

PLANNING COMMISSION AGENDA

CHAIRPERSON:

Liz Wynn



VICE CHAIRPERSON:

Chris Gomez

COMMISSIONERS: Liz Wynn, Chris Gomez, Brett Taylor, Marvin Hansen, Sarrah Peariso

MONDAY, APRIL 13, 2020 AT 6:00 P.M., COUNCIL CHAMBERS, 707 W. ACEQUIA, VISALIA CA

1. THE PLEDGE OF ALLEGIANCE –
2. CITIZEN'S COMMENTS – This is the time for citizens to comment on subject matters that are not on the agenda but are within the jurisdiction of the Visalia Planning Commission. The Commission requests that a 5-minute time limit be observed for comments. Please begin your comments by stating and spelling your name and city. Please note that issues raised under Citizen's Comments are informational only and the Commission will not take action at this time.
3. CHANGES OR COMMENTS TO THE AGENDA –
4. CONSENT CALENDAR - All items under the consent calendar are to be considered routine and will be enacted by one motion. For any discussion of an item on the consent calendar, it will be removed at the request of the Commission and made a part of the regular agenda.
 - No Items on Consent Calendar
5. PUBLIC HEARING – Brandon Smith
Conditional Use Permit No. 2020-04: A request by American Incorporated to add two caretakers' residences to an existing industrial development within the I (Industrial) Zone. The site is located at 9945 W. Goshen Avenue (APN: 081-100-040). The project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303, Categorical Exemption No. 2019-13.
6. PUBLIC HEARING – Cristobal Carrillo
 - Conditional Use Permit No. 2019-31: A request by Lars Anderson & Associates to establish a master planned commercial development consisting of approximately 138,188 sq. ft. of commercial uses, including the establishment of three retail buildings of varying sizes (56,800 sq. ft., 29,800 sq. ft., and 10,000 sq. ft.), a 10,000 sq. ft. credit union building, a 4,088 sq. ft. gas station/convenience store with a 3,060 sq. ft. canopy, a 7,500 sq. ft. sit-down restaurant, two 3,000 sq. ft. drive-thru restaurants, and a 5,000 sq. ft. automotive repair store, on parcels with less than the minimum five acre site area requirement, including a parcel with no public street frontage, affecting 17.43 acres of a 28.7 acre site in the C-R (Regional Commercial) Zone. The project site is located on the southwest corner of S. Mooney Blvd. and W. Visalia Parkway (APN: 126-960-001). A Mitigated Negative Declaration (MND No. 2019-62) has been prepared for the project.
 - Tentative Parcel Map No. 2019-13 A request by Lars Anderson & Associates, Inc. to subdivide a 28.7 acre site into an 11- lot commercial subdivision in the C-R (Regional Commercial) Zone. The site is located on the southwest corner of S. Mooney Blvd. and W. Visalia Parkway (APN: 126-960-001). A Mitigated Negative Declaration (MND No.

2019-62) has been prepared for the project.

7. PUBLIC HEARING – Cristobal Carrillo

- Zoning Text Amendment No. 2019-13: A request by CarMax to amend Zoning Ordinance Section 17.25.030 (Zoning Use Matrix Line A22) to establish “Car Sales – New & Used” as a conditional use in the C-R (Regional Commercial) District, Citywide. A Mitigated Negative Declaration (MND No. 2019-62) has been prepared for the project.
- Conditional Use Permit No. 2019-42: A request by CarMax to allow a used car sales and service center on a 5-acre parcel in the C-R (Regional Commercial) Zone District. The project site is located on the southwest corner of S. Mooney Blvd. and W. Visalia Parkway. (APN: 126-960-001) A Mitigated Negative Declaration (MND No. 2019-62) has been prepared for the project.

8. PUBLIC HEARING – Josh Dan

Tentative Parcel Map No. 2020-01: A request to subdivide a 1.93 acre parcel into four lots and a remainder, located in the R-1-5 (Single-Family Residential, Minimum 5,000 square foot lot size) Zone District. The project site is located on the east side of N. Edison St. at E. Marlago Ct. (APN: 091-060-006) Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15315, Categorical Exemption No. 2020-08.

9. PUBLIC HEARING – Paul Bernal

Appeal of the City Planner Determination for an Aldi Grocery Store pursuant to Site Plan Review No. 2019-167: Aldi is appealing the City Planner's determination that the proposed use does not meet the classification as a Specialty Food Store per Line R58 of the Zone Use Matrix (Municipal Code Section 17.25.030). The proposed Aldi grocery store is seeking to locate within a future Master Planned Development within the C-R (Regional Commercial) zone/land use district. The future Master Planned Development is located on the southeast corner of South Mooney Boulevard and West Visalia Parkway. (APN: 126-080-025)

10. REGULAR ITEM – Paul Bernal

Planning Division Fee Amendments: Consideration of revisions to the Planning Division fees as contained in City of Visalia Fee Resolution 2020-13

11. CITY PLANNER/ PLANNING COMMISSION DISCUSSION-

- Next Planning Commission Meeting April 27, 2020

The Planning Commission meeting may end no later than 11:00 P.M. Any unfinished business may be continued to a future date and time to be determined by the Commission at this meeting. The Planning Commission routinely visits the project sites listed on the agenda.

For Hearing Impaired – Call (559) 713-4900 (TTY) 48-hours in advance of the scheduled meeting time to request signing services.

Any written materials relating to an item on this agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the City Office, 315 E. Acequia Visalia, CA 93291, during normal business hours.

APPEAL PROCEDURE

THE LAST DAY TO FILE AN APPEAL IS THURSDAY, APRIL 23, 2020 BEFORE 5 PM

According to the City of Visalia Zoning Ordinance Section 17.02.145 and Subdivision Ordinance Section 16.04.040, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal form with applicable fees shall be filed with the City Clerk at 220 N. Santa Fe, Visalia, CA 93292. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website www.visalia.city or from the City Clerk.

THE NEXT REGULAR MEETING WILL BE HELD ON MONDAY, APRIL 27, 2020



REPORT TO CITY OF VISALIA PLANNING COMMISSION

HEARING DATE: March 23, 2020

PROJECT PLANNER: Brandon Smith, Senior Planner
Phone No.: (559) 713-4636
E-mail: brandon.smith@visalia.city

SUBJECT: Conditional Use Permit No. 2020-04: A request by American Incorporated to add two caretakers' residences to an existing industrial development within the I (Industrial) Zone. The site is located at 9945 W. Goshen Avenue (APN: 081-100-040).

STAFF RECOMMENDATION

Staff recommends approval of Resolution No. 2020-10 for Conditional Use Permit No. 2020-04, as conditioned, based on the project's consistency with the policies of the City's General Plan and Zoning Ordinance.

RECOMMENDED MOTION

I move to approve Conditional Use Permit No. 2020-04, as conditioned, based on the findings and conditions in Resolution No. 2020-10.

PROJECT DESCRIPTION

Conditional Use Permit No. 2020-04 is a request to allow improvements creating two caretaker's residences within a portion of an existing garage building on a developed site within the Industrial (I) zone district (see site plan attached as Exhibit "A"). The objective of the request is to provide residential units that support 24-hour on-site security and ground keeping services. New or additions to residences are a conditionally-allowed use in all industrial zone districts.

The subject site is a 13.7-acre parcel consisting of a 235,513-sq. ft. primary warehouse building and a 9,890-sq. ft. storage / garage building located to the southeast. The site is currently occupied by TreeHouse / California Pretzel and both buildings have existed on the site for several years.

The project will convert 3,959 square feet located on the north and east faces of the garage building into the two residential units (see floor plan attached as Exhibit "B"). The residential space is already separated within the garage by one-hour fire rated walls. The east-facing unit will be 3,259 square feet in size with two bedrooms, two bathrooms, and an oversized living / kitchen space. The north-facing unit will be 705 square feet in size with one bedroom, two bathrooms, and a living / kitchen space. The remaining garage portion of the building will be 5,956 square feet. A series of metal canopies are proposed on the east and south-facing walls of the



Aerial photo with location

building in association with this project. No additional building space is being proposed with this project.

BACKGROUND INFORMATION

General Plan Land Use Designation:	Industrial
Zoning:	I (Industrial)
Surrounding Zoning and Land Use:	North: I (Industrial) / Warehouse South: I (Industrial) / Electric motor shop, vacant land East: I (Industrial) / Manufacturing plant West: I (Industrial) / Ponding basin, American Street
Environmental Document	Categorical Exemption No. 2020-10
Site Plan:	Site Plan Review No. 2019-237

Related Plans and Policies

Please see attached summary of related plans and policies.

PROJECT EVALUATION

Staff supports the requested conditional use permit based on the project's consistency with the General Plan and the Zoning Ordinance.

Land Use Compatibility

The project site and surrounding area is designated as Industrial land use and zoning district.

The primary warehouse and distribution facility on the site is an allowed use in the I zone. The conditional use permit application would allow two residences within a separate accessory building on the site, located deep within the interior of the site and not directly fronting onto a street. The City has previously processed conditional use permits for on-site residences in association with industrial and commercial uses, most notably at self-storage facilities. Because the residences are considered an accessory use directly affiliated with the on-site primary use, only minimal analysis and conditions related to the residences are included in this action.

With regards to parking, each caretaker's residence requires two parking spaces for a total of four required parking spaces in addition to the required parking for the primary warehousing use. Presently there is sufficient parking located on the site with uncovered striped parking spaces located immediately east of the garage building and covered unmarked parking available in the adjoining garage.

Elevations have been provided for the residences within the garage (refer to Exhibit "C"), which depict a single-story concrete block building with metal roll-up doors and new canopies being added on two elevations.

Environmental Review

The requested action is considered categorically exempt under Section 15303 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2020-10). The project fits the criteria of a Class 3 categorical exemption, wherein the project is a conversion of a small structure, specifically a garage, as described in subsection (e).

RECOMMENDED FINDINGS

1. That the proposed project will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
 - The proposed location of the conditional use permit is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located.
 - The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
3. That the project is considered categorically exempt under Section 15303 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA) (Categorical Exemption No. 2020-10).

RECOMMENDED CONDITIONS OF APPROVAL

1. That the use be developed consistent with the comments and conditions of Site Plan Review No. 2019-237, incorporated herein by reference.
2. That the use be developed in substantial compliance with the site plan provided in Exhibit "A" and the floor plan provided in Exhibit "B".
3. That all other Federal, State, Regional, and City codes and ordinances be met.

APPEAL INFORMATION

According to the City of Visalia Zoning Ordinance Section 17.02.145, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal with applicable fees shall be in writing and shall be filed with the City Clerk at 220 N. Santa Fe Street, Visalia, CA 93292. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website <http://www.visalia.city> or from the City Clerk.

Attachments:

- Related Plans and Policies
- Resolution No. 2020-10
- Exhibit "A" – Site Plan
- Exhibit "B" – Floor Plan
- Exhibit "C" – Elevation Plans
- Site Plan Review Item No. 2019-237 Comments
- General Plan Land Use Map
- Zoning Map
- Aerial Photo
- Vicinity Map

Related Plans & Policies

Zoning Ordinance

Chapter 17.22: Industrial Zones

17.22.010 Purposes.

B. The purposes of the individual land use zones are as follows:

2. Industrial Zone—(I). The purpose and intent of the Industrial zone district is to provide an area for uses that are characterized by the manufacturing, processing or assembling of semi-finished or finished products from raw materials. Uses that may restrict the operation of the above due to sensitivity to noise, truck traffic, etc., are not provided in this district. (Ord. 2017-01 (part), 2017: prior code § 7392)

Chapter 17.38: Conditional Use Permits

17.38.010 Purposes and powers.

In certain zones conditional uses are permitted subject to the granting of a conditional use permit. Because of their unusual characteristics, conditional uses require special consideration so that they may be located properly with respect to the objectives of the zoning ordinance and with respect to their effects on surrounding properties. In order to achieve these purposes and thus give the zone use regulations the flexibility necessary to achieve the objectives of this title, the planning commission is empowered to grant or deny applications for conditional use permits and to impose reasonable conditions upon the granting of such permits.

17.38.020 Application procedures.

A. Application for a conditional use permit shall be made to the planning commission on a form prescribed by the commission which shall include the following data:

1. Name and address of the applicant;
2. Statement that the applicant is the owner of the property or is the authorized agent of the owner;
3. Address and legal description of the property;
4. The application shall be accompanied by such sketches or drawings as may be necessary by the planning division to clearly show the applicant's proposal;
5. The purposes of the conditional use permit and the general description of the use proposed;
6. Additional information as required by the historic preservation advisory committee.
7. Additional technical studies or reports, as required by the Site Plan Review Committee.
8. A traffic study or analysis prepared by a certified traffic engineer, as required by the Site Plan Review Committee or Traffic Engineer, that identifies traffic service levels of surrounding arterials, collectors, access roads, and regionally significant roadways impacted by the project and any required improvements to be included as a condition or mitigation measure of the project in order to maintain the required services levels identified in the General Plan Circulation Element.

B. The application shall be accompanied by a fee set by resolution of the city council sufficient to cover the cost of handling the application.

17.38.030 Lapse of conditional use permit.

A conditional use permit shall lapse and shall become void twenty-four (24) months after the date on which it became effective, unless the conditions of the permit allowed a shorter or greater time limit, or unless prior to the expiration of twenty-four (24) months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site that was the subject of the permit. A permit may be renewed for an additional period of one year; provided, that prior to the expiration of twenty-four (24) months from the date the permit originally became effective, an application for renewal is filed with the planning commission. The commission may grant or deny an application for renewal of a conditional use

permit. In the case of a planned residential development, the recording of a final map and improvements thereto shall be deemed the same as a building permit in relation to this section.

17.38.040 Revocation.

Upon violation of any applicable provision of this title, or, if granted subject to a condition or conditions, upon failure to comply with the condition or conditions, a conditional use permit shall be suspended automatically. The planning commission shall hold a public hearing within sixty (60) days, in accordance with the procedure prescribed in Section 17.38.080, and if not satisfied that the regulation, general provision or condition is being complied with, may revoke the permit or take such action as may be necessary to insure compliance with the regulation, general provision or condition. Appeals of the decision of the planning commission may be made to the city council as provided in Section 17.38.120.

17.38.050 New application.

Following the denial of a conditional use permit application or the revocation of a conditional use permit, no application for a conditional use permit for the same or substantially the same conditional use on the same or substantially the same site shall be filed within one year from the date of denial or revocation of the permit unless such denial was a denial without prejudice by the planning commission or city council.

17.38.060 Conditional use permit to run with the land.

A conditional use permit granted pursuant to the provisions of this chapter shall run with the land and shall continue to be valid upon a change of ownership of the site or structure that was the subject of the permit application subject to the provisions of Section 17.38.065.

17.38.065 Abandonment of conditional use permit.

If the use for which a conditional use permit was approved is discontinued for a period of one hundred eighty (180) days, the use shall be considered abandoned and any future use of the site as a conditional use will require the approval of a new conditional use permit.

17.38.080 Public hearing--Notice.

- A. The planning commission shall hold at least one public hearing on each application for a conditional use permit.
- B. Notice of the public hearing shall be given not less than ten days nor more than thirty (30) days prior to the date of the hearing by mailing a notice of the time and place of the hearing to property owners within three hundred (300) feet of the boundaries of the area occupied or to be occupied by the use that is the subject of the hearing, and by publication in a newspaper of general circulation within the city.

17.38.090 Investigation and report.

The planning staff shall make an investigation of the application and shall prepare a report thereon that shall be submitted to the planning commission. The report can recommend modifications to the application as a condition of approval.

17.38.100 Public hearing--Procedure.

At the public hearing the planning commission shall review the application and the statement and drawing submitted therewith and shall receive pertinent evidence concerning the proposed use and the proposed conditions under which it would be operated or maintained, particularly with respect to the findings prescribed in Section 17.38.110. The planning commission may continue a public hearing from time to time as it deems necessary.

17.38.110 Action by planning commission.

- A. The planning commission may grant an application for a conditional use permit as requested or in modified form, if, on the basis of the application and the evidence submitted, the commission makes the following findings:
 - 1. That the proposed location of the conditional use is in accordance with the objectives of the

zoning ordinance and the purposes of the zone in which the site is located;

2. That the proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.

B. A conditional use permit may be revocable, may be granted for a limited time period, or may be granted subject to such conditions as the commission may prescribe. The commission may grant conditional approval for a permit subject to the effective date of a change of zone or other ordinance amendment.

C. The commission may deny an application for a conditional use permit.

17.38.120 Appeal to city council.

The decision of the City planning commission on a conditional use permit shall be subject to the appeal provisions of section 17.02.145.

17.38.130 Effective date of conditional use permit.

A conditional use permit shall become effective immediately when granted or affirmed by the council, or ten days following the granting of the conditional use permit by the planning commission if no appeal has been filed.

RESOLUTION NO. 2020-10

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2020-04: A REQUEST BY AMERICAN INCORPORATED TO ADD TWO CARETAKERS' RESIDENCES TO AN EXISTING INDUSTRIAL DEVELOPMENT WITHIN THE 'I' (INDUSTRIAL) ZONE. THE SITE IS LOCATED AT 9945 W. GOSHEN AVENUE. (APN: 081-100-040)

WHEREAS, Conditional Use Permit No. 2020-04 is a request by American Incorporated to add two caretakers' residences to an existing industrial development within the 'I' (Industrial) Zone. The site is located at 9945 W. Goshen Avenue (APN: 081-100-040); and

WHEREAS, the Planning Commission of the City of Visalia, after duly published notice did hold a public hearing before said Commission on March 23, 2020; and

WHEREAS, the Planning Commission of the City of Visalia finds Conditional Use Permit No. 2020-04, as conditioned by staff, to be in accordance with Section 17.38.110 of the Zoning Ordinance of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and

WHEREAS, the project is considered Categorically Exempt under Section 15303 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA) (Categorical Exemption No. 2020-10).

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Visalia makes the following specific findings based on the evidence presented:

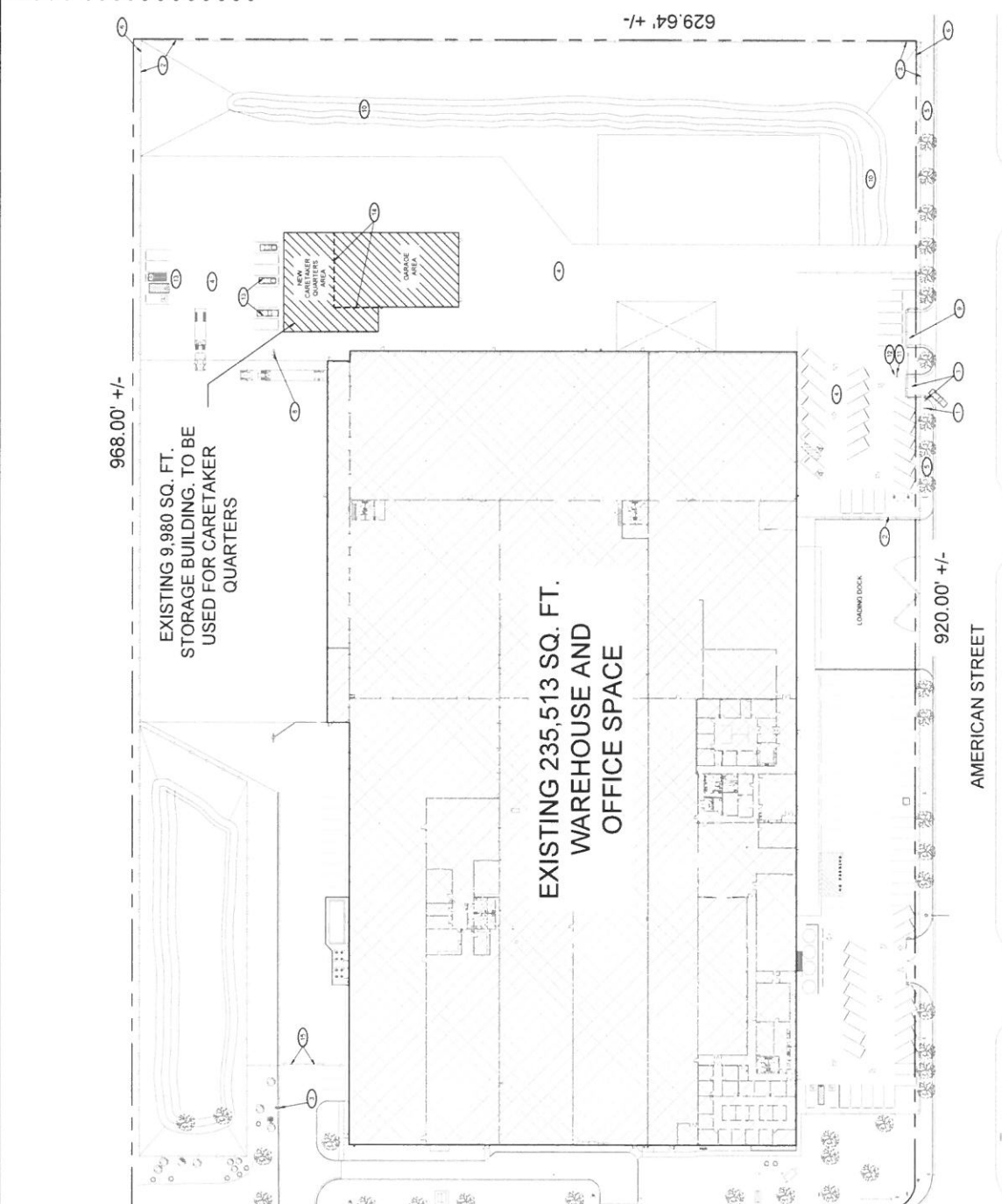
1. That the proposed project will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
 - The proposed location of the conditional use permit is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located.
 - The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
3. That the project is considered Categorically Exempt under Section 15303 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA) for conversion of small structures (Categorical Exemption No. 2020-10).

BE IT FURTHER RESOLVED that the Planning Commission hereby approves the Conditional Use Permit on the real property hereinabove described in accordance with the terms of this resolution under the provisions of Section 17.38.110 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the use be developed consistent with the comments and conditions of Site Plan Review No. 2019-237, incorporated herein by reference.
2. That the use be developed in substantial compliance with the site plan provided in Exhibit "A " and the floor plan provided in Exhibit "B".
3. That all other Federal, State, Regional, and City codes and ordinances be met.

KEY NOTES:

- 1. 1/2" LIGHT POLE
- 2. 1/2" 1/2" CHAIRING EDGE
- 3. 1/2" 1/2" APPROACH WITH 1/2" 1/2" DATE W/ ELECTRIC
- 4. 1/2" 1/2" ENTRY
- 5. 1/2" ASPHALT
- 6. 1/2" LANDSCAPE
- 7. 1/2" 1/2" PROPERTY LINE
- 8. 1/2" 1/2" APPROACH W/ 1/2" 1/2" FOLLING GATE
- 9. 1/2" 1/2" FOLLING LIGHTING
- 10. 1/2" 1/2" FOLLING BASH
- 11. 1/2" 1/2" ELECTRICAL 1/2" 1/2" ENTRY OR EXIT
- 12. 1/2" 1/2" STEEL BOLLARD
- 13. 1/2" 1/2" PARKING
- 14. 1/2" 1/2" 1 HOUR FIRE RATED WALL
- 15. 1/2" 1/2" FOLLING ELECTRIC GATE



PROJECT: AMERICAN EAST CARETAKER QUARTERS
ADDRESS: 9645 West Goshen Avenue
CITY: Vista, CA 92081
DATE: February 4, 2005
SHEET: 1 OF 11
SHEET NO.: A100

REV.	DATE	DESCRIPTION

AMERICAN EAST CARETAKER QUARTERS
 9645 West Goshen Avenue
 Vista, CA 92081
 U.S. 9414849

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AMERICAN EAST CARETAKER QUARTERS
 9645 West Goshen Avenue
 Vista, CA 92081
 U.S. 9414849

Exhibit "A"

PROPRIETARY:
 THE DRAWING CONTAINS CONFIDENTIAL INFORMATION
 WHICH IS THE PROPERTY OF AMERICAN INCORPORATED
 AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY
 FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL,
 INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY
 INFORMATION STORAGE AND RETRIEVAL SYSTEM,
 WITHOUT THE WRITTEN PERMISSION OF AMERICAN INCORPORATED.

NOT FOR
 CONSTRUCTION
 PRINT
 PROGRESS



REV	DATE	DESCRIPTION

FLOOR PLAN - CALLOUT
 PROJECT: AMERICAN EAST
 CARPENTER QUARTERS
 8945 West Goshen Avenue
 Visalia, CA 93291
 SHEET TITLE

PROJECT NO. A130
 SHEET NO. 1 OF 14
 DATE February 7, 2020
 CHECKED BY: [Signature]
 DRAWN BY: [Signature]
 BOON: [Signature]
 DATE: February 7, 2020

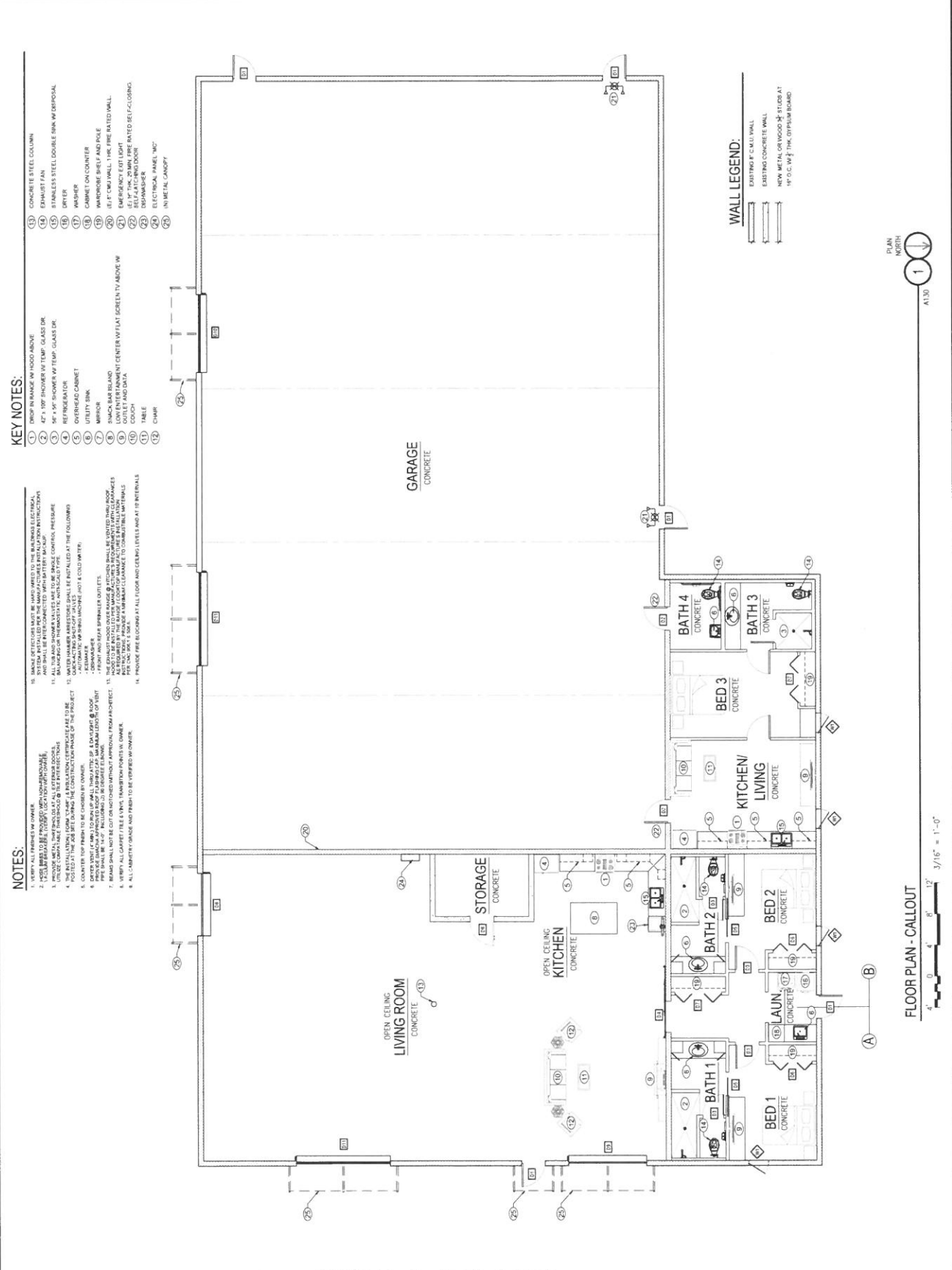


Exhibit "B"

KEY NOTES:

- (1) 6" x 1" CMU WALL
- (2) DECORATIVE 1" ROUND SPIRAL ROOF EDGE CAP
- (3) 7' x 7' WOOD DOOR
- (4) 10' x 1" 10' METAL ROLL UP DOOR
- (5) 12' x 4" 10' METAL ROLL UP DOOR
- (6) 14' x 4" 10' METAL ROLL UP DOOR
- (7) 2' x 7' CASEMENT WINDOW
- (8) FIRE SPRINKLER RISER
- (9) 4" x 4" TUBE STEEL POST ATTACHED TO (6) IF CMU WALL
- (10) HOSE BIB CONNECTION
- (11) 12' x 4" 10' METAL ROLL UP DOOR
- (12) TURBINE VENTILATION (TYPICAL OF 3)
- (13) FIRE ALARM
- (14) DOWNSPOUT
- (15) GUTTER
- (16) WHITE FOAM ROOF AT 2" DITCH
- (17) METAL CANOPY W/ 4" x 3" STEEL POST

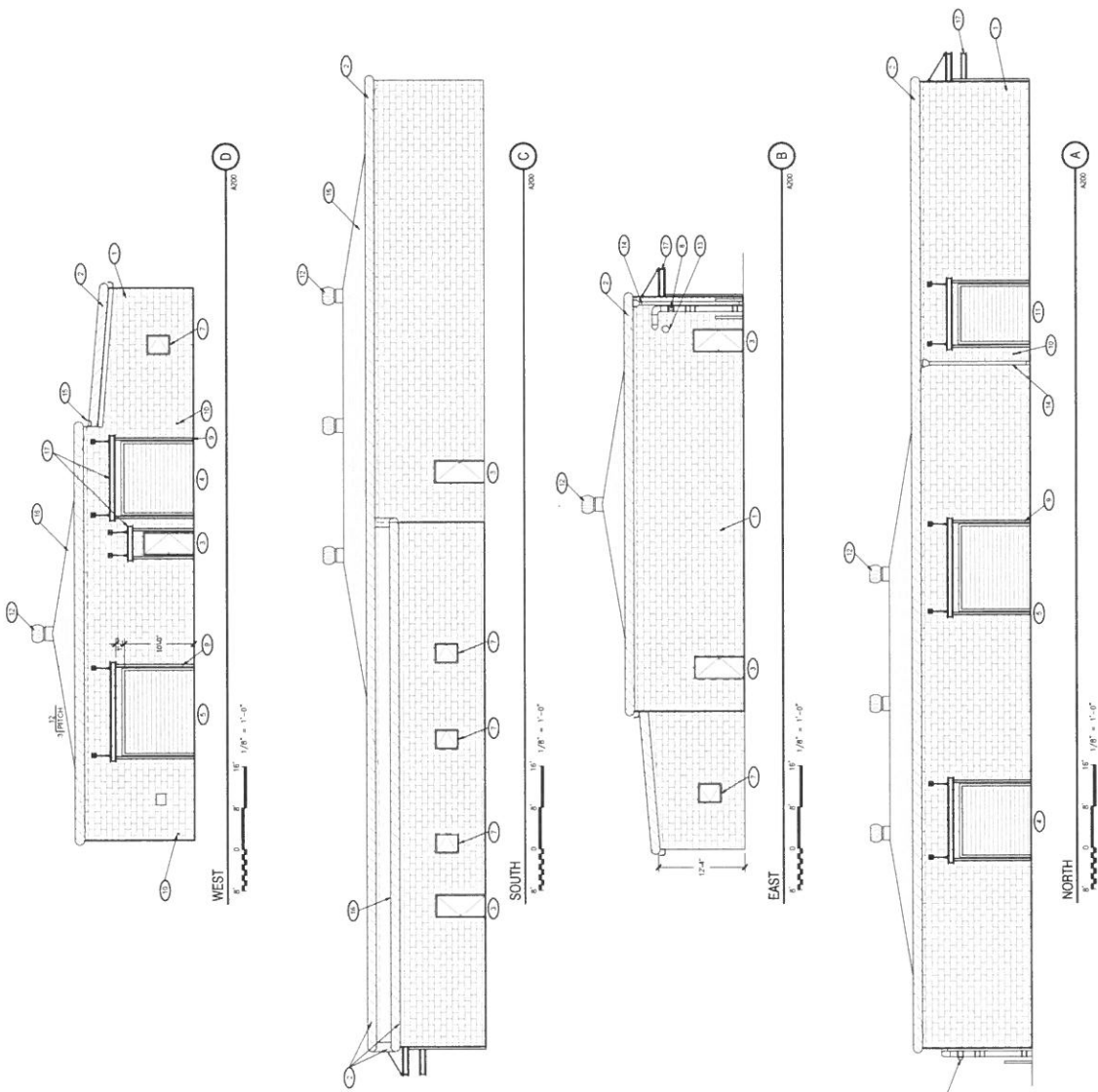


Exhibit "C"

PROPRIETARY:
 INFORMATION CONTAINED HEREIN IS THE PROPERTY OF AMERICAN INCORPORATED AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.
 WITHOUT THE WRITTEN PERMISSION OF AMERICAN INCORPORATED.

NOT FOR CONSTRUCTION
 PRINT
 PROGRESS



REV	DATE	DESCRIPTION

PROJECT: AMERICAN EAST
 CARETAKER QUARTERS
 8945 West Goshen Avenue
 Visalia, CA 93291
 EXTERIOR ELEVATIONS

PROJECT NO: A200
 SHEET NO: 1 OF 14
 DATE: February 4, 2020
 CHECKED BY: BOON
 DRAWN BY: BOON
 PROJECT NO: A200



EXTERIOR ELEVATIONS

1/8" = 1'-0"



January 22, 2020

Martin Hale
1345 N. American
Visalia, CA 93291

Site Plan Review No. 2019-237:

Pursuant to Zoning Ordinance Chapter 17.28 the Site Plan Review process has found that your application complies with the general plan, municipal code, policies, and improvement standards of the city.

Based upon Zoning Ordinance Section 17.28.070, this is your Site Plan Review determination. However, your project requires discretionary action as stated on the attached Site Plan Review comments. You may now proceed with filing discretionary applications to the Planning Division.

This is your Site Plan Review Permit; your Site Plan Review became effective **December 18, 2019**. A site plan review permit shall lapse and become null and void one year following the date of approval unless, prior to the expiration of one year, a building permit is issued by the building official and construction is commenced and diligently pursued toward completion.

If you have any questions regarding this action, please call the Community Development Department at (559) 713-4359.

Respectfully,

A handwritten signature in black ink, appearing to read "Paul Bernal", is written over a large, stylized oval graphic.

Paul Bernal
City Planner
315 E. Acequia Ave.
Visalia, CA 93291

Attachment(s):

- Site Plan Review Comments



#11

MEETING DATE: December 18, 2019

SITE PLAN NO. 19-237

PARCEL MAP NO.

SUBDIVISION:

LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

- RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.
- During site plan design/policy concerns were identified, schedule a meeting with
- Planning Engineering prior to resubmittal plans for Site Plan Review.
- Solid Waste Parks and Recreation Fire Dept.

REVISE AND PROCEED (see below)

A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.

Submit plans for a building permit between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday.

Your plans must be reviewed by:

CITY COUNCIL

REDEVELOPMENT

PLANNING COMMISSION

PARK/RECREATION

Minor CUP

HISTORIC PRESERVATION

OTHER: _____

ADDITIONAL COMMENTS :

If you have any questions or comments, please call (559) 713-4444.

Site Plan Review Committee



**BUILDING/DEVELOPMENT PLAN
REQUIREMENTS
ENGINEERING DIVISION**

Adrian Rubalcaba 713-4271
 713-

ITEM NO: 11 DATE: DECEMBER 18, 2019

SITE PLAN NO.: 19-237
PROJECT TITLE: AMERICAN EAST
DESCRIPTION: CARETAKER QUARTERS
APPLICANT: MARTIN HALE
PROP OWNER: AMERICAN INCORPORATED
LOCATION: 9945 W GOSHEN AVE
APN: 081-100-040

SITE PLAN REVIEW COMMENTS

- REQUIREMENTS (indicated by checked boxes)
- Install curb return with ramp, with _____ radius;
- Install curb; gutter
- Drive approach size: Use radius return;
- Sidewalk: _____ width; _____ parkway width at **COMPLY W/ ACCESSIBILITY ONSITE**
- Repair and/or replace any sidewalk across the public street frontage(s) of the subject site that has become uneven, cracked or damaged and may constitute a tripping hazard.
- Replace any curb and gutter across the public street frontage(s) of the subject site that has become uneven and has created areas where water can stand.
- Right-of-way dedication required. A title report is required for verification of ownership.
- Deed required prior to issuing building permit;
- City Encroachment Permit Required. **FOR ANY WORK NECESSARY IN THE PUBLIC RIGHT-OF-WAY**
Insurance certificate with general & auto liability (\$1 million each) and workers compensation (\$1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit. Contact Encroachment Tech. at 713-4414.
- CalTrans Encroachment Permit required. CalTrans comments required prior to issuing building permit. Contacts: David Deel (Planning) 488-4088;
- Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map.
- Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.
- Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades. Prepared by registered civil engineer or project architect. All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a) directed to the City's existing storm drainage system; b) directed to a permanent on-site basin; or c) directed to a temporary on-site basin is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: _____ : _____ maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance.
- Grading permit is required for clearing and earthwork performed prior to issuance of the building permit.
- Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter = 0.20%, V-gutter = 0.25%)
- Show adjacent property grade elevations. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
- All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications.
- Traffic indexes per city standards:

- Install street striping as required by the City Engineer.
- Install landscape curbing (typical at parking lot planters).
- Minimum paving section for parking: 2" asphalt concrete paving over 4" Class 2 Agg. Base, or 4" concrete pavement over 2" sand.
- Design Paving section to traffic index of 5.0 min. for solid waste truck travel path.
- Provide "R" value tests: each at
- Written comments required from ditch company Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditch; Jerry Hill 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
- Access required on ditch bank, 15' minimum Provide wide riparian dedication from top of bank.
- Show Valley Oak trees with drip lines and adjacent grade elevations. Protect Valley Oak trees during construction in accordance with City requirements.
- A permit is required to remove Valley Oak trees. Contact Public Works Admin at 713-4428 for a Valley Oak tree evaluation or permit to remove. A pre-construction conference is required.
- Relocate existing utility poles and/or facilities.
- Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- Subject to existing Reimbursement Agreement to reimburse prior developer:
- Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
- If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
- If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.
- Comply with prior comments. Resubmit with additional information. Redesign required.

Additional Comments:

- 1. Proposed caretaker quarters onsite will incur impact fees associated with a residential unit type use. Refer to page 3 for applicable fees and summary.***
- 2. A building permit is required, standard plan check and inspection fees will apply.***
- 3. Refer to further entitlement requirements by the Planning Dept.***
- 4. New building shall be connected to City sewer - separate lateral from City main is not required.***
- 5. Maintain required building setbacks.***
- 6. Comply with accessibility.***

SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES

Site Plan No: 19-237
Date: 12/18/2019

Summary of applicable Development Impact Fees to be collected at the time of building permit:

(Preliminary estimate only! Final fees will be based on the development fee schedule in effect at the time of building permit issuance.)

(Fee Schedule Date:8/3/2019)
(Project type for fee rates:ANCILLARY STRUCTURE/RESIDENTIAL)

Existing uses may qualify for credits on Development Impact Fees. **INDUSTRIAL**

FEE ITEM	FEE RATE
<input type="checkbox"/> Groundwater Overdraft Mitigation Fee	
<input checked="" type="checkbox"/> Transportation Impact Fee	\$917/1KSF X 3.9 = \$3,576
<input checked="" type="checkbox"/> Trunk Line Capacity Fee	\$808/UNIT X 1 TREATMENT PLANT FEE: \$802/UNIT X 1
<input type="checkbox"/> Sewer Front Foot Fee	
<input type="checkbox"/> Storm Drain Acq/Dev Fee	
<input type="checkbox"/> Park Acq/Dev Fee	
<input type="checkbox"/> Northeast Specific Plan Fees	
<input type="checkbox"/> Waterways Acquisition Fee	
<input type="checkbox"/> Public Safety Impact Fee: Police	
<input type="checkbox"/> Public Safety Impact Fee: Fire	
<input checked="" type="checkbox"/> Public Facility Impact Fee	\$219/1KSF X 3.9 = \$854
<input type="checkbox"/> Parking In-Lieu	

Reimbursement:

- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.

Adrian Rubalcaba

SITE PLAN REVIEW COMMENTS

Paul Scheibel, Planning Division, (559) 713-4369
Date: December 18, 2019

SITE PLAN NO: 2019-237
PROJECT: American East
DESCRIPTION: CARETAKERS QUARTERS
APPLICANT: MARTIN HALE
PROP. OWNER: AMERICAN INCORPORATED
LOCATION TITLE: 9945 W GOSHEN AVE
APN TITLE: 081-100-040
GENERAL PLAN: Industrial
ZONING: Industrial

Rule 9510 – This project is not subject to the Rule 9510 requirements of the San Joaquin Valley Air Pollution Control District – see District web-site for information.

Planning Division Recommendation:

- Revise and Proceed (CUP, Minor)
 Resubmit

Project Requirements

PROJECT SPECIFIC INFORMATION: December 18, 2019

1. The proposed project meets the Industrial Zone setback requirements.
2. Meet all other applicable codes and ordinances.
- 3.

Staff initial finding is that the proposed use IS CONSISTENT with the City General Plan.

17.20.060 Development standards in the I-L and I zones.

- A. The I-L and I zone districts include streets of varying width, carrying capacity and intended service. The development standards vary by type of street in order to maintain a consistent streetscape and achieve a high quality visual impact necessary to sustain an attractive and viable industrial area. The following development standards shall apply to property located in the I-L and I zones:
- A. Minimum site area: five (5) acres.
- B. Maximum building height: seventy-five (75) feet.
- C. Minimum required yards (building setbacks):
1. Frontage on major road: twenty-five (25) feet. (Major roads are defined as roads shown as arterials or collectors on the Circulation Element Map, including but not limited to Goshen Avenue, Plaza Drive, and Avenue 308);
 2. Frontage on minor road: fifteen (15) feet. (Minor roads are defined as roads shown as local streets on the Circulation Element Map, including but not limited to Elowin Court, Clancy Drive, and Rasmussen Avenue);
 3. Frontage on interior roads: ten (10) feet. (Interior roads provide access only to parcels within a development.);
 4. Rear: zero (0) feet;
 5. Rear yards abutting an R-1 or R-M zone district: twenty (20) feet;
 6. Side: zero (0) feet;
 7. Side yards abutting an R-1 or R-M zone district: twenty (20) feet;
 8. Side abutting railroad right-of-way: twenty-five (25) feet.
- D. Minimum required landscaped yard (setback) areas:

1. Frontage on major road: twenty-five (25) feet. (Major roads are defined as roads shown as arterials or collectors on the Circulation Element Map, including but not limited to Goshen Avenue, Plaza Drive, and Avenue 308);
2. Frontage on minor road: fifteen (15) feet. (Minor roads are defined as roads shown as local streets on the Circulation Element Map, including but not limited to Elowin Court, Clancy Drive, and Rasmussen Avenue);
3. Frontage on interior roads: ten (10) feet. (Interior roads provide access only to parcels within a development.);
4. Rear: zero (0) feet;
5. Rear yards abutting an R-1 or R-M zone district: ten (10) feet;
6. Side: zero (0) feet;
7. Side yards abutting an R-1 or R-M zone district: ten (10) feet;
8. Side abutting railroad right-of-way: twenty-five (25) feet.

Parking:

1. 30% of the required parking stalls may be compact and shall be evenly distributed in the lot.
2. Provide handicapped space(s).
3. An 80 sq. ft. minimum landscape well is required every 10 contiguous parking stalls.
4. No repair work or vehicle servicing allowed in a parking area.
5. It is highly recommended that bicycle rack(s) be provided on site plan.
6. No parking shall be permitted in a required front/rear/side yard.
7. The project should provide preferential parking spaces for carpools and vanpools to decrease the number of single occupant vehicle work trips. The preferential treatment could include covered parking spaces or close-in parking spaces, or designated free parking, or a guaranteed space for the vehicle.

Fencing and Screening:

1. Provide screening for roof mounted equipment (Zoning Ordinance Section 17.30.130.F).
2. Provide screened trash enclosure with solid screening gates (Zoning Ordinance Section 17.30.130.F).
3. Provide solid screening of all outdoor storage areas. Outdoor storage to be screened from public view with solid material (Zoning Ordinance Section 17.30.130.F).
4. NOTE: The maximum height of block walls and fences is 7-feet in the appropriate setback areas.

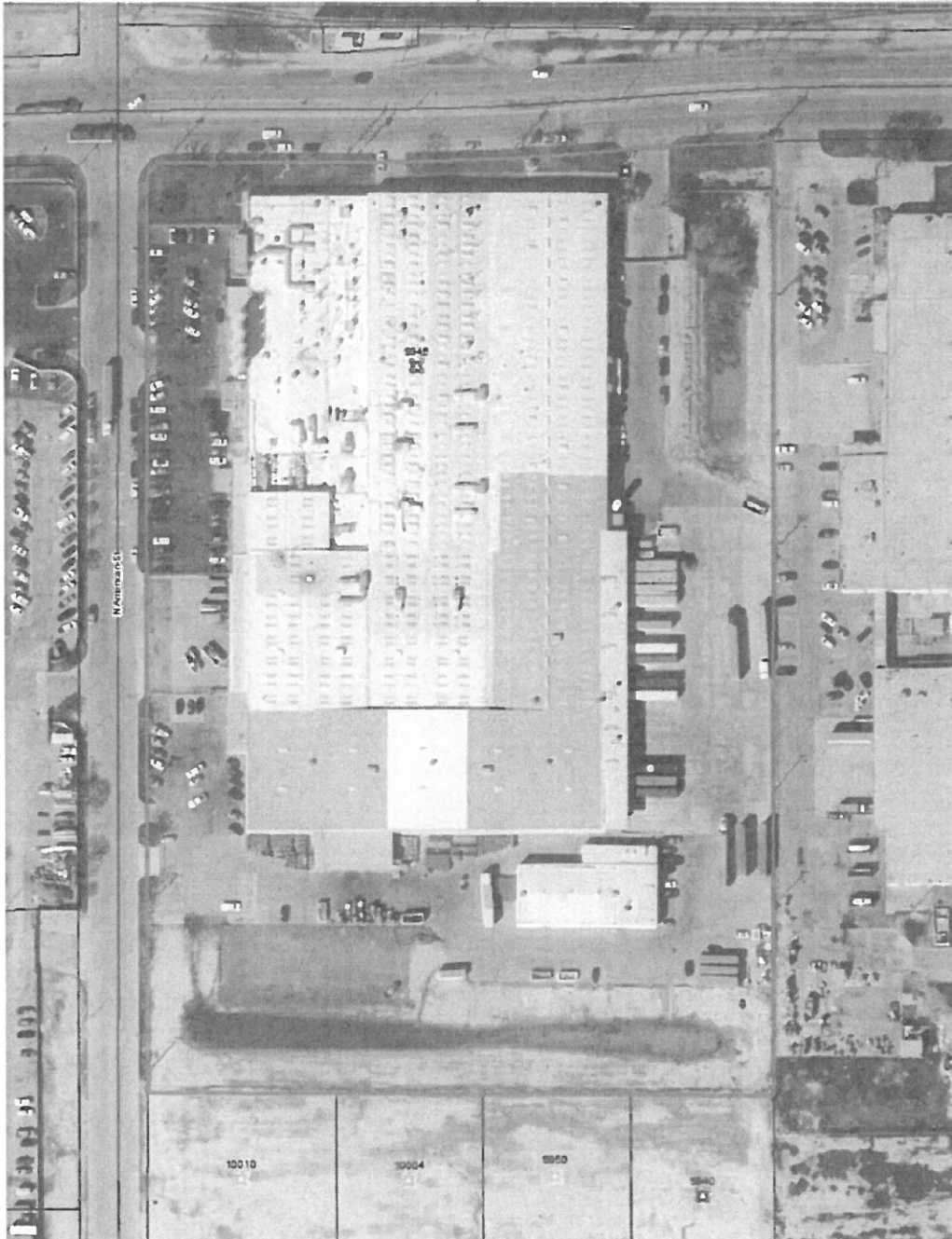
Landscaping:

1. The City has adopted the State Water Efficient Landscape Ordinance. The ordinance applies to projects installing 2,500 square feet or more of landscaping. It requires that landscaping and irrigation plans be certified by a qualified entity (i.e., Landscape Architect) as meeting the State water conservation requirements. The City's implementation of this new State law will be accomplished by self-certification of the final landscape and irrigation plans by a California licensed landscape architect or other qualified entity with sections signed by appropriately licensed or certified persons as required by the ordinance. Provide street trees at an average of 20-feet on center along street frontages. All trees to be 15-gallon minimum size (Zoning Ordinance Section 17.30.015-2).
2. All landscape areas to be protected with 6-inch concrete curbs (Zoning Ordinance Section 17.30.130.F).
3. Provide a detailed landscape and irrigation plan as a part of the building permit package (Zoning Ordinance Section 17.34.040).
4. An 80 sq. ft. minimum landscape well is required every 10 contiguous parking stalls (Zoning Ordinance Section 17.30.130.C).
5. Maintenance of landscaped areas. - A landscaped area provided in compliance with the regulations prescribed in this title or as a condition of a use permit or variance shall be planted with materials

suitable for screening or ornamenting the site, whichever is appropriate, and plant materials shall be maintained and replaced as needed, to screen or ornament the site. (Prior code § 7484)

NOTE: Staff recommendations contained in this document are not to be considered support for a particular action or project unless otherwise stated in the comments. The comments found on this document pertain to the site plan submitted for review on the above referenced date. Any changes made to the plan submitted must be submitted for additional review.

Signature _____



City of Visalia
Building: Site Plan
Review Comments

SPR19237
CARETAKER QUARTERS
9945 W GOSHEN
AVE

NOTE: These are general comments and DO NOT constitute a complete plan check for your specific project
Please refer to the applicable California Code & local ordinance for additional requirements.

- A building permit will be required. *For information call (559) 713-4444*
- Submit 1 digital set of professionally prepared plans and 1 set of calculations. (Small Tenant Improvements)
- Submit 1 digital set of plans prepared by an architect or engineer. Must comply with 2016 California Building Cod Sec. 2308 for conventional light-frame construction or submit 1 digital set of engineered calculations.
- Indicate abandoned wells, septic systems and excavations on construction plans.
- You are responsible to ensure compliance with the following checked items:
- Meet State and Federal requirements for accessibility for persons with disabilities.
- A path of travel, parking and common area must comply with requirements for access for persons with disabilities.
- All accessible units required to be adaptable for persons with disabilities.
- Maintain sound transmission control between units minimum of 50 STC.
- Maintain fire-resistive requirements at property lines.
- A demolition permit & deposit is required. *For information call (559) 713-4444*
- Obtain required permits from San Joaquin Valley Air Pollution Board. *For information call (661) 392-5500*
- Plans must be approved by the Tulare County Health Department. *For information call (559) 624-8011*
- Project is located in flood zone _____ * Hazardous materials report.
- Arrange for an on-site inspection. (Fee for inspection \$157.00) *For information call (559) 713-4444*
- School Development fees. Commercial \$0.61 per square foot. Residential \$3.79 per square foot.
- Park Development fee \$ _____, per unit collected with building permits.
- Additional address may be required for each structure located on the site. *For information call (559) 713-4320*
- Acceptable as submitted
- No comments at this time

Additional comments: FIRE WALLS SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAT REQUIRED BY TABLE 706.4 S1 = 3HR AND R3 = 2 USE MOST RESTRICTED.

VALCARRIA 12/13/19
Signature



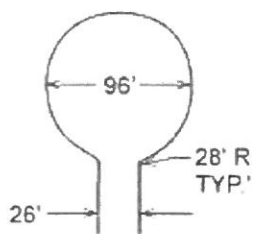
Site Plan Comments

Visalia Fire Department
Corbin Reed, Fire Marshal
420 N. Burke
Visalia CA 93292
559-713-4272 office
prevention.division@visalia.city

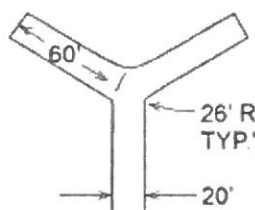
Date	December 16, 2019
Item #	11
Site Plan #	237
APN:	081100040

- The Site Plan Review comments are issued as **general overview** of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2016 California Fire Code (CFC), 2016 California Building Codes (CBC) and City of Visalia Municipal Codes.
- All **fire detection, alarm, and extinguishing systems** in existing buildings shall be maintained in an operative condition at all times and shall be replaced or repaired where defective. If building has been vacant for a significant amount of time, the fire detection, alarm, and or extinguishing systems may need to be evaluated by a licensed professional. 2016 CFC 901.6
- **Address numbers** must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least four inches (4") high and shall be of a color to contrast with their background. If multiple addresses served are by a common driveway, the range of numbers shall be posted at the roadway/driveway. 2016 CFC 505.1
- All hardware on **exit doors, illuminated exit signs and emergency lighting** shall comply with the 2016 California Fire Code. This includes all locks, latches, bolt locks, panic hardware, fire exit hardware and gates.
- **Commercial dumpsters** with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system. 2016 CFC 304.3.3
- A **Knox Box key lock system** is required. Where access to or within a structure or area is restricted because of secured openings (doors and/or gates), a key box is to be installed in an approved location. The key box shall be ordered using an approved Knox Authorization Order Form. The forms are located at the fire department administration office located at 420 N Burke, Visalia, CA 93292. Please allow adequate time for shipping and installation. 2016 CFC 506.1
- If your business handles **hazardous material** in amounts that exceed the Maximum Allowable Quantities listed on Table 5003.1.1(1), 5003.1.1(2), 5003.1.1(3) and 5003.1.1(4) of the 2016 California Fire Code, you are required to submit an emergency response plan to the Tulare County Health Department. Also you shall indicate the quantities on your building plans and prior to the building final inspection a copy of your emergency response plan and Safety Data Sheets shall be submitted to the Visalia Fire Department.

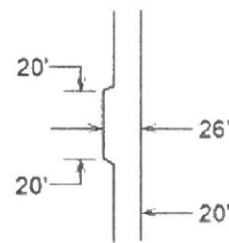
- A **fire apparatus access road(s)** shall be provided and extend within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Minimum turning radius for emergency fire apparatus shall be 20 feet inside radius and 43 feet outside radius. Fire apparatus access roads shall have an unobstructed width of not less than the following (2016 CFC 503.1.1)
 - 20 feet width, exclusive of shoulders (No Parking)
 - More than 26 feet width, exclusive of shoulders (No Parking one side)
 - More than 32 feet wide, exclusive of shoulders (Parking permitted on both sides)
- Buildings or portions of buildings or facilities with a vertical distance between the grade plan and the highest roof surface that exceed 30 feet shall provide an approved **fire apparatus access road** capable of accommodating fire department aerial apparatus.
 - Access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders.
 - Access routes shall be located within a minimum of 15 feet and maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building.
 - Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building.
- Fire apparatus access roads in excess of 150 feet that dead end shall be provided with a **turnaround**. Fire apparatus access roads with a length of 151-500 feet shall be a minimum of 20 feet in width. Length of 501-750 feet shall be 26 feet in width. 2016 CFC Table D103.4



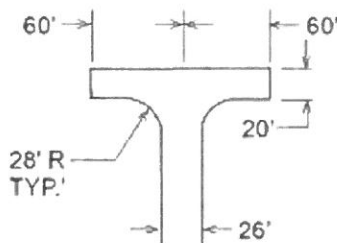
96' DIAMETER
CUL-DE-SAC



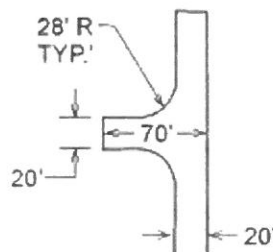
60' "Y"



MINIMUM CLEARANCE
AROUND A FIRE
HYDRANT



120' HAMMERHEAD



ACCEPTABLE ALTERNATIVE
TO 120' HAMMERHEAD

- Approved **No PARKING – FIRE LANE** signs shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. Signs shall have a minimum dimension of 12 inches wide by 18 inches high and have red letters on a white reflective background. 2013 CFC 503.3/ D103.6



- **Gates on access roads** shall be a minimum width of 20 feet and shall comply with the following (2016 CFC D103.5):
 - Gates shall be of the swinging or sliding type.
 - Gates shall allow manual operation by one person (power outages).
 - Gates shall be maintained in an operative condition at all times.
 - Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. Note: Knox boxes shall be ordered using an approved Knox Authorization Order Form. The forms can be obtained at the Visalia Fire Department administration office located at 420 N Burke, Visalia, CA 93292. Please allow adequate time for shipping and installation.
- An **automatic fire sprinkler system** will be required for this building. Also, a fire hydrant is required within 50 feet of the Fire Department Connection (FDC). Where an existing building is retrofitted with a sprinkler system (NFPA 13 or NFPA 13R) a fire hydrant shall be provided within 75 feet of the FDC. An additional 25 feet of distance between a fire hydrant and FDC may be granted when a fire sprinkler Density is designed with an additional 25%. 2016 CFC 912 and Visalia Municipal Code 8.20.010 subsection C103.4
- Locking **fire department connection (FDC) caps** are required. The caps shall be ordered using an approved Knox Authorization Order Form. The forms are located at the fire department administration office located at 420 N Burke, Visalia, CA 93292. 2016 CFC 912.4.1



 Corbin Reed
 Fire Marshal

SITE PLAN REVIEW COMMENTS

CITY OF VISALIA TRAFFIC SAFETY DIVISION

December 18, 2019

ITEM NO: 11

SITE PLAN NO: SPR19237

PROJECT TITLE: American East

DESCRIPTION: Caretaker Quarters

APPLICANT: Martin Hale

OWNER: AMERICAN INCORPORATED

APN: 081100040

LOCATION: 9945 W GOSHEN AVE

THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY

- No Comments
- See Previous Site Plan Comments
- Install Street Light(s) per City Standards.
- Install Street Name Blades at Locations.
- Install Stop Signs at Locations.
- Construct parking per City Standards PK-1 through PK-4.
- Construct drive approach per City Standards.
- Traffic Impact Analysis required (CUP)
 - Provide more traffic information such as . Depending on development size, characteristics, etc., a TIA may be required.
- Additional traffic information required (Non Discretionary)
 - Trip Generation - Provide documentation as to concurrence with General Plan.
 - Site Specific - Evaluate access points and provide documentation of conformance with COV standards. If noncomplying, provide explanation.
 - Traffic Impact Fee (TIF) Program - Identify improvements needed in concurrence with TIF.

Additional Comments:

•



Leslie Blair

Site Plan Review Comments For:

California Water Service
Stuart Skoglund, Superintendent
216 N. Valley Oaks Dr.
Visalia, CA 93292
559-624-1662 Office
559-735-3189 Fax

Date: 12/18/2019

Item # 11

Site Plan # 19-237

Project: American East

Description:

Applicant:

Location: 9945 W Goshen

APN:

The following comments are applicable when checked:

No comments at this time

Fire Hydrants
Comments-

Services
Comments-

Mains
Comments-

Backflow requirements
Comments-

Additional Comments:

Stuart Skoglund
Superintendent

CITY OF VISALIA
SOLID WASTE DIVISION
336 N. BEN MADDOX
VISALIA CA. 93291
713 - 4500

19237

COMMERCIAL BIN SERVICE

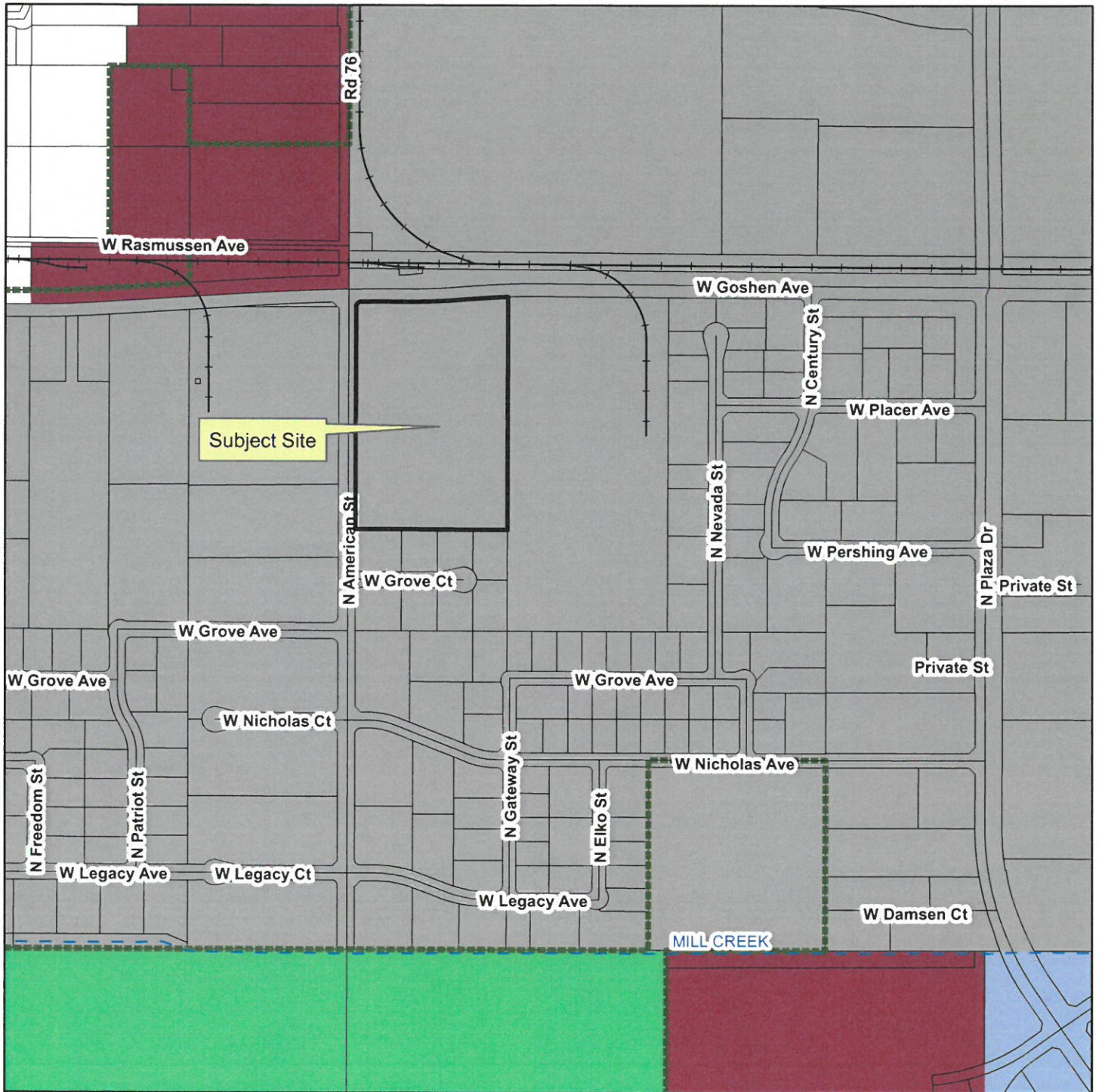
- No comments.
- See comments below
- Revisions required prior to submitting final plans. See comments below.
- Resubmittal required. See comments below.
- Customer responsible for all cardboard and other bulky recyclables to be broken down before disposing of in recycle containers
- ALL refuse enclosures must be R-3 OR R-4
- Customer must provide combination or keys for access to locked gates/bins
- Type of refuse service not indicated.
- Location of bin enclosure not acceptable. See comments below.
- Bin enclosure not to city standards double.
- Inadequate number of bins to provide sufficient service. See comments below.
- Drive approach too narrow for refuse trucks access. See comments below.
- Area not adequate for allowing refuse truck turning radius of : Commercial 50 ft. outside 36 ft. inside; Residential 35 ft. outside, 20 ft. inside.
- Paved areas should be engineered to withstand a 55,000 lb. refuse truck.
- Bin enclosure gates are required
- Hammerhead turnaround must be built per city standards.
- Cul - de - sac must be built per city standards.
- Bin enclosures are for city refuse containers only. Grease drums or any other items are not allowed to be stored inside bin enclosures.
- Area in front of refuse enclosure must be marked off indicating no parking
- Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS) with no less than 38' clear space in front of the bin, included the front concrete pad.
- Customer will be required to roll container out to curb for service.
- Must be a concrete slab in front of enclosure as per city standards, the width of the enclosure by ten(10) feet, minimum of six(6) inches in depth.
- Roll off compactor's must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow the truck enough room to provide service.
- City ordinance 8.28.120-130 (effective 07/19/18) requires contractor to contract with City for removal of construction debris unless transported in equipment owned by contractor or unless contracting with a franchise permittee for removal of debris utilizing roll-off boxes.
- Comment Type of refuse service not located or indicated.

Jim Ross, Solid Waste Manager, 559-713-4533
Edward Zuniga, Solid Waste Supervisor, 559-713-4338

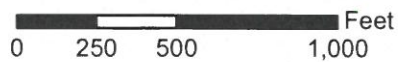


Conditional Use Permit No. 2020-04

The site is located at 9945 W. Goshen Avenue (APN: 081-100-040).



General Plan Land Use Map

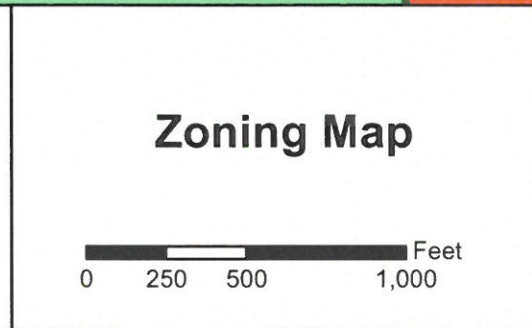
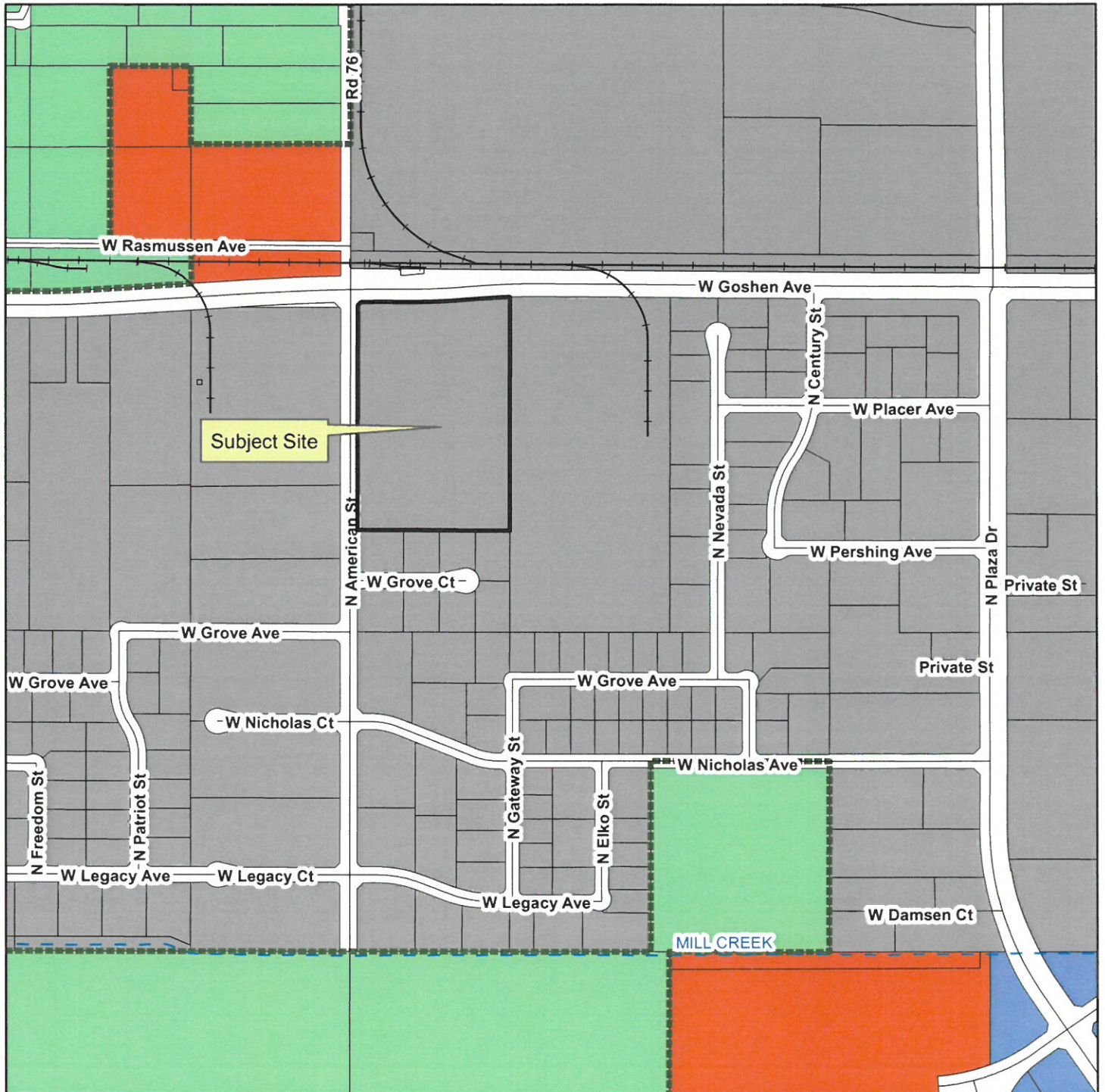


- Agriculture
- Business Research Park
- Commercial Service
- Industrial



Conditional Use Permit No. 2020-04

The site is located at 9945 W. Goshen Avenue (APN: 081-100-040).



Conditional Use Permit No. 2020-04

The site is located at 9945 W. Goshen Avenue (APN: 081-100-040).



Aerial Photo

Photo Taken March 2018



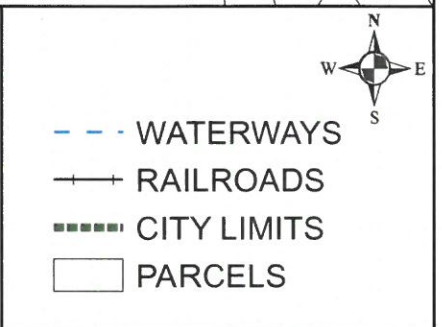
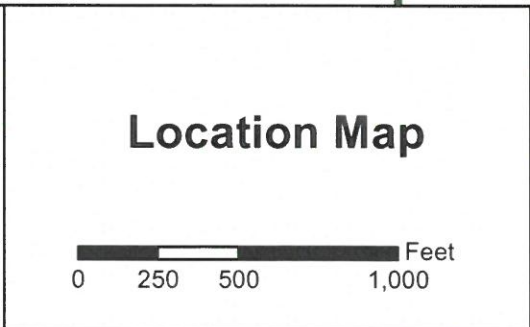
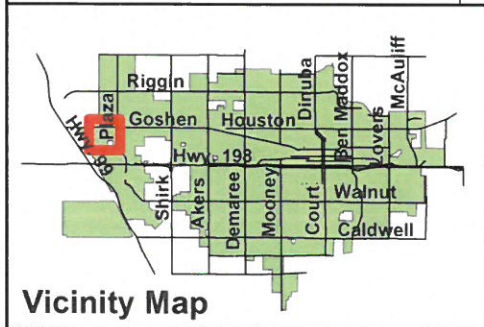
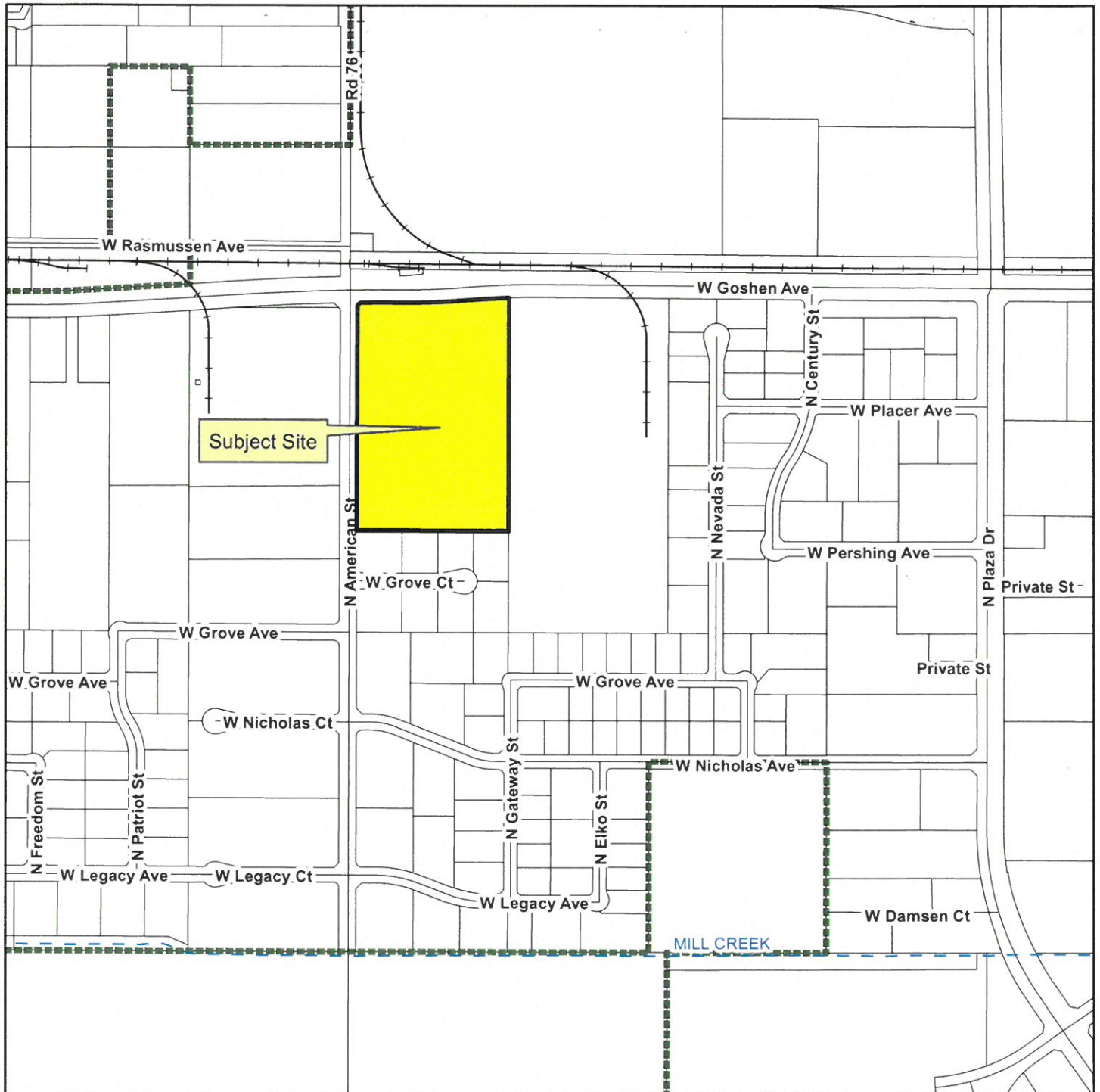
Legend:

- WATERWAYS
- +— RAILROADS
- CITY LIMITS
- PARCELS

North arrow pointing North (N), South (S), East (E), and West (W).

Conditional Use Permit No. 2020-04

The site is located at 9945 W. Goshen Avenue (APN: 081-100-040).



NOTICE OF EXEMPTION

City of Visalia
315 E. Acequia Ave.
Visalia, CA 93291

To: County Clerk
County of Tulare
County Civic Center
Visalia, CA 93291-4593

Conditional Use Permit No. 2020-04

PROJECT TITLE

The site is located at 9945 W. Goshen Avenue (APN: 081-100-040).

PROJECT LOCATION

Visalia

PROJECT LOCATION - CITY

Tulare

COUNTY

A request to add two caretakers' residences to an existing industrial development within the I (Industrial) Zone.

DESCRIPTION - Nature, Purpose, & Beneficiaries of Project

City of Visalia, 315 E. Acequia Avenue, Visalia, CA 93291, Email: brandon.smith@visalia.city

NAME OF PUBLIC AGENCY APPROVING PROJECT

American Incorporated c/o Corwyn "Butch" Oldfield, 1345 N. American Street, Visalia, CA 93291; Email: boldfield@aminc.com

NAME AND ADDRESS OF APPLICANT CARRYING OUT PROJECT

N/A

NAME AND ADDRESS OF AGENT CARRYING OUT PROJECT

EXEMPT STATUS: (Check one)

- Ministerial - Section 15073
- Emergency Project - Section 15071
- Categorical Exemption - State type and Section number: **Section 15303**
- Statutory Exemptions- State code number:

The site meets the conditions for the conversion of a small structures (i.e. garage) into two residential units with no additional building space being added.

REASON FOR PROJECT EXEMPTION

Brandon Smith, Senior Planner

CONTACT PERSON

(559) 713-4636

AREA CODE/PHONE

March 23, 2020

DATE

Brandon Smith, AICP
ENVIRONMENTAL COORDINATOR