETTERS NOT LESS THAN 3/4 INCH WIDE.
- THE WORD "EXIT" SHALL HAVE LETTERS HAVING WIDTH NOT LESS THAN 2 INCHES WIDE, EXCEPT THE LETTER 'I', AND THE MINIMUM SPACING BETWEEN LETTERS SHALL NOT BE LESS THAN 3/8 INCHES.
- THE WORD "EXIT" SHALL BE IN HIGH CONTRAST WITH BACKGROUND. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. TO ENSURE CONTINUED ILLUMINATION PROVIDE EMERGENCY BATTERY BACKUP.
- EXIT SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NO ALL SPACE ON THE LATCH SIDE, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT.
- EXIT SIGN & TYP. SIGNS WITH RAISED CHARACTERS AND BRAILLE SHALL BE LOCATED 48" MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST LINE OF BRAILLE AND 60 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS.
- MOUNTING LOCATION SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR.
- ILLUMINATED EXIT SIGNS SHALL BE CENTERED ABOVE THE EXIT DOOR.

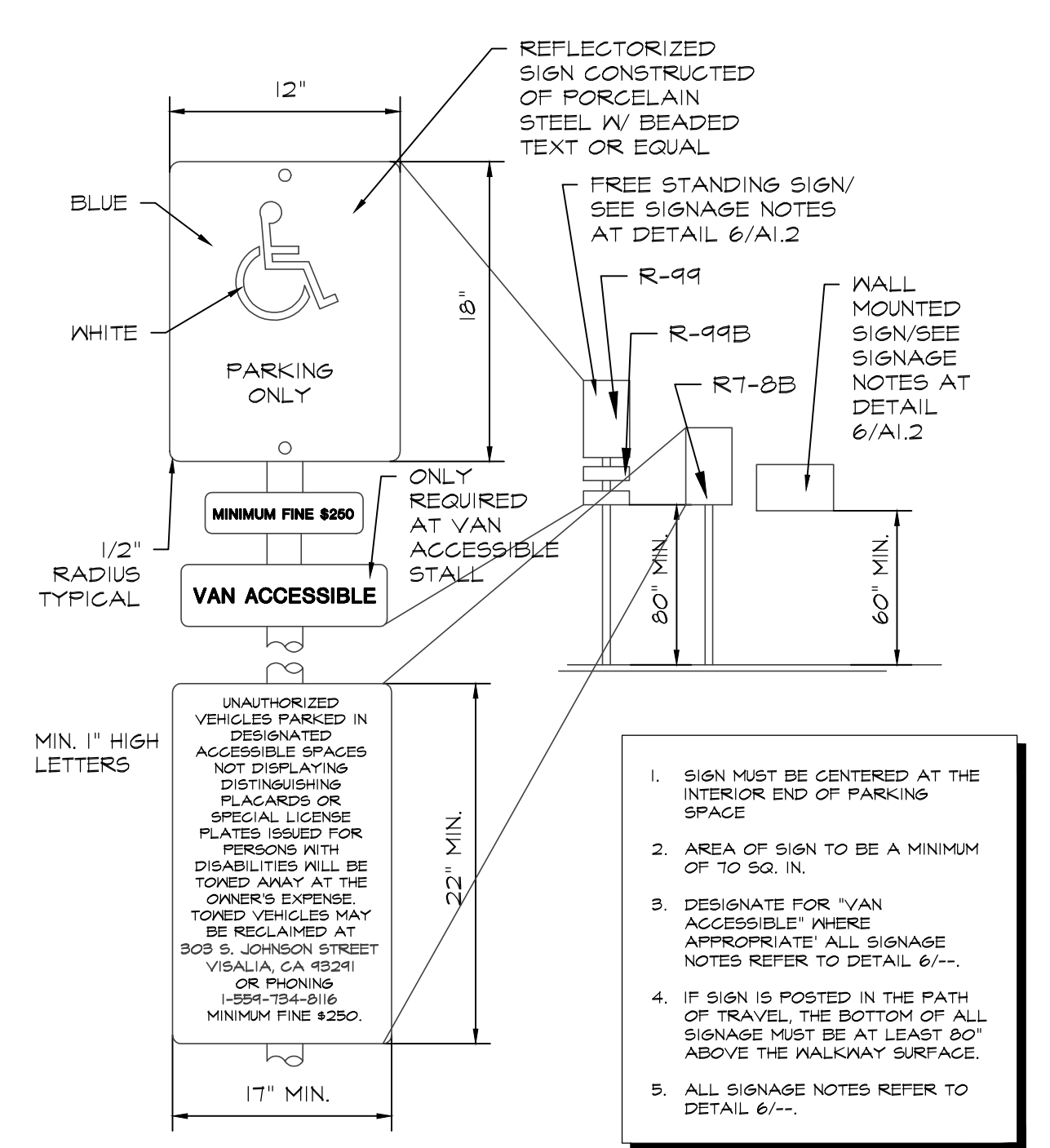
**6 SIGNAGE NOTES - TYPICAL**

SCALE: N.T.S.



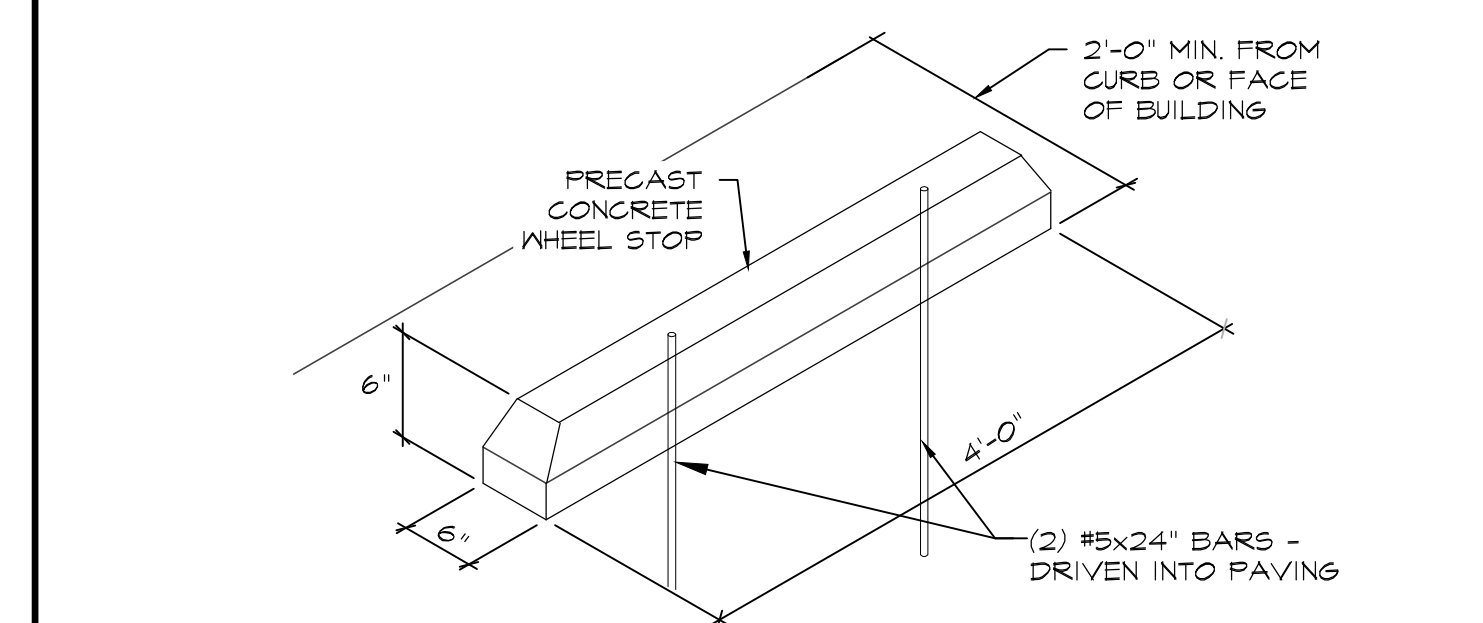
**10 BLDG WALKWAY DETAIL - TYPICAL**

SCALE: N.T.S.



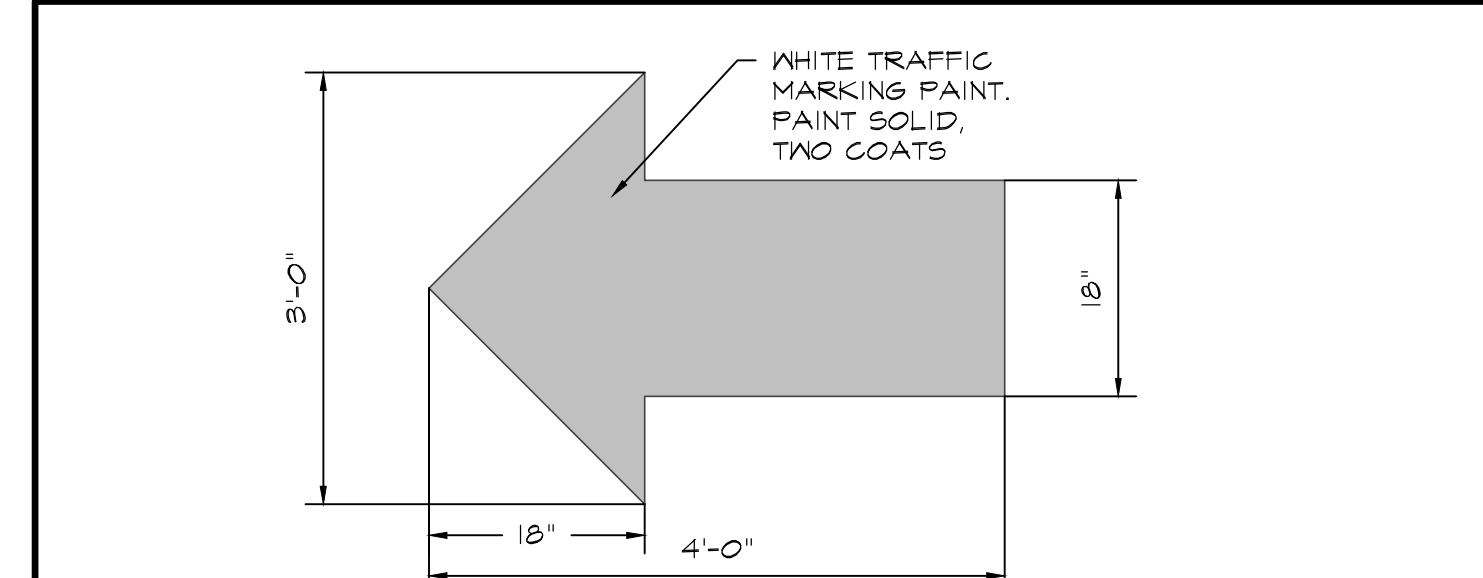
**5 ACCESSIBLE SIGNAGE - TYP.**

SCALE: N.T.S.



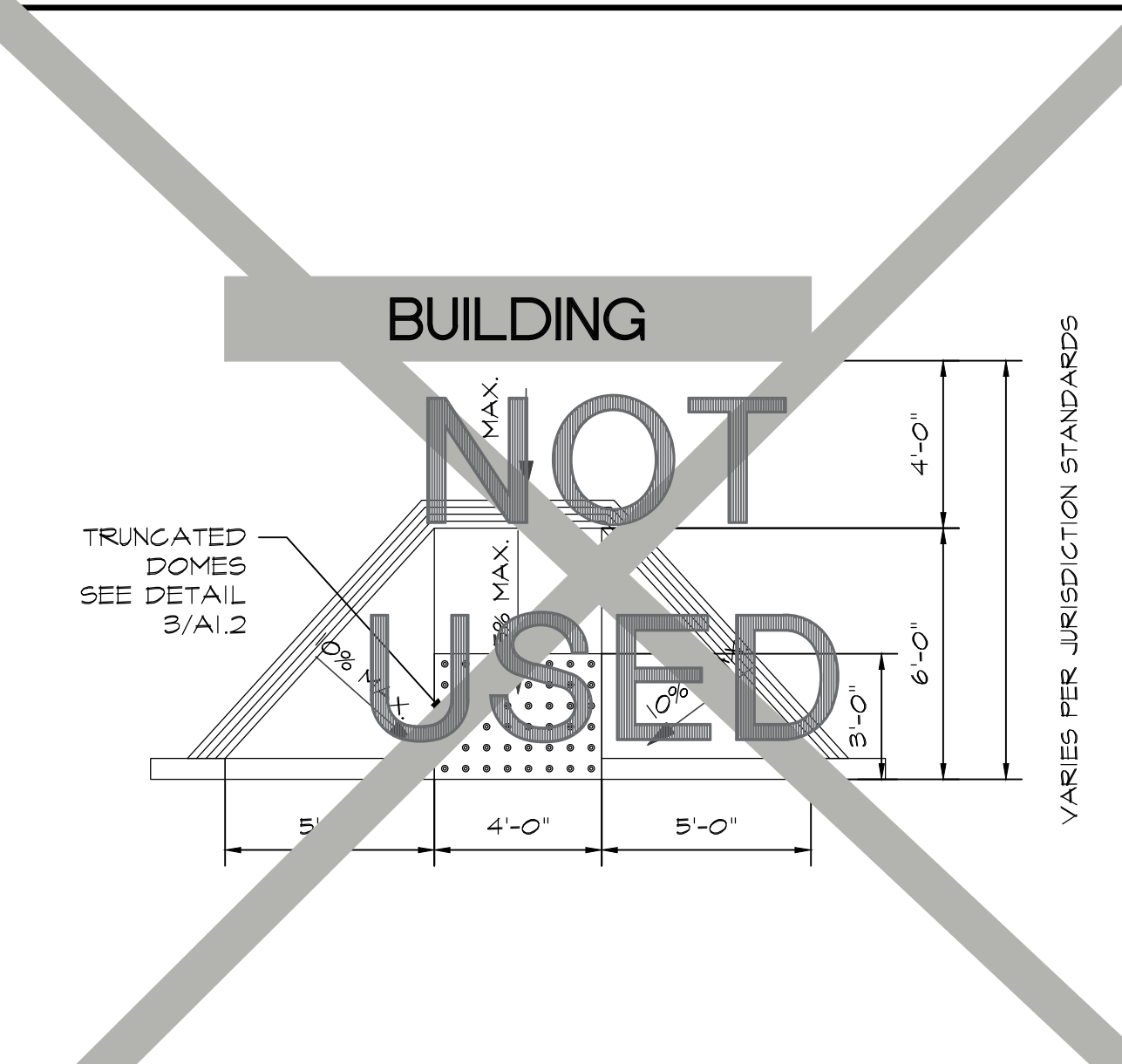
**8 WHEEL STOP - TYP.**

SCALE: N.T.S.



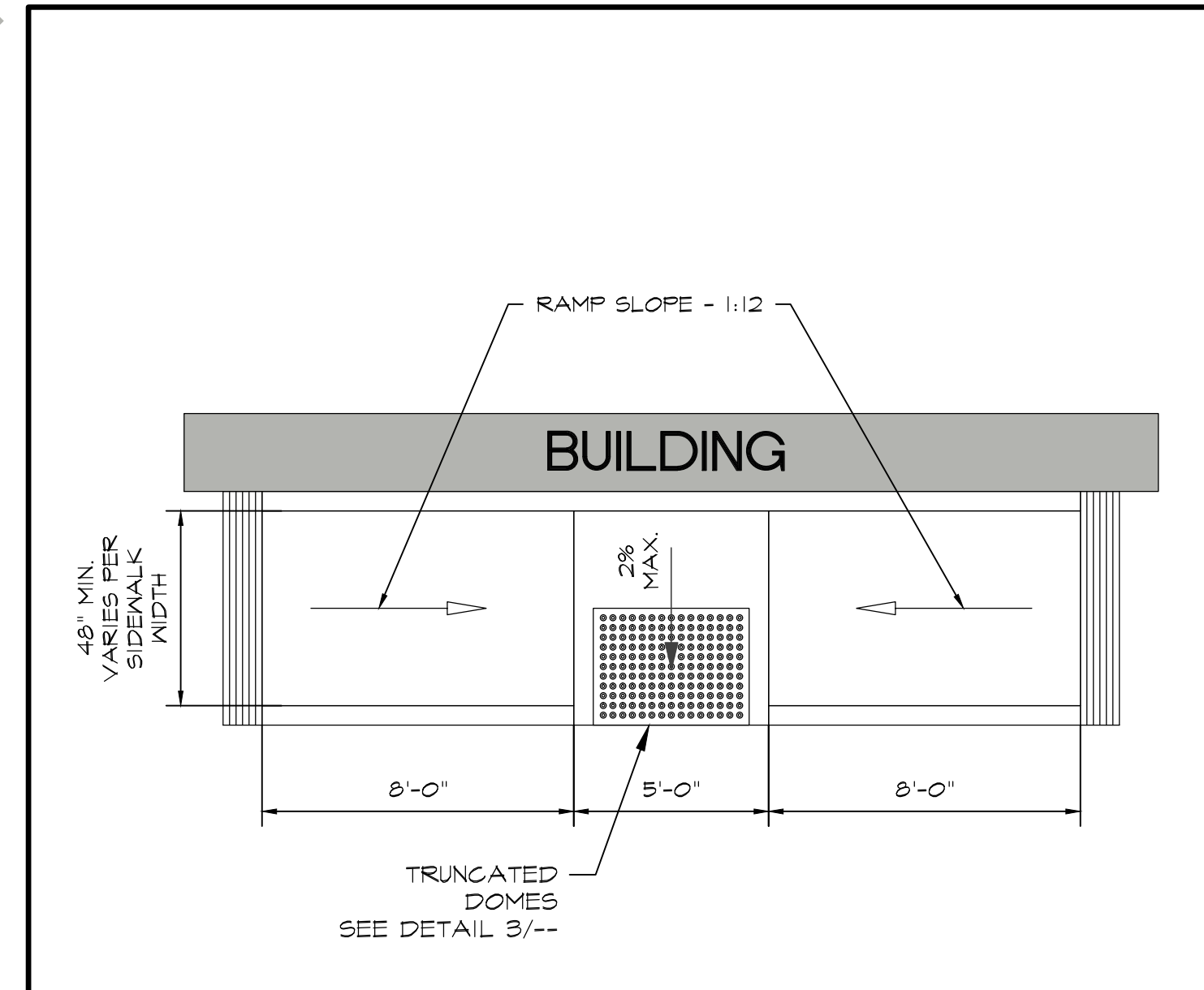
**7 DIRECTIONAL ARROW - TYP.**

SCALE: N.T.S.



**11 STANDARD CURB RAMP - TYP.**

SCALE: N.T.S.



**12 ACCESSIBLE CURB-CUT RAMP - TYP.**

SCALE: N.T.S.

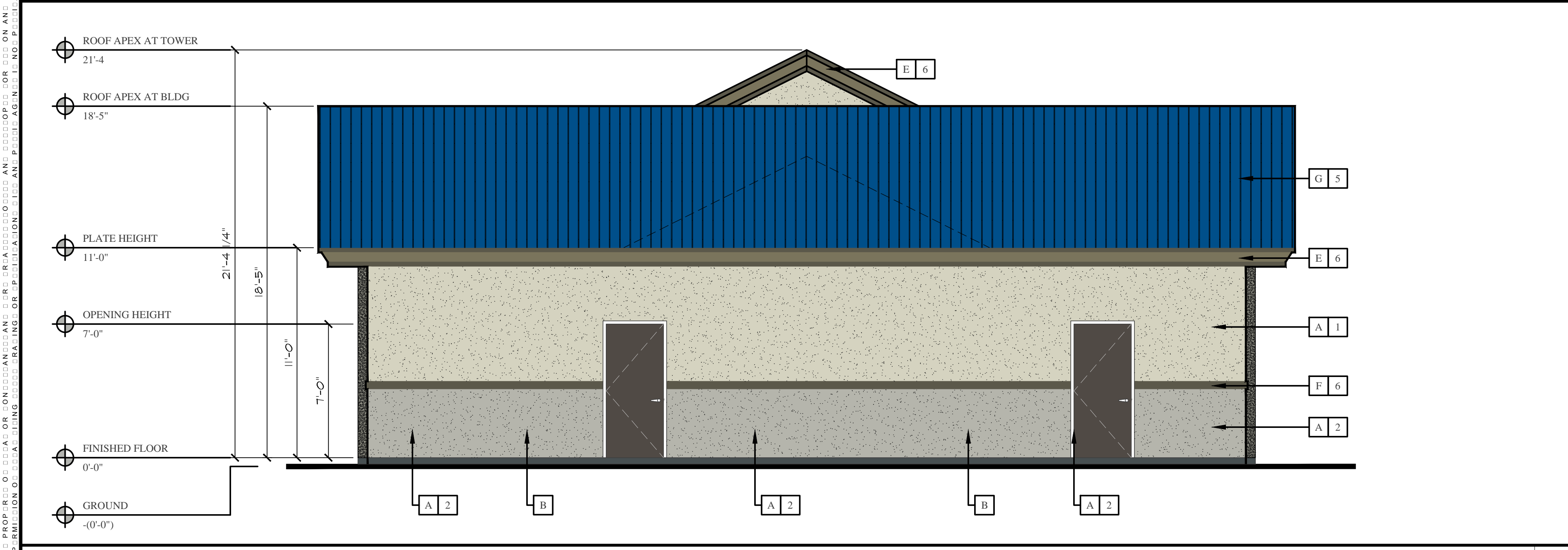
Revisions	Date

**SITE DETAILS**

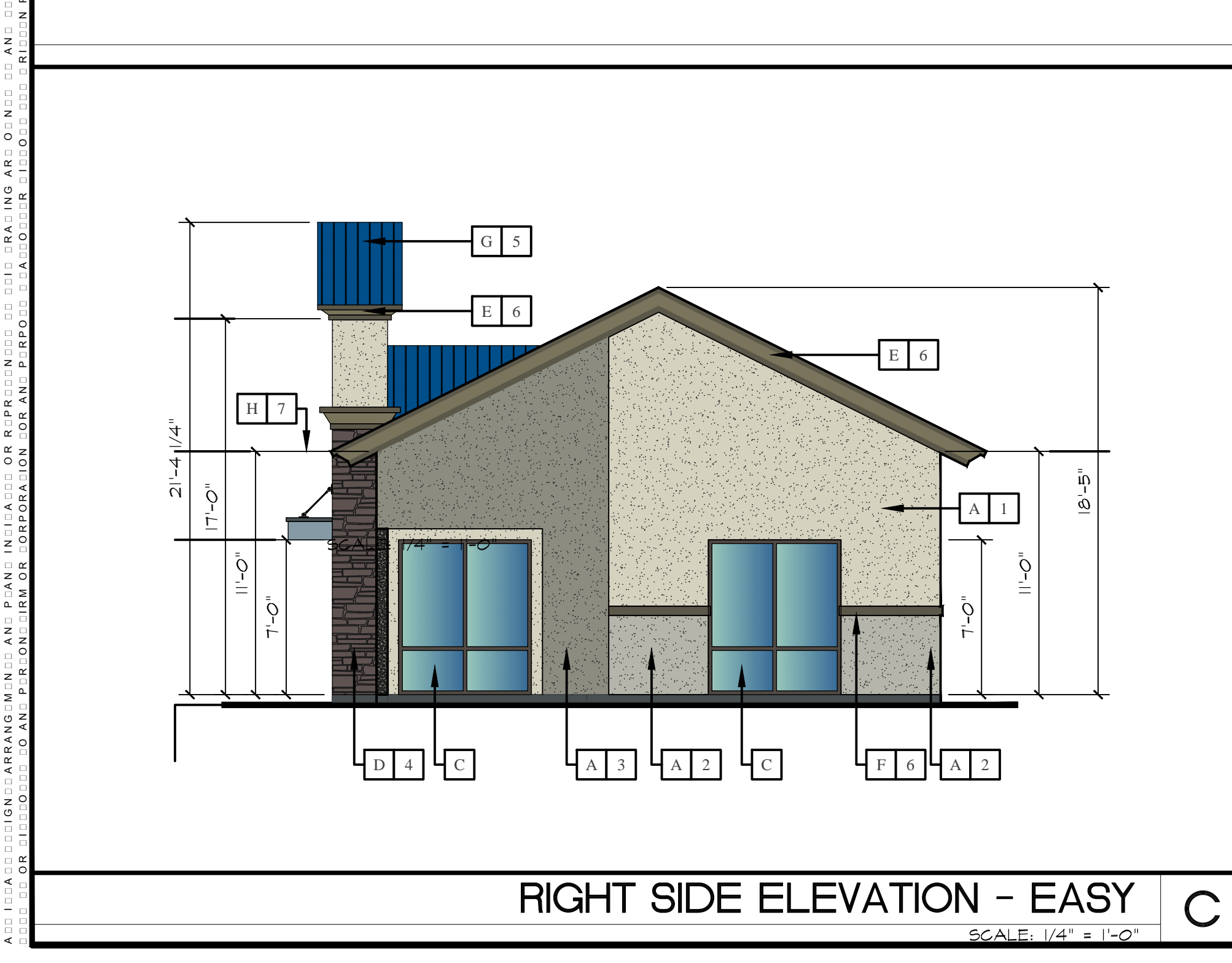
CVEAS JOB #:	2016
DATE:	2/2/2021
PLANNING SUBMITTAL #:	XX-XXXX
PLAN CHECK SUBMITTAL #:	XX-XXXX
DRAWN BY:	KX
CHECKED BY:	RL/KX
SCALE:	NOTED ON PLANS



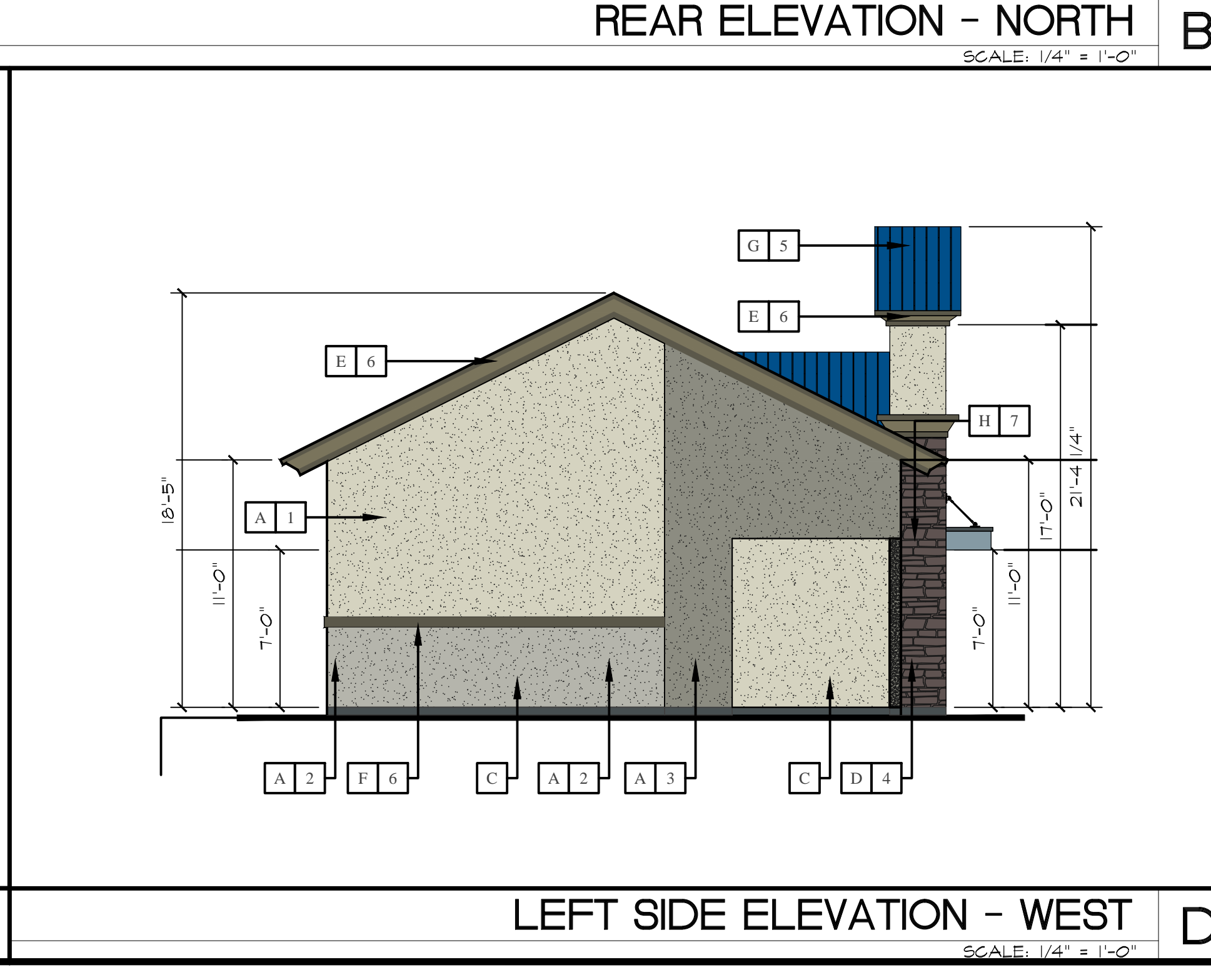
FRONT ELEVATION - SOUTH A  
SCALE: 1/4" = 1'-0"



REAR ELEVATION - NORTH B  
SCALE: 1/4" = 1'-0"



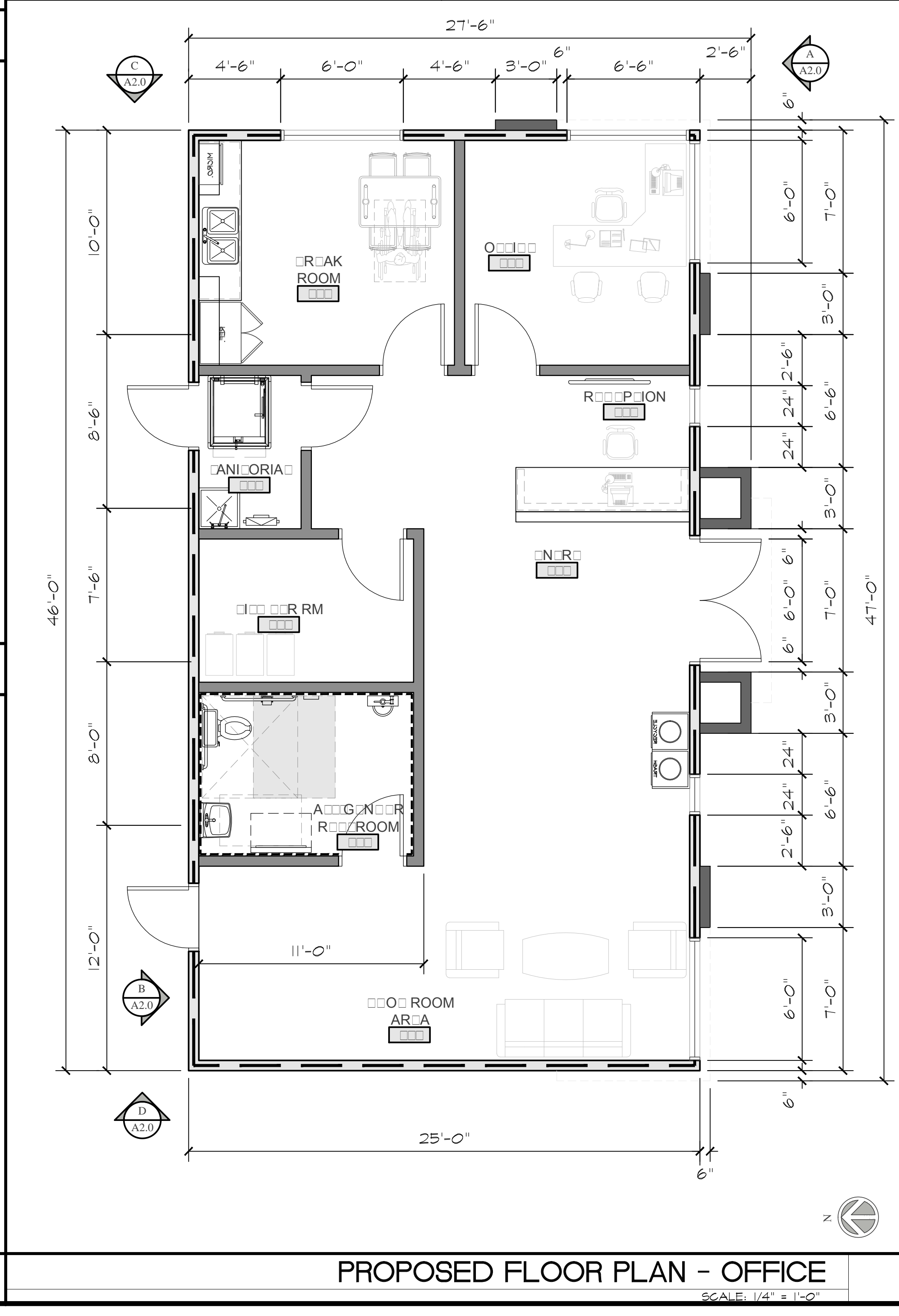
RIGHT SIDE ELEVATION - EAST C  
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION - WEST D  
SCALE: 1/4" = 1'-0"

COLOR SCHEDULE	
1	STUCCO FINISH #1: COLOR - SWISS COFFEE BEHR PPU4-02 OR EQUAL
2	STUCCO FINISH #2: COLOR - DOVE BEHR PPU5-01 OR EQUAL
3	STUCCO FINISH #3: COLOR - ESPRESSO MARTINI BEHR #N210-4 OR EQUAL
4	LEDGESTONE FINISH: <a href="https://www.homedepot.com/p/Prestige-Stone-Granite-Amber-Falls-6-in-x-24-in-Natural-Stacked-Stone-Veneer-Panel-Siding-Exterior-Interior-Wall-Tile-10-Boxes-55-sq-ft-TSAF-F-PL/310482646">https://www.homedepot.com/p/Prestige-Stone-Granite-Amber-Falls-6-in-x-24-in-Natural-Stacked-Stone-Veneer-Panel-Siding-Exterior-Interior-Wall-Tile-10-Boxes-55-sq-ft-TSAF-F-PL/310482646</a>
5	STANDING SEAM METAL ROOF: COLOR - RICH NAVY PPG-GIDDEN #5055 09/171
6	FOAM TRIM AND CORNICE FINISH: COLOR - BARONIAL BROWN BEHR #N170-1 OR EQUAL
7	METAL ANNING: COLOR - BLUEPRINT BEHR #5470-5

ELEVATION KEY NOTES	
A	3 COAT STUCCO FINISH: 7/8" MIN. THICKNESS OVER 17 GA x 1 1/2" HEXAGONAL PAPER BACKED WIRE LATH OVER 2-LAYERS OF TYPE 12' PAPER UNDER-LAYMENT
B	DOOR OPENING - REFER TO DOOR SCHEDULE ON SHEET A3.1 AND DETAIL(S) ON SHEET D6.
C	WINDOW OPENING - REFER TO WINDOW SCHEDULE ON SHEET A3.1 AND DETAIL(S) ON SHEET D6.
D	STONE VENEER PRESTIGE STONE & GRANITE REFER TO LINK.
E	FOAM CORNICE. REFER TO DETAIL.
F	FOAM TRIM. REFER TO DETAIL.
G	STANDING SEAM METAL ROOF. REFER TO LINK.
H	METAL ANNING W/ SUPPORTS. REFER TO LINK.
J	FACILITY SIGN AREA. SEPARATE PERMIT.



PROPOSED FLOOR PLAN - OFFICE  
SCALE: 1/4" = 1'-0"

Revisions	Date

PROPOSED OFFICE FLOOR PLAN AND ELEVATIONS

CVEAS JOB #: 2016

DATE: 2/2/2021

PLANNING SUBMITTAL #: XX-XXXX

PLAN CHECK SUBMITTAL #: XX-XXXX

DRAWN BY: KX

CHECKED BY: RL/KX

SCALE: NOTED ON PLANS

ALL DESIGN, DRAWING, PRINT, INITIALS OR REFERENCES TO BE MADE BY ANY PERSON SHALL BE THE PROPERTY OF THE DESIGNER. THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS.

CIVIL ENGINEERING • LAND SURVEYING • CONSULTING • STRUCTURAL DESIGN • ARCHITECTURAL DRAFTING • COMMERCIAL & RESIDENTIAL BUILDING DESIGN • PLANNING & PROJECT MANAGEMENT

# CITY OF VISALIA SITE PLAN REVIEW APPLICATION

- Additional information and assistance in filling out this application can be found at the City of Visalia website (www.visalia.city) or by calling (559) 713-4440-



This application MUST be filed out in its entirety and submitted with an acceptable site plan (see site plan minimum requirements & submittal details on Page 2). Failure to provide all requested information may result in rejection of your application and exclusion from the Site Plan Review agenda.

- Site Plan Review meetings are held on Wednesdays at 9am at City Hall East - 315 E Acequia Ave - Applicant(s) or Representative(s) must be present -

- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: BEYOND THE WOOD DESIGN, LLC Date: 02-03-2021

Project Description: CUSTOM WOOD HOME DECOR

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: \_\_\_\_\_

Property Owner: STEVE DUERRE

Applicant(s) Name: BOB LAQUE

Project Address/Location: 1220 NORTH MARCIN ST. UNIT B

Assessor Parcel Number: 085-340-048

Parcel Size (Acreage or Square Feet): \_\_\_\_\_ Building or Suite Square Footage: 2,500

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ 5,000

Describe All Proposed Building Modifications: ENCLOSED OFFICE AREA / ENCLOSED PAINT AREA

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 02/03/2021

SPR Agenda: 02/10/2021 Item No: \_\_\_\_\_

Zone: IL SPR No: 21-016

Historic District: Yes  No

Flood Zone: X  AE  X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: IT WAS USED AS A GYM

Proposed Building Use: WOOD CRAFTING SHOP

Proposed Hours of Operation: 6:00 AM to 3:00 PM

Days of Week In Operation (Circle): Su  M T W Th F Sa

Number of Employees Per Day: 2 Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Number of Customers Per Day (Estimated): 0 Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Predicted Peak Operating Hour: 6:00 AM to 3:00 PM

Describe Any Truck Delivery Schedule & Operations: NO DELIVERYS

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): N/A

Describe Any Special Events Planned for the Facility: N/A

**SITE PLAN MINIMUM REQUIREMENTS**

SITY PLAN REQUIREMENTS

- ⇒ Plan(s) must be clear, legible, and on a sheet size appropriate to easily convey all necessary project information. Suggested minimum sheet size for site plans is 11"x17" (Excludes tentative parcel and final maps)
- ⇒ Site plan shall provide for and indicate all of the following:
  - North arrow
  - Existing & proposed structures
  - Loading/unloading areas
  - All existing & proposed site features
  - Adjacent street names
  - Accessible path of travel from right of way
  - Site dimensions, including building
  - Refuse enclosures & containers
  - Accessible path of travel from ADA stall
  - Existing and proposed fencing at site
  - Valley oak trees (show drip line)
  - Location and width of drive approaches to site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed landscaping
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
  - Parking stalls (include ADA)
- ⇒ Submit 20 copies of the site plan with this application, folded to a legal size of 9" x 12" with the print on the outside (no rolled plans)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>ROB LADUE</u>	Signature of Owner or Authorized Agent: <u>ROB LADUE</u>	
Address: <u>13976 AVE 224</u>	Owner: <u>ROB LADUE</u>	Date: <u>02-03-2021</u>
City, State, Zip: <u>TULARE CA 93274</u>	Authorized Agent: <u>ROB LADUE</u>	Date: <u>02-03-2021</u>
Phone: <u>559-556-5418</u>		
Email: <u>STPANETKVALE@gmail.com</u>		

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable

**AGENCY AUTHORIZATION**

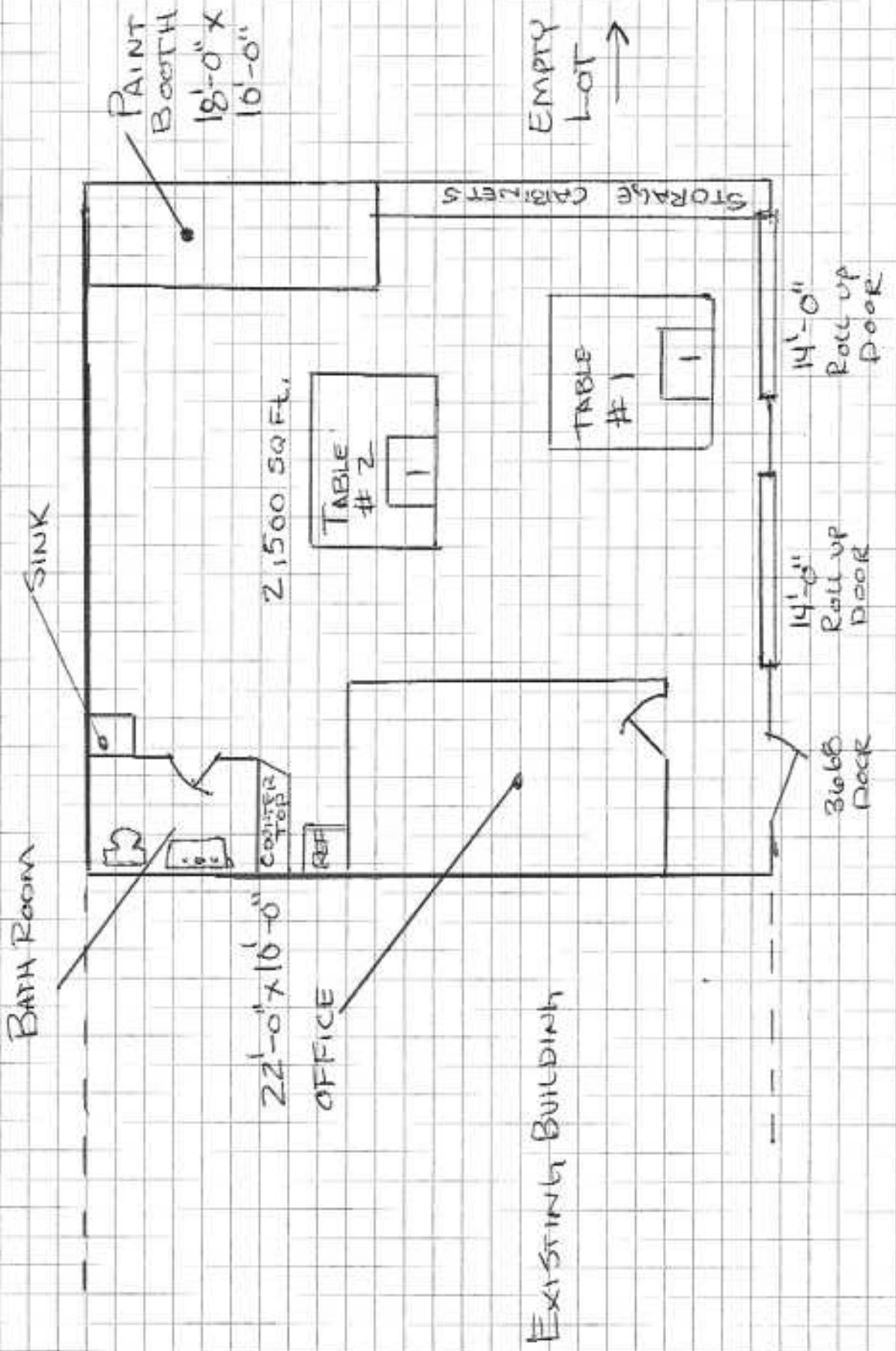
AGENCY AUTHORIZATION FORM

OWNER: Steve Duerre declare as follows: I am the owner of certain real property bearing assessor's parcel number (APN): 085-340-048

AGENT: I designate ROB LADUE to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to CITY OF VISALIA CA relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.  
 Executed this 02 day of 03, 20 21

OWNER	Signatures	AGENT
Designated by: <u>Steve Duerre</u> <span style="float: right;">2/3/2021</span>		
Signature of Owner: <u>Steve Duerre</u>	Signature of Agent: <u>Rob Ladue</u>	
Owner Mailing Address: <u>420 South Court Street</u>	Agent Mailing Address: <u>13976 Ave 224</u>	
City: <u>Visalia, CA 93291</u>	City: <u>Tulare, CA 93274</u>	
Owner Phone Number: <u>559-805-8599</u>	Agent Phone Number: <u>559-556-5418</u>	



**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
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  - Existing & proposed structures
  - Adjacent street names
  - Refuse enclosures & containers
  - Valley oak trees (show drip line)
  - Existing & proposed landscaping
  - Parking stalls (include ADA)
  - Loading/unloading areas
  - Accessible path of travel from right of way
  - Accessible path of travel from ADA stall
  - Location and width of drive approaches to site
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: Ernie Escobedo QK, INC. Signature of Owner or Authorized Agent\* \_\_\_\_\_  
 Address: 601 Pollasky Avenue, Suite 301 \_\_\_\_\_ 2/4/2021  
 City, State, Zip Clovis, CA 93612 Owner Date  
 Phone: 559-449-2400 \_\_\_\_\_ 2/4/2021  
 Email: Ernie.Escobedo@qkinc.com Authorized Agent\* Date

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

**OWNER:**

I, Steve Etchegaray, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):  
081-030-036 (40 Ac.)

**AGENT:**

I designate QK, INC. to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to develop a residential subdivision relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

OWNER	AGENT
Signatures	Signatures
<u>[Signature]</u> Signature of Owner	_____ Signature of Agent
<u>P.O. Box 964</u> Owner Mailing Address	_____ Agent Mailing Address
<u>Visalia, CA 93279</u>	_____
<u>(661) 829-8851</u> Owner Phone Number	_____ Agent Phone Number

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SITE PLAN REQUIREMENTS

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  - Adjacent street names
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  - Loading/unloading areas
  - Accessible path of travel from right of way
  - Accessible path of travel from ADA stall
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 City, State, Zip Clovis, CA 93612 Owner Date  
 Phone: 559-449-2400 \_\_\_\_\_ 2/4/2021  
 Email: Ernie.Escobedo@qkinc.com Authorized Agent\* Date

\* If signed by an authorized agent, the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

**OWNER:**

I, Steve Etchegaray, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):  
081-030-036 (40 Ac.)

**AGENT:**

I designate QK, INC. to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to develop a residential subdivision relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

OWNER	AGENT
Signatures	Signatures
<u>[Signature]</u> Signature of Owner	_____ Signature of Agent
<u>P.O. Box 964</u> Owner Mailing Address	_____ Agent Mailing Address
<u>Visalia, CA 93279</u>	_____
<u>(661) 829-8851</u> Owner Phone Number	_____ Agent Phone Number

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GENERAL PROJECT INFORMATION

Project/Business Name: \_\_\_\_\_ Date: \_\_\_\_\_

Project Description: \_\_\_\_\_

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: \_\_\_\_\_

Property Owner: \_\_\_\_\_

Applicant(s) Name: \_\_\_\_\_

Project Address/Location: \_\_\_\_\_

Assessor Parcel Number: \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

Parcel Size (Acreage or Square Feet): \_\_\_\_\_ Building or Suite Square Footage: \_\_\_\_\_

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ \_\_\_\_\_

Describe All Proposed Building Modifications: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

- - - THIS AREA FOR CITY STAFF USE ONLY - - -

Date Received: 02/04/2021

SPR Agenda: 02/10/2021 Item No. \_\_\_\_\_

R-1-20/R-1-5  
 Zone: \_\_\_\_\_ SPR No. 21-017

Historic District: Yes  No

Flood Zone: X  AE  X/AE

OPERATIONS & TRAFFIC INFORMATION

**- - A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS - -**

Existing/Prior Building Use: \_\_\_\_\_

Proposed Building Use: \_\_\_\_\_

Proposed Hours of Operation: \_\_\_\_\_

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Number of Customers Per Day (Estimated): Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Predicted Peak Operating Hour: \_\_\_\_\_

Describe Any Truck Delivery Schedule & Operations: \_\_\_\_\_

\_\_\_\_\_

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees  
 (Provide Separate Attachment if Necessary): \_\_\_\_\_

\_\_\_\_\_

Describe Any Special Events Planned for the Facility: \_\_\_\_\_

\_\_\_\_\_



**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

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  - Loading/unloading areas
  - Accessible path of travel from right of way
  - Accessible path of travel from ADA stall
  - Location and width of drive approaches to site
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: _____	Signature of Owner or Authorized Agent*	
Address: _____	Owner _____	Date _____
City, State, Zip _____	Authorized Agent* _____	Date _____
Phone: _____		
Email: _____		

\* If signed by an authorized agent , the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:

I, \_\_\_\_\_, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):

\_\_\_\_\_


AGENT:

I designate \_\_\_\_\_, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to \_\_\_\_\_ relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

<u>OWNER</u>	Signatures	<u>AGENT</u>
Signature of Owner _____		Signature of Agent _____
Owner Mailing Address _____		Agent Mailing Address _____
Owner Phone Number _____		Agent Phone Number _____

 Iron Ridge Parcels



**APN: 81-030-036**  
**Size: 40 Acres**

**APN: 81-030-046**  
**Size: 10 Acres**

ROAD 88

WGOSHEN AVE

WGOSHEN AVE

WGOSHEN AVE

W PERSHING CT

W PERSHING AVE

W GROVE AVE

W HURLEY AVE

SIDNEY ST

W SCHOOL AVE

N SHIRKIRD

N SHIRKIRD

N SHIRKIRD

N SHIRKIRD

N SHIRKIRD

N SHIRKIRD

N SHIRKIRD

N SHIRKIRD



0 Feet 650

Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



# MEMO

**Date:** February 4, 2021  
**To:** City of Visalia  
**From:** Trevor Stearns  
**Subject:** Iron Ridge Project Description  
**cc:** Name or delete

We are submitting this for Site Plan Review primarily to explore the possibility of doing a Zone Change to eliminate the R-1-20 Zone, and develop the 10.31 acre site adjacent to Shirk Road with forty-one (41) R-1-5 lots and the forty acres located west of this property and within the Tier One Urban Development Boundary also with one hundred ninety-seven (197) R-1-5 lots. The northern half of the 10.3-acre property is zoned for R-1-20 and the southern half is zoned for R-1-5. The R-1-20 Zone was intended to be a buffer between residential development and the Light Industrial lots to the north. We are proposing to use the entry street to the proposed residential development along with a 51'-wide landscape buffer (in a LLD) as the buffer, instead of R-1-20 lots. Our intent is to screen the light industrial uses with a masonry wall, trees, and landscaping. Access to the forty acres would be along the main east-west entry drive and Road 88 on the site's western boundary. In addition, we intend to include a stub street to our southern boundary if access is required there. Shirk Road is identified in the General Plan as a four-lane arterial roadway. The site is two-thirds of a mile to State Route 198 along Shirk Road. Road 88 is identified as a two lane collector. Right of way will need to be dedicated for both roadways.

Typist's Initials

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- Application submittal deadline is 4pm on Thursdays to be scheduled for the next available meeting -

GENERAL PROJECT INFORMATION

Project/Business Name: Dutch Bros Coffee Date: 1/16/21

Project Description: 950 square foot Dutch Bros Coffee with double drive-through lanes

Site Plan Review Resubmittal: Yes  No  If Resubmittal, Previous Site Plan Review Number: \_\_\_\_\_

Property Owner: BayCal Ontario Partners, LLC.

Applicant(s) Name: Russ Orsi - Dutch Bros

Project Address/Location: Parcel 2 of the Visalia Parkway development - SWQ Visalia Parkway & S Mooney Blvd

Assessor Parcel Number: TBD 126-960-001

Parcel Size (Acreage or Square Feet): 37,441 sf Building or Suite Square Footage: 950 sf

Are There Any Proposed Building Modifications: Yes  No

Estimated Cost of Modifications to Building: \$ N/A

Describe All Proposed Building Modifications: New building, the lot is currently vacant.

--- THIS AREA FOR CITY STAFF USE ONLY ---

Date Received: 02/03/2021

SPR Agenda: 02/10/2021 Item No. \_\_\_\_\_

Zone: CR SPR No. 21-018

Historic District: Yes  No

Flood Zone: X  AE  X/AE

-- A SEPARATE, DETAILED OPERATIONAL STATEMENT IS HIGHLY RECOMMENDED FOR ALL SUBMITTALS --

OPERATIONS & TRAFFIC INFORMATION

Existing/Prior Building Use: The site is currently vacant and a part of the overall Visalia Parkway development.

Proposed Building Use: Dutch Bros Coffee. Please refer to Project Narrative for further details.

Proposed Hours of Operation: 5am - 11 pm

Days of Week In Operation (Circle): Su M T W Th F Sa

Number of Employees Per Day: Existing NA Proposed 15-20 (4-6 per maximum peak shift)

Number of Customers Per Day (Estimated): Existing NA Proposed TBD.

Predicted Peak Operating Hour: 7am-9am.

Describe Any Truck Delivery Schedule & Operations: None.

Please Identify Any Unique or Specific Traffic Patterns That Will Require Accommodations For Operations, Customers, or Employees (Provide Separate Attachment if Necessary): None anticipated.

Describe Any Special Events Planned for the Facility: None anticipated.

**SITE PLAN MINIMUM REQUIREMENTS**

SITE PLAN REQUIREMENTS

- ⇒ Submit a digital copy of the site plan(s) and completed application on a flash drive or equivalent (PDF format preferred, hard paper copies not accepted).
- ⇒ Digital copies must be clear, legible, and on a layout sized appropriately to convey all necessary project information.
- ⇒ Site plan shall provide for and indicate all of the following:
  - North arrow
  - Existing & proposed structures
  - Loading/unloading areas
  - All existing & proposed site features
  - Adjacent street names
  - Accessible path of travel from right of way
  - Site dimensions, including building
  - Refuse enclosures & containers
  - Accessible path of travel from ADA stall
  - Existing and proposed fencing at site
  - Valley oak trees (show drip line)
  - Location and width of drive approaches to site
  - Public improvements (curbs, sidewalks, utility poles, hydrants, street lights, etc.)
  - Existing & proposed landscaping
  - Tentative maps shall adhere to requirements of Visalia Municipal Code Section 16
  - Parking stalls (include ADA)

REQUIRED SIGNATURE

Applicant Information (Final comments will be mailed to the name and address provided below)

Name: <u>Russ Orsi - Dutch Bros</u>	Signature of Owner or Authorized Agent*	
Address: <u>110 S.W. 4th Street,</u>		
City, State, Zip <u>Grants Pass, OR 97526</u>	Owner _____	Date _____
Phone: <u>(916)765-7270</u>	DocuSigned by: <u>Russ Orsi</u>	<u>01/16/2021   6:17 AM PST</u>
Email: <u>Russ.Orsi@dutchbros.com</u>	Authorized Agent* _____	Date _____

\* If signed by an authorized agent , the "Agency Authorization" information below must be completed for this application to be considered acceptable.

**AGENCY AUTHORIZATION**

AGENCY AUTHORIZATION FORM

OWNER:

I, James Shehadey, declare as follows; I am the owner of certain real property bearing assessor's parcel number (APN):  
261-600-130

AGENT:

I designate Russ Orsi, Dutch Bros Coffee, to act as my duly authorized agent for all purposes necessary to file an application for, and obtain a permit to construct Dutch Bros Coffee relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this 19th day of January, 2021.

OWNER	AGENT
Signatures	Signatures
DocuSigned by: <u>James Shehadey</u>	DocuSigned by: <u>Russ Orsi</u>
Signature of Owner	Signature of Agent
<u>405 N. Palm Avenue</u>	<u>PO Box 1929, Grants Pass OR 97528</u>
Owner Mailing Address	Agent Mailing Address
<u>Fresno, CA 93701</u>	
<u>cell: 559 273-2179</u>	<u>cell: 916-765-7270</u>
Owner Phone Number	Agent Phone Number



LOOKING SOUTH-WEST



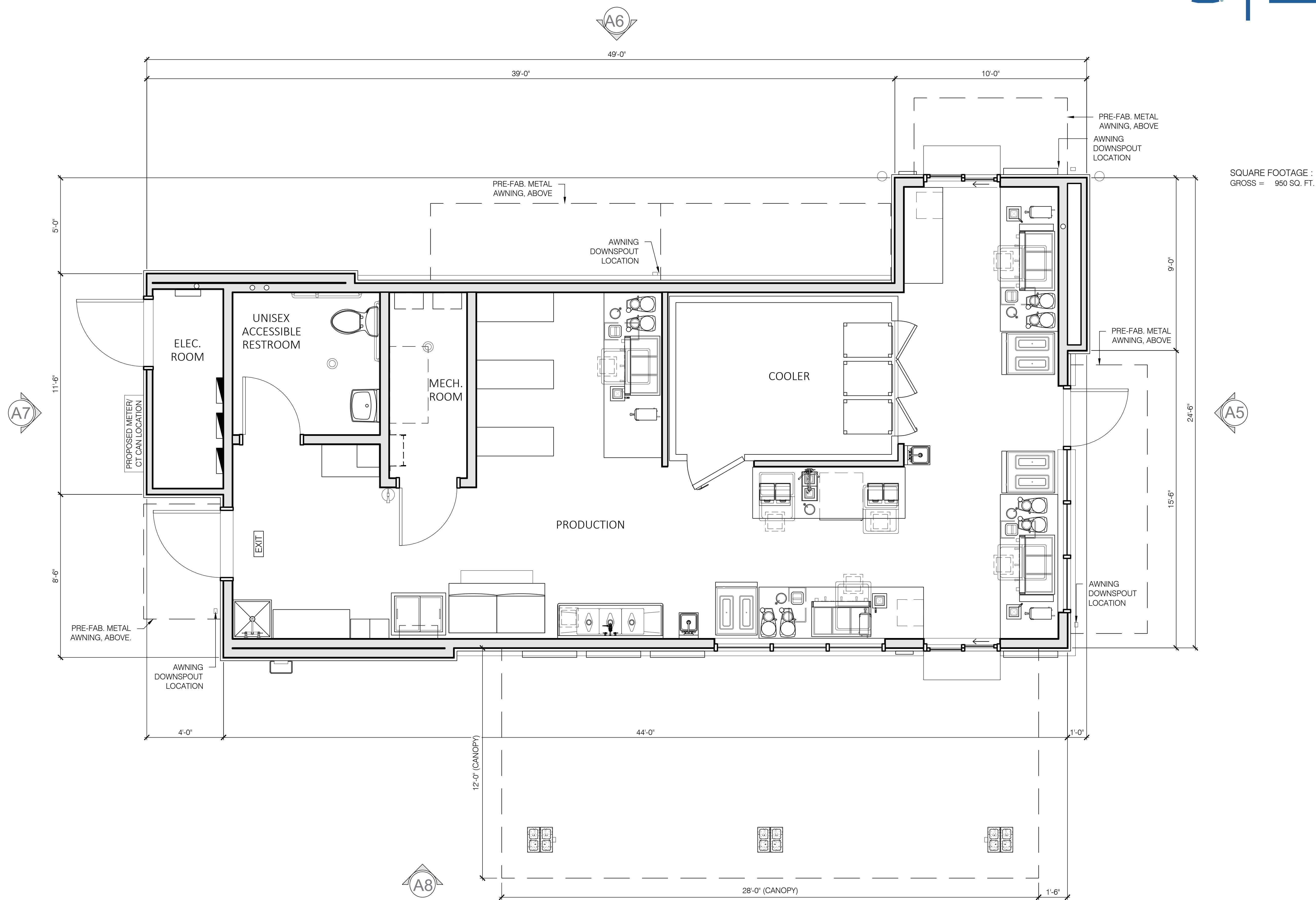
LOOKING SOUTH-EAST



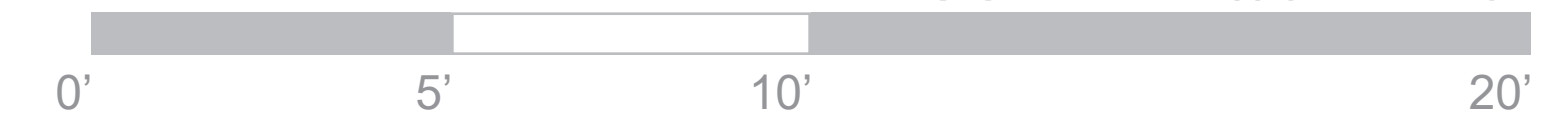
LOOKING NORTH-EAST



LOOKING NORTH-WEST



SCALE: 3/8" = 1'-0"

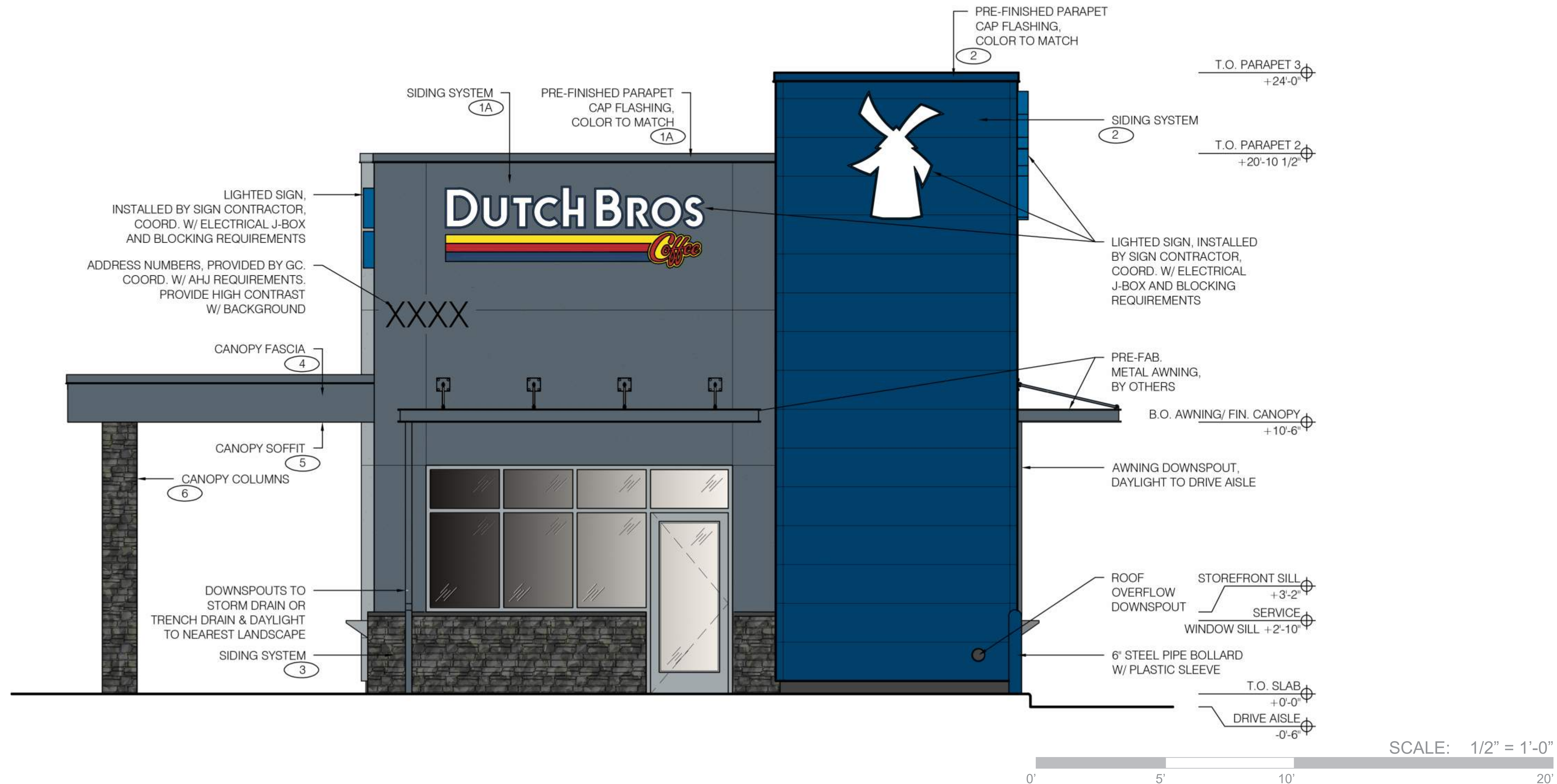






SIDING SCHEDULE - ALTERNATE w/ CANOPY				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	STUCCO	-	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH	COLOR: BLDG DB DARK GRAY
1B	STUCCO	-	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH	COLOR: BLDG DB LIGHT GRAY
ZONE 2 (TOWER)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 & 3030 w/ MATCHING PANEL CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
	STONE SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL	COLOR: PEWTER
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	-	METAL FASCIA; FLAT	3 SIDES; COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x8, T&G, 1/8" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.

NOTE: PROVIDE 3"x2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY

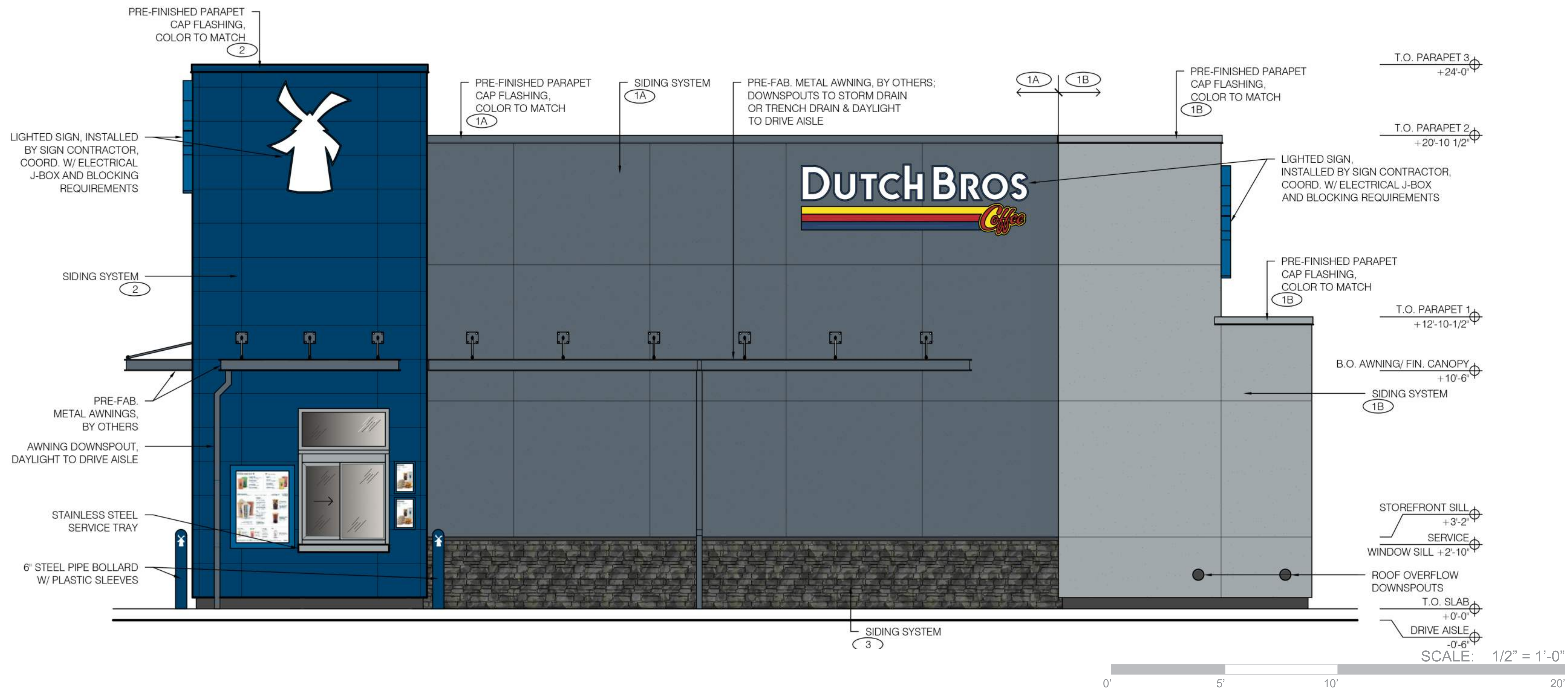


SCALE: 1/2" = 1'-0"



SIDING SCHEDULE - ALTERNATE w/ CANOPY				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	STUCCO	-	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH	COLOR: BLDG DB DARK GRAY
1B	STUCCO	-	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH	COLOR: BLDG DB LIGHT GRAY
ZONE 2 (TOWER)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 & 3030 w/ MATCHING PANEL CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
	STONE SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL	COLOR: PEWTER
ZONE 4 (FRAMED CANOPY)				
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5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x8, T&G, 1/8" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.

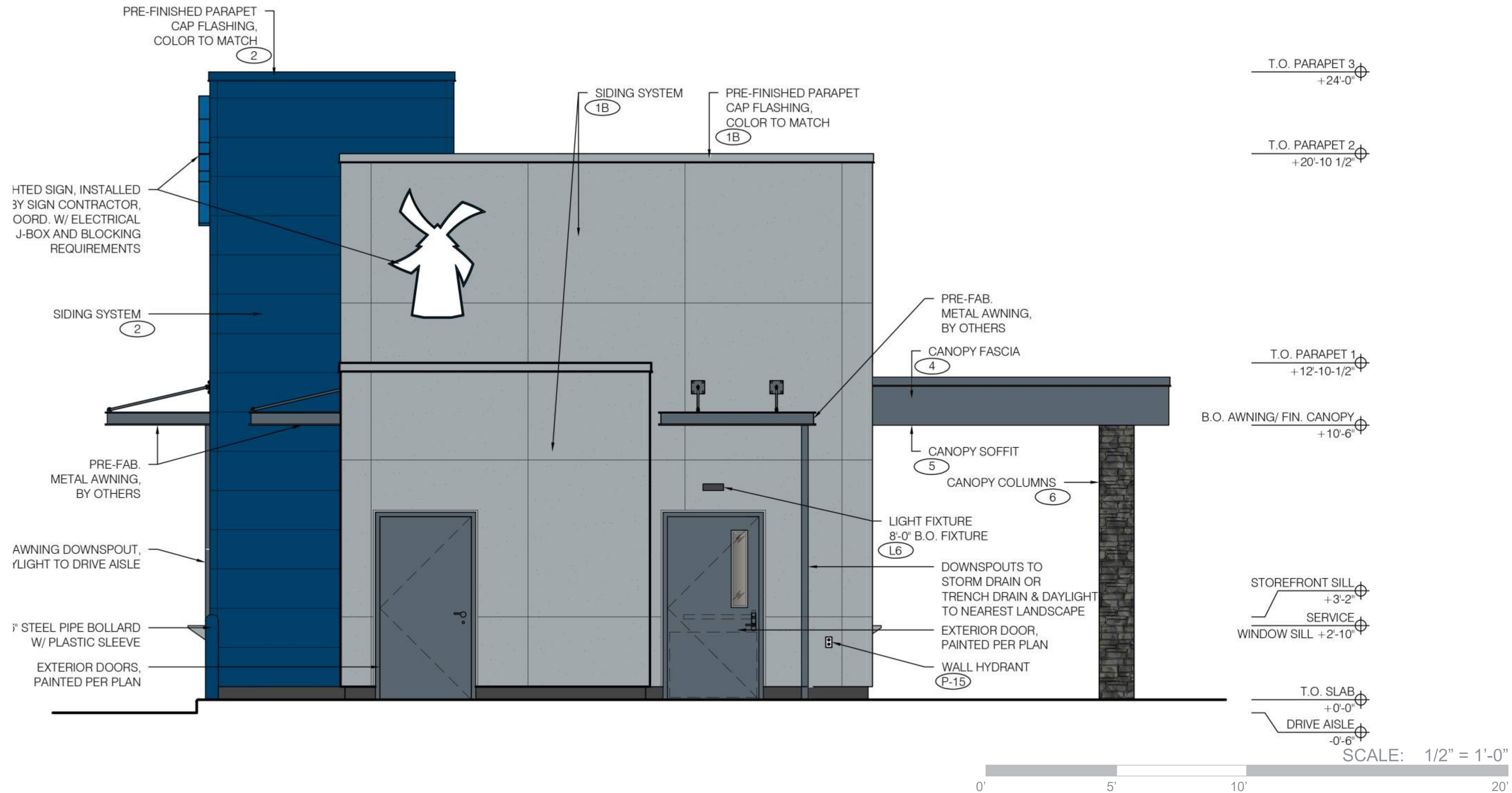
NOTE: PROVIDE 3"x2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY



### SIDING SCHEDULE - ALTERNATE w/ CANOPY

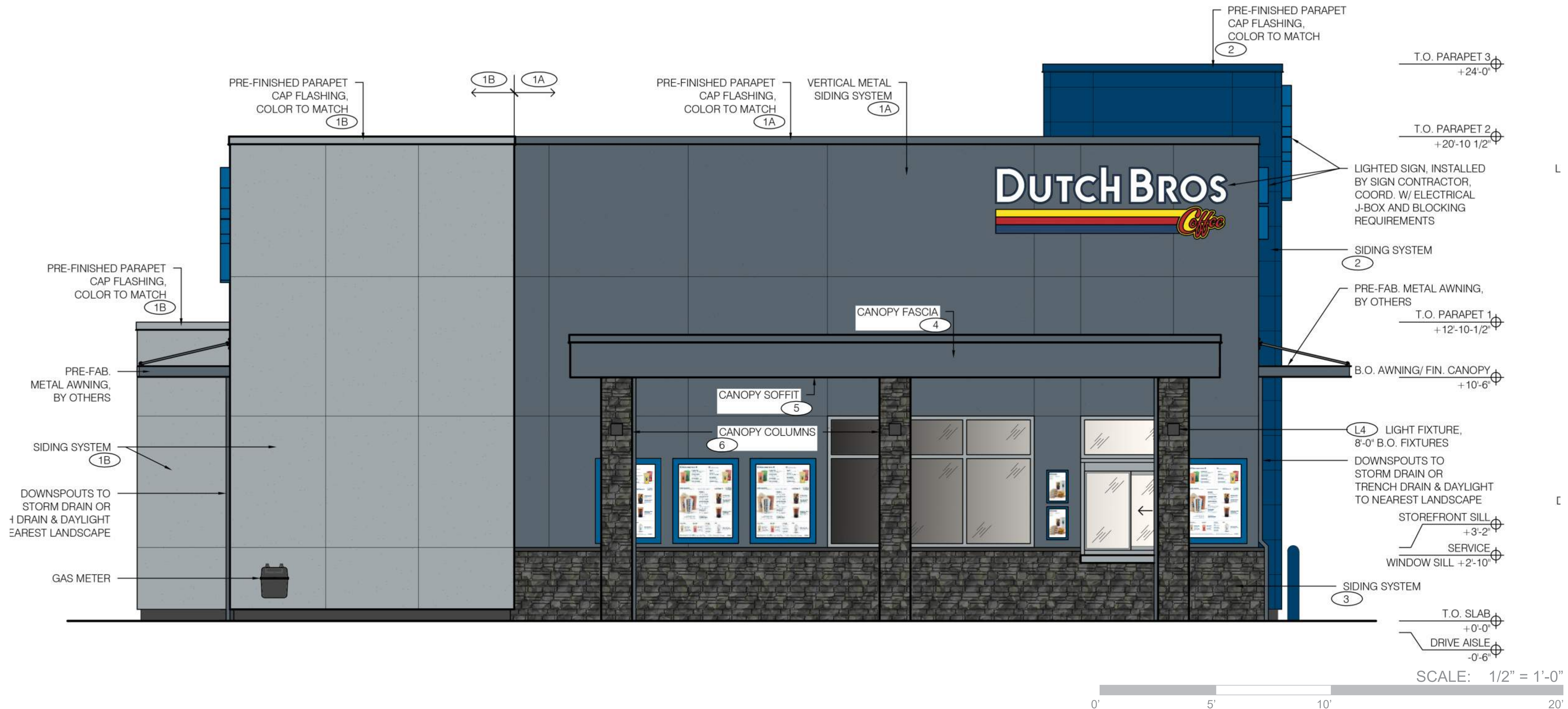
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	STUCCO	-	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH	COLOR: BLDG DB DARK GRAY
1B	STUCCO	-	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH	COLOR: BLDG DB LIGHT GRAY
ZONE 2 (TOWER)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 & 3030 w/ MATCHING PANEL CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
	STONE SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL	COLOR: PEWTER
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6	COLUMNS	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.

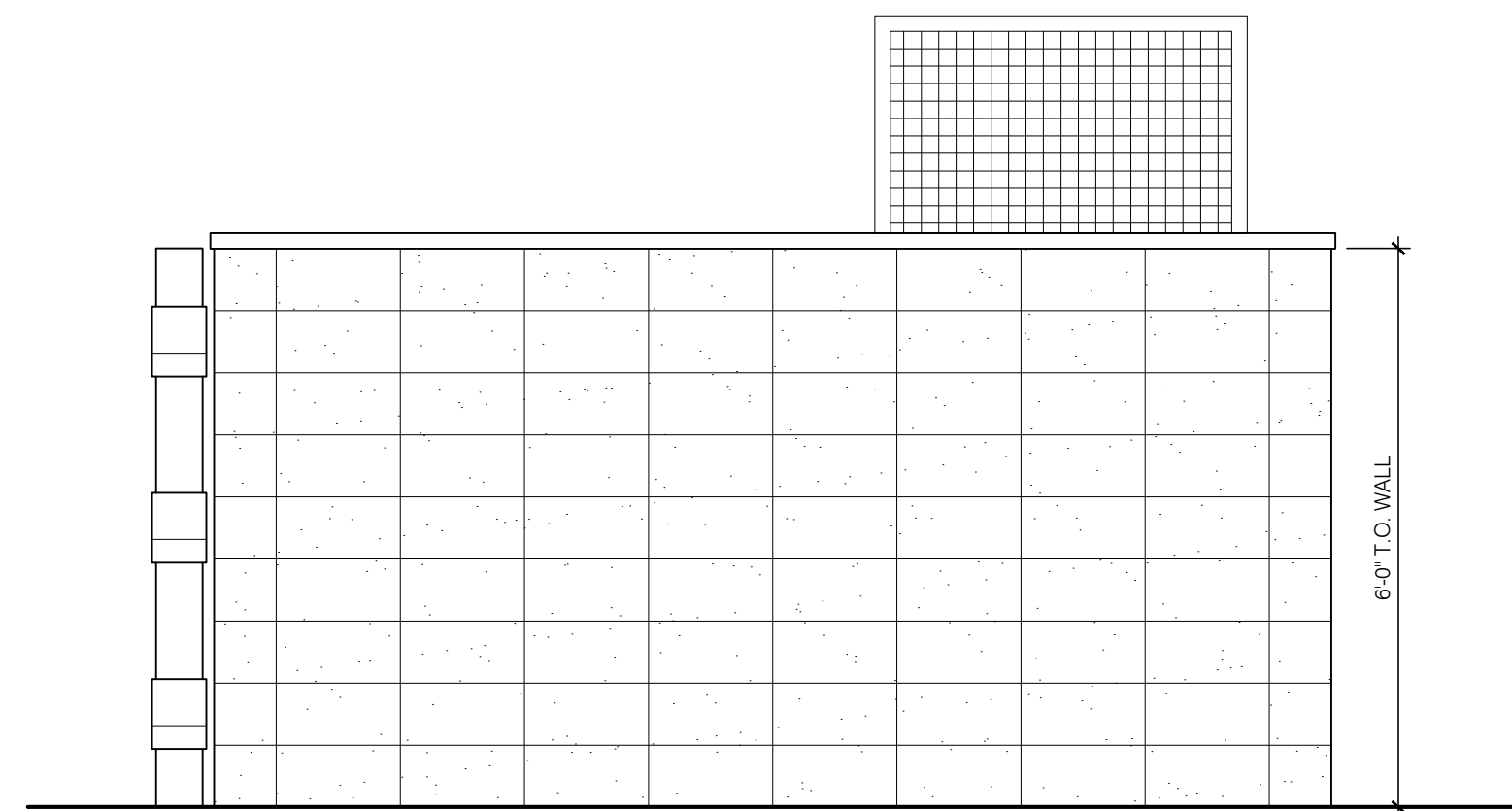
NOTE: PROVIDE 3"x2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY



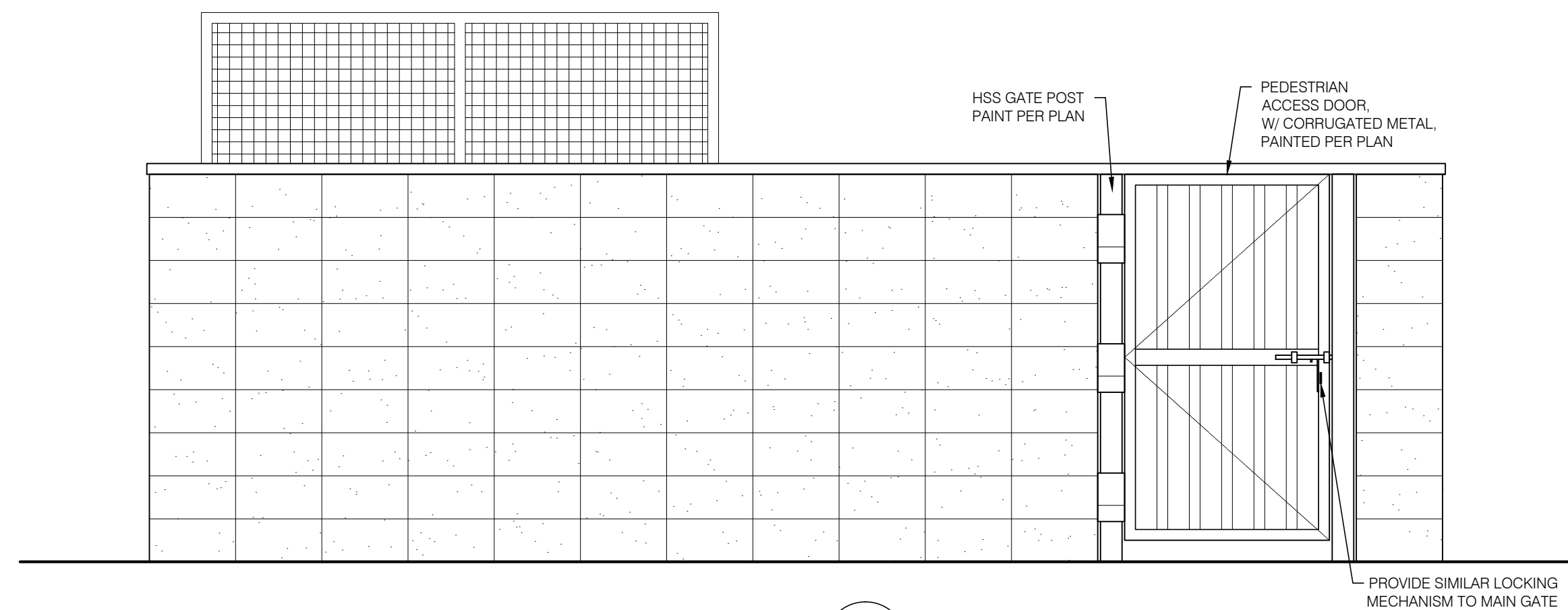
SIDING SCHEDULE - ALTERNATE W/ CANOPY				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	STUCCO	-	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH	COLOR: BLDG DB DARK GRAY
1B	STUCCO	-	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH	COLOR: BLDG DB LIGHT GRAY
ZONE 2 (TOWER)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 & 3030 w/ MATCHING PANEL CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
	STONE SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL	COLOR: PEWTER
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	-	METAL FASCIA; FLAT	3 SIDES; COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x8, T&G, 1/8" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.

NOTE: PROVIDE 3"x2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY

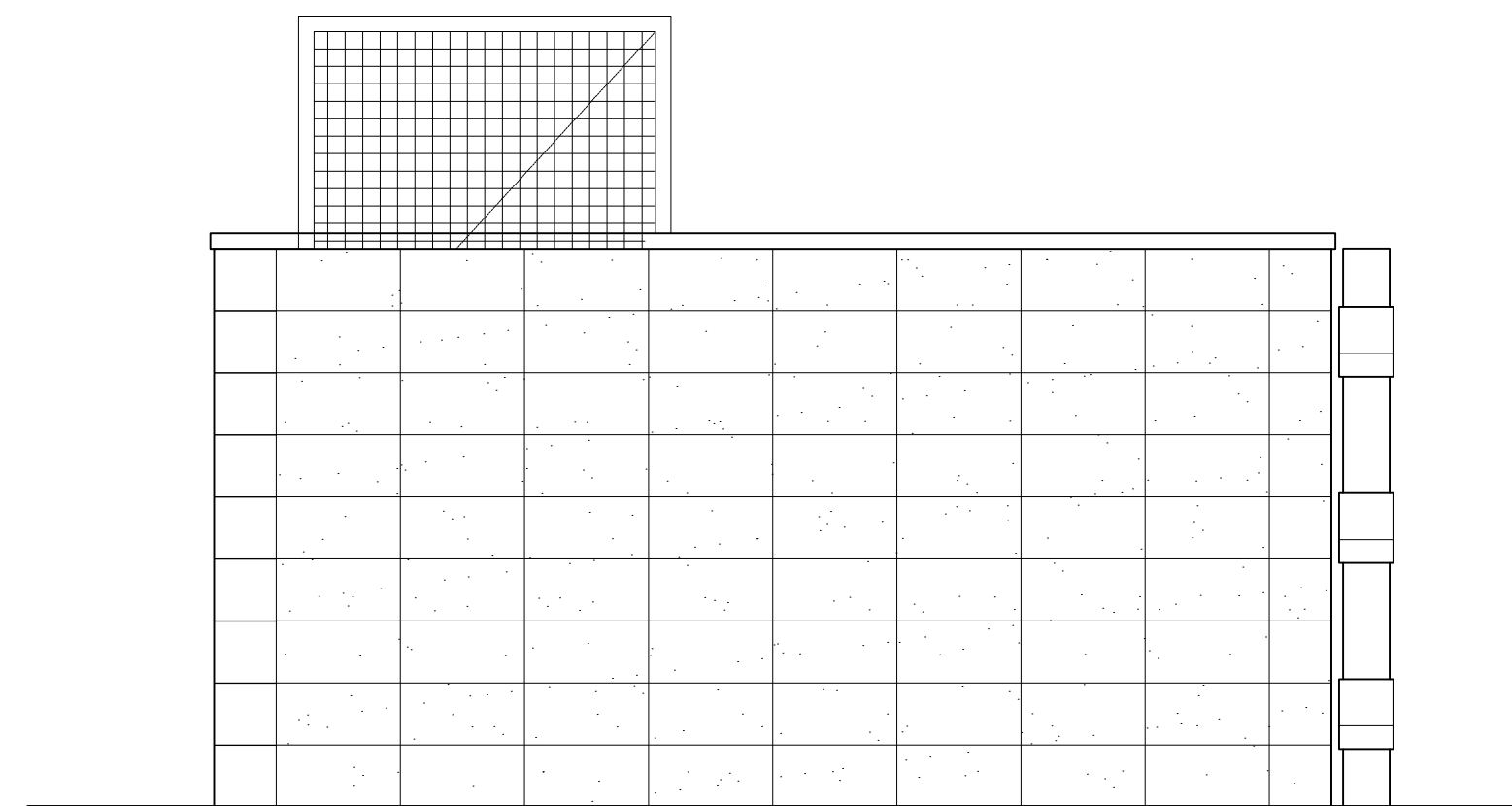




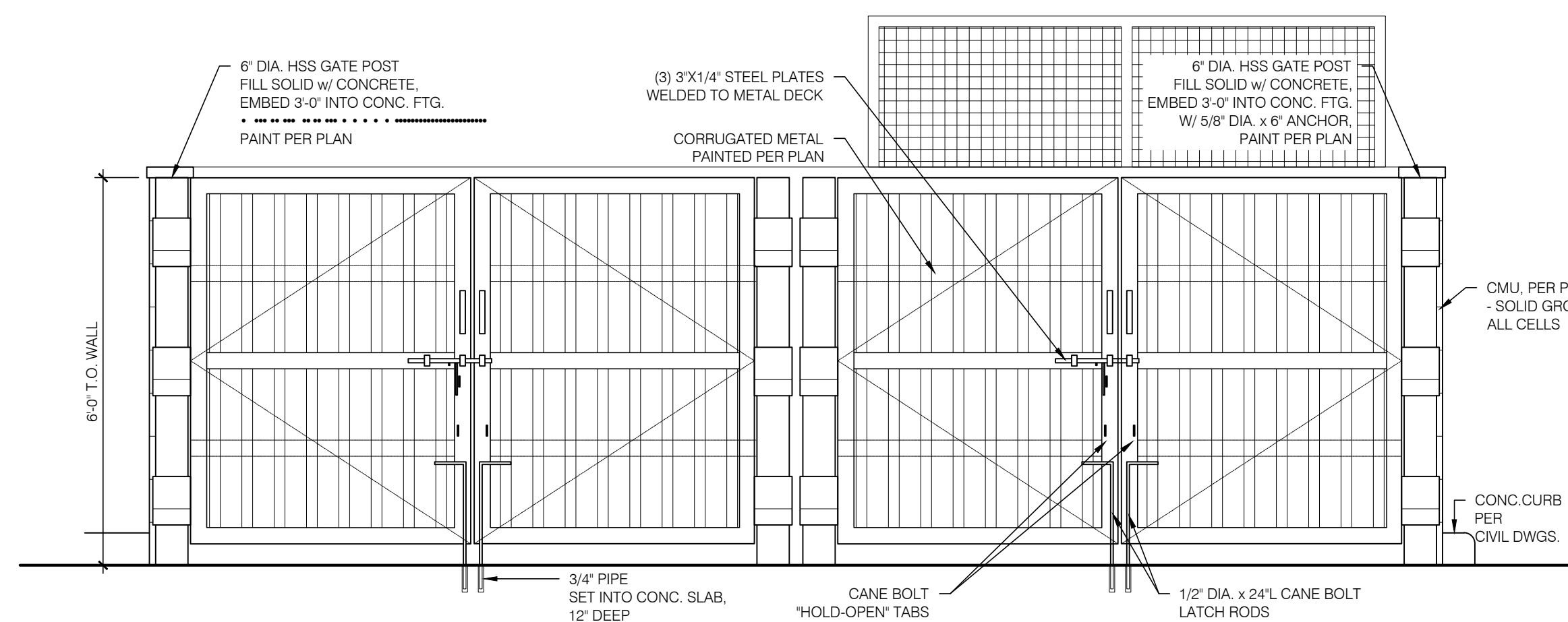
5 TRASH ENCLOSURE SIDE ELEVATION  
SCALE: 1/2" = 1'-0"



4 TRASH ENCLOSURE SIDE ELEVATION  
SCALE: 1/2" = 1'-0"

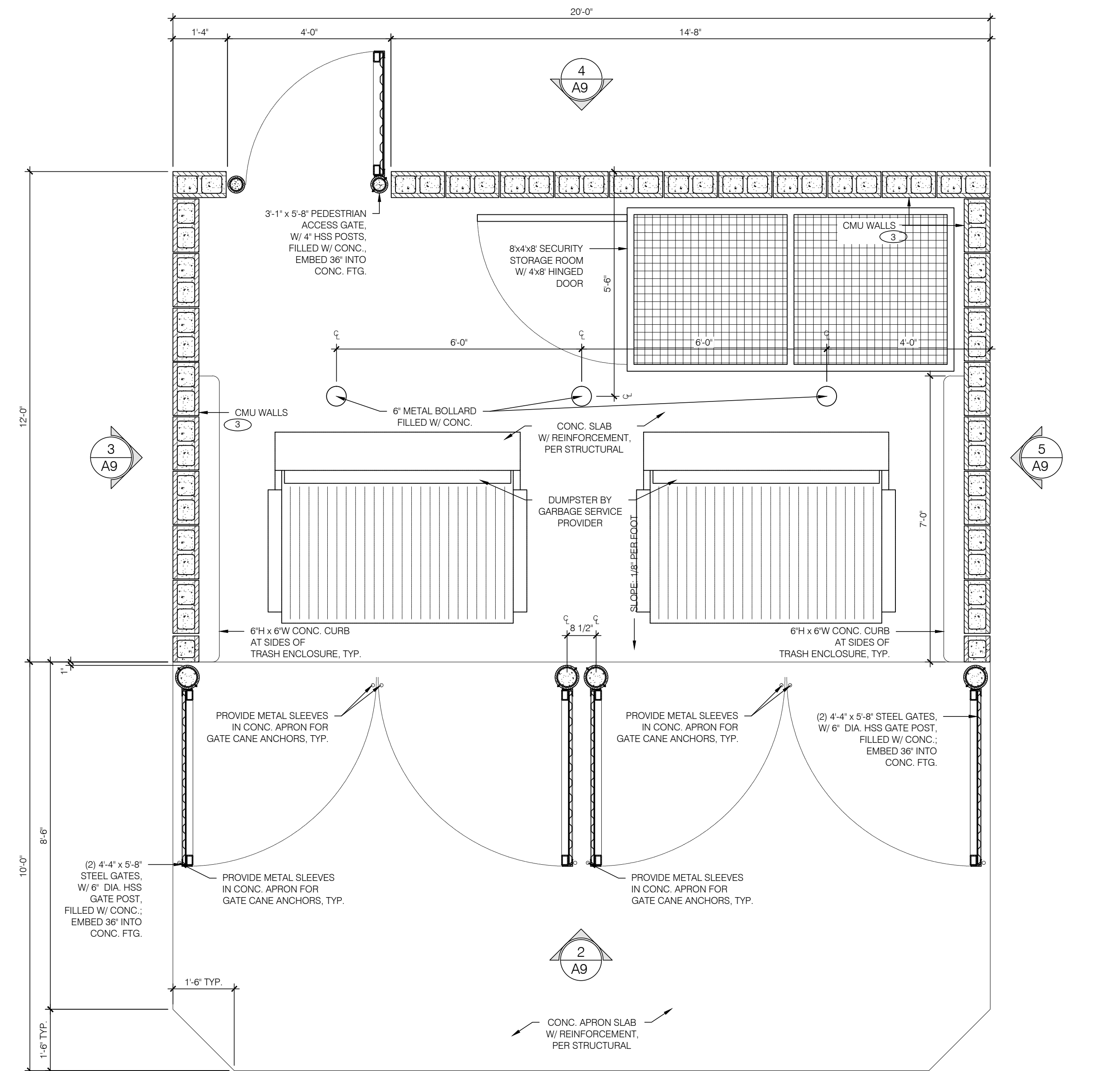


3 TRASH ENCLOSURE SIDE ELEVATION  
SCALE: 1/2" = 1'-0"



2 TRASH ENCLOSURE FRONT ELEVATION  
SCALE: 1/2" = 1'-0"

TRASH ENCLOSURE MATERIALS				
ID	MATERIAL	MANUFACTURER	COLOR	NOTES
3	CMU BLOCK	WILLAMETTE-GRAYSTONE	CHARCOAL	SPLIT FACE, 8x16x8, 8x8x8 AS NECESSARY
	CMU CAP	WILLAMETTE-GRAYSTONE	CHARCOAL	12x16x2
PT-2	PAINT	SHERWIN-WILLIAMS	-	BLDG DB DARK GRAY, GATES BODY
PT-3	PAINT	SHERWIN-WILLIAMS	-	BLDG DB BLUE, GATE FRAMES & POSTS



1 TRASH ENCLOSURE PLAN  
SCALE: 1/2" = 1'-0"



**FIBER CEMENT BOARD**  
 MANUFACTURER: NICHIIHA  
 PROFILE: ILLUMINATION  
 COLOR: BLDG DB BLUE



**3-COAT STUCCO SYSTEM**  
 MANUFACTURER: -  
 PROFILE: ACRYLIC MEDIUM SAND FINISH  
 COLOR: BLDG DB GRAY DARK



**3-COAT STUCCO SYSTEM**  
 MANUFACTURER: -  
 PROFILE: ACRYLIC MEDIUM SAND FINISH  
 COLOR: BLDG DB GRAY LIGHT



**CULTURED STONE**  
 MANUFACTURER: ELDORADO STONE  
 PROFILE: CLIFFSTONE - BANFF SPRINGS  
 COLOR: PER MFR.



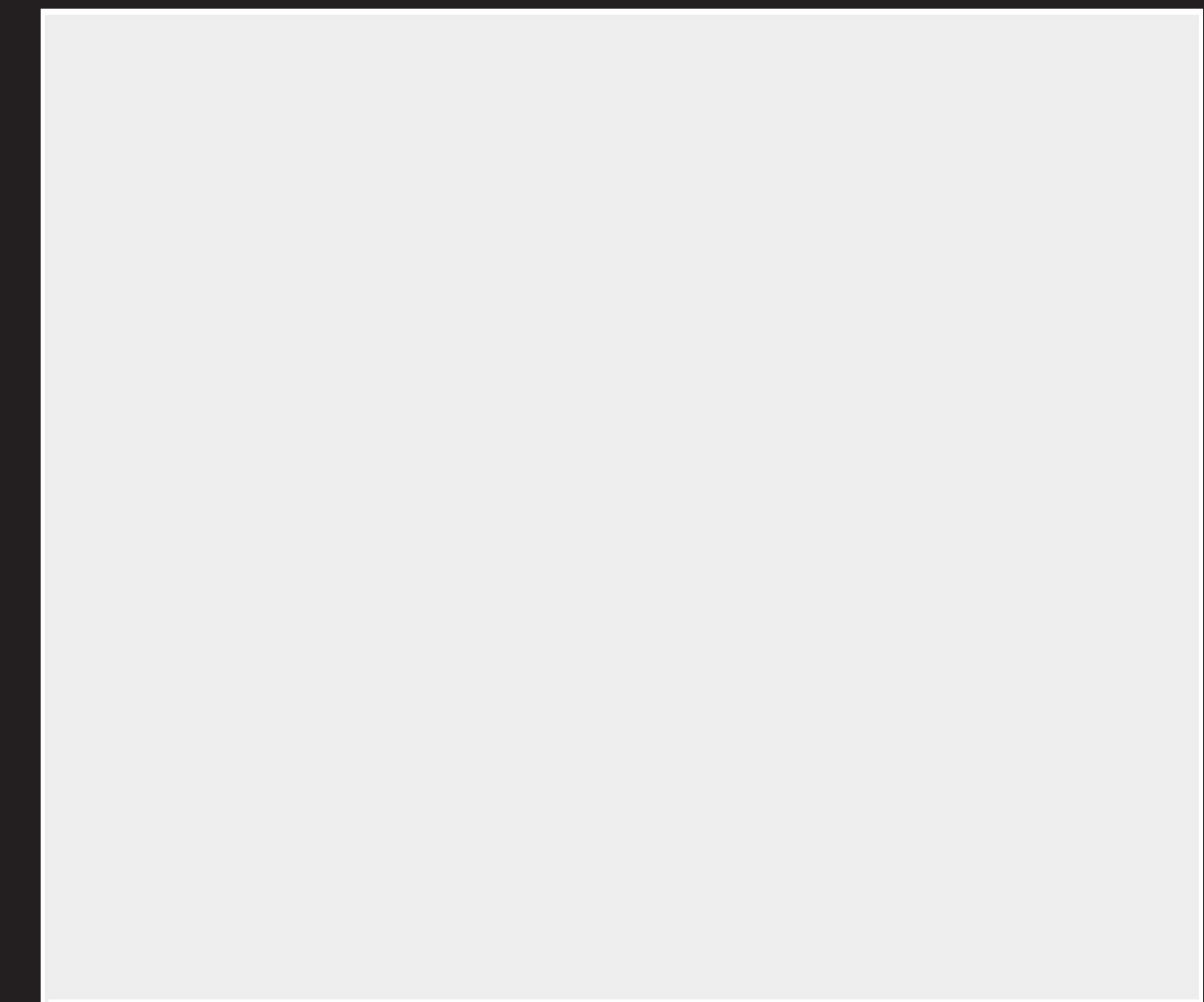
**CANOPY SOFFIT**  
 MANUFACTURER: HEWN  
 PROFILE: NW SPRUCE  
 NATURAL, SEALED  
 COLOR: PER MFR.



**WINDOW SYSTEM**  
 MANUFACTURER: KAWNEER OR SIMILAR  
 PROFILE: CLEAR ANODIZED ALUMINUM  
 FINISH: CLEAR NO 14 / 17

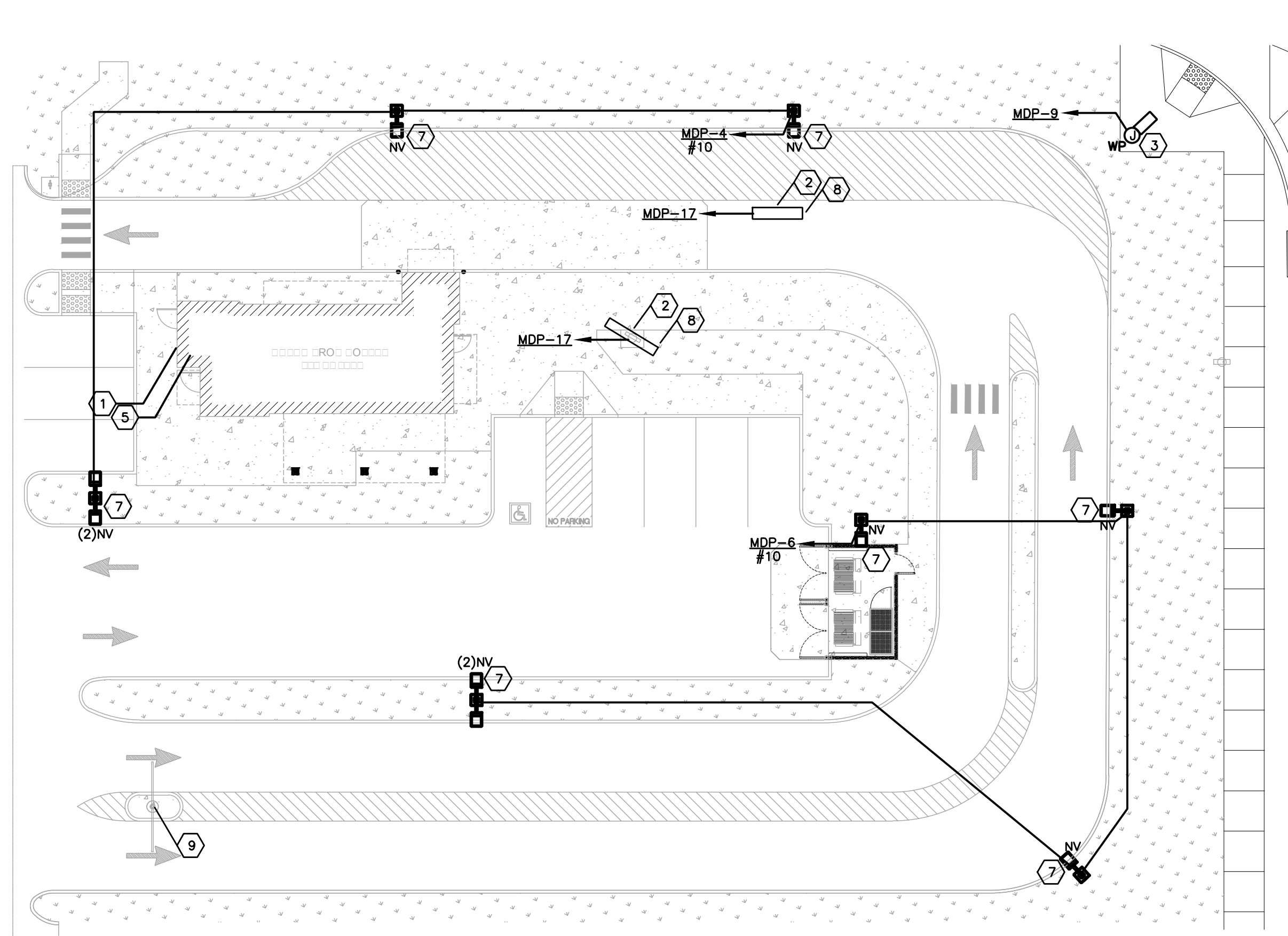


**AWNINGS & DOORS - PAINT**  
 MANUFACTURER: SCHERWIN-WILLIAMS  
 COLOR: BLDG DB GRAY DARK

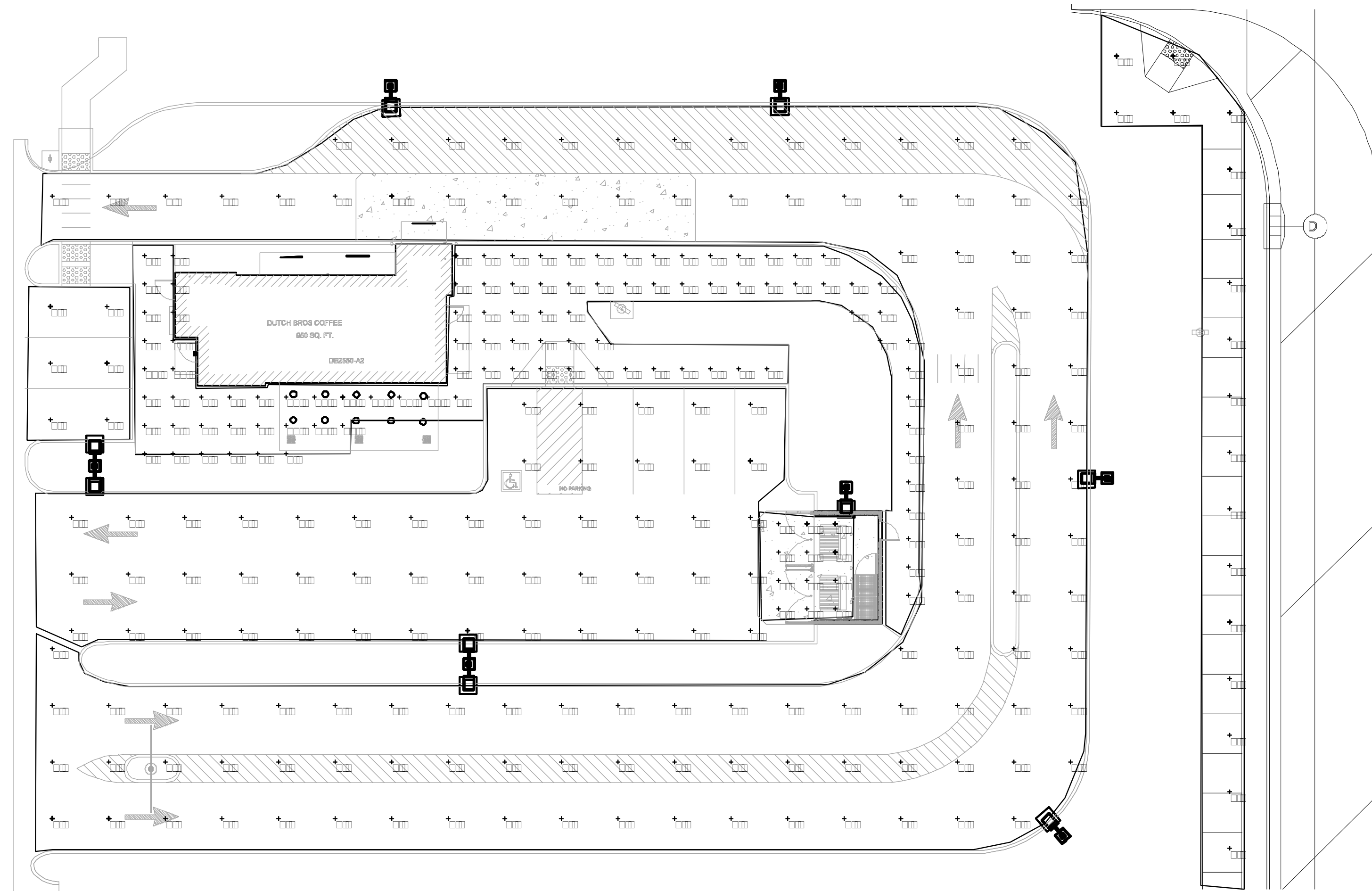


**ROOFING MATERIAL**  
 MANUFACTURER: FIRESTONE  
 TPO - 60 MIL  
 COLOR: WHITE

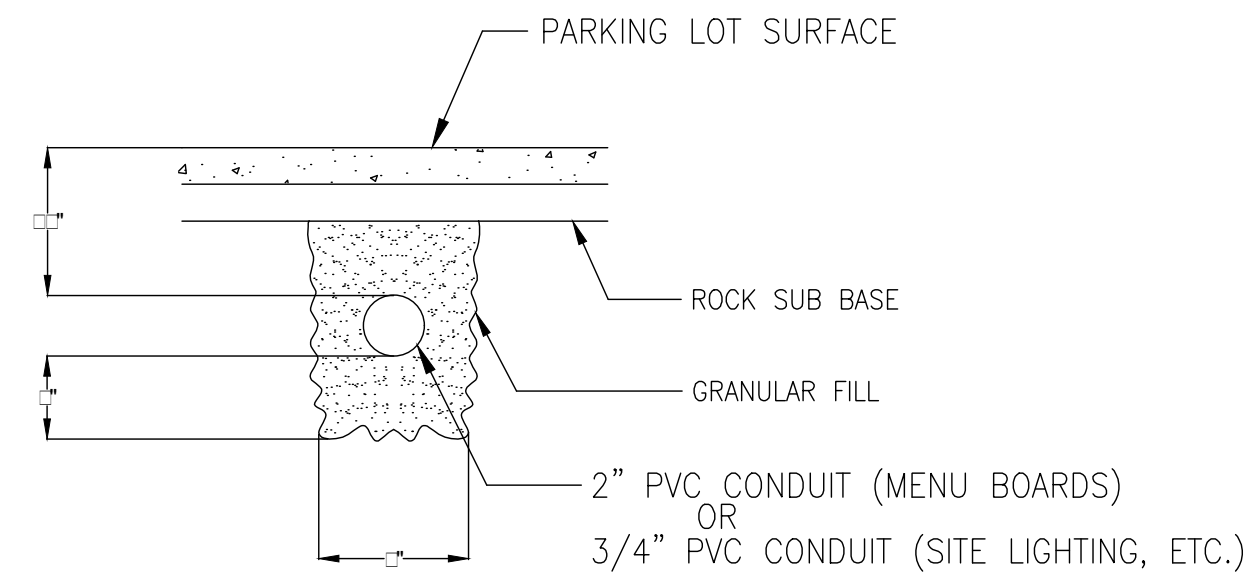
The name DUTCH BROS. and all associated logos, designs, content, information, and other materials featured, displayed, contained herein, and made available by Dutch Bros., including but not limited to, the "look and feel" of the establishments and products, all text, images, colors, configurations, graphics, designs, illustrations, photographs, and pictures (collectively, the "Materials") are owned by and/or licensed by DB Franchising USA, LLC.



PLAN  
 NORTH  
  
**ELECTRICAL SITE PLAN**



PLAN  
 NORTH  
  
**SITE PHOTOMETRIC PLAN**



**CONDUIT**  
 SCALE: N.T.S.

**GENERAL NOTES**

- FOR UTILITY TRANSFORMER, TELEPHONE SERVICE, GAS, WATER, AND SANITARY SEWER LOCATIONS; SEE CIVIL SITE PLAN.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND COMPLIANCE WITH ALL UTILITY COMPANIES REQUIREMENTS. INCOMING POWER AND TELEPHONE SERVICES IS EXISTING TO REMAIN. VERIFY REQUIREMENTS WITH UTILITIES PRIOR TO INSTALLATION.

**NOTES**

WATER LINES, CONDUITS FOR ELECTRICAL, OR OTHER UTILITIES SHALL BE LOCATED SO AS TO NOT CONFLICT WITH REQUIRED TREE LOCATIONS FOR STREETS AND PARKING LOTS.

COORDINATE ELECTRICAL WORK WITH LANDSCAPING INSTALLER.

**KEY NOTES**

- LOCATION OF UTILITY ROOM. REFER TO "RISER DIAGRAM" ON SHEET E3.01.
- PROVIDE 120V ELECTRICAL CONNECTION WITH (2)#8 & (1)#8G. IN 2" PVC ROUTED BELOW GRADE FOR DRIVE-THRU BACKLIT MENU BOARD PER MANUFACTURER'S INSTRUCTIONS. CONDUIT SHALL COME UP IN CENTER OF POST. SIGN COMPANY REPRESENTATIVE TO GIVE EXACT LOCATIONS/DIMENSIONS FOR GC TO MATCH. CONTRACTOR SHALL REPAIR EXISTING PARKING SURFACES FROM TRENCHING TO MATCH PREVIOUS CONDITIONS.
- PROVIDE 120V ELECTRICAL CONNECTION WITH (2)#8 & (1)#8G. IN 2" PVC ROUTED BELOW GRADE FOR NEW MONUMENT SIGN PER REPRESENTATIVE PRIOR TO ROUGH-IN. CONTRACTOR SHALL REPAIR EXISTING PARKING SURFACES FROM TRENCHING TO MATCH PREVIOUS CONDITIONS.
- NOT USED.
- LOCATION OF CABLE INTERNET DEMARC
- PROVIDE 2" CONDUIT W/ PULL STRING TO CHRISTY BOX FOR FUTURE DIGITAL MENU BOARD UPGRADE. COORDINATE W/ SIGN MANUFACTURER.
- PARKING LOT FIXTURES TO DIM TO 40% WHILE NOT OCCUPIED AND SET TO FULL BRIGHTNESS WHILE IN USE.
- PROVIDE 2" CONDUIT W/ PULL STRING 24" BEHIND MENU BOARD TO CHRISTY BOX FOR FUTURE DIGITAL MENU BOARD UPGRADE. COORDINATE W/ SIGN MANUFACTURER.
- PROVIDE 2" CONDUIT W/ PULL STRING TO CHRISTY BOX BETWEEN "CHOOSE LANE" DIRECTIONAL SIGNAGE AND CLEARANCE BAR FOR FUTURE DRIVE THRU SENSORS.

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	CONDUIT	100	FT	0.50	50.00
2	CONDUIT	50	FT	0.50	25.00
3	CONDUIT	20	FT	0.50	10.00
4	CONDUIT	10	FT	0.50	5.00
5	CONDUIT	5	FT	0.50	2.50
6	CONDUIT	2	FT	0.50	1.00
7	CONDUIT	1	FT	0.50	0.50
8	CONDUIT	1	FT	0.50	0.50
9	CONDUIT	1	FT	0.50	0.50

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	CONDUIT	100	FT	0.50	50.00
2	CONDUIT	50	FT	0.50	25.00
3	CONDUIT	20	FT	0.50	10.00
4	CONDUIT	10	FT	0.50	5.00
5	CONDUIT	5	FT	0.50	2.50
6	CONDUIT	2	FT	0.50	1.00
7	CONDUIT	1	FT	0.50	0.50
8	CONDUIT	1	FT	0.50	0.50
9	CONDUIT	1	FT	0.50	0.50



1001 SE SANDY BLVD, SUITE 100  
 PORTLAND, OR 97214  
 V. 503.552.9079  
 F. 503.241.7055  
 WWW.GNICHARCH.COM

XX.XX.XX

**Project No: CA-4005**  
 Dutch Bros Coffee - New Freestanding Store  
 SWQ Visalia Parkway & Mooney Blvd  
 Visalia, CA 93277  
 for: Dutch Bros Coffee  
 110 SW 4th St.  
 Grants Pass, OR 97526

ISSUED FOR DESIGN  
 REVIEW: 02.03.2021

REV. DATE: DESCRIPTION:

SHEET NAME:

ELECTRICAL  
 SITE & PHOTOMETRIC  
 PLAN

SHEET NUMBER:

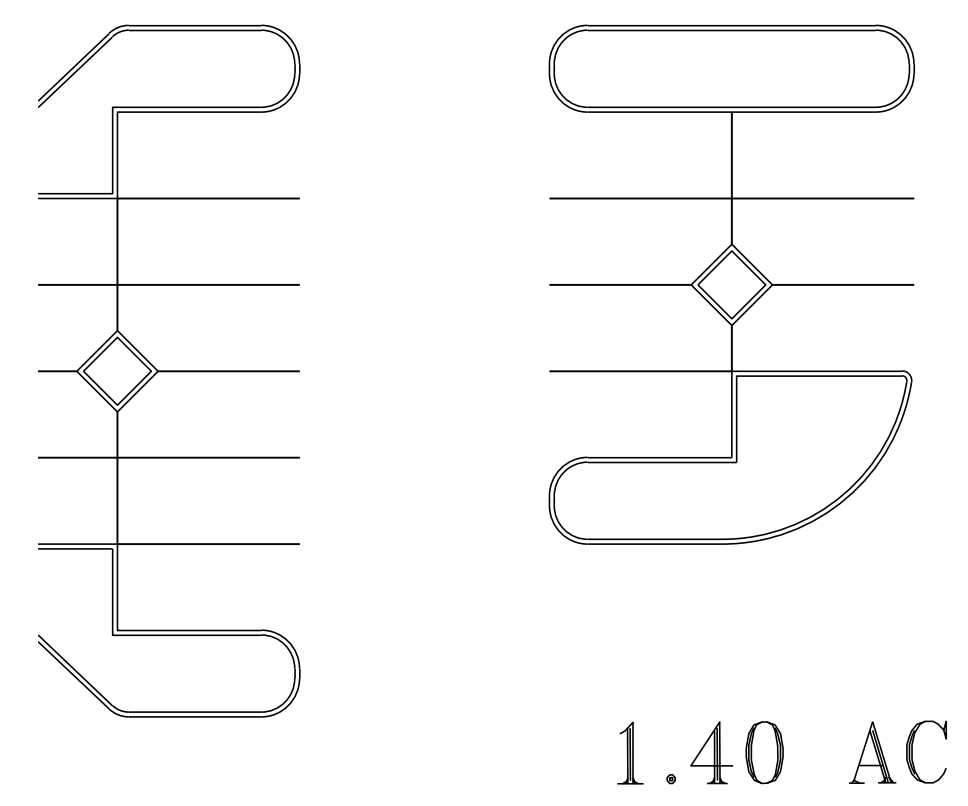
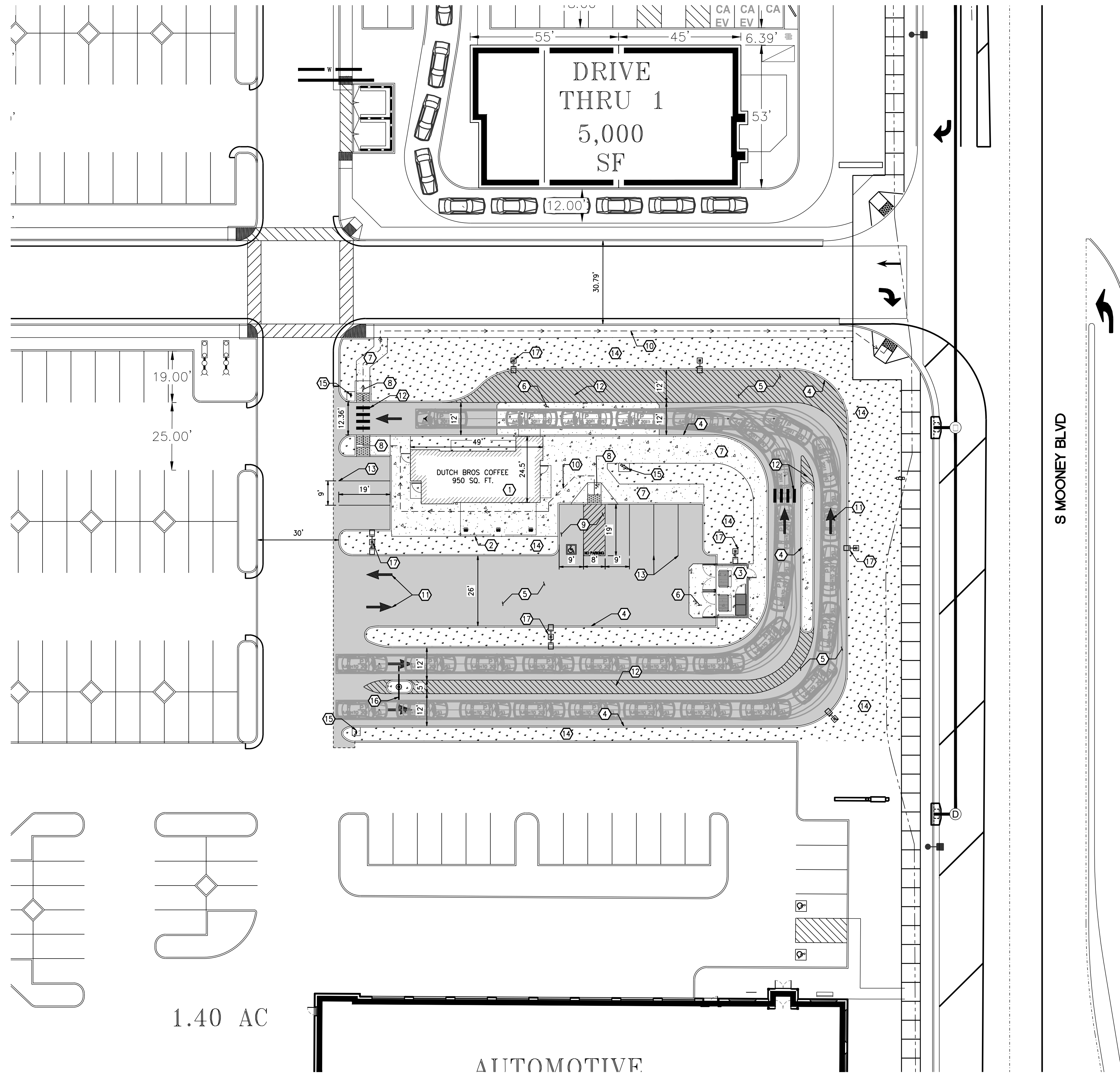
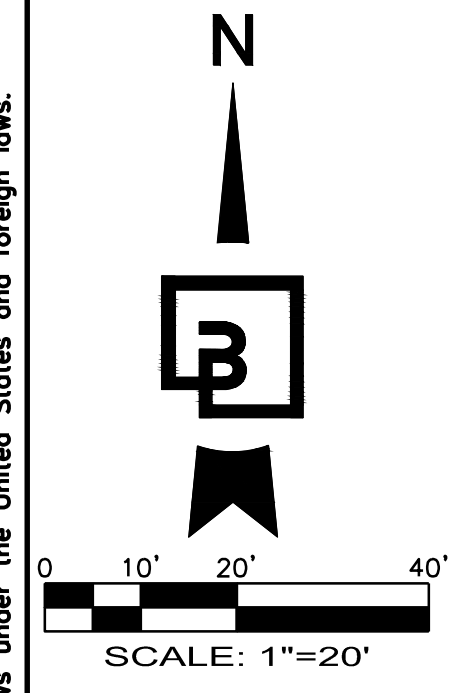
A11

796 Menz Court  
 St. Louis, MO 63026  
 T 636.349.1600  
 F 636.349.1730



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# DUTCH BROS. COFFEE - CA4005 - VISALIA, CA VISALIA PKWY AND S. MOONEY BLVD



1.40 AC

AUTOMOTIVE

PRELIMINARY NO FOR OR ON ORION

S MOONEY BLVD



### PROJECT DATA

NAME: DUTCH BROS COFFEE - CA4005 - VISALIA, CA  
 ADDRESS: VISALIA PKWY AND S MOONEY BLVD  
 GROSS PROJECT AREA: 30,210 SF (0.69 ACRES)  
 PARCEL AREA: 37,391 SF (0.86 ACRES)  
 PARKING SPACES:  
 - REQUIRED: 7 SPACES (1 PER 150 SF BUILDING AREA)  
 - PROPOSED: 7 REGULAR SPACES, 1 ADA STALL  
 PROPOSED GROUND COVER SUMMARY:  

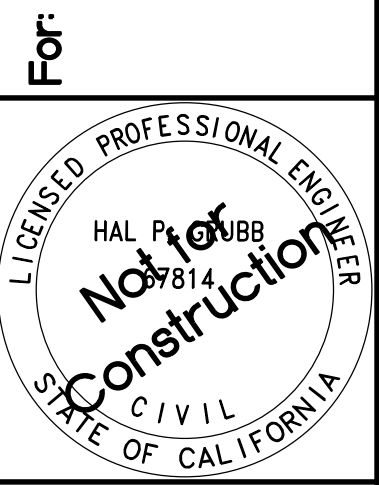
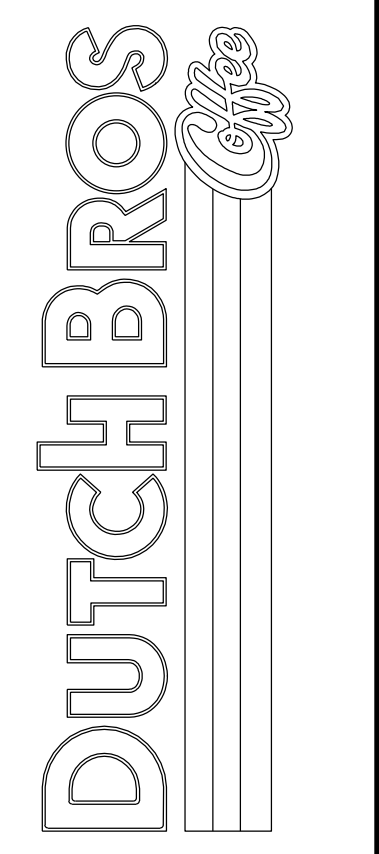
BUILDINGS (INCLUDES TRASH ENCLOSURE):	1,190 SF	(3.9%)
PARKING AND MANEUVERING:	16,812 SF	(55.7%)
WALKWAYS:	3,126 SF	(10.3%)
LANDSCAPE:	9,082 SF	(30.1%)
<b>TOTAL:</b>	<b>30,210 SF</b>	<b>(100.0%)</b>

### CONSTRUCTION NOTES:

- PROPOSED DUTCH BROS COFFEE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED CANOPY. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED 12'X20' TRASH ENCLOSURE WITH CONCRETE PAD. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED CONCRETE BARRIER CURB, TYPICAL.
- PROPOSED ASPHALT PAVEMENT, TYPICAL.
- PROPOSED ON-SITE CONCRETE PAVEMENT, TYPICAL.
- PROPOSED ON-SITE CONCRETE SIDEWALK, TYPICAL.
- PROPOSED ADA RAMP.
- PROPOSED ACCESSIBLE PARKING SPACE AND AISLE WITH ALL REQUIRED SIGNAGE.
- PROPOSED ADA PATH OF TRAVEL.
- PROPOSED DIRECTIONAL PAVEMENT MARKINGS, TYPICAL.
- PROPOSED PAVEMENT MARKING.
- PROPOSED 4" WIDE WHITE REFLECTIVE PAINT PARKING STALL STRIPES, TYPICAL.
- PROPOSED LANDSCAPE AREA, TYPICAL.
- PROPOSED SIGN. REFER TO SIGNING PLANS BY OTHERS FOR ADDITIONAL INFORMATION, TYPICAL.
- PROPOSED CLEARANCE BAR. REFER TO SIGNING PLANS BY OTHERS FOR ADDITIONAL INFORMATION, TYPICAL.
- PROPOSED SITE LIGHTING. REFER TO PLANS BY OTHERS FOR ADDITIONAL INFORMATION, TYPICAL.

LEGEND	
BUILDING LINE	
EXISTING CURB TO REMAIN	
ADA PATH OF TRAVEL	
PROPOSED CURB	
PROPOSED LANDSCAPING	
PROPOSED ASPHALT	
PROPOSED CONCRETE	

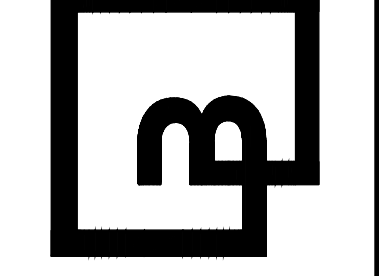
PRELIMINARY SITE PLAN  
VISALIA PKWY AND S MOONEY BLVD  
VISALIA, CA 93277



Scale:  
Horizontal: 1" = 20'  
Vertical: N/A

Designed: JAH  
Drawn: JAH  
Checked: JAH  
Approved: HFS  
Date: 02/04/21

**Barghausen Consulting Engineers, Inc.**  
 18215 72nd Avenue South  
 Kent, WA 98032  
 425.251.6222 [barghausen.com](http://barghausen.com)



Job Number: 21644  
 Sheet: 1 OF 1  
 2019 DB Franchising USA, LLC



**BARGHAUSEN**

# **PROJECT NARRATIVE**

---

## **Site Plan Review Dutch Bros Coffee**

Visalia Parkway and South Mooney Boulevard  
Visalia, California 93277

Prepared by:  
Barghausen Consulting Engineers, Inc.

February 4, 2021

Our Job No. 21644

---

**BARGHAUSEN CONSULTING ENGINEERS, INC.**

18215 72ND AVENUE SOUTH KENT, WA 98032 P) 425-251-6222 F) 425-251-8782  
BRANCH OFFICES: TUMWATER, WA KLAMATH FALLS, OR LONG BEACH, CA ROSEVILLE, CA SAN DIEGO, CA  
[barghausen.com](http://barghausen.com)

## **Project Overview**

The project site is located near the southwest quadrant of the intersection of South Mooney Boulevard and Visalia Parkway, Visalia, California. The project site consists of a single pad (0.86 acres) within a master shopping center development, with primary frontage along South Mooney Boulevard. The proposed scope of work includes construction of a new 950-square-foot Dutch Bros Coffee with a drive-through service window. Site improvements will include surface parking for five (5) vehicles, a double drive-through lane with stacking for up to 30 vehicles, interior and perimeter landscaping, and a trash and recycling enclosure. A separate covered service window will be offered for walk-up customers on the opposite side of the building from the drive-through service window.

The project will utilize shared drive aisles within the shopping center development in order to obtain indirect access onto South Mooney Boulevard and Visalia Parkway. The subject property is zoned Regional Commercial (R-C) within the City of Visalia, California. Drive-through uses are a permitted use in the R-C district with compliance to the City's drive-through performance standards.

## **Queuing and Stacking**

Approximately 650 feet of stacking space is available behind the drive-through window to accommodate up to 30 vehicles in the dedicated queuing lane. Dutch Bros Coffee will implement a runner system at the proposed facility that is designed to increase speed and efficiency in serving drive-through customers. Dutch Bros Coffee employees travel from vehicle to vehicle to greet customers and take orders. These "runners" utilize a handheld device to transmit customer's orders to the multiple drink stations inside the building. Additionally, runners are able to charge individuals while in line, so by the time they arrive at the service window, they may pick up their order and be on their way. This system decreases wait times, while allowing the runners to have a more personal face-to-face interaction with customers.

Please refer to the enclosed Traffic Control Action Plan for further details on measures to be implemented for this site to minimize the potential for spillover into the adjacent shopping center development.

## **Site Design and Orientation**

The proposed Dutch Bros Coffee building will be constructed at the northwest corner of the pad site with the vehicle drive-through entrance on the opposite south side of the site. The drive-through lane will wrap along three (3) sides of the project site before exiting on the north side. This layout maximized the number of vehicles that may be queued on site. The project will also include a separate customer window that is oriented to the interior of the site and serves pedestrian walk-up traffic only.

## **Architecture**

The proposed building is visually interesting and will be constructed with a variety of high-quality building materials and painted with simple, bold colors. Vertical and horizontal façade breaks, building massing, and modulation have all been incorporated into the design of the building. Canopy awnings are provided over all entrances and service doors, including a large 300-square-foot canopy over the customer walk-up service window providing weather protection. The building features modulation with a tower element, building wall articulation, and building materials that are aesthetic and compatible with other newer developments in the community. Colorful and visually interesting wall signs depicting the Dutch Bros Coffee logos will be installed on all sides of the building.

## **Signs and Lighting**

Signs proposed for use at the project site will conform to City Zoning Code. Signs proposed to be installed at the project site include a freestanding sign, wall signs, menu signs, drive-through, parking lot, and directional signs. Signs will be constructed with high-quality materials and properly installed under separate permits.

Site lighting will be provided at the project site for the safety and security of all customers, pedestrians, and employees. Outdoor lighting and illumination at the site will include parking lot security lighting and pedestrian scale lighting within the patio space and along the pedestrian pathway. Exterior building lighting will be installed on the building façade. The drive-through area will be provided with security lighting. All lights will include shields to direct light toward the project site and keep glare away from the adjacent land uses and rights-of-way.

## **Conclusion**

Approving the proposed Dutch Bros Coffee will enhance the commercial character of the Regional Commercial (R-C) district. Dutch Bros Coffee is a successful business that will promote improvement of the existing commercial area. Dutch Bros Coffee locations are known to be clean and well maintained, providing quick service from friendly staff. The proposed coffee shop will provide excellent products and service, along with enhanced landscaping areas, lighting, and pedestrian open space improvements that will benefit all customers and users in the immediate vicinity and the surrounding areas. The above narrative demonstrates how the proposal will increase the overall quality of the project site and positively impact the citizens and businesses of the surrounding community and City of Visalia.

# Compliance Traffic Control Action Plan

CA4005 – Visalia

Visalia Pkwy & Mooney Blvd, Visalia, CA

Operator: TBD

Coach: TBD

Director of Mob: TBD

<u>Staffing</u>		
Positions to Increase Speed	Line buster: takes orders and payment in line for all cars. Closes gaps in line and ensures proper traffic flow.	DB crew staffed from 5am-11pm every day. <b>DB currently staffs at least 3 to 4 Line Busters for the Parking Area throughout the day.</b> <b>Additionally, DB is staffing one additional Parking Control simply to help pull cars forward to utilize as much stacking as possible.</b>
	Drink Runner: runs completed drink orders out to customers in line prior to reaching the window to increase speed of service, customers then exit via escape lane.	Drink runners implemented throughout the day as needed utilizing existing staff inside <b>Customers will receive drinks prior to pulling up to the window.</b>
	Traffic Controller: solely responsible for directing traffic in and out of location safely and with proper flow.	Traffic Control responsible solely for traffic management at the entrance of the center. Will keep vehicles from pulling into our line and blocking flow of traffic in and out of center. Traffic control measures: <ul style="list-style-type: none"> <li>a) instruct all vehicles to pull forward as close as possible to move extended line into our site.</li> <li>b) Move cars into escape lane and/or waiting area</li> <li>c) Instruct vehicle to go around and pull in from staging area</li> <li>d) If no other strategies are possible, must instruct cars to exit our line/waiting area as to not be between the staging area and the entrance of our line in the DO NOT BLOCK</li> <li><b>e) If Stacking occurs for more than 45 seconds, DB will walk up to the customer car window and ask them to move immediately.</b></li> </ul>
Staffing Model	Schedules are written a minimum of one week in advance (in concordance with state and local laws) based on gross sales, along with company trends, local events and happenings, and weather trends. When lines extend beyond our capacity, we will staff additional positions and employees to aid in the flow of traffic at our locations.	

Additional Staff at Peak Hours	Peak hours: 7am-9am, 3pm-5pm	<b>We have added an additional staff member to solely be a Traffic Controller.</b>
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### Additional Training and FAQ's

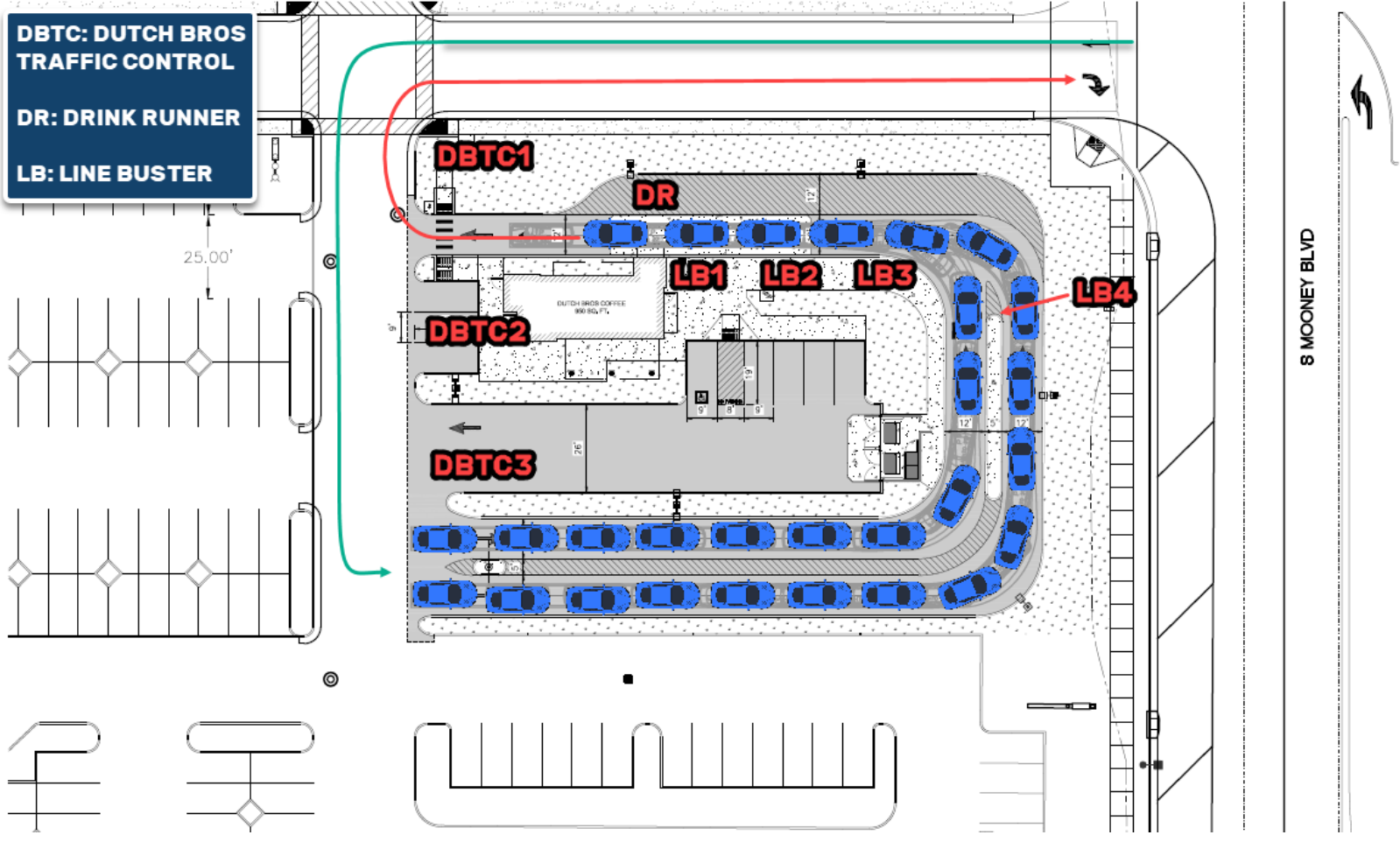
Full Shop Meeting	All shop personnel were required to attend a monthly shop meeting where we discussed traffic plans and new commitments in detail.
Pre-shift Huddles	Before each shift (morning, noon, night) the crew goes over updates, important communication, issues, and ensures strategy is set for the shift
<i>What do we do if a car pulls into our line from either the driveway or the other side of the center and is stuck in the do no block zone?</i>	<p>We have several options:</p> <ul style="list-style-type: none"> <li>a) Ensure all gaps are closed in line and the escape lane/waiting area is being utilized.</li> <li>b) Kindly instruct the customer to pull out of line and into a waiting spot. <u>Suggested Language</u>: "I am so sorry! We have to leave this part of the lot clear of cars to allow traffic in and out of the center! Can we have you pull out of line and into our waiting spot?"</li> <li>c) Kindly instruct the customer to pull out of line and into our line at the staging area. <u>Suggested Language</u>: "I am so sorry! We have to leave this part of the lot clear of cars to allow traffic in and out of the center! Can we please have you pull into our line over there so we can leave room for customers of other businesses to pull through"</li> </ul>
<i>Promotional Day / Major Holidays</i>	Dutch will determine if needed and hire a Third-Party Traffic Control Company to come in when the Stacking could possibly be an issue.

### Signage

Existing Directional Signage						

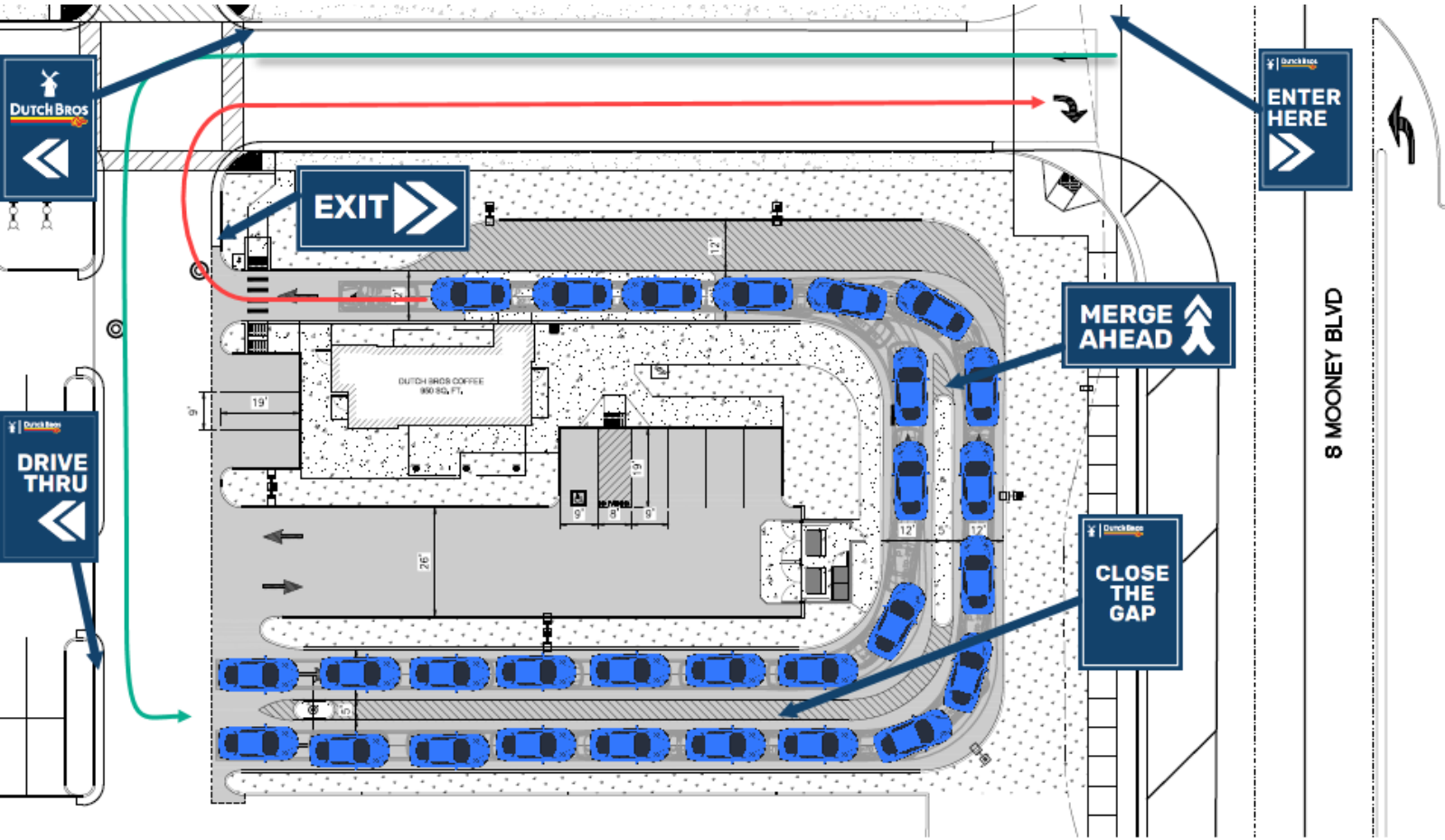
Additional Speed Tactics		
Timings	Company Timing Standard:	
Timings	Improved Target:	120 seconds per car (at the service window)
	Evaluation:	<b>45 seconds per car wait (at the service window)</b>
		1 time per week in addition to quarterly companywide evaluation

## Opening Day Stacking Plan from 5am to 11pm





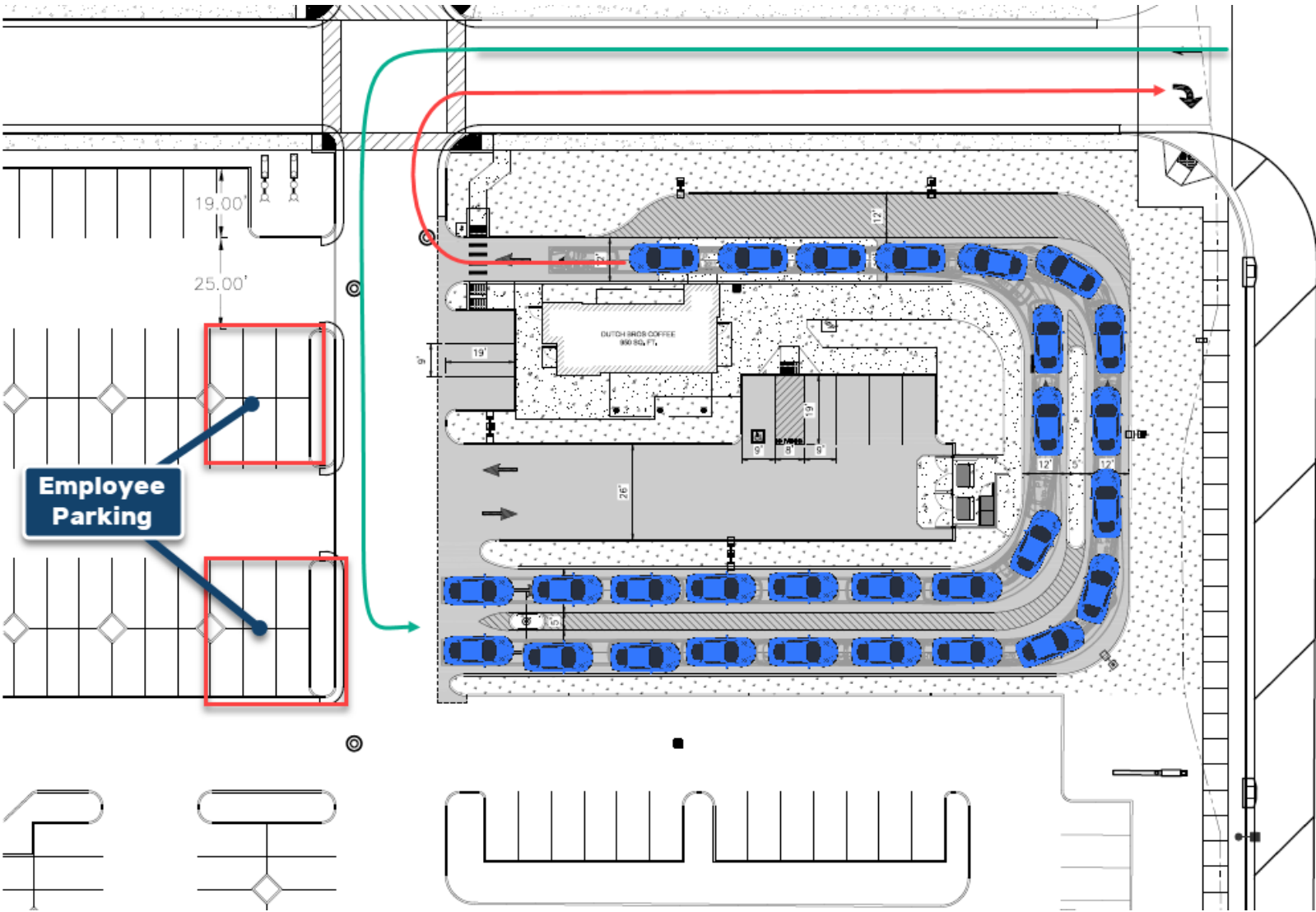
## Signage Plan



1x
1x
1x
1x
1x
1x
10x



## Employee Parking



## Development Master Plan

