

# ORCHARD WALK SPECIFIC PLAN

VISALIA, CA

ADOPTED JUNE 18, 2007

PREPARED FOR:  
DONAHUE SCHRIBER



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# ORCHARD WALK SPECIFIC PLAN

## ORCHARD WALK SPECIFIC PLAN VISALIA, CALIFORNIA

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Adopted June 18, 2007

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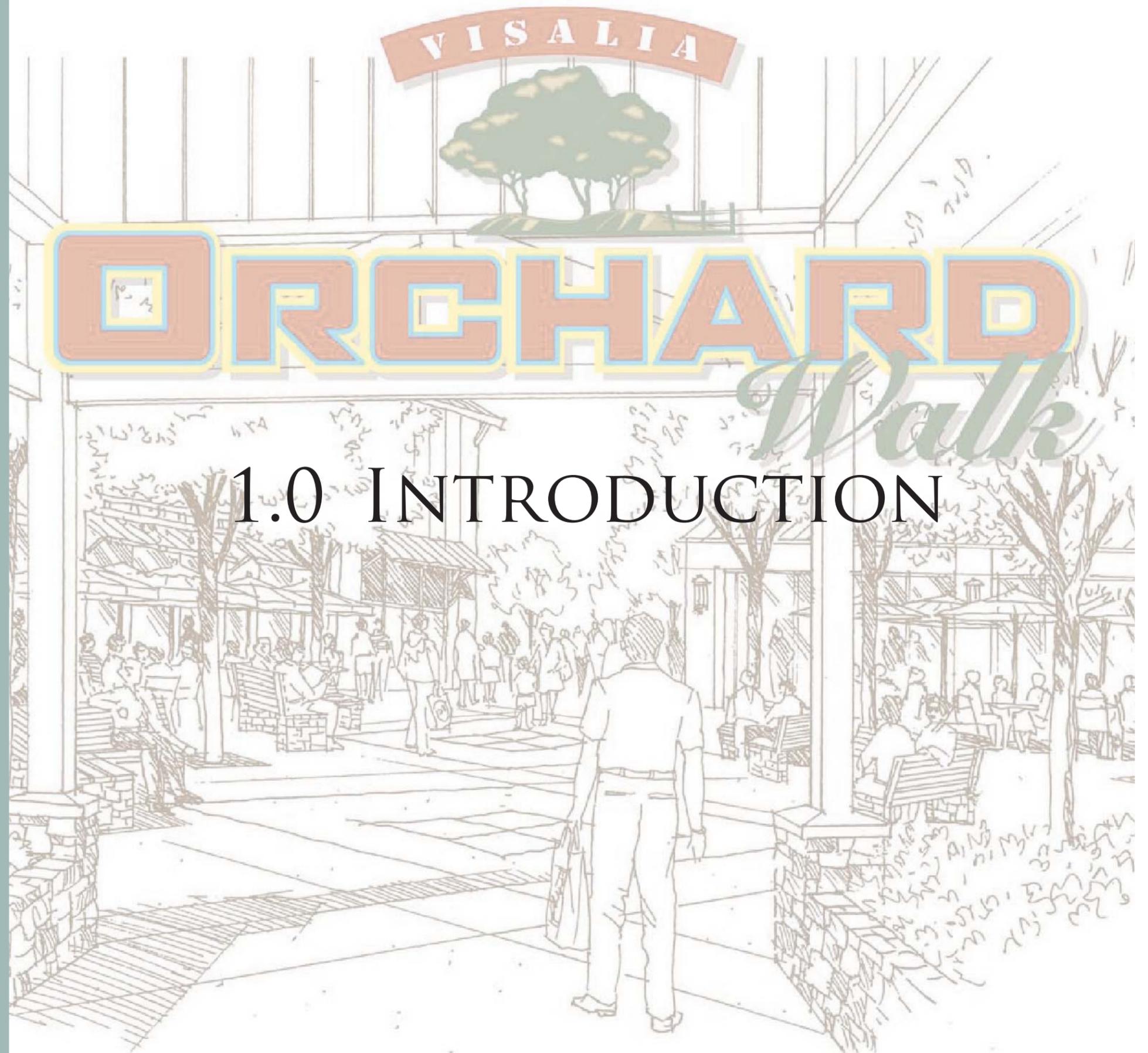
Appendix A	Site Plan
Appendix B	Orchard Walk Sign Program (East and West)
Appendix C	Complete List of Policies and Standards
Appendix D	Maintenance, Taxes and Insurance
Appendix E	Utility Plans
Appendix F	Improvement Costs Estimate (March 2007)
Appendix G	Buildable Limit Line Exhibit
Appendix H	Parcel Maps
Appendix I	Striping Plan Exhibit



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# ORCHARD WALK SPECIFIC PLAN

VISALIA, CA



## 1.0 INTRODUCTION



# ORCHARD WALK SPECIFIC PLAN

Table 1.1-1  
Orchard Walk Specific Plan  
Land Use Summary

Land Use/Zoning	Acres	DU/AC	DU's	FAR	Sq. Ft.
<b>Commercial</b>					
Community Commercial/CCM (west)	17.3		0.23	180,583	
Community Commercial/CCM (east)	23.3		0.27	282,173	
<b>Subtotal</b>	<b>40.6</b>				<b>462,756</b>
<b>Residential</b>					
Residential Medium Density/RM2	15.7	14.3	224		
<b>Subtotal</b>	<b>15.7</b>		<b>224</b>		
<b>TOTAL</b>	<b>56.4</b>		<b>224</b>		<b>462,756</b>

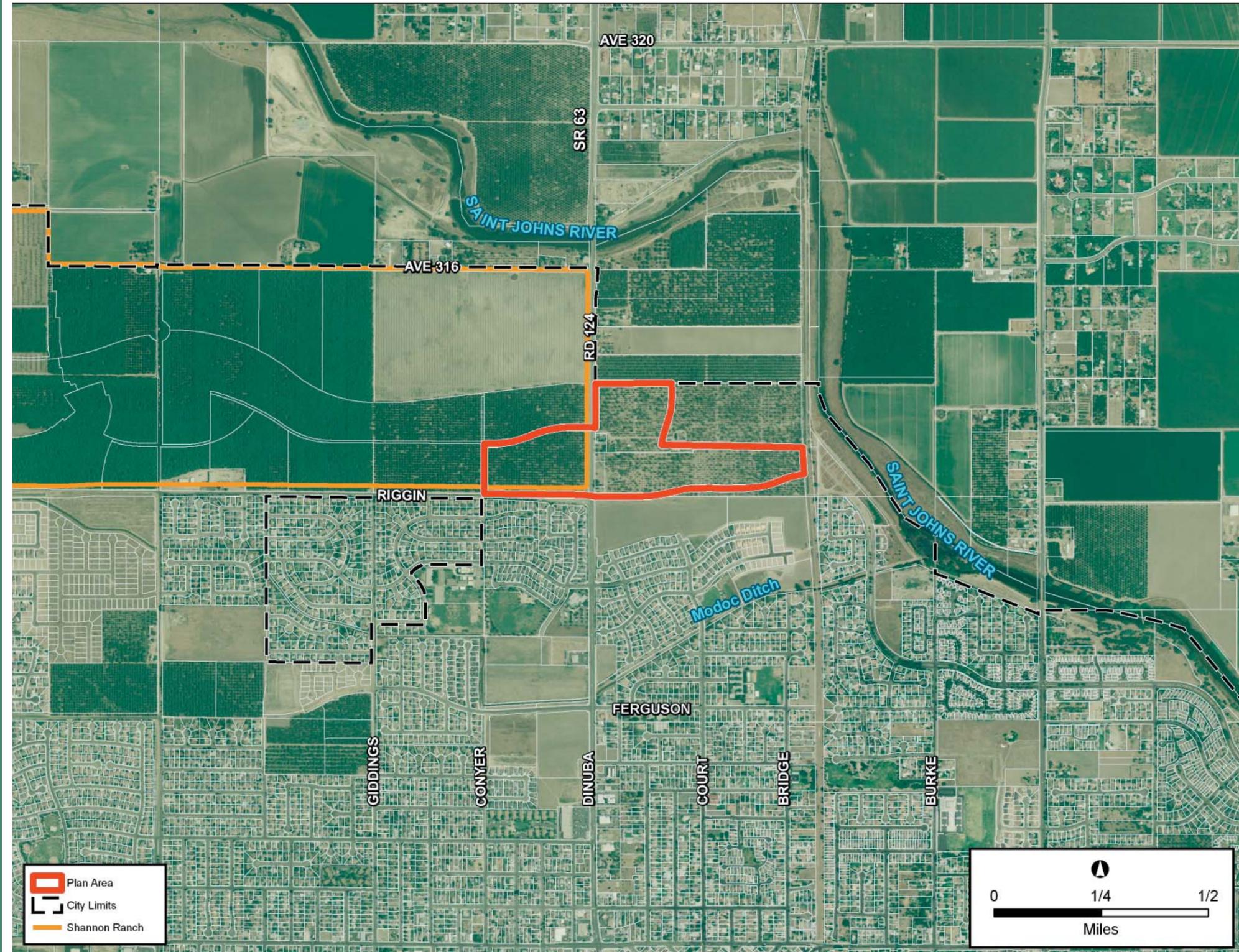
## 1.2 Concept

The Orchard Walk Specific Plan incorporates policies and standards and design and development guidelines that encourage high quality comprehensive new development consistent with the intent of the General Plan. The project integrates community commercial and multifamily residential uses compatible with the existing and future uses. It is envisioned that the Plan Area and surrounding uses will result in a vibrant community with a mixture of uses within walking/bicycling distance of one another.

Even though the majority of people visiting the Plan Area will travel by automobile, pedestrian connectivity is important once they arrive and it's equally important for neighborhood connectivity. Pedestrian connections are enhanced through the use of shaded pedestrian paths, overhead trellises, rich landscaping and the placement of many of the buildings on the site fronting Riggin Avenue and Dinuba Boulevard. Circulation by the various modes of travel will be discussed in more detail in Section 4.0.

The Orchard Walk Specific Plan will be developed with combined participation from each developer to meet the City's criteria for a comprehensive development. The administration and implementation measures and design and development standards set forth in this Specific Plan provide the framework for the development.

FIGURE 1.1-2 VICINITY MAP





# ORCHARD WALK SPECIFIC PLAN

## 1.3 EXISTING SITE CONDITIONS

The Plan Area is currently under agricultural production (tree crops). The site is on nearly level land and, because it has been under cultivation, has no significant native vegetation. Power lines run along the site's southern border on the north side of Riggin Avenue and in a north-south direction on the west side of Dinuba Boulevard. The site has groundwater wells that will be removed prior to construction. The homes within the Plan Area as shown in the aerial photo have been removed and Riggin Avenue is now built. Figure 1.3-1 shows existing land uses, adjacent land uses and future land uses expected over the next few years.

## 1.4 SURROUNDING LAND USES

The Plan Area is located in a developing area of north Visalia partially within the Shannon Ranch Master Plan. Surrounding land uses consist of existing and proposed single family residential to the south, tree crops to the west, tree crops to the north, the St. John's River and tree crops to the east.

Figure 1.4-1 shows the Plan Area in context with both existing and future land uses. The community sports park is currently under construction just north of the Plan Area off of Dinuba Boulevard. Highland Park, a single family residential neighborhood within the Shannon Ranch Master Plan, is adjacent to the west and north and is tentatively approved. Riverbend Village, a single family residential subdivision, adjacent and south of the Plan Area, is under construction. The property at the southeast corner of Shannon Parkway and Court Street is planned for single family residential. Figure 1.4-1 shows the conceptual site plan for the site. The project proponent has indicated that the cul-de-sacs along Court Street will be open to allow for pedestrian access.

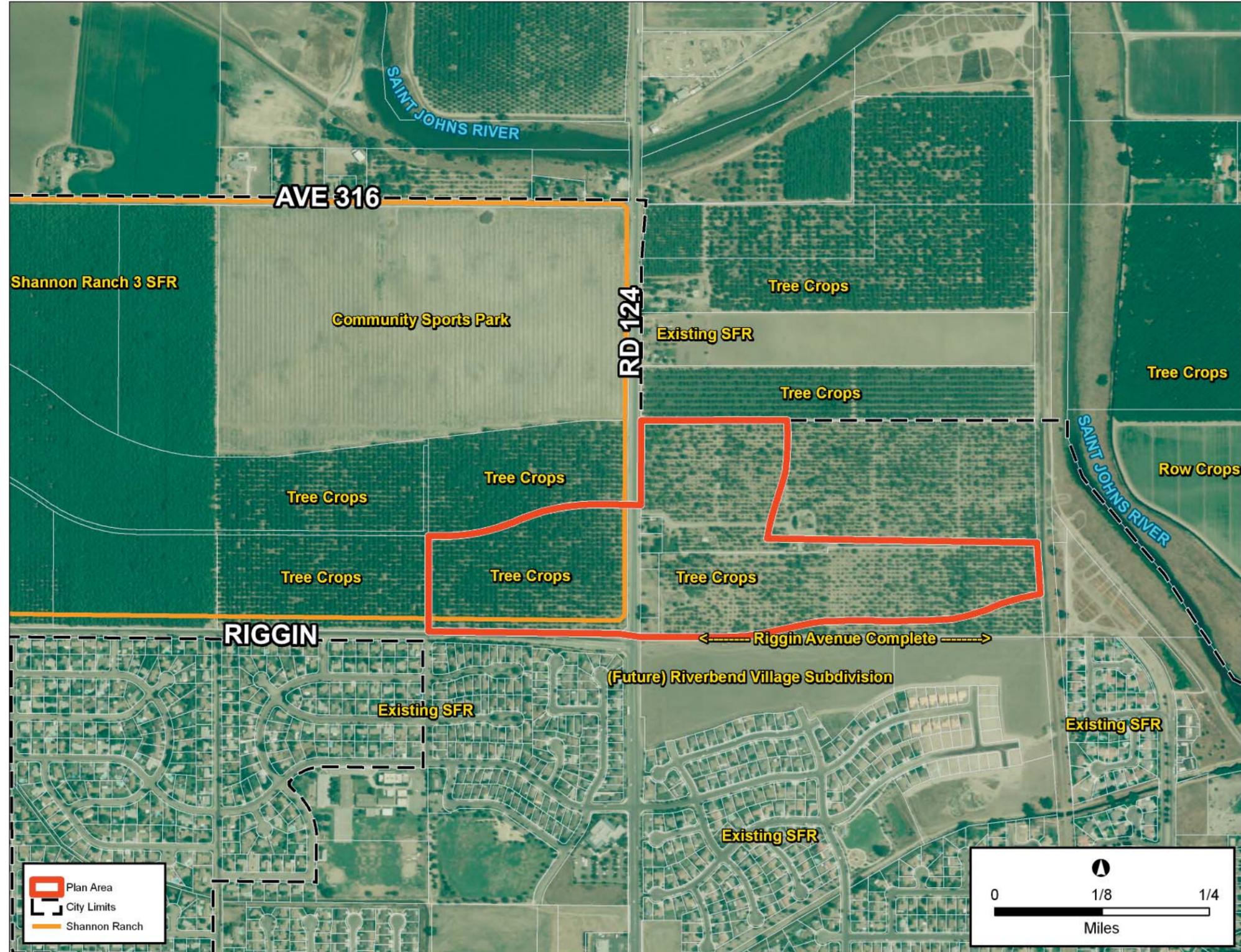


Looking east from the Dinuba/Riggin intersection.



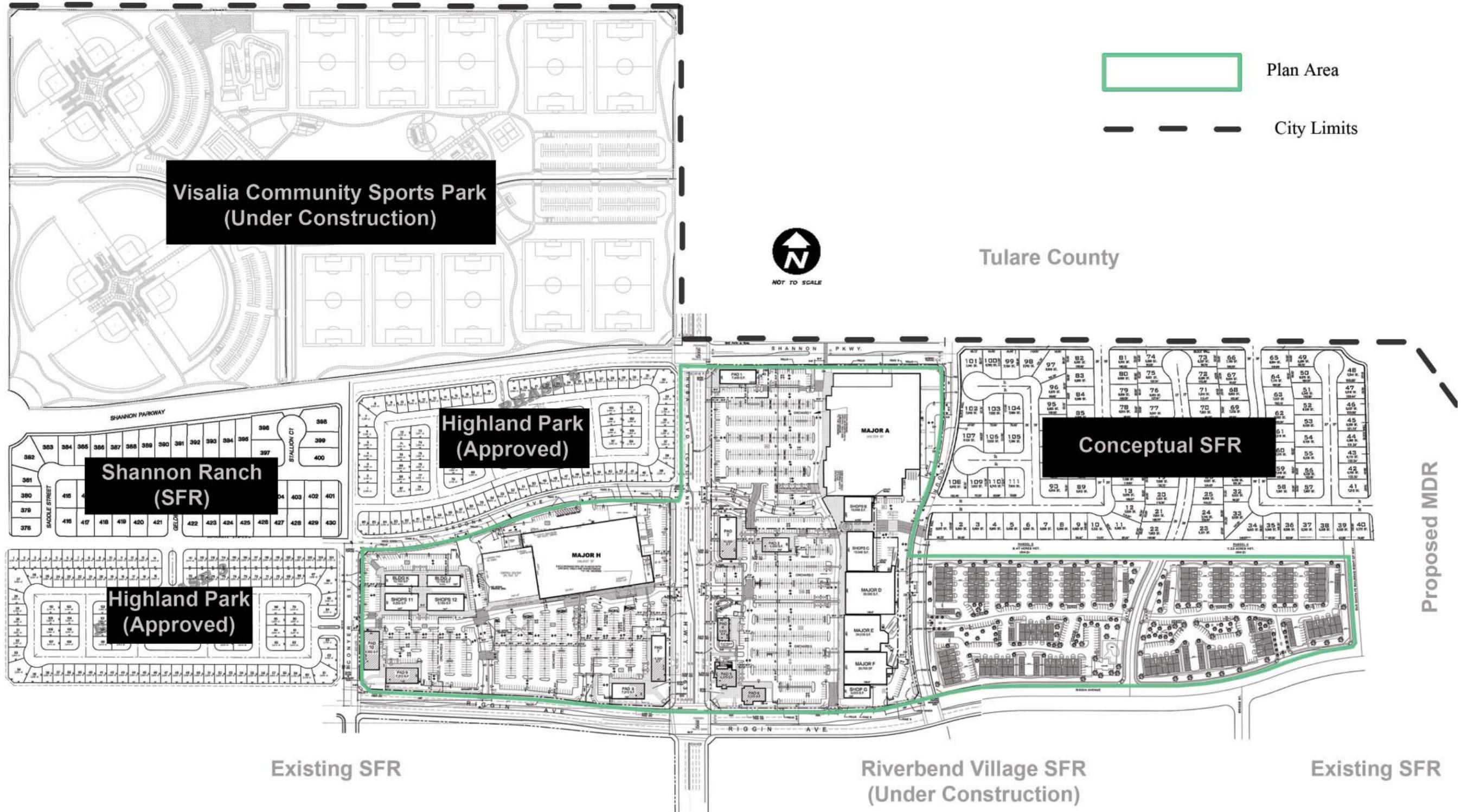
View of the Sierra Nevada mountains to the east.

FIGURE 1.3-1 EXISTING LAND USE



# ORCHARD WALK SPECIFIC PLAN

FIGURE 1.4-1 PLAN AREA CONTEXT



ORCHARD WALK  
SPECIFIC PLAN

VISALIA, CA



2.0 SPECIFIC PLAN, LAND  
USE AND ZONING  
APPLICABILITY

# ORCHARD WALK SPECIFIC PLAN

## 2.0 GUIDING PRINCIPLES

The Guiding Principles of this Specific Plan are derived from the City of Visalia General Plan. Because a Specific Plan is intended to help implement the policies and goals of a city's General Plan, it must be consistent with that General Plan. Section 65454 of the California Government Code specifically provides that a Specific Plan may only be adopted or amended if it is consistent with a jurisdiction's General Plan. The most applicable goals from the Visalia General Plan are as follows:

- Preserve and enhance Visalia's unique character
- Diversify and improve the Visalia planning area's economy
- Provide a viable range of housing alternatives in the Visalia planning area
- Plan and develop an efficient public facilities and services system to serve as a framework for orderly urban development
- Manage planning area growth to be contiguous and concentric from the city's core area
- Identify issues or areas which have significant impact on the Visalia planning area and require special attention
- Structure an implementation program to achieve the goals, objectives, and policies of this element
- Compatibility with surrounding residential uses
- Pedestrian access to and within developments to reduce traffic-related conflicts
- Reservation of certain properties for quasi-public uses

## 2.1 VISALIA GENERAL PLAN

In addition to medium density residential, the Plan Area will provide community-scale shopping areas with a wide range of commercial goods and services. Uses are expected to consist of community, neighborhood, and/or convenience-level draw only. No uses which are exclusively of a regional draw or exclusively central business district uses shall be permitted. General guidelines for development are: 20-30 acres of community-level retail and ancillary facilities and up to 10-acres of garden offices (reference Land Use Element Policy 3.5.8.). The Plan Area includes two commercial areas split by Dinuba Boulevard. The Plan Area will also include office uses. Supporting facilities are to include up to 20-acres of multi-family residential development. Figure 2.1-1 shows the General Plan Land Use designations for the Plan Area and adjacent uses.

The Plan Area's anticipated major tenants, Home Depot and Target, are considered to be community level retail uses based on the presence of many similar facilities in Tulare County. There are six home improvement centers in Tulare

County that are in operation or are entitled to operate in the near future. Porterville and Tulare each have two such facilities (in addition to smaller hardware and home improvement stores), indicating an average of one unit per 25,000 population. Visalia has two existing facilities, with an additional two proposed (including the project) and average of one unit per 25,000 population. This indicates that such facilities generally serve a residential population generally equal to one quadrant of the City. By contrast regional uses are limited in number and generally serve an area of 250,000 population and above.

The Specific Plan is consistent with Land Use Element Policy 3.5.15 since it will be compatible with the surrounding residential development. Pedestrian connections within the Plan Area and to surrounding uses are included (reference Section 4). The Plan is consistent with Land Use Element Policies 4.1.8 and 4.1.9 in that it provides a mixed-use commercial center in close proximity to residential development, and higher density residential development near an employment center. The Plan is consistent with Policy 4.1.11 in that it will provide a multifamily development with the following criteria: exterior elevations to preclude large expanses of uninterrupted building surfaces; building, parkway and walkway separation; open space, landscaping and screening features; and energy efficient features. The Plan is consistent with Land Use Element Policy 4.1.2 in that it provides multifamily development adjacent to commercial development. The Plan is consistent with Policy 4.1.19 in that it will provide Medium Residential Development (duplex, triplex, and/or four-plex) in a new area of town.

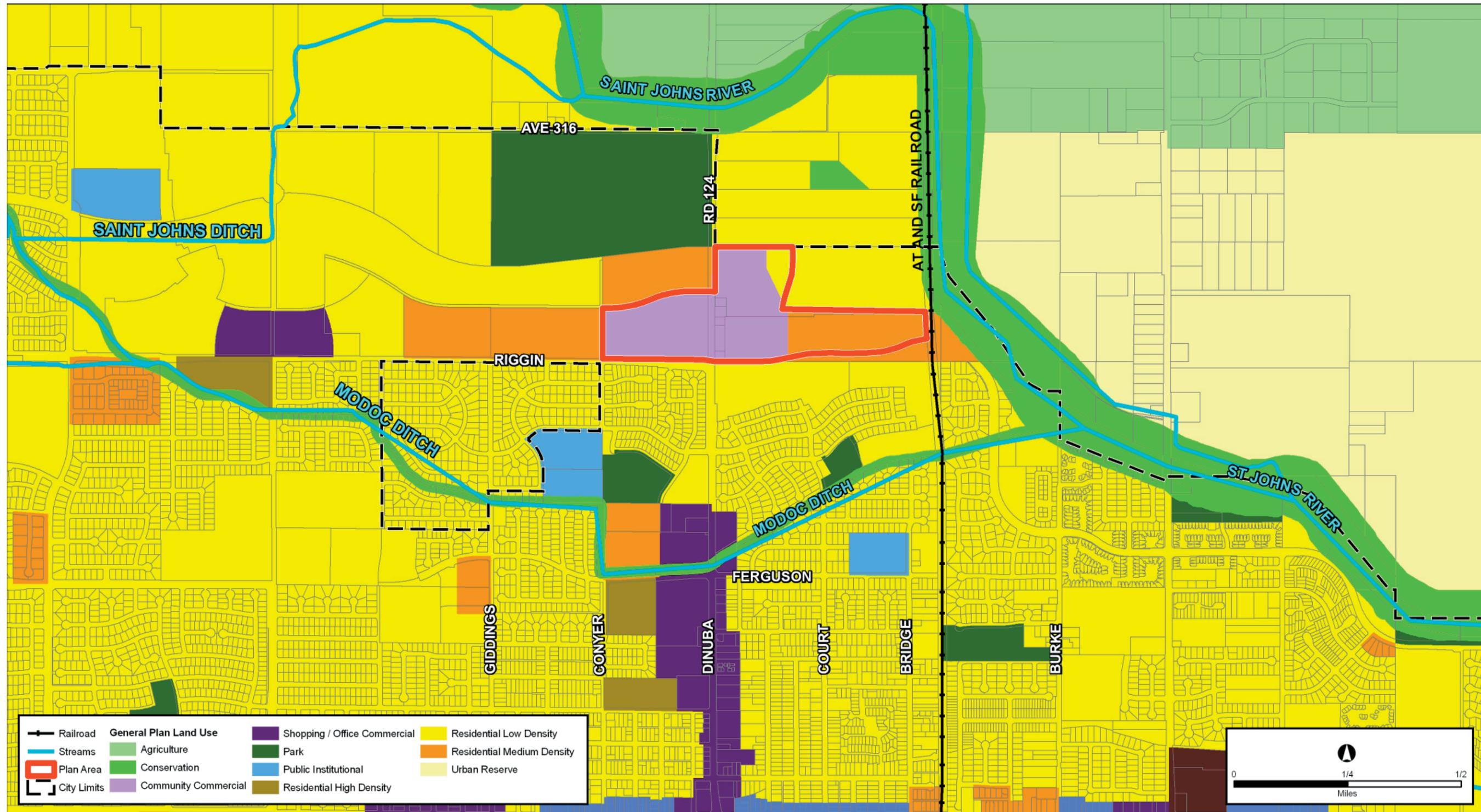
The Plan is consistent with transit policies in the City's Circulation Element, since it will provide bus turn-outs (Policy 2.1.2) along Riggin Avenue and Dinuba Boulevard with lighted shelters, benches, and route information signage; the Plan will provide convenient bicycle access and bike racks (Policy 2.2.3); the Plan will provide safe and convenient pedestrian access within the Plan Area and to the surrounding neighborhood (Policy 2.3.3); and the Plan will include off-site improvements to Riggin Avenue and Dinuba Boulevard and proposed streets Conyer and Sedona, per City Standards (Policy 5.1.4).

The Plan is consistent with Policy 1.2 in the City's Noise Element because it will reduce negative noise-related impacts to an acceptable level (45dB interior and 65 dB exterior) through mitigation measures identified in the Noise Study (separately bound and available at the City) for this project and those found in the Mitigated Negative Declaration.



# ORCHARD WALK SPECIFIC PLAN

FIGURE 2.1-1 GENERAL PLAN LAND USE



# ORCHARD WALK SPECIFIC PLAN

## 2.2 ZONING

The purpose of this Section is to set regulatory requirements for the development of the Orchard Walk Specific Plan. These standards address the information and requirements pertaining specifically to the zoning, density, and parking related to the site. All development shall comply with the text, standards and associated tables and exhibits illustrated in this Section. Where this Specific Plan remains silent, the provisions and definitions within the City of Visalia Municipal Code shall apply. Where a conflict exists between these development standards and the City of Visalia Municipal Code, the standards contained herein shall apply.

### 2.2.1 DEVELOPMENT STANDARDS / ZONING

The Orchard Walk Specific Plan presents a more detailed picture of the specific product types proposed within the Plan Area. The development standards and zone designations provide a necessary assurance that the Plan Area will be developed in accordance with the quality and character set forth in this Specific Plan. Figure 2.2-1 shows the zoning of the Plan Area and for adjacent uses. Existing zoning on the site is RM2 (15.7 gross acres) and P-C-CM (40.6 gross acres).

### 2.2.2 ZONING CONSISTENCY

The P-C-CM (Planned Community Commercial) zoning district is intended to "provide for continued use, expansion, and new development of community-scale shopping centers with a range of commercial goods / services and garden offices" (Visalia Zoning Ordinance, 17.18.010.B.4).

The purpose and intent of the RM2 (multifamily residential zone) is to provide living areas within the two multifamily residential zones where development is permitted with a relatively high concentration of dwelling units, and still preserves the desirable characteristics and amenities of a low density atmosphere. The Plan envisions multifamily housing which will meet the purpose and intent of the RM2 zone, be pedestrian-oriented, include transit stops, and be in close walking distance of commercial and recreational areas.

### 2.2.3 ZONING CODE REQUIREMENTS

#### 17.16.010 Purpose and intent (P(R-M) Multifamily Residential Zones).

In the P(R-M) multifamily residential zone, the purpose and intent is to provide living areas within the two multifamily residential zones (one medium density and one high density) with housing facilities where development is permitted with a relatively high concentration of dwelling units, and still preserve the desirable characteristics and amenities of a low density atmosphere.

#### 17.18.020 Planned Commercial Zones, Required conditions.

- A. All businesses, services and processes shall be conducted entirely within a completely enclosed facility, except for off-street parking and loading areas, gasoline service stations, nurseries, garden shops, outdoor and seasonal sales, Christmas tree sales lots, bus depots and transit

stations, electric distribution substation, and recycling facilities;

- B. All products produced on the site of any of the permitted uses shall be sold primarily at retail on the site where produced;

Where this Specific Plan remains silent, the provisions and standards within the City of Visalia Municipal Code (currently adopted version as of January, 2007) shall apply.

#### 17.18.030 Planned development permit required.

A planned development permit must be obtained for all development in all P-(C) zones, subject to the requirements and procedures in Chapter 17.28.

#### 17.18.040 Off-street parking and loading facilities.

In the planned commercial zones, off-street parking and off-street loading facilities shall be provided as prescribed in Chapter 17.34 of the City of Visalia Zoning Ordinance.

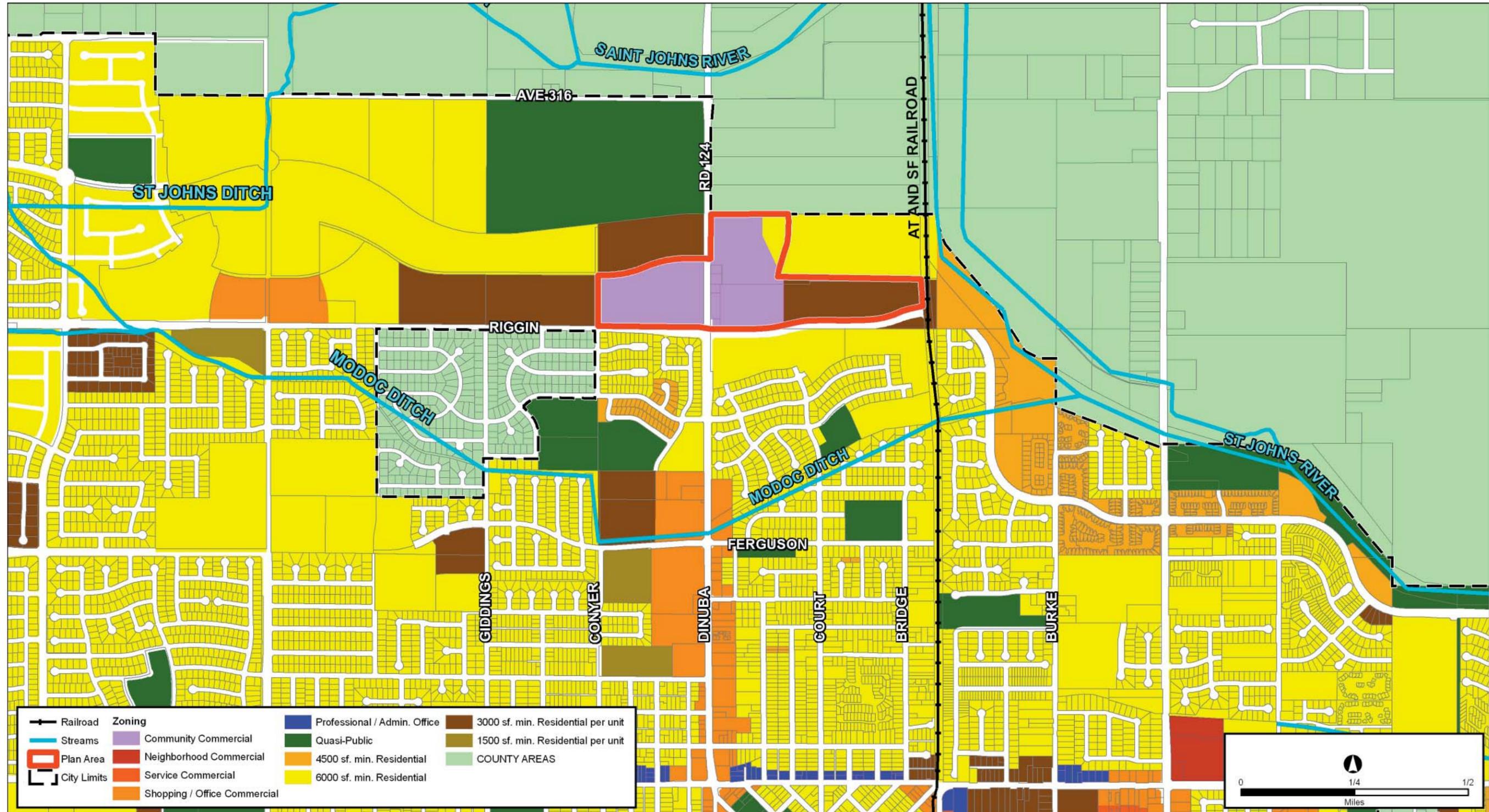
### 2.2.4 CONDITIONAL USE PERMITS

A CUP will be required for the following anticipated uses: Home Depot, Target, fast food with drive-thru and playland, drug store with drive-thru and medium density residential and for uses listed as conditionally-permitted in Section 17.18.050 of the Visalia Municipal Code. For the remaining uses this Specific Plan will serve as the development plan required under Section 17.38 of the Municipal Code. Unless otherwise noted in this Specific Plan, all parking, fencing, screening, and landscaping shall be per City Ordinance(s)/standards (Visalia Zoning Ordinance, 17.34.020, 17.36.050, 17.32.080).



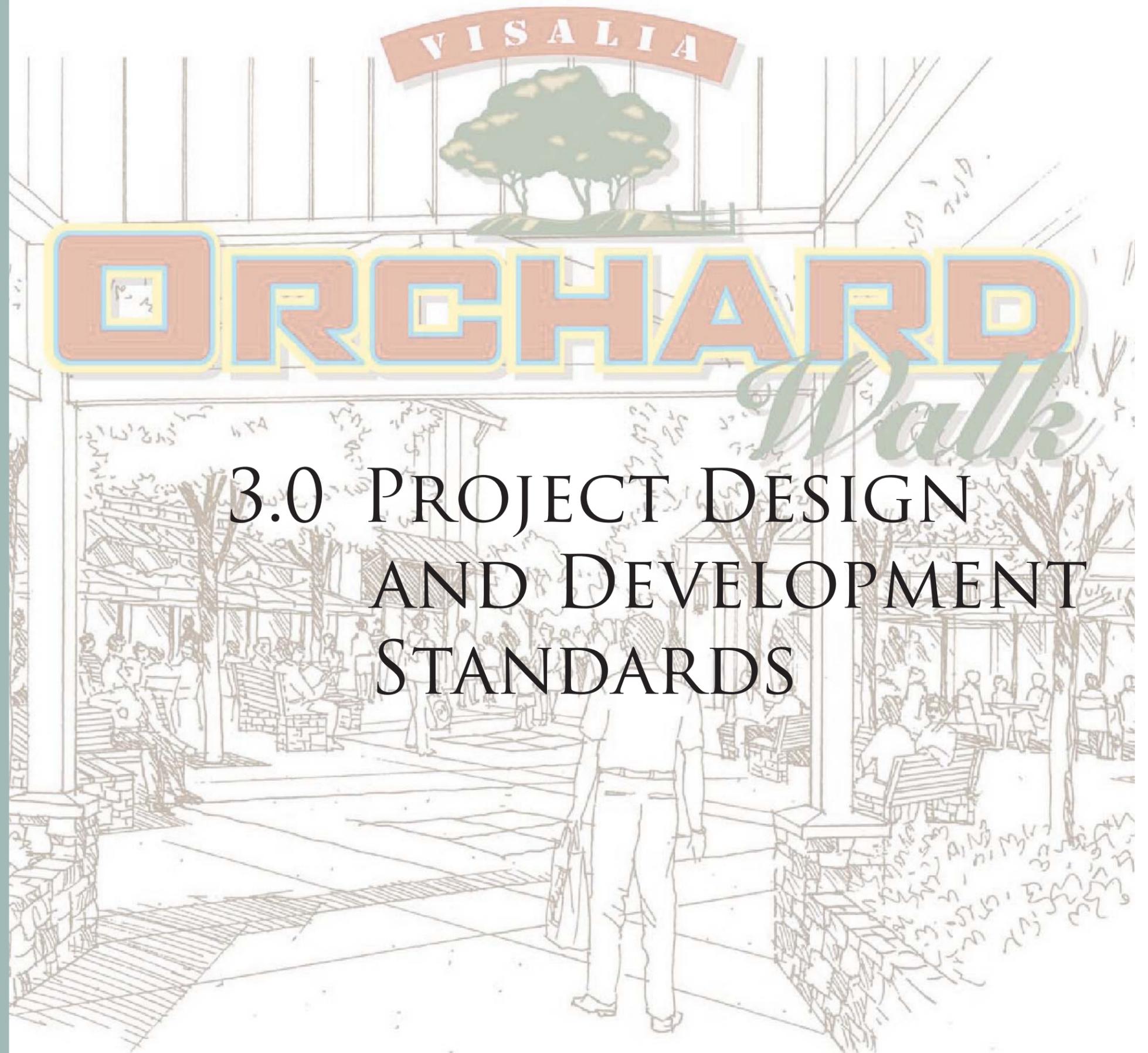
# ORCHARD WALK SPECIFIC PLAN

FIGURE 2.2-1 ZONING



ORCHARD WALK  
SPECIFIC PLAN

VISALIA, CA



3.0 PROJECT DESIGN  
AND DEVELOPMENT  
STANDARDS

# ORCHARD WALK SPECIFIC PLAN

## 3.0 DESIGN AND DEVELOPMENT STANDARDS

The following sections detail design and development standards for each use within the Plan Area, for major gateways, signage, lighting and landscaping. Also shown are artistic renderings and elevations representing conceptual images of buildings, signage, landscaping, etc. within the Plan Area. Figure 3.0-1 shows the location and corresponding figure number for each design detail in the Orchard Walk Specific Plan.

### 3.1 COMMUNITY COMMERCIAL

The City of Visalia identified the Plan Area as the site for a future Community Commercial and Medium Density Residential site. The Orchard Walk Specific Plan is consistent with the City's General Plan Land Use and zoning designations for the site.

Commercial uses appropriate for the Plan Area include retail stores and shops, grocery store, home improvement center, cafes, and restaurants. The mix of uses is intended to create a high intensity center which provides for daily essentials, specialty shops and restaurants for residents in north Visalia. The Plan Area is to be designed as a pedestrian-oriented destination that provides convenient services for residents. Table 3.1-1 lists the development standards for the Community Commercial land uses within the Plan Area.

Buildings J and K at the northwest corner of the Plan Area at the Conyer Street and Sedona Avenue intersection are designed to be two-story garden offices. These office uses will also act as a buffer/transition area between the single family residential to the north and commercial uses to the south.

Appendix G shows the buildable limit line for each building within the commercial portion of the Plan Area. This exhibit shows each building's envelope to allow for deviations to the master site plan without having to consider such changes as amendments for minor deviations. Appendix H shows the parcel maps for the west and east commercial areas.

Figure 3.1-1 shows front elevation views for the major tenants of the commercial portion of the Plan Area on the east side of Dinuba Boulevard. Figure 3.1-2 shows elevations for shops at the northeast corner of Riggin Avenue and Dinuba Boulevard. Figures 3.1-3 and 3.1-4 illustrate the rear and side elevations for Major Tenants A through F and Shop G. Figure 3.1-5 illustrates screening along Court Street between commercial and residential areas. Screening will be accomplished with trellis work, landscaping and fencing.

Figure 3.1-6 shows front and rear elevations for the proposed Home Depot. Figure 3.1-7 shows the side elevations for Home Depot.

#### Community Commercial Policies and Standards

A) The uses as proposed in this Specific Plan are deemed permitted uses. All other uses shall reference the City of Visalia Municipal Code Section 17.18.050 (C-CM Zone) for

applicability.

- B) The development standards in Table 3.1-1 shall be used for the development of commercial areas within the Plan Area.
- C) Side and rear building facades shall have architectural treatment(s) such as but not limited to: false windows, accent bands, stone veneer columns or undulating facades. No blank walls will be permitted on side and rear building facades.
- D) Rooftop, mechanical equipment, vents and ducts are to be screened from view. Screens may consist of suitable materials chosen for conformance with overall building design. Architectural integration of mechanical equipment is required.
- E) Off-street parking shall be compartmentalized, and be

shielded from residential and open space corridors to the maximum extent possible.

- F) Creative use of form, height and massing, supportive by distinctive windows, entryways and facade treatments shall be used to create a symbolic landmark to the Plan Area.
- G) Clearly defined pedestrian walkways shall be provided leading to adjacent land use areas, and shall be an integral component of the overall site design.
- H) The design of commercial buildings shall promote and enhance a pedestrian-oriented atmosphere and should be adaptable to accommodate a variety of changing uses.
- I) Undulating/varied facades on commercial building front-ages shall be required as they provide added visual interest and human scale.

Table 3.1-1

Community Commercial Development Standards

Category	Regulation
<b>LAND USE</b>	
Applicable Zoning District	C-CM
Applicable Land Use Designation	Community Commercial
Floor Area Ratio (Maximum)	0.35
Permitted Uses	Reference Visalia Municipal Code Section 17.18.050, C-CM Zone
Conditional Uses	Reference Visalia Municipal Code Section 17.18.050, C-CM Zone
<b>SETBACKS (Minimum)</b>	
Conyer Street	15 feet (Landscaping 12 feet minimum)
Riggin Avenue	15 feet (Landscaping 12 feet minimum)
Sedona Avenue	40 feet (Landscaping 12 feet minimum)
Dinuba Boulevard	12 feet (Landscaping 12 feet minimum)
Shannon Parkway	12 feet (Landscaping 12 feet minimum)
Court Street	15 feet (Landscaping 12 feet minimum)
Distance Between Buildings	0 feet
<b>BUILDING MASSING</b>	
Building Height	42 feet maximum
Parking Requirement	The maximum parking ratio is 1 space/225 square feet of floor area.
<b>FENCING AND WALLS</b>	
	Reference Section 3.5
<b>SIGNAGE</b>	
	Reference Section 3.6



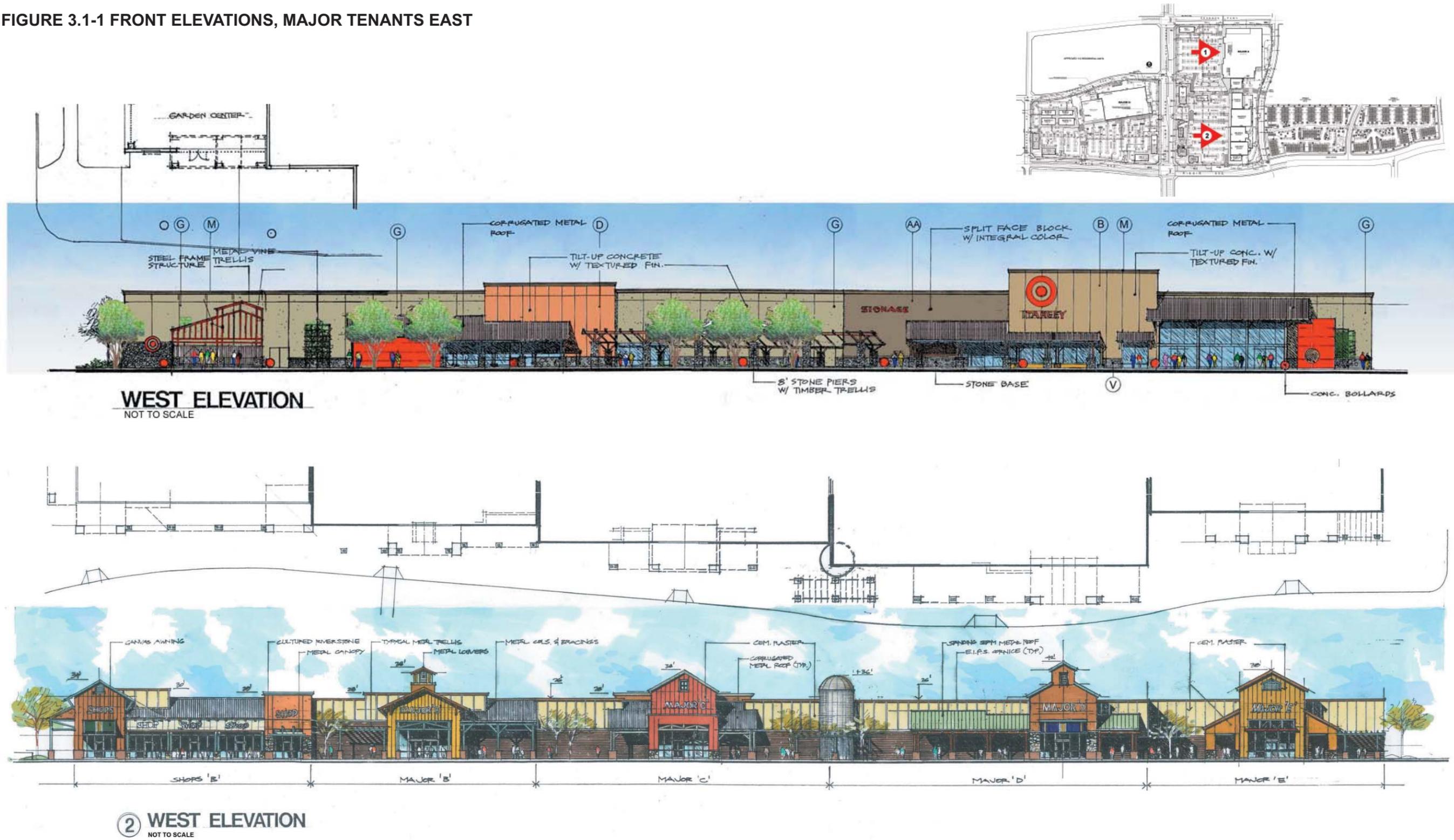
# ORCHARD WALK SPECIFIC PLAN

FIGURE 3.0-1 LOCATION OF DESIGN DETAILS



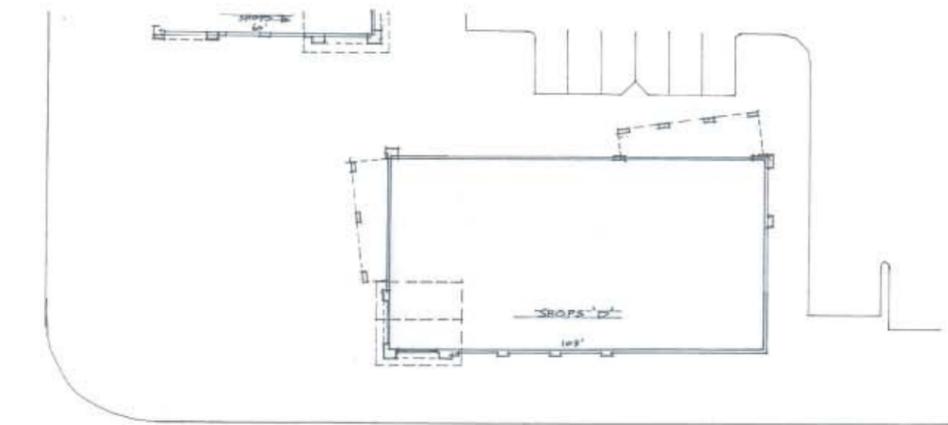
# ORCHARD WALK SPECIFIC PLAN

FIGURE 3.1-1 FRONT ELEVATIONS, MAJOR TENANTS EAST

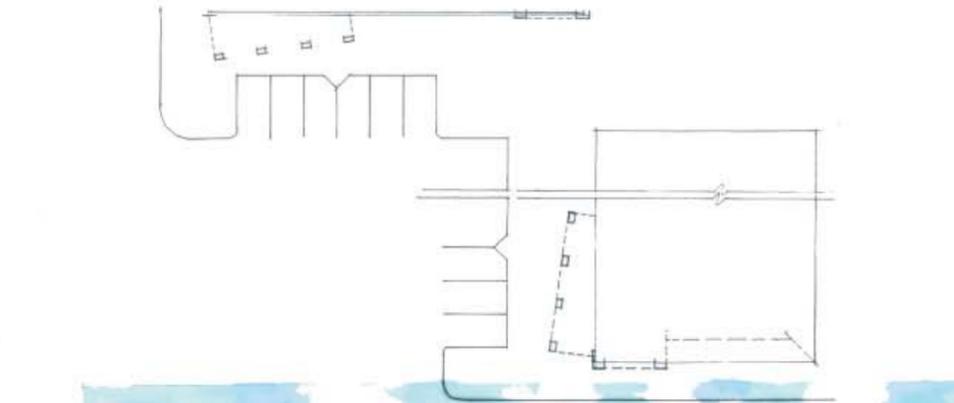


# ORCHARD WALK SPECIFIC PLAN

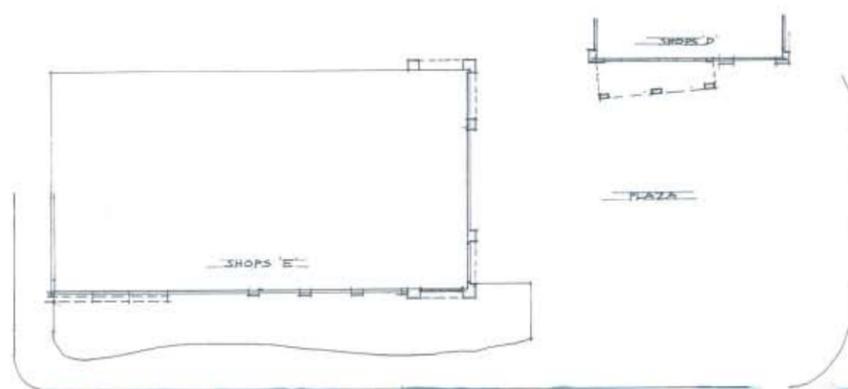
FIGURE 3.1-2 FRONT ELEVATIONS, SHOP AT DINUBA AND RIGGIN



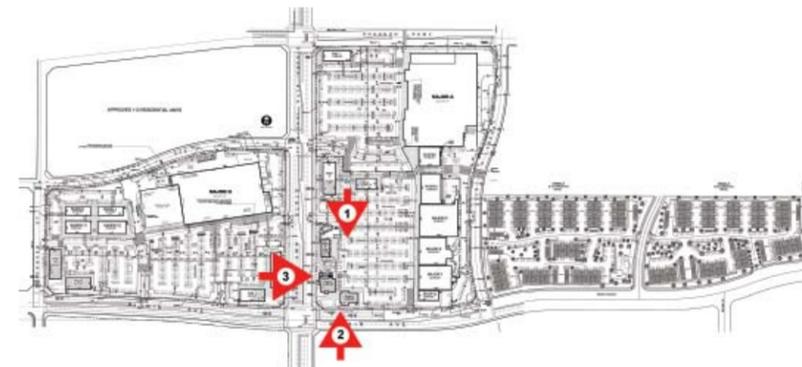
② SOUTH ELEVATION  
NOT TO SCALE



① NORTH ELEVATION  
NOT TO SCALE



③ WEST ELEVATION  
NOT TO SCALE



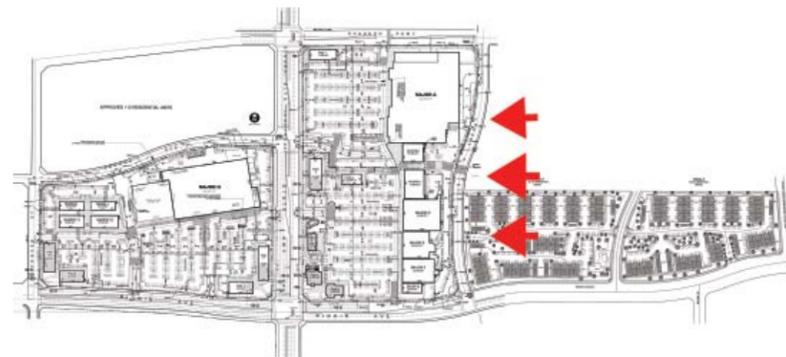
Interpretation

# ORCHARD WALK SPECIFIC PLAN

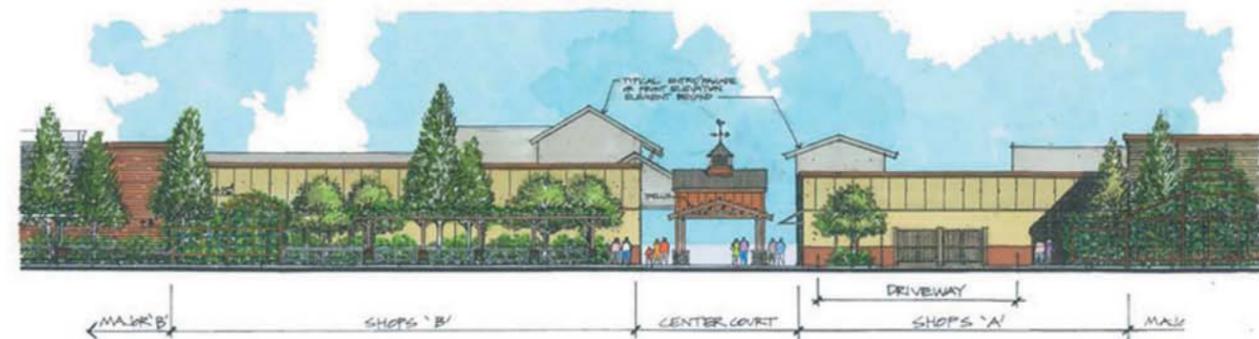
FIGURE 3.1-3 REAR ELEVATIONS, MAJOR TENANTS EAST



**EAST ELEVATION**  
NOT TO SCALE



Interpretation



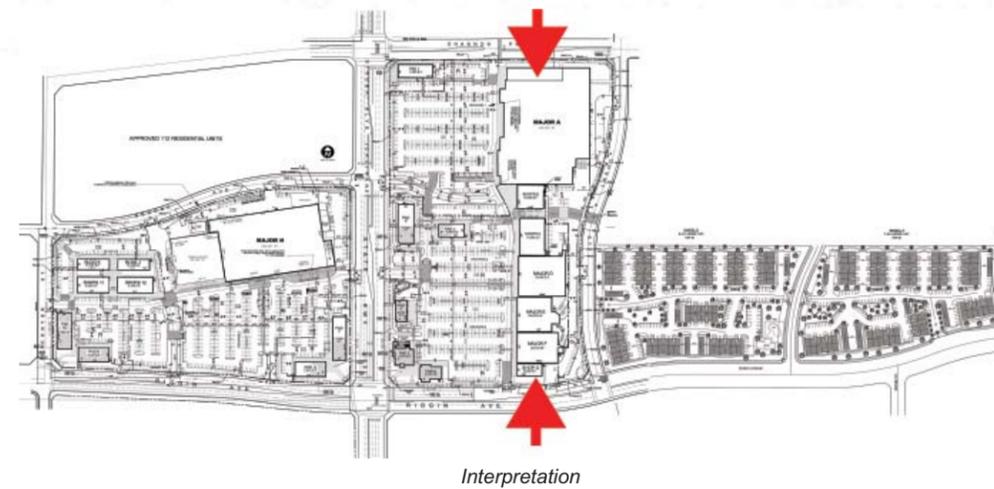
**EAST ELEVATION @ CENTER COURT**  
NOT TO SCALE



**EAST ELEVATION**  
NOT TO SCALE

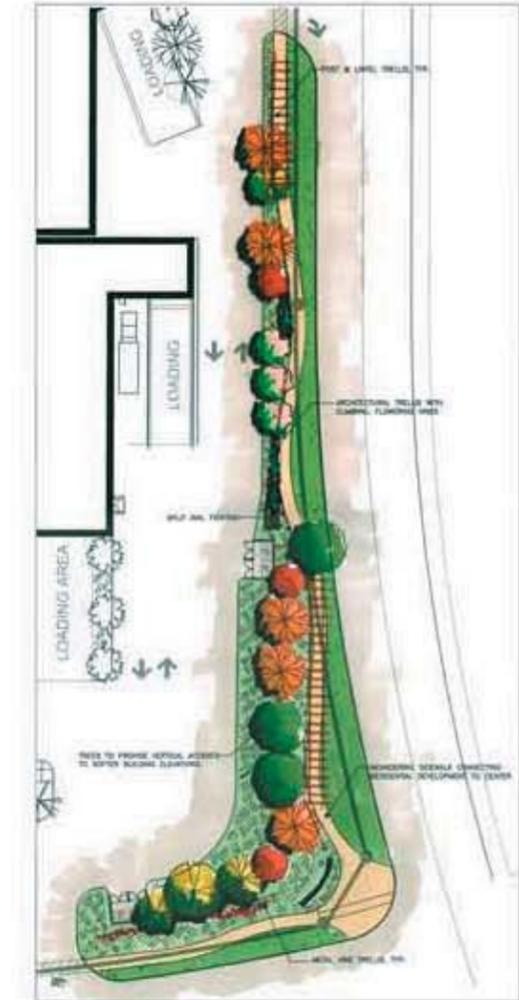
# ORCHARD WALK SPECIFIC PLAN

FIGURE 3.1-4 SIDE ELEVATIONS, MAJOR TENANTS EAST



# ORCHARD WALK SPECIFIC PLAN

FIGURE 3.1-5 SCREENING AT COURT STREET

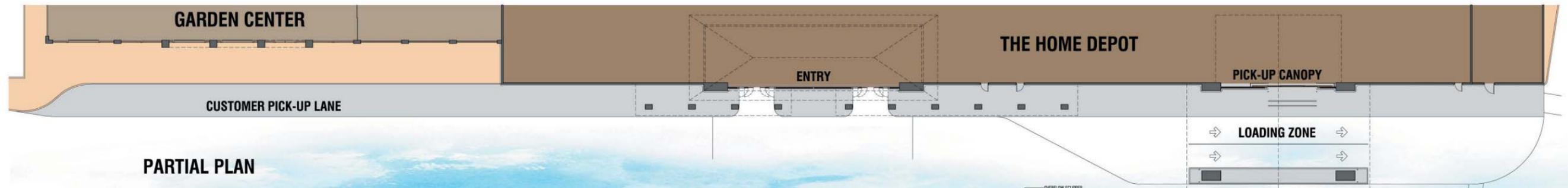


# ORCHARD WALK SPECIFIC PLAN

FIGURE 3.1-6 HOME DEPOT FRONT AND REAR ELEVATIONS



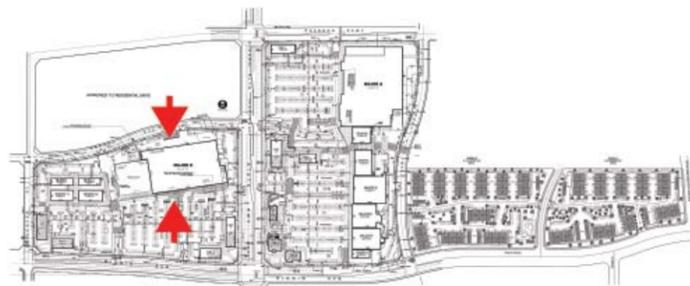
**SOUTH ELEVATION**  
NOT TO SCALE



**PARTIAL PLAN**



**NORTH ELEVATION**  
NOT TO SCALE



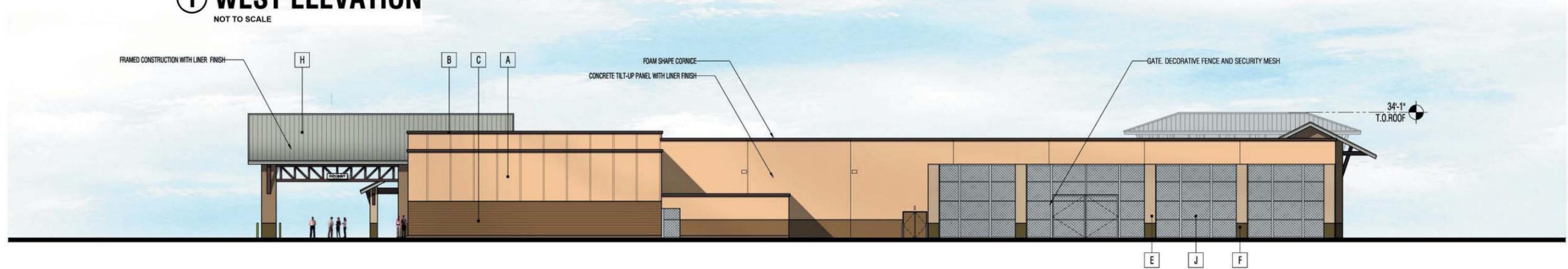
Interpretation

# ORCHARD WALK SPECIFIC PLAN

FIGURE 3.1-7 HOME DEPOT SIDE ELEVATIONS



**① WEST ELEVATION**  
NOT TO SCALE



**② EAST ELEVATION**  
NOT TO SCALE



Interpretation

# ORCHARD WALK SPECIFIC PLAN

## 3.2 MEDIUM DENSITY RESIDENTIAL (MDR)

The Medium Density Residential (MDR) designation accommodates attached single-family/multifamily homes (reference Figure 3.2-1). The multifamily portion of the Plan Area is conceptual. A precise development plan shall be submitted to determine conformance with Specific Plan design guidelines. A CUP will also be required since the site would include more than 40 units. The MDR designated area is intended to provide affordable, family oriented homes close to commercial and recreational areas. Commercial uses will be located across the street and adjacent to the MDR designated area. Pedestrian crossings will include stamped asphalt for driver awareness. Table 3.2-1 lists the development standards for the MDR designated area within the Plan Area. Figure 3.2-1 shows the site plan of the MDR area.

The MDR area will provide approximately 224 dwelling units on 15.7 acres at a density of 14.3 dwelling units per acre. The conceptual site plan shows four different plans with units ranging from 1,304 square feet to 1,477 square feet. Amenities in the MDR area include: a clubhouse with pool, tot lot, open space, and pedestrian paths.

### Medium Density Residential Policies and Standards

- A) The development standards in Table 3.2-1 shall be used for the development of the Medium Density Residential area within the Plan Area.
- B) Garages shall not protrude beyond the leading edge of the home.
- C) Alternative garage loading configurations are encouraged (i.e., rear lot garages, side loading garages, detached garages, or alley loading garages).
- D) Architecture, landscaping, lighting, fencing and any signage shall be complimentary and work together to create and maintain neighborhood identity.
- E) Exterior wall materials, trim and architectural details are to be applied equally to all sides of the building.
- F) Utility and mechanical equipment are to be screened from view. Ground mounted air conditioners, coolers, antennas, or other appurtenances are to be screened from off-site view.
- G) The MDR designated area should incorporate variety in style and detail but with a unifying theme that provides cohesion for the entire site.
- H) Building heights and setback shall be varied to break monotony.
- I) The visual impact of garages and driveway aprons are to be minimized.
- J) Flashing details (vents, down spouts and gutters) shall be designed to compliment the building's overall design, including colors and materials.

- K) The size, scale, color, proportion, placement and detailing of architectural features such as porches, balconies, chimneys, doors/windows, dormers, and fencing shall be carefully considered to complement the overall massing and scale of the building.

**Table 3.2-1  
Medium Density Residential Development Standards**

Category	Regulation
<b>LAND USE</b>	
Applicable Zoning District	R-M-2
Applicable Land Use Designation	Residential Medium Density
Density Range	10-15 dwelling units/acre (net)
Permitted Uses	Reference Visalia Municipal Code Section 17.16.020
Conditional Uses	Reference Visalia Municipal Code Section 17.16.040
<b>SITE AREA AND CONFIGURATION</b>	
<b>Site Area</b>	
Minimum Site Area	Two Acres
Minimum Site Area/Dwelling Unit	3,000 Square Feet
Landscape Area Coverage	900 square feet/dwelling unit
<b>SETBACKS</b>	
<b>Front Yard</b>	
Living Space	15 feet minimum (leading edge of living space shall be closer to street than garage on 50% of dwelling units)
Porch	10 feet minimum
Garage	20 feet minimum
<b>Side Yards</b>	
Interior	5 feet minimum (0 feet for attached units)
Exterior	15 feet minimum (may be reduced to 10 feet if side yard does not abut the front yard of an adjacent lot) (side loading garages shall provide a 20 foot minimum setback)
<b>Rear Yard</b>	
Primary Building	20 feet minimum
Distance Between Buildings	6 feet (0 feet for attached units)
<b>BUILDING MASSING</b>	
<b>Building Height</b>	
Primary Structure	35 feet maximum
Accessory Structure	12 feet maximum
<b>Floor Area</b>	
Primary Building	1,000 square feet minimum
Secondary Building	800 square feet maximum (does not include garage area)
Parking Requirements	1.5 spaces /unit (minimum)
<b>FENCING AND WALLS</b>	
<b>Within Setbacks</b>	
Front Yard	4 feet maximum height ( 50% minimum transparency*)
Corner Side Yard	4 feet maximum height (50% minimum transparency*)
<b>Outside Setbacks</b>	
Behind Edge of Structure	6 feet maximum height
In Front of Structure	4 feet maximum height (50% minimum transparency*)

Note: the development standards shall be used for guidance and the required CUP will provide more detailed information.

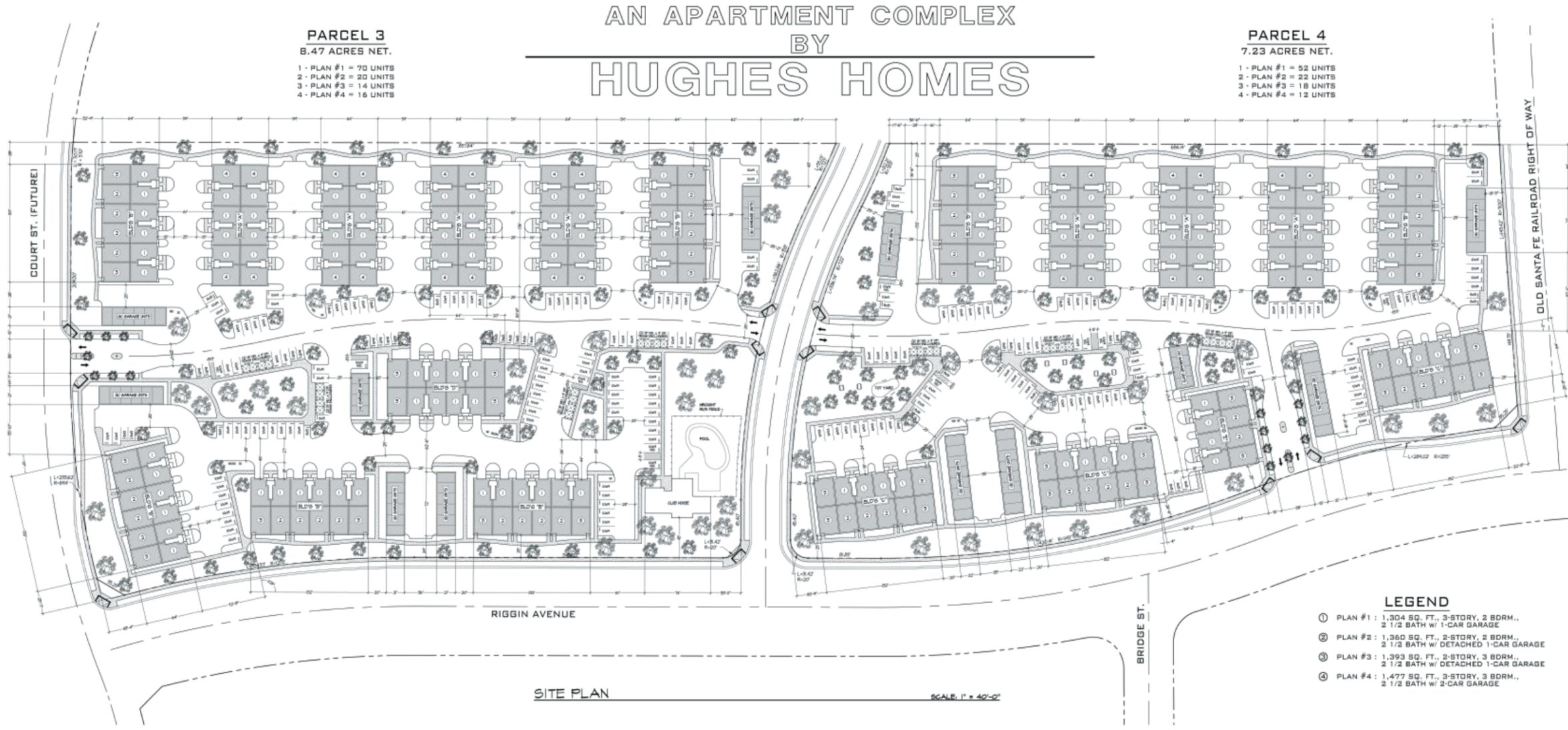
\* A Picket Fence, Split Rail Fence or Decorative Iron Fence Meets the Definition of 50% Transparency



# ORCHARD WALK SPECIFIC PLAN

FIGURE 3.2-1 CONCEPTUAL RESIDENTIAL SITE PLAN

## AN APARTMENT COMPLEX BY HUGHES HOMES



AREAS - PARCEL #3	
PROPERTY SIZE :	360,639
ALLOWABLE # OF UNITS (360,635/5,000) :	125
TOTAL PROPOSED UNITS :	120
LOT COVERAGE AREAS:	
PROPOSED STRUCTURES	20,410
BUILDING 1A (4 @ 5,560 S.F. EA.)	34,248
BUILDING 1B (2 @ 5,300 S.F. EA.)	10,600
BUILDING 1C (1 @ 5,300 S.F. EA.)	5,300
8-CAR GARAGE (2 @ 1,512 S.F. EA.)	3,024
4-CAR GARAGE (1 @ 1,008 S.F. EA.)	1,008
CLUBHOUSE (1 @ 2,500 S.F.)	2,500
% OF LOT COVERED BY STRUCTURES	25.48
ASPHALT PAVED AREAS	146,248
% OF LOT COVERED BY ASPHALT PAVING	39.86
OPEN GREEN AREA	106,631
% OF LOT FOR OPEN GREEN AREA	34.36

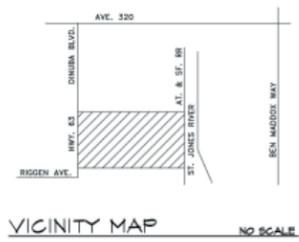
AREAS - PARCEL #4	
PROPERTY SIZE :	314,834
ALLOWABLE # OF UNITS (314,830/5,000) :	104
TOTAL PROPOSED UNITS :	104
LOT COVERAGE AREAS:	
PROPOSED STRUCTURES	83,328
BUILDING 2A (2 @ 5,560 S.F. EA.)	11,120
BUILDING 2B (2 @ 5,300 S.F. EA.)	10,600
BUILDING 2C (1 @ 5,300 S.F. EA.)	5,300
8-CAR GARAGE (2 @ 1,512 S.F. EA.)	3,024
4-CAR GARAGE (1 @ 1,008 S.F. EA.)	1,008
% OF LOT COVERED BY STRUCTURES	26.48
ASPHALT PAVED AREAS	108,431
% OF LOT COVERED BY ASPHALT PAVING	34.66
OPEN GREEN AREA	122,641
% OF LOT FOR OPEN GREEN AREA	39.8

PARKING REQUIREMENTS - PARCEL #3	
REQUIRED PARKING :	240
2 STALLS PER UNIT (120 UNITS x 2)	
PARKING AS PER PLAN:	
GARAGED SPACES	186
10'x14' STANDARD STALLS	90
8'x12' COMPACT STALLS	24
10'x14' HANDICAP ACCESSIBLE STALLS	2
TOTAL NO. OF STALL PROVIDED :	255

PARKING REQUIREMENTS - PARCEL #4	
REQUIRED PARKING :	208
2 STALLS PER UNIT (104 UNITS x 2)	
PARKING AS PER PLAN:	
GARAGED SPACES	166
10'x14' STANDARD STALLS	14
8'x12' COMPACT STALLS	24
10'x14' HANDICAP ACCESSIBLE STALLS	2
TOTAL NO. OF STALL PROVIDED :	210

**LEGAL DESCRIPTION**  
 APN : 071-071-\_\_\_\_ & 071-071-\_\_\_\_  
 ZONE : RM-2  
 WATER : CALIFORNIA WATER SERVICE CO.  
 SEWERAGE : CITY OF VISALIA

- GENERAL NOTES :**
1. ADDRESS NUMBERS MUST BE PLACED ON THE EXTERIOR OF THE BUILDING IN SUCH A POSITION AS TO BE CLEARLY AND PLAINLY VISIBLE FROM THE STREET. NUMBERS WILL BE AT LEAST SIX INCHES HIGH AND SHALL BE OF A COLOR TO CONTRAST WITH THEIR BACKGROUND.
  2. COMMERCIAL DUMPSTERS WITH 15 GROSS YARDS OR MORE SHALL NOT BE STORED OR PLACED WITHIN 5 FEET OF COMPOSITE WALLS, OPENINGS, OR A COMPOSITE ROOF EAVE LINE EXCEPT WHEN PROTECTED BY A FIRE SPRINKLER SYSTEM.
  3. MANAGEMENT OF THESE FACILITIES SHALL BE PROVIDED FOR OFF-SITE.
  4. SECOND-STORY SCREENING TO ADJACENT SINGLE FAMILY AREAS SHALL BE PROVIDED FOR BY USING OPAQUE GLASS IN ALL WINDOWS AT THE REAR WALLS OF THE UNITS.
  5. PARKING LOT LIGHTING SHALL BE DESIGNED AND LOCATED TO REFLECT ANY GLARE AWAY FROM ADJACENT RESIDENTIAL AREAS. CALCULATIONS TO BE SHOWN ON CONSTRUCTION DOCUMENTS.



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AN APARTMENT COMPLEX BY  
 HUGHES HOMES  
 VISALIA, CALIFORNIA

---

COVER SHEET & SITE PLAN

---

STANDARD  
**C1**

PROJECT DESIGN AND DEVELOPMENT STANDARDS

# ORCHARD WALK SPECIFIC PLAN

## 3.3 GATEWAYS

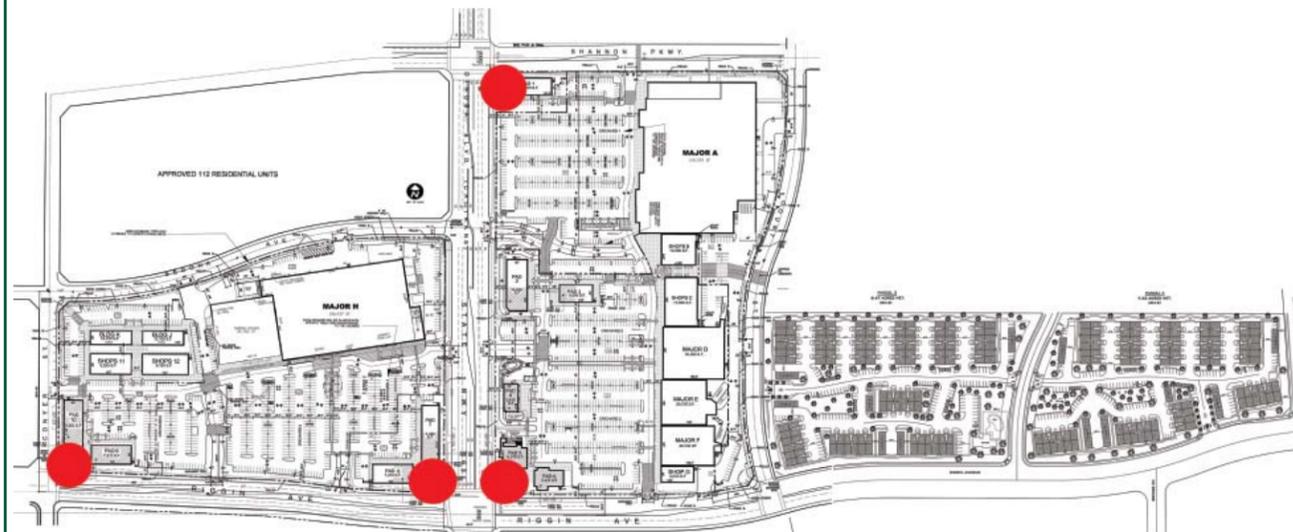
Gateways establish the visual setting for areas, indicating to the visitor or resident a sense of arrival. An attractive gateway is crucial for establishing a desired atmosphere and sense of place.

The primary gateways for the commercial areas within Orchard Walk are at the northwest and northeast corner of the Riggin and Dinuba intersection, the northeast corner of Riggin and the proposed Conyer Street intersection and the southeast corner of Dinuba and the proposed Shannon Parkway intersection (reference Figure 3.3-1). The ingress and egress points for automobiles will be discussed in Chapter 4.0. Each gateway will be heavily landscaped, include monument signage, ornamental lighting and stonework common to the Plan Area. All landscaping, trellis and pedestrian paths will be completed with phase one (Section 6.3) of the project and are the responsibility of the developer.

### Gateway Policies and Standards

- A) Articulated gateways shall be located at the locations shown in Figure 3.3-1
- B) Gateways shall be prominently marked with signage, accent paving, lighting, landscaping, accent trees, and monument features consistent with the design guidelines/standards contained in this Chapter.
- C) Each gateway trellis feature will be 10 feet minimum in height for the trellis portion and 21 feet maximum in height for the primary gateway structure.

FIGURE 3.3-1 GATEWAYS



Interpretation

# ORCHARD WALK SPECIFIC PLAN

## 3.4 FENCING AND WALLS

Walls and fences are necessary elements for the Plan Area, providing safety, security, privacy, property definition, and noise attenuation. Walls and fences can also be included in gateway features and can provide separation between residential areas and more intensive uses. Poorly designed walls and fences can become a noticeable feature that detracts from the quality and character of a neighborhood. Therefore, all wall and fence design within the Plan Area shall be tightly regulated. A creative and controlled approach to walls and fences shall be established to maintain an overall design consistency within the Plan Area.

Fencing throughout the Plan Area shall be coordinated under a single fencing system that identifies the type, appearance, and placement. Fencing and walls shall be completed in phase one of construction for both commercial areas and shall be the responsibility of the project proponent for maintenance and liability. The fence and trellis material will be rough hewn Douglas Fir stained a light grey/green color. The cultured stone is called Honey Country Ledge stone. Figure 3.4-1 illustrates the wood split-rail fencing with stone pilasters used throughout the Plan Area. Figure 3.4-2 shows the location of each fencing/wall type within the Plan Area. Figure 3.4-3 shows a detailed illustration with dimensions for the split-rail fencing. Figure 3.4-4 shows precise locations for each fence and trellis type within the commercial portion of the Plan Area.

### Wall and Fence Policies and Standards

- A) A 3 foot high decorative wood split-rail fence shall be provided around the perimeter of the commercial portion of the Plan Area and the west and east side of the MDR area.
- B) All decorative fencing and walls used in the Plan Area shall be installed and coordinated with appropriate landscaping consistent with the design guidelines/standards contained in this Chapter.
- C) The loading and unloading activities behind each major tenant building shall be conducted in an enclosed loading dock with a positive seal between the loading dock and trucks. The loading dock will include a wall of sufficient height (not to exceed 8'), and appearance as the remainder of the building, to minimize sound from trucks and have an appearance similar to that of the main building.
- D) The footings for all fences and trellises shall be located outside of the dedicated public street ROW. The trellises will be allowed to overhang into the public street ROW.

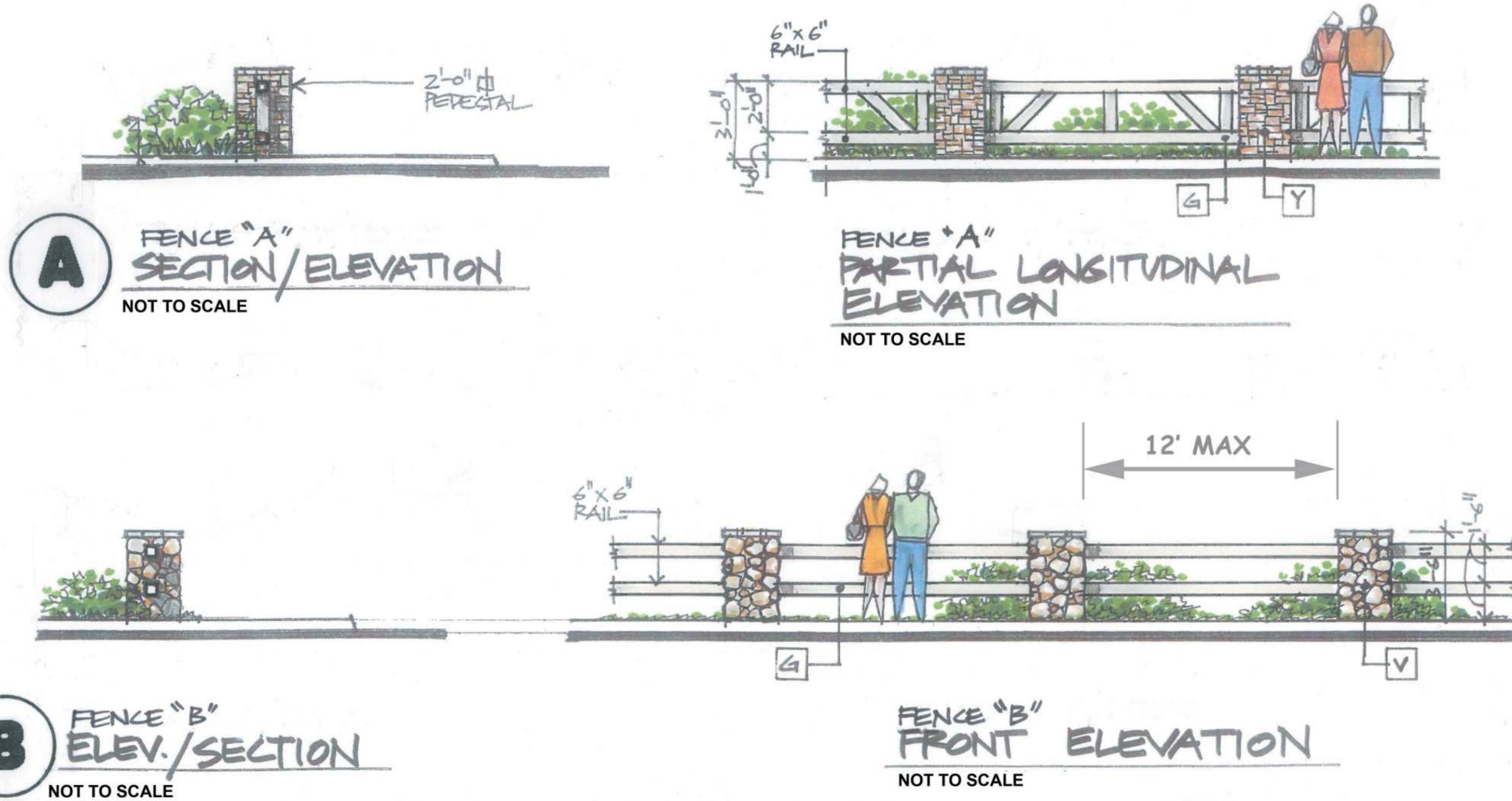
FIGURE 3.4-1 FENCING TYPES





# ORCHARD WALK SPECIFIC PLAN

FIGURE 3.4-3 SPLIT-RAIL FENCING

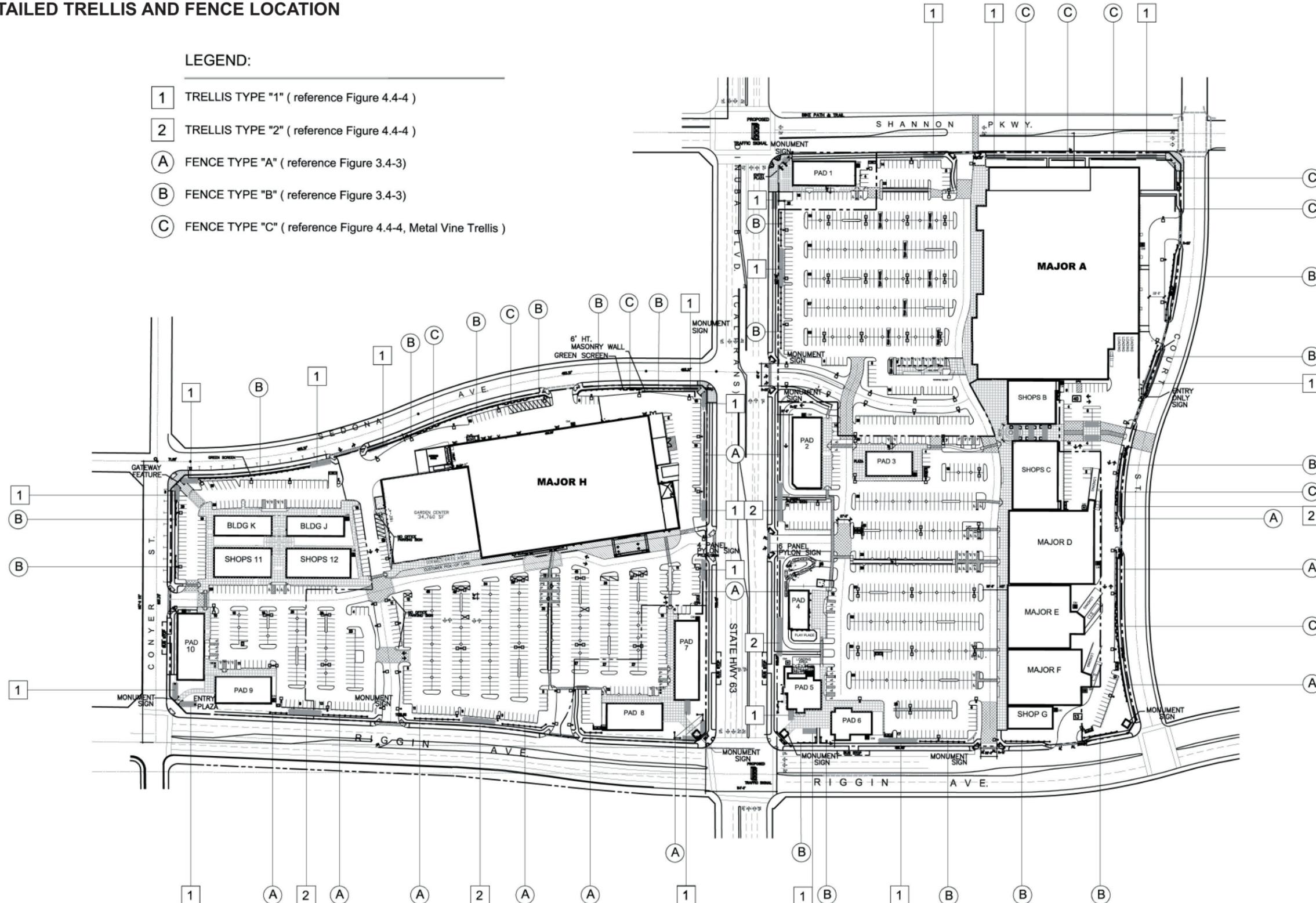


# ORCHARD WALK SPECIFIC PLAN

FIGURE 3.4-4 DETAILED TRELLIS AND FENCE LOCATION

LEGEND:

- 1 TRELLIS TYPE "1" ( reference Figure 4.4-4 )
- 2 TRELLIS TYPE "2" ( reference Figure 4.4-4 )
- A FENCE TYPE "A" ( reference Figure 3.4-3 )
- B FENCE TYPE "B" ( reference Figure 3.4-3 )
- C FENCE TYPE "C" ( reference Figure 4.4-4, Metal Vine Trellis )



# ORCHARD WALK SPECIFIC PLAN

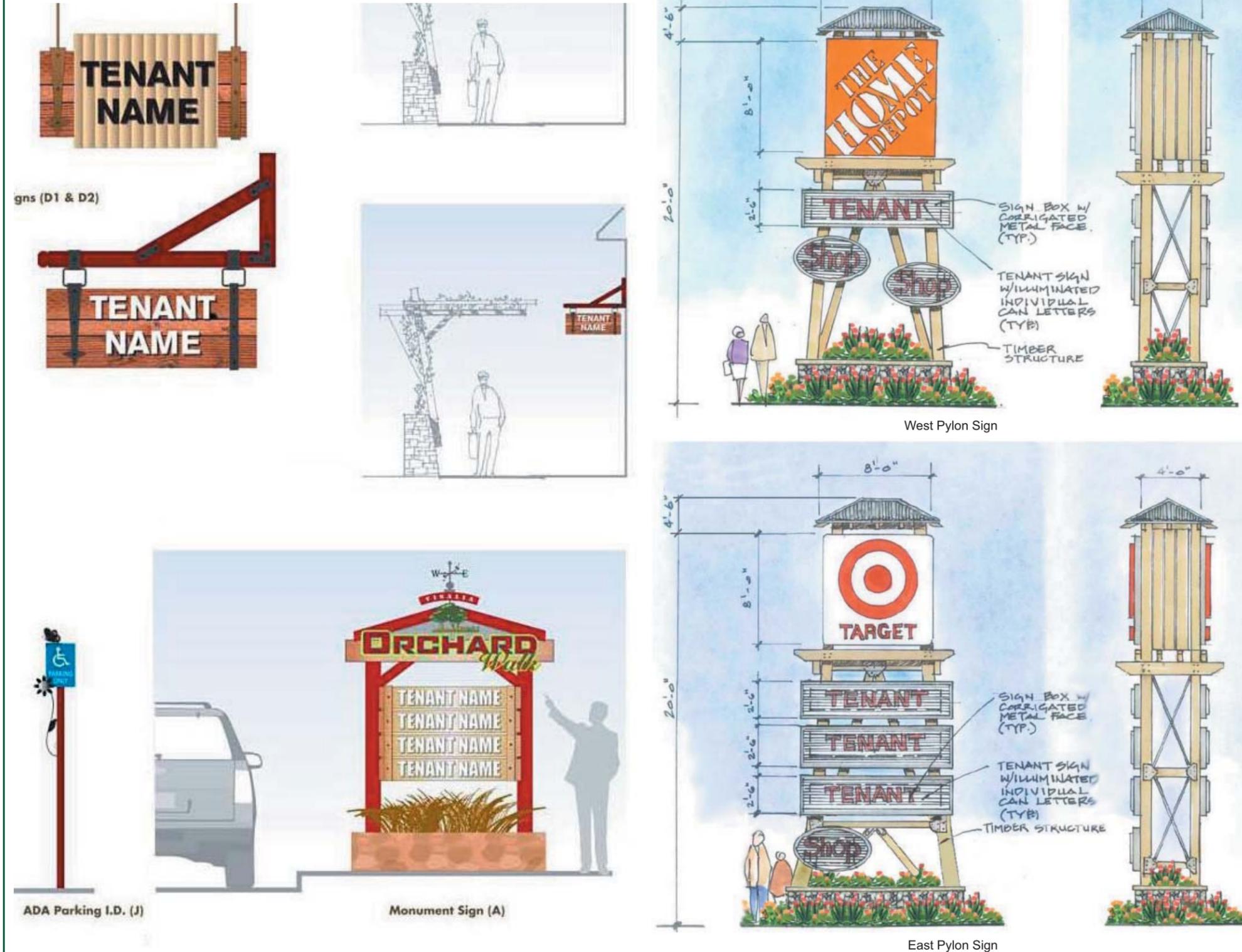
## 3.5 SIGNAGE

Signs provide an important element of community design. Proper design and application of signs help orient people and increase a community's sense of place. By directing visitors and residents to desired locations, signage improves circulation efficiency and access to important destination points. The design and style of signage also contributes to the character and setting for commercial, residential, recreation, and public use areas.

Figure 3.5-1 illustrates signage examples within the Plan Area and Figure 3.5-2 shows conceptual examples of murals and banners proposed for the Plan Area.

Reference Appendix B for the Orchard Walk Sign Program. Where the policies and standards in the Sign Program are silent, the signage regulations in the Visalia Municipal Code Chapter 17.48 Design District A shall prevail.

FIGURE 3.5-1 SIGNAGE AND GRAPHICS EXAMPLES



# ORCHARD WALK SPECIFIC PLAN

FIGURE 3.5-2 MURALS AND BANNERS



John Boyd  
PHOTOGRAPHS  
Anaheim District, California

Banners (E)



Mural Panels (F)



Mural Panels (F)



Banners (E)



Gateway (C)

# ORCHARD WALK SPECIFIC PLAN

## 3.6 STREETScape AND LIGHTING

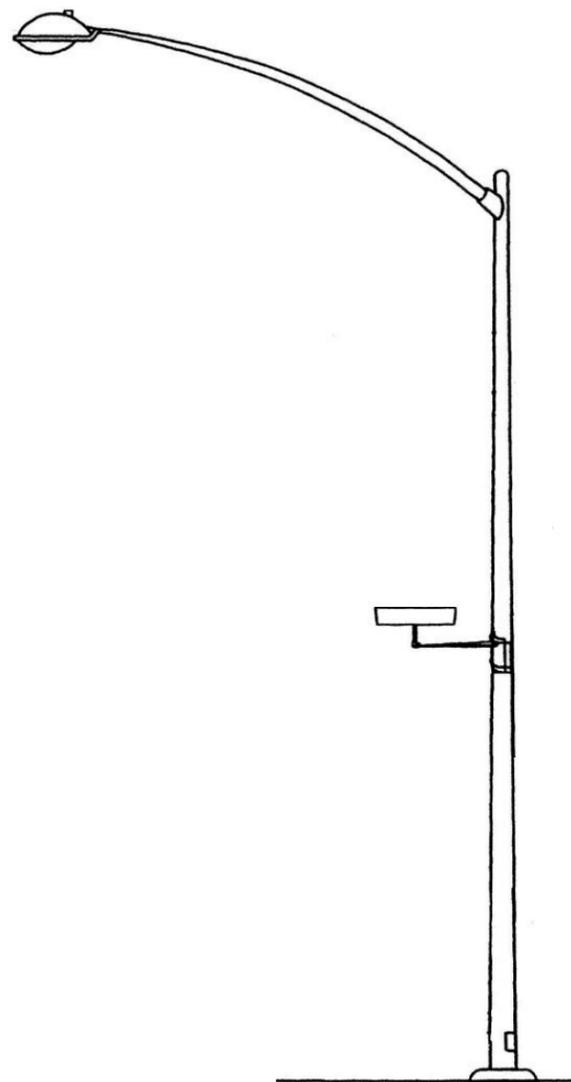
An attractive streetscape can enhance the livability and desirability of the Plan Area. Features such as street trees, lighting, landscaping, sidewalks, street widths, housing setbacks, and fencing are just a few factors that contribute to an attractive streetscape. An emphasis on streetscape design is necessary to create areas that encourage pedestrian circulation and interaction, while reducing auto dependency.

An overall lighting plan can contribute to the community identity of the Plan Area. Lighting within the commercial portion of the Plan Area will be single or double mounted fixtures with pole heights between 22 feet and 35 feet. The entryways will include 22 foot high poles and the rest of the parking areas 35 foot poles. Standard "cobra-head" streetlights may be applied along the street corridors. Street lighting shall be appropriately spaced to provide sufficient lighting for vehicles, pedestrians, and cyclists. It is also important that lighting does not negatively interfere with Plan Area residents or surrounding areas. Figure 3.6-2 shows the general location of each type of lighting within the Plan Area.

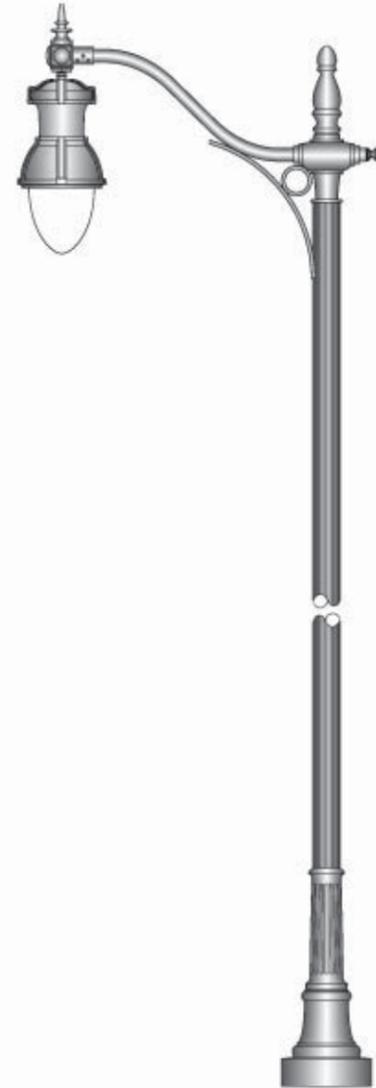
### Lighting Policies and Standards

- A) Lighting shall be provided to ensure a safe environment, but should not cause areas of intense light or glare.
- B) Lighting should be sensitive to adjacent land uses and viewsheds. Architectural features or lighting fixtures that provide down-lighting and lighting that is shielded from adjacent uses shall be implemented.
- C) Street lighting standards shall be dependent upon City and Southern California Edison requirements.
- D) All parking, pedestrian, and safety lighting shall provide uniform illumination and be situated and shielded so as to not cause glare or excessive light spillage on adjacent uses.
- E) Plan Area theme lighting specifications are as follows:
  - Perimeter Lights along Dinuba Boulevard, Riggin Avenue, Hermosa Street and Santa Fe Street: SCE Cobra head drop glass on 30' high pole. Use 100w high pressure sodium vapor at mid-block driveways and medians and 150w high pressure sodium, and high pressure sodium at intersections.
  - Street lights along Conyer Street, Sedona Avenue, Shannon Parkway and Court Street: Shannon Ranch, Sun Valley CS-3774 REV.1 (6' mast arm and 20' pole). Use 100w high pressure sodium vapor along these streets.
  - Interior parking area lights: Greenbriar-flat lens fixture, 22'-35' pole height, single or double mounted fixture.
  - Photometric plan shall demonstrate that light in adjacent properties shall not exceed 0.5 footcandles.

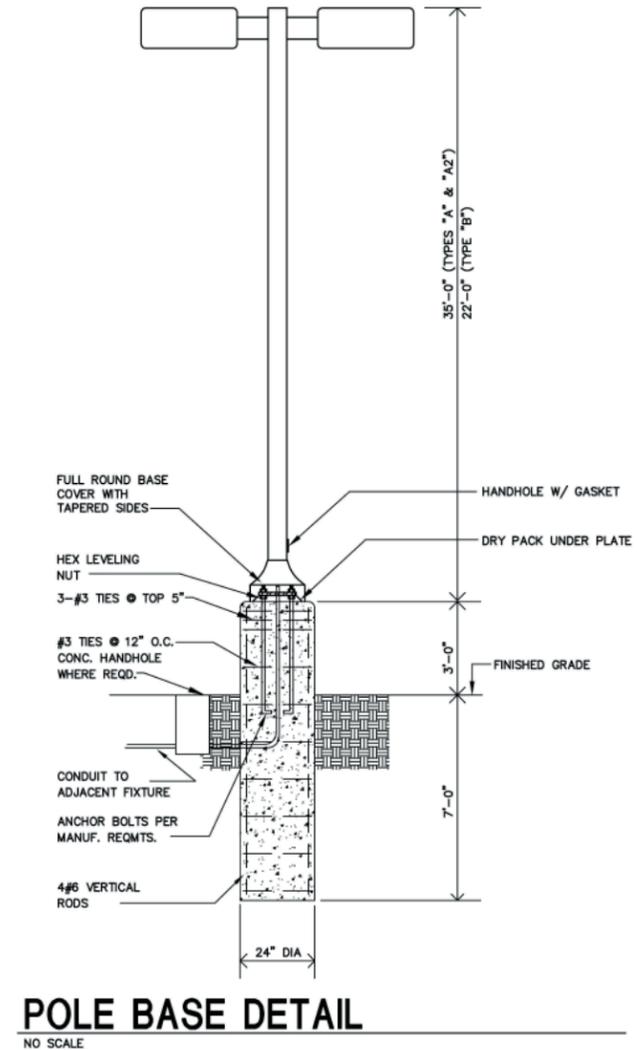
FIGURE 3.6-1 PLAN AREA LIGHTING



Standard Cobra Head Street Light



Shannon Ranch Sun Valley Street Light



Interior Parking Area Light

# ORCHARD WALK SPECIFIC PLAN

FIGURE 3.6-2 LOCATION OF PLAN AREA LIGHTING



# ORCHARD WALK SPECIFIC PLAN

## 3.7 LANDSCAPING

A landscape palette and plan has been established for the Plan Area to ensure the consistent and proper use of plant materials, trees and shrubs that have been designed to landscape the streetscape, entryways, and other different design elements programmed throughout the Plan Area. These materials are presented in a table that shows their symbol, name and size (see Landscape Palette Table 3.7-1). Final landscaping details will be provided with Improvement Plans. All pedestrian paths, trellis, and landscaping will be completed with Phase One (Section 6.3) of the project. Building pads not developed in Phase One will be planted with seed grass. If parking is located adjacent to a peripheral street, a 36" high landscape screen wall shall be used. A combination of walls, berms, and landscape material is recommended.

The Plan Area draws influence from the agrarian qualities of the region. Landscape will define areas on site using agricultural practices for inspiration. The texture and color of plants selected will be deliberate in design creating interesting patterns. The community will experience tree lined streets approaching Orchard Walk. Flowering vine covered trellis structures shade meandering walkways along the Plan Area street frontage. Parking lots will be defined by wind row trees typical of farming. Parking fields become Orchards with each Orchard featuring a different variety of shade tree. The Orchards will feature a mixture of deciduous and evergreen trees which will provide colorful eye interest throughout the year. Storefront pedestrian walkways will contain ornamental grasses which will separate the pedestrian pathways from parked cars. Vine covered trellis structures will be featured at specific locations along these pedestrian pathways creating unique shade and shadow experiences as well as comfortable places to sit and linger. Mixed with ornamental grasses, roses and other fragrant plants will be used to further enhance the outdoor areas. The outdoor experience at Orchard Walk will be unique and reinforce the importance of community.

Figure 3.7-1 shows photographs of each species of tree and shrub available for planting within the Plan Area. Figure 3.7-2 shows how the Orchard Walks will be varied throughout the commercial portion of the Plan Area. Figure 3.7-3 shows street furniture and trellis work common to the Plan Area. Figures 3.7-4 and 3.7-5 show the conceptual West and East Landscape Plans respectively.

### Landscaping Policies and Standards

- A) The landscaping specifications in Table 3.7-1 and Figures 3.7-4 and 3.7-5 shall apply to all landscaped areas within the commercial portion of the Plan Area.
- B) For the multifamily portion of the Plan Area, street trees are to be planted between streets and sidewalks at a minimum of 20 feet on center. For the commercial portion of the Plan Area, street trees are to be planted between streets and sidewalks at a minimum of 30 feet on center.

TABLE 3.7-1 LANDSCAPE PALETTE

### PLANTING LEGEND

SYMBOL	ABBREVIATION	BOTANICAL NAME	COMMON NAME	SIZE
<b>TREES</b>				
	GEJ PAR	GEJERA PARVIFLORA	AUSTRALIAN WILLOW	24" BOX
	KOE BIP	KOELREUTERIA BIPINNATA	CHINESE FLAME TREE	15 GAL
	LAG IND	LAGERSTROEMIA INDICA 'TUSCARORA'	TUSCARORA CRAPE MYRTLE	24" BOX
	LIQ STY	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'	'ROTUNDILOBA' AMERICAN SWEET GUM	15 GAL
	MAG GRA	MAGNOLIA GRANDIFLORA 'SAMUEL SOMMER'	SAMUEL SOMMER SOUTHERN MAGNOLIA	24" BOX
	NYS SYL	NYSSA SYLVATICA	TUPELO	24" BOX
	PIS CHI	PISTACIA CHINENSIS	CHINESE PISTACHE	24" BOX
	PLA ACE	PLATANUS X ACERIFOLIA	LONDON PLANE TREE	15 GAL
	PRU CER	PRUNUS CERASIFERA 'KRAUTER VESUVIUS'	ORNAMENTAL FLOWERING PLUM	24" BOX
	OLE EUR	OLEA EUROPEA	OLIVE TREE	SPECIMEN
	QUE AGR	QUERCUS AGRIFOLIA	COAST LIVE OAK	SPECIMEN
	RHA IND	RHAPHIOLEPIS INDICA STD. 'MAJESTIC BEAUTY'	MAJESTIC BEAUTY INDIA HAWTHORN STANDARD	24" BOX
	RHU LAN	RHUS LANCEA	AFRICAN SUMAC	15 GAL
	SEQ SEM	SEQUOIA SEMPERVIRENS 'APTOS BLUE'	'APTOS BLUE' COAST REDROOD	15 GAL
<b>SHRUBS</b>				
	CAL VIM	CALLISTEMON VIMINALIS 'LITTLE JOHN'	LITTLE JOHN BOTTLEBRUSH	
	DIE IRI	DIETES IRIDIOIDES (D. VEGETA)	FORTNIGHT LILY	
	ESC RUB	ESCALLONIA 'RUBRA'	RED ESCALLONIA	
	FES GLA	FESTUCA GLAUCA	COMMON BLUE FESCUE	
	HEL SEM	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	
	HEM HYB	HEMEROCALLIS HYBRIDS	HYBRID EVERGREEN DAYLILIES	
	LAN PUR	LANTANA MONTEVIDENSIS 'PURPLE'	PURPLE TRAILING LANTANA	
	LAV GOO	LAVANDULA 'GOODWIN CREEK GREY'	GOODWIN CREEK GREY LAVENDER	
	LIG JAP	LIGUSTRUM JAPONICUM 'TEXANUM'	TEXAS PRIVET	
	MUL RIG	MULENBERGIA RIGENS	DEER GRASS	
	NER OLE	NERIUM OLEANDER 'PETITE PINK'	'PETITE PINK' OLEANDER	
	PHO FRA	PHOTINIA x FRASERI	FRASER'S PHOTINIA	
	PIT TOB	PITTOSPORUM TOBIRA 'TURNER'S VARIEGATED DWARF'	TURNER'S VARIEGATED DWARF TOBIRA	
	RHA BAL	RHAPHIOLEPIS INDICA 'BALLERINA'	SPRINGTIME INDIA HAWTHORN	
	RHA SPR	RHAPHIOLEPIS INDICA 'SPRINGTIME'	BALLERINA INDIA HAWTHORN	
	ROS HYB	ROSA 'FLOWER CARPET' (RED)	RED FLOWER CARPET ROSE	
	ROS HYB	ROSA 'ICEBERG'	ICEBERG ROSE	
	XYL CON	XYLOSMA CONGESTUM	XYLOSMA	
<b>VINES</b>				
	CLY CAL	CLYTOSTOMA CALLISTEGIOIDES	VIOLET TRUMPET VINE	
	FIC PUM	FICUS PUMILA (F. REPENS)	CREeping FIG	
	HED HEL	HEDERA HELIX 'MINIMA'	MINIMA ENGLISH IVY	

# ORCHARD WALK SPECIFIC PLAN

FIGURE 3.7-1 LANDSCAPE DETAIL 1

**Trees**



*Geijera parviflora*  
Australian Willow



*Koelreuteria bipinnata*  
Chinese Flame Tree



*Lagerstroemia indica* 'Tuscarora'  
Tuscarora Crape Myrtle



*Liquidambar styraciflua*  
'Rotundiloba'  
Rotundiloba American Sweet Gum



*Magnolia grandiflora*  
'Samuel Sommer'  
Samuel Sommer  
Southern Magnolia



*Nyssa sylvatica*  
Tupelo



*Olea europea*  
Olive



*Pistacia chinensis*  
Chinese Pistache



*Platanus x acerifolia*  
London Plane Tree



*Populus nigra* 'Italica'  
Lombardy Poplar

**Trees (continued)**



*Prunus cerasifera* 'Krauter Vesuvius'  
Ornamental Flowering Plum



*Quercus agrifolia*  
Coast Live Oak



*Rhus lanceae*  
African Sumac



*Rosa*  
Tree Rose



*Sequoia sempervirens*  
'Aptos Blue'  
Aptos Blue Coast Redwood

**Shrubs**



*Callistemon viminalis*  
'Little John'  
Little John Bottlebrush



*Dietes iridoides*  
Fortnight Lily



*Festuca glauca*  
Common Blue Fescue



*Helictotrichon sempervirens*  
Blue Oat Grass



*Hemerocallis hybrids*  
Hybrid Evergreen Daylilies

**Shrubs (continued)**



*Lantana montevidensis*  
'Purple'  
Purple Trailing Lantana



*Lavendula*  
'Goodwin Creek Grey'  
Goodwin Creek  
Grey Lavender



*Ligustrum japonicum* 'Texanum'  
Texas Privet



*Miscanthus sinensis*  
'Kirk Alexander'  
Japanese Silver Grass



*Muhlenbergia rigens*  
Deer Grass



*Nerium oleander*  
'Petite Pink'  
Petite Pink Oleander



*Pennisetum setaceum* 'Purpurea'  
Purple Fountain Grass



*Photinia x fraseri*  
Fraser's Photinia



*Pittosporum tobira*  
'Turner's Variegated  
Dwarf'  
Turner's Variegated  
Dwarf Tobira



*Raphiolepis indica*  
'Ballerina'  
Ballerina India  
Hawthorn

**Shrubs (continued)**



*Raphiolepis indica* 'Springtime'  
Springtime India Hawthorn



*Rosa* 'Flower Carpet'  
Red Flower Carpet Rose



*Rosa* 'Iceberg'  
Iceberg Rose



*Rosmarinus officinalis*  
Rosemary



*Xylosma congestum*  
Xylosma

**Vines**



*Clytostoma callistegiodes*  
Violet Trumpet Vine



*Ficus pumila*  
Creeping Fig



*Hedera helix* 'minima'  
Minima English Ivy



*Jasminum polyanthum*  
Pink Jasmine



**DONAHUE  
SCHRIBER**

# ORCHARD WALK SPECIFIC PLAN

FIGURE 3.7-2 ORCHARD WALKS



# ORCHARD WALK SPECIFIC PLAN

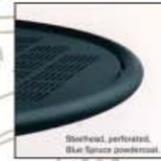
FIGURE 3.7-3 LANDSCAPE DETAIL 2



Cantena Chair (Village I)  
Landscape Forms



Cantena Seating - Black Finish  
(Village I)  
Landscape Forms



Cantena Table Steelhead,  
Perforated  
Spruce Powdercoat  
Quad - Free Standing  
(Village I)  
Landscape Forms



Marketplace Umbrella - 9' Octagon  
Landscape Forms



Chair - Colors to be white, red, black,  
green and blue.  
(Village I)  
Cape Cod Adirondack Chair  
Adirondackchairs.com



Chair - Colors to be white, red, black,  
green and blue.  
(Village I)  
Woodstock Lounge Chair  
Adirondackchairs.com



Settee - Colors to be white, red, black,  
green and blue.  
(Village I)  
Seaside Casual Furniture #SEA212  
(800) 809-3114



Walkway Trellis - Cantilevered Pergola



Walkway Trellis - Cantilevered Pergola



Walkway Trellis - Cantilevered Pergola



Lakeside Site Bench  
Landscape Forms



Lakeside Site Bench  
Landscape Forms - Ivy Powdercoat Finish, Wood  
Bench and Back



Quick Crete Planter Pot



Quick Crete Planter Pot



Lakeside Trash Receptacle  
Ivy color specified.  
(Required to be ordered with foot mounts  
and ash receptacle top, not shown.)  
Landscape Forms



**DONAHUE  
SCHRIBER**

# ORCHARD WALK SPECIFIC PLAN

FIGURE 3.7-4 CONCEPTUAL LANDSCAPE PLAN WEST



SYMBOL	ABBREVIATION	BOTANICAL NAME	COMMON NAME	SIZE
<b>TREES</b>				
GEI PAR	GEUERA PARVIFLORA	GEUERA PARVIFLORA	AUSTRALIAN WILLOW	24" BOX
KOE BIP	KOELREUTERIA BIPINNATA	KOELREUTERIA BIPINNATA	CHINESE FLAME TREE	15 GAL
LAG IND	LAGERSTROEMIA INDICA 'TUSKDEE'	LAGERSTROEMIA INDICA 'TUSKDEE'	TUSKDEE CRAPE MYRTLE	24" BOX
LIQ STY	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'	'ROTUNDILOBA' AMERICAN SWEET GUM	15 GAL
MAG GRA	MAGNOLIA GRANDIFLORA 'SAMUEL SOMMER'	MAGNOLIA GRANDIFLORA 'SAMUEL SOMMER'	SAMUEL SOMMER SOUTHERN MAGNOLIA	24" BOX
NYS SYL	NYSSA SYLVATICA	NYSSA SYLVATICA	TUPELO	24" BOX
PIS CHI	PISTACIA CHINENSIS	PISTACIA CHINENSIS	CHINESE PISTACHE	24" BOX
PLA ACE	PLATANUS X ACERIFOLIA	PLATANUS X ACERIFOLIA	LONDON PLANE TREE	15 GAL
PRU CER	PRUNUS CERASIFERA 'KRAUTER VESUVIUS'	PRUNUS CERASIFERA 'KRAUTER VESUVIUS'	ORNAMENTAL FLOWERING PLUM	24" BOX
OLE EUR	OLEA EUROPEA	OLEA EUROPEA	OLIVE TREE	SPECIMEN
QUE AGR	QUERCUS AGRIFOLIA	QUERCUS AGRIFOLIA	COAST LIVE OAK	SPECIMEN
POP NC	POPULUS NIGRA 'ITALICA'	POPULUS NIGRA 'ITALICA'	LOMBARDY POPLAR	24" BOX
RHU LAN	RHUS LANCEA	RHUS LANCEA	AFRICAN SUMAC	15 GAL
SEQ SEM	SEQUOIA SEMPERVIRENS 'APTOS BLUE'	SEQUOIA SEMPERVIRENS 'APTOS BLUE'	'APTOS BLUE' COAST REDWOOD	15 GAL
<b>SHRUBS</b>				
CAL VM	CALLISTEMON VIMINALIS 'LITTLE JOHN'	CALLISTEMON VIMINALIS 'LITTLE JOHN'	LITTLE JOHN BOTTLEBRUSH	5 GAL @ 42" OC
DIE IRI	DIETES IRIDIODES (D. VEGETA)	DIETES IRIDIODES (D. VEGETA)	FORTNIGHT LILY	5 GAL @ 36" OC
ESC RUB	ESCALONIA RUBRA	ESCALONIA RUBRA	RED ESCALONIA	5 GAL @ 36" OC
FES GLA	FESTUCA GLAUCA	FESTUCA GLAUCA	COMMON BLUE FESCUE	5 GAL @ 24" OC
HEL SEM	HELICTOTRICHON SEMPERVIRENS	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	5 GAL @ 24" OC
HEM HYB	HEMEROCALLIS HYBRIDS	HEMEROCALLIS HYBRIDS	HYBRID EVERGREEN DAYLILIES	1 GAL @ 24" OC
LAN PUR	LANTANA MONTEVIDEENSIS 'PURPLE'	LANTANA MONTEVIDEENSIS 'PURPLE'	PURPLE TRAILING LANTANA	5 GAL @ 48" OC
LAV GOO	LAVANDULA 'GOODWIN CREEK GREY'	LAVANDULA 'GOODWIN CREEK GREY'	GOODWIN CREEK GREY LAVENDER	1 GAL @ 38" OC
LIG JAP	LIGUSTRUM JAPONICUM 'TEXANUM'	LIGUSTRUM JAPONICUM 'TEXANUM'	TEXAS PRIVET	5 GAL @ 42" OC
MIL RIG	MULBERRIA RIGENS	MULBERRIA RIGENS	DEER GRASS	1 GAL @ 42" OC
NER OLE	NERIUM OLEANDER 'PETITE PINK'	NERIUM OLEANDER 'PETITE PINK'	'PETITE PINK' OLEANDER	1 GAL @ 42" OC
PHO FRA	PHOTINIA X FRASER	PHOTINIA X FRASER	FRASER'S PHOTINIA	5 GAL @ 42" OC
PIT TOB	PITTOSPORUM TOBIANA 'TURNER'S VAREGATED DWARF'	PITTOSPORUM TOBIANA 'TURNER'S VAREGATED DWARF'	TURNER'S VAREGATED DWARF TOBIANA	1 GAL @ 24" OC
RHA BAL	RHAPHIOLEPIS INDICA 'BALLERINA'	RHAPHIOLEPIS INDICA 'BALLERINA'	SPRINGTIME INDIA HAWTHORN	5 GAL @ 42" OC
RHA SPR	RHAPHIOLEPIS INDICA 'SPRINGTIME'	RHAPHIOLEPIS INDICA 'SPRINGTIME'	BALLERINA INDIA HAWTHORN	5 GAL @ 42" OC
ROS HYB	ROSA 'FLOWER CARPET (RED)'	ROSA 'FLOWER CARPET (RED)'	RED FLOWER CARPET ROSE	5 GAL @ 36" OC
ROS HYB	ROSA 'ICEBERG'	ROSA 'ICEBERG'	ICEBERG ROSE	5 GAL @ 42" OC
XYL CON	XYLOSMA CONGESTUM	XYLOSMA CONGESTUM	XYLOSMA	5 GAL @ 48" OC
<b>VINES</b>				
CLY CAL	CLYTOSTOMA CALLISTEGOIDES	CLYTOSTOMA CALLISTEGOIDES	VOLET TRUMPET VINE	5 GAL
FIC PUM	FICUS PUMILA (F. REPENS)	FICUS PUMILA (F. REPENS)	CREeping FIG	5 GAL
HED HEL	HEDERA HELIX 'MINIMA'	HEDERA HELIX 'MINIMA'	MINIMA ENGLISH IVY	5 GAL
JAS POL	JASMINUM POLYANTHUM (ESPALIER)	JASMINUM POLYANTHUM (ESPALIER)	PINK JASMINE (ESPALIER)	5 GAL

Note: All landscape shall be privately maintained  
Note: Tree spacing as shown.



NOT TO SCALE

# ORCHARD WALK SPECIFIC PLAN

FIGURE 3.7-5 CONCEPTUAL LANDSCAPE PLAN EAST



## PLANTING LEGEND

SYMBOL	ABBREVIATION	BOTANICAL NAME	COMMON NAME	SIZE
<b>TREES</b>				
	GEI PAR	GEIJERA PARVIFLORA	AUSTRALIAN WILLOW	24" BOX
	KOE BIP	KOELREUTERIA BIPINNATA	CHINESE FLAME TREE	15 GAL
	LAG IND	LAGERSTROEMIA INDICA 'TUSCARORA'	TUSCARORA CRAPE MYRTLE	24" BOX
	LIQ STY	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'	'ROTUNDILOBA' AMERICAN SWEET GUM	15 GAL
	MAG GRA	MAGNOLIA GRANDIFLORA 'SAMUEL SOMMER'	SAMUEL SOMMER SOUTHERN MAGNOLIA	24" BOX
	NYS SYL	NYSSA SYLVATICA	TUPELO	24" BOX
	PIS CHI	PISTACIA CHINENSIS	CHINESE PISTACHE	24" BOX
	PLA ACE	PLATANUS X ACERIFOLIA	LONDON PLANE TREE	15 GAL
	PRU CER	PRUNUS CERASIFERA 'KRAUTER VESUVIUS'	ORNAMENTAL FLOWERING PLUM	24" BOX
	OLE EUR	OLEA EUROPEA	OLIVE TREE	SPECIMEN
	QUE AGR	QUERCUS AGRIFOLIA	COAST LIVE OAK	SPECIMEN
	POP NIG	POPULUS NIGRA 'ITALICA'	LOMBARDY POPLAR	24" BOX
	RHU LAN	RHUS LANCEA	AFRICAN SUMAC	15 GAL
	SEQ SEM	SEQUOIA SEMPERVIRENS 'APTOS BLUE'	'APTOS BLUE' COAST REDWOOD	15 GAL
<b>SHRUBS</b>				
	CAL VIM	CALLISTEMON VIMINALIS 'LITTLE JOHN'	LITTLE JOHN BOTTLEBRUSH	
	DIE IRI	DIETES IRIDIODES (D. VEGETA)	FORTNIGHT LILY	
	ESC RUB	ESCALLONIA 'RUBRA'	RED ESCALLONIA	
	FES GLA	FESTUCA GLAUCA	COMMON BLUE FESCUE	
	HEL SEM	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	
	HEM HYB	HEMEROCALLIS HYBRIDS	HYBRID EVERGREEN DAYLILIES	
	LAN PUR	LANTANA MONTEVIDENSIS 'PURPLE'	PURPLE TRAILING LANTANA	
	LAV GOO	LAVANDULA 'GOODWIN CREEK GREY'	GOODWIN CREEK GREY LAVENDER	
	LIG JAP	LIGUSTRUM JAPONICUM 'TEXANUM'	TEXAS PRIVET	
	MUL RIC	MULENBERGIA RIGENS	DEER GRASS	
	NER OLE	NERIUM OLEANDER 'PETITE PINK'	'PETITE PINK' OLEANDER	
	PHO FRA	PHOTINIA x FRASERI	FRASER'S PHOTINIA	
	PIT TOB	PITTIOSPORUM TOBIRA 'TURNER'S VARIEGATED DWARF'	TURNER'S VARIEGATED DWARF TOBIRA	
	RHA BAL	RHAPHIOLEPIS INDICA 'BALLERINA'	SPRINGTIME INDIA HAWTHORN	
	RHA SPR	RHAPHIOLEPIS INDICA 'SPRINGTIME'	BALLERINA INDIA HAWTHORN	
	ROS HYB	ROSA 'FLOWER CARPET' (RED)	RED FLOWER CARPET ROSE	
	ROS ICE	ROSA 'ICEBERG'	ICEBERG ROSE	
	XYL CON	XYLOSMA CONGESTUM	XYLOSMA	
<b>VINES</b>				
	CLY CAL	CLYTOSTOMA CALLISTEGIOIDES	VIOLET TRUMPET VINE	
	FIC PUM	FIGUS PUMILA (F. REPENS)	CREEPING FIG	
	HED HEL	HEDERA HELIX 'MINIMA'	MINIMA ENGLISH IVY	
	JAS POL	JASMINUM POLYANTHUM (ESPALIER)	PINK JASMINE (ESPALIER)	

# ORCHARD WALK SPECIFIC PLAN

## 3.8 PURPOSE AND COMPLIANCE

The purpose of this Section is to establish qualitative design standards and guidelines to further ensure that the quality and character of the Plan Area is upheld. Site design, architectural design and landscape design shall be integrated to create a unified site design that will complement the surrounding residential neighborhoods. The Orchard Walk Specific Plan shall promote visual diversity along the streetscape and promote the use of street-oriented architecture. The following standards and guidelines address site planning, parking, landscaping, architecture, lighting, signage, and service, trash, utility, and storage areas for the site.

## 3.9 ELEMENTS OF PROJECT DESIGN

### 3.9.1 SITE PLANNING

Placement of structures shall be sited in a manner that will complement the adjacent structures. Sites shall be developed and coordinated in a manner to provide order and diversity. Whenever possible, structures should be clustered. When clustering of structures is impractical, visual linkages between structures shall be used such as trellises, tree lines, arcades or other open space structures.

Structures shall be configured so as to minimize pedestrian/vehicle conflicts on site. Where possible, structures should be linked to other areas of the development and the adjacent residential neighborhoods. The use of enhanced paving, landscaping, and trellis will define walkways connecting the Plan Area to adjacent uses and public sidewalks.

Spaces shall be provided for pedestrian gathering places in Community Commercial areas. The spaces between structures or between structures and parking areas shall have clear, recognizable shapes that reflect careful planning and are not simply leftover spaces between structures. Such spaces shall include pedestrian amenities such as shade trees, trellis, benches, tables, and enhanced paving.

### 3.9.2 PARKING CONFIGURATION

Separate vehicle and pedestrian circulation systems shall be provided on-site to minimize the conflict between the two modes of travel. Pedestrian linkages between the primary entrances of structures on the site shall be emphasized, and pedestrian crosswalks on site shall be marked with special paving treatments. Structures on-site shall be linked to the street sidewalk system as an extension of the pedestrian environment.

Parking areas shall be separated from the structures by a raised asphalt walkway and landscaping. Parking stalls within commercial areas shall be 9' x 19' per City standard. Parking shall not directly abut a structure. Access points to a Community Commercial center should be limited to the minimum amount necessary to provide adequate circulation. Parking areas shall be designed so that pedestrians walk parallel to moving cars. The need to cross parking aisles and landscaped areas shall be minimized.

Parking areas that accommodate a large number of vehicles

shall be divided into a series of interconnected parking fields defined by tree planting and other landscaping. If parking is located adjacent to a peripheral street, a 36" high landscape screen wall shall be used. A combination of walls, berms, hedges and landscape material is recommended.

### 3.9.3 LANDSCAPING

Landscaping for commercial uses shall be used to define specific areas by helping to focus on entrances to buildings and parking lots. Landscaping, hardscape and trellis shall be used to create gathering places connected by shaded walkways. Landscaping shall be used to define the edge of the property, provide a transition between neighboring properties, and provide screening for loading and equipment areas.

Landscaping, including hardscape treatments, is required around the entire base of each structure. Concrete mow strips should be provided between turf and shrub areas. Reference the Landscape Palette (Table 3.7-1) for a list of approved species.

### 3.9.4 ARCHITECTURE

The overall architectural theme of the Plan Area shall be consistent with the architectural style found in Figures 3.1-1 through 3.1-7. The architecture, graphics and signage throughout the Plan Area draws inspiration from the visual history of the San Joaquin Valley. Details and materials interpret agriculture, folk art of the region, county fairs, and farmer's markets. Figure 3.9-1 shows the colors and materials used throughout the Plan Area for the building exterior and trim and stone work. The colors for the proposed Home Depot can be found in Figure 3.1-6.

#### Architecture Policies and Standards

- A) Heights of structures shall relate to the adjacent open spaces to allow maximum sunlight penetration and ventilation.
- B) The height and scale shall be compatible with that of surrounding development.
- C) Large structures (60,000 square feet and larger) shall have varied wall and roof planes on the building frontage. The side and rear elevations shall have some combination of architectural treatment(s) including but not limited to, windows, accent bands, stone/CMU veneer columns or undulating facades. Unadorned blank walls are not permitted, and all sides of a community commercial building shall be architecturally treated.
- D) The use of standardized, corporate architectural styles associated with chain-type restaurants should be modified to fit the intended theme.
- E) Large areas of intense light, white colors should be avoided. While subdued colors usually work best as a dominant color, a brighter color may be appropriate. The color palette chosen for a Community Commercial center

should be compatible with the overall theme. Wherever possible, the number of colors should be minimized on the structures exterior. Small commercial structures should use no more than 5 colors. Primary colors should only be used as accent elements.

- F) The roofline at the top of the structure on building front-ages should not run in a continuous plane for more than 150 feet without an offset.
- G) Mechanical equipment on commercial buildings may be roof mounted but shall be screened from public view through using the structures basic materials. Mechanical equipment shall be located below the highest vertical element of the building.
- H) Awnings may be used, and must have eight vertical feet of clearance to the sidewalk. Signs on awnings should be painted on, and be limited to the awning valence or end panels. Plexiglas, and glossy vinyl awnings are prohibited. Canvas, fabric and standing seam metal awnings consistent with the architectural theme may be appropriate. Internally lit awnings are not permitted.
- I) Lighting in Community Commercial centers shall be used to provide security and safety for all areas such as parking, loading, shipping, receiving, pathways and working areas. All building entrances shall be well lit and have architectural lighting treatment.



# ORCHARD WALK SPECIFIC PLAN

FIGURE 3.9-1 COLORS AND MATERIALS



**A** ICI #724  
Parchment



**B** ICI #421  
Onionskin Tan



**C** ICI #424  
Corsican Treasure



**D** ICI #268  
Embergio



**E** ICI #538  
Grand Canyon



**Q** MARTIN, INC  
Martin Patina



**R** MARTIN, INC  
Martin Fashion  
Gray



**S** #4626  
Navy



#4604  
Natural



**U** #4602  
Sunflower  
Yellow



**F** ICI #522  
Monarch Gold



**G** ICI #693  
Montana Tan



**H** ICI #688  
King's Canyon



**J** ICI #510  
Eastlake



**K** ICI #166  
Riding Hood



**V** CORONADO Stone Products  
River Rock  
DESERT RUST



**W** #4637  
Forest Green



**X** #4622  
Terra Cotta



**L** ICI #266  
Residence Row



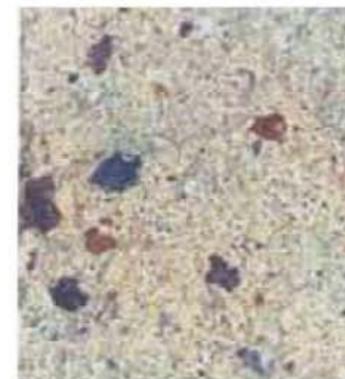
**M** ICI #365  
Sweetwood



**P** ICI #1037  
Big River



**AA** ANGELUS BLOCK  
Split Face Block  
Sunset Color



**BB** ANGELUS BLOCK  
Split Face Block  
Warm Gary Color



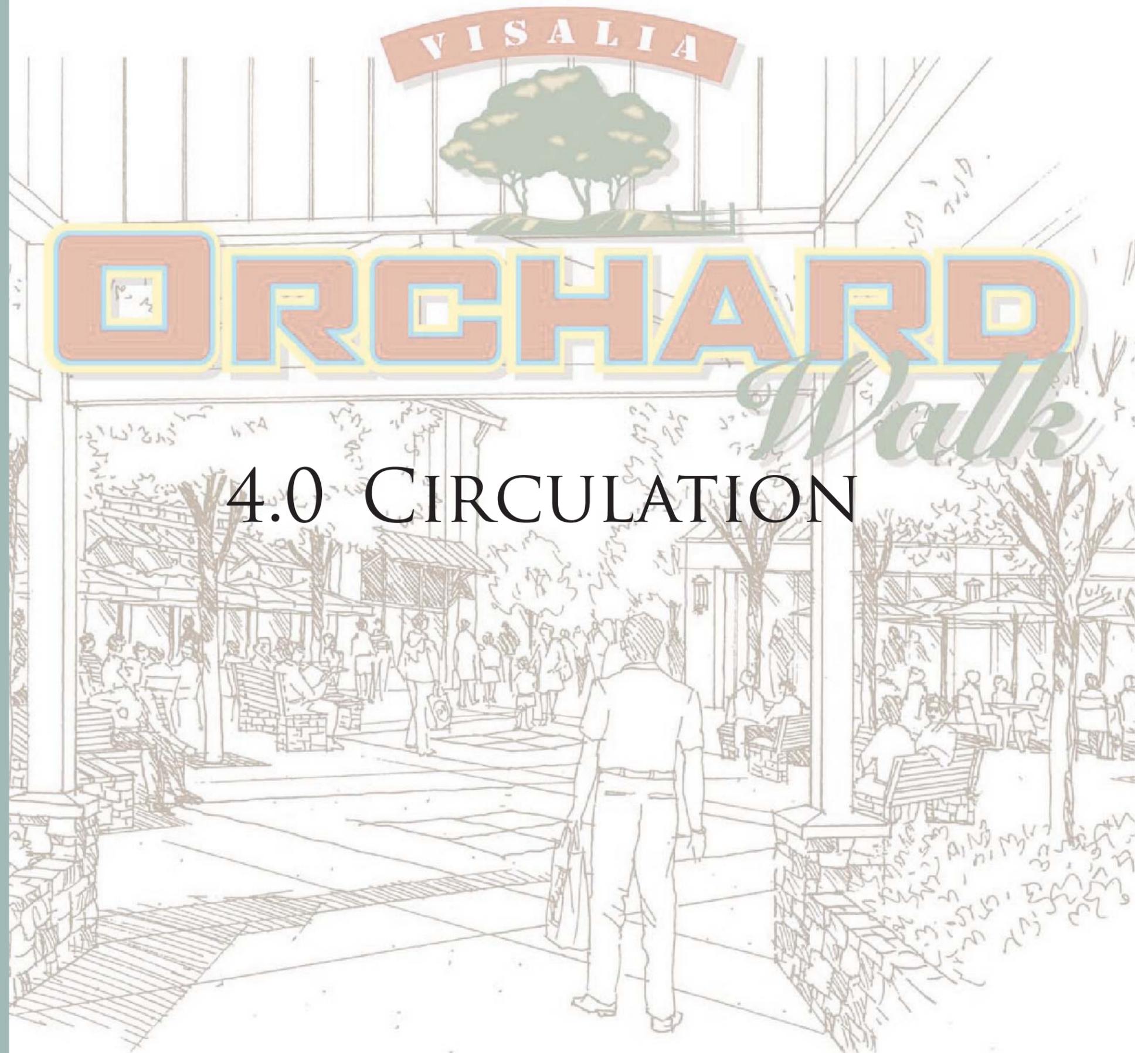
**CC** ANGELUS BLOCK  
Precision Block  
Oak Color



**DD** ANGELUS BLOCK  
Split Face Block  
Oak Color

# ORCHARD WALK SPECIFIC PLAN

VISALIA, CA



## 4.0 CIRCULATION

# ORCHARD WALK SPECIFIC PLAN

## 4.0 CIRCULATION

The circulation network primarily consists of local streets, collectors (Shannon Parkway and Court Street) and arterials (Riggin Avenue, Santa Fe Street and Dinuba Boulevard) and interconnected pedestrian paths (reference Appendix A for the Site Plan). The intent of the circulation network in the Plan Area is to provide safe and efficient movement for motorists, cyclists and pedestrians. There are numerous ingress/egress points throughout the Plan Area to provide circulation options. Reference Figure 4.0-1 for the Circulation Plan.

Pedestrian circulation is a prominent and important feature in the Plan Area. Numerous pedestrian paths connect the various land uses within the Plan Area. The pedestrian path network will be heavily landscaped and include overhead trellis in certain locations to provide shade and an aesthetic environment.

All streets within the Plan Area are lined with sidewalks. The sidewalk system is designed to accommodate two people walking side-by-side. A planting strip is provided between all residential streets and sidewalks to create a safety zone, separating pedestrian space from motor vehicle space. Planting strips must be wide enough to accommodate street trees, and provide shade to pedestrians and cyclists while reducing neighborhood heat insolation to reduce energy consumption without having root damage occur to the street or sidewalk. Sidewalks are to be located on both sides of the street in all situations.

According to the City of Visalia Circulation Element, Dinuba Boulevard and Riggin Avenue are classified as arterials with a final right-of-way (ROW) width of 122 feet and 110 feet respectively. An additional 22' of Row is included on both sides of Dinuba Boulevard for an irrevocable offer of dedication and landscaping, bringing the total ROW to 154'. All streets in the Plan Area will be constructed to their full width per City or Caltrans standards. This will allow for the future construction of a six-lane conventional highway. Exits will be permitted within five feet of a property line along Dinuba Boulevard if road widening is required by Caltrans. Figure 4.0-2 shows street cross sections for each street within and adjacent to the Plan Area.

Appendix I shows a Striping Plan Exhibit for the commercial portion of the Plan Area. The exhibit illustrates travel lanes, medians, vehicular control and turn pockets, all of which are subject to City and Caltrans approval.

The City of Visalia has adopted level of service (LOS) "D" as the standard for traffic impact study purposes. Caltrans endeavors to maintain a target LOS at the transition between LOS "C" and LOS "D" on state highway facilities; however, Caltrans acknowledges that this may not always be feasible.

The Traffic Impact Study (TIS) prepared for this Plan (Traffic Impact Study for the North Park Promenade, November 2006, TPG Consulting, Inc., bound separately) evaluated existing and future conditions for facilities in the Plan Area vicinity. According to the TIS, all intersections in the vicinity currently operate at an acceptable LOS. However, by 2030 (with the

project) the Riggin Avenue and Mooney Boulevard and Riggin Avenue and Dinuba Boulevard intersections are expected to operate at an unacceptable LOS without mitigation. The mitigated 2030 (with the project) scenario has all intersections operating at an acceptable LOS. Reference the TIS for detailed information.

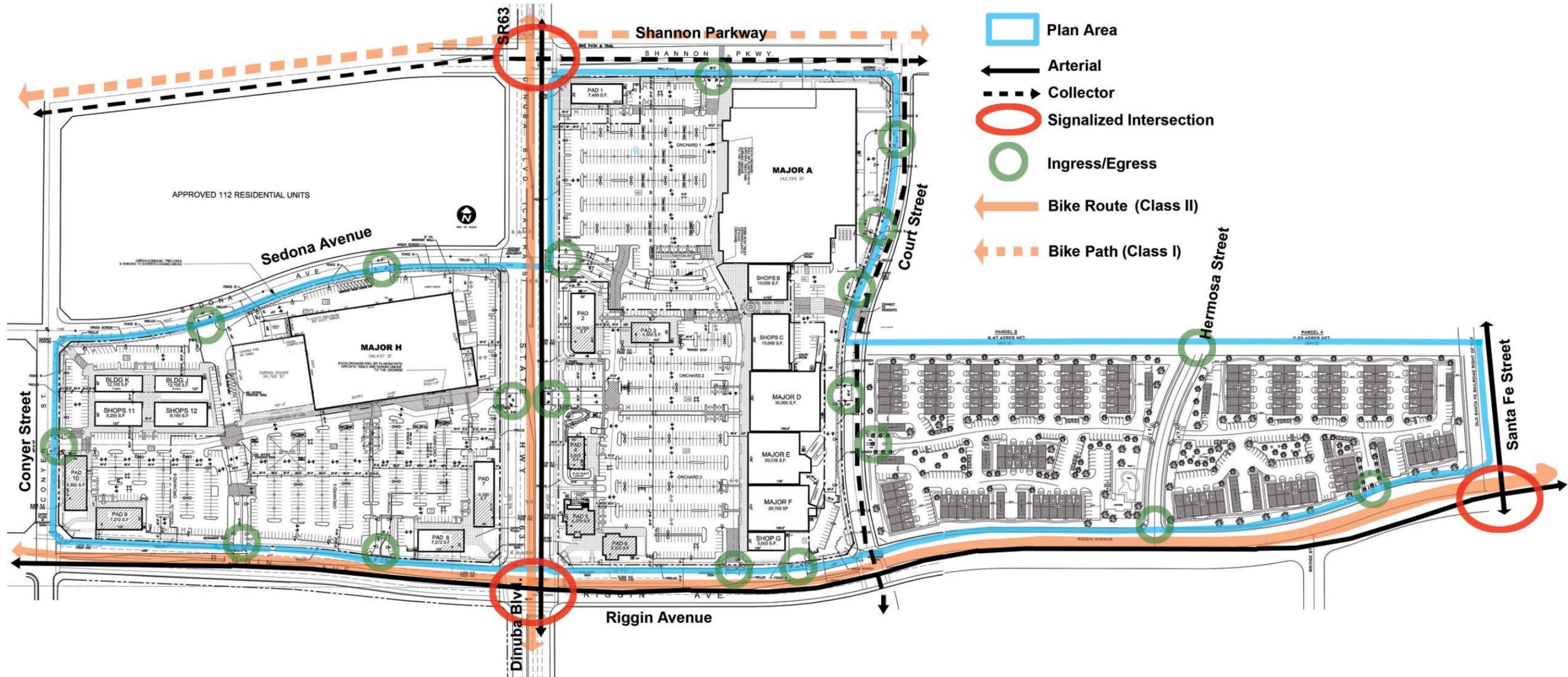
### Circulation Policies and Standards

- A) All roadway and pathway development standards and dimensions within the Specific Plan shall be consistent with City and Caltrans standards and the following:
  - 1) City of Visalia Circulation Element and Visalia Bikeway Plan Update dated February 2006;
  - 2) Traffic Impact Study prepared by TPG Consulting; and
  - 3) Caltrans TIS comments letter dated 1/19/07.
- B) The Visalia Standard Specifications and Drawings shall take precedence for items not covered in the Specific Plan.
- C) All streets within the Plan Area shall be lined with the species of street tree specified in the Landscape Palette (reference Section 3.7).
- D) Traffic calming features may be utilized for traffic calming within the Plan Area.
- E) Pedestrian signals shall be provided at all traffic signals within the Plan Area and street lighting shall be provided for all roadways.
- F) Safe and efficient movement of pedestrians within the Plan Area is paramount and shall be accomplished with pedestrian pathways, trellis, stamped asphalt and landscaping.



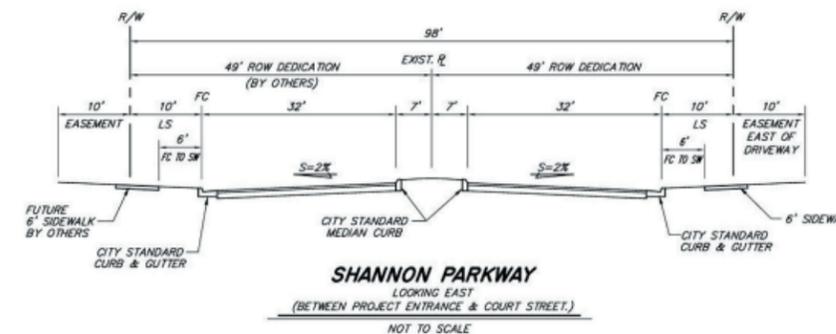
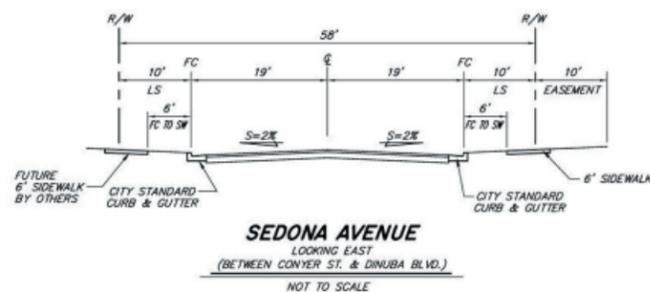
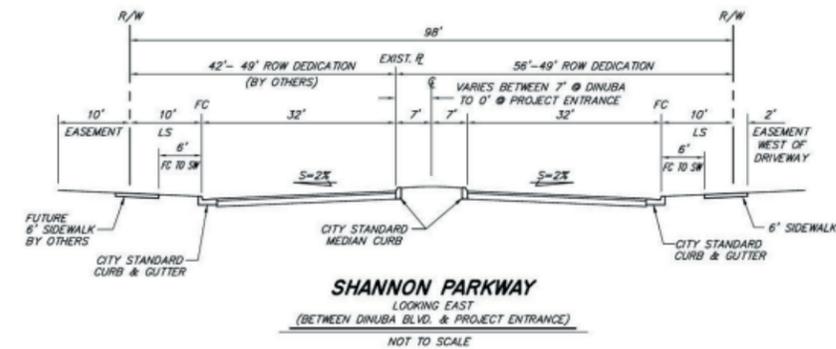
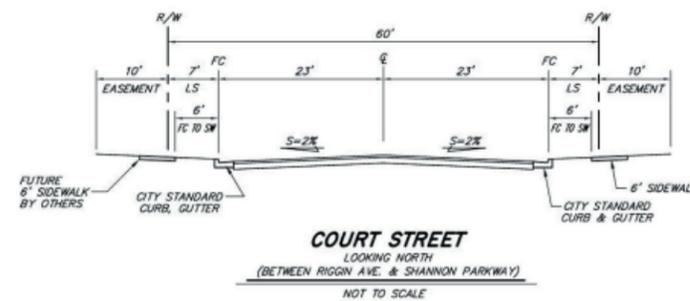
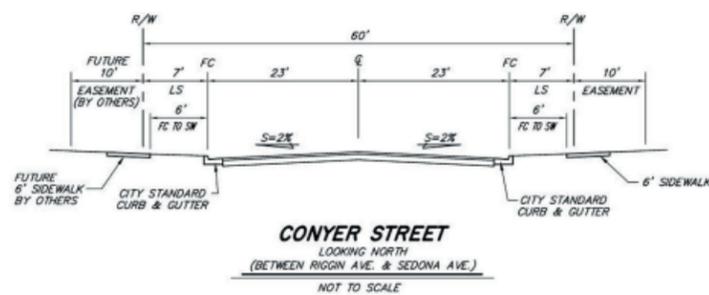
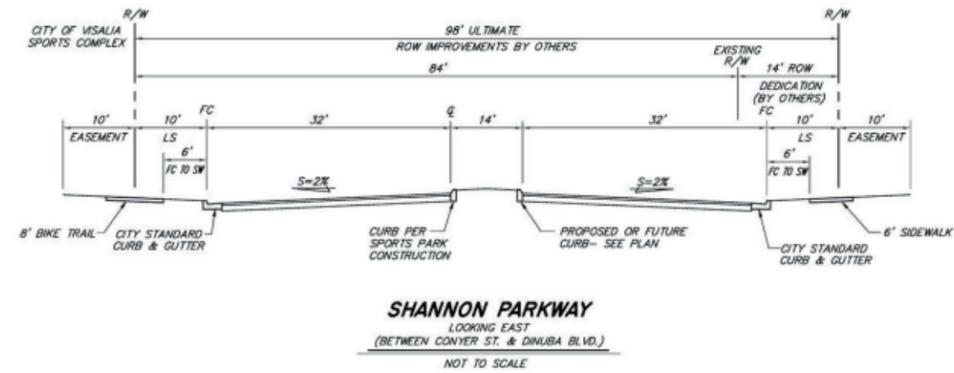
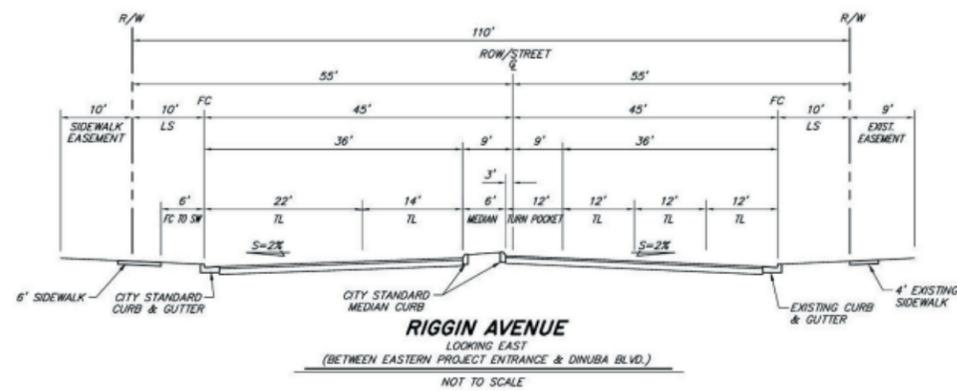
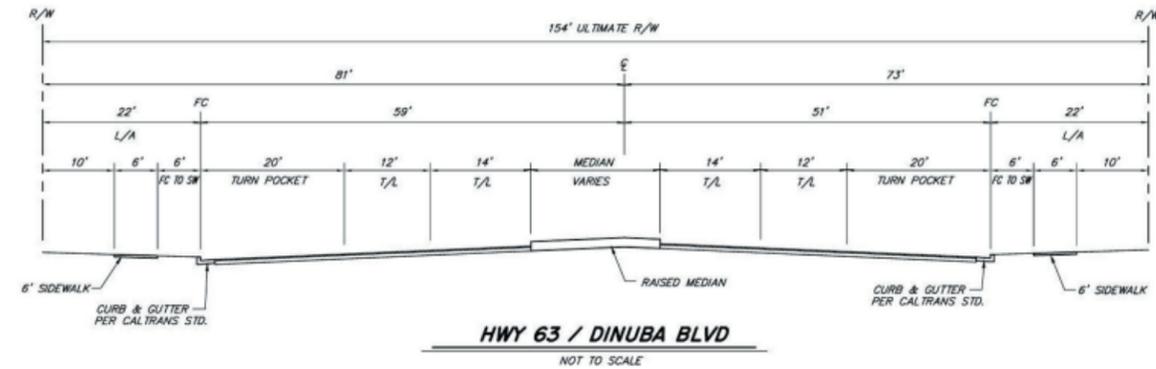
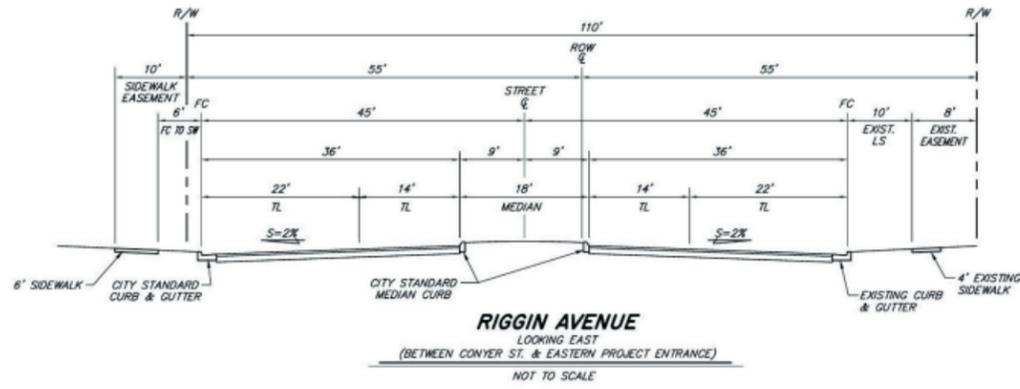
# ORCHARD WALK SPECIFIC PLAN

FIGURE 4.0-1 CIRCULATION PLAN



# ORCHARD WALK SPECIFIC PLAN

FIGURE 4.0-2 STREET CROSS SECTIONS



# ORCHARD WALK SPECIFIC PLAN

## 4.1 ENTRYWAYS

Public entryways into the site will be off of Riggin Avenue, Conyer Street (future), Sedona Avenue (future), Dinuba Boulevard, Shannon Parkway (future) and Court Street (future). Truck deliveries for both the western and eastern commercial areas will be off of Riggin, Conyer and Sedona and Riggin and Court respectively. The residential site will have four access points off of Court and Riggin (reference Figure 3.2-1).

## 4.2 PUBLIC TRANSIT

The circulation system within the Plan Area is designed to accommodate public transit services. Possible public transit routes and bus stops are anticipated along Riggin Avenue and Dinuba Boulevard. The two bus stops on Dinuba Boulevard will require cutouts and the three on Riggin Avenue will not need cutouts, simply a sidewalk that goes all the way to the curb. Residents should not be farther than a quarter mile from each bus stop on Riggin Avenue. Each bus stop should have adequate shade, seating and shelter, and should be well marked.

The Visalia City Coach (VCC) has one bus transit route operating in the Plan Area. VCC Route 7 travels along Mooney Boulevard, Giddings Avenue, Ferguson Avenue, and Dinuba Boulevard in the Plan Area. Route 7 has approximately 20-minute headways (60 minutes on Sundays) and operates from approximately 6:00 am to 9:40 pm on weekdays, 9:15 am to 6:40 pm on Saturdays, and 8:00 am to 3:45 pm on Sundays.

## 4.3 PARKING

The Orchard Walk Specific Plan attempts to provide a balance between the parking needs and requirements of major tenants and smaller retail uses and the City's requirement for not providing more parking than is required. Diamond landscape planters (per City standard) and median planter strips will be provided to provide ample shade trees for parked cars. A combination of diamond landscape planters and median planter strips are included for variety. Figure 4.3-1 illustrates the location and dimensions of diamond and median landscape planters. Parking location, handicap access, compact spaces, etc. will be per city standard in effect as of March, 2007.

### 4.3.1 OFF STREET PARKING

#### Commercial Parking Requirements

Section 17.34.020 (Schedule of off-street parking space requirements) of the City of Visalia Zoning Code states the following, "shopping centers (major): one parking space for each two hundred twenty-five (225) square feet of floor area". At this rate the total parking space requirement for the commercial portion of the Plan Area, based on 462,756 square feet of gross leasable area (gla), would be 2,056 parking spaces. Orchard walk will provide a minimum of 1,982 total parking spaces within the commercial portion of the Plan Area. As shown in the Site Plan in Appendix A, the west commercial area will include 886 parking stalls and a parking ratio of 4.2. The east commercial area will include 1,096 parking stalls and a parking ratio of 3.8. The total parking spaces deviates down from the Zoning Code and has been expressly approved by

the City.

#### Residential Parking Requirements

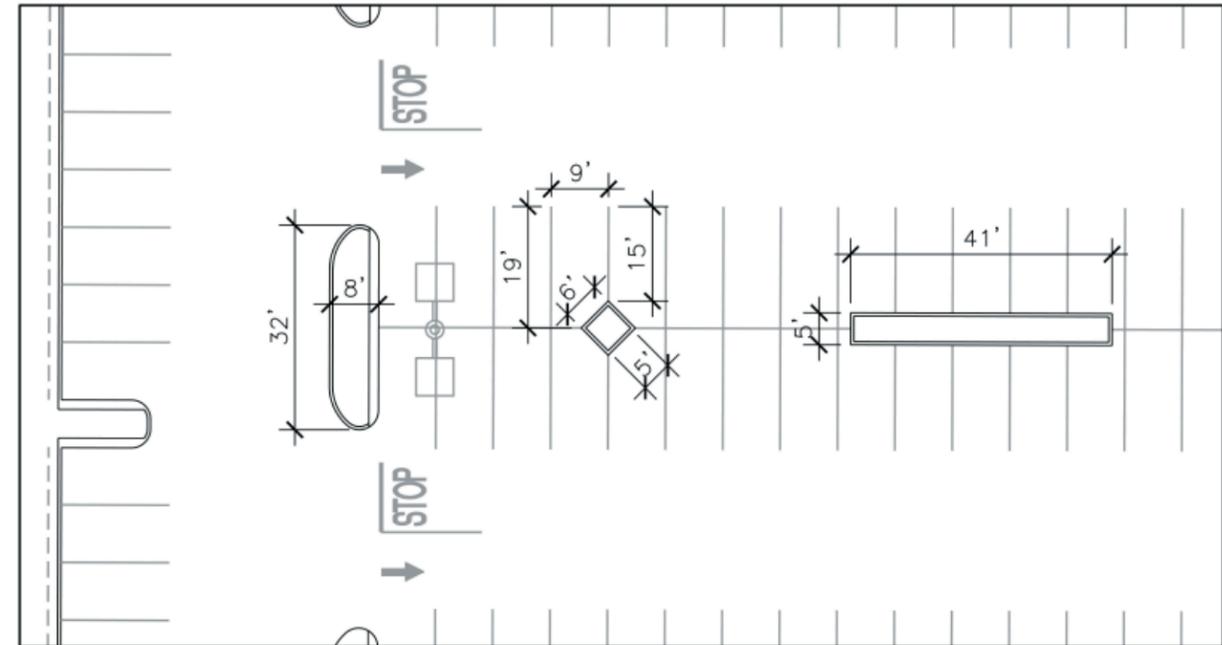
Section 17.34.020.A.2 requires that multifamily developments provide 1.5 parking spaces per dwelling unit, with an additional .25 spaces required within developments which include more than fifty percent of the units as three or four bedroom units. The total unit count of the multifamily residential development will be determined via a subsequent permit. However, the parking requirement shall be no less than 1.5 parking spaces per unit.

## 4.4 PEDESTRIAN CIRCULATION

Pedestrian access into and out of the Plan Area is integral in fostering neighborhood connectivity with the surrounding area. Figures 4.4-1 and 4.4-2 show the pedestrian circulation and amenities within the Plan Area. Pathways have been provided to provide safe and efficient movement for pedestrians. Pedestrian pathways are delineated with stamped asphalt, trellis work in certain areas, and landscaping including shade trees. A pedestrian plaza, as shown in Figures 4.4-2 and 4.4-4, is located off Court Street (future) for pedestrian connectivity to the neighborhoods to the east. The landscaping, trellis and pedestrian paths throughout the commercial portion of the Plan Area will be completed with phase one (Section 6.3) of the project and the developer will be the responsible party.

Figure 4.4-3 is an artistic rendering of the pedestrian entry plaza at the northeast corner of Riggin Avenue and Dinuba Boulevard. Corner pedestrian entries are located at the major entry points in the Plan Area. Figure 4.4-4 shows the pedestrian plaza and illustrates pedestrian connectivity to the residential areas to the east. Figure 4.4-5 shows the dimensions of the wood trellis and metal vine trellis within the Plan Area. Figure 4.4-6 illustrates a typical transit stop shelter within the Plan Area. Reference Figure 4.4-2 for the location of each transit stop in the Plan Area.

FIGURE 4.3-1 DIAMOND TREE WELL



Tree Well and Planter Exhibit



# ORCHARD WALK SPECIFIC PLAN

FIGURE 4.4-1 PEDESTRIAN CIRCULATION



CIRCULATION



Quad Knopf

# ORCHARD WALK SPECIFIC PLAN

FIGURE 4.4-2 PEDESTRIAN AMENITIES



CIRCULATION



Donahue  
Schriber

Quad Knopf

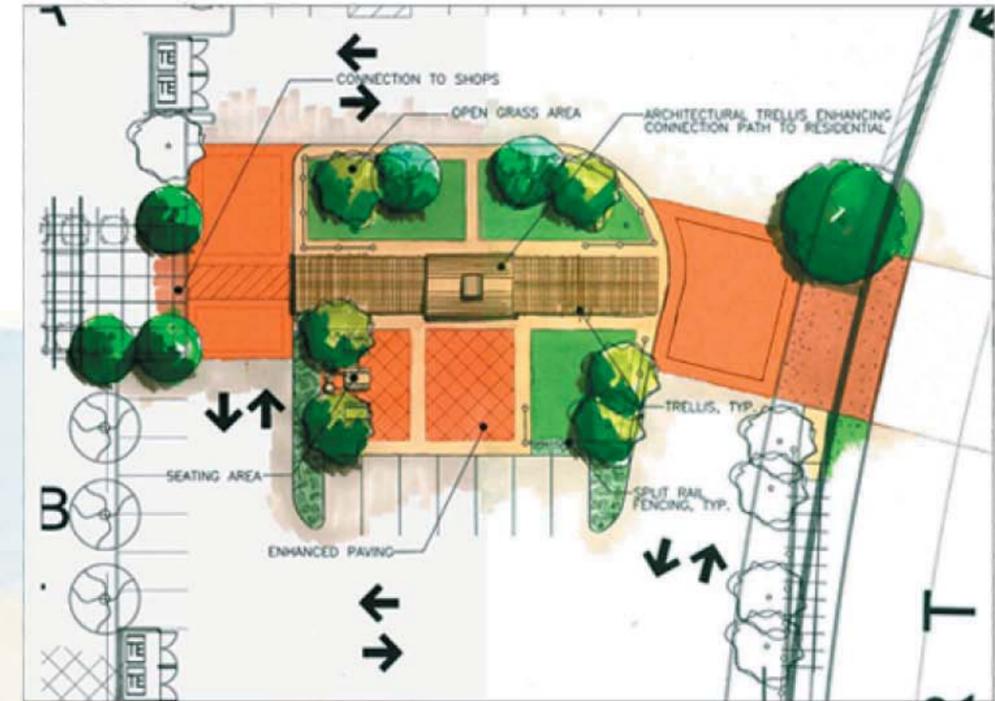
# ORCHARD WALK SPECIFIC PLAN

FIGURE 4.4-3 ENTRY PLAZA AT MAJOR INTERSECTIONS



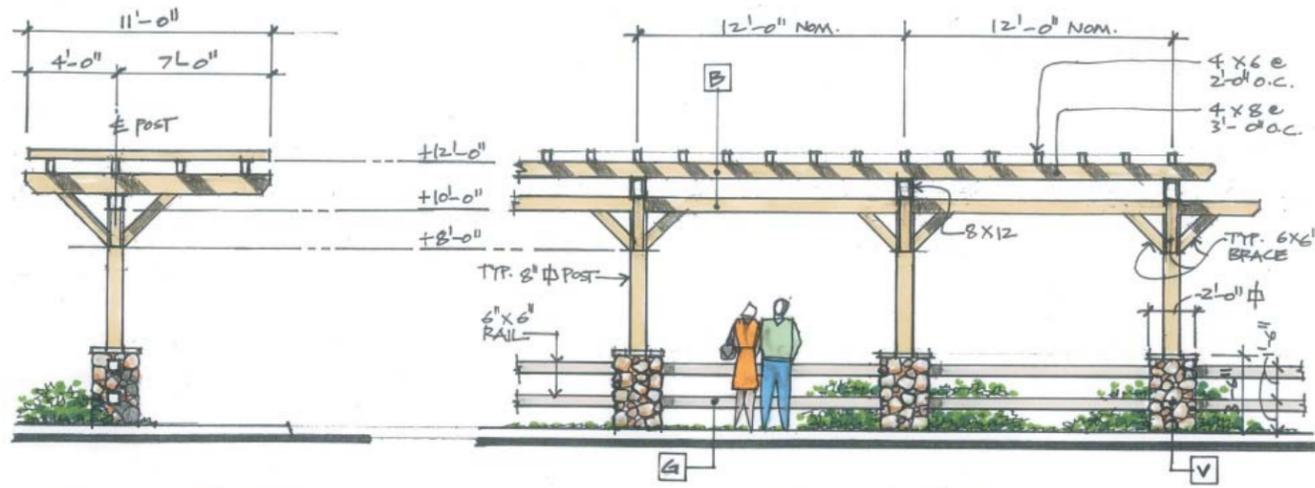
# ORCHARD WALK SPECIFIC PLAN

FIGURE 4.4-4 PEDESTRIAN PLAZA AT COURT STREET



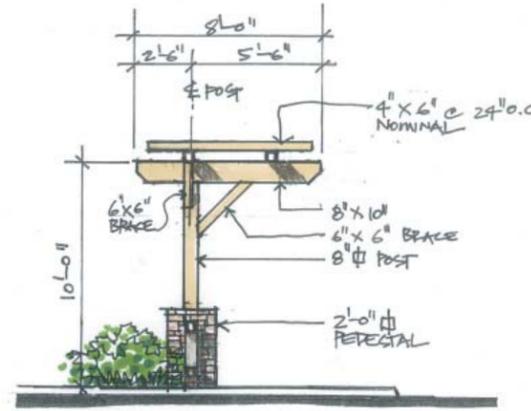
# ORCHARD WALK SPECIFIC PLAN

FIGURE 4.4-5 TRELLIS

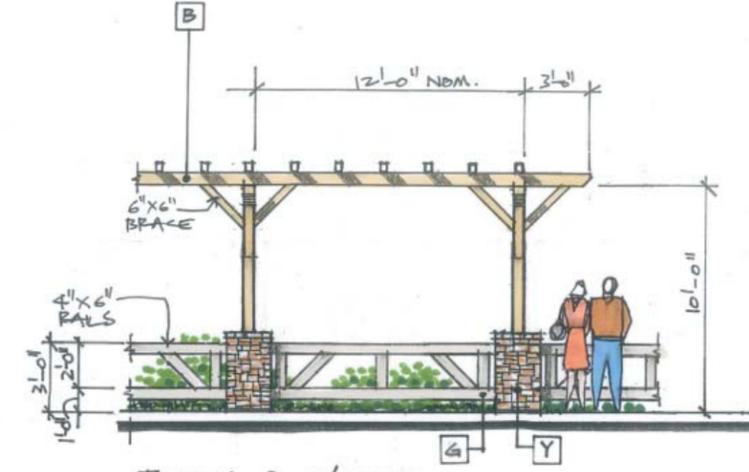


TRELLIS-1 W/FENCE  
ELEV./SECTION  
NOT TO SCALE

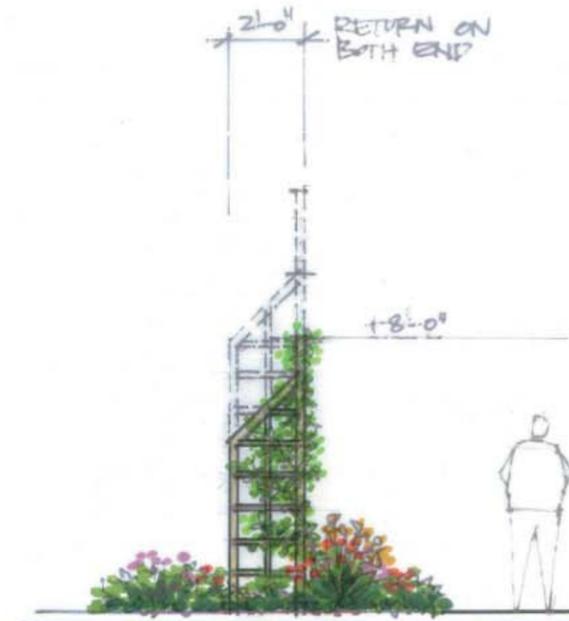
TRELLIS-1 W/FENCE  
FRONT ELEVATION  
NOT TO SCALE



TRELLIS-2 W/FENCE  
SECTION/ELEVATION  
NOT TO SCALE



TRELLIS-2 W/FENCE  
PARTIAL LONGITUDINAL  
ELEVATION  
NOT TO SCALE



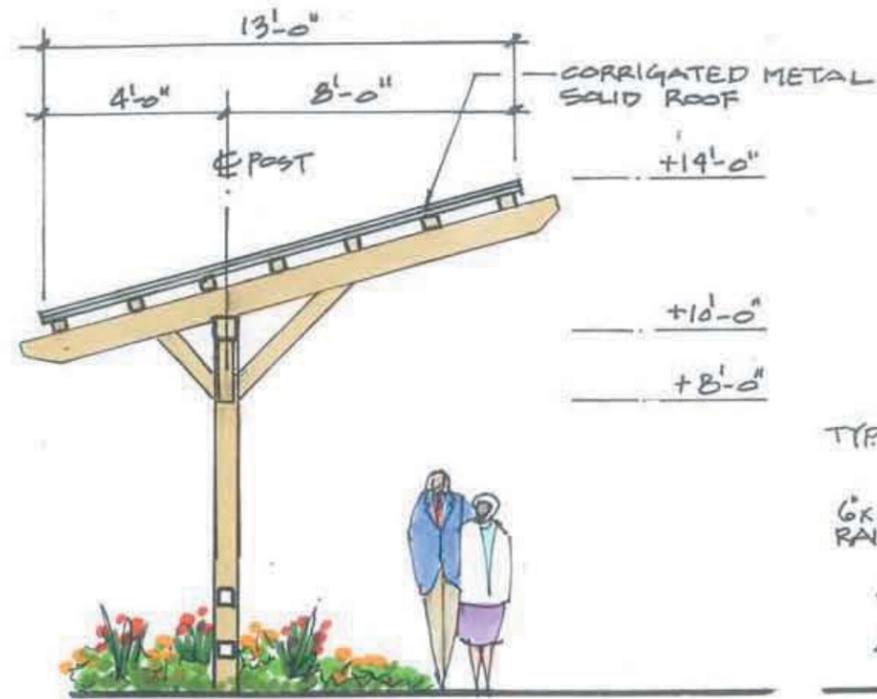
SIDE ELEVATION  
NOT TO SCALE



METAL VINE TRELLIS  
FRONT ELEVATION  
NOT TO SCALE

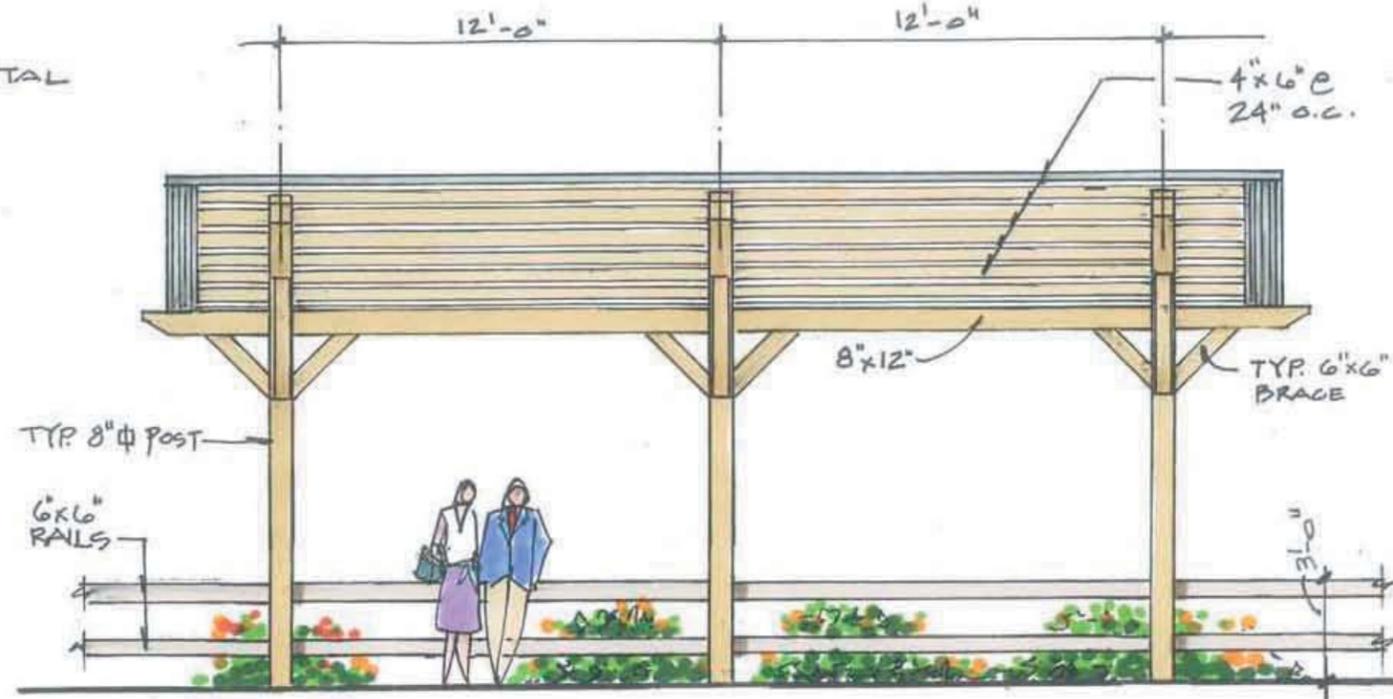
# ORCHARD WALK SPECIFIC PLAN

FIGURE 4.4-6 TRANSIT SHELTER



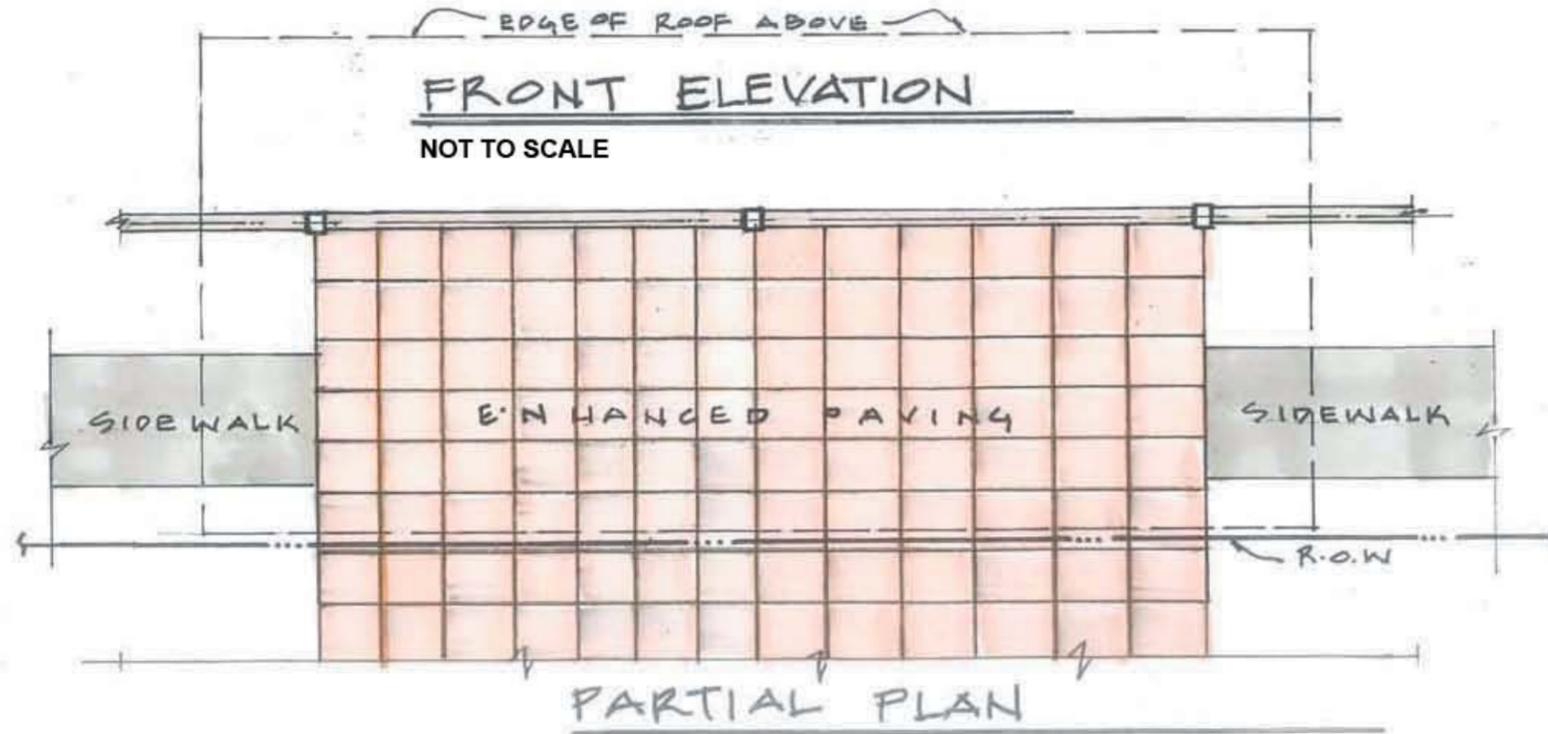
ELEV./SECTION

NOT TO SCALE



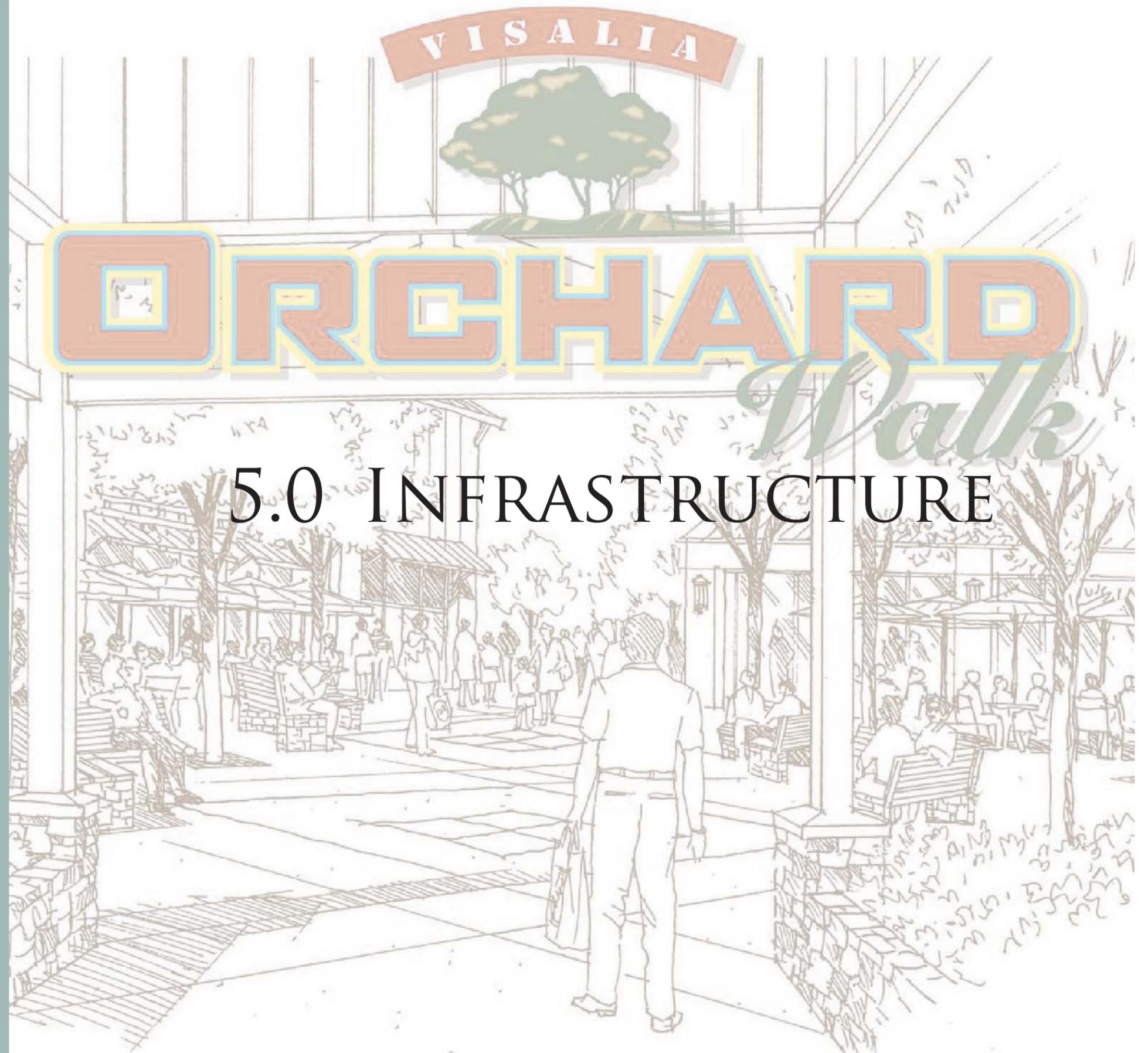
FRONT ELEVATION

NOT TO SCALE



# ORCHARD WALK SPECIFIC PLAN

VISALIA, CA



## 5.0 INFRASTRUCTURE

# ORCHARD WALK SPECIFIC PLAN

## 5.0 INFRASTRUCTURE

Public utilities and services in the Plan Area will be provided by the following public and private companies as detailed below.

UTILITY/SERVICE	PROVIDER
Electricity	SCE
Gas	Sempra Utilities
Water	California Water Service
Sewer	City of Visalia
Solid Waste	City of Visalia
Telephone	Pacific Bell and/or Private Network
Cable	Comcast and/or Private Network
Police and Fire	City of Visalia Police and Fire Depts.
Public School	Visalia Unified School District

All infrastructure (streets, parking lots, wet and dry utilities) will be installed per construction plans approved by the City, Caltrans and relevant utility companies. Each pad that is not to be constructed as part of overall development shall be graded such that sediments will not wash onto the site nor will it contribute to the storm drain line. Responsibility for on- and off-site infrastructure for this Plan will be retained by the project proponent(s). Appendix F shows on- and off-site improvement costs for the commercial portion of the Plan Area and adjacent roadways. Reference Section 6.3 for phasing. Reference Appendix E for the Utility Plans.

### 5.1 Street Improvements

Development of any parcel for the western commercial portion of the Plan Area will trigger the full width construction of the off-site improvements to Riggan Avenue, Dinuba Boulevard, Conyer Street and Sedona Avenue, including modification to the existing traffic signal at Riggan Avenue and Dinuba Boulevard. Development of any parcel for the eastern commercial portion of the Plan Area will trigger full off-site improvements to Riggan Avenue, Dinuba Boulevard, Shannon Parkway, and Court Street, including modification to the existing traffic signal at Riggan Avenue and Dinuba Boulevard and installation of the new traffic signal at Shannon Parkway and Dinuba Boulevard. Development of any parcel on the eastern commercial portion of the Plan Area will also trigger full construction of Court Street.

Development of the residential portion of the Plan Area will trigger full off-site improvements to Court Street, Hermosa Street and Santa Fe Street.

Additional transitional street improvements will be necessary on Riggan Avenue west of Conyer Street, Shannon Parkway west of Dinuba Boulevard and Dinuba Boulevard north of Shannon Parkway. The transitional improvements need to be constructed along with the full width off-site improvements.

The development of the full ROW for Shannon Parkway will require dedications by adjacent property owners. For Shannon Parkway west of Dinuba Boulevard, right-of-way dedica-

tion along the current southern right-of-way may be required to develop the ultimate intersection improvements and pavement transition to the proposed improvements delineated with the development of the City's Sports Park complex. For Shannon Parkway east of Dinuba Boulevard, right-of-way dedication will be required to develop the northern half street section.

### 5.2 Water

Water is provided by California Water Service. Proposed 8-inch and 10-inch water lines will connect the Plan Area to an existing 12-inch water line running along the north side of Riggan Avenue and west side of Dinuba Boulevard.

### 5.3 Sanitary Sewer

Sanitary sewer service is provided by the City of Visalia. The east commercial site will be required to extend a 15-inch Sanitary Sewer Master Plan trunk line in Dinuba Boulevard north from Riggan Avenue to a point north of Shannon Parkway. The multi-family residential site will be required to extend a 21-inch Sanitary Sewer Master Plan trunk line in Santa Fe Street north from Riggan Avenue to the northern limit of the Plan Area. City standard 8-inch sewer lines will be required in all public streets in the Plan Area except where trunk lines exist. Sewer connections to the existing trunk line in Riggan Avenue shall be limited to the public street connections at Conyer Street, Dinuba Boulevard, Court Street and Hermosa Street.

### 5.4 Storm Drain

Storm drainage service is provided by the City of Visalia. The Plan Area shall discharge its storm water runoff through storm drain lines that connect to the existing 42-inch storm drain trunk line in Shannon Parkway. The east commercial site will need to extend this 42-inch trunk line in Shannon Parkway from Dinuba Boulevard to Court Street. A 24-inch storm drain line in Conyer Street will be required to serve the west commercial site. A storm drain line in Court Street is anticipated to serve the multi-family portion of the Plan Area. The Shannon Parkway trunk line presently discharges into a temporary basin located on the City's Sports Park property.

The additional storm water runoff from the Plan Area will require the project proponent to expand the temporary drainage basin. In order to expand the temporary basin, the project proponent will be required to enter into an agreement with the City of Visalia Parks & Recreation Department to ensure that this expanded temporary basin does not become an undue burden for the Phase 2 expansion of the Sports Park.

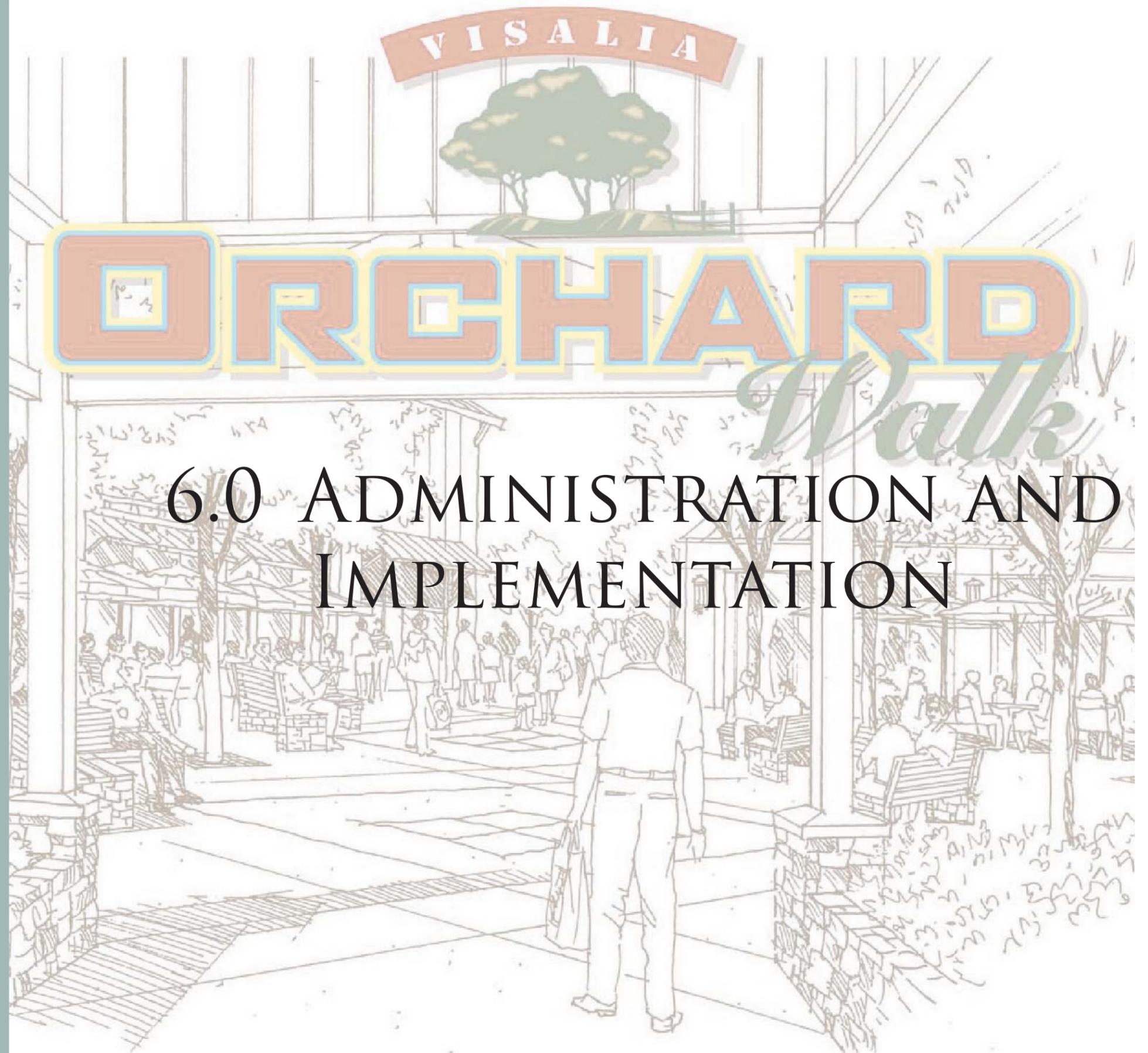
### 5.5 Gas/Electric/Telephone

Telephone, electric service and natural gas service can all be accessed from Riggan Avenue.



ORCHARD WALK  
SPECIFIC PLAN

VISALIA, CA



6.0 ADMINISTRATION AND  
IMPLEMENTATION

# ORCHARD WALK SPECIFIC PLAN

## 6.0 SPECIFIC PLAN ADMINISTRATION

This Specific Plan represents a framework of development for the Orchard Walk Specific Plan project. Implementation of the project requires the approval of this Specific Plan and any subsequent submittals over the life of the project's build-out. This Section sets forth the procedures needed to implement and administer the Specific Plan, and those procedures required for its amendment, if necessary. Provisions for processing site plan review applications for commercial projects within the Orchard Walk Specific Plan Area are also disclosed herein.

### 6.1 IMPLEMENTATION

The Orchard Walk Specific Plan will be implemented through the processing of this Specific Plan, CUP (for the residential portion), site plan, and development standards contained herein or attached as a part of this plan. Subsequent submittals may be required of the applicant(s) to submit any of the above information or supplemental information prior to the recordation of any final map, site plan review or building permit.

### 6.2 AMENDMENTS TO THE ADOPTED SPECIFIC PLAN

#### PROCEDURE

The development of the property shall comply to the development standards approved in this Specific Plan. Amendments to this adopted Specific Plan by or on behalf of the property owner(s), or any proposal by the city, shall be filed with the Community Development Department. The City of Visalia shall determine if the proposed modification is "minor" or "major", and the request or proposal shall be processed accordingly.

#### Minor Amendments

The following modifications or refinements to the Orchard Walk Specific Plan constitute a minor amendment and are subject to review and approval by the City of Visalia or his/her designee; however, the City of Visalia shall have the discretion to refer any request for a minor amendment to the Planning Commission for its review and approval.

- Minor deviations from conceptual plans, exhibits or drawings including landscaping, wall design but not materials, wall alignment and streetscape design modifications contained within the Specific Plan which maintain the established quality level and intent of the Plan.
- Final facility sizing and alignment of infrastructure improvements when directed by the City of Visalia.
- Deletion of unnecessary infrastructure improvements when approved by the City of Visalia.
- Any other modifications deemed minor by the City of Visalia.

#### Major Amendments

A major Specific Plan Amendment (reference Visalia

Municipal Code Chapter 12.04) will constitute any change to the Specific Plan, that is not a minor amendment. Such changes shall be reviewed and approved by both the Planning Commission and City Council. Major amendments include, but are not limited to, an:

- Increase in number of vehicle access points.
- Aggregate increase in development intensity greater than 10%.

If the major tenants or any other use was to vacate their building, any future use will have to be consistent with, and adhere to the policies and standards in this Specific Plan and the City's General Plan. If any future re-use is found inconsistent with this Specific Plan or the General Plan then a Major Specific Plan Amendment would be required.

### 6.3 PHASING

The Plan Area is divided into phases for both the east and west commercial areas, as depicted in Figure 6.3-1. Individual phases are not required to be constructed in any particular order with the exception of Phase One which will include Major Tenants A and F for both the east and west commercial areas respectively. Phase One will also include the perimeter landscaping, sidewalk, trellis and gateways, roadways and traffic signals at Dinuba and Shannon Parkway and Dinuba and Riggin. However, a number of provisions, noted below, shall apply to each phase in order to ensure that all improvements necessary to adequately serve the phase are in place prior to construction or occupancy as appropriate:

- The backbone infrastructure within an individual phase and all additional infrastructure necessary to bring services to that phase shall be constructed and operational to the satisfaction of the City prior to the first occupancy of any structure in that phase.
- The development of the initial phase with either the east or west commercial sites will trigger the requirement to construct the full width and transitional off-site street improvements for the east or west commercial sites respectively.
- For streetscapes separating two development phases, landscaping and irrigation along the streetscape shall be constructed on both sides of the street as part of street improvements at the time the first of the two phases develops.
- Applicable entry statements on the main vehicular roadways providing access to the Plan Area shall be constructed prior to the first occupancy of a structure in that phase, even if the entry statements are located in a separate phase.
- Prior to delivery of combustible materials to a construction site, base roadways and community water systems shall be available at the boundary

of the construction site.

- A master grading, drainage and utility plan must be approved by the City in conjunction with the development of the initial phase of the east or west commercial sites.

### 6.4 MAINTENANCE

The City will establish a Landscape and Lighting (L&L) District to maintain public street lights and local streets within the Plan Area. The east and west commercial sites and the multi-family sites will need to establish a Homeowners Association or equivalent to maintain all landscaping within the Plan Area. Reference Appendix D for detailed information on maintenance, taxes, and insurance for the commercial portion of the Plan Area.

#### 6.4.1 STREETS

All public streets dedicated to the City of Visalia will be maintained by the City. The east and west commercial sites and the multi-family sites will need to establish a Homeowners Association or equivalent to maintain private streets and driveways within the Plan Area.

#### 6.4.2 STORM DRAINS

Maintenance of storm drain lines within the public street ROW will be maintained by the City of Visalia. All storm drain lines located on-site of the east commercial, west commercial and multifamily sites will be privately owned by the project proponent.

#### 6.4.3 WATER FACILITIES

Maintenance of water facilities up to service meters for individual uses will be the responsibility of the California Water Service. Where such water lines are not located within a public street, appropriate easements to the City and water agency will be granted.

#### 6.4.4 SEWER FACILITIES

Maintenance of sewer facilities up to service laterals for individual uses will be maintained by the City of Visalia. All sewer lines located on-site of the east commercial, west commercial and multifamily sites will be privately owned by the project proponent.

### 6.5 FINANCING

The project proponent is responsible for financing or coordinating the financing of all on-site and off-site infrastructures in the Plan Area.

Other financing mechanisms may be utilized, including creation of private districts or associations to fund maintenance of certain facilities within the Plan Area. Specific financing requirements, improvement obligations, fees, reimbursements, land and easement dedications and conveyances, maintenance, and other financing and improvement related obligations will be detailed in separate

Specific Plan development agreements.

### 6.6 RELATIONSHIP OF SPECIFIC PLAN TO ENVIRONMENTAL DOCUMENT

To meet CEQA guidelines a Mitigated Negative Declaration and Mitigation Monitoring Program were prepared for the Orchard Walk Specific Plan. Previous environmental documents covering the Plan Area include the Negative Declaration for the Shannon Ranch Master Plan, and prior to that, the EIR for the Visalia General Plan Land Use Element Update (1990). The Orchard Walk Specific Plan is not expected to result in any potentially significant environmental impacts after mitigation.

### 6.7 REIMBURSEMENTS

The City's transportation impact fee program fully funds the costs to construct arterial/collector streets as identified in the City's Circulation Element. The Circulation Element identifies the following arterial/collector streets in the Plan Area: Riggin Avenue (110 foot arterial), Dinuba Boulevard (84 foot arterial), Santa Fe Street (84 foot arterial), Shannon Parkway (84 foot collector) and Court Street (60 foot collector). In regards to Dinuba Boulevard, the City has been following Caltrans' direction to widen Dinuba Boulevard to a 110 foot ROW south of Riggin Avenue. The City will accept cost responsibility for widening Dinuba Boulevard to a 110 foot arterial. The developer is responsible for the additional cost to widen Dinuba per Caltrans TIS comments letter dated 1/19/07 related to the Plan Area. The developer will be reimbursed for all costs associated with the development of these streets from curb to curb plus street lights.

The specific details regarding reimbursement are identified in the City's reimbursement policy. Fee credits for City reimbursable infrastructure will be handled as follows:

- 1) Storm drain trunk lines - the cost of these lines will be credited against the City's storm drainage impact fees. If the cost exceeds the impact fees, then the difference will be reimbursed in cash to the developer at Notice of Completion;
- 2) Sanitary sewer trunk lines - the cost of these lines will be reimbursed in cash at Notice of Completion; and
- 3) Arterial/collector streets - the cost of these streets will be credited against the City's transportation impact fees. If the cost exceeds the impact fees, then the difference will be reimbursed in cash to the developer at Notice of Completion.

Right of way dedications made after January 1, 2000 are subject to reimbursement by the City in the form of a transportation impact fee credit. If a portion of a ROW dedication is intended for dedicated right turn/acceleration/merge lanes, then this portion is not subject to reimbursement. Transportation impact fee credit is assigned to the grantor of the ROW. If the developer

# ORCHARD WALK SPECIFIC PLAN

is not the grantor and desires to utilize the credit towards their project, then a notarized statement from the grantor assigning the credit to the developer will be required. Existing irrevocable offers of dedication that are accepted by City Council will be assigned a transportation impact fee credit to the property owner in effect at the time of acceptance.

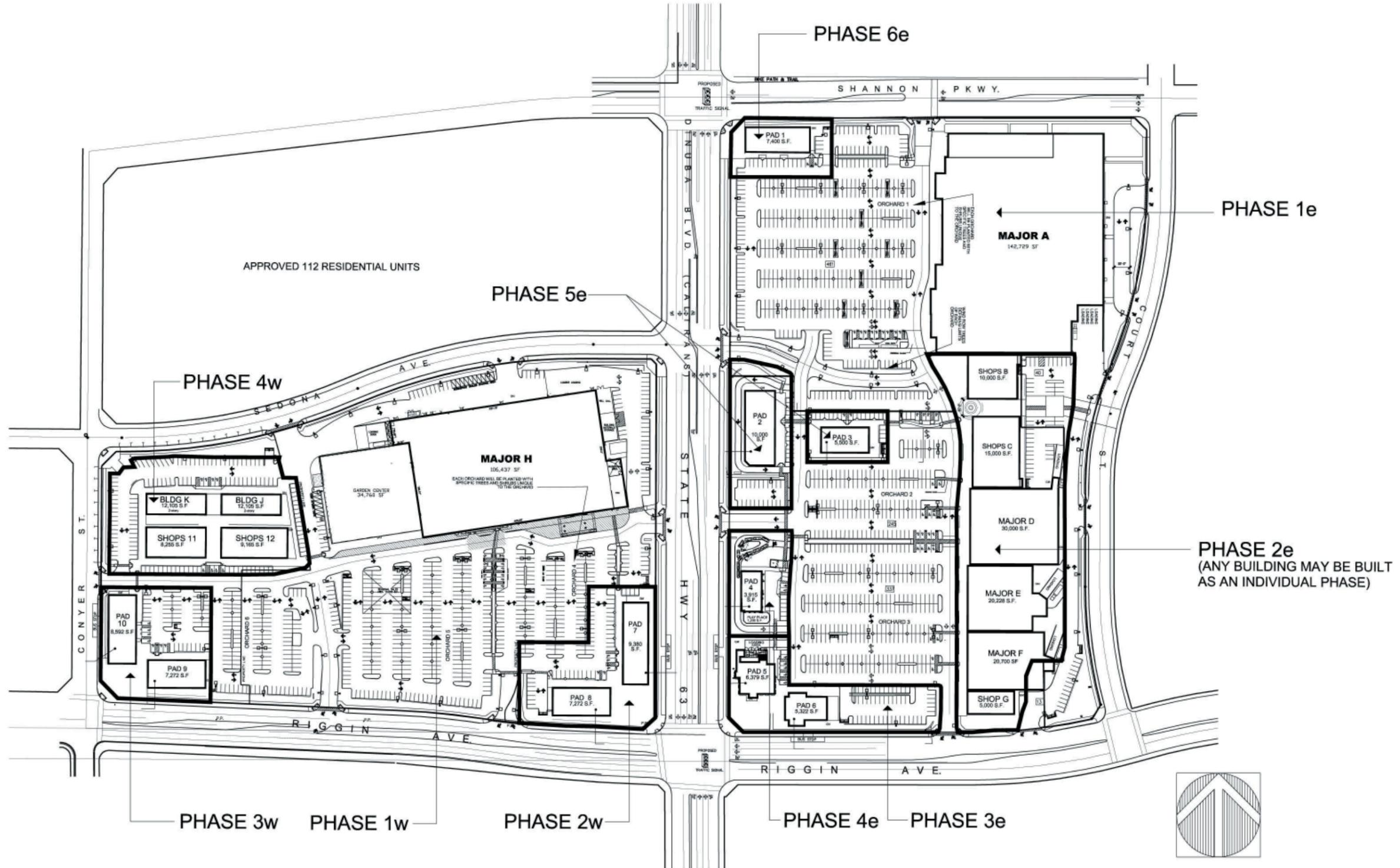
Reimbursement is available to a developer from the City for storm drain trunk lines and sewer trunk lines identified in the City's Storm Water Master Plan and Sewer System Master Plan. The developer will be reimbursed for 100% of the cost of storm drain trunk lines. The developer will be reimbursed for 100% of the cost of sewer trunk lines not needed by the developer. If the developer needs a sewer line and is required to enlarge the sewer line in accordance with the Sewer System Master Plan, then the developer will be reimbursed for the differential cost. The City will reimburse the developer for design and construction costs associated with the installation of these trunk lines.

## 6.7.1 BIDDING

In an effort by the City to ensure reasonable competitive bids on infrastructure being reimbursed to the developer by the City, the City is requiring that on-site and off-site infrastructure (streets, parking lots, wet and dry utilities) be bid and constructed concurrently by the same contractors. Bidding should be done with plans approved by the City.

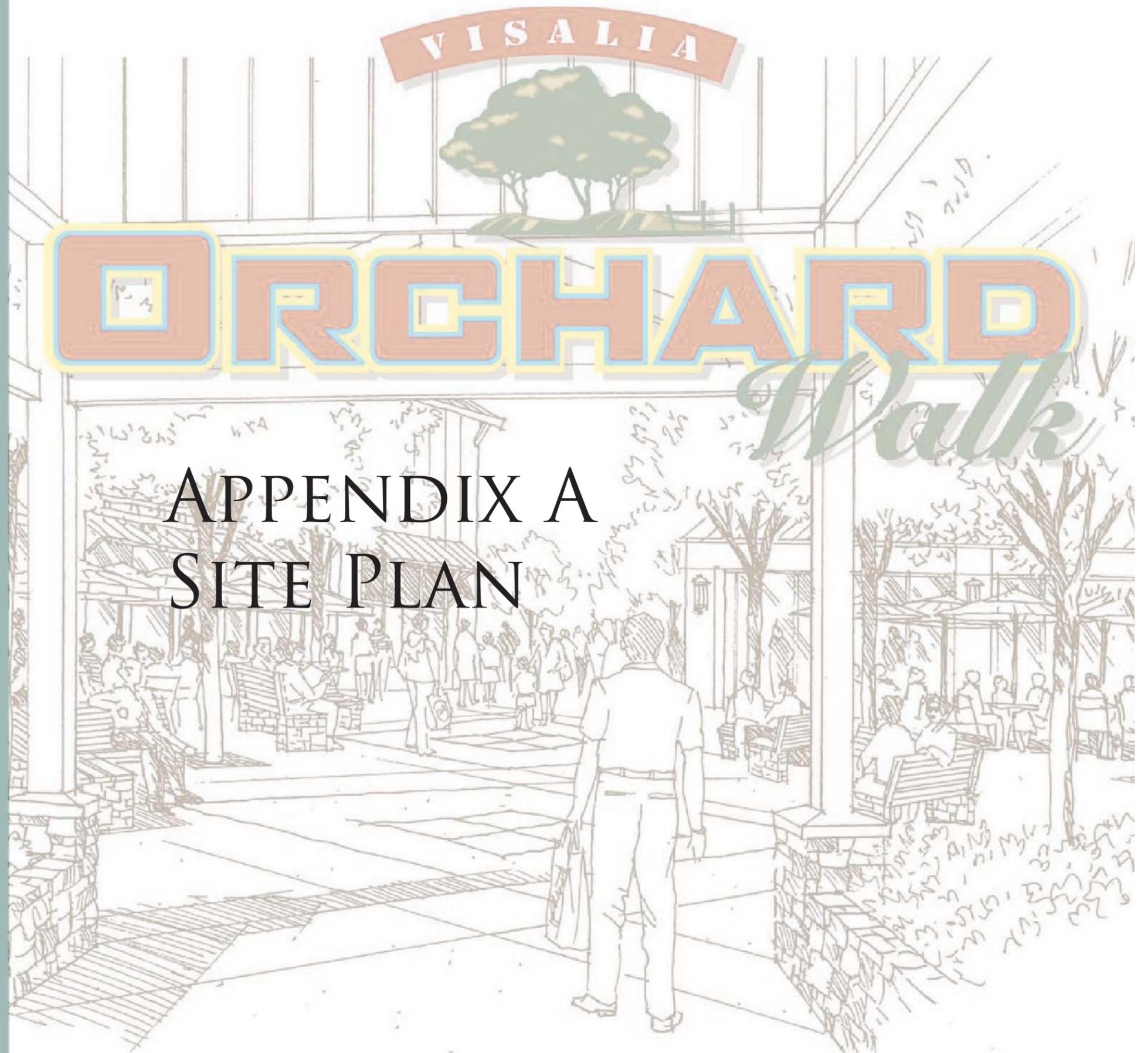
# ORCHARD WALK SPECIFIC PLAN

FIGURE 6.3-1 PHASING



ORCHARD WALK  
SPECIFIC PLAN

VISALIA, CA

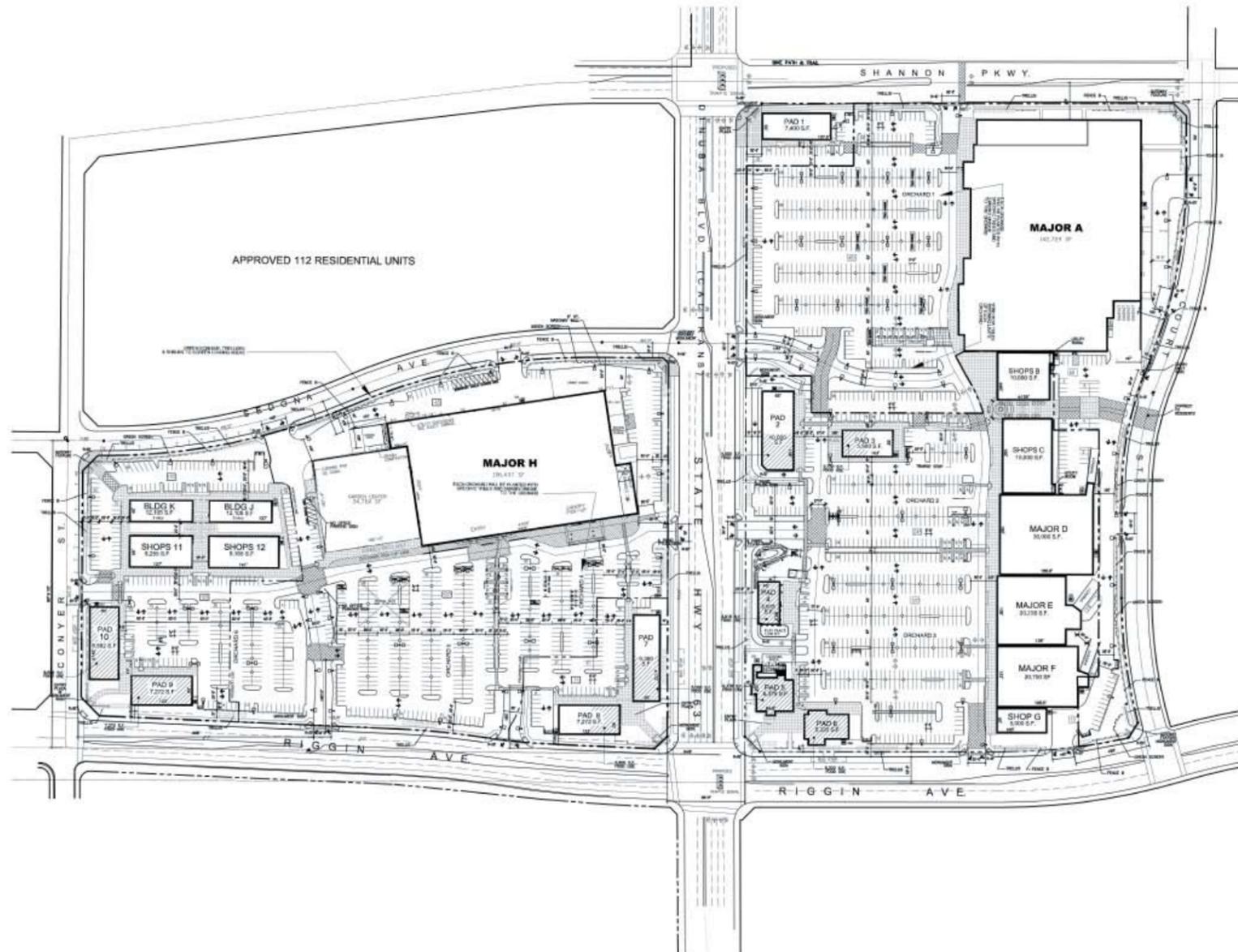


APPENDIX A  
SITE PLAN

# ORCHARD WALK SPECIFIC PLAN

MASTER SITE PLAN

APPENDIX A



## PROJECT SUMMARY

### EAST PARCEL SUMMARY

<b>SITE AREA (NET)</b>	<b>1,017,680 S.F. or 23.36 AC</b>
<b>BUILDING AREAS:</b>	
MAJOR A (Includes Garden Center 10,000 SF)	142,728 S.F.
SHOPS B	10,000 S.F.
SHOPS C	15,000 S.F.
MAJOR D	30,000 S.F.
MAJOR E	20,228 S.F.
MAJOR F	20,700 S.F.
SHOP G	5,000 S.F.
PAD 1	7,400 S.F.
PAD 2	10,000 S.F.
PAD 3	5,500 S.F.
PAD 4	3,915 S.F.
PAD 5	6,379 S.F.
PAD 6	5,322 S.F.
<b>Total G.L.A.</b>	<b>282,173 S.F. F.A.R. is 27.7%</b>
<b>PARKING PROVIDED:</b>	<b>1,096 CARS</b>
<b>PARKING RATIO :</b>	<b>±3.89</b>

### WEST PARCEL SUMMARY

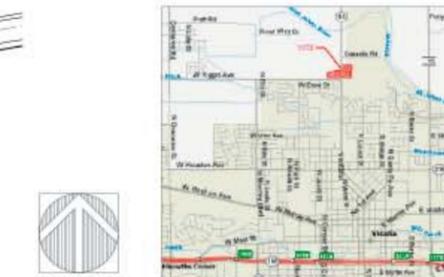
<b>SITE AREA (NET)</b>	<b>754,144 S.F. or 17.31 AC</b>
<b>BUILDING AREAS:</b>	
MAJOR H (Excludes Outdoor Garden Cir 34,760 SF)	106,437 S.F.
PAD 7	9,380 S.F.
PAD 8	7,272 S.F.
PAD 9	7,272 S.F.
PAD 10	8,892 S.F.
SHOPS 11	8,256 S.F.
SHOPS 12	9,166 S.F.
BLDG. 13 (OFFICES - 2 story)	12,105 S.F.
BLDG. 14 (OFFICES - 2 story)	12,105 S.F.
<b>Total G.L.A.</b>	<b>180,583 S.F. F.A.R. @ 23.94%</b>
<b>PARKING PROVIDED:</b>	<b>886 CARS</b>
<b>PARKING RATIO:</b>	<b>±4.90</b>

### TOTAL SUMMARY

<b>TOTAL G.L.A.:</b>	<b>462,756 S.F. F.A.R @ 26.1%</b>
<b>PARKING PROVIDED:</b>	<b>1,982 CARS</b>
<b>PARKING RATIO:</b>	<b>±4.28</b>

#### LEGEND:

- DESIGNATES RETAIL SALES USE
- DESIGNATES POSSIBLE FOOD USE
- ENHANCED SIDEWALKS



PROJECT # 25129  
 DATE: AUGUST 11, 2008 AUGUST 28, 2008 OCTOBER 16, 2008 APRIL 13, 2007  
 AUGUST 19, 2008 SEPTEMBER 1, 2008 JANUARY 28, 2007 APRIL 26, 2007  
 AUGUST 20, 2008 DECEMBER 4, 2008 MARCH 11, 2007 APRIL 25, 2007

**DONAHUE SCHRIEBER**  
 310 EAST BAKER STREET  
 SUITE 100  
 COSTA MESA, CA 92626  
 T 714.541.1400  
 F 714.541.4222

## THE ORCHARD WALK VISALIA, CALIFORNIA

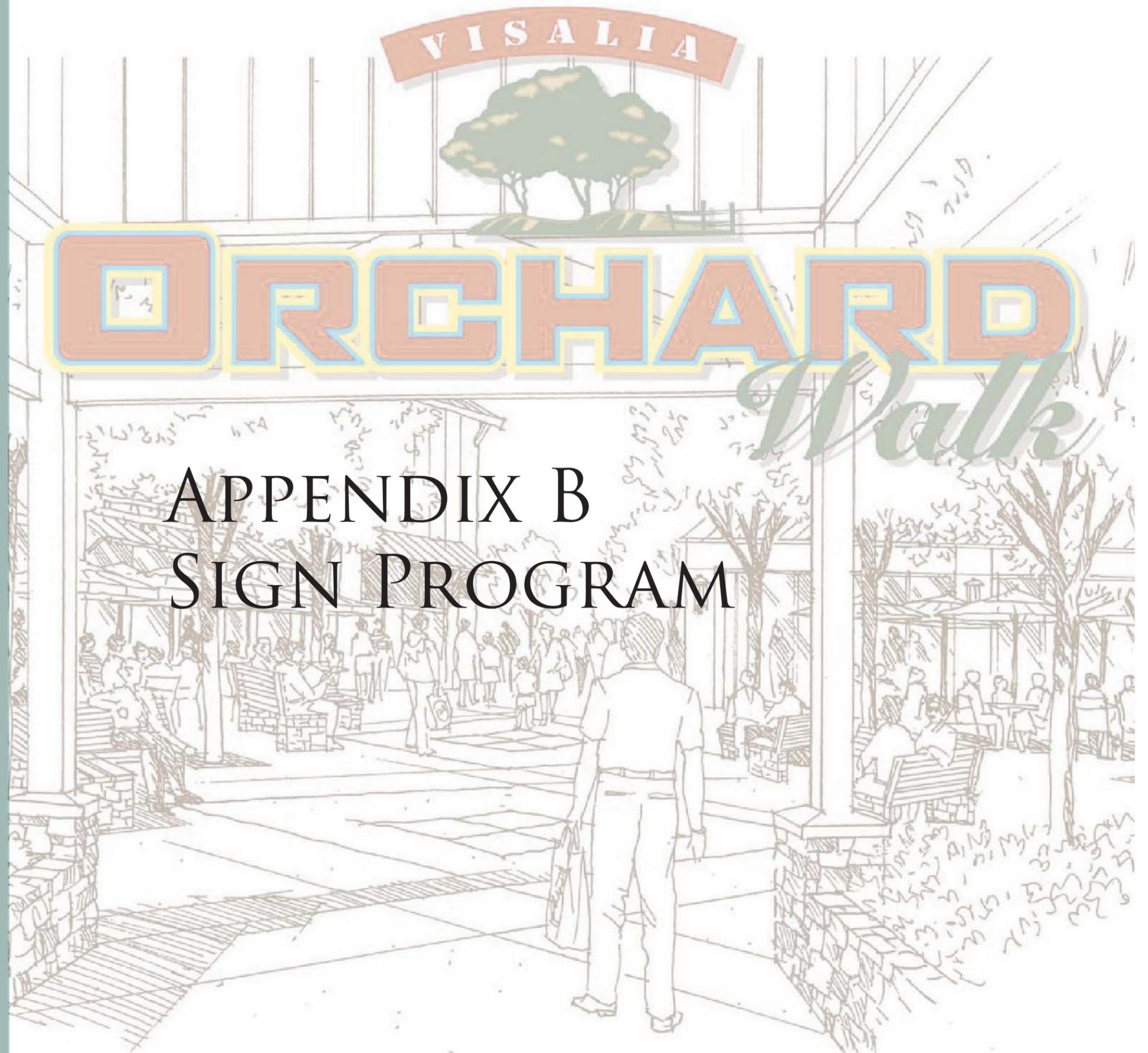
N.W.C. HIGHWAY 99 & RIGGIN AVENUE  
 PRELIMINARY SITE PLAN

**LHA** a division of gkkworks  
 1001 Victory Boulevard | ALHAMBRA, CA 91801  
 618.240.8880 | 618.240.9430 fax | www.lha.com

**DONAHUE SCHRIEBER**  
 Quad Knopf

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SPECIFIC PLAN

VISALIA, CA



APPENDIX B  
SIGN PROGRAM

# ORCHARD WALK SPECIFIC PLAN



LANDLORD  
DONAHUE SCHRIBER REALTY GROUP, L.P.  
c/o DONAHUE SCHRIBER ASSET MANAGEMENT  
200 EAST BAKER STREET, SUITE #100  
COSTA MESA, CA 92626  
(714) 545-1400

July 23, 2007

## A. PURPOSE AND INTENT

The following criteria has been established for the purpose of assuring a consistent sign design program for the mutual benefit of all occupants. Flexibility of design is encouraged and at the same time overall visual harmony is maintained. Conformity with this Program will be enforced by the Landlord. The Sign code will be enforced by The City of Visalia. The most restrictive Criteria shall govern in the event of a conflict between the City's code and this sign program. Any non-conforming or unapproved sign will be brought into conformity at the expense of the Tenant.

## B. GENERAL CRITERIA

1. Prior to manufacture of any sign in the center, the Tenant shall submit to Landlord for approval, one (1) copy of detailed drawings or signs shall be submitted electronically in PDF format. E-mail PDF file to Tenant Coordinator. These drawings shall include the building elevation which the signs are to be attached to, section, sign dimensions, graphics, location, colors, and method of attachment. This approval must be obtained prior to submittal to the City of Visalia.
2. All signs shall be reviewed for conformance with this criteria and overall design quality. Approval or disapproval of sign submittals based on aesthetics of design shall remain the sole right of the Landlord/Manager.
3. Prior to the installation and manufacture of any sign, the Tenant shall obtain a sign permit from the City of Visalia and provide a copy to Landlord.
4. Each Tenant shall pay all costs for its signs including manufacture, installation, maintenance, and City permits/certificates.
5. Each Tenant shall be responsible for and repair any damage to any surface caused by the signage or its installation.
6. Landlord reserves the right to periodically hire an independent electrical engineer, at Tenant's sole expense, to inspect the installation of all Tenants' signs. Tenants will be required to have any discrepancies and/or code violations corrected at Tenant's expense. Any code violations, requests for sign removals, or discrepancies not corrected within fifteen (15) days of notice, may be corrected by the Landlord/Manager at Tenant's expense.
7. Tenant's sign contractor shall carry workman's compensation and public liability insurance against all damage suffered or done by any and all persons and/or property while engaged in the construction or erection of signs in the amount of \$1,000,000 per occurrence. Evidence of this insurance must be provided to Landlord and Manager prior to installation naming Landlord/Manager and Landlord's Lender as additional insured.

# ORCHARD WALK SPECIFIC PLAN

8. Upon vacancy, Tenant shall remove sign and restore fascia to original condition at Tenant's sole cost and expense within fifteen (15) days of expiration of term or earlier termination of Tenant's lease.

## C. PROHIBITED SIGNS

1. Temporary signs, window signs, placards, flags, pennants, inflatable displays, sandwich boards and banners of any type shall be prohibited, except as otherwise previously approved by the Landlord.
2. Animated, flashing, audible, off-premise, or vehicle signs are not allowed.
3. No exposed junction boxes, transformers, lamps, tubing, conduit, raceways or neon crossovers of any type.
4. No sign manufacturer's names, stamps, or decals visible from the street or normal viewing angles.
5. No luminous-vacuum formed acrylic signs and letters including pre-manufactured and franchise signs, with the exception of site directional signage approved by the Landlord and the City.
6. No paper, cardboard, or Styrofoam signs, stickers or decals hung around, on or behind storefronts.
7. No exposed fastening devices, unless integral to the sign's design intent.
8. No simulated materials (i.e., wood grained plastic laminates), wall covering or painted backgrounds.
9. Advertising devices such as attraction boards, banners, & flags will not be permitted in, upon or about the premises or elsewhere in the Shopping Center or sidewalks adjacent thereto. Any such items installed by Tenant or Tenant's agents without Landlord's express written consent may be removed by Landlord or Landlord's agent without prior notice to tenant and any cost incurred for such removal shall be paid by Tenant to Landlord as additional rent.
10. There shall not be roof top signs or signs which extend above the parapet wall of the building to which they are attached, except those specifically allowed by this criteria.

## D. SIGN DESIGN

1. Tenant's of the Shopping Center are required to have an illuminated sign on their fascia, unless otherwise specified in this criteria or approved by Landlord and the City of Visalia.
2. Signs shall be designed in a manner that is not only imaginative but also of high graphic quality. In addition, signs should be compatible with and complementary to adjacent facades. Tenant signs that incorporate logos, business identities and/or images denoting the type of business shall be encouraged. Logo design, and color to be approved by Landlord.
3. Logo and letter heights, where specified, maximum height shall be determined by measuring the normal capital letter of type font exclusive of swashes, ascenders and descenders. See Exhibit A regarding the calculation of signage area.
4. Notwithstanding the maximum square footages specified for copy area allowances, signs and topography in all cases shall appear balanced and in scale within the context of the sign space and the building as a whole. Thickness, height, and color of sign lettering shall be visually balanced and in proportion to other signs on the building. This may result in Tenant signage that is less or different than otherwise allowed under this sign criteria, Landlord shall have the right to determine such fit and architectural compatibility in landlord's sole and absolute discretion.
5. Wall signs shall be affixed without visible means of attachment. Wall signs, at the discretion of Landlord, need not be attached directly to the lease space to which they refer. Location of all signs shall be as directed by Landlord.

## E. SIGN CONSTRUCTION

1. All signs and their installation shall comply with all applicable City building and electrical codes, and bear UL label.
2. Tenant's sign contractor shall completely install and connect sign display and primary wiring at sign location per Landlord's approval, unless otherwise directed. Signs are to be connected to the J-box provided by the Landlord, which is connected to Landlord's panel and shall be wired to Landlord's control at Landlord's house panel for uniform control hours of illumination unless otherwise directed by Landlord.
3. All penetrations of exterior fascia to be sealed watertight, and finish to match adjacent material, subject to Landlord's approval.

# ORCHARD WALK SPECIFIC PLAN

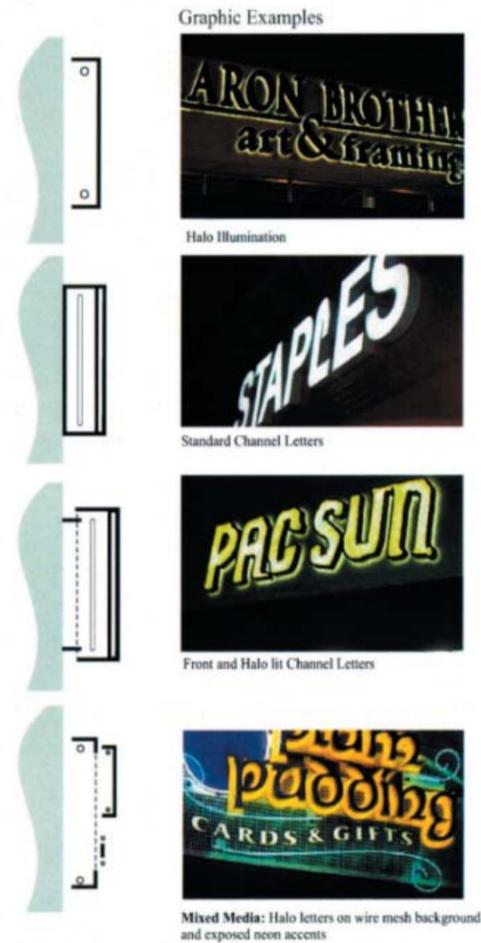
4. All signs shall be kept in good condition, be legible, not faded, adequately repaired, maintained, and painted by the Tenant thereof at all times. All repairs shall be equal in quality and design to the original signs. The standards for maintenance and repair of signs shall be that which will assure the highest visual quality.
5. All exterior signs shall be secured by concealed fasteners, stainless steel, nickel or cadmium plated. No exposed mounting hardware. Suitable materials for faces may include high quality acrylic, aluminum, brass and painted steel, painted metal, or porcelain enamel.
6. Plastic surfaces to be 3/16" minimum as manufactured for outdoor advertising.
7. All exterior signs shall be mounted minimum 1/2" from the building for proper drainage.
8. Internal illumination to be 30-milli-amp neon installation labeled in accordance with the "National Board of Fire Underwriters Specifications". No other labels or identification will be permitted on the exposed surfaces of the sign except those required by local ordinances except for National chain stores.
9. All exposed letter sheet metal returns shall be 24 gauge, a minimum of 2" deep and painted with one coat of primer and two (2) coats enamel to match the letter face or as otherwise approved by Landlord. All trimcap shall match the face and returns and shall be 3/4" in thickness or as otherwise approved by the Landlord.
10. All sign fabrication work shall be of excellent quality. All logo images and typestyles shall be accurately reproduced. The Landlord reserves the right to reject any fabrication work deemed to be below standard.

## F. SIGN TYPES & LOGOS

1. The use of logos and distinctive typestyles is encouraged for all Tenant signs. Sign lettering may be combined with other graphics and or dimensional elements denoting the type of business. The tenant may adapt established styles, logos and/or images that are in use on similar buildings operated by the tenant in California, provided that these images are architecturally compatible and approved by Landlord. They typeface may be arranged in one or two lines of copy and may consist of upper and/or lower case letters.
2. **Lighting:** Tenant signs should be creatively illuminated using a variety of lighting techniques. One or more of the following are allowed at Landlord discretion:
  - Neon or fluorescent contained in letters
  - Light Emitting Diodes (LED's)
  - Fiber Optics
  - Cove Lighting (Indirect illumination)
  - Exposed neon accent
3. **Colors:** The following guidelines are for selecting colors of Tenants signs. The project and the individual building façade will consist of a variety of colors and materials. The Landlord encourages the tenant to consider these colors when choosing his sign colors.
  - Signs may incorporate regionally or nationally recognized logo colors.
  - Sign colors should be selected to provide sufficient contrast against building background colors.
  - Sign colors should be compatible with and complement building background colors.
  - Sign colors should provide variety, sophistication and excitement.
4. **Fabrication:** The Tenant and Tenant's sign contractor are responsible for the following:
  - Signs must be fabricated of durable appropriate weather resistant materials complementary to the base building materials.
  - Threaded rods or anchor bolts shall be used to mount sign letters which are held off a background panel. Angle clips attached to letter sides will NOT be permitted.
  - Reverse channel letters shall be pinned off two (2") inches off the wall. The letter return depth shall be minimum three (3") inches and letters shall have a clear Lexan backing. All other signs to be pegged a minimum of 1/2 " from wall or façade onto which the letters are attached.
  - Double neon tube shall be used where the width of the letter stroke exceeds 2 1/2 inches.
  - Warrant the sign against latent defects in materials and workmanship for a minimum of one (1) year.

# ORCHARD WALK SPECIFIC PLAN

Sample Signs



5. **Acceptable Sign Styles:** There are many acceptable sign treatments, however a **Mixed Media**,\* three dimensional approach, combining several different fabrication and lighting techniques is preferred. Tenants are strongly encouraged to consider the specific architectural style of their facades, the overall concept of the project, the scale of the proposed sign and the critical viewing angles and sight lines when designing appropriate graphics and signs for the storefront. The Landlord reserves the right to approve or reject any proposed sign on the basis of the size and placement.

Acceptable sign styles include and it is the intention of this Criteria to permit:

- Creative use of **standard illuminated** channel letters.
- **Front and halo illuminated** channel letters.
- **Mixed media/dimensional signs** using images, icons, logos, etc.
- **Mixed media**, signs painted gold, silver or copper leaf.
- **Halo illuminated** letters, 3" deep minimum.
- Dimensional **geometric** shapes.
- **Exposed neon** if used as an accent, subject to approval by Landlord.

\***Mixed Media** signs are signs employing two or more illumination and fabrication methods. For example: Halo lit reverse channel letters with exposed neon accents.

Note: Tenants may be allowed an extra 15% of sign area to enhance the graphic and/or architectural balance. However, this option will be at the sole discretion of the Landlord and the City Planning Director.

6. **Allowable Sizes:**

**Tenants Greater than 100,000 sq. ft.**

Tenant is allowed a maximum of three identification wall signs, one per elevation and a maximum of two secondary signs identifying specialized services or operations (i.e. "Garden Center" and "Tool Rental") and one directional sign (i.e., "Contractor's Entrance") on the primary façade.

Cumulative sign area shall not exceed 225 square feet per elevation. (See Exhibit B)

**Tenants From 25,000 to 100,000 sq. ft.**

Tenant is allowed a maximum of two identity wall signs total, each on a different elevation.

Cumulative sign area shall not exceed one sq. ft. per lineal foot of primary building frontage. Not to exceed one hundred and fifty (150) square feet.

Letter/logo/sign height is not to exceed 4'6".

# ORCHARD WALK SPECIFIC PLAN

## **Tenants From 10,000 to 25,000 sq. ft.**

Tenant is allowed a maximum of two identity wall signs, each on a different elevation.

Cumulative sign area shall not exceed one sq. ft. per lineal foot of primary building frontage. Not to exceed one hundred and twenty five (125) square feet.

Letter/logo/sign height is not to exceed 4'0".

## **Multi-Tenant Buildings - See EXHIBIT C**

In-line Tenants are allowed two identity wall signs, each on a different elevation. Tenants on a building corner are allowed three signs total, each on a different elevation.

The maximum width of any sign may not exceed seventy-five percent (75%) of the Tenant's primary leased storefront length.

Letter/logo/sign height is 24" minimum for single line, 30" overall for double line. Maximum double line 20", minimum double line 12".

## **Single User Pad or Single Tenant Buildings**

Tenants are allowed four signs total, each on a different elevation.

All signs to be equal in size.

Letter/logo/sign height is 24" minimum (36" maximum) for single line, 36" overall for double line. Maximum double line 20", minimum double line 12".

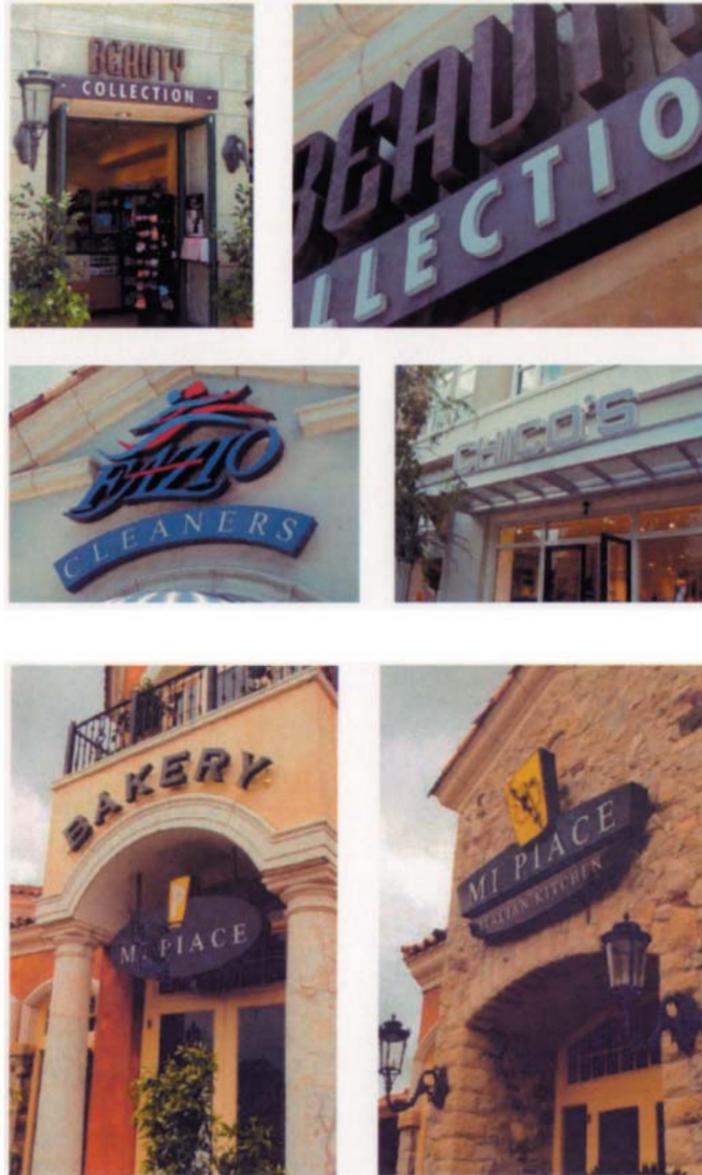
## **Drive-Through Directional and Menu Board**

Each tenant to be allowed four (4) freestanding double-sided internally illuminated plex face directional sign cabinets set into required structural support. Directional signs are to be located at strategic locations on the pad to effectively direct customers to the fast-food pad Tenant's drive-up queue. Signs not to exceed four (4) sq. ft. and 4'-0" (four feet) in height. Directional sign copy shall provide information necessary for on site information and without any advertising.

Each Tenant will also be allowed two (2) freestanding internally illuminated menu boards adjacent to the vehicular drive up aisle to inform customers the price and selection of available food. Sign shall not exceed forty eight (48) square feet and 6'-0" (six feet) in height. Rear of sign shall be architecturally compatible with building.

# ORCHARD WALK SPECIFIC PLAN

Sample Applications



**G. SIGN DESIGNATIONS:**

Each tenant shall install one (1) set of internally illuminated dimensional letters and/or logo with no exposed mounting hardware on wall as directed by Landlord. Landlord will review signs with the intention of varying the sign colors of adjacent tenant signs so that the signs are not the same color and provide contrast with the background. Signs will be designed and constructed as described above.

- Sign may not be located closer than 1'-0" from the sides of the walls or roofline. No sign shall be higher than the roofline, or parapet line whichever is higher.
- The length shall not to exceed 75% of the lease frontage width including logo. Logo shall be defined as any Tenant emblem and/or graphic and shall in included in Tenant's overall length. Such logo may have plex faces with vinyl overlay. Logo area shall not exceed twenty percent (20%) of tenant's overall signage.
- A descending stem may drop 4" below the baseline, or in the case of ascender 4" above the letter height. In no event shall the primary wall sign copy including ascenders and descenders exceed thirty six inches (36").

**Under Canopy Signage – See EXHIBIT D – Tenants Under 25,000 s.f.**

Tenant shall install one (1) double-faced under canopy sign 3'-0" wide x 1'-6" high where designated by Landlord. Sign bracket installed by Landlord at Tenant's cost. Background and letter colors at Tenant's discretion. Letters to be dimensional (minimum 1/4" thick). Vinyl copy not allowed on under canopy signs. Signs to be mounted so that 8'-0" is clear from bottom of sign to sidewalk in all cases and centered so as not to interfere with fire sprinklers or light fixtures. Signs may be rectangular or oval shaped. See Exhibit D. Sign area of such under canopy signage shall be excluded from all wall sign area calculations. Major Tenants and free standing pad buildings with a single tenant may at their election, install an under canopy sign.

**Service Door Signage**

Tenant shall install service door signage. The purpose of this signage is to identify service door for delivery and emergency purposes only. Sign shall be a 12" (twelve inch) high by 12" (twelve inch) long sheet metal plaque affixed to the rear door with a minimum of 4 (four) self-tapping sheet metal screws. Plaque shall be painted to match door color. Letters of contrasting color may be maximum 4" (four inches) high. Sign is to be centered on the door with bottom edge located 4'-6" (four feet six inches) from floor.

**Monument Signs - See EXHIBIT E**

Free standing double faced signs to be installed as shown on site plans and as described in Exhibit E. Signs may double-faced with copy on both sides. Landlord may allocate the sign area dedicated to tenant copy at Landlord's discretion.

# ORCHARD WALK SPECIFIC PLAN

**Pylon Signs - See EXHIBIT F**

One (1) free standing multi-panel sign is permitted as shown on site plans. Landlord may allocate the sign area dedicated to tenant copy at Landlord's discretion. Maximum height for freestanding signs shall be twenty five (25'). Tenant shall place illuminated channel letters on Landlord provided sign panels.

**Gateway Signs - See EXHIBIT G**

Standing gateways with attached sign panels to be installed as shown on site plans. The size of the "Orchard Walk" identity/logo will not exceed twelve (12) square feet. The Landlord may allocate the sign area dedicated to tenant copy at Landlord's discretion. Selected Tenants to install letters on Landlord provided panels as described in Exhibit G.

**Mural Panels - See EXHIBIT H**

Individual mural panels will be attached to the building(s) as shown on site plans. The size of each individual mural panel shall be no larger than one hundred and fifty (150) square feet. The mural panels will be UV resistant digital prints mounted to an aluminum substrate and frame, and pin mounted to the building.

**Banners (pole mounted) by Landlord - See EXHIBIT I**

Banner graphics to read on both faces will be installed on poles. The size of each individual banner shall be no larger than fifteen (15) square feet. The bottom brackets supporting the banners will be 9'-0" clear above the finish grade. The banners will be exterior grade UV resistant fabric with stitched and reinforced pole pockets at the top and bottom.

**H. APPROVALS**

To obtain Landlords approval, submit one (1) copy as outlined in Section B of this criteria, to the Landlord at the following address:

Donahue Schriber Realty Group, L.P.  
Tenant Coordinator  
200 E. Baker Street, Suite #100  
Costa Mesa, CA 92626

Please allow approximately two (2) weeks for the approval process. Upon approval, Landlord shall provide a letter to Tenant. This letter must be presented to the City of Visalia to obtain the Tenant's sign permit.

Prior to manufacture of any sign, the tenant shall obtain a sign permit from the City of Visalia. A copy of all permits must be provided to Landlord prior to any installation. A copy of the final permit must be provided to Landlord within one (1) week after installation.

# ORCHARD WALK SPECIFIC PLAN

## Exhibit A Sign Area Measurement

### SIGN AREA MEASUREMENT

The following exhibits illustrate the methods of determining maximum square footages for letterform/logo area allowances. Sign area is calculated by multiplying (x) times (y), or by outlining the sign with straight lines and calculating the area contained within. More specific methods depending on individual circumstances are described below.

**A**

Area of sign is calculated by overall length of sign (x) times average letter height (y). Letterform's initial cap, ascenders or descenders are not calculated in sign area only if they do not exceed 50% of (y).

**E**

Signs with backgrounds integral with their identity shall be included in total sign area.

**B**

**F**

Area of signs with curving text and varied shapes shall be measured by outlining all of sign with straight lines and calculating area contained within.

**C**

Area of signs with two lines of text shall be measured by outlining all of sign with straight lines and calculating area contained within.

**G**

Areas of odd shaped logos are to be measured by their dictating geometry.

**D**

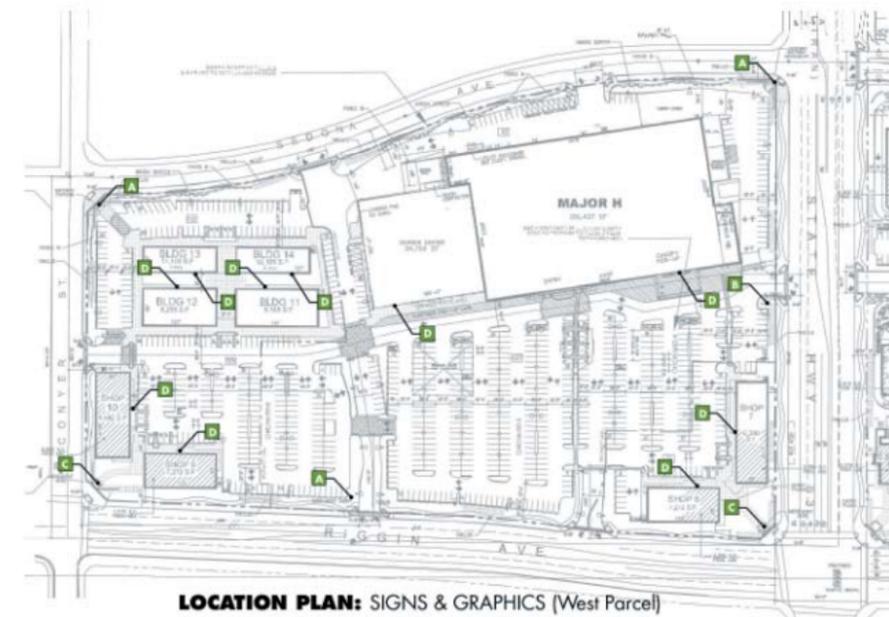
Area of signs with straight text and varied shapes shall be measured by outlining all of sign with straight lines and calculating area contained within.

NOTES:  
(h) represents 36" max.  
(x) cannot exceed 75% of the lease frontage width including logo

## Site Plan

### LEGEND

Sign Type	Description
A	MONUMENT SIGN (MINIMUM 1)
B	PEDONIC (MINIMUM)
C	CALLWAY
D1	TENANT R.A.D.F. SIGN
D2	TENANT R.A.D.F. SIGN
E	SAVINGS
F	MAURA, WILLIS
H	S OF SIGN
J	ADA PARKING 3



# ORCHARD WALK SPECIFIC PLAN

Exhibit B  
Major Tenants



Exhibit C  
In Line Tenants (typical conditions)



# ORCHARD WALK SPECIFIC PLAN

Exhibit D  
Under Canopy Sign Type 1

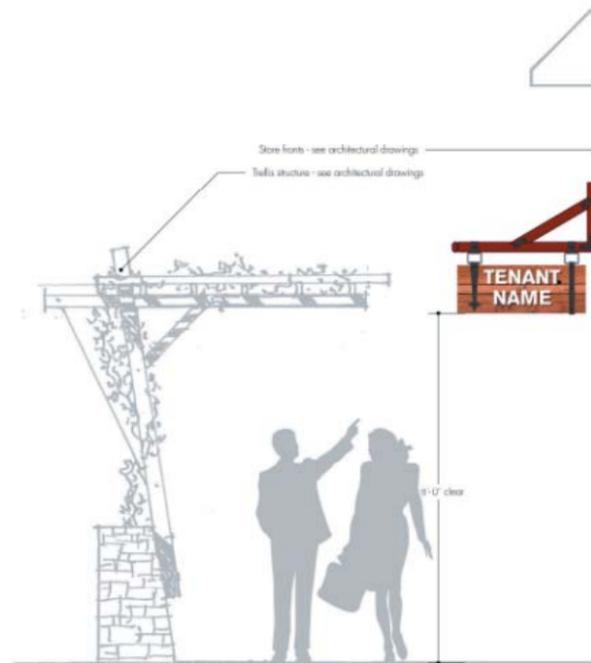
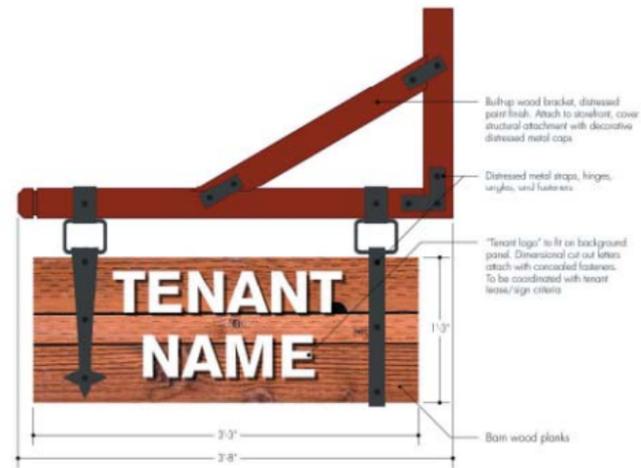
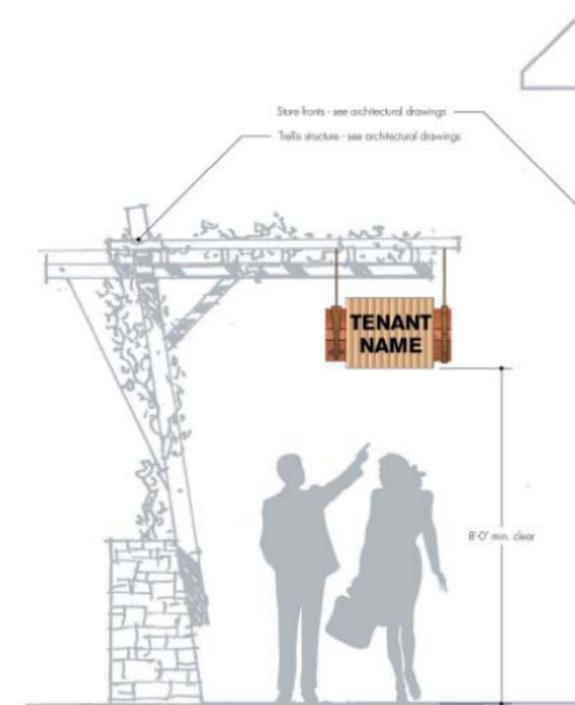
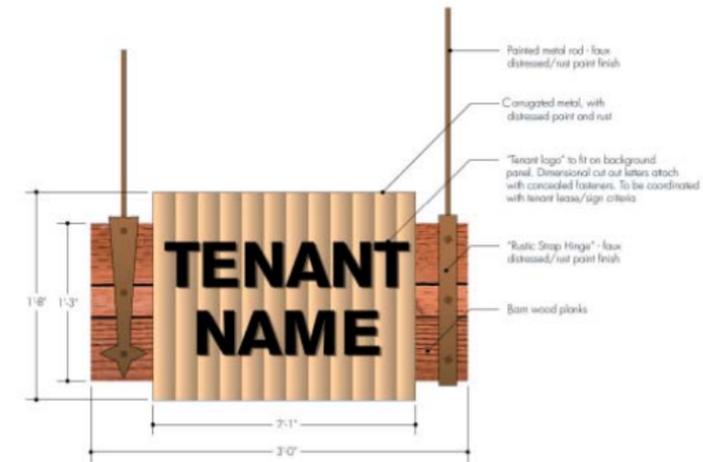


Exhibit D Continued  
Under Canopy Sign Type 2



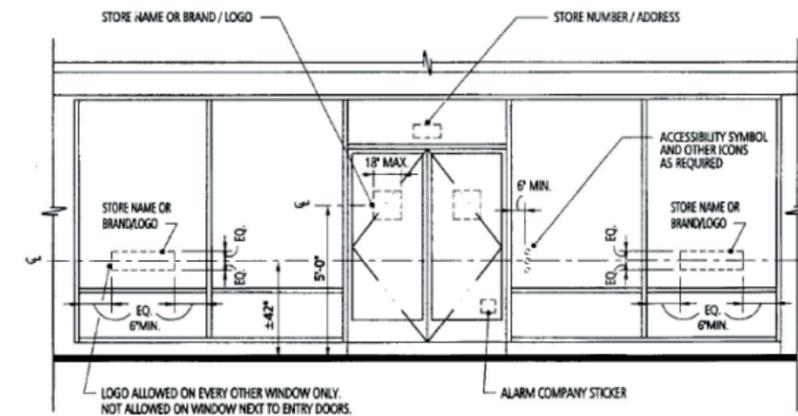
# ORCHARD WALK SPECIFIC PLAN

## Storefront Criteria

### Entry Door/Storefront Window Signage

1. For the purpose of store identification, the Tenant may propose to the Landlord a design layout of Tenant name and/or registered trademark in white or black vinyl die-cut graphics for placement on the inside of entry doors. Each door is permitted one and half (1.5) square foot of vinyl die-cut sign area. The area must be centered approximately 5' from grade.
2. For the purpose of additional store or brand/logo identification, the Tenant may also propose to the Landlord a design layout of store name or brand/logo in white or black vinyl die-cut graphics for placement on the inside of every other (alternating) display windows. The maximum permitted area on each window may not exceed 1 square foot and placement must occur in the center of the window and may not exceed 42" above grade.
3. "Help Wanted" and other standard information signs as deemed necessary by Landlord, shall be affixed to the left edge of the window immediately adjacent to the right of entry doors and no higher than 48" above grade. Such signage shall only be permitted to be affixed with clear suction cups.
4. Other than as provided in section 3 above, no signage of any type is permitted to be placed in or affixed to storefront windows or doors.
5. Signs painted on glass shall NOT be permitted. Temporary seasonal signs and graphics painted on storefront glass may be permitted only at Property Manager's discretion.
6. Credit card or check acceptance signs or logos placed on storefront display windows or doors are prohibited.
7. Alarm company stickers shall be limited to one per entry door and be located only at the extreme lower right corner of the glass area on the door.
8. Handicap access stickers are permitted and shall be placed according to ADA or local jurisdiction under the supervision and approval of the Landlord.
9. The Landlord reserves the right to require a Tenant, at its expense, to remove any storefront signage it considers to be non-complying or unprofessional.
10. No security alarm boxes, horns, sirens and doorbells shall be installed on or above storefronts. All alarm boxes are to be placed on the rear façade of the building only.
11. All signage must be professionally made. Absolutely no hand lettered signs will be allowed.

### Entry Door/Storefront Window Signage Exhibit



Elevation - Typical Storefront

# ORCHARD WALK SPECIFIC PLAN

Exhibit E  
Monument Sign

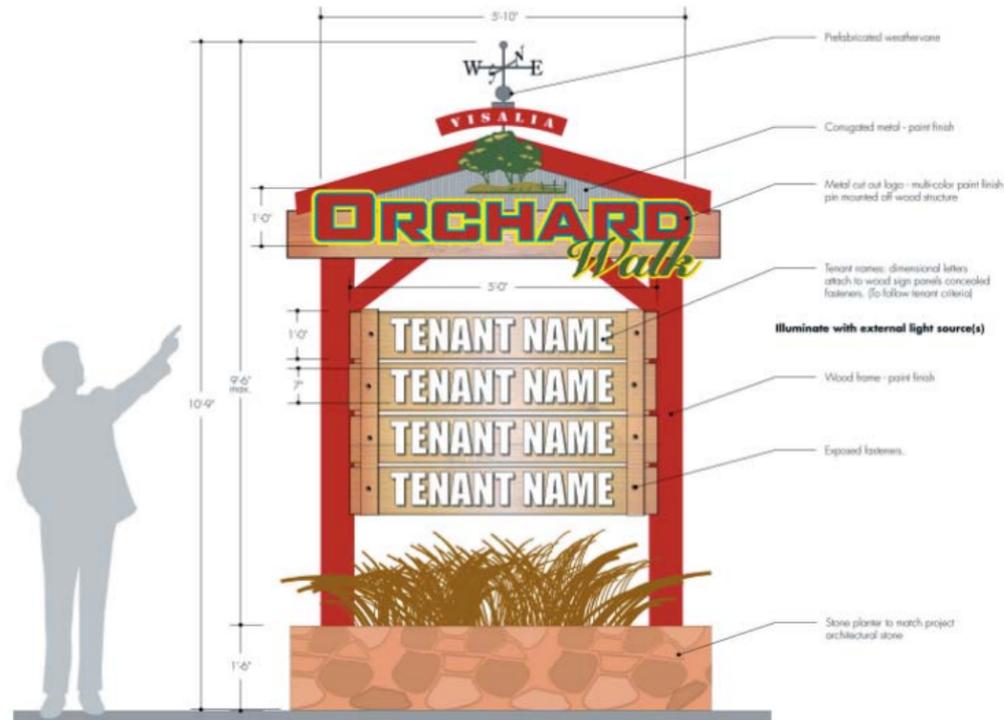
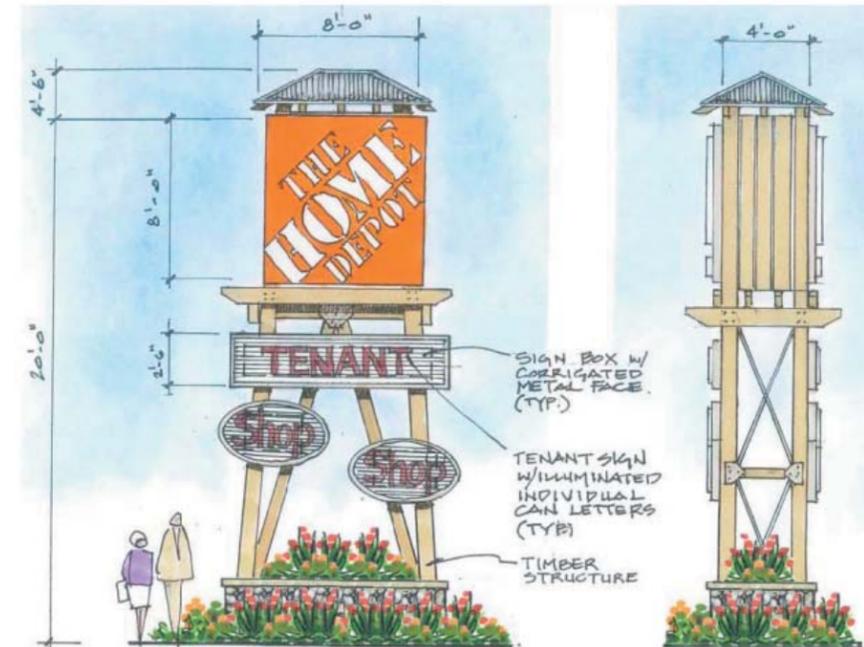


Exhibit F  
Pylon Sign West Parcel



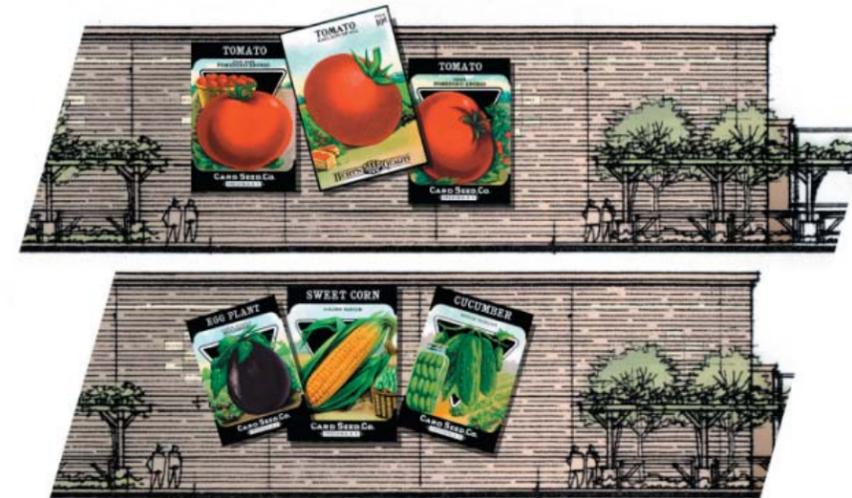
Pylon Sign

# ORCHARD WALK SPECIFIC PLAN

Exhibit G  
Gateway



Exhibit H  
Mural Panels (Building Mounted)



Additional mural panel art  
- fruit crate labels

**Typical Mural Panel**

Digital print graphic, UV resistant inks. Mount to aluminum panel and frame, attach panels to building with concealed stand-off fasteners. Locations and attachment to structure to be coordinated with sign fabricator, engineer, & project architect.



# ORCHARD WALK SPECIFIC PLAN

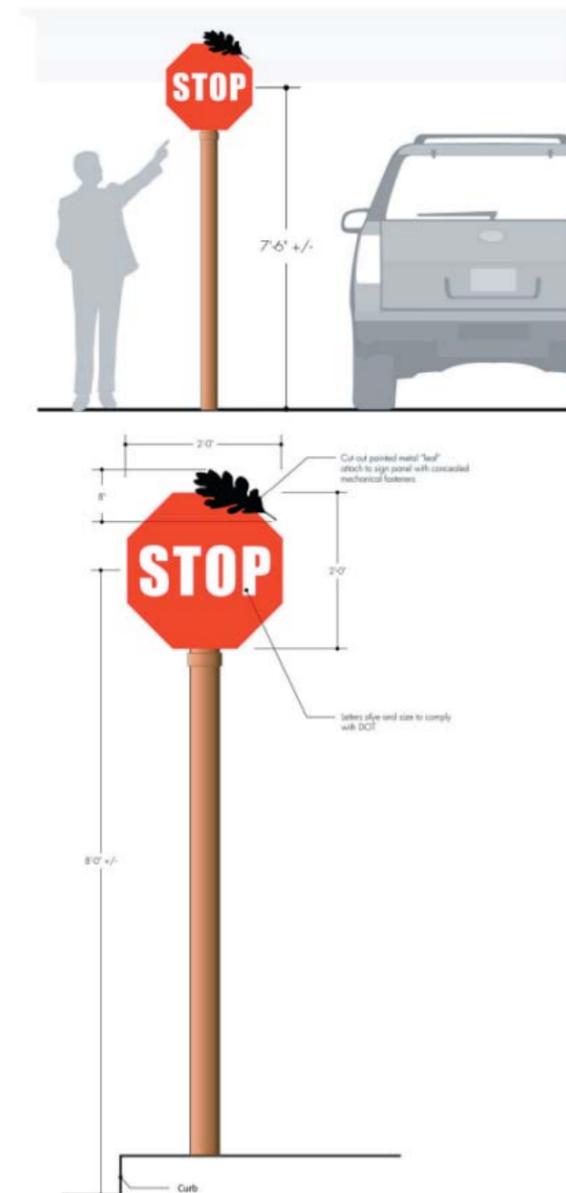
Exhibit I  
Banners (Pole Mounted)



Orchard Walk  
Sign Criteria

27

Exhibit J  
Stop Sign



Orchard Walk  
Sign Criteria

28



# ORCHARD WALK SPECIFIC PLAN



## EAST

*Visalia, California*

LANDLORD

DONAHUE SCHRIBER REALTY GROUP, L.P.  
c/o DONAHUE SCHRIBER ASSET MANAGEMENT  
200 EAST BAKER STREET, SUITE #100  
COSTA MESA, CA 92626  
(714) 545-1400

July 23, 2007

### A. PURPOSE AND INTENT

The following criteria has been established for the purpose of assuring a consistent sign design program for the mutual benefit of all occupants. Flexibility of design is encouraged and at the same time overall visual harmony is maintained. Conformity with this Program will be enforced by the Landlord. The Sign code will be enforced by The City of Visalia. The most restrictive Criteria shall govern in the event of a conflict between the City's code and this sign program. Any non-conforming or unapproved sign will be brought into conformity at the expense of the Tenant.

### B. GENERAL CRITERIA

1. Prior to manufacture of any sign in the center, the Tenant shall submit to Landlord for approval, one (1) copy of detailed drawings or signs shall be submitted electronically in PDF format. E-mail PDF file to Tenant Coordinator. These drawings shall include the building elevation which the signs are to be attached to, section, sign dimensions, graphics, location, colors, and method of attachment. This approval must be obtained prior to submittal to the City of Visalia.
2. All signs shall be reviewed for conformance with this criteria and overall design quality. Approval or disapproval of sign submittals based on aesthetics of design shall remain the sole right of the Landlord/Manager.
3. Prior to the installation and manufacture of any sign, the Tenant shall obtain a sign permit from the City of Visalia and provide a copy to Landlord.
4. Each Tenant shall pay all costs for its signs including manufacture, installation, maintenance, and City permits/certificates.
5. Each Tenant shall be responsible for and repair any damage to any surface caused by the signage or its installation.
6. Landlord reserves the right to periodically hire an independent electrical engineer, at Tenant's sole expense, to inspect the installation of all Tenants' signs. Tenants will be required to have any discrepancies and/or code violations corrected at Tenant's expense. Any code violations, requests for sign removals, or discrepancies not corrected within fifteen (15) days of notice, may be corrected by the Landlord/Manager at Tenant's expense.
7. Tenant's sign contractor shall carry workman's compensation and public liability insurance against all damage suffered or done by any and all persons and/or property while engaged in the construction or erection of signs in the amount of \$1,000,000 per occurrence. Evidence of this insurance must be provided to Landlord and Manager prior to installation naming Landlord/Manager and Landlord's Lender as additional insured.

# ORCHARD WALK SPECIFIC PLAN

8. Upon vacancy, Tenant shall remove sign and restore fascia to original condition at Tenant's sole cost and expense within fifteen (15) days of expiration of term or earlier termination of Tenant's lease.

## C. PROHIBITED SIGNS

1. Temporary signs, window signs, placards, flags, pennants, inflatable displays, sandwich boards and banners of any type shall be prohibited, except as otherwise previously approved by the Landlord.
2. Animated, flashing, audible, off-premise, or vehicle signs are not allowed.
3. No exposed junction boxes, transformers, lamps, tubing, conduit, raceways or neon crossovers of any type.
4. No sign manufacturer's names, stamps, or decals visible from the street or normal viewing angles.
5. No luminous-vacuum formed acrylic signs and letters including pre-manufactured and franchise signs, with the exception of site directional signage approved by the Landlord and the City.
6. No paper, cardboard, or Styrofoam signs, stickers or decals hung around, on or behind storefronts.
7. No exposed fastening devices, unless integral to the sign's design intent.
8. No simulated materials (i.e., wood grained plastic laminates), wall covering or painted backgrounds.
9. Advertising devices such as attraction boards, banners, & flags will not be permitted in, upon or about the premises or elsewhere in the Shopping Center or sidewalks adjacent thereto. Any such items installed by Tenant or Tenant's agents without Landlord's express written consent may be removed by Landlord or Landlord's agent without prior notice to tenant and any cost incurred for such removal shall be paid by Tenant to Landlord as additional rent.
10. There shall not be roof top signs or signs which extend above the parapet wall of the building to which they are attached, except those specifically allowed by this criteria.

## D. SIGN DESIGN

1. Tenant's of the Shopping Center are required to have an illuminated sign on their fascia, unless otherwise specified in this criteria or approved by Landlord and the City of Visalia.
2. Signs shall be designed in a manner that is not only imaginative but also of high graphic quality. In addition, signs should be compatible with and complementary to adjacent facades. Tenant signs that incorporate logos, business identities and/or images denoting the type of business shall be encouraged. Logo design, and color to be approved by Landlord.
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4. Notwithstanding the maximum square footages specified for copy area allowances, signs and topography in all cases shall appear balanced and in scale within the context of the sign space and the building as a whole. Thickness, height, and color of sign lettering shall be visually balanced and in proportion to other signs on the building. This may result in Tenant signage that is less or different than otherwise allowed under this sign criteria, Landlord shall have the right to determine such fit and architectural compatibility in landlord's sole and absolute discretion.
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## E. SIGN CONSTRUCTION

1. All signs and their installation shall comply with all applicable City building and electrical codes, and bear UL label.
2. Tenant's sign contractor shall completely install and connect sign display and primary wiring at sign location per Landlord's approval, unless otherwise directed. With the exception of the major tenants, signs are to be connected to the J-box provided by the Landlord, which is connected to Landlord's panel and shall be wired to Landlord's control at Landlord's house panel for uniform control hours of illumination unless otherwise directed by Landlord.
3. All penetrations of exterior fascia to be sealed watertight, and finish to match adjacent material, subject to Landlord's approval.

# ORCHARD WALK SPECIFIC PLAN

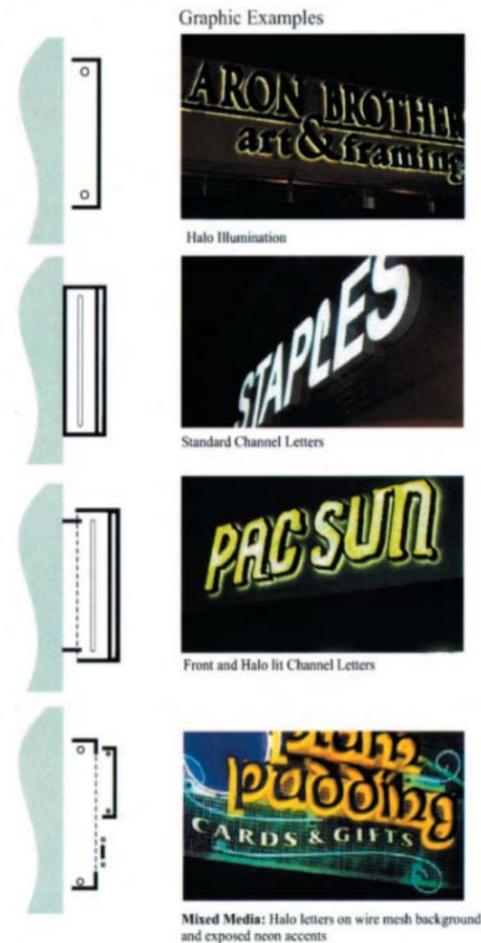
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  - Neon or fluorescent contained in letters
  - Light Emitting Diodes (LED's)
  - Fiber Optics
  - Cove Lighting (Indirect illumination)
  - Exposed neon accent
3. **Colors:** The following guidelines are for selecting colors of Tenants signs. The project and the individual building façade will consist of a variety of colors and materials. The Landlord encourages the tenant to consider these colors when choosing his sign colors.
  - Signs may incorporate regionally or nationally recognized logo colors.
  - Sign colors should be selected to provide sufficient contrast against building background colors.
  - Sign colors should be compatible with and complement building background colors.
  - Sign colors should provide variety, sophistication and excitement.
4. **Fabrication:** The Tenant and Tenant's sign contractor are responsible for the following:
  - Signs must be fabricated of durable appropriate weather resistant materials complementary to the base building materials.
  - Threaded rods or anchor bolts shall be used to mount sign letters which are held off a background panel. Angle clips attached to letter sides will NOT be permitted.
  - Reverse channel letters shall be pinned off two (2") inches off the wall. The letter return depth shall be minimum three (3") inches and letters shall have a clear Lexan backing. All other signs to be pegged a minimum of 1/2 " from wall or façade onto which the letters are attached.
  - Double neon tube shall be used where the width of the letter stroke exceeds 2 1/2 inches.
  - Warrant the sign against latent defects in materials and workmanship for a minimum of one (1) year.

# ORCHARD WALK SPECIFIC PLAN

Sample Signs



5. **Acceptable Sign Styles:** There are many acceptable sign treatments, however a **Mixed Media**,\* three dimensional approach, combining several different fabrication and lighting techniques is preferred. Tenants are strongly encouraged to consider the specific architectural style of their facades, the overall concept of the project, the scale of the proposed sign and the critical viewing angles and sight lines when designing appropriate graphics and signs for the storefront. The Landlord reserves the right to approve or reject any proposed sign on the basis of the size and placement.

Acceptable sign styles include and it is the intention of this Criteria to permit:

- Creative use of **standard illuminated** channel letters.
- **Front and halo illuminated** channel letters.
- **Mixed media/dimensional signs** using images, icons, logos, etc.
- **Mixed media**, signs painted gold, silver or copper leaf.
- **Halo illuminated** letters, 3" deep minimum.
- **Dimensional geometric** shapes.
- **Exposed neon** if used as an accent, subject to approval by Landlord.

\***Mixed Media** signs are signs employing two or more illumination and fabrication methods. For example: Halo lit reverse channel letters with exposed neon accents.

Note: Tenants may be allowed an extra 15% of sign area to enhance the graphic and/or architectural balance. However, this option will be at the sole discretion of the Landlord and the City Planning Director.

6. **Allowable Sizes:**

**Tenants Greater than 100,000 sq. ft.**

Tenant is allowed a maximum of three identification wall signs, one per elevation and a maximum of two secondary signs identifying specialized services or operations (i.e. "Garden Center" and "Tool Rental") and one directional sign (i.e., "Contractor's Entrance") on the primary façade.

Cumulative sign area shall not exceed 225 square feet per elevation. (See Exhibit B)

**Tenants From 25,000 to 100,000 sq. ft.**

Tenant is allowed a maximum of two identity wall signs total, each on a different elevation.

Cumulative sign area shall not exceed one sq. ft. per lineal foot of primary building frontage. Not to exceed one hundred and fifty (150) square feet.

Letter/logo/sign height is not to exceed 4'6".

# ORCHARD WALK SPECIFIC PLAN

**Tenants From 10,000 to 25,000 sq. ft.**

Tenant is allowed a maximum of two identity wall signs, each on a different elevation.

Cumulative sign area shall not exceed one sq. ft. per lineal foot of primary building frontage. Not to exceed one hundred and twenty five (125) square feet.

Letter/logo/sign height is not to exceed 4'0".

**Multi-Tenant Buildings - See EXHIBIT C**

In-line Tenants are allowed two identity wall signs, each on a different elevation. Tenants on a building corner are allowed three signs total, each on a different elevation.

The maximum width of any sign may not exceed seventy-five percent (75%) of the Tenant's primary leased storefront length.

Letter/logo/sign height is 24" minimum for single line, 30" overall for double line. Maximum double line 20", minimum double line 12".

**Single User Pad or Single Tenant Buildings**

Tenants are allowed four signs total, each on a different elevation.

All signs to be equal in size.

Letter/logo/sign height is 24" minimum (36" maximum) for single line, 36" overall for double line. Maximum double line 20", minimum double line 12".

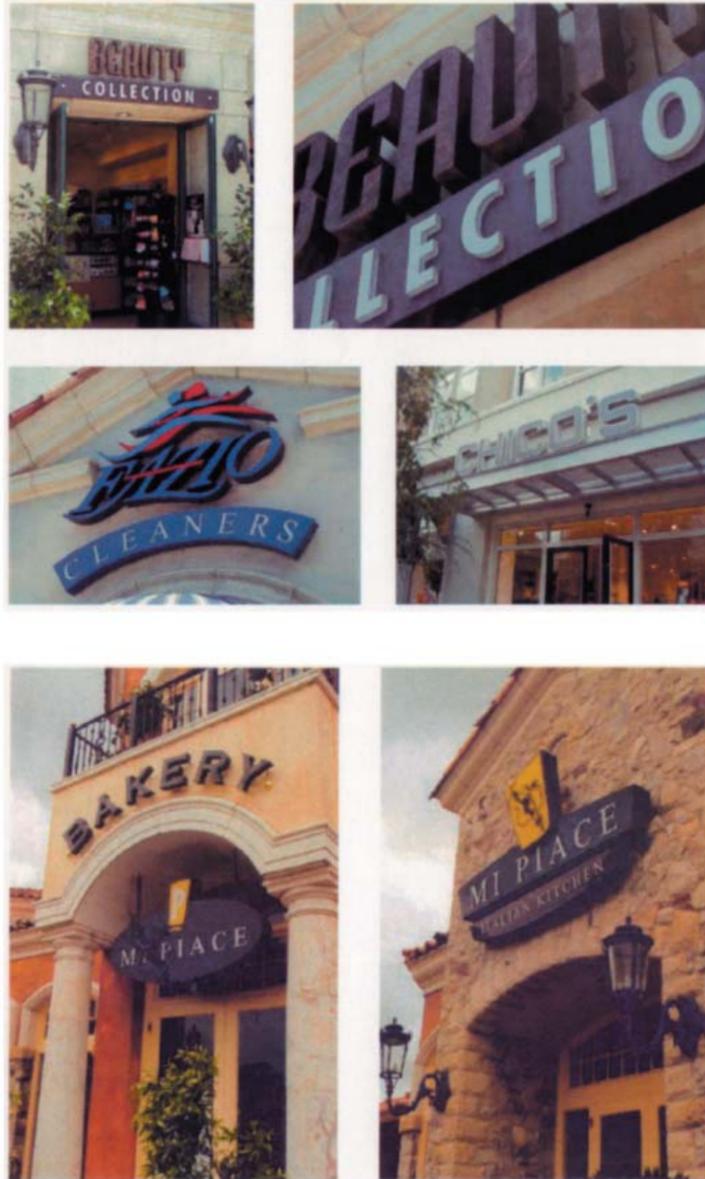
**Drive-Through Directional and Menu Board**

Each tenant to be allowed four (4) freestanding double-sided internally illuminated plex face directional sign cabinets set into required structural support. Directional signs are to be located at strategic locations on the pad to effectively direct customers to the fast-food pad Tenant's drive-up queue. Signs not to exceed four (4) sq. ft. and 4'-0" (four feet) in height. Directional sign copy shall provide information necessary for on site information and without any advertising.

Each Tenant will also be allowed two (2) freestanding internally illuminated menu boards adjacent to the vehicular drive up aisle to inform customers the price and selection of available food. Sign shall not exceed forty eight (48) square feet and 6'-0" (six feet) in height. Rear of sign shall be architecturally compatible with building.

# ORCHARD WALK SPECIFIC PLAN

Sample Applications



**G. SIGN DESIGNATIONS:**

Each tenant shall install one (1) set of internally illuminated dimensional letters and/or logo with no exposed mounting hardware on wall as directed by Landlord. Landlord will review signs with the intention of varying the sign colors of adjacent tenant signs so that the signs are not the same color and provide contrast with the background. Signs will be designed and constructed as described above.

- Sign may not be located closer than 1'-0" from the sides of the walls or roofline. No sign shall be higher than the roofline, or parapet line whichever is higher.
- The length shall not to exceed 75% of the lease frontage width including logo. Logo shall be defined as any Tenant emblem and/or graphic and shall in included in Tenant's overall length. Such logo may have plex faces with vinyl overlay. Logo area shall not exceed twenty percent (20%) of tenant's overall signage.
- A descending stem may drop 4" below the baseline, or in the case of ascender 4" above the letter height. In no event shall the primary wall sign copy including ascenders and descenders exceed thirty six inches (36").

**Under Canopy Signage – See EXHIBIT D – Tenants Under 25,000 s.f.**

Tenant shall install one (1) double-faced under canopy sign 3'-0" wide x 1'-6" high where designated by Landlord. Sign bracket installed by Landlord at Tenant's cost. Background and letter colors at Tenant's discretion. Letters to be dimensional (minimum ¼" thick). Vinyl copy not allowed on under canopy signs. Signs to be mounted so that 8'-0" is clear from bottom of sign to sidewalk in all cases and centered so as not to interfere with fire sprinklers or light fixtures. Signs may be rectangular or oval shaped. See Exhibit D. Sign area of such under canopy signage shall be excluded from all wall sign area calculations. Major Tenants and free standing pad buildings with a single tenant may at their election, install an under canopy sign.

**Service Door Signage**

Tenant shall install service door signage. The purpose of this signage is to identify service door for delivery and emergency purposes only. Sign shall be a 12" (twelve inch) high by 12" (twelve inch) long sheet metal plaque affixed to the rear door with a minimum of 4 (four) self-tapping sheet metal screws. Plaque shall be painted to match door color. Letters of contrasting color may be maximum 4" (four inches) high. Sign is to be centered on the door with bottom edge located 4'-6" (four feet six inches) from floor.

**Monument Signs - See EXHIBIT E**

Free standing double faced signs to be installed as shown on site plans and as described in Exhibit E. Signs may double-faced with copy on both sides. Landlord may allocate the sign area dedicated to tenant copy at Landlord's discretion.

# ORCHARD WALK SPECIFIC PLAN

**Pylon Signs - See EXHIBIT F**

One (1) free standing multi-panel sign is permitted as shown on site plans. Landlord may allocate the sign area dedicated to tenant copy at Landlord's discretion. Maximum height for freestanding signs shall be twenty five (25'). Tenant shall place illuminated channel letters on Landlord provided sign panels.

**Gateway Signs - See EXHIBIT G**

Standing gateways with attached sign panels to be installed as shown on site plans. The size of the "Orchard Walk" identity/logo will not exceed twelve (12) square feet. The Landlord may allocate the sign area dedicated to tenant copy at Landlord's discretion. Selected Tenants to install letters on Landlord provided panels as described in Exhibit G.

**Mural Panels - See EXHIBIT H**

Individual mural panels will be attached to the building(s) as shown on site plans. The size of each individual mural panel shall be no larger than one hundred and fifty (150) square feet. The mural panels will be UV resistant digital prints mounted to an aluminum substrate and frame, and pin mounted to the building.

**Banners (pole mounted) by Landlord - See EXHIBIT I**

Banner graphics to read on both faces will be installed on poles. The size of each individual banner shall be no larger than fifteen (15) square feet. The bottom brackets supporting the banners will be 9'-0" clear above the finish grade. The banners will be exterior grade UV resistant fabric with stitched and reinforced pole pockets at the top and bottom.

**H. APPROVALS**

To obtain Landlords approval, submit one (1) copy as outlined in Section B of this criteria, to the Landlord at the following address:

Donahue Schriber Realty Group, L.P.  
Tenant Coordinator  
200 E. Baker Street, Suite #100  
Costa Mesa, CA 92626

Please allow approximately two (2) weeks for the approval process. Upon approval, Landlord shall provide a letter to Tenant. This letter must be presented to the City of Visalia to obtain the Tenant's sign permit.

Prior to manufacture of any sign, the tenant shall obtain a sign permit from the City of Visalia. A copy of all permits must be provided to Landlord prior to any installation. A copy of the final permit must be provided to Landlord within one (1) week after installation.

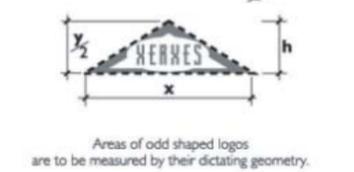
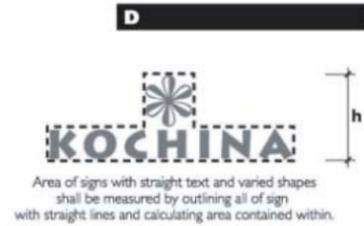
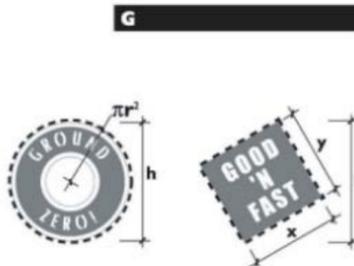
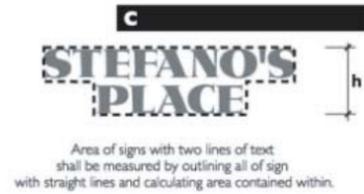
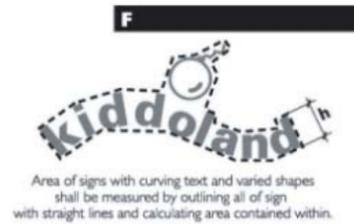
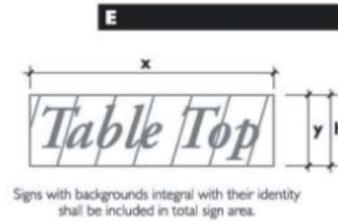
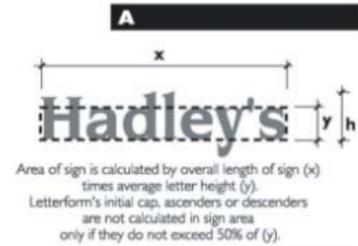


# ORCHARD WALK SPECIFIC PLAN

## Exhibit A Sign Area Measurement

### SIGN AREA MEASUREMENT

The following exhibits illustrate the methods of determining maximum square footages for letterform/logo area allowances. Sign area is calculated by multiplying (x) times (y), or by outlining the sign with straight lines and calculating the area contained within. More specific methods depending on individual circumstances are described below.

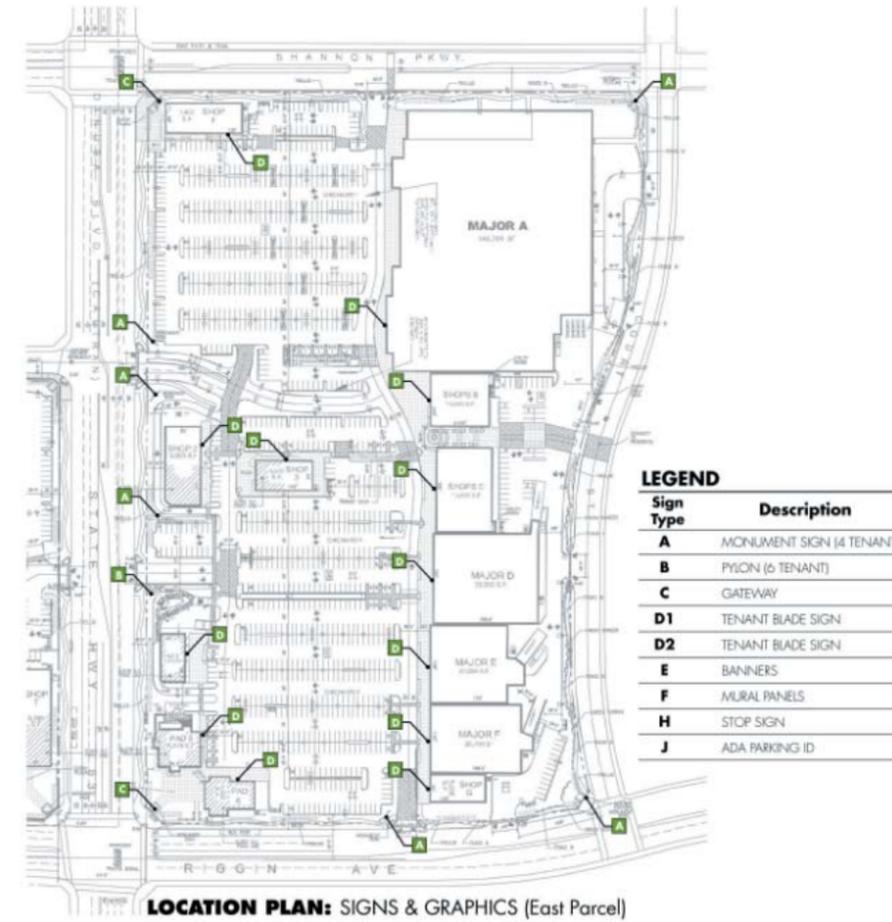


#### NOTES:

(h) represents 36" max.

(x) cannot exceed 75% of the lease frontage width including logo

## Site Plan



# ORCHARD WALK SPECIFIC PLAN

Exhibit B  
Major Tenants



Exhibit C  
In Line Tenants (typical conditions)



# ORCHARD WALK SPECIFIC PLAN

Exhibit D  
Under Canopy Sign Type 1

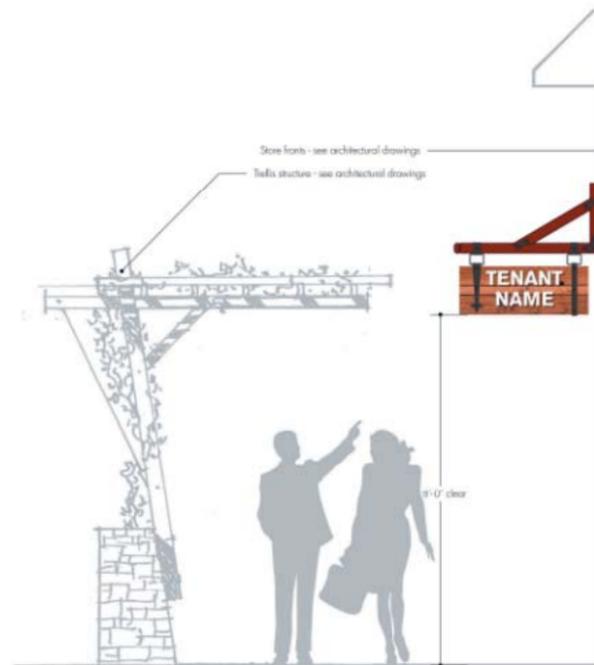
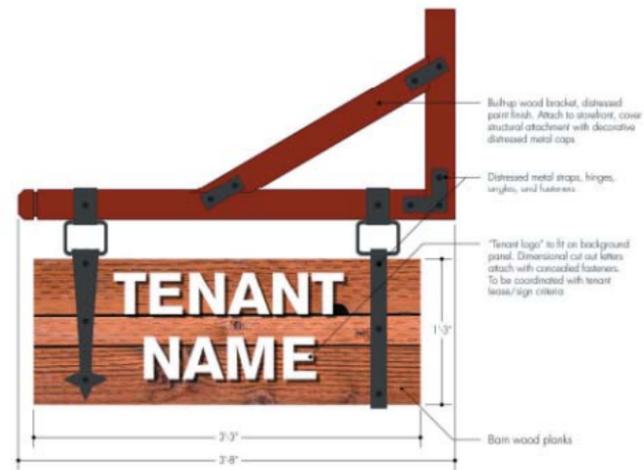
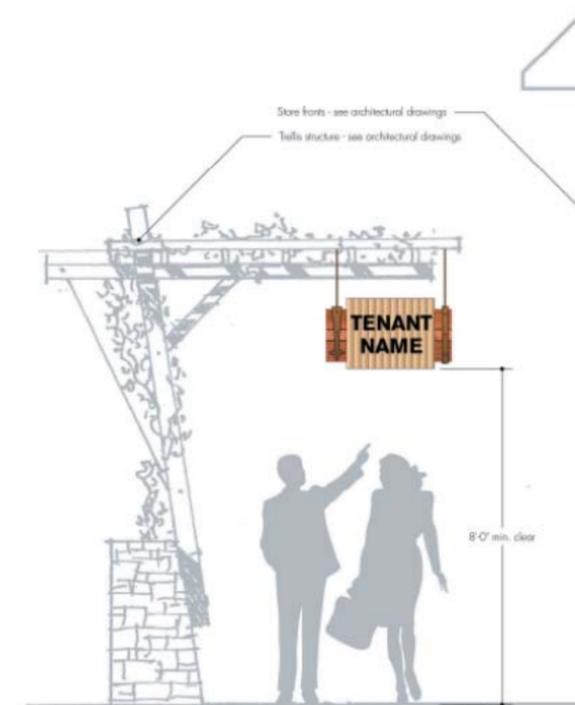
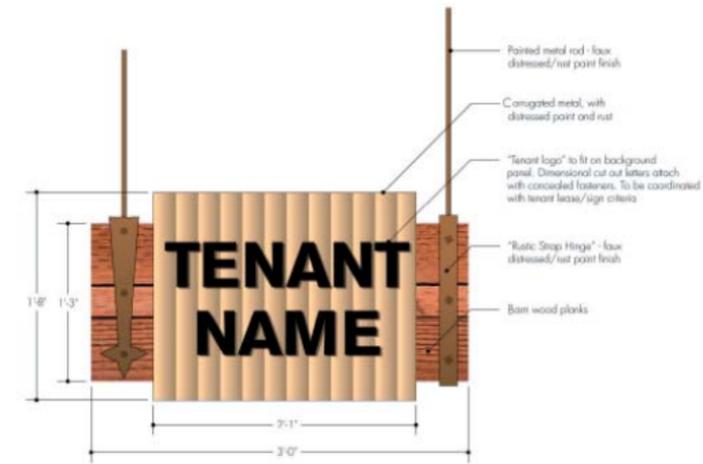


Exhibit D Continued  
Under Canopy Sign Type 2



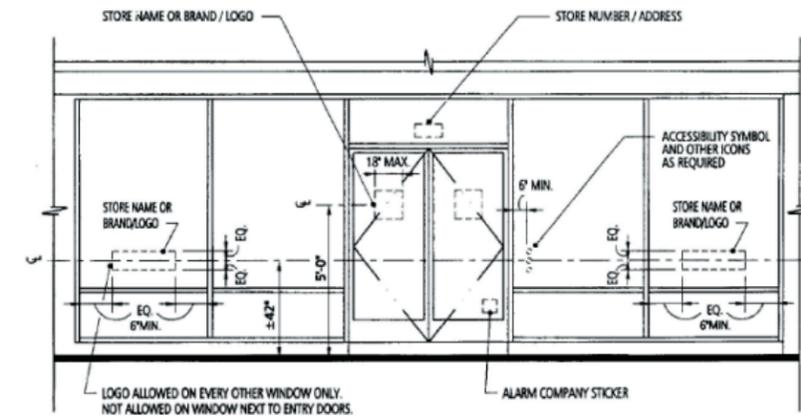
# ORCHARD WALK SPECIFIC PLAN

## Storefront Criteria

### Entry Door/Storefront Window Signage

1. For the purpose of store identification, the Tenant may propose to the Landlord a design layout of Tenant name and/or registered trademark in white or black vinyl die-cut graphics for placement on the inside of entry doors. Each door is permitted one and half (1.5) square foot of vinyl die-cut sign area. The area must be centered approximately 5' from grade.
2. For the purpose of additional store or brand/logo identification, the Tenant may also propose to the Landlord a design layout of store name or brand/logo in white or black vinyl die-cut graphics for placement on the inside of every other (alternating) display windows. The maximum permitted area on each window may not exceed 1 square foot and placement must occur in the centered area measured a minimum of 8" inward toward the window's center from the vertical edges of the window and may not exceed 42" above grade.
3. "Help Wanted" and other standard information signs as deemed necessary by Landlord, shall be affixed to the left edge of the window immediately adjacent to the right of entry doors and no higher than 48" above grade. Such signage shall only be permitted to be affixed with clear suction cups.
4. Other than as provided in section 3 above, no signage of any type is permitted to be placed in or affixed to storefront windows or doors.
5. Signs painted on glass shall NOT be permitted. Temporary seasonal signs and graphics painted on storefront glass may be permitted only at Property Manager's discretion.
6. Credit card or check acceptance signs or logos placed on storefront display windows or doors are prohibited.
7. Alarm company stickers shall be limited to one per entry door and be located only at the extreme lower right corner of the glass area on the door.
8. Handicap access stickers are permitted and shall be placed according to ADA or local jurisdiction under the supervision and approval of the Landlord.
9. The Landlord reserves the right to require a Tenant, at its expense, to remove any storefront signage it considers to be non-complying or unprofessional.
10. No security alarm boxes, horns, sirens and doorbells shall be installed on or above storefronts. All alarm boxes are to be placed on the rear façade of the building only.
11. All signage must be professionally made. Absolutely no hand lettered signs will be allowed.

### Entry Door/Storefront Window Signage Exhibit



Elevation – Typical Storefront

# ORCHARD WALK SPECIFIC PLAN

Exhibit E  
Monument Sign

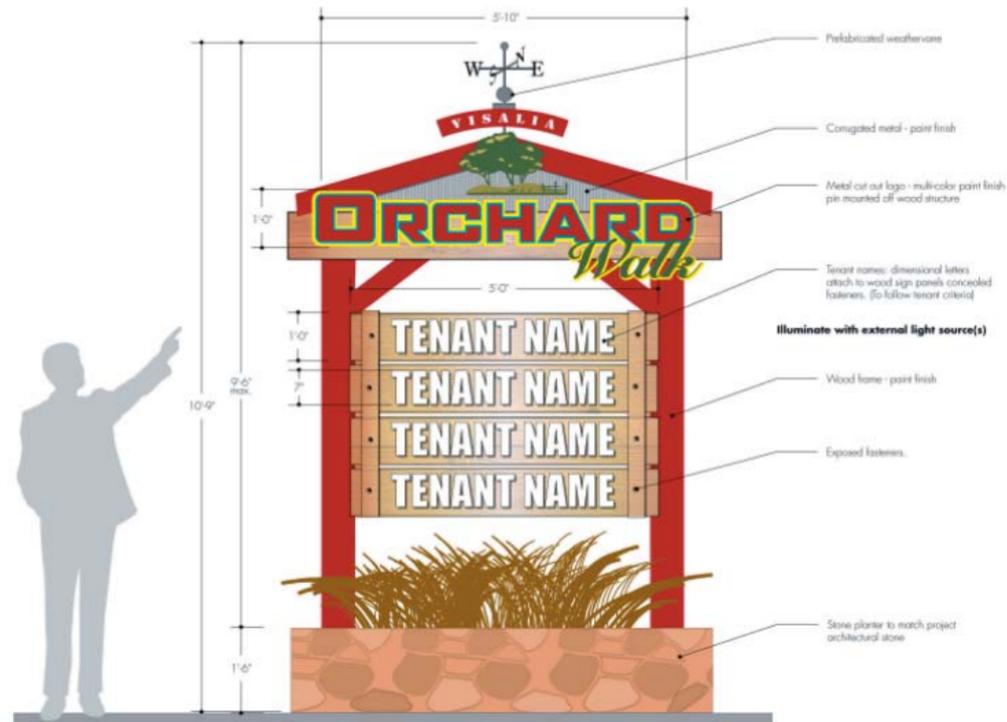
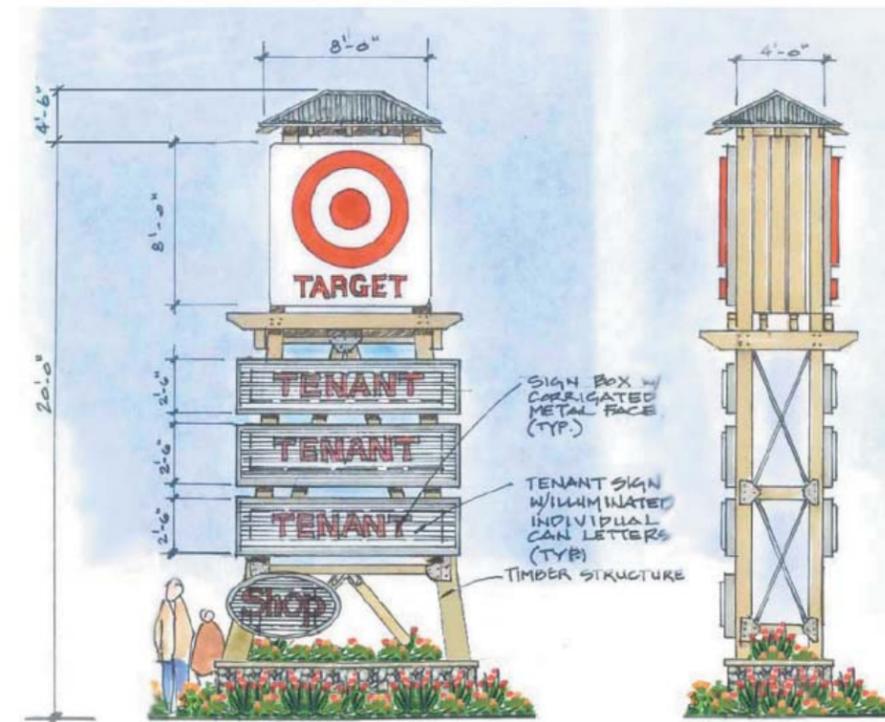


Exhibit F  
Pylon Sign East Parcel



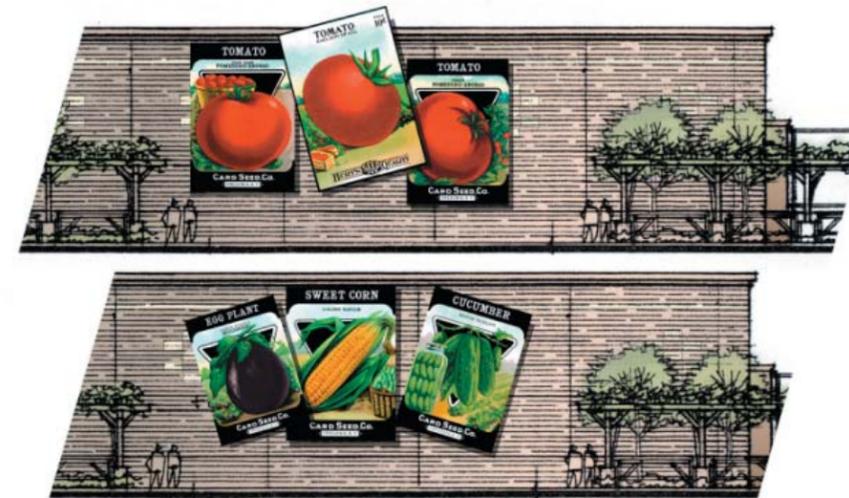
Pylon Sign

# ORCHARD WALK SPECIFIC PLAN

Exhibit G  
Gateway

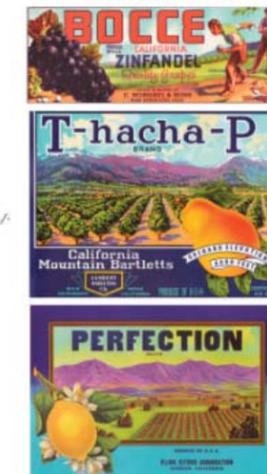


Exhibit H  
Mural Panels (Building Mounted)



Additional mural panel art  
- fruit crate labels

**Typical Mural Panel**  
Digital print graphic, UV resistant inks. Mount to aluminum panel and frame, attach panels to building with concealed stand-off fasteners. Locations and attachment to structure to be coordinated with sign fabricator, engineer, & project architect.

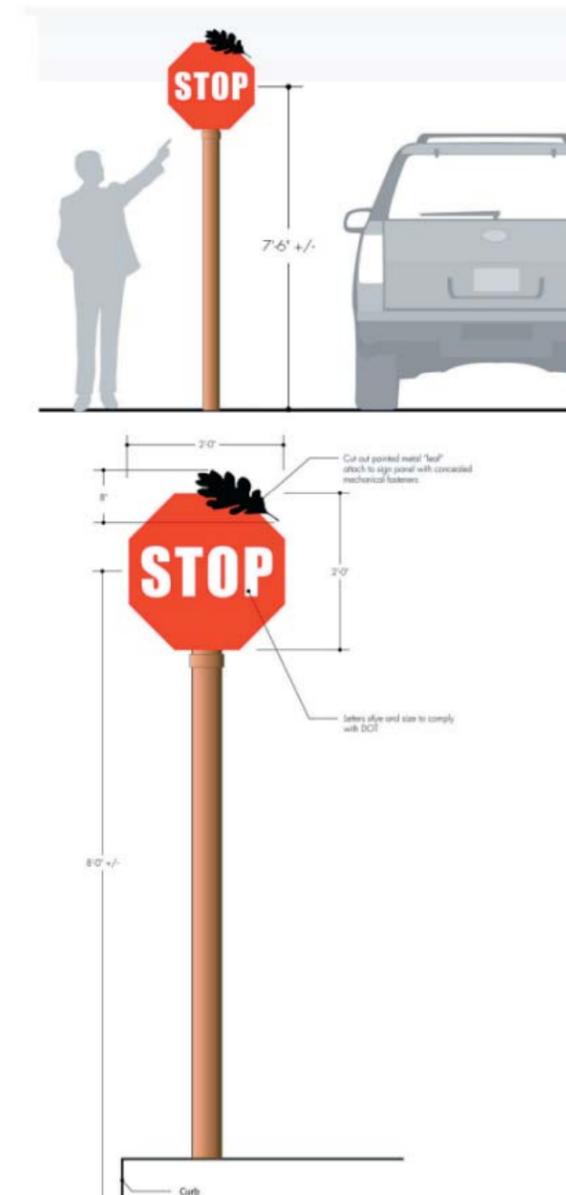


# ORCHARD WALK SPECIFIC PLAN

Exhibit I  
Banners (Pole Mounted)



Exhibit J  
Stop Sign



# ORCHARD WALK SPECIFIC PLAN

Exhibit K  
ADA Parking Sign

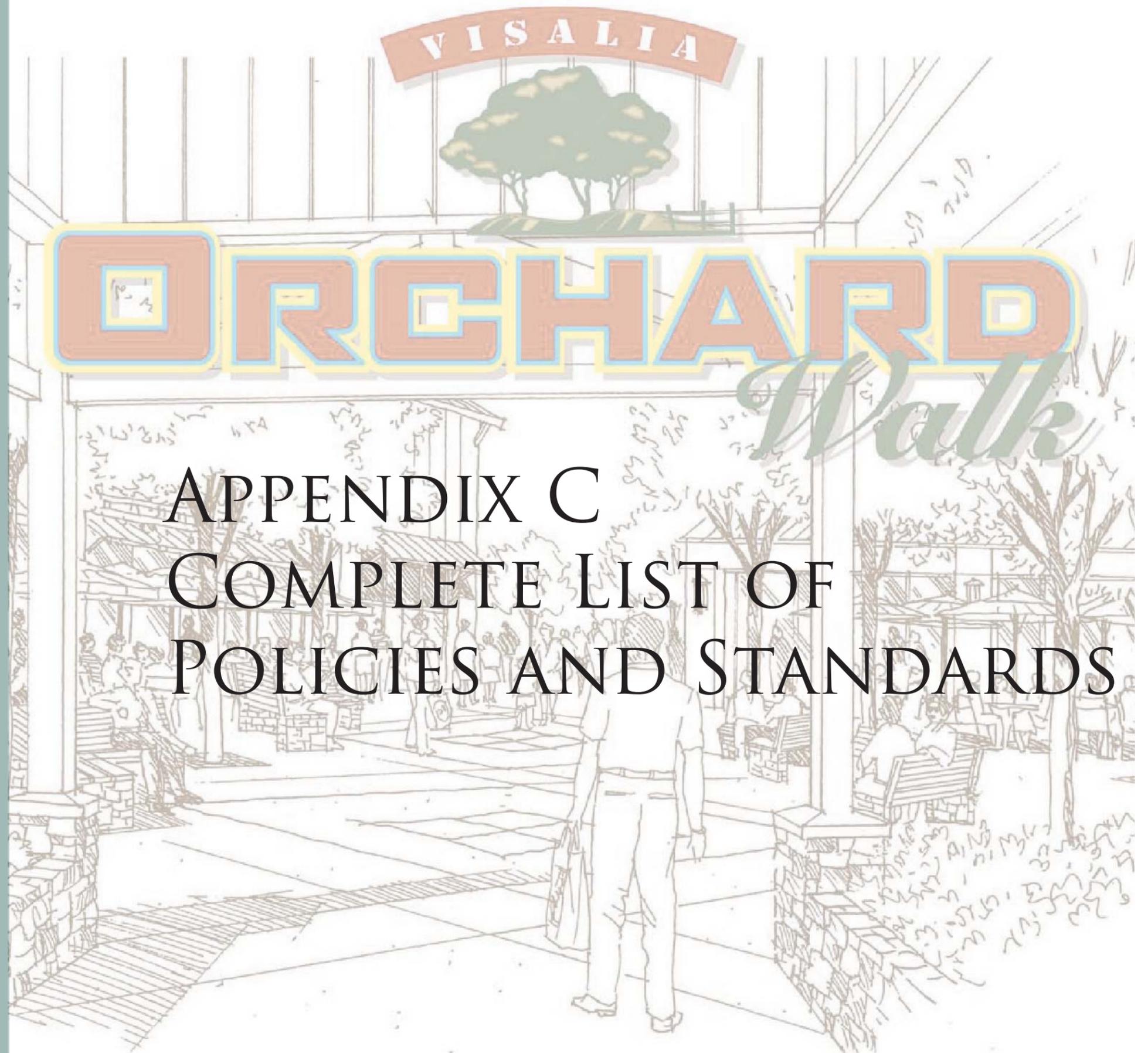


Exhibit L  
Project Identity/Logo



ORCHARD WALK  
SPECIFIC PLAN

VISALIA, CA



APPENDIX C  
COMPLETE LIST OF  
POLICIES AND STANDARDS

# ORCHARD WALK SPECIFIC PLAN

## APPENDIX C COMPLETE LIST OF POLICIES AND STANDARDS

### 3.1 Community Commercial Policies and Standards

- A) The uses as proposed in this Specific Plan are deemed permitted uses. All other uses shall reference the City of Visalia Municipal Code Section 17.18.050 (C-CM Zone) for applicability.
- B) The development standards in Table 3.1-1 shall be used for the development of commercial areas within the Plan Area.
- C) Side and rear building facades shall have architectural treatment(s) such as but not limited to: false windows, accent bands, stone veneer columns or undulating facades. No blank walls will be permitted on side and rear building facades.
- D) Rooftop, mechanical equipment, vents and ducts are to be screened from view. Screens may consist of suitable materials chosen for conformance with overall building design. Architectural integration of mechanical equipment is required.
- E) Off-street parking shall be compartmentalized, and be shielded from residential and open space corridors to the maximum extent possible.
- F) Creative use of form, height and massing, supportive by distinctive windows, entryways and facade treatments shall be used to create a symbolic landmark to the Plan Area.
- G) Clearly defined pedestrian walkways shall be provided leading to adjacent land use areas, and shall be an integral component of the overall site design.
- H) The design of commercial buildings shall promote and enhance a pedestrian-oriented atmosphere and should be adaptable to accommodate a variety of changing uses.
- I) Undulating/varied facades on commercial building frontages shall be required as they provide added visual interest and human scale.

### 3.2 Medium Density Residential Policies and Standards

- A) The development standards in Table 3.2-1 shall be used for the development of the Medium Density Residential area within the Plan Area.
- B) Garages shall not protrude beyond the leading edge of the home.
- C) Alternative garage loading configurations are encouraged (i.e., rear lot garages, side loading garages, detached garages, or alley loading garages).
- D) Architecture, landscaping, lighting, fencing and any signage shall be complimentary and work together to create and maintain neighborhood identity.
- E) Exterior wall materials, trim and architectural details are to be applied equally to all sides of the building.
- F) Utility and mechanical equipment are to be screened from view. Ground mounted air conditioners, coolers, antennas, or other appurtenances are to be screened from off-site

view.

- G) The MDR designated area should incorporate variety in style and detail but with a unifying theme that provides cohesion for the entire site.
- H) Building heights and setback shall be varied to break monotony.
- I) The visual impact of garages and driveway aprons are to be minimized.
- J) Flashing details (vents, down spouts and gutters) shall be designed to compliment the building's overall design, including colors and materials.
- K) The size, scale, color, proportion, placement and detailing of architectural features such as porches, balconies, chimneys, doors/windows, dormers, and fencing shall be carefully considered to complement the overall massing and scale of the building.

### 3.3 Gateway Policies and Standards

- A) Articulated gateways shall be located at the locations shown in Figure 3.3-1
- B) Gateways shall be prominently marked with signage, accent paving, lighting, landscaping, accent trees, and monument features consistent with the design guidelines/standards contained in this Chapter.

### 3.4 Wall and Fence Policies and Standards

- A) A 3 foot high decorative wood split-rail fence shall be provided around the perimeter of the commercial portion of the Plan Area and the west and east side of the MDR area.
- B) All decorative fencing and walls used in the Plan Area shall be installed and coordinated with appropriate landscaping consistent with the design guidelines/standards contained in this Chapter.
- C) The loading and unloading activities behind each major tenant building shall be conducted in an enclosed loading dock with a positive seal between the loading dock and trucks. The loading dock will include a wall of sufficient height (not to exceed 8'), and appearance as the remainder of the building, to minimize sound from trucks and have an appearance similar to that of the main building.
- D) The footings for all fences and trellises shall be located outside of the dedicated public street row. The trellises will be allowed to overhang into the public street row.

### 3.6 Lighting Policies and Standards

- A) Lighting shall be provided to ensure a safe environment, but should not cause areas of intense light or glare.
- B) Lighting should be sensitive to adjacent land uses and viewsheds. Architectural features or lighting fixtures that provide down-lighting and lighting that is shielded from adjacent uses shall be implemented.
- C) Street lighting standards shall be dependent upon City and Southern California Edison requirements.
- D) All parking, pedestrian, and safety lighting shall provide uniform illumination and be situated and shielded so as to not cause glare or excessive light spillage on adjacent uses.

E) Plan Area theme lighting specifications are as follows:

- Perimeter Lights along Dinuba Boulevard, Riggin Avenue, Hermosa Street and Santa Fe Street: SCE Cobra head drop glass on 30' high pole. Use 100w high pressure sodium vapor at mid-block driveways and medians and 150w high pressure sodium, 300' o.c. and high pressure sodium at intersections.
- Street lights along Conyer Street, Sedona Avenue, Shannon Parkway and Court Street: Shannon Ranch, Sun Valley CS-3774 REV.1 (6' mast arm and 20' pole).
- Interior parking area lights: Greenbriar-flat lens fixture, 22'-35' pole height, single or double mounted fixture.
- Photometric plan shall demonstrate that light in adjacent properties shall not exceed 0.5 footcandles.

### 3.7 Landscaping Policies and Standards

- A) The landscaping specifications in Table 3.7-1 shall apply to all landscaped areas within the commercial portion of the Plan Area.
- B) For the multifamily portion of the Plan Area, street trees are to be planted between streets and sidewalks at a minimum of 20 feet on center. For the commercial portion of the Plan Area, street trees are to be planted between streets and sidewalks at a minimum of 30 feet on center.

### 3.9.4 Architecture Policies and Standards

- A) Heights of structures shall relate to the adjacent open spaces to allow maximum sunlight penetration and ventilation.
- B) The height and scale shall be compatible with that of surrounding development.
- C) Large structures (60,000 square feet and larger) shall have varied wall and roof planes on the building frontage. The side and rear elevations shall have some combination of architectural treatment(s) including but not limited to, false windows, accent bands, stone/CMU veneer columns or undulating facades. Unadorned blank walls are not permitted, and all sides of a community commercial building shall be architecturally treated.
- D) The use of standardized, corporate architectural styles associated with chain-type restaurants should be modified to fit the intended theme.
- E) Large areas of intense light, white colors should be avoided. While subdued colors usually work best as a dominant color, a brighter color may be appropriate. The color palette chosen for a Community Commercial center should be compatible with the overall theme. Wherever possible, the number of colors should be minimized on the structures exterior. Small commercial structures should use no more than 5 colors. Primary colors should only be used as accent elements.
- F) The roofline at the top of the structure on building frontages should not run in a continuous plane for more than 150 feet without an offset.
- G) Mechanical equipment on commercial buildings may be roof mounted but shall be screened from public view through

using the structures basic materials. Mechanical equipment shall be located below the highest vertical element of the building.

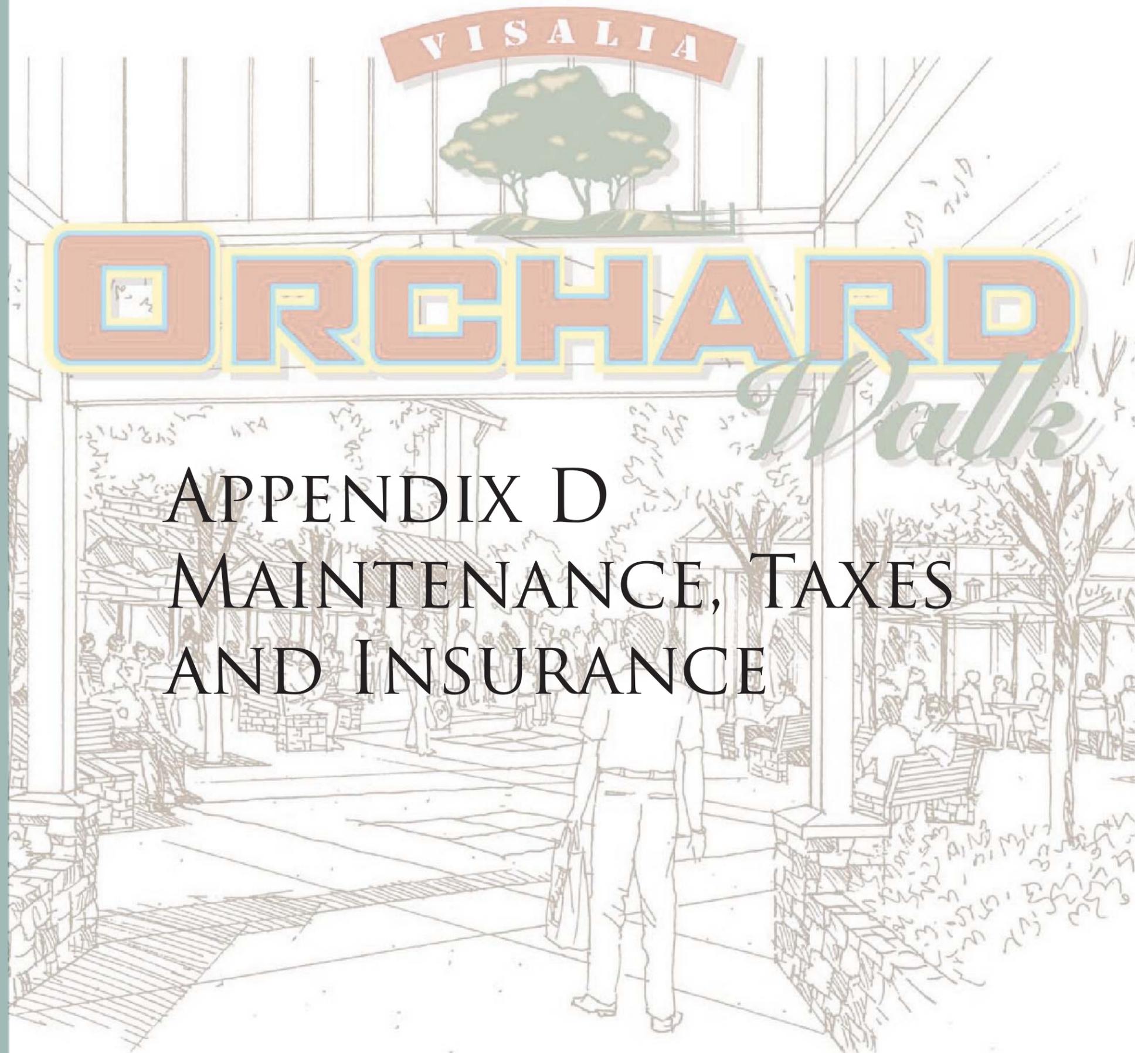
- H) Awnings may be used, and must have eight vertical feet of clearance to the sidewalk. Signs on awnings should be painted on, and be limited to the awning valence or end panels. Plexiglas, and glossy vinyl awnings are prohibited. Canvas, fabric and standing seam metal awnings consistent with the architectural theme may be appropriate. Internally lit awnings are not permitted.
- I) Lighting in Community Commercial centers shall be used to provide security and safety for all areas such as parking, loading, shipping, receiving, pathways and working areas. All building entrances shall be well lit and have architectural lighting treatment.

### 4.0 Circulation Policies and Standards

- A) All roadway and pathway development standards and dimensions within the Specific Plan shall be consistent with City and Caltrans standards and the following:
  - 1) City of Visalia Circulation Element and Visalia Bikeway Plan Update dated February 2006;
  - 2) Traffic Impact Study prepared by TPG Consulting; and
  - 3) Caltrans TIS comments letter dated 1/19/07.
- B) The Visalia Standard Specifications and Drawings shall take precedence for items not covered in the Specific Plan.
- C) All streets within the Plan Area shall be lined with the species of street tree specified in the Landscape Palette (reference Section 3.7).
- D) Traffic calming features may be utilized for traffic calming within the Plan Area.
- E) Pedestrian signals shall be provided at all traffic signals within the Plan Area and street lighting shall be provided for all roadways.
- F) Safe and efficient movement of pedestrians within the Plan Area is paramount and shall be accomplished with pedestrian pathways, trellis, stamped asphalt and landscaping.

ORCHARD WALK  
SPECIFIC PLAN

VISALIA, CA



APPENDIX D  
MAINTENANCE, TAXES  
AND INSURANCE

# ORCHARD WALK SPECIFIC PLAN

## APPENDIX D

### MAINTENANCE TAXES AND INSURANCE

#### **Section 5.1 Maintenance**

(A) Buildings and Common Areas. Except for the Common Maintenance Area, as defined in Section 5.1(C) below, each Owner hereto shall maintain the Building(s) and the Common Areas on its Parcel in good order and condition and state of repair in accordance with the standards of first class shopping center operation including (but not limited to) sweeping and removal of trash, litter and refuse, painting and striping of parking areas, repair and replacement of paving as necessary, maintenance of landscaped areas (including replacement and replanting), removal of ice and snow from driveways and parking areas, and maintenance and repair of lighting standards and signs. Each Owner covenants that it, in addition to other requirements of this Section, will keep the inside and outside of all glass in the doors and windows of its Buildings clean; will maintain its Buildings in a clean, orderly and sanitary condition and free of insects, rodents, vermin and other pests; will not permit accumulation of garbage, trash, rubbish, and other refuse, and will remove all garbage, trash, rubbish and other refuse and will keep such garbage, trash, rubbish and other refuse in proper containers or compactors in places designated therefore until called for to be removed; and will keep the Common Areas on its Parcel clear of accumulation of ice and snow. The maintenance and repair of the Buildings and improvements on each Parcel shall be of such a character that their appearance will be that of a unified shopping center, and accordingly, the Owners agree to cooperate with each other in good faith with respect to said maintenance and repair and, to the extent reasonably possible, coordinate such repair and maintenance.

(B) Lighting. Each Owner shall cause the Common Area on its Parcel to be adequately lit for at least the hours during which the business is open for business and for one (1) hour after closing.

(C) Common Maintenance Area. Common Maintenance Area means (i) the sign structure for the Center Signs (but not the sign panels), (ii) the Access Roads, and (iii) the Common Landscape Area as shown on the Site Plan. The Property Manager shall be responsible for the maintenance and repair (including replacement) of the Common Maintenance Area, subject to reimbursement by each Owner. Reference Exhibit A for an illustration of the common maintenance areas.

#### **Section 5.2 Failure in Performing Maintenance Responsibilities**

In the event that an Owner or the Property Manager fails or defaults in its maintenance obligations (30) days after receipt of written notice may thereafter perform such maintenance obligations, in addition to such Owner's other remedies.

#### **Section 5.3 Taxes**

The Owner of each Parcel shall pay or cause to be paid, prior to delinquency, directly to the appropriate taxing authorities, all real property taxes and assessments which are levied against such Owner's Parcel.

#### **Section 5.4 Insurance**

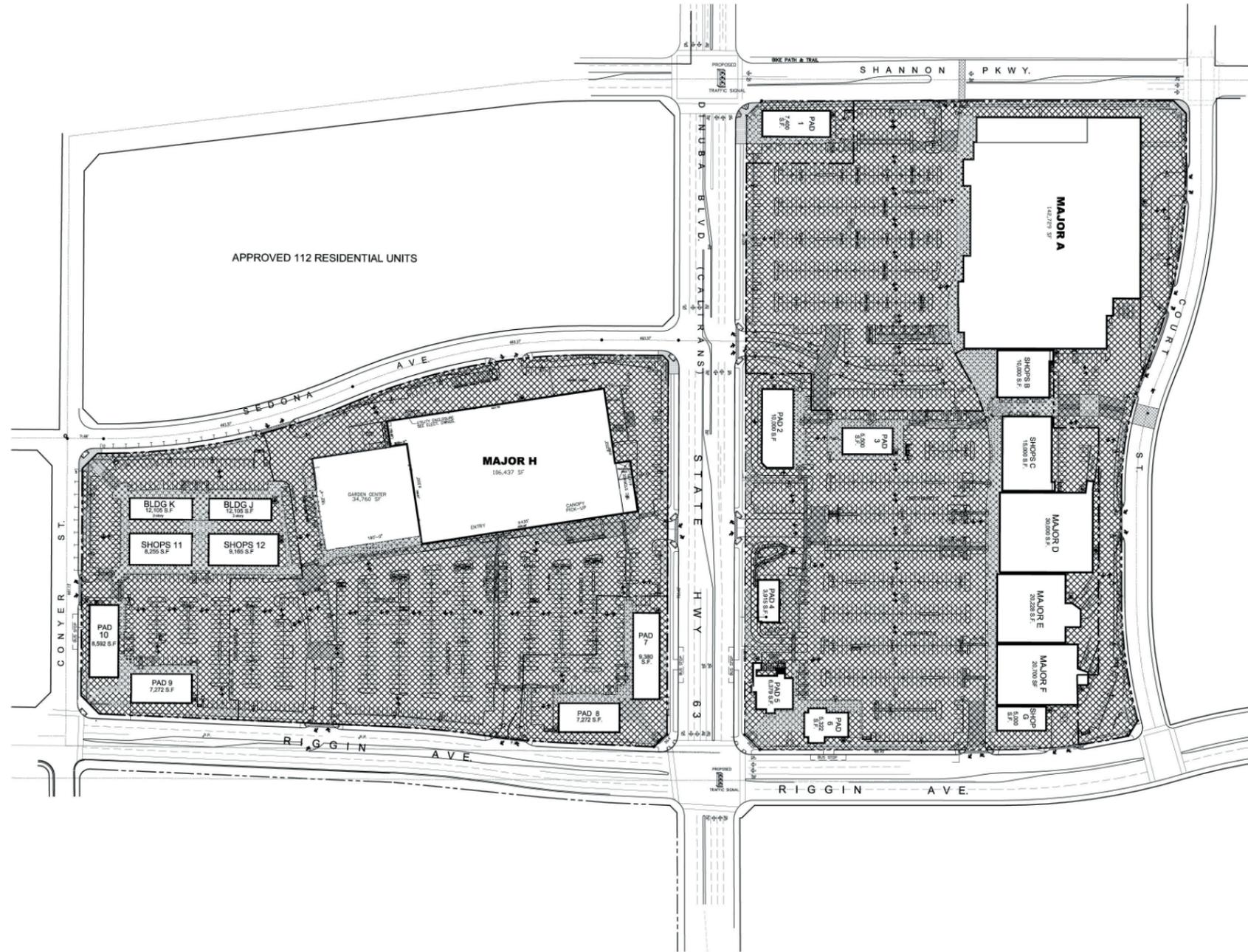
(A) Insurance Coverage. Each Owner in the Shopping Center will at all times maintain or cause to be maintained with respect to its Parcel and all Buildings and improvements thereon: (i) commercial property insurance against loss or damage by fire, lightning and other risks customarily covered by an all-risks policy of property insurance for the full replacement cost of the Building(s) and improvements located thereon, and (ii) commercial general liability insurance (including contractual liability coverage) against claims for bodily injury, death or property damage occurring on, in or about such Owner's Parcel combined single limit coverage of not less than TWO MILLION DOLLARS (\$2,000,000.00) per occurrence. Nothing herein shall be construed from prohibiting an Owner which itself, or in combination with its parent corporation, has a net worth in excess of ONE HUNDRED MILLION DOLLARS (\$100,000,000.00) as determined by generally accepted accounting principles, from self-insuring for such insurance coverage. A Consenting Owner or the Maintenance Director may request evidence of insurance from any Owner, which shall be provided within fifteen days after such request.

#### **Section 5.5 Maintenance Director**

The consenting owners shall mutually agree upon and appoint a party to maintain and repair the Common Areas in the manner as above outlined (the "Maintenance Director") on such terms and conditions as approved by the consulting owners. Upon 30 days advance notice, either consenting owner may require the replacement of the Maintenance Director. The Maintenance Director shall also have the responsibility for obtaining evidence that each owner is maintaining the insurance required pursuant to Section 5.4. The Maintenance Director shall receive a fee that is mutually acceptable to the consenting owners to cover supervision, management, accounting, and similar fees. The cost of all maintenance and repair activities undertaken by the Maintenance Director, together with the agency fee, shall be prorated between all owners based upon acreage owned. An owner shall pay its proportional share of all such costs and fees within 30 days following its receipt of a detailed invoice thereafter.

# ORCHARD WALK SPECIFIC PLAN

## EXHIBIT A COMMON MAINTENANCE AREAS



LEGEND:  
 COMMON AREA



SCALE: 1" = 80'-0"

PROJECT # 25129  
 P:\2005\25129\design\070424sp\_common\_areas.dwg 4-25-07 03:06:04 PM MasoudS  
 DATE: APRIL 25, 2007

**DEVELOPER**  
  
 200 EAST BAKER STREET  
 SUITE 100  
 COSTA MESA, CA 92626  
 T 714.545.1400  
 F 714.545.4222

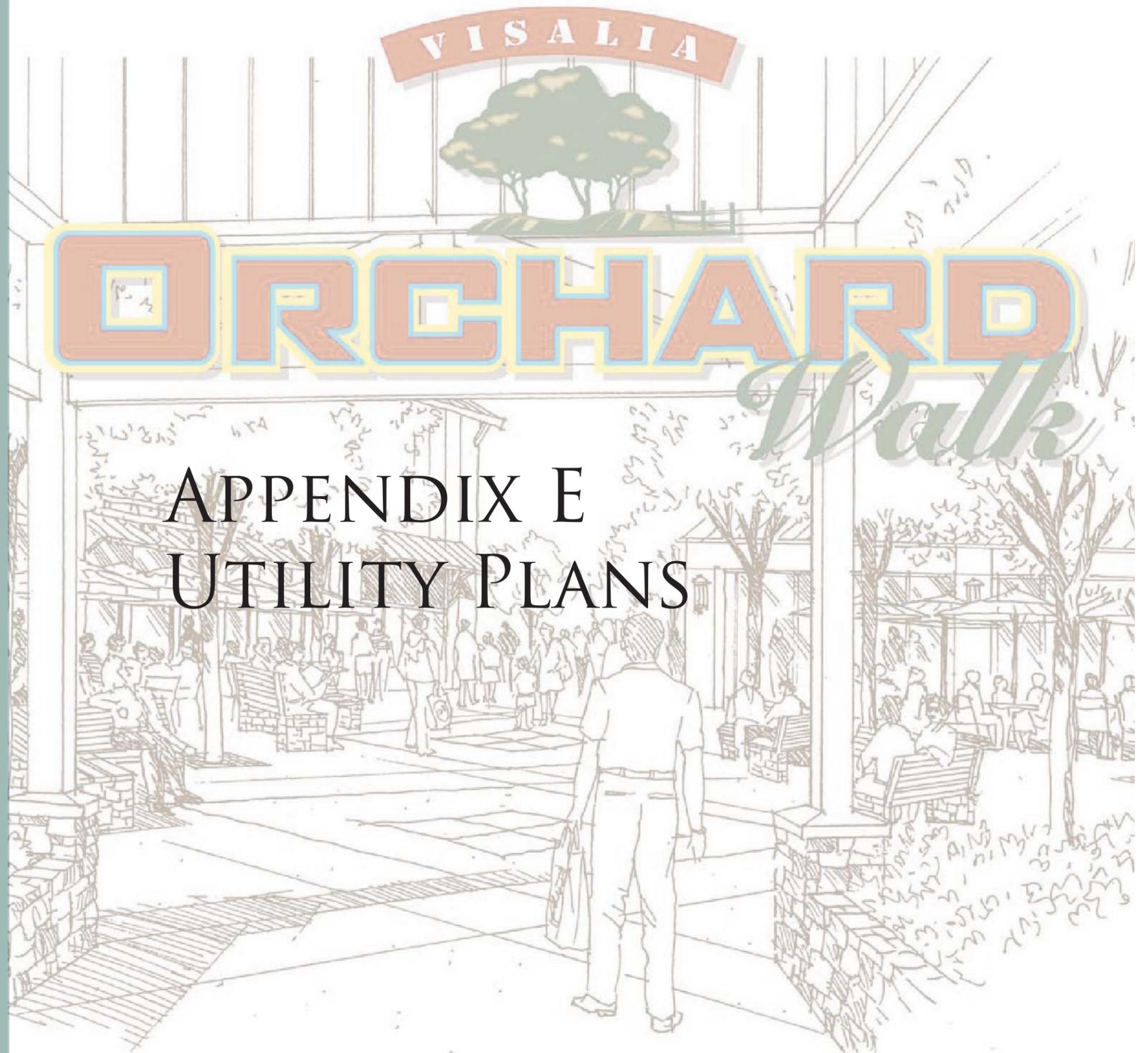
NOTE:  
 THIS PLAN WAS PREPARED FROM INFORMATION FURNISHED BY THE OWNER AND WILL BE SUBJECT TO VERIFICATION AND REQUIRED BY A FINAL SURVEY AND RECORDING AGENCY APPROVALS.

**THE ORCHARD WALK** VISALIA, CALIFORNIA  
 N.W.C. HIGHWAY 63 & RIGGIN AVENUE  
 PRELIMINARY SITE PLAN

**LHA** a division of gkkworks  
 1833 Victory Boulevard | GLENDALE | CA 91201  
 618.246.6050 | 618.246.0430 fax | www.lharchitects.com

ORCHARD WALK  
SPECIFIC PLAN

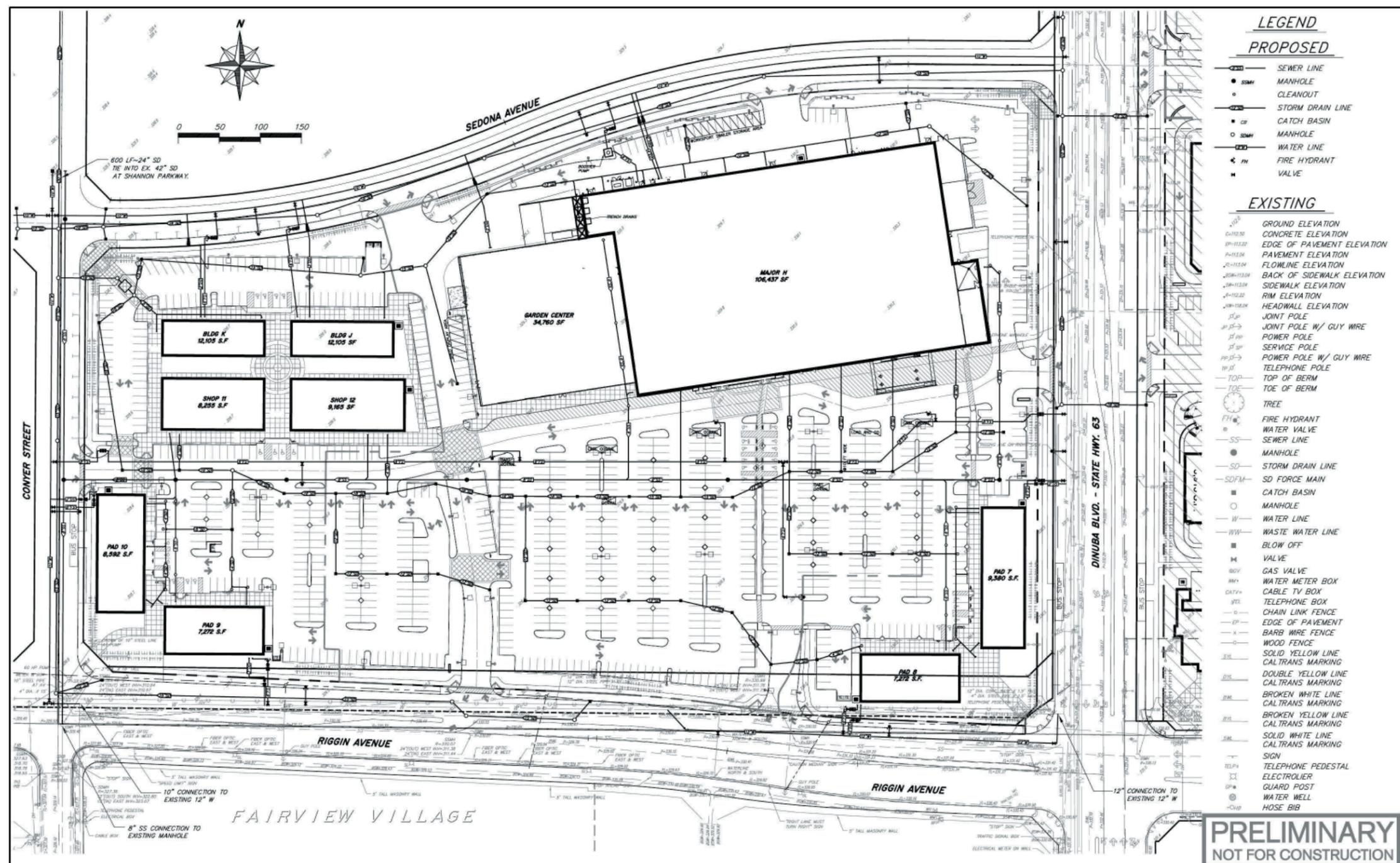
VISALIA, CA



APPENDIX E  
UTILITY PLANS

# ORCHARD WALK SPECIFIC PLAN

APPENDIX E



Drawn By: AGL  
 Issue Date: 4/25/07  
 Job No.: 06081  
 Checked: JML  
 Design By: GP  
 06081MUT1-EX1.DWG

REVISIONS				
NO.	DATE	ISSUED FOR	BY	

**MVE**  
 mid-valley engineering  
 Modesto, CA - Stockton, CA  
 866-526-4214 - www.mve.net

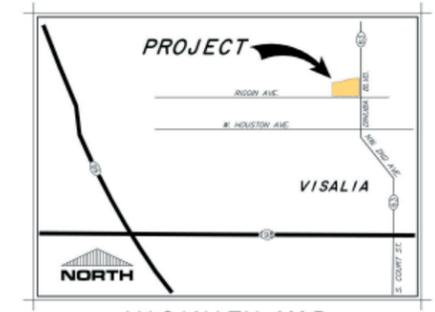
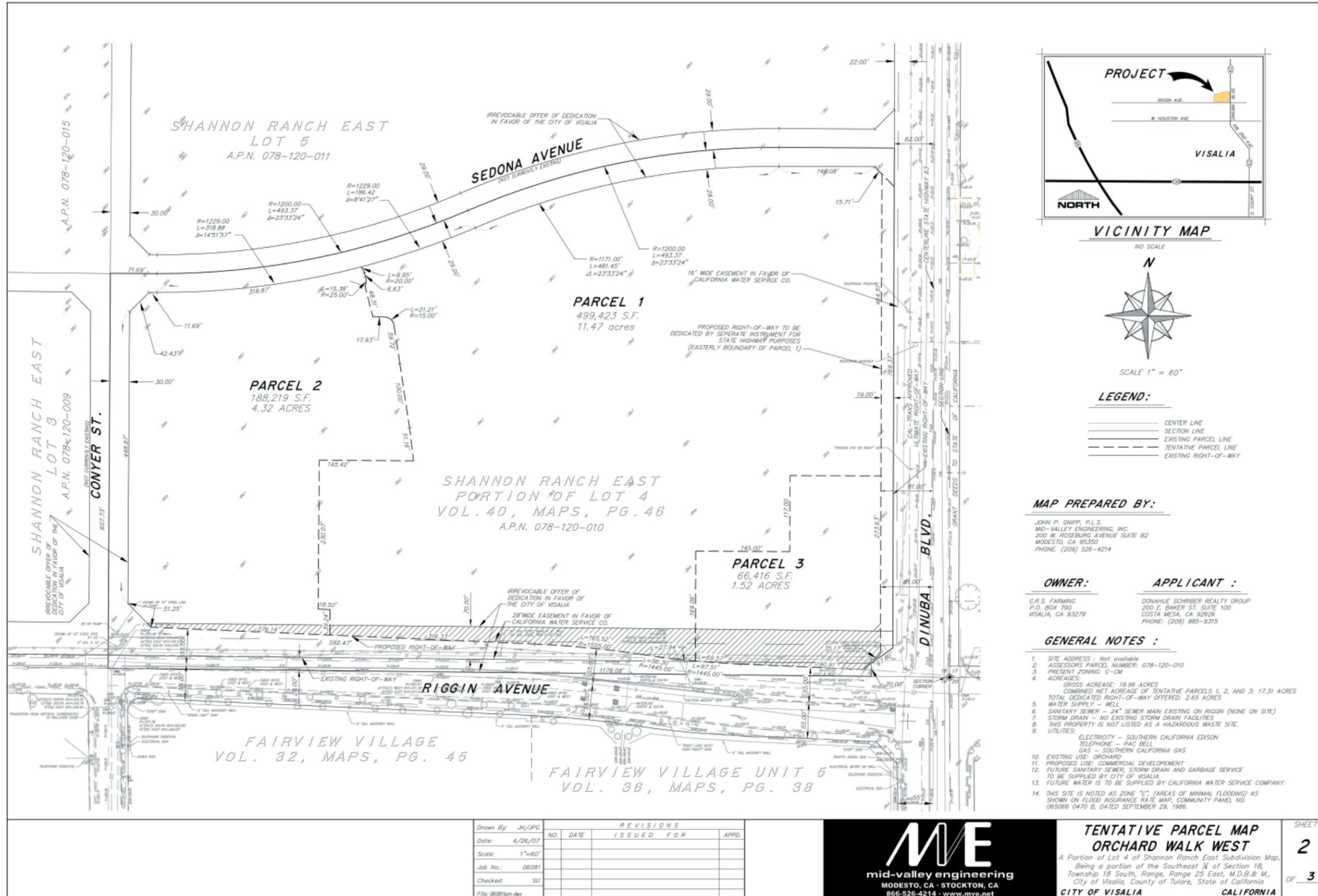
REGISTERED PROFESSIONAL ENGINEER  
 No. 54308  
 Exp. 12/31/07  
 CIVIL  
 STATE OF CALIFORNIA

VISALIA SHOPPING VILLAGE  
 DONAHUE SCHRIBER  
 PRELIMINARY UTILITY PLAN  
 VISALIA CALIFORNIA

DWG. EX1  
 SHEET 1  
 OF 1



# ORCHARD WALK SPECIFIC PLAN



**MAP PREPARED BY:**

JOHN P. GRIFF, P.L.S.  
MID-VALLEY ENGINEERING, INC.  
200 W. ROSEBURG AVENUE SUITE B2  
MODESTO, CA 95350  
PHONE: (209) 526-4214

**OWNER:**

C.R.S. FARMING  
P.O. BOX 790  
VISALIA, CA 93279

**APPLICANT:**

DONAHUE SCHRIEBER REALTY GROUP  
200 E. BAKER ST. SUITE 100  
COSTA MESA, CA 92626  
PHONE: (209) 985-9315

**GENERAL NOTES:**

1. SITE ADDRESS - Not available
2. ASSESSOR'S PARCEL NUMBER: 078-120-010
3. PRESENT ZONING: C-CM
4. ACRESAGES:  
GROSS ACRES: 19.96 ACRES  
COMBINED NET ACRES OF TENTATIVE PARCELS 1, 2, AND 3: 17.31 ACRES  
TOTAL DEDICATED RIGHT-OF-WAY OFFERED: 2.65 ACRES
5. WATER SUPPLY - WELL
6. SANITARY SEWER - 24" SEWER MAIN EXISTING ON RIGGAN (NONE ON SITE)
7. STORM DRAIN - NO EXISTING STORM DRAIN FACILITIES
8. THIS PROPERTY IS NOT LISTED AS A HAZARDOUS WASTE SITE.
9. UTILITIES:  
ELECTRICITY - SOUTHERN CALIFORNIA EDISON  
TELEPHONE - PAC BELL  
GAS - SOUTHERN CALIFORNIA GAS
10. EXISTING USE: ORCHARD
11. PROPOSED USE: COMMERCIAL DEVELOPMENT
12. FUTURE SANITARY SEWER, STORM DRAIN AND GARBAGE SERVICE TO BE SUPPLIED BY CITY OF VISALIA.
13. FUTURE WATER IS TO BE SUPPLIED BY CALIFORNIA WATER SERVICE COMPANY.
14. THIS SITE IS NOTED AS ZONE "C", (AREAS OF MINIMAL FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 065066 0470 D, DATED SEPTEMBER 29, 1998.

Drawn By:	Date:	Scale:	Job No.:	Checked:	File:	REVISIONS			
						NO.	DATE	ISSUED FOR	APPB.
JH/SPG	4/26/07	1"=60'	06081	SU	06081pm.dwg				

**MVE**  
mid-valley engineering  
MODESTO, CA • STOCKTON, CA  
866-526-4214 • www.mve.net

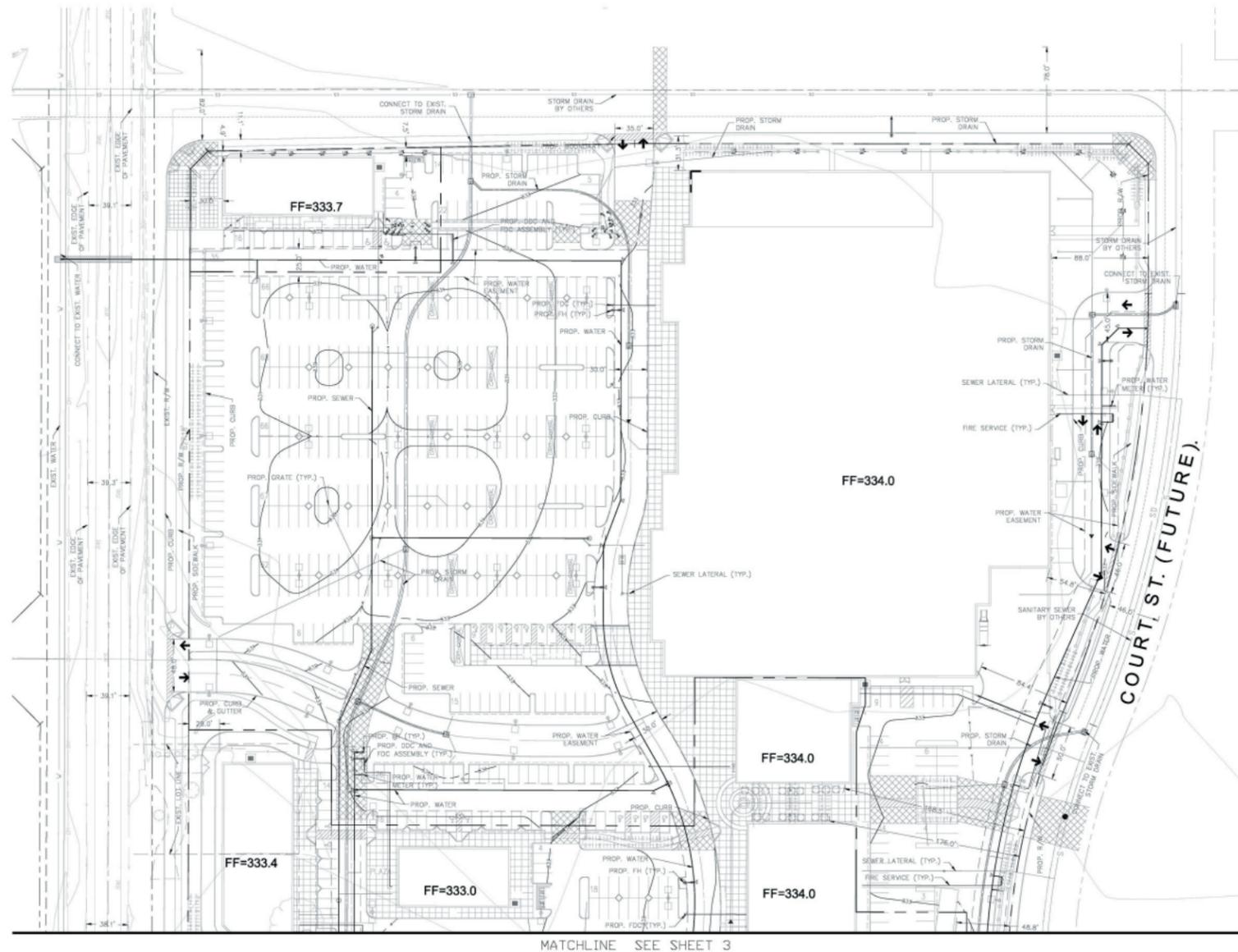
**TENTATIVE PARCEL MAP  
ORCHARD WALK WEST**  
A Portion of Lot 4 of Shannon Ranch East Subdivision Map,  
Being a portion of the Southeast ¼ of Section 18,  
Township 18 South, Range, Range 25 East, M.D.B. & M.,  
City of Visalia, County of Tulare, State of California  
**CITY OF VISALIA CALIFORNIA**

SHEET  
**2**  
OF **3**

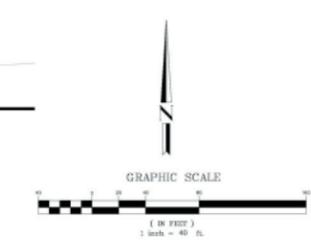


# ORCHARD WALK SPECIFIC PLAN

## TENTATIVE PARCEL MAP THE ORCHARD WALK EAST NEC HIGHWAY 63 AND RIGGIN AVENUE VISALIA, CALIFORNIA



- LEGEND**
- PROPOSED RIGHT OF WAY
  - - - EXISTING RIGHT OF WAY
  - - - EXISTING LOT LINE
  - - - EASEMENT LINE
  - - - PROPOSED BUILDING LINE
  - SS EXISTING SEWER LINE
  - W EXISTING WATER LINE
  - SD EXISTING STORM DRAIN
  - PROPOSED SEWER LINE
  - PROPOSED WATER LINE (PUBLIC)
  - PROPOSED STORM DRAIN
  - △ EXISTING EASEMENT (SEE SHEET 1 FOR DESCRIPTION)



**DRC Development Resource Consultants, Inc.**  
 8775 E. WISLER BOULEVARD • Environmental  
 ANAHEIM HILLS, CA 92808 (714) 850-8800

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PROJECT: **ORCHARD WALK EAST  
 NEC HIGHWAY 63 & RIGGIN AVE.  
 VISALIA, CALIFORNIA**

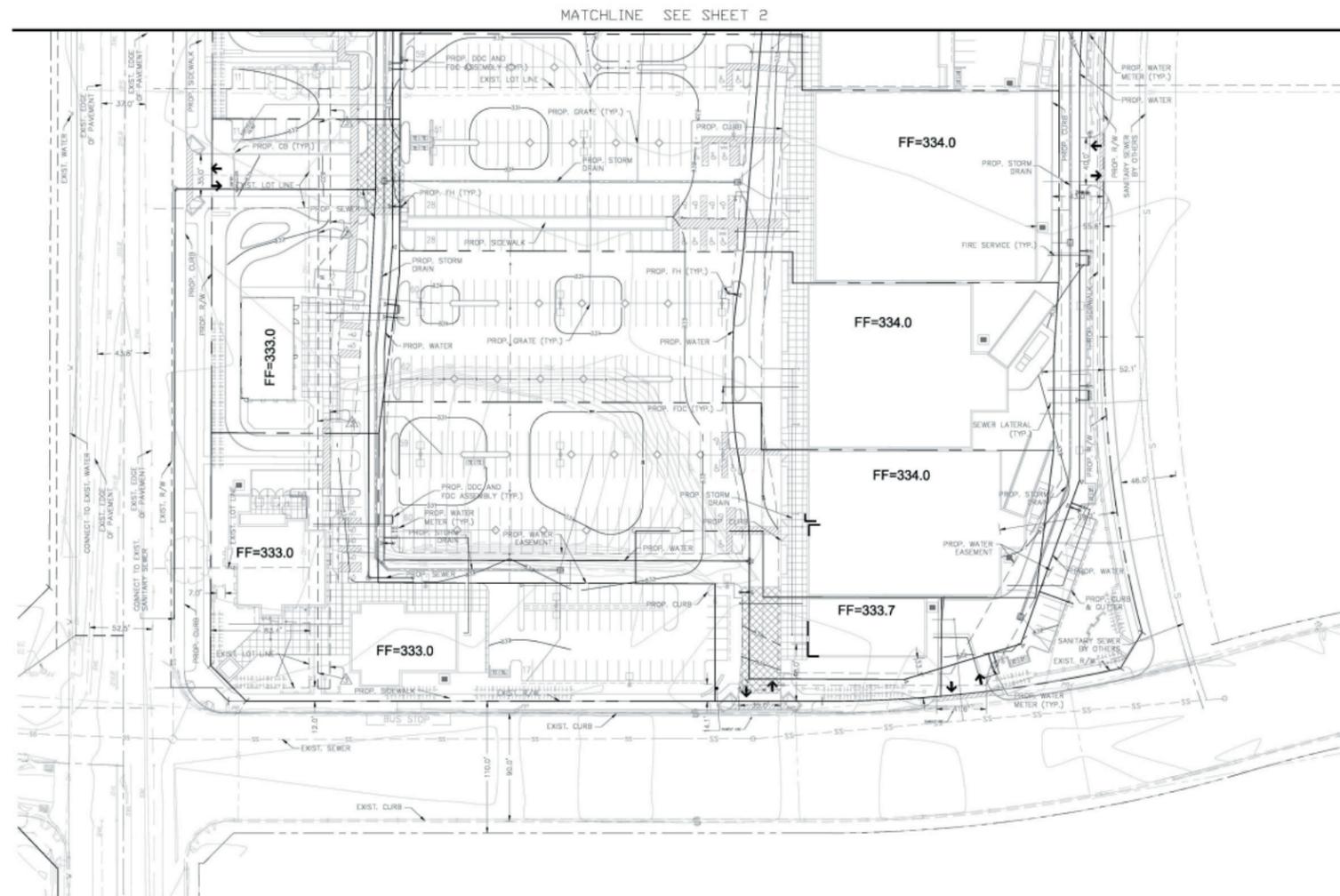
DRAWING NAME: **TENTATIVE PARCEL MAP**

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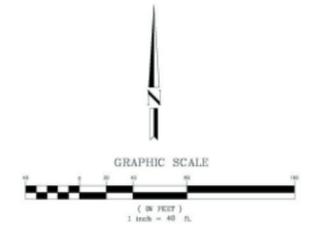
DATE: 04/22/07  
 CHECKED: WP DRAWN: RF  
 DRAWING FILE: CIVIL  
 PROJECT NO: 06-314  
 SHEET NUMBER: **2**  
 OF 3 SHEETS  
 SCALE: 1"=40'

# ORCHARD WALK SPECIFIC PLAN

## TENTATIVE PARCEL MAP THE ORCHARD WALK EAST NEC HIGHWAY 63 AND RIGGIN AVENUE VISALIA, CALIFORNIA



- LEGEND**
- PROPOSED RIGHT OF WAY
  - - - - EXISTING RIGHT OF WAY
  - - - - EXISTING LOT LINE
  - - - - EASEMENT LINE
  - - - - PROPOSED BUILDING LINE
  - SS EXISTING SEWER LINE
  - W EXISTING WATER LINE
  - SD EXISTING STORM DRAIN
  - PROPOSED SEWER LINE
  - PROPOSED WATER LINE (PUBLIC)
  - PROPOSED WATER LINE (PRIVATE)
  - PROPOSED STORM DRAIN
  - △ EXISTING EASEMENT (SEE SHEET 1 FOR DESCRIPTION)



**Development Resource Consultants, Inc.**  
Civil Engineering • Surveying • Environmental  
14000 N. 10th Street, Suite 200  
ANAHIM HILLS, CA 92308 (714) 866-8800

**DRC**

DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_

**ORCHARD WALK EAST  
NEC HIGHWAY 63 & RIGGIN AVE.  
VISALIA, CALIFORNIA  
TENTATIVE PARCEL MAP**

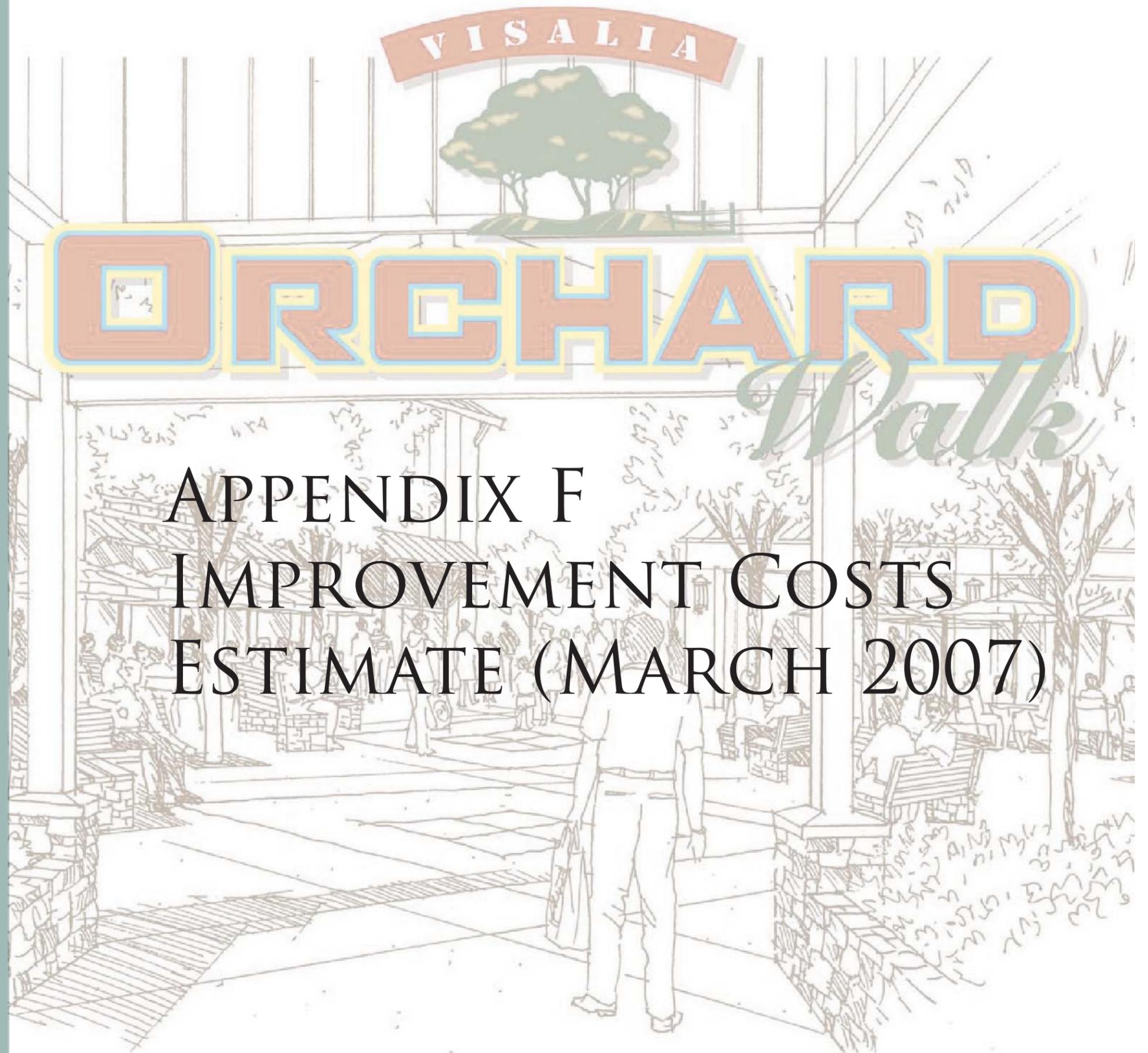
PROJECT: \_\_\_\_\_  
DRAWING NAME: \_\_\_\_\_

SUBJ: TENTATIVE MAP  
DATE: 04/26/07  
CHECKED: WF DRAWN: BF  
DRAWING FILE: \_\_\_\_\_  
PROJECT NO: 06-314  
SHEET NUMBER: **3**  
OF 3 SHEETS  
SCALE: 1"=40'



ORCHARD WALK  
SPECIFIC PLAN

VISALIA, CA



APPENDIX F  
IMPROVEMENT COSTS  
ESTIMATE (MARCH 2007)

# ORCHARD WALK SPECIFIC PLAN

30-Apr-07 11:16 AM						
MICHAEL R. TOLLADAY CORPORATION 7080 N. MARKS, SUITE 118 FRESNO, CALIFORNIA 93711			PROPOSED SHOPPING CENTER ST HWY 63 AND RIGGIN AVE VISALIA, CALIFORNIA			
PRELIMINARY COST BREAKDOWN						
OFF-SITE SEDONA						
	STREET	860	L.F.			
	STREET	42,718	S.F.			
DESCRIPTION	QUANTITY	UNIT COST	SUBTOTAL	TOTAL		
CONSTRUCTION TESTING	1 EACH X	20,000.00	20,000.00	20,000.00		
CONSTRUCTION STAKING	1 EACH X	20,000.00	20,000.00	20,000.00		
EROSION CONTROL						
EROSION CONTROL	860 L.F. X	6.00	5,160.00	5,160.00		
TRAFFIC CONTROL						
TRAFFIC CONTROL	1 LUMP SUM	25,000.00	25,000.00	25,000.00		
DEMOLITION						
SAW CUT	0 L.F. X	2.00	0.00			
DEMOLITION	42,718 S.F. X	0.10	4,271.80	4,272.00		
FINE GRADE BASE & PAVE (6"AC/10"AB/7"AS)						
GRADING	11,040 S.F. X	1.10	12,144.00			
GRADE, BASE & PAVE	42,718 S.F. X	4.25	181,551.50			
STRIPING	1 LUMP SUM	25,000.00	25,000.00	218,695.50		
SITE CONCRETE						
CURB & GUTTER	2,358 L.F. X	20.00	47,160.00			
MEDIAN CAP	0 S.F. X	8.25	0.00			
APPROACHES	0 EACH X	4,000.00	0.00			
CROSS GUTTER	2 EACH X	8,800.00	17,600.00			
SPECIAL CROSS GUTTERS	0 EACH X	8,500.00	0.00			
CITY SIDEWALK	11,040 S.F. X	4.00	44,160.00			
HANDICAP RAMPS W/ DOME	6 EACH X	1,820.00	10,920.00	119,840.00		
SEWER						
8" PIPE	0 L.F. X	30.00	0.00			
TIE IN	0 L.F. X	2,500.00	0.00			
MANHOLES STREET	0 EACH X	3,500.00	0.00	0.00		
WATER						
10" PVC	0 L.F. X	45.00	0.00			
12" PVC	0 L.F. X	48.00	0.00			
TRAFFIC CONTROL	0 L.F. X	5,000.00	0.00			
CAL WATER TIE INS	0 EACH X	5,000.00	0.00			
10" GATE VALVE	0 EACH X	1,800.00	0.00			
12" GATE VALVE	0 EACH X	2,200.00	0.00			
12" TO 10" REDUCER	0 EACH X	3,500.00	0.00			
TEMP BLOW OFF	0 EACH X	1,000.00	0.00			
FIRE HYDRANTS	0 EACH X	3,800.00	0.00	0.00		
STORM DRAIN						
12" PIPE	0 L.F. X	50.00	0.00			
18" PIPE	0 L.F. X	50.00	0.00			
24" PIPE	0 L.F. X	45.00	0.00			
TYPE 'D' INLETS	0 EACH X	3,000.00	0.00			
MANHOLES STREET	0 EACH X	5,000.00	0.00			
TIE IN	0 LUMP SUM	5,000.00	0.00			
TRAFFIC CONTROL	0 EACH X	7,500.00	0.00	0.00		
ELECTRICAL						
SCE	1 L.F. X	81,760.00	81,760.00			
TELEPHONE	1 L.F. X	55,665.00	55,665.00	137,425.00		
TRAFFIC SIGNAL						
RIGGINS AVE	0.00 EACH X	250,000.00	0.00			
SEDONA AVE	0.00 EACH X	250,000.00	0.00			
SHANNON PARKWAY	0.00 EACH X	250,000.00	0.00	0.00		
STREET LIGHTS						
STREET LIGHTS	9 EACH X	8,591.89	77,327.00	77,327.00		
LANDSCAPE & IRRIGATION						
PERIMETER	0 S.F. X	4.00	0.00			
MEDIAN	0 S.F. X	5.00	0.00	0.00		
GENERAL REQUIREMENTS	2.50 MONTH X	15,000.00	37,500.00	37,500.00		
OVERHEAD & PROFIT				46,565		
COURSE OF CONSTRUCTION INSURANCE				2,135		
TOTAL				713,920		
EXCLUDES IMPORT / EXPORT.				830		
EXCLUDE THE RELOCATION OF PG&E POWER POLES						
EXCLUDE RELOCATION OF CAL TRAN UTILITY BOXES/VAULTS						

30-Apr-07 11:16 AM						
MICHAEL R. TOLLADAY CORPORATION 7080 N. MARKS, SUITE 118 FRESNO, CALIFORNIA 93711			PROPOSED SHOPPING CENTER ST HWY 63 AND RIGGIN AVE VISALIA, CALIFORNIA			
PRELIMINARY COST BREAKDOWN						
OFF-SITE DINUBA BOULEVARD						
	STREET	1,452	L.F.			
	STREET	90,664	S.F.			
DESCRIPTION	QUANTITY	UNIT COST	SUBTOTAL	TOTAL		
CONSTRUCTION TESTING	1 EACH X	20,000.00	20,000.00	20,000.00		
CONSTRUCTION STAKING	1 EACH X	20,000.00	20,000.00	20,000.00		
EROSION CONTROL						
EROSION CONTROL	1,452 L.F. X	6.00	8,712.00	8,712.00		
TRAFFIC CONTROL						
TRAFFIC CONTROL	1 LUMP SUM	50,000.00	50,000.00	50,000.00		
DEMOLITION						
SAW CUT	2,904 L.F. X	2.00	5,808.00			
DEMOLITION	180,973 S.F. X	0.10	18,097.30	23,905		
FINE GRADE BASE & PAVE (6"AC/10"AB/7"AS)						
GRADING	22,437 S.F. X	1.10	24,680.70			
GRADE, BASE & PAVE	180,973 S.F. X	4.25	769,135.25			
STRIPING	1 LUMP SUM	79,239.00	79,239.00	873,054.95		
SITE CONCRETE						
CURB & GUTTER	1,900 L.F. X	20.00	38,000.00			
MEDIAN CAP	9,935 S.F. X	8.25	81,963.75			
APPROACHES	0 EACH X	4,000.00	0.00			
CROSS GUTTER	3 EACH X	5,800.00	17,400.00			
SPECIAL CROSS GUTTERS	1 EACH X	8,500.00	8,500.00			
CITY SIDEWALK	12,502 S.F. X	4.00	50,008.00			
HANDICAP RAMPS W/ DOME	10 EACH X	1,820.00	18,200.00	214,071.75		
SEWER						
12" PIPE	0 L.F. X	50.00	0.00			
8" PIPE	0 L.F. X	30.00	0.00			
MANHOLES STREET	0 EACH X	3,500.00	0.00	0.00		
WATER						
12" BORE HDPE CAL-WATER	240 L.F. X	400.00	96,000.00			
TRAFFIC CONTROL	1 L.F. X	5,000.00	5,000.00			
CAL WATER TIE INS	2 EACH X	5,000.00	10,000.00			
ASHPALT PATCH	250 S.F. X	20.00	5,000.00			
FIRE HYDRANTS	0 EACH X	3,800.00	0.00	116,000.00		
STORM DRAIN						
36" PIPE	0 L.F. X	120.00	0.00			
18" PIPE	1,571 L.F. X	50.00	78,550.00			
TYPE 'D' INLETS	11 EACH X	3,000.00	33,000.00			
MANHOLES STREET	10 EACH X	5,000.00	50,000.00			
ASHPALT PATCH	0 LUMP SUM	10,000.00	0.00			
TRAFFIC CONTROL	2 EACH X	5,000.00	10,000.00	171,550.00		
ELECTRICAL EAST SIDE						
SCE	1 L.F. X	76,994.00	76,994.00			
TELEPHONE	1 L.F. X	34,599.00	34,599.00	111,593.00		
ELECTRICAL WEST SIDE						
SCE	1 L.F. X	52,083.00	52,083.00			
TELEPHONE	1 L.F. X	34,523.00	34,523.00	86,606.00		
TRAFFIC SIGNAL						
RIGGINS AVE	1.00 EACH X	250,000.00	250,000.00			
SEDONA AVE	1.00 EACH X	250,000.00	250,000.00			
SHANNON PARKWAY	1.00 EACH X	250,000.00	250,000.00	750,000.00		
STREET LIGHTS						
STREET LIGHTS WEST SIDE	9 EACH X	5,729.78	51,568.00			
STREET LIGHTS EAST SIDE	10 EACH X	8,757.10	87,571.00	139,139.00		
LANDSCAPE & IRRIGATION						
PERIMETER	0 S.F. X	4.00	0.00			
MEDIAN	0 S.F. X	5.00	0.00	0.00		
GENERAL REQUIREMENTS	3.00 MONTH X	15,000.00	45,000.00	45,000.00		
OVERHEAD & PROFIT				184,074		
COURSE OF CONSTRUCTION INSURANCE				8,441		
TOTAL				2,822,147		
EXCLUDES IMPORT / EXPORT.				1,944		
EXCLUDE THE RELOCATION OF PG&E POWER POLES						
EXCLUDE RELOCATION OF CAL TRAN UTILITY BOXES/VAULTS						



# ORCHARD WALK SPECIFIC PLAN

30-Apr-07 01:14 PM						
MICHAEL R. TOLLADAY CORPORATION 7080 N. MARKS, SUITE 118 FRESNO, CALIFORNIA 93711			PROPOSED SHOPPING CENTER ST HWY 63 AND RIGGIN AVE VISALIA, CALIFORNIA			
PRELIMINARY COST BREAKDOWN						
OFF-SITE						
RIGGIN AVE EAST OF DINUBA						
	STREET	840	L.F.			
	STREET	0	S.F.			
DESCRIPTION	QUANTITY		UNIT COST	SUBTOTAL	TOTAL	
CONSTRUCTION TESTING	0	EACH	X 20,000.00	0.00	0.00	
CONSTRUCTION STAKING	0	EACH	X 20,000.00	0.00	0.00	
EROSION CONTROL						
EROSION CONTROL	0	L.F.	X 6.00	0.00	0	
TRAFFIC CONTROL						
TRAFFIC CONTROL	0	LUMP SUM	50,000.00	0.00	0	
DEMOLITION						
SAW CUT	0	L.F.	X 2.00	0.00		
DEMOLITION	0	S.F.	X 0.10	0.00	0	
FINE GRADE BASE & PAVE (6"AC/10"AB/7"AS)						
GRADING	4,101	S.F.	X 1.10	4,511.10		
GRADE, BASE & PAVE	0	S.F.	X 4.25	0.00		
STRIPING	0	LUMP SUM	79,239.00	0.00	4,511.10	
SITE CONCRETE						
CURB & GUTTER	0	L.F.	X 20.00	0.00		
MEDIAN CAP	0	S.F.	X 8.25	0.00		
APPROACHES	0	EACH	X 4,000.00	0.00		
CROSS GUTTER	2	EACH	X 5,800.00	11,600.00		
SPECIAL CROSS GUTTERS	0	EACH	X 8,500.00	0.00		
CITY SIDEWALK	4,101	S.F.	X 4.00	16,404.00		
HANDICAP RAMPS W/ DOME	5	EACH	X 1,820.00	9,100.00	37,104.00	
SEWER						
8" SDR-35 DEEP LINE	45	L.F.	X 92.00	4,140.00		
CONNECTION	1	EACH	X 3,000.00	3,000.00		
MANHOLES STREET	1	EACH	X 3,500.00	3,500.00	10,640.00	
WATER						
12" PIPE	0	L.F.	X 45.00	0.00		
8" PIPE	0	L.F.	X 20.00	0.00		
8" GATE VALVES	0	EACH	X 1,625.00	0.00		
BORE	0	L.F.	X 400.00	0.00		
WATER TIE IN	0	L.F.	X 2,500.00	0.00		
ASHPALT PATCH	0	S.F.	X 20.00	0.00		
FIRE HYDRANTS	0	EACH	X 3,800.00	0.00	0.00	
STORM DRAIN						
36" PIPE	0	L.F.	X 120.00	0.00		
18" PIPE	0	L.F.	X 50.00	0.00		
TYPE 'D' INLETS	0	EACH	X 3,000.00	0.00		
MANHOLES STREET	0	EACH	X 5,000.00	0.00		
ASHPALT PATCH	0	LUMP SUM	10,000.00	0.00		
TRAFFIC CONTROL	0	EACH	X 5,000.00	0.00	0.00	
ELECTRICAL						
SCE	1	L.F.	X 43,727.00	43,727.00		
TELEPHONE	1	L.F.	X 46,785.00	46,785.00	90,512.00	
TRAFFIC SIGNAL						
RIGGINS AVE	0.00	EACH	X 250,000.00	0.00		
SEDONA AVE	0.00	EACH	X 200,000.00	0.00		
SHANNON PARKWAY	0.00	EACH	X 250,000.00	0.00	0.00	
STREET LIGHTS						
STREET LIGHTS	6	EACH	X 9,005.00	54,030.00	54,030.00	
LANDSCAPE & IRRIGATION						
PERIMETER	0	S.F.	X 4.00	0.00		
MEDIAN	0	S.F.	X 5.00	0.00	0.00	
GENERAL REQUIREMENTS	1.00	MONTH	X 15,000.00	15,000.00	15,000.00	
OVERHEAD & PROFIT					14,826	
COURSE OF CONSTRUCTION INSURANCE					680	
TOTAL					227,303	
EXCLUDES IMPORT / EXPORT.					271	

EXCLUDE THE RELOCATION OF PG&E POWER POLES  
EXCLUDE RELOCATION OF CAL TRAN UTILITY BOXES/VAULTS

30-Apr-07 01:14 PM						
MICHAEL R. TOLLADAY CORPORATION 7080 N. MARKS, SUITE 118 FRESNO, CALIFORNIA 93711			PROPOSED SHOPPING CENTER ST HWY 63 AND RIGGIN AVE VISALIA, CALIFORNIA			
PRELIMINARY COST BREAKDOWN						
OFF-SITE						
RIGGIN AVE WEST OF DINUBA						
	STREET	1,100	L.F.			
	STREET	0	S.F.			
DESCRIPTION	QUANTITY		UNIT COST	SUBTOTAL	TOTAL	
CONSTRUCTION TESTING	1	EACH	X 15,000.00	15,000.00	15,000.00	
CONSTRUCTION STAKING	1	EACH	X 15,000.00	15,000.00	15,000.00	
EROSION CONTROL						
EROSION CONTROL	1,100	L.F.	X 6.00	6,600.00	6,600	
TRAFFIC CONTROL						
TRAFFIC CONTROL	1	LUMP SUM	25,000.00	25,000.00	25,000	
DEMOLITION						
SAW CUT	1,858	L.F.	X 2.00	3,716.00		
DEMOLITION	50,000	S.F.	X 0.10	5,000.00	8,716	
FINE GRADE BASE & PAVE (6"AC/10"AB/7"AS)						
GRADING	12,418	S.F.	X 1.10	13,659.80		
GRADE, BASE & PAVE	47,074	S.F.	X 4.25	200,064.50		
STRIPING	1	LUMP SUM	40,000.00	40,000.00	253,724.30	
SITE CONCRETE						
CURB & GUTTER	1,215	L.F.	X 20.00	24,300.00		
MEDIAN CAP	1,858	S.F.	X 8.25	15,328.50		
APPROACHES	0	EACH	X 4,000.00	0.00		
CROSS GUTTER	2	EACH	X 5,800.00	11,600.00		
SPECIAL CROSS GUTTERS	0	EACH	X 8,500.00	0.00		
CITY SIDEWALK	10,560	S.F.	X 4.00	42,240.00		
HANDICAP RAMPS W/ DOME	6	EACH	X 1,820.00	10,920.00	104,388.50	
SEWER						
12" PIPE	0	L.F.	X 50.00	0.00		
8" PIPE	0	L.F.	X 30.00	0.00		
MANHOLES STREET	0	EACH	X 3,500.00	0.00	0.00	
WATER						
10" PVC	51	L.F.	X 45.00	2,295.00		
12" PVC	557	L.F.	X 48.00	26,736.00		
TRAFFIC CONTROL	1	L.F.	X 5,000.00	5,000.00		
CAL WATER TIE INS	3	EACH	X 5,000.00	15,000.00		
10" GATE VALVE	1	EACH	X 1,800.00	1,800.00		
12" GATE VALVE	4	EACH	X 2,200.00	8,800.00		
12" TO 10" REDUCER	1	EACH	X 3,500.00	3,500.00		
ASHPALT PATCH	400	S.F.	X 20.00	8,000.00		
FIRE HYDRANTS	0	EACH	X 3,800.00	0.00	71,131.00	
STORM DRAIN						
36" PIPE	0	L.F.	X 120.00	0.00		
18" PIPE	973	L.F.	X 50.00	48,650.00		
TYPE 'D' INLETS	2	EACH	X 3,000.00	6,000.00		
MANHOLES STREET	3	EACH	X 5,000.00	15,000.00		
ASHPALT PATCH	0	LUMP SUM	10,000.00	0.00		
TRAFFIC CONTROL	1	EACH	X 5,000.00	5,000.00	74,650.00	
ELECTRICAL						
SCE	1	L.F.	X 86,214.00	86,214.00		
TELEPHONE	1	L.F.	X 58,620.00	58,620.00	144,834.00	
TRAFFIC SIGNAL						
RIGGINS AVE	0.00	EACH	X 250,000.00	0.00		
SEDONA AVE	0.00	EACH	X 250,000.00	0.00		
SHANNON PARKWAY	0.00	EACH	X 250,000.00	0.00	0.00	
STREET LIGHTS						
STREET LIGHTS	6	EACH	X 14,193.17	85,159.00	85,159.00	
LANDSCAPE & IRRIGATION						
PERIMETER	0	S.F.	X 4.00	0.00		
MEDIAN	0	S.F.	X 5.00	0.00	0.00	
GENERAL REQUIREMENTS	2.00	MONTH	X 15,000.00	30,000.00	30,000.00	
OVERHEAD & PROFIT					58,394	
COURSE OF CONSTRUCTION INSURANCE					2,678	
TOTAL					895,275	
EXCLUDES IMPORT / EXPORT.					814	

EXCLUDE THE RELOCATION OF PG&E POWER POLES  
EXCLUDE RELOCATION OF CAL TRAN UTILITY BOXES/VAULTS



# ORCHARD WALK SPECIFIC PLAN

30-Apr-07									
01:14 PM									
MICHAEL R. TOLLADAY CORPORATION					PROPOSED SHOPPING CENTER				
7080 N. MARKS, SUITE 118					ST HWY 63 AND RIGGIN AVE				
FRESNO, CALIFORNIA 93711					VISALIA, CALIFORNIA				
<b>PRELIMINARY COST BREAKDOWN</b>									
<b>OFF-SITE</b>									
<b>COURT ST</b>									
<b>STREET</b>									
<b>STREET</b>									
		1,280	L.F.						
		0	S.F.						
DESCRIPTION		QUANTITY		UNIT COST	SUBTOTAL	TOTAL			
CONSTRUCTION TESTING		0	EACH X	20,000.00	0.00	0.00			
CONSTRUCTION STAKING		0	EACH X	20,000.00	0.00	0.00			
EROSION CONTROL									
EROSION CONTROL		0	L.F. X	6.00	0.00	0			
TRAFFIC CONTROL									
TRAFFIC CONTROL		0	LUMP SUM	50,000.00	0.00	0			
DEMOLITION									
SAW CUT		0	L.F. X	2.00	0.00				
DEMOLITION		0	S.F. X	0.10	0.00	0			
FINE GRADE BASE & PAVE (6"AC/10"AB/7"AS)									
GRADING		9,146	S.F. X	1.10	10,060.60				
GRADE, BASE & PAVE		0	S.F. X	4.25	0.00				
STRIPING		0	LUMP SUM	79,239.00	0.00	10,060.60			
SITE CONCRETE									
CURB & GUTTER		0	L.F. X	20.00	0.00				
MEDIAN CAP		0	S.F. X	8.25	0.00				
APPROACHES		0	EACH X	4,000.00	0.00				
CROSS GUTTER		3	EACH X	5,800.00	17,400.00				
SPECIAL CROSS GUTTERS		0	EACH X	8,500.00	0.00				
CITY SIDEWALK		9,146	S.F. X	4.00	36,584.00				
HANDICAP RAMPS W/ DOME		10	EACH X	1,820.00	18,200.00	72,184.00			
SEWER									
12" PIPE		0	L.F. X	50.00	0.00				
8" PIPE		0	L.F. X	30.00	0.00				
MANHOLES STREET		0	EACH X	3,500.00	0.00	0.00			
WATER									
12" PIPE		0	L.F. X	45.00	0.00				
8" PIPE		0	L.F. X	20.00	0.00				
8" GATE VALVES		0	EACH X	1,625.00	0.00				
BORE		0	L.F. X	400.00	0.00				
WATER TIE IN		0	L.F. X	2,500.00	0.00				
ASHPALT PATCH		0	S.F. X	20.00	0.00				
FIRE HYDRANTS		0	EACH X	3,800.00	0.00	0.00			
STORM DRAIN									
36" PIPE		0	L.F. X	120.00	0.00				
18" PIPE		0	L.F. X	50.00	0.00				
TYPE 'D' INLETS		0	EACH X	3,000.00	0.00				
MANHOLES STREET		0	EACH X	5,000.00	0.00				
ASHPALT PATCH		0	LUMP SUM	10,000.00	0.00				
TRAFFIC CONTROL		0	EACH X	5,000.00	0.00	0.00			
ELECTRICAL									
SCE		1	L.F. X	76,860.00	76,860.00				
TELEPHONE		1	L.F. X	61,575.00	61,575.00	138,435.00			
TRAFFIC SIGNAL									
RIGGINS AVE		0.00	EACH X	250,000.00	0.00				
SEDONA AVE		0.00	EACH X	200,000.00	0.00				
SHANNON PARKWAY		0.00	EACH X	250,000.00	0.00	0.00			
STREET LIGHTS									
STREET LIGHTS		10	EACH X	8,757.10	87,571.00	87,571.00			
LANDSCAPE & IRRIGATION									
PERIMETER		0	S.F. X	4.00	0.00				
MEDIAN		0	S.F. X	5.00	0.00	0.00			
GENERAL REQUIREMENTS		1.00	MONTH X	15,000.00	15,000.00	15,000.00			
OVERHEAD & PROFIT						22,628			
COURSE OF CONSTRUCTION INSURANCE						1,038			
TOTAL						346,916			
EXCLUDES IMPORT / EXPORT.						271			
EXCLUDE THE RELOCATION OF PG&E POWER POLES									
EXCLUDE RELOCATION OF CAL TRAN UTILITY BOXES/VAULTS									

30-Apr-07									
01:14 PM									
MICHAEL R. TOLLADAY CORPORATION					PROPOSED SHOPPING CENTER				
7080 N. MARKS, SUITE 118					ST HWY 63 AND RIGGIN AVE				
FRESNO, CALIFORNIA 93711					VISALIA, CALIFORNIA				
<b>PRELIMINARY COST BREAKDOWN</b>									
<b>OFF-SITE</b>									
<b>SHANNON RANCH PARKWAY</b>									
<b>STREET</b>									
<b>STREET</b>									
		880	L.F.						
		0	S.F.						
DESCRIPTION		QUANTITY		UNIT COST	SUBTOTAL	TOTAL			
CONSTRUCTION TESTING		0	EACH X	20,000.00	0.00	0.00			
CONSTRUCTION STAKING		0	EACH X	20,000.00	0.00	0.00			
EROSION CONTROL									
EROSION CONTROL		0	L.F. X	6.00	0.00	0			
TRAFFIC CONTROL									
TRAFFIC CONTROL		0	LUMP SUM	50,000.00	0.00	0			
DEMOLITION									
SAW CUT		0	L.F. X	2.00	0.00				
DEMOLITION		0	S.F. X	0.10	0.00	0			
FINE GRADE BASE & PAVE (6"AC/10"AB/7"AS)									
GRADING		4,917	S.F. X	1.10	5,408.70				
GRADE, BASE & PAVE		0	S.F. X	4.25	0.00				
STRIPING		0	LUMP SUM	79,239.00	0.00	5,408.70			
SITE CONCRETE									
CURB & GUTTER		0	L.F. X	20.00	0.00				
MEDIAN CAP		0	S.F. X	8.25	0.00				
APPROACHES		0	EACH X	4,000.00	0.00				
CROSS GUTTER		1	EACH X	5,800.00	5,800.00				
SPECIAL CROSS GUTTERS		0	EACH X	8,500.00	0.00				
CITY SIDEWALK		4,917	S.F. X	4.00	19,668.00				
HANDICAP RAMPS W/ DOME		3	EACH X	1,820.00	5,460.00	30,928.00			
SEWER									
12" PIPE		0	L.F. X	50.00	0.00				
8" PIPE		0	L.F. X	30.00	0.00				
MANHOLES STREET		0	EACH X	3,500.00	0.00	0.00			
WATER									
12" PIPE		0	L.F. X	45.00	0.00				
8" PIPE		0	L.F. X	20.00	0.00				
8" GATE VALVES		0	EACH X	1,625.00	0.00				
BORE		0	L.F. X	400.00	0.00				
WATER TIE IN		0	L.F. X	2,500.00	0.00				
ASHPALT PATCH		0	S.F. X	20.00	0.00				
FIRE HYDRANTS		0	EACH X	3,800.00	0.00	0.00			
STORM DRAIN									
42" PIPE		60	L.F. X	120.00	7,200.00				
CONNECTION		1	EACH X	3,000.00	3,000.00				
MANHOLES STREET		1	EACH X	3,800.00	3,800.00				
TRAFFIC CONTROL		1	EACH X	5,000.00	5,000.00	19,000.00			
ELECTRICAL									
SCE		1	L.F. X	50,828.00	50,828.00				
TELEPHONE		1	L.F. X	43,727.00	43,727.00	94,555.00			
TRAFFIC SIGNAL									
RIGGINS AVE		0.00	EACH X	250,000.00	0.00				
SEDONA AVE		0.00	EACH X	200,000.00	0.00				
SHANNON PARKWAY		0.00	EACH X	250,000.00	0.00	0.00			
STREET LIGHTS									
STREET LIGHTS		6	EACH X	9,005.00	54,030.00	54,030.00			
LANDSCAPE & IRRIGATION									
PERIMETER		0	S.F. X	4.00	0.00				
MEDIAN		0	S.F. X	5.00	0.00	0.00			
GENERAL REQUIREMENTS		1.00	MONTH X	15,000.00	15,000.00	15,000.00			
OVERHEAD & PROFIT						15,325			
COURSE OF CONSTRUCTION INSURANCE						703			
TOTAL						234,949			
EXCLUDES IMPORT / EXPORT.						267			
EXCLUDE THE RELOCATION OF PG&E POWER POLES									
EXCLUDE RELOCATION OF CAL TRAN UTILITY BOXES/VAULTS									







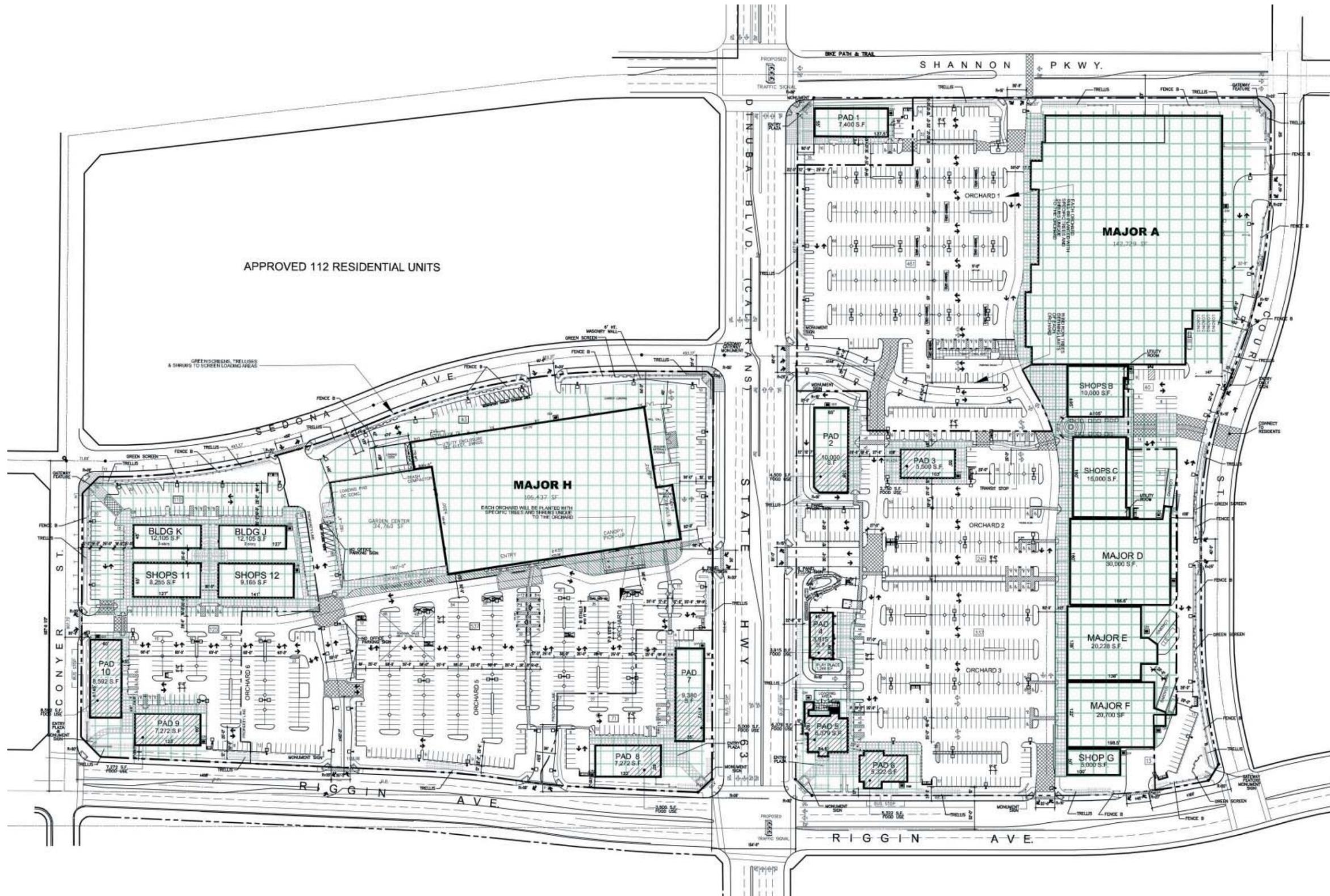
ORCHARD WALK  
SPECIFIC PLAN

VISALIA, CA



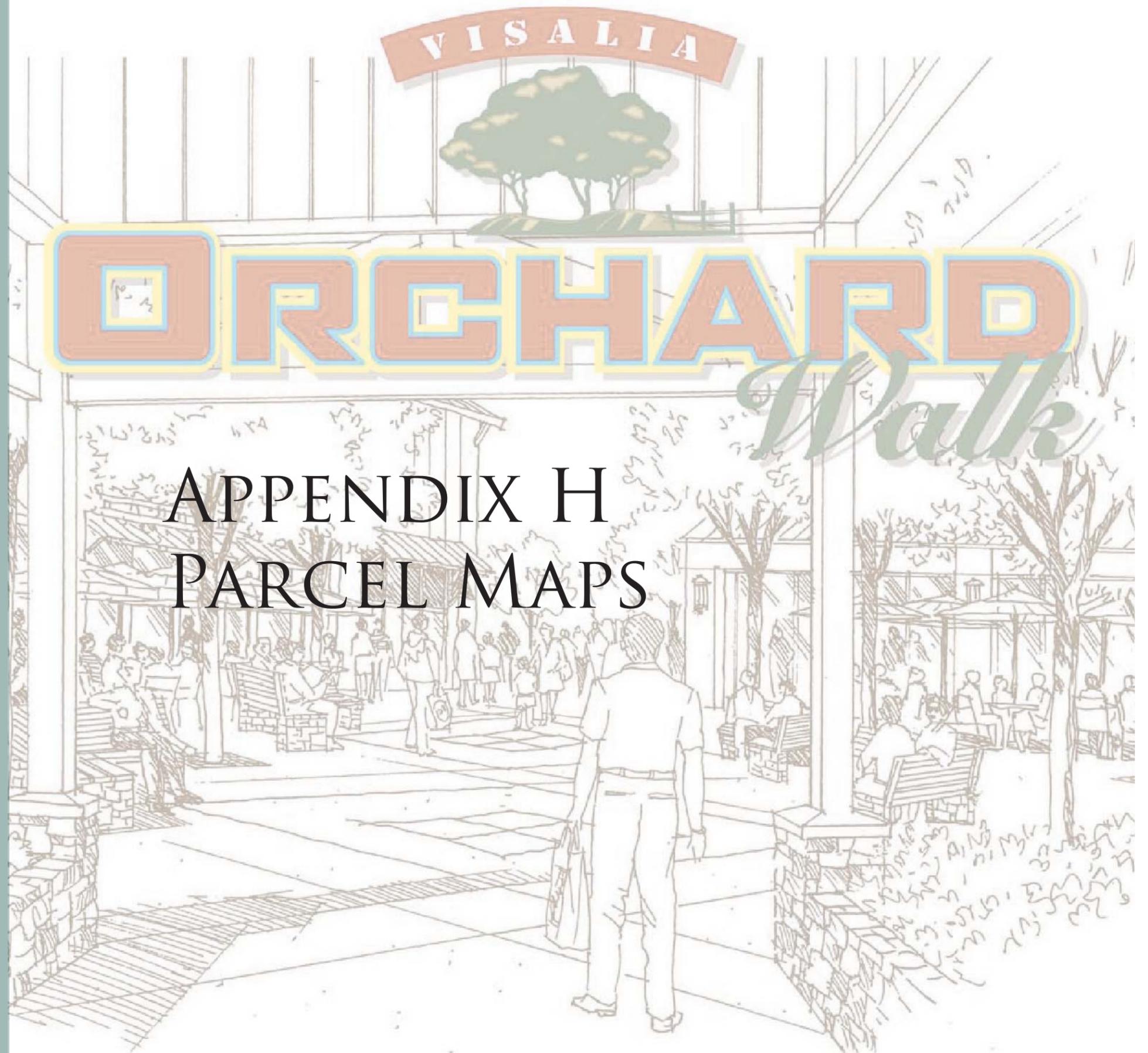
APPENDIX G  
BUILDABLE LIMIT LINE  
EXHIBIT

# ORCHARD WALK SPECIFIC PLAN



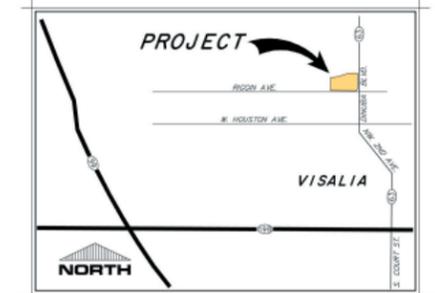
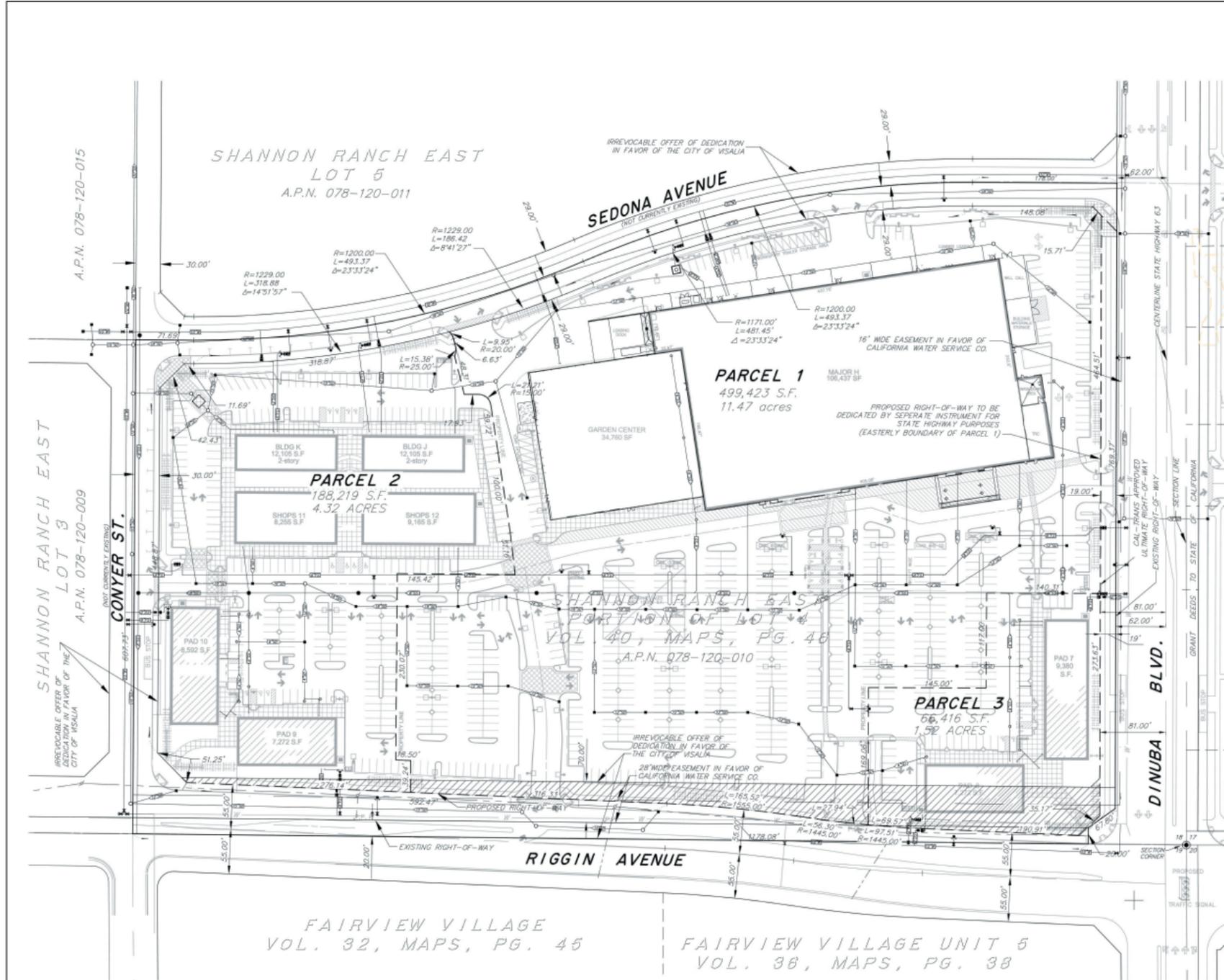
# ORCHARD WALK SPECIFIC PLAN

VISALIA, CA



## APPENDIX H PARCEL MAPS

# ORCHARD WALK SPECIFIC PLAN



- LEGEND:**
- CENTER LINE
  - SECTION LINE
  - EXISTING PARCEL LINE
  - TENTATIVE PARCEL LINE
  - EXISTING RIGHT-OF-WAY LINE
  - EXISTING RIGHT-OF-WAY LINE
  - FIRE DEPT. CONNECTION
  - DOUBLE CHECK VALVE
  - POST INDICATOR VALVE
  - WATER VALVE
  - FIRE HYDRANT
  - PROPOSED WATER LINE
  - PROPOSED SEWER LINE
  - STORM DRAIN CATCH BASIN
  - BACK FLOW PREVENTER
  - SEWER MANHOLE
  - STORM DRAIN MANHOLE
  - PROPOSED STORM DRAIN LINE
  - PROPOSED SEWER LINE

**MAP PREPARED BY:**  
JOHN P. GNIFF, P.L.S.  
MID-VALLEY ENGINEERING, INC.  
200 W. ROSEBURG AVENUE, SUITE B2  
MODESTO, CA 95130  
PHONE: (209) 526-4214

**OWNER:** C.R.S. FARMING  
P.O. BOX 790  
VISALIA, CA 93279

**APPLICANT:** DONAHUE SCHRIEBER REALTY GROUP  
200 E. BAKER ST., SUITE 100  
COSTA MESA, CA 92626  
PHONE: (209) 985-9315

- GENERAL NOTES:**
- SITE ADDRESS: Not available
  - ASSESSOR'S PARCEL NUMBER: 078-120-010
  - PRESENT ZONING: C-CM
  - ACREAGES:  
GROSS ACREAGE: 19.86 ACRES  
COMBINED NET ACREAGE OF TENTATIVE PARCELS 1, 2, AND 3: 17.31 ACRES  
TOTAL DEDICATED RIGHT-OF-WAY OFFERED: 2.65 ACRES
  - WATER SUPPLY - WELL
  - SANITARY SEWER - 24" SEWER MAIN EXISTING ON RIFFIN (NONE ON SITE)
  - STORM DRAIN - NO EXISTING STORM DRAIN FACILITIES
  - THIS PROPERTY IS NOT LISTED AS A HAZARDOUS WASTE SITE.
  - UTILITIES:  
ELECTRICITY - SOUTHERN CALIFORNIA EDISON  
TELEPHONE - PAD BELL  
GAS - SOUTHERN CALIFORNIA GAS
  - EXISTING USE: ORCHARD
  - PROPOSED USE: COMMERCIAL DEVELOPMENT
  - FUTURE SANITARY SEWER, STORM DRAIN AND GARBAGE SERVICE TO BE SUPPLIED BY CITY OF VISALIA.
  - FUTURE WATER IS TO BE SUPPLIED BY CALIFORNIA WATER SERVICE COMPANY.
  - THIS SITE IS NOTED AS ZONE "C" (AREAS OF MINIMAL FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 065066 0470 B, DATED SEPTEMBER 29, 1986.

Drawn By:	Date:	REVISIONS		
		NO.	DATE	ISSUED FOR
JH/PG	4/26/07			
Scale:	1"=60'			
Job No.:	06081			
Checked:	SU			
File:	06081tpm.dwg			

**MVE**  
mid-valley engineering  
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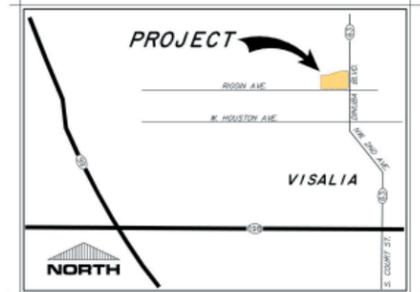
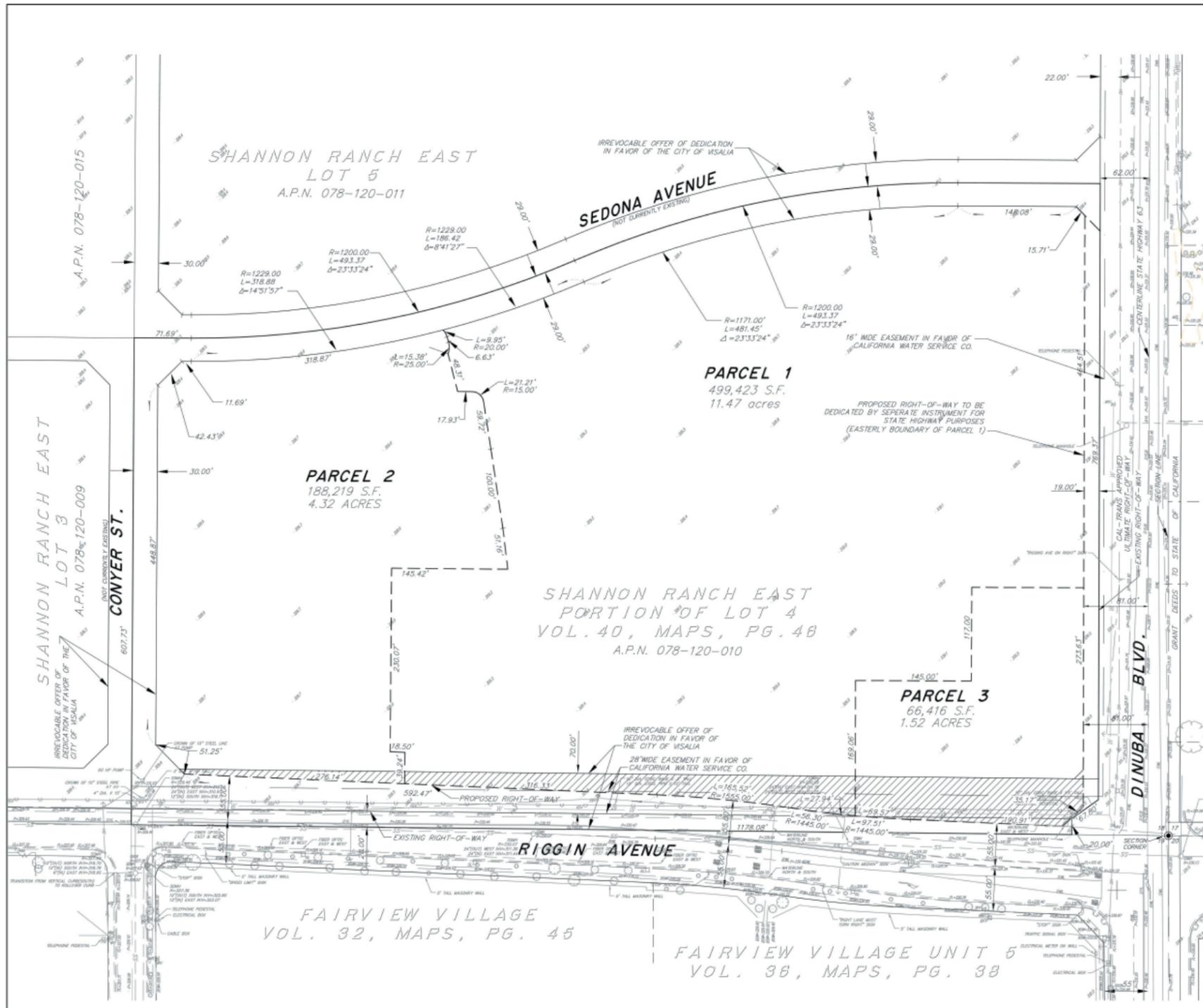
**TENTATIVE PARCEL MAP  
ORCHARD WALK WEST**  
A Portion of Lot 4 of Shannon Ranch East Subdivision Map,  
Being a portion of the Southeast ¼ of Section 18,  
Township 18 South, Range 25 East, M.D.B. & M.,  
City of Visalia, County of Tulare, State of California.  
CITY OF VISALIA CALIFORNIA

SHEET  
**1**  
OF  
**3**

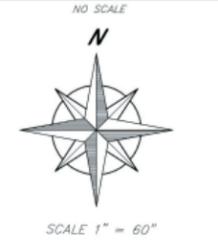


Quad Knopf

# ORCHARD WALK SPECIFIC PLAN



VICINITY MAP



- LEGEND:**
- CENTER LINE
  - SECTION LINE
  - EXISTING PARCEL LINE
  - - - TENTATIVE PARCEL LINE
  - - - EXISTING RIGHT-OF-WAY

**MAP PREPARED BY:**

JOHN P. GRIFF, P.L.S.  
MID-VALLEY ENGINEERING, INC.  
200 W. ROSEBURG AVENUE SUITE B2  
MODESTO, CA 95350  
PHONE: (209) 526-4214

**OWNER:**

C.R.S. FARMING  
P.O. BOX 790  
VISALIA, CA 93279

**APPLICANT:**

DONAHUE SCHRIEBER REALTY GROUP  
200 E. BAKER ST. SUITE 100  
COSTA MESA, CA 92626  
PHONE: (714) 965-9315

**GENERAL NOTES:**

1. SITE ADDRESS: Not available
2. ASSESSOR'S PARCEL NUMBER: 078-120-010
3. PRESENT ZONING: C-CM
4. ACRESAGES:  
GROSS ACREAGE: 19.96 ACRES  
COMBINED NET ACREAGE OF TENTATIVE PARCELS 1, 2, AND 3: 17.31 ACRES  
TOTAL DEDICATED RIGHT-OF-WAY OFFERED: 2.65 ACRES
5. WATER SUPPLY - WELL
6. SANITARY SEWER - 24" SEWER MAIN EXISTING ON RIGGIN (NONE ON SITE)
7. STORM DRAIN - NO EXISTING STORM DRAIN FACILITIES
8. THIS PROPERTY IS NOT LISTED AS A HAZARDOUS WASTE SITE.
9. UTILITIES:  
ELECTRICITY - SOUTHERN CALIFORNIA EDISON  
TELEPHONE - PAC BELL  
GAS - SOUTHERN CALIFORNIA GAS
10. EXISTING USE: ORCHARD
11. PROPOSED USE: COMMERCIAL DEVELOPMENT
12. FUTURE SANITARY SEWER, STORM DRAIN AND GARBAGE SERVICE TO BE SUPPLIED BY CITY OF VISALIA.
13. FUTURE WATER IS TO BE SUPPLIED BY CALIFORNIA WATER SERVICE COMPANY.
14. THIS SITE IS NOTED AS ZONE "C". (AREAS OF MINIMAL FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 065066 0470 B, DATED SEPTEMBER 29, 1986.

Drawn By:	Date:	Scale:	Job No.:	Checked:	File:	REVISIONS			
						NO.	DATE	ISSUED FOR	APPRO.
JH/PG	4/26/07	1"=60'	06081	SU	06081pm.dwg				

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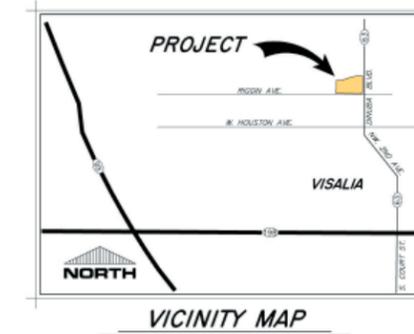
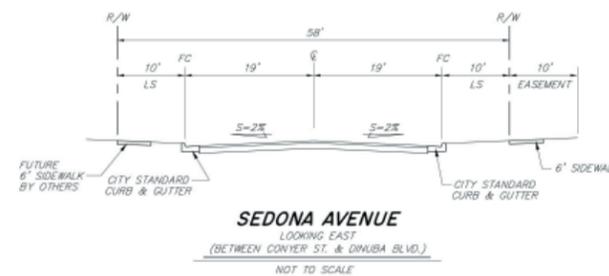
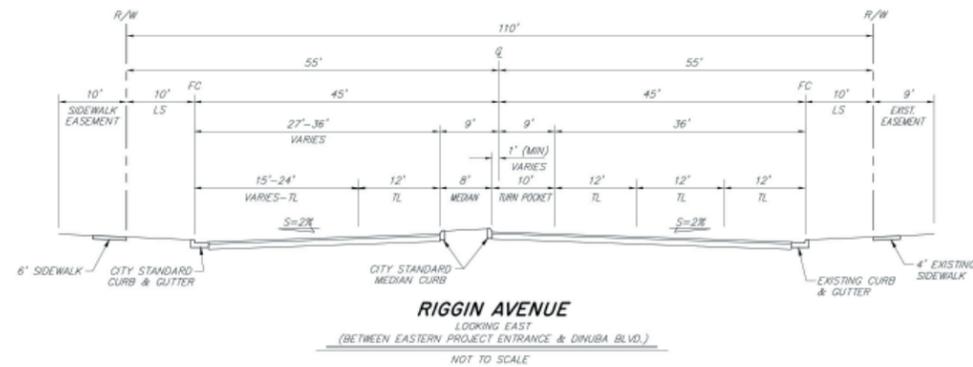
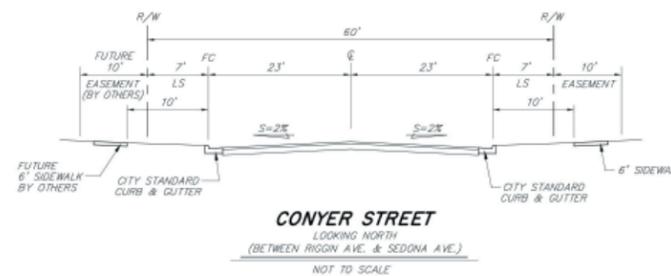
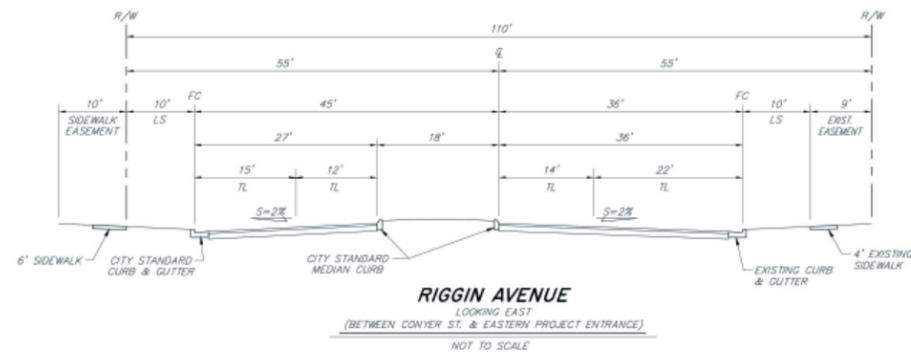
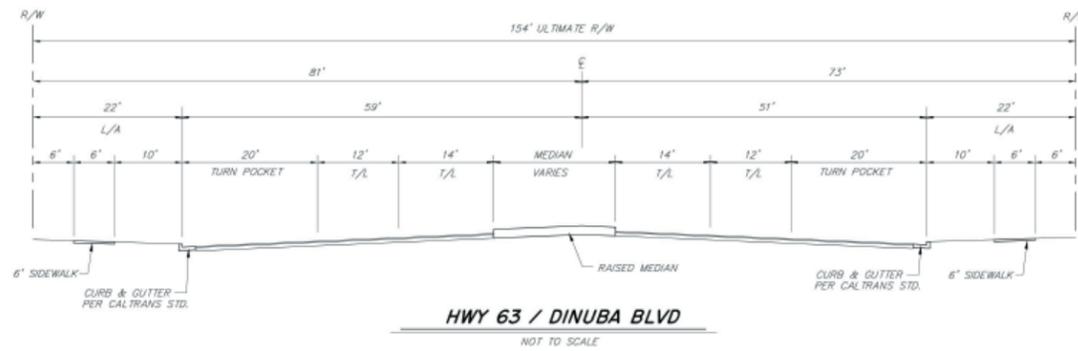
**TENTATIVE PARCEL MAP  
ORCHARD WALK WEST**  
A Portion of Lot 4 of Shannon Ranch East Subdivision Map,  
Being a portion of the Southeast ¼ of Section 18,  
Township 18 South, Range 25 East, M.D.B. & M.,  
City of Visalia, County of Tulare, State of California  
**CITY OF VISALIA CALIFORNIA**

SHEET  
**2**  
OF  
**3**



Quad Knopf

# ORCHARD WALK SPECIFIC PLAN



**LEGEND:**

- CENTER LINE
- SECTION LINE
- EXISTING PARCEL LINE
- - - TENTATIVE PARCEL LINE
- EXISTING RIGHT-OF-WAY LINE

**MAP PREPARED BY:**

JOHN P. GINPP, P.L.S.  
MD-VALLEY ENGINEERING, INC.  
200 W. ROSEBURG AVENUE SUITE B2  
MODESTO, CA 95350  
PHONE: (209) 526-4214

**OWNER:**

C.R.S. FARMING  
P.O. BOX 790  
VISALIA, CA 93279

**APPLICANT:**

DONAHUE SCHRIEBER REALTY GROUP  
200 E. BAKER ST. SUITE 100  
COSTA MESA, CA 92626  
PHONE: (209) 985-9315

**GENERAL NOTES:**

1. SITE ADDRESS: Not available
2. ASSESSOR'S PARCEL NUMBER: 078-120-010
3. PRESENT ZONING: C-CM
4. ACREAGE:  
GROSS ACREAGE: 19.96 ACRES  
COMBINED NET ACREAGE OF TENTATIVE PARCELS 1, 2, AND 3: 17.31 ACRES  
TOTAL DEDICATED RIGHT-OF-WAY OFFERED: 2.65 ACRES
5. WATER SUPPLY - WELL
6. SANITARY SEWER - 24" SEWER MAIN EXISTING ON RIGGIN (NONE ON SITE)  
TO BE SUPPLIED BY CITY OF VISALIA
7. STORM DRAIN - NO EXISTING STORM DRAIN FACILITIES
8. THIS PROPERTY IS NOT LISTED AS A HAZARDOUS WASTE SITE.
9. UTILITIES:  
ELECTRICITY - SOUTHERN CALIFORNIA EDISON  
TELEPHONE - PAC BELL  
GAS - SOUTHERN CALIFORNIA GAS
10. EXISTING USE: ORCHARD
11. PROPOSED USE: COMMERCIAL DEVELOPMENT
12. FUTURE SANITARY SEWER, STORM DRAIN AND GARBAGE SERVICE  
TO BE SUPPLIED BY CITY OF VISALIA
13. FUTURE WATER IS TO BE SUPPLIED BY CALIFORNIA WATER SERVICE COMPANY.
14. THIS SITE IS NOTED AS ZONE "C", (AREAS OF MINIMAL FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 06506E 0470 B, DATED SEPTEMBER 29, 1986.

Drawn By:	Date:	REVISIONS			
		NO.	DATE	ISSUED FOR	APPD.
JN/JPG	4/26/07				
Scale:	1"=60'				
Job No.:	06081				
Checked:	SU				
File:	GROSS-SECTIONS-PM				

**m-e**  
modesto, ca - stockton, ca  
866-526-4214 - www.mve.net

**TENTATIVE PARCEL MAP  
ORCHARD WALK WEST**  
A Portion of Lot 4 of Shannon Ranch East Subdivision Map,  
Being a portion of the Southeast ¼ of Section 18,  
Township 18 South, Range, Range 25 East, M.D.B. & M.,  
City of Visalia, County of Tulare, State of California  
**CITY OF VISALIA CALIFORNIA**

SHEET  
**3**  
OF  
**3**



# ORCHARD WALK SPECIFIC PLAN

## TENTATIVE PARCEL MAP THE ORCHARD WALK EAST NEC HIGHWAY 63 AND RIGGIN AVENUE VISALIA, CALIFORNIA

**DATE OF PREPARATION**

APRIL 20, 2007

**PROPERTY USE AND ZONING**

EXISTING USE: AGRICULTURAL  
PROPOSED USE: COMMERCIAL  
EXISTING ZONING: CCM/R-1-LR-M-2  
PROPOSED ZONING: CCM/R-1-LR-M-2

**FLOOD ZONE**

THE LAND SHOWN ON THIS SURVEY LIES WITHIN FLOOD ZONE "C", BEING AN AREA OF MINOR FLOODING PER FLOOD INSURANCE RATE MAP (FIRM) - COMMUNITY PANEL NUMBER 05004 S470 & DATED SEPTEMBER 26, 1998.

**ASSESSOR'S PARCEL NO.**

079-071-001, 079-071-002, 079-071-003, 079-071-004, 079-071-005, 079-071-006, 079-071-007, 079-071-008

**LEGAL DESCRIPTION**

THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 17, TOWNSHIP 18 SOUTH, RANGE 25 EAST, MOUNT Diablo Base and Meridian, IN THE COUNTY OF TULARE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 17 A DISTANCE OF 77.15 FEET SOUTH 89°52'23" EAST OF THE SOUTHWEST CORNER OF SAID SOUTHWEST QUARTER;

THENCE NORTH 00°57'30" EAST, 6 FEET TO THE TRUE POINT OF BEGINNING;

THENCE NORTH 40°50'20" WEST, 31.25 FEET;

THENCE NORTH 00°54'00" EAST, 608.30 FEET;

THENCE NORTH 89°53'36" EAST, 95.35 FEET;

THENCE NORTH 00°52'36" EAST, 100.00 FEET;

THENCE SOUTH 89°53'36" WEST, 95.18 FEET;

THENCE NORTH 40°50'20" EAST, 522.18 FEET;

THENCE NORTH 40°50'20" EAST, 20.25 FEET;

THENCE SOUTH 89°52'20" EAST, 815.57 FEET;

THENCE SOUTH 40°50'20" EAST, 20.25 FEET;

THENCE SOUTH 00°57'30" WEST, 117.89 FEET;

THENCE SOUTHWEST, 300.64 FEET ALONG A CURVE CONCAVE TO THE WEST, HAVING A RADIUS OF 970 FEET, AND PASSING THROUGH AN ANGLE OF 22°03'25";

THENCE CONTINUING SOUTHWEST, 253.52 FEET ALONG A CURVE CONCAVE TO THE EAST, HAVING A RADIUS OF 630 FEET, AND PASSING THROUGH AN ANGLE OF 27°07'25";

THENCE SOUTH 00°58'30" WEST, 208.30 FEET;

THENCE SOUTHWEST, 200.38 FEET ALONG A CURVE CONCAVE TO THE EAST, HAVING A RADIUS OF 194 FEET AND PASSING THROUGH AN ANGLE OF 15°22'25";

THENCE SOUTH 37°57'29" WEST, 35.25 FEET;

THENCE WEST 250.84 FEET ALONG A CURVE CONCAVE TO THE NORTH, HAVING A RADIUS OF 1145 FEET, AND PASSING THROUGH AN ANGLE OF 12°33'07";

THENCE NORTH 89°52'20" WEST, 483.45 FEET TO THE POINT OF BEGINNING.

**TITLE EXCEPTIONS AND EASEMENTS**

1 TAXES AND ASSESSMENTS, GENERAL AND SPECIAL, FOR THE FISCAL YEAR 2007-2008, A LIE, BUT NOT YET DUE OR PAYABLE.

2 THE LIEK OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO THE PROVISIONS OF CHAPTER 5.5 (COMMENCING WITH SECTION 75) OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA.

3 AN EASEMENT FOR THE PURPOSE OF PUBLIC UTILITIES GRANTED TO SOUTHERN CALIFORNIA Edison RECORDED JUNE 12, 1949 AS INSTRUMENT NO. 15441 IN BOOK 1058, PAGE 438 OF OFFICIAL RECORDS.

4 A WAIVER IN FAVOR OF THE STATE OF CALIFORNIA OF ANY CLAIM FOR DAMAGES TO SAID LAND BY REASON OF THE LOCATION, CONSTRUCTION, LANDSCAPING AND MAINTENANCE OF A HIGHWAY/PREMIARY CONTIGUOUS THEREIN, AS CONTAINED IN THE DEED FROM LESLIE FRANKS GRUBER, HUSBAND AND WIFE AS COMMUNITY PROPERTY AND LESLIE GRUBER AND MARIE L. GRUBER, HUSBAND AND WIFE RECORDED MARCH 13, 1970 AS INSTRUMENT NO. 9796 IN BOOK 2885, PAGE 268 OF OFFICIAL RECORDS.

5 A WAIVER IN FAVOR OF THE STATE OF CALIFORNIA OF ANY CLAIM FOR DAMAGES TO SAID LAND BY REASON OF THE LOCATION, CONSTRUCTION, LANDSCAPING AND MAINTENANCE OF A HIGHWAY/PREMIARY CONTIGUOUS THEREIN, AS CONTAINED IN THE DEED FROM JOHN A. GRUBER AND CELIA GRUBER, HUSBAND AND WIFE AS COMMUNITY PROPERTY AND LESLIE GRUBER AND MARIE L. GRUBER, HUSBAND AND WIFE RECORDED MARCH 13, 1970 AS INSTRUMENT NO. 9796 IN BOOK 2885, PAGE 268 OF OFFICIAL RECORDS.

6 A WAIVER IN FAVOR OF THE STATE OF CALIFORNIA OF ANY CLAIM FOR DAMAGES TO SAID LAND BY REASON OF THE LOCATION, CONSTRUCTION, LANDSCAPING AND MAINTENANCE OF A HIGHWAY/PREMIARY CONTIGUOUS THEREIN, AS CONTAINED IN THE DEED FROM JOHN A. GRUBER AND CELIA GRUBER, HUSBAND AND WIFE AS COMMUNITY PROPERTY AND LESLIE GRUBER AND MARIE L. GRUBER, HUSBAND AND WIFE AS JOINT TENANTS RECORDED MAY 13, 1970 AS INSTRUMENT NO. 18323 IN BOOK 2884, PAGE 185 OF OFFICIAL RECORDS.

7 A WAIVER IN FAVOR OF THE STATE OF CALIFORNIA OF ANY CLAIM FOR DAMAGES TO SAID LAND BY REASON OF THE LOCATION, CONSTRUCTION, LANDSCAPING AND MAINTENANCE OF A HIGHWAY/PREMIARY CONTIGUOUS THEREIN, AS CONTAINED IN THE DEED FROM JOHN SCOTT RECORDED MAY 4, 1971 AS INSTRUMENT NO. 18323 IN BOOK 2884, PAGE 185 OF OFFICIAL RECORDS.

8 COVENANTS AND RESTRICTIONS IMPOSED BY A LAND CONSERVATION CONTRACT RECORDED FEBRUARY 23, 1978 AS INSTRUMENT NO. 7842 IN BOOK 330, PAGE 307 OF OFFICIAL RECORDS.

9 COVENANTS AND RESTRICTIONS IMPOSED BY A LAND CONSERVATION CONTRACT RECORDED JANUARY 27, 1977 AS INSTRUMENT NO. 4581 IN BOOK 336, PAGE 321 OF OFFICIAL RECORDS.

10 A DEED OF TRUST RECORDED DECEMBER 2, 2003 AS INSTRUMENT NO. 03-118869 OF OFFICIAL RECORDS.

11 A COVENANT AND AGREEMENT UPON THE TERMS AND CONDITIONS THEREIN RECORDED JUNE 6, 2005 AS INSTRUMENT NO. 05059149 OF OFFICIAL RECORDS.

12 ANY RIGHTS, INTERESTS OR CLAIMS WHICH MAY EXIST OR ARISE BY REASON OF THE FOLLOWING FACTS SHOWN ON A SURVEY PLAN, DATED DECEMBER 7, 2005 AND PREPARED BY FORESTER, WEBER, & ASSOCIATES.

13 PROVISIONS, CONDITIONS, AND QUALIFICATIONS AFFECTING SAID LAND ADOPTED BY THE PLANNING COMMISSION FOR THE USES AND PURPOSES AS SET FORTH THEREIN.

**BASE OF BEARINGS**

THE BEARING OF NORTH 00°57'30" WEST BETWEEN FOUND MONUMENTS ESTABLISHING THE WESTERLY LINE OF THE SOUTHWEST QUARTER OF SECTION 17, T.18N., R.25E., M.D.S.B. & W., AS SHOWN ON THAT CERTAIN SHANNON BRANCH EAST SUBDIVISION MAP, FILED IN BOOK 40 OF MAPS, AT PAGE 46, TULARE COUNTY RECORDS.

**UTILITY PROVIDERS**

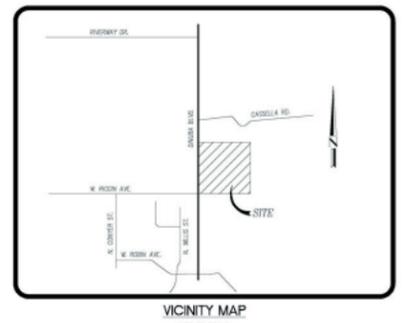
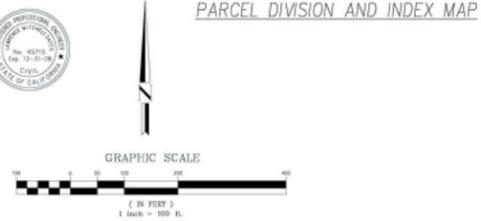
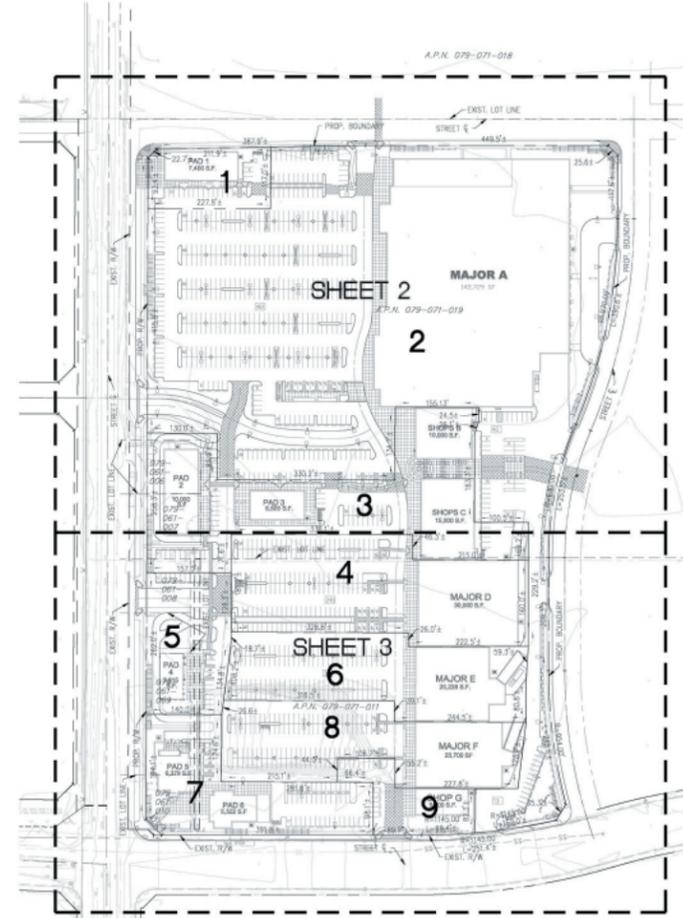
EDISON - SOUTHERN CALIFORNIA Edison  
TELEPHONE - PACIFIC BELL  
CABLE - SOUTHERN CALIFORNIA GAS COMPANY  
CITY - COMCAST CABLE  
WATER - CALIFORNIA WATER SERVICE COMPANY  
SEWER - CITY OF VISALIA

**RECORD OWNER/APPLICANT**

DONAHUE SCHRIEBER  
300 E. BAKER ST., #100  
VISALIA, CALIF. 93291  
CONTACT: MICHAEL LEBENMAN

**ENGINEER**

DEVELOPMENT RESOURCE CONSULTANTS, INC.  
4175 E. KASPER BLVD.  
ANAHIM HILLS, CA 91708  
PH: (714) 865-1880  
PREPARED UNDER THE SUPERVISION OF:  
LARRY M. DAVES, P.E. REG. NO. 45715 DATE:

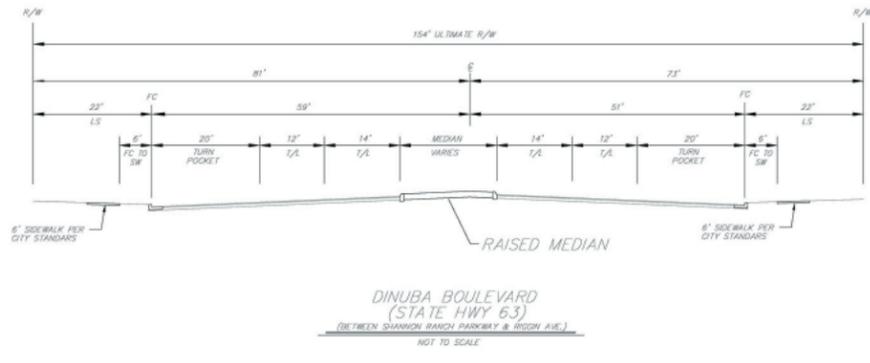
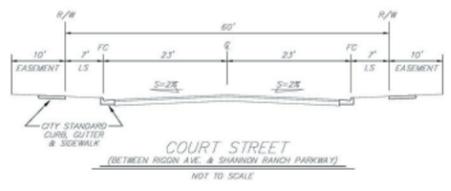
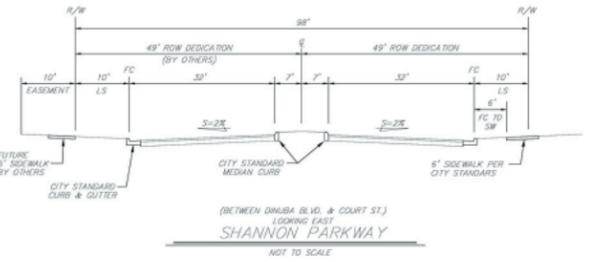


**PARCEL AREAS/SUMMARY**

PARCEL NO.	NET AREA (SQ. FT.)	NET AREA (AC.)	FLOOR AREA RATIO
1	25,300	.58	0.29
2	50,400	1.15	0.38
3	116,000	2.66	0.35
4	95,800	2.19	0.31
5	40,000	.92	0.15
6	73,800	1.69	0.27
7	88,600	2.01	0.30
8	72,700	1.67	0.28
9	35,400	.81	0.23
TOTAL	1,074,200	24.28	

**ACREAGE SUMMARY**

GROSS AREA: 23.21 AC  
NET AREA: 23.21 AC



**DRC**  
Development Resource Consultants, Inc.  
18725 E. KASPER BLVD., SUITE 100  
ANAHIM HILLS, CA 91708 (714) 865-1880

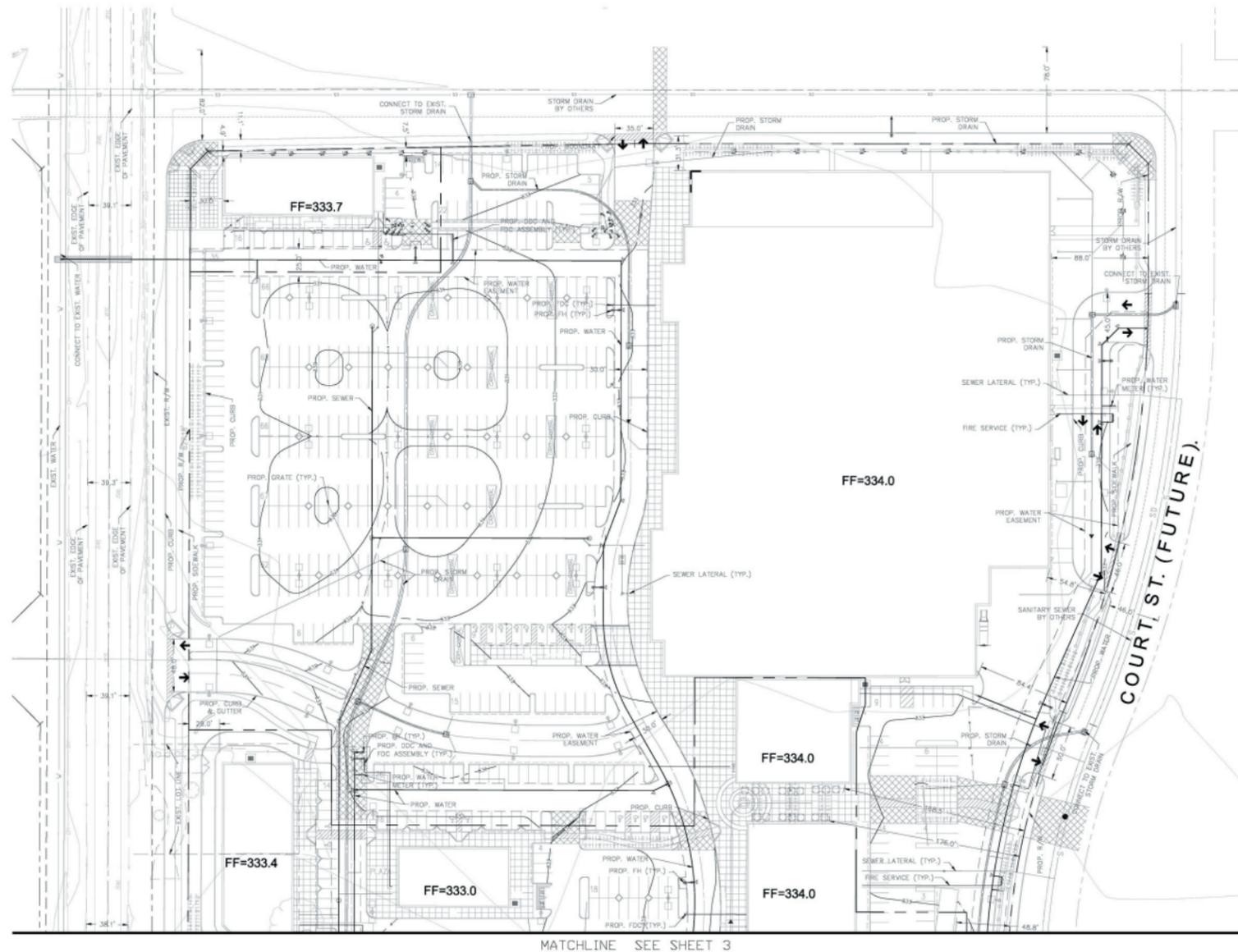
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SCALE: \_\_\_\_\_

**ORCHARD WALK EAST  
NEC HIGHWAY 63 & RIGGIN AVE.  
VISALIA, CALIFORNIA  
TENTATIVE PARCEL MAP**

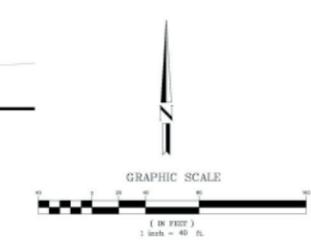
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CHECKED BY: DRABIN, BF  
DRAWING FILE:  
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SHEET NUMBER:  
OF 3 SHEETS  
SCALE: 1"=40'

# ORCHARD WALK SPECIFIC PLAN

## TENTATIVE PARCEL MAP THE ORCHARD WALK EAST NEC HIGHWAY 63 AND RIGGIN AVENUE VISALIA, CALIFORNIA



- LEGEND**
- PROPOSED RIGHT OF WAY
  - - - EXISTING RIGHT OF WAY
  - - - EXISTING LOT LINE
  - - - EASEMENT LINE
  - - - PROPOSED BUILDING LINE
  - SS EXISTING SEWER LINE
  - W EXISTING WATER LINE
  - SD EXISTING STORM DRAIN
  - PROPOSED SEWER LINE
  - PROPOSED WATER LINE (PUBLIC)
  - PROPOSED STORM DRAIN
  - △ EXISTING EASEMENT (SEE SHEET 1 FOR DESCRIPTION)

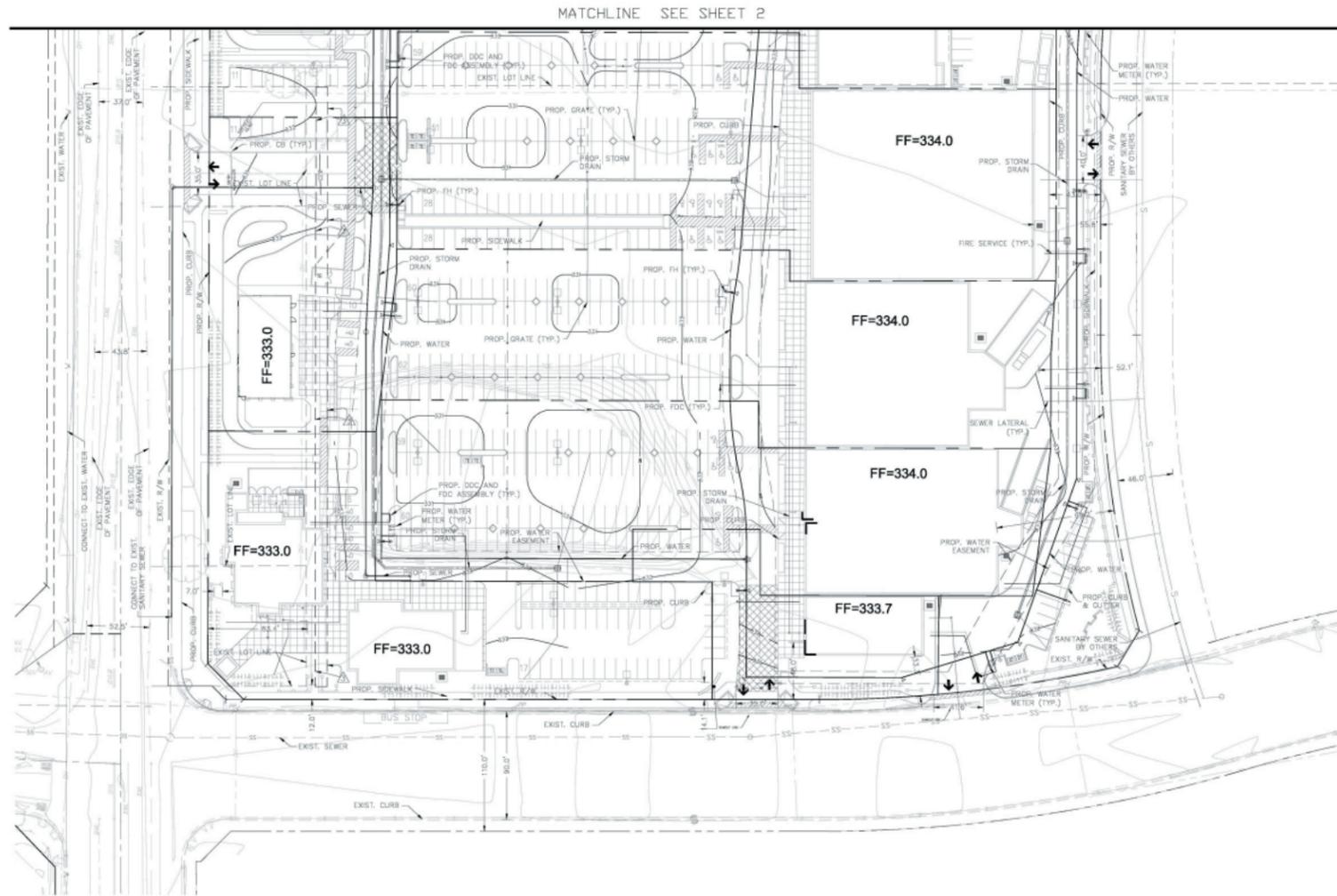


**Development Resource Consultants, Inc.**  
 8775 E. WISLER BOULEVARD • Environmental  
 ANAHEIM HILLS, CA 92808 (714) 850-8800

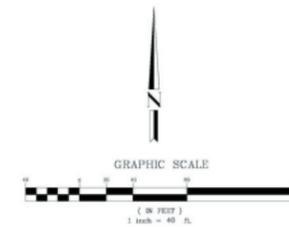
DATE:	
REVISION:	
<b>ORCHARD WALK EAST NEC HIGHWAY 63 &amp; RIGGIN AVE. VISALIA, CALIFORNIA TENTATIVE PARCEL MAP</b>	
PROJECT:	DONAHUE MAP
DATE:	04/22/07
CHECKED:	WP DRAWN: RF
DRAWING FILE:	
PROJECT NO.:	06-314
SHEET NUMBER:	<b>2</b>
OF 3 SHEETS	
SCALE:	1"=40'

# ORCHARD WALK SPECIFIC PLAN

## TENTATIVE PARCEL MAP THE ORCHARD WALK EAST NEC HIGHWAY 63 AND RIGGIN AVENUE VISALIA, CALIFORNIA



- LEGEND**
- PROPOSED RIGHT OF WAY
  - - - - - EXISTING RIGHT OF WAY
  - - - - - EXISTING LOT LINE
  - - - - - EASEMENT LINE
  - - - - - PROPOSED BUILDING LINE
  - SS EXISTING SEWER LINE
  - W EXISTING WATER LINE
  - SD EXISTING STORM DRAIN
  - PROPOSED SEWER LINE
  - PROPOSED WATER LINE (PUBLIC)
  - PROPOSED WATER LINE (PRIVATE)
  - PROPOSED STORM DRAIN
  - △ EXISTING EASEMENT (SEE SHEET 1 FOR DESCRIPTION)



**Development Resource Consultants, Inc.**  
Civil Engineering • Surveying • Environmental  
14000 W. 14th Street, Suite 200  
ANAHIM HILLS, CA 92308 (714) 866-8800

**DRC**

DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_

**ORCHARD WALK EAST  
NEC HIGHWAY 63 & RIGGIN AVE.  
VISALIA, CALIFORNIA  
TENTATIVE PARCEL MAP**

PROJECT: \_\_\_\_\_  
DRAWING NAME: \_\_\_\_\_

SUB: TENTATIVE MAP  
DATE: 04/26/07  
CHECKED: WP DRAWN: BF  
DRAWING FILE: \_\_\_\_\_  
PROJECT NO: 06-314  
SHEET NUMBER: **3**  
OF 3 SHEETS  
SCALE: 1"=40'

ORCHARD WALK  
SPECIFIC PLAN

VISALIA, CA



APPENDIX I  
STRIPING PLAN EXHIBIT

# ORCHARD WALK SPECIFIC PLAN

