

PLANNING COMMISSION AGENDA

CHAIRPERSON:

Brett Taylor



VICE CHAIRPERSON:

Liz Wynn

COMMISSIONERS: Brett Taylor, Liz Wynn, Chris Gomez, Marvin Hansen, Sarrah Peariso

MONDAY, SEPTEMBER 24, 2018; 7:00 P.M., COUNCIL CHAMBERS, 707 W. ACEQUIA, VISALIA CA

1. THE PLEDGE OF ALLEGIANCE –
2. CITIZEN'S COMMENTS – This is the time for citizens to comment on subject matters that are not on the agenda but are within the jurisdiction of the Visalia Planning Commission. The Commission requests that a 5-minute time limit be observed for comments. Please begin your comments by stating and spelling your name and city. Please note that issues raised under Citizen's Comments are informational only and the Commission will not take action at this time.
3. CHANGES OR COMMENTS TO THE AGENDA–
4. CONSENT CALENDAR - All items under the consent calendar are to be considered routine and will be enacted by one motion. For any discussion of an item on the consent calendar, it will be removed at the request of the Commission and made a part of the regular agenda.
 - Time Extension for Highland Park at Shannon Ranch Tentative Subdivision Map No. 5509 and Conditional Use Permit No. 2012-27
 - Time Extension for Highland Park Estates Tentative Subdivision Map No. 5510
5. WORK SESSION – Paul Scheibel
 - 5-Pack Residential Development Considerations
6. DIRECTOR'S REPORT/ PLANNING COMMISSION DISCUSSION-
 - Planning Commission meeting October 8, 2018
 - City Council to consider GPA/COZ regarding Rule 9510 at their October 1, 2018 meeting.
 - County EIR for Sequoia Gateway Commerce Park Project

The Planning Commission meeting may end no later than 11:00 P.M. Any unfinished business may be continued to a future date and time to be determined by the Commission at this meeting. The Planning Commission routinely visits the project sites listed on the agenda.

For Hearing Impaired – Call (559) 713-4900 (TTY) 48-hours in advance of the scheduled meeting time to request signing services.

Any written materials relating to an item on this agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the City Office, 315 E. Acequia Visalia, CA 93291, during normal business hours.

THE NEXT REGULAR MEETING WILL BE HELD ON MONDAY, OCTOBER 8, 2018

City of Visalia



To: Visalia Planning Commission
From: Paul Scheibel, AICP, Principal Planner
Subject: 5-Pack Residential Development Considerations
Date: September 24, 2018
RE: **Work Session Report Regarding 5-Pack Residential Developments**

PURPOSE

The purpose of this work session is to review the 5-Pack residential development concept, and to provide the City Council with the Planning Commission's consensus observations and recommendations pertaining to this emerging residential development concept.

BACKGROUND AND SUMMARY

A 5-Pack residential development is classified under the City's Zoning Ordinance as a Planned Residential Development (PRD). PRD's are processed under the provisions of Zoning Ordinance Chapter 17.26 (please see Attachment 1). PRD's are entitled through the Conditional Use Permit (CUP) public hearing process. The CUP process allows for deviations from the zoning standards for the Zone District in which the PRD is proposed, while allowing the City to impose special conditions on the project as appropriate. The intent of processing a PRD development project is to allow the City to weigh the intended benefits of the project (such as increased density, more affordable design, or preserving important natural features) with the degree to which the applicant requests deviation from the underlying zoning standards (private streets, reduced lot areas, modified setbacks, etc.).

The City processed the first of three 5-Pack residential development projects in early 2016 (Catalina, see Attachment 2). Subsequently, two additional 5-Pack developments (The Grove and Lowery West, see Attachment's 3 and 4) have been conditionally approved by the Planning Commission. Staff's estimate, based on discussions with area developers and real estate agents, is that this development concept will continue to grow in popularity as an option in providing relatively affordable new entry level houses.

Recently, City councilmembers met with representatives of the California Water Company (Cal Water) to discuss 5-Pack developments. During the course of the discussions, the Cal Water representatives expressed their concerns about the difficulty of providing domestic water lines to each individual lot/unit within a 5-Pack configuration. The councilmembers subsequently brought this concern to the attention of the City Manager and staff. In addition, the councilmembers raised concerns regarding the ability to provide solid waste service given the City's transition to a three-can receptacle system. The councilmembers requested that a Work Session be scheduled to discuss the Cal Water concerns and any other concerns that may have emerged in light of the three current 5-Pack entitlements. The City Manager agreed to the request, but requested that the Planning Commission first provide their input on the subject.

DISCUSSION

The following topics are integral with the discussion of 5-Pack developments, as evidenced by the City councilmember's concerns about water and solid waste service, and by the testimony and discussions in previous Planning Commission public hearings precedent to the Commission's final votes on the three 5-Pack projects.

Domestic Water Service:

Cal Water has provided "Will Serve" letters for each of the 5-Pack projects, and per discussion with Cal Water staff, it will continue to do so for the foreseeable future. At issue is physical placement of the water meters and lines for each resident. Cal Water has stated they will only install meters at the property line rather than at the building (unlike SCE and Southern California Gas Co. which places their meters at or on the structure). Consequently, space in the street or in a utility easement must be accommodated for up to five meters based on the 5-Pack lotting pattern. Further, Cal Water will not allow the supply pipes to each of the residences/lots to cross property lines. Finally, Cal Water will require backflow preventers to be installed with each meter connection beginning with the Lowery West project.

This situation is not unique to 5-Pack developments. The same problems of crossing property lines, accommodating multiple meters at the street or front yard area may also apply to new multi-family residential projects (including four-plex units and large apartment buildings).

City staff has begun requiring that the water meter/backflow preventer locations be plotted on the site plan detail sheets. This will allow Cal Water staff to verify their ability to serve each 5-Pack configuration. Requiring this detailed information will allow for full disclosure of the impact of this infrastructure on front yard setbacks net lot size, and landscaping for future homeowners. In addition, the concern about water service piping crossing individual property lines warrants working with project proponents and utility service providers to develop creative solutions to this problem, such as making the common driveways part of a Homeowners Association (HOA), or incorporating a public utility easement within each 5-Pack configuration during the Site Plan Review process.

Solid Waste Receptacles:

The City presently uses a two-can refuse pick up system; but is transitioning at this time to a three-can system; one can each for solid waste, recyclable materials, and green waste. Each can measures 30-inches in width and 35-inches in depth, and requires an unobstructed separation between containers of three feet. On a worst-case basis all three cans would be at curbside on the same day, necessitating a linear curb area of 13.5 feet per unit (67.5 feet per 5-Pack cluster). However, the City's current refuse pick up schedule for residential service is done over two days (solid waste/recycling on one day with green waste the following day).

The City has applied this requirement to all three projects to date. The City has given the applicant the option of delineating the can locations areas at the curb and identifying them as no parking areas; or restricting street parking altogether on trash pick-up days, an example of the receptacle location is provided as Attachment 5. Either method has been deemed acceptable to the City's Solid Waste division.

Homeowners Association (HOA):

The City has processed three 5-Pack subdivision projects. Two of these projects have their underlying common space areas such as shared driveways regulated through a Shared Driveway Easement and Maintenance Agreement (SDE&MA). The two projects that used the SDE&MA are the Catalina and the Grove Subdivisions (see Attachments 2 and 3). The SDE&MA type of agreement is similar to Conditions, Covenants, and Restrictions (CC&Rs) which are private agreements among property owners, but are not enforceable by the City. This agreement is limited to the relationship expectations among the private property owners. The streets and perimeter landscaping are maintained through Landscaping and Lighting District (LLD), as is common with standard subdivisions.

One project, the Lowery West subdivision was proposed and approved with an HOA requirement. This was due in large part to the gated subdivision and private streets proposed in the subdivision. Under the City's Zoning and Subdivision regulations, developments with private streets require an HOA to own and maintain these common areas.

An HOA has advantages over other less formal maintenance agreements because it creates an elected entity with financial resources and authority to which the property owners can rely on to perform and enforce both common area standards and individual property owner obligations. Opponents of HOAs for these projects claim the added costs of the HOA reduces the funding eligibility of first-time homebuyers seeking entry level housing, for which 5-Pack developments are considered optimal housing options.

The Planning Commission has expressed concern regarding responsibility for landscape and common use areas. For future 5-Pack projects, the Planning Commission could consider the following:

1. Require an HOA requirement for these developments if the common use areas and landscaping areas become a demonstrable concern.
2. Allow these types of developments to use CC&R's or SDE&MA agreements to address common use areas and landscaping areas.

Parking:

The Zoning Ordinance (Section 17.34.020.A.11) requires two parking spaces per single-family residential unit. In addition, most single family residences have a 22-foot long driveway fronting the garage unit. The three 5-Pack projects reviewed to date have met this requirement, including an average 20-foot long driveway apron between the garage and the common driveway (which is restricted from vehicle parking).

Consequently, each 5-Pack unit approved thus far contains four on-site parking spaces per unit, which is similar to standard subdivision houses/lots. In addition, the Catalina and Grove projects have 60-foot wide public streets (40 feet curb to curb width) that allow for parking on both sides of the street. However, the Lowery West project was approved with 38-foot wide private streets (38-feet curb to curb with no sidewalks or parkway strips) that typically allow for parking on no more than one side of the street.

The Planning Commission has expressed concern that 5-Pack projects with private streets may lack adequate off-site (street) parking for the true needs of the project. For example, if residents use their garages for storage rather than parking, the need for parking shifts to the private driveway aprons or to the adjacent streets. For future projects that propose private streets, the Planning Commission could consider several options if the parking becomes a demonstrable concern:

1. Require street widths to be wide enough to allow parking on both sides of the street (38-40 feet curb to curb width).
2. Require guest parking areas within the project, similar to multi-family projects [.25 parking spaces per unit is the Zoning Ordinance standard (Section 17.34.020.2.b.)].

Sidewalks:

As noted above, the Catalina and Grove projects feature public streets built to City standards. This includes sidewalks and parkway strips on both sides of the street. This configuration maximizes pedestrian accessibility throughout the project site. The Lowery West project has private streets without sidewalks or parkway strips.

The Planning Commission expressed concerns about the reduced street widths and lack of sidewalks within the Lowery West project. The Planning Commission ultimately approved the project in part based on the applicant's argument that pedestrians could still safely walk in the paved street segments because the site has controlled access and exclusively internal circulation.

Please note, there are several subdivision's that have either private or public streets that are developed without sidewalks. The Zoning Ordinance does allow Planning Commission to consider variations to normal city street standards, including private gated developments that do not include sidewalks.

Based on Planning Commission's previous discussions regarding sidewalk requirements for private gated/street developments, the Planning Commission could consider the following:

1. Require sidewalks on both sides of the street for private gated subdivisions.
2. Require sidewalks on one side of the street for private gated subdivisions.

Useable Open Space:

Zoning Ordinance section 17.26.040.C. requires that useable open space be provided for all residential planned developments. The Code section specifically requires that useable open space include a minimum of five percent of the net site area. However, the requirement may be waived where the net lot area of each unit meets or exceeds the minimum lot area standard of the underlying zone district.

In the case of the three 5-Pack projects approved by the City, the average net lot area per unit is approximately 5,000 sq. ft., which meets the minimum lot size of the R-1 Zoned district. The Catalina project is located in the R-M-2 (Multi-family Residential) Zone District, which requires only 3,000 sq. ft. of lot area per unit. However, the average rear yard setbacks of these units are 10-feet, as compared with the typical 20-foot rear setback of a standard R-1 residential lot. This poses a discrepancy in terms of "useable open space" in that the 5-Pack units typically provide only 1,000 sq. ft. or less rear yard area; whereas a standard residential lot must provide at least 1,500 sq. ft. of rear yard area, per ZO section 17.12.100A.

The Planning Commission expressed their concern with adequate open space for the Lowery West project. In response the applicant agreed to voluntarily convert one large lot to a pocket park. This was a viable solution because the site is maintained through an HOA. Conversely, projects not within an HOA area do not have this option because the City's policy is to not accept dedication of nor maintain pocket parks.

The Planning Commission may rely on the five percent useable open space criteria (Zoning Ordinance Section 17.26.040.C.) as being an acceptable solution for useable open space. Alternately, the Planning Commission could determine that a minimum 1,500 sq. ft. of rear and/or contiguous side yard area be incorporated into each 5-Pack lot. An additional alternative is for the Planning Commission to require a pocket park or other type of common area recreation facility per 5-Pack project. However, as noted above, this latter solution would require the establishment of an HOA with the project.

The Planning Commission may consider any of the following:

1. Continue to rely on the five percent useable open space criteria per Section 17.26.040.C.
2. Require that a minimum 1,500 sq. ft. of rear and/or contiguous side yard area be incorporated into each 5-Pack lot.
3. Require a pocket park or other type of common area recreation facility per 5-Pack project.

Submittal Materials and Exhibits:

5-Pack developments are typically processed as a Tentative Subdivision Map (TSM) and Conditional Use Permit (CUP) (please see application forms, Attachments 7 and 8). 5-Pack PRD applications that are filed with the City are required to provide similar exhibits and materials as a standard subdivision, including lot configurations, building footprints, area calculations and similar information.

Conceptual building elevations are not presently required for most projects, although they are often included in the application. Floor Plans are not typically included in the application submittals. The reason these materials have not been requested is that the City does not typically exercise discretionary review authority over single-family residential elevations and floor plans.

There are several information items that future 5-Pack applications will require, including utility locations, open space calculations, and the trash receptacle curb pickup locations. The Planning Commission may desire to direct additional information with this type of submittal, based on the need to make positive findings of the relationship of the proposed uses within the project, their compatibility with adjacent uses, and consistency with the General Plan, Zoning and Subdivision Ordinances.

City Council Review

Staff will be presenting this Work Session item to the City Council at their October 15, 2018 meeting. Planning Commission's consensus resulting in recommended changes for items presented will be included as recommendations for City Council consideration. All other comments received without consensus will be included in the report, but will not include recommendations for those items.

Attachments:

1. Zoning Ordinance Chapter 17.26 (Planned Developments)
2. Catalina Subdivision Exhibit
3. The Grove Subdivision Exhibit
4. Lowery west Subdivision Exhibit
5. Trash Pick Up Detail
6. Zoning Ordinance Chapter 17.12 (Single-Family Residential Zone)
7. Tentative Subdivision Map Application
8. Conditional Use Permit Application
9. Typical 5-Pack Design

Chapter 17.26 PLANNED DEVELOPMENT

Sections:

- 17.26.010 Purpose and intent.**
- 17.26.020 Definitions.**
- 17.26.030 Location.**
- 17.26.040 Development standards.**
- 17.26.050 Application procedures.**
- 17.26.060 Exceptions.**
- 17.26.070 Amendments.**
- 17.26.080 Timing.**

17.26.010 Purpose and intent.

The purpose and intent of the Planned Development regulations contained in this chapter is to provide for land development consisting of a related group of residential housing types or commercial uses, including but not limited to, attached or detached single-family housing, cluster housing, patio homes, town houses, apartments, condominiums or cooperatives or any combination thereof and including related open spaces and community services consisting of recreational, commercial and offices, infrastructure, maintenance and operational facilities essential to the development, all comprehensively planned. Such land development normally requires deviation from the normal zoning regulations and standards regarding lot size, yard requirements, bulk and structural coverage in an effort to maximize the benefits accruing to the citizens of Visalia.

17.26.020 Definitions.

For the purposes of this chapter the following definitions shall apply:

"Density bonus" means dwelling unit increases based on project amenities provided as part of a planned development.

City of Visalia Municipal Code Title 17 - Zoning Ordinance

"Dwelling unit" means one or more habitable rooms, designed for or used by one family for living and sleeping purposes and having only one kitchen or kitchenette. Dwelling unit can include various types including, but not limited to, attached or detached single-family homes, cluster homes, patio homes, town houses, condominiums, apartments, or cooperatives.

"Environment, natural" means the physical condition of a proposed PD site prior to proposed development; including, but not limited to, natural features such as waterways, vegetation, topographical features, and animal life.

"Homeowner's association" means an incorporated entity formed under applicable laws and including all properties within a planned development. Such association normally maintains and administers the common open space associated with a planned development.

"Lot or parcel net area" means the land area contained within the boundary of a lot or parcel. Land within public or private streets or property held in common for a particular development amenity is not considered as "net lot area."

"Maintenance district" means an assessment district formed under applicable laws that pays for maintaining dedicated or private open space facilities.

"Neighborhood commercial center" means a convenience shopping complex providing services within a neighborhood and meeting applicable ordinance and general plan requirements.

"Open space" means the area within a planned development not occupied with structures, driveways or parking and storage areas.

"Open space, common" means the area within a planned development under the control and ownership of a homeowner's association. Common open space may include recreation facilities, access and parking, paths, and storage areas.

"Open space, usable" means the area within a planned development that is deemed suitable for use by the residents of the PD; not including parking areas, private patios, required building separations, parking and access, or storage areas.

"Parking, guest" means designated off-street parking areas within a planned development reserved for guest or visitor parking.

"Parking, required" means off-street parking areas within a planned development to be used for long-term storage of resident vehicles, recreational vehicles, boats and trailers.

"Planned development" means a development that includes a mix of land uses and that requires a deviation from normal zoning standards regarding lot size, yard requirements, bulk and structural coverage and is subject to provisions of this chapter.

"Planned residential development" means a planned development consisting of residential uses only and subject to the provisions of this chapter.

"Planned unit development" means a planned development including two, or more, of the following uses: residential, commercial, professional office, quasi-public, and industrial.

"Recreation facility" means an area within a planned development that includes recreational installations for common use. Such installations normally include such things as a swimming pool, recreation building, patio areas, tot lots, and exercise areas.

"Site area, gross" means the total horizontal area included within the property lines of a proposed planned development after dedication of required right-of-way and open space areas.

17.26.030 Location.

A planned development may be located in residential, commercial or industrial zone upon approval of necessary permits required under this chapter. Planned residential developments and planned unit developments may be located only in appropriate zones as follows:

1. A planned residential development may be allowed in any residential zone.

2. A planned unit development with commercial/industrial uses may be located where those uses are allowed in the underlying zone.

17.26.040 Development standards.

The following is a list of development standards considered to be necessary to achieve the purpose and intent of this chapter:

A. Site Area.

1. The minimum site area for a planned residential development shall be one acre of gross site area.
2. The minimum site area for a planned unit development with residential uses shall be ten acres.
3. The minimum site area for a planned unit development without residential uses shall be five acres.
4. The minimum site area for a planned unit development with only industrial uses shall be twenty (20) acres.
5. Parcels smaller than the minimums stated above may be considered if the planning commission finds there are unique circumstances (shape, natural features, location, etc.) that would deprive the land owner of development potential consistent with other properties classified in the same underlying zone.

City of Visalia Municipal Code Title 17 - Zoning Ordinance

B. Density. The average number of dwelling units per net area shall not exceed the maximum density prescribed by the site area regulations or the site area per dwelling in which the planned unit development is located, subject to a density bonus that may be granted by the city council upon recommendation by the planning commission. A density bonus may be granted as part of a planned development based on the following guidelines:

Percent of Net Site Area in Usable Open Space	Area Percent of Density Bonus
6% to 10%	6%
11% to 20%	10%
21% to 25%	16%
Over 25%	20%

C. Usable Open Space. Usable open space shall be provided for all planned developments that include residential uses, except as provided in this section. Such open space shall include a minimum of five percent of the net site area of the residential portion of a planned development. The requirement for mandatory usable open space may be waived in developments wherein the net lot area of each lot meets or exceeds minimum standard in the underlying zone classification.

D. Site Design Criteria.

1. Location of proposed uses and their relationship to each other with a planned development shall be consistent with general plan policies and ordinance requirements.
2. The natural environment of a site is to be considered as part of the design criteria. Such features as natural ponding areas, waterways, natural habitats, and mature vegetation are to be considered.
3. If a planned development is located adjacent to a major arterial street, or other existing possible land use conflict, adequate buffering shall be included in the plan.

E. Landscaping and Structural Coverage. Landscaping provided within a planned development shall conform to the general standards imposed by the underlying zone. Additional landscaping may be required as part of a planned development due to unusual circumstances.

F. Circulation.

1. Vehicle circulation shall be based on a street pattern as outlined within the circulation element of the general plan. Use of private streets and variations to normal city street standards are encouraged.
2. There shall be no direct vehicle access from individual lots onto major arterial streets.

City of Visalia Municipal Code Title 17 - Zoning Ordinance

3. Pedestrian access and bicycle paths should be incorporated within planned developments. Such paths and bikeways to be separated from vehicle streets when possible.

G. Parking.

1. Required parking shall conform with the existing parking standards required under the zoning ordinance.

2. Guest parking and storage parking shall be encouraged and may be required in planned development.

3. All parking shall be screened from adjacent public right-of-way. Such screening may include dense plantings, fences, landscaped berms, or grade separation.

4. Parking clusters shall be provided rather than large (single) parking areas.

H. Trash Enclosures.

1. Trash enclosures shall be provided as specified by the city solid waste department.

2. Such enclosures shall be screened from view from adjacent structures and roadways and be provided with solid gates.

17.26.050 Application procedures.

The following procedures specify the process for review of a planned development.

A. Pre-Application Review. Pre-application review shall be a two-step process including a mandatory meeting with the planning department and submittal of a concept plan to the site plan review committee. Such pre-application review shall include, but is not limited to, the following elements:

1. Site area and location;
2. Land use relationships within and outside the proposed site;
3. Circulation and access;
4. Environmental features;
5. Open space and project amenities;
6. Available and needed public improvements and facilities.

B. Application Process. After completing the pre-application review process the owner, or agent, shall file an application for a planned development. Such application submittal shall be processed as a conditional use permit and shall require a site plan review permit. The city planner shall determine

City of Visalia Municipal Code Title 17 - Zoning Ordinance

the extent of development detail required as part of the application submittal. Such details may include, but is not limited to, the following:

1. Legal description and boundary survey map of the exterior boundaries of land to be developed;
2. A topographic map indicating anticipated grading or fill areas, groupings of existing trees, and other natural features;
3. For residential development:
 - a. The number and type of dwelling units. This may be stated as a range of maximum and minimum number of units by type,
 - b. The approximate total population anticipated in the entire development,
 - c. The proposed standards of height, open space, structural coverage, pedestrian and traffic circulation, and density within use areas;
4. For nonresidential uses:
 - a. Types of uses proposed within the entire area,
 - b. Anticipated employment base which may be stated as a range,
 - c. Methods proposed to control possible land use conflicts and environmental impacts,
 - d. The proposed structure heights, open space buffering, circulation, and parking/loading,
 - e. Pertinent social or economic characteristics of the development such as school enrollment, residence, employment, etc.;
5. A preliminary utilities report;
6. The location, area, and type of sites proposed for open space, recreational facilities, and public facilities;
7. The anticipated timing for each phase, if any, of the development.

17.26.060 Exceptions.

Exceptions to the design criteria specified in Section 17.26.040 may be modified by the city council upon recommendation by the planning commission based on unique circumstances. Such exceptions shall be reviewed by the site plan committee for comment prior to planning commission recommendation.

17.26.070 Amendments.

Minor amendments to an approved planned development may be granted by the planning commission upon recommendation of the site plan committee. Major amendments shall be processed as an amendment to a conditional use permit with required public hearings. Major amendments include, but are not limited to, the following:

- A. Changes in residential density;
- B. Changes in land use relationships;
- C. Changes in the location and/or scope of open space;
- D. Changes in circulation patterns;
- E. Other changes as determined by the planning commission upon request.

17.26.080 Timing.

Once granted, a planned development approval shall be valid for a period of two years. Extensions may be granted by the planning commission for one year periods, not to exceed three such extensions.

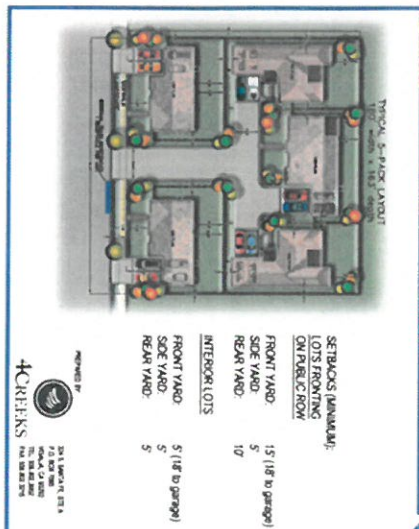


EXHIBIT MAP
CONDITIONAL USE PERMIT
The Grove at "K" Ave.
UNIT NO. 7 - "K" AVENUE
A MASTER PLANNED DEVELOPMENT

BEING A PORTION OF THE SOUTHWEST QUARTER OF THE
NORTHWEST QUARTER AND A PORTION OF THE WEST HALF OF
THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 12
N., R. 10 E., IN THE CITY OF USALIA, COUNTY OF TULARE,
STATE OF CALIFORNIA

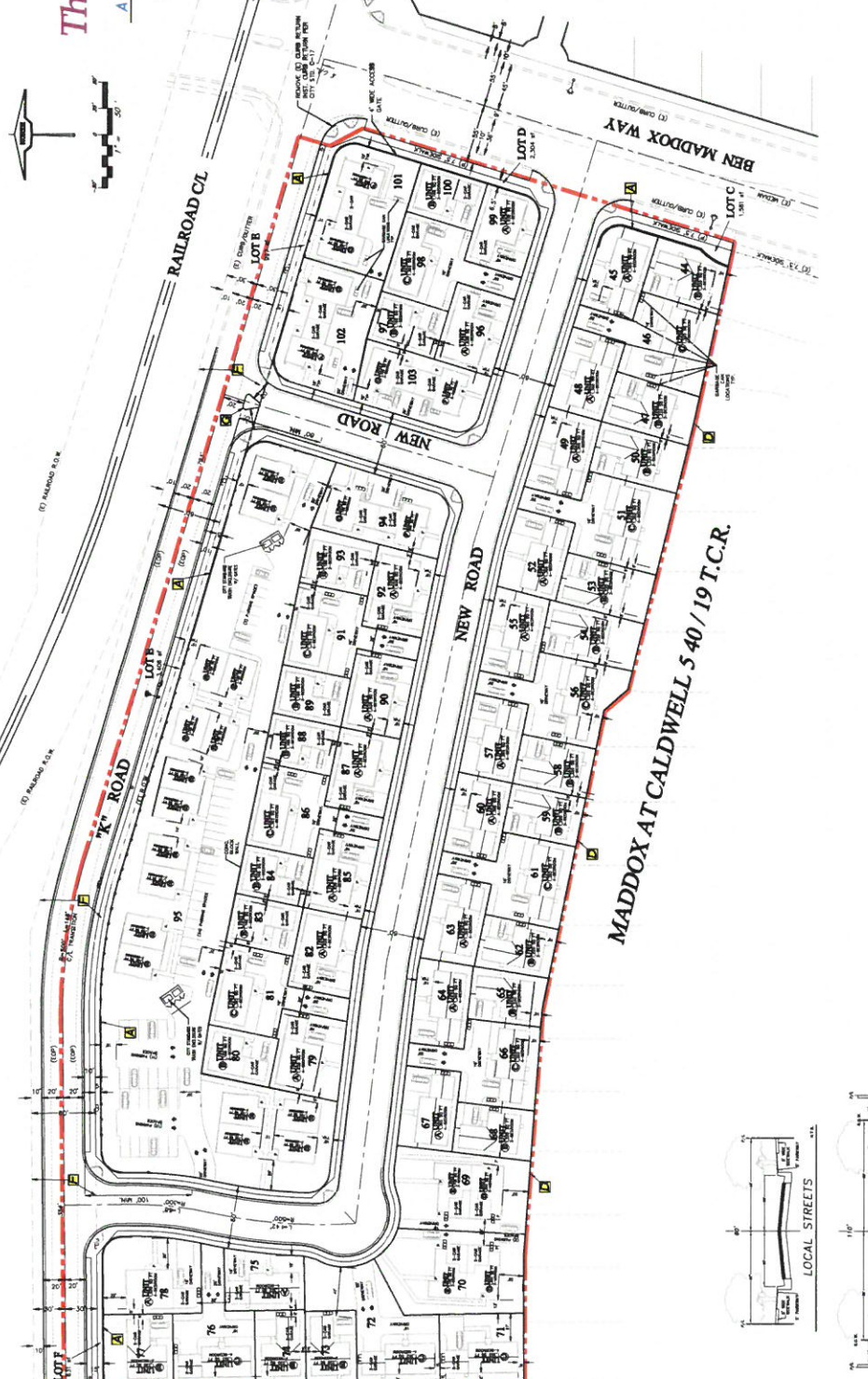
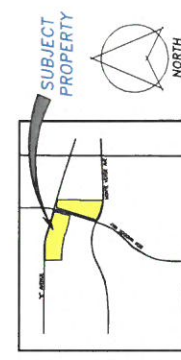
DEVELOPER:
SWIFT HOMES
1800 HILLMAN ST.
MADISON, CA 95640
(559) 799-8993
A.P.N. #126-220-000-065, 066,
067, 068, 069, 070, 071, 072, 073,
126-640-714

LEGEND

- (P) STREET LIGHT
- (S) SHADE
- (F) FIRE HYDRANT
- (E) E.D.P. EDGE OF PAVEMENT
- (C) CONCRETE CURB
- (T) TOP OF CURB
- (S) SANITARY SEWER
- (D) STORM DRAIN
- (L) LIGHTING
- (P) PROPOSED

SITE NOTES

- 1) VACANT SINGLE FAMILY/SMALL FAMILY RES. PROPOSED USE: SINGLE FAMILY/SMALL FAMILY RES. DRAINAGE: DISPOSAL: EXIST. STORM POND WATER SUPPLY: CAL. WATER CO. LOT AREA: 3,100 SQ. FT. TOTAL AREA: 3,100 SQ. FT. ZONING: RM-2
- 2) REAR SETBACKS ALONG SOUTH LINE OF PHASE 2 TO BE 10' WITH 5' SIDE SETBACKS
- 3) CONSTRUCT 6'-8" CONC. BLOCK WALL (CITY STD. NC-14)
- 4) ALL EXISTING PH-SITE PREPARATION SYSTEMS SHALL BE MAINTAINED AND OPERATIONAL
- 5) LOT 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

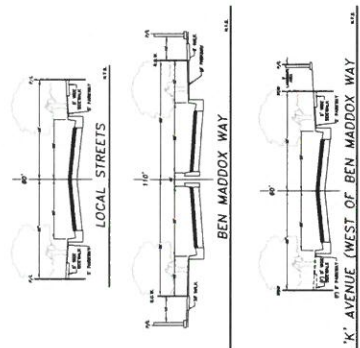


UNIT COUNTS

PREVIOUS UNITS	BRACKEN WOOD	50 UNITS, 43 LOTS
	NEW ROAD	135 UNITS, 72 LOTS
	TOTAL LOTS	115
PROPOSED UNITS	NEW ROAD	142 UNITS, 80 LOTS
	BRACKEN WOOD	142 UNITS, 80 LOTS
	TOTAL UNITS	142 (3 PHASES)
	TOTAL LOTS	103

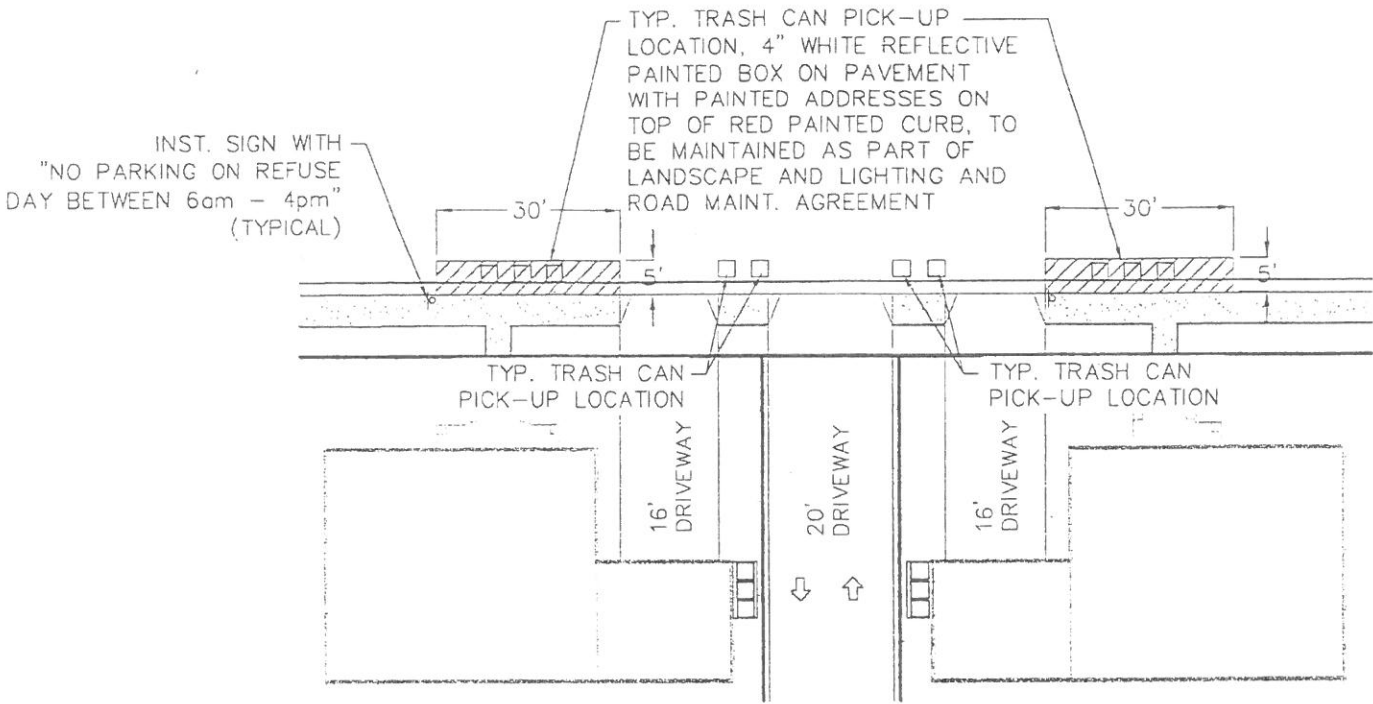
CONDITIONAL USE PERMIT

- 1) FRONT YARD SETBACK - Minimum 15' see lots 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000
- 2) SIDE YARD SETBACK - 5' min. side yard adjacent to existing lot(s) or lot(s). See lots 69 & 70.
- 3) REAR YARD SETBACK - 5' min. rear yard. See lots 45, 47 - 53, 55, 57, 60, 63 - 64, 67, 70, 73, 76, 79 - 84, 86 - 100 and 103.



123-090-12

123-090-14



TRASH PICK-UP LOCATION DETAIL

SCALE: 1"=30'

Chapter 17.12 SINGLE-FAMILY RESIDENTIAL ZONE

Sections:

Article 1. General

- 17.12.010 Purpose and intent.**
- 17.12.015 Applicability.**
- 17.12.020 Permitted uses.**
- 17.12.030 Accessory uses.**
- 17.12.040 Conditional uses.**
- 17.12.050 Site area.**
- 17.12.060 One dwelling unit per site.**
- 17.12.070 Replacement and expansion of legally existing multiple family units.**
- 17.12.080 Front yard.**
- 17.12.090 Side yards.**
- 17.12.100 Rear yard.**
- 17.12.110 Height of structures.**
- 17.12.120 Off-street parking.**
- 17.12.130 Fences, walls and hedges.**
- 17.12.135 Lot area less than 5,000 square feet.**
- 17.12.137 Signs.**

Article 2. Accessory Dwelling Units

- 17.12.140 Purpose and intent.**
- 17.12.150 Definitions.**
- 17.12.160 General provisions.**
- 17.12.170 Process.**
- 17.12.180 Development requirements.**
- 17.12.190 Appeals.**
- 17.12.200 Existing nonconforming accessory dwelling units.**

Article 1. General

17.12.010 Purpose and intent.

In the R-1 single-family residential zones (R-1-5, R-1-12.5, and R-1-20), the purpose and intent is to provide living area within the city where development is limited to low density concentrations of one-family dwellings where regulations are designed to accomplish the following: to promote and encourage a suitable environment for family life; to provide space for community facilities needed to compliment urban residential areas and for institutions that require a residential environment; to minimize traffic congestion and to avoid an overload of utilities designed to service only low density residential use.

17.12.015 Applicability.

The requirements in this chapter shall apply to all property within R-1 zone districts.

17.12.020 Permitted uses.

In the R-1 single-family residential zones, the following uses shall be permitted by right:

- A. One-family dwellings;
- B. Raising of fruit and nut trees, vegetables and horticultural specialties;
- C. Accessory structures located on the same site with a permitted use including private garages and carports, one guest house, storehouses, garden structures, green houses, recreation room and hobby shops;
- D. Swimming pools used solely by persons resident on the site and their guests; provided, that no swimming pool or accessory mechanical equipment shall be located in a required front yard or in a required side yard;
- E. Temporary subdivision sales offices;
- F. Licensed day care for a maximum of fourteen (14) children in addition to the residing family;
- G. Twenty-four (24) hour residential care facilities or foster homes, for a maximum of six individuals in addition to the residing family;
- H. Signs subject to the provisions of Chapter 17.48;
- I. The keeping of household pets, subject to the definition of household pets set forth in Section 17.04.030;

City of Visalia Municipal Code Title 17 - Zoning Ordinance

- J. Accessory dwelling units as specified in Sections 17.12.140 through 17.12.200;
- K. Adult day care up to twelve (12) persons in addition to the residing family;
- L. Other uses similar in nature and intensity as determined by the city planner;
- M. Legally existing multiple family units, and expansion or reconstruction as provided in Section 17.12.070.
- N. Transitional or supportive housing for six (6) or fewer resident/clients.
- O. In the R-1-20 zone only, the breeding, hatching, raising and fattening of birds, rabbits, chinchillas, hamsters, other small animals and fowl, on a domestic noncommercial scale, provided that there shall not be less than one thousand (1,000) square feet of site area for each fowl or animal and provided that no structure housing poultry or small animals shall be closer than fifty (50) feet to any property line, closer than twenty-five (25) feet to any dwelling on the site, or closer than fifty (50) feet to any other dwelling;
- P. In the R-1-20 zone only, the raising of livestock, except pigs of any kind, subject to the exception of not more than two cows, two horses, four sheep or four goats for each site, shall be permitted; provided, that there be no limitation on the number of livestock permitted on a site with an area of ten acres or more and provided that no stable be located closer than fifty (50) feet to any dwelling on the site or closer than one hundred (100) feet to any other dwelling;

17.12.030 Accessory uses.

In the R-1 single-family residential zone, the following accessory uses shall be permitted, subject to specified provisions:

- A. Home occupations subject to the provisions of Section 17.32.030;
- B. Accessory buildings subject to the provisions of Section 17.12.100(B).
- C. Cottage Food Operations subject to the provisions of Health and Safety Code 113758 and Section 17.32.035.

17.12.040 Conditional uses.

In the R-1 single-family residential zone, the following conditional uses may be permitted in accordance with the provisions of Chapter 17.38:

- A. Planned development subject to the provisions of Chapter 17.26;
- B. Public and quasi-public uses of an educational or religious type including public and parochial elementary schools, junior high schools, high schools and colleges; nursery schools, licensed day care facilities for more than fourteen (14) children; churches, parsonages and other religious institutions;

City of Visalia Municipal Code Title 17 - Zoning Ordinance

- C. Public and private charitable institutions, general hospitals, sanitariums, nursing and convalescent homes; not including specialized hospitals, sanitariums, or nursing, rest and convalescent homes including care for acute psychiatric, drug addiction or alcoholism cases;
- D. Public uses of an administrative, recreational, public service or cultural type including city, county, state or federal administrative centers and courts, libraries, museums, art galleries, police and fire stations, ambulance service and other public building, structures and facilities; public playgrounds, parks and community centers;
- E. Electric distribution substations;
- F. Gas regulator stations;
- G. Public service pumping stations, i.e., community water service wells;
- H. Communications equipment buildings;
- I. Planned neighborhood commercial center subject to the provisions of Chapter 17.26;
- J. Residential development specifically designed for senior housing;
- K. Mobile home parks in conformance with Section 17.32.040;
- L. [Reserved.] M. Residential developments utilizing private streets in which the net lot area (lot area not including street area) meets or exceeds the site area prescribed by this article and in which the private streets are designed and constructed to meet or exceed public street standards;
- N. Adult day care in excess of twelve (12) persons;
- O. Duplexes on corner lots;
- P. Twenty-four (24) hour residential care facilities or foster homes for more than six individuals in addition to the residing family;
- Q. Residential structures and accessory buildings totaling more than ten thousand (10,000) square feet;
- R. Other uses similar in nature and intensity as determined by the city planner.
- S. Transitional or supportive housing for seven (7) or more resident/clients.

17.12.050 Site area.

The minimum site area shall be as follows:

Zone	Minimum Site Area
R-1-5	5,000 square feet

City of Visalia Municipal Code Title 17 - Zoning Ordinance

R-1-12.5 12,500 square feet

R-1-20 20,000 square feet

A. Each site shall have not less than forty (40) feet of frontage on the public street. The minimum width shall be as follows:

Zone	Interior Lot	Corner Lot
R-1-5	50 feet	60 feet
R-1-12.5	90 feet	100 feet
R-1-20	100 feet	110 feet

B. Minimum width for corner lot on a side on cul-de-sac shall be eighty (80) feet, when there is no landscape lot between the corner lot and the right of way.

17.12.060 One dwelling unit per site.

In the R-1 single-family residential zone, not more than one dwelling unit shall be located on each site, with the exception to Section 17.12.020(J).

17.12.070 Replacement and expansion of legally existing multiple family units.

In accordance with Sections 17.12.020 legally existing multiple family units may be expanded or replaced if destroyed by fire or other disaster subject to the following criteria:

A. A site plan review permit as provided in Chapter 17.28 is required for all expansions or replacements.

B. Replacement/expansion of unit(s) shall be designed and constructed in an architectural style compatible with the existing single-family units in the neighborhood. Review of elevations for replacement/expansion shall occur through the site plan review process. Appeals to architectural requirements of the site plan review committee shall be subject to the appeals process set forth in Chapter 17.28.050.

C. Setbacks and related development standards shall be consistent with existing single-family units in the neighborhood.

D. Parking requirements set forth in Section 17.34.020 and landscaping requirements shall meet current city standards and shall apply to the entire site(s), not just the replacement unit(s) or expanded area, which may result in the reduction of the number of units on the site.

E. The number of multiple family units on the site shall not be increased.

F. All rights established under Sections 17.12.020 and 17.12.070 shall be null and void one hundred eighty (180) days after the date that the unit(s) are destroyed (or rendered

uninhabitable), unless a building permit has been obtained and diligent pursuit of construction has commenced. The approval of a site plan review permit does not constitute compliance with this requirement.

17.12.080 Front yard.

A. The minimum front yard shall be as follows:

Zone	Minimum Front Yard
R-1-5	Fifteen (15) feet for living space and side-loading garages and twenty-two (22) feet for front-loading garages or other parking facilities, such as, but not limited to, carports, shade canopies, or porte cochere. A Porte Cochere with less than twenty-two (22) feet of setback from property line shall not be counted as covered parking, and garages on such sites shall not be the subject of a garage conversion.
R-1-12.5	Thirty (30) feet
R-1-20	Thirty-five (35) feet

B. On a site situated between sites improved with buildings, the minimum front yard may be the average depth of the front yards on the improved site adjoining the side lines of the site but need not exceed the minimum front yard specified above.

C. On cul-de-sac and knuckle lots with a front lot line of which all or a portion is curvilinear, the front yard setback shall be no less than fifteen (15) feet for living space and side-loading garages and twenty (20) feet for front-loading garages.

17.12.090 Side yards.

A. The minimum side yard shall be five feet in the R-1-5 and R-1-12.5 zone subject to the exception that on the street side of a corner lot the side yard shall be not less than ten feet and twenty-two (22) feet for front loading garages or other parking facilities, such as, but not limited to, carports, shade canopies, or porte cocheres.

B. The minimum side yard shall be ten feet in the R-1-20 zone subject to the exception that on the street side of a corner lot the side yard shall be not less than twenty (20) feet.

C. On a reversed corner lot the side yard adjoining the street shall be not less than ten feet.

D. On corner lots, all front-loading garage doors shall be a minimum of twenty-two (22) feet from the nearest public improvement or sidewalk.

E. Side yard requirements may be zero feet on one side of a lot if two or more consecutive lots are approved for a zero lot line development by the site plan review committee.

F. The placement of any mechanical equipment, including but not limited to, pool/spa equipment and evaporative coolers shall not be permitted in the five-foot side yard within the buildable area of the lot, or within five feet of rear/side property lines that are adjacent to the required side yard on adjoining lots. This provision shall not apply to street side yards on corner lots, nor shall it prohibit the surface mounting of utility meters and/or the placement of fixtures and utility lines as approved by the building and planning divisions.

17.12.100 Rear yard.

In the R-1 single-family residential zones, the minimum yard shall be twenty-five (25) feet, subject to the following exceptions:

A. On a corner or reverse corner lot the rear yard shall be twenty-five (25) feet on the narrow side or twenty (20) feet on the long side of the lot. The decision as to whether the short side or long side is used as the rear yard area shall be left to the applicant's discretion as long as a minimum area of one thousand five hundred (1,500) square feet of usable rear yard area is maintained. The remaining side yard to be a minimum of five feet.

B. Accessory structures not exceeding twelve (12) feet may be located in the required rear yard but not closer than three feet to any lot line provided that not more than twenty (20) percent of the area of the required rear yard shall be covered by structures enclosed on more than one side and not more than forty (40) percent may be covered by structures enclosed on only one side. On a reverse corner lot an accessory structure shall not be located closer to the rear property line than the required side yard on the adjoining key lot. An accessory structure shall not be closer to a side property line adjoining key lot and not closer to a side property line adjoining the street than the required front yard on the adjoining key lot.

C. Main structures may encroach up to five feet into a required rear yard area provided that such encroachment does not exceed one story and that a usable, open, rear yard area of at least one thousand five hundred (1,500) square feet shall be maintained. Such encroachment and rear yard area shall be approved by the city planner prior to issuing building permits.

17.12.110 Height of structures.

In the R-1 single-family residential zone, the maximum height of a permitted use shall be thirty-five (35) feet, with the exception of structures specified in Section 17.12.100(B).

17.12.120 Off-street parking.

In the R-1 single-family residential zone, subject to the provisions of Chapter 17.34.

17.12.130 Fences, walls and hedges.

In the R-1 single-family residential zone, fences, walls and hedges are subject to the provisions of Section 17.36.030.

17.12.135 Lot area less than 5,000 square feet.

A. Notwithstanding Section 17.12.050, lots in the R-1-5 zone may have a lot area of between 3,600 and 4,999 square feet if all of the following standards are met:

1. The Planning Commission finds that the development's overall density is consistent with the General Plan.
2. The maximum number of lots less than 5,000 square feet that may be approved by a tentative subdivision map shall be fifty (50) percent or less of the total lots.
3. Streets shall be constructed to public street standards.
4. Each subdivision with at least 15 lots that are less than 5,000 square feet in size shall make available to buyers at least three (3) different small lot floor plans with at least four (4) available elevation designs for each floor plan to construct on those lots.
5. The primary frontage of the dwelling unit shall face a public street, primary entryway, circulation walkway, or open space with sidewalks that provide delineated paths of travel.
6. The primary frontage of the dwelling unit shall include the primary entrance and at least one window.
7. Required covered parking spaces shall be in garages. Carports are prohibited.
8. The width of the garage shall not be greater than fifty (50) percent of the width of the dwelling unit.
9. The garage shall not extend beyond the front building facade (living area.)
10. All dwelling units shall include a covered front porch at least four (4) feet deep and six (6) feet wide or an uncovered front courtyard at least five (5) feet wide and five (5) feet deep that is surrounded on four sides by the dwelling unit or a wall or fence between three (3) and four (4) feet high with a pedestrian gate or entryway.
11. The building official shall not approve a building permit for a new dwelling unit on a lot with a lot area less than 5,000 square feet until the city planner, or designee, has determined that the standards identified in this section are met.
12. The subdivision shall provide a common, usable open space area of a minimum 3,000 square feet or two hundred fifty (250) square feet per lot under 5,000 square feet, whichever is greater. The area shall be landscaped and maintained with funding from either a homeowner's association or a landscape and lighting act district.

B. Notwithstanding this Chapter, lots with less than five thousand (5,000) square feet shall have the following minimum dimensions and building setback areas, unless they were approved with a planned development permit:

1. The minimum lot depth shall be seventy (70) feet.
 2. The minimum lot width shall be forty-six (46) feet for interior lots and fifty-one (51) feet for corner lots.
 3. The minimum front building setback area shall be twelve (12) feet for livable space and twenty (20) feet for garages.
 4. The minimum rear yard building setback area shall be fifteen (15) feet.
 5. The minimum interior side yard building setback area shall be five (5) feet.
 6. The minimum corner side yard building setback area shall be ten (10) feet.
 7. The maximum building height shall be thirty-five (35) feet.
 8. Lots shall provide for a usable open space area of a minimum three hundred (300) square feet. The open space shall be a minimum fifteen (15) feet wide.
- C. Lots less having a lot area of 3,600 square feet, or lots that do not meet the standards in this section may be approved through the planned development permit process per Chapter 17.26.

17.12.137 Signs.

Signs shall be placed in conformance with Chapter 17.48.

Article 2. Accessory Dwelling Units

17.12.140 Purpose and intent.

It is the purpose of this article to provide for the following:

- A. To encourage a range of housing types, styles and costs to suit the varying needs and desires of the community;
- B. To allow homeowners a means of obtaining, through tenants and accessory dwelling units, an additional source of income, companionship, security, and services;
- C. To add inexpensive rental units to the housing stock of the city;
- D. To create homeownership opportunities for moderate income households who might otherwise be excluded from the housing market, through the additional income derived from accessory dwelling units;

E. Develop housing in single-family neighborhoods that is appropriate for a variety of stages in the household life cycle, thereby lessening fluctuations in neighborhood demand for public services;

F. Protect the stability, property values, and character of single family residential neighborhoods by insuring that accessory dwelling units are subject to the standards that follow.

17.12.150 Definitions.

As used in this article, the following terms are defined in this section:

“Principal dwelling unit” means a single-family dwelling unit situated on a residential lot in the A or R-1 zones to which an accessory dwelling unit as defined by this article has been or is proposed to be added.

“Accessory dwelling unit” means an additional dwelling unit having separate kitchen, sleeping, and sanitation facilities constructed or adopted within, onto, or detached from a single-family dwelling on a residential lot in the A or R-1 zones. Accessory dwelling units may also be efficiency units, as defined in Section 17958.1 of the health and Safety code, and manufacturing homes, as defined in Section 18007 of the Health and Safety Code.

“Living area” means the interior habitable area of a dwelling unit including basements and attics but does not include a garage or an accessory structure.

17.12.160 General provisions.

An accessory dwelling unit may be established by the conversion of an attic, basement, garage (if alternative parking area is provided for the principal dwelling unit), or other portion of a principal dwelling unit. A detached accessory dwelling unit may be established by the conversion of an accessory structure or may be new construction. Second dwelling units may be mobile homes, provided that such units are subject to all applicable standards of Section 17.32.110, governing the placement of mobile homes on single-family lots. All applications for accessory dwelling units, whether processed as a permitted use or an exception, must comply with the general provisions stated below:

- A. Accessory dwelling units shall only be allowed on lots located in the A and R-1 zones;
- B. In no case shall more than one accessory dwelling unit be placed on the same lot or parcel;
- C. Second dwelling units shall be subject to all applicable building, fire, health and safety codes and may not have adverse impacts on any real property that is listed in the California Register of Historic Places;
- D. Second dwelling units may only be constructed on lots or parcels that are at least five thousand (5,000) square feet in area;

City of Visalia Municipal Code Title 17 - Zoning Ordinance

E. A covenant running with the land between the city and the applicant shall be recorded with the Tulare County recorder prior to the issuance of any building permits requiring that the primary or the proposed accessory dwelling unit shall be occupied by the owner of record;

F. The accessory dwelling unit shall be clearly subordinate to the principal dwelling unit by size, location and appearance;

G. The second unit's scale, appearance and character shall be similar to and compatible in design with the principal dwelling unit and adjacent residences;

H. In no case shall any accessory dwelling unit be approved on a site on which the principal dwelling unit has been the subject of a garage conversion pursuant to the regulations of Chapter 17.32.140 governing such conversions.

I. Size. A manufactured home shall not be less than eight (8) feet wide by forty (40) feet long and three hundred twenty (320) square feet in living area. An efficiency unit shall not be less than one hundred fifty (150) square feet in living area and meet all space and occupancy standards of Chapter 5 of the Uniform Housing Code;

J. Access. Doorway access shall be provided either to the side or rear of the second housing unit;

K. Utility Services. Second housing units shall be provided with water, sewer, and other utilities as determined by the building official.

17.12.170 Process.

The city planner shall approve or deny accessory dwelling unit requests based upon the specified requirements. The applicant may appeal the decision of the city planner to the planning commission, setting forth the reason for such appeal to the commission. Such appeal shall be filed with the city planner, in writing, within ten (10) days after notification of such decision. The appeal shall be placed on the agenda of the commission's next regular meeting. If the appeal is filed within five (5) days of the next regular meeting of the commission, the appeal shall be placed on the agenda of the commission's second regular meeting following the filing of the appeal. The planning commission's review shall be limited to compliance with the specified requirements. The decision of the commission shall be final unless appealed to the council pursuant to Section 17.02.145.

17.12.180 Development requirements.

The following development requirements shall apply to accessory dwelling units:

A. The increased floor area of the second unit shall not exceed twelve hundred (1,200) square feet or) fifty (50) percent of the main dwelling unit, whichever is greater, and shall be used as an accessory to the primary single family home.

City of Visalia Municipal Code Title 17 - Zoning Ordinance

- B. Adequate parking area must be available on the streets adjacent to the accessory dwelling unit. If adequate on-street parking is not available in the immediate vicinity, or in the case of all second units located on cul-de-sac lots, one additional off-street parking space must be provided. Tandem parking shall not be deemed as meeting the above parking requirement. The additional parking space shall be waived if in any of the following instances:
1. The accessory dwelling unit is located within one-half (0.5) miles of public transit.
 2. The accessory dwelling unit is located within an architecturally and historically significant historic district.
 3. The accessory dwelling unit is part of the existing primary residence or an existing accessory structure.
 4. When on-street parking permits are required but not offered to the occupant of the accessory dwelling unit.
 5. When there is a car share vehicle located within one block of the accessory dwelling unit.
- C. All standards of the underlying zoning district including, but not limited to, height, lot and yard requirements, and lot coverage shall apply.
- D. Detached accessory dwelling units are subject to all applicable standards for accessory structures, as stated in the development requirements for the underlying zone, unless a variance has been granted pursuant to Chapter 17.42.

17.12.190 Appeals.

The applicant may appeal the decision of the city planner to the planning commission, setting forth the reason for such appeal to the commission. Such appeal shall be filed with the city planner in writing, within ten (10) days after notification of such decision. The appeal shall be placed on the agenda of the commission's next regular meeting. If the appeal is filed within five (5) days of the next regular meeting of the commission, the appeal shall be placed on the agenda of the commission's second regular meeting following the filing of the appeal. The planning commission's review shall be limited to compliance with the specified requirements. The decision of the commission shall be final unless appealed to the council pursuant to Section 17.02.145.

17.12.200 Existing nonconforming accessory dwelling units.

An existing accessory dwelling unit situated on a lot or parcel in the A or R-1 zones shall constitute a violation of this title unless: (1) the unit meets the standards and criteria of Chapter 17.12, and an agreement is recorded; or (2) the accessory dwelling unit qualifies as a permitted

City of Visalia Municipal Code Title 17 - Zoning Ordinance

nonconforming use and structure under the provisions of Chapter 17.40. No enlargement of habitable space shall be allowed unless the standards and criteria of Chapter 17.12 are met. This shall not apply to maintenance of the unit.



CITY OF VISALIA
PLANNING DIVISION PERMIT
APPLICATION

DATE STAMP

PERMIT APPLICATION(S):

Check all permits being applied for with this application.

- CONDITIONAL USE PERMIT
- AMENDMENT TO EXISTING CUP
- ZONING VARIANCE
- NOISE VARIANCE
- CHANGE OF ZONE
- ANNEXATION
- LOT LINE ADJUSTMENT
- TENTATIVE PARCEL MAP
- TENTATIVE SUBDIVISION MAP
- GENERAL PLAN AMENDMENT
- SPECIFIC PLAN AMENDMENT

****Staff Use Only****
 Project Number(s) _____

 Planning Commission
 Date: _____

Name of Applicant:

Short title or name of proposed project:

Summary description of the proposed project:

SITE:

Site Plan Review number(s) _____

Date of SPR Committee revise & precede authorization _____

Address or nearest major street intersection _____

APN(s) _____

Existing Zone _____ Existing General Plan Land Use Designation _____

ATT 7

Proposed Zoning Designation _____

Proposed Land Use Designation _____

Site area (acres, or square feet if less than one acre) _____

Existing streets directly adjacent to the site _____

Existing use(s) _____

Existing improvements/structures _____

PROPERTY OWNER(S):

If more than two owners, please provide information and signature(s) on a separate sheet.

Name (print) _____ Name (print) _____

Mailing Address _____ Mailing Address _____

Phone _____ Phone _____

Statement: I/We declare under penalty of perjury that I am/we are the legal owner(s) of the property involved in this application. I/We authorize the person named in this application as the Project Main Contact to act as my/our representative with City Staff regarding the processing of this application.

Date

Property Owner Signature

Date

Property Owner Signature

PROJECT MAIN CONTACT/REPRESENTATIVE:

(This is the person who will be the main contact with City Staff, and will receive all correspondence.)

Name (print) _____

Firm/Company _____

Mailing Address _____

Phone _____ Fax _____ E-Mail _____

Statement: I will be the main contact and representative of the proposed project with City Staff during the processing of this application. I declare under penalty of perjury that all statements and documents submitted with this application are true and correct to the best of my knowledge.

_____ Date

_____ Project Main Contact/Representative Signature

OTHER INVOLVED PARTIES:

Fill in all that apply.

Is the property currently in escrow? If so, to whom? _____

(Write "none" if property is not in escrow.)

Developer/Builder _____

Mailing Address _____

Phone _____ Fax _____

Contractor _____

Engineer _____

Architect _____

NAMES OF PRINCIPALS, PARTNERS, AND/OR TRUSTEES:

List the names of any and all principals, partners, and/or trustees where any property owner or developer/builder is a corporation, partnership, or trust. For corporations provide names of officers and directors. For trusts provide names of trustees and beneficiaries.

_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____



CITY OF VISALIA
PLANNING DEPARTMENT
ENVIRONMENTAL CONDITIONS
REQUIRED FOR ALL PROJECTS

SITE CHARACTERISTICS:

Flood Zone Designation: _____ Height Of Required Minimum Building Elevation: _____

Is The Project Site Within A:

Historic District: Yes / No

Specific Plan Or Master Plan Area: Yes / No (If Yes, Name) _____

Special Study Area: Yes / No (If Yes, Name) _____

Agricultural Preserve: Yes / No

Williamson Act Contract: Yes / No: If Yes, Preserve # _____ Contract # _____

Has A Notice Of Non-Renewal Been Filed? Yes / No Date Filed: _____

Please Check All Items Applicable To The Project:

_____ Mature Oak Trees On Site Or Within Forty Feet Of The Site

_____ Within Protected Species Or Habitat Area

_____ Evidence of Hazardous Waste Or Previous Hazardous Uses Or Processes Occurring On Site

_____ Waterways Adjacent To The Project Site, And/Or Any Planned Changes In Streams, Waterways, Rivers, Ditches

_____ Known Cultural Resources On Site

_____ Within ¼ Mile Of Any School

_____ Increase In Light Or Glare To Immediate Vicinity After Project Is Completed

_____ Increase In Noise To Immediate Vicinity After Project Is Completed

_____ Within Two Miles Of An Airport



CITY OF VISALIA LANDSCAPING PLANS FORM AND CONTENTS REQUIREMENTS

ALL LANDSCAPE PLANS SHALL BE PREPARED ON ONE OR MORE 18-INCH BY 24-INCH SHEETS AT A SCALE NOT LESS THAN ONE INCH EQUALS 40 FEET (A MASTER OR REFERENCE MAP SHEET AT A SCALE NOT LESS THAN ONE INCH EQUALS 100 FEET MAY ALSO BE INCLUDED)

- ___ The name of the Proposed Subdivision/Project
- ___ A clear depiction of the project boundaries by the use of heavy solid line
- ___ Depictions of all existing mature oak trees, utilities, water courses and trails within the project boundaries and within 100 feet of the project boundaries
- ___ North arrow and scale
- ___ Date of map and (if applicable) date of last revision
- ___ The name, company, and contact information of the preparer
- ___ Net Acreage and percentage of net project site area provided for common open space
- ___ Identification of the entity responsible for installing and maintaining landscaping (i.e. LLA, HOA, private maintenance, etc.)
- ___ Elevation and Plan details of all proposed walls, entry gates, entry features, and common area facilities
- ___ Depiction of all mature oak trees on the site and within 40 feet of the project boundaries
- ___ Depiction of all proposed plant and tree species by their botanical and common names,
- ___ Proposed planting sizes of all plant and tree species and minimum spacing of all plantings
- ___ Locations of proposed irrigation valves and preliminary irrigation line locations and diameter sizes, and identification of responsible entity for irrigation
- ___ Labeling of water



CITY OF VISALIA SUBDIVISION MAP FORM AND CONTENTS REQUIREMENTS

ALL SUBDIVISION MAPS SHALL BE PREPARED ON ONE OR MORE 18-INCH BY 24-INCH SHEETS AT A SCALE NOT LESS THAN ONE INCH EQUALS 40 FEET (A MASTER OR REFERENCE MAP SHEET AT A SCALE NOT LESS THAN ONE INCH EQUALS 100 FEET MAY ALSO BE INCLUDED)

- ___ The name of the Proposed Subdivision, and designation as a Tentative Map or Vesting Tentative Map
- ___ A clear depiction of the subdivision boundaries by the use of heavy solid line
- ___ Legal description of the exterior boundaries of the subdivision or legal description of the property comprising the subdivision
- ___ Depictions of all existing and approved General Plan Land Use and Zoning designations, existing and intended uses, property lines, streets, structures, mature oak trees, utilities, water courses, existing wells, irrigation pipes and septic tanks, railroads, drainage facilities, and trails within the subdivision boundaries and within 100 feet of the subdivision boundaries
- ___ North arrow and scale
- ___ Date of map and (if applicable) date of last revision
- ___ The name and address of the owner of the property
- ___ The name and address of the subdivider
- ___ The name and company of the engineer, or surveyor preparing the map
- ___ Vicinity Map that includes the nearest collector or arterial roads by name on each side bounding the project site
- ___ Assessor's Parcel Number(s)
- ___ Gross Acreage
- ___ Net Acreage
- ___ Number of buildable lots, intended uses, net acreage by use of buildable lots, and net development density
- ___ Number of lettered lots, intended uses, net acreage by use of lettered lots
- ___ Acreage and percentage of net project site area provided for common open space
- ___ Acreage of remainder parcel(s)
- ___ Adjacent Waterways and Ditches
- ___ Flood Zone Designation
(If Project Site is within a Flood Zone, map shall include height of finished grades relative to nearest existing finished grades of all adjacent properties and streets)
- ___ The location and width of all streets and alleys within and adjacent to the proposed subdivision and label as "private" if other than public right-of-way
- ___ Cross sections of all existing and proposed streets, alleys, and watercourses or areas subject to inundation from floods
- ___ Details of all proposed walls, entry gates, entry features, and common area facilities
- ___ Depiction of all mature oak trees on the site and within 40 feet of the project boundaries
- ___ The width and location of all existing and proposed easements
- ___ The names of all utility providers
- ___ Approximate existing and finished grade contours drawn to one-foot intervals where changes of existing elevation greater than three feet are proposed
- ___ The approximate radius of curves
- ___ Each lot shall be depicted by proposed property lines, dimensions, lot number, size, and proposed street access points.
- ___ Proposed setbacks and private open space for each lot or unit (residential projects)
- ___ Lots proposing modifications from any minimum Zoning standard shall be identified on the subdivision map, and their modifications shall be referenced by margin note and detail drawings
- ___ **Vesting Tentative Maps shall also include all information required by Visalia Municipal Code Section 16.20.020 A. (Vesting Tentative Maps), unless specifically waived by the City Planner and City Engineer.**



**CITY OF VISALIA
SUBDIVISION MAP
SUPPLEMENTAL APPLICATION**

SUBDIVISION INFORMATION

Type of Subdivision (Circle Applicable Type):
Tentative Subdivision Map / Vesting Tentative Subdivision Map / Parcel Map / Vesting Parcel Map
Subdivision Name: _____
Assessor's Parcel Number(s): _____
Gross Acreage: _____ Net Acreage: _____
Number of Buildable Lots: _____ Number of Lettered Lots: _____
Acreage of Remainder Parcels: _____ Acreage Of Lettered Lots: _____
Adjacent Waterways/Ditches: _____
Flood Zone Designation: _____
Height of Finished Grades Relative To Nearest Existing Finished Grades Of All Adjacent Properties And Streets: _____

USE OF PARCELS (CIRCLE ALL THAT APPLY)

(Circle Applicable Type)
Residential:
Planned Development (PD) / Planned Residential Development (PRD) / Planned Unit Development (PUD)
Commercial/Office Industrial Mixed Use Other _____

FOR RESIDENTIAL PROJECTS

Number Of Single-Family Housing Units/Lots _____
Number Of Multi-Family Housing Units/Lots _____
Gross Density (total units/gross acreage) _____ Net Density (total units/net acreage) _____
Acreage of permanent open space lots _____ Minimum lot size _____
Maximum lot size _____ Average lot size _____
Minimum lot width _____ Maximum lot width _____

LICENSED SURVEYOR OR REGISTERED ENGINEER WHO PREPARED PARCEL MAP

Name: _____ License No./ Expiration Date: _____
Company Name: _____
Address: _____
City, State, Zip: _____
Phone: _____ Facsimile: _____
E-Mail Address: _____

- THE FOLLOWING ITEMS SHALL BE INCLUDED WITH APPLICATION (Person Preparing Application Shall Place Initials On The Space Provided. Required Application Materials Not Included Will Result In Application Being Deemed INCOMPLETE.)
- _____ 20 Copies of The Subdivision Map (See Supplemental Information Required for Subdivision Maps)
 - _____ 1 Copy of Reduced Size Subdivision Map (8 1/2in. X 11in.)
 - _____ 10 Copies of Preliminary Landscape Plans (Including Fencing and Wall Details)
 - _____ 1 Copy of Reduced Size Preliminary Landscape Plans (8 1/2in. X 11in.)
 - _____ 2 Copies of Site Plan Review Committee Revise & Proceed Comments
 - _____ 2 Copies of Traffic Impact Study (If required by Site Plan Review Committee)
 - _____ Electronic Files of all Exhibits (Autocad dxf. or dwg. for Maps), (Adobe Acrobat or Similar Format for All Other Exhibits) Provided on CD Disk
 - _____ 10 Copies of Additional Required Exhibits if Vesting Subdivision as Required by Visalia Municipal Code (VMC) Section 16.20.020 (Vesting Tentative Maps)

AGENCY AUTHORIZATION

OWNER:

I, _____, declare as follows:
(Owners Name)

I am the owner of certain real property bearing assessor's parcel number (APN):

AGENT:

I designate _____, to act as my duly authorized
(Agent's Name) (Please type or print)

agent for all purposes necessary to file an application for, and obtain a permit to

(Action Sought)

relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20_____.

<u>OWNER</u>	<u>AGENT</u>
_____ (Signature of Owner)	_____ (Signature of Agent)
_____ (Owner Mailing Address)	_____ (Agent Mailing Address)
_____ (Owner Telephone)	_____ (Agent Telephone)

APPROVED:
CITY OF VISALIA

By: _____
(Signature)

Date: _____

*NOTE: OWNER'S SIGNATURE MUST BE NOTARIZED. Attach acknowledgment of signature(s) by Notary Public.



CITY OF VISALIA
PLANNING DIVISION PERMIT
APPLICATION

DATE STAMP

PERMIT APPLICATION(S):

Check all permits being applied for with this application.

- | | |
|--|--|
| <input checked="" type="checkbox"/> CONDITIONAL USE PERMIT | <input type="checkbox"/> LOT LINE ADJUSTMENT |
| <input type="checkbox"/> AMENDMENT TO EXISTING CUP | <input type="checkbox"/> TENTATIVE PARCEL MAP |
| <input type="checkbox"/> ZONING VARIANCE | <input type="checkbox"/> TENTATIVE SUBDIVISION MAP |
| <input type="checkbox"/> NOISE VARIANCE | <input type="checkbox"/> GENERAL PLAN AMENDMENT |
| <input type="checkbox"/> CHANGE OF ZONE | <input type="checkbox"/> SPECIFIC PLAN AMENDMENT |
| <input type="checkbox"/> ANNEXATION | |

****Staff Use Only****

Project Number(s) _____

Planning Commission
Date: _____

Name of Applicant:

Short title or name of proposed project:

Summary description of the proposed project:

SITE:

Site Plan Review number(s) _____

Date of SPR Committee revise & precede authorization _____

Address or nearest major street intersection _____

APN(s) _____

Existing Zone _____ Existing General Plan Land Use Designation _____

ATT 8

Proposed Zoning Designation _____

Proposed Land Use Designation _____

Site area (acres, or square feet if less than one acre) _____

Existing streets directly adjacent to the site _____

Existing use(s) _____

Existing improvements/structures _____

PROPERTY OWNER(S):

If more than two owners, please provide information and signature(s) on a separate sheet.

Name (print) _____ Name (print) _____

Mailing Address _____ Mailing Address _____

Phone _____ Phone _____

Statement: I/We declare under penalty of perjury that I am/we are the legal owner(s) of the property involved in this application. I/We authorize the person named in this application as the Project Main Contact to act as my/our representative with City Staff regarding the processing of this application.

_____ Date _____ Property Owner Signature

_____ Date _____ Property Owner Signature

PROJECT MAIN CONTACT/REPRESENTATIVE:

(This is the person who will be the main contact with City Staff, and will receive all correspondence.)

Name (print) _____

Firm/Company _____

Mailing Address _____

Phone _____ Fax _____ E-Mail _____

Statement: I will be the main contact and representative of the proposed project with City Staff during the processing of this application. I declare under penalty of perjury that all statements and documents submitted with this application are true and correct to the best of my knowledge.

Date _____

Project Main Contact/Representative Signature _____

OTHER INVOLVED PARTIES:

Fill in all that apply.

Is the property currently in escrow? If so, to whom? _____
(Write "none" if property is not in escrow.)

Developer/Builder _____

Mailing Address _____

Phone _____ Fax _____

Contractor _____

Engineer _____

Architect _____

NAMES OF PRINCIPALS, PARTNERS, AND/OR TRUSTEES:

List the names of any and all principals, partners, and/or trustees where any property owner or developer/builder is a corporation, partnership, or trust. For corporations provide names of officers and directors. For trusts provide names of trustees and beneficiaries.

_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____



CITY OF VISALIA CONDITIONAL USE PERMIT (CUP) SITE PLAN FORM AND CONTENTS REQUIREMENTS

ALL CUP SITE PLANS SHALL BE PREPARED ON ONE OR MORE 18-INCH BY 24-INCH SHEETS AT A SCALE NOT LESS THAN ONE INCH EQUALS 40 FEET (A MASTER OR REFERENCE SITE PLAN SHEET AT A SCALE NOT LESS THAN ONE INCH EQUALS 100 FEET MAY ALSO BE INCLUDED)

- ___ A clear depiction of the project boundaries by the use of heavy solid line
- ___ Legal description of the exterior boundaries of the project site, or legal description of the property comprising the project site
- ___ North arrow and scale
- ___ Date of site plan and (if applicable) date of last revision
- ___ The name and address of the owner of the property
- ___ The name and address of the applicant
- ___ The name, company, and telephone number of the person responsible for preparing the site plan exhibit
- ___ The names of all utility providers
- ___ Vicinity Map that includes the nearest collector or arterial roads by name on each side bounding the project site
- ___ Assessor's Parcel Number(s)
- ___ Gross Acreage
- ___ Net Acreage
- ___ Depictions of all existing and approved General Plan Land Use, Zoning, and Design District designations, existing and intended uses, existing and proposed parcel boundaries, streets, structures, mature oak trees, utilities, water courses, existing wells, irrigation pipes and septic tanks, railroads, drainage facilities, and trails within the project site and within 100 feet of the project site
- ___ Dimensions and direction(s) of travel of all entries and driveways
- ___ Parking spaces and loading spaces shall be dimensioned, and a margin note shall include the number of parking spaces required and provided by use, number and percentage of compact spaces, handicap spaces, and loading spaces required and provided
- ___ Percentage of Site devoted to landscaping and percentage of parking area only devoted to landscaping
- ___ Footprints of all proposed buildings, including number of stories, use, and square footages
- ___ Details of all proposed walls, common area amenities, and trash enclosures
- ___ Adjacent Waterways and Ditches
- ___ Flood Zone Designation
(If Project Site is within a Flood Zone, the site plan shall include height of finished grades relative to nearest existing finished grades of all adjacent properties and streets)
- ___ The location, width, and setbacks of all streets within and adjacent to the project site
- ___ Cross sections of all existing and proposed streets and driveways, alleys, and watercourses or areas subject to inundation from floods
- ___ Depiction of all mature oak trees on the site and within 40 feet of the project boundaries
- ___ The width and location of all existing and proposed easements
- ___ Approximate existing and finished grade contours drawn to one-foot intervals where changes of existing elevation greater than three feet are proposed
- ___ The approximate radius of curves
- ___ Proposed project phasing lines

VERSION 1-9-06, SUPERCEDES ALL PREVIOUS VERSIONS



CITY OF VISALIA PLANNING DEPARTMENT CONDITIONAL USE PERMIT (CUP) SUPPLEMENTAL APPLICATION

PROJECT DESCRIPTION

Describe Project And Listing Of All Components of the CUP (i.e. drive-through, private roads, modified residential standards PUD or PRD, etc.): _____

PROJECT DETAILS

(You may be required to provide a separate Operational Statement including the information below)

Gross Acreage _____ Net Acreage _____
Building Area _____ No. of Parking Stalls _____
Days of Operation _____ Hours of Operation _____
No. of Employees _____ Max Employees per Shift _____
List All Outdoor Activities _____

No. of Outdoor Vendors _____ Per Week _____ Per Day _____

No. of Vehicles Used _____

No. of Vehicles Kept Onsite Overnight _____

If Residential: Number of Single-Family Units _____ Number of Multi-Family Units _____

Other Components _____

Gross Density _____ Net Density _____

Open Space _____ Acreage _____

Recreation Facilities: Yes / No Specify _____

Modified Setbacks or Standards Requested: Yes / No Specify _____

PROVIDE THE FOLLOWING FOR ALL CUP PROJECTS

(Person Preparing Application Shall Place Initials On The Space Provided. Required Application Materials Not Included Will Result In Application Being Deemed INCOMPLETE.)

- _____ 10 Copies of Site Plan (See Supplemental Information required For Site Plans) Each set must be folded
- _____ 1 Copy of Reduced Size Site Plan (8 1/2in. X 11in.)
- _____ 10 Copies of Conceptual Building Elevations (See Supplemental Information Required For Building Elevations)
- _____ 1 Copy of Reduced Size Conceptual Building Elevations (8 1/2in. X 11in.)
- _____ 10 Copies of Floor Plans
- _____ 1 Copy of Reduced Size Floor Plans (8 1/2in. X 11in.)
- _____ 10 Copies of Preliminary Landscape Plans (Including Fencing and Wall Details)
- _____ 1 Copy of Reduced Size Preliminary Landscape Plans (8 1/2in. X 11in.)
- _____ 2 Copies of Site Plan Review Committee Revise & Proceed Comments
- _____ 1 Copy of Signage and/or Sign Program
- _____ 2 Copies of Noise Study (If required by Site Plan Review Committee)
- _____ 2 Copies of Traffic Impact Study (If required by Site Plan Review Committee)
- _____ 1 Copy Of Trash Enclosure Details
- _____ Electronic Files of all Exhibits (Adobe Acrobat, or similar format) Provided on CD Disk



CITY OF VISALIA ELEVATION AND FLOOR PLAN FORM AND CONTENT REQUIREMENTS

ALL ELEVATIONS PLANS SHALL BE PREPARED ON ONE OR MORE 18-INCH BY 24-INCH SHEETS AT A SCALE NOT LESS THAN ONE INCH EQUALS 20 FEET OR ONE-QUARTER INCH EQUALS ONE FOOT (A MASTER OR REFERENCE SITE PLAN SHEET AT A SCALE NOT LESS THAN ONE INCH EQUALS 60 FEET MAY ALSO BE INCLUDED)

ELEVATION PLANS

- ___ Plan scale
 - ___ Date of plan and (if applicable) date of last revision
 - ___ The name, company and telephone number of the person responsible for preparing the plan exhibit
 - ___ Dimensioned plan view depicting all building footprints of all proposed buildings, number of stories, and square footages
 - ___ Dimensioned elevation views depicting all buildings sides of all on-site buildings
 - Elevations shall include subsequent floor locations, callouts for all doors and hardware, roof pitch and material, colors (by manufacturers color code) and composition of all exterior finish materials.
 - Each elevation view shall be labeled as its directional orientation (i.e. north, south, east, and west) relative to the plan view
 - ___ Location of any roof-mounted equipment (shown as a dashed outline when located behind a wall or roof element)
 - ___ Location of any wall-mounted utility equipment or closets
 - ___ Wall mounted light and accessory elements, including design and locations
- * Embellishments such as landscaping, vehicles and people are discouraged. However, if they are included, they shall be dimensioned at the same scale as the building. Any plant material shown shall be depicted at the time of planting.

FLOOR PLANS

- ___ Plan scale and North arrow (where applicable)
- ___ Date of plan and (if applicable) date of last revision
- ___ The name, company and telephone number of the person responsible for preparing the plan exhibit
- ___ Locations of all doorways and window openings
- ___ Identification of room use (i.e. bedroom no. 1, stairwell, kitchen, garage, office, sales floor, etc.)
- ___ Fixed and semi-fixed equipment or features associated with the room space



CITY OF VISALIA
PLANNING DEPARTMENT
ENVIRONMENTAL CONDITIONS
REQUIRED FOR ALL PROJECTS

SITE CHARACTERISTICS:

Flood Zone Designation: _____ Height Of Required Minimum Building Elevation: _____

Is The Project Site Within A:

Historic District: Yes / No

Specific Plan Or Master Plan Area: Yes / No (If Yes, Name) _____

Special Study Area: Yes / No (If Yes, Name) _____

Agricultural Preserve: Yes / No

Williamson Act Contract: Yes / No: If Yes, Preserve # _____ Contract # _____

Has A Notice Of Non-Renewal Been Filed? Yes / No Date Filed: _____

Please Check All Items Applicable To The Project:

_____ Mature Oak Trees On Site Or Within Forty Feet Of The Site

_____ Within Protected Species Or Habitat Area

_____ Evidence of Hazardous Waste Or Previous Hazardous Uses Or Processes Occurring On Site

_____ Waterways Adjacent To The Project Site, And/Or Any Planned Changes In Streams, Waterways, Rivers, Ditches

_____ Known Cultural Resources On Site

_____ Within ¼ Mile Of Any School

_____ Increase In Light Or Glare To Immediate Vicinity After Project Is Completed

_____ Increase In Noise To Immediate Vicinity After Project Is Completed

_____ Within Two Miles Of An Airport



CITY OF VISALIA LANDSCAPING PLANS FORM AND CONTENTS REQUIREMENTS

ALL LANDSCAPE PLANS SHALL BE PREPARED ON ONE OR MORE 18-INCH BY 24-INCH SHEETS AT A SCALE NOT LESS THAN ONE INCH EQUALS 40 FEET (A MASTER OR REFERENCE MAP SHEET AT A SCALE NOT LESS THAN ONE INCH EQUALS 100 FEET MAY ALSO BE INCLUDED)

- ___ The name of the Proposed Subdivision/Project
- ___ A clear depiction of the project boundaries by the use of heavy solid line
- ___ Depictions of all existing mature oak trees, utilities, water courses and trails within the project boundaries and within 100 feet of the project boundaries
- ___ North arrow and scale
- ___ Date of map and (if applicable) date of last revision
- ___ The name, company, and contact information of the preparer
- ___ Net Acreage and percentage of net project site area provided for common open space
- ___ Identification of the entity responsible for installing and maintaining landscaping (i.e. LLA, HOA, private maintenance, etc.)
- ___ Elevation and Plan details of all proposed walls, entry gates, entry features, and common area facilities
- ___ Depiction of all mature oak trees on the site and within 40 feet of the project boundaries
- ___ Depiction of all proposed plant and tree species by their botanical and common names,
- ___ Proposed planting sizes of all plant and tree species and minimum spacing of all plantings
- ___ Locations of proposed irrigation valves and preliminary irrigation line locations and diameter sizes, and identification of responsible entity for irrigation
- ___ Labeling of water

AGENCY AUTHORIZATION

OWNER:

I, _____, declare as follows:
(Owners Name)

I am the owner of certain real property bearing assessor's parcel number (APN):

AGENT:

I designate _____, to act as my duly authorized
(Agent's Name) (Please type or print)

agent for all purposes necessary to file an application for, and obtain a permit to

(Action Sought)

relative to the property mentioned herein.

I declare under penalty of perjury the foregoing is true and correct.

Executed this _____ day of _____, 20_____.

<u>OWNER</u>	<u>AGENT</u>
(Signature of Owner)	(Signature of Agent)
(Owner Mailing Address)	(Agent Mailing Address)
(Owner Telephone)	(Agent Telephone)

APPROVED:
CITY OF VISALIA

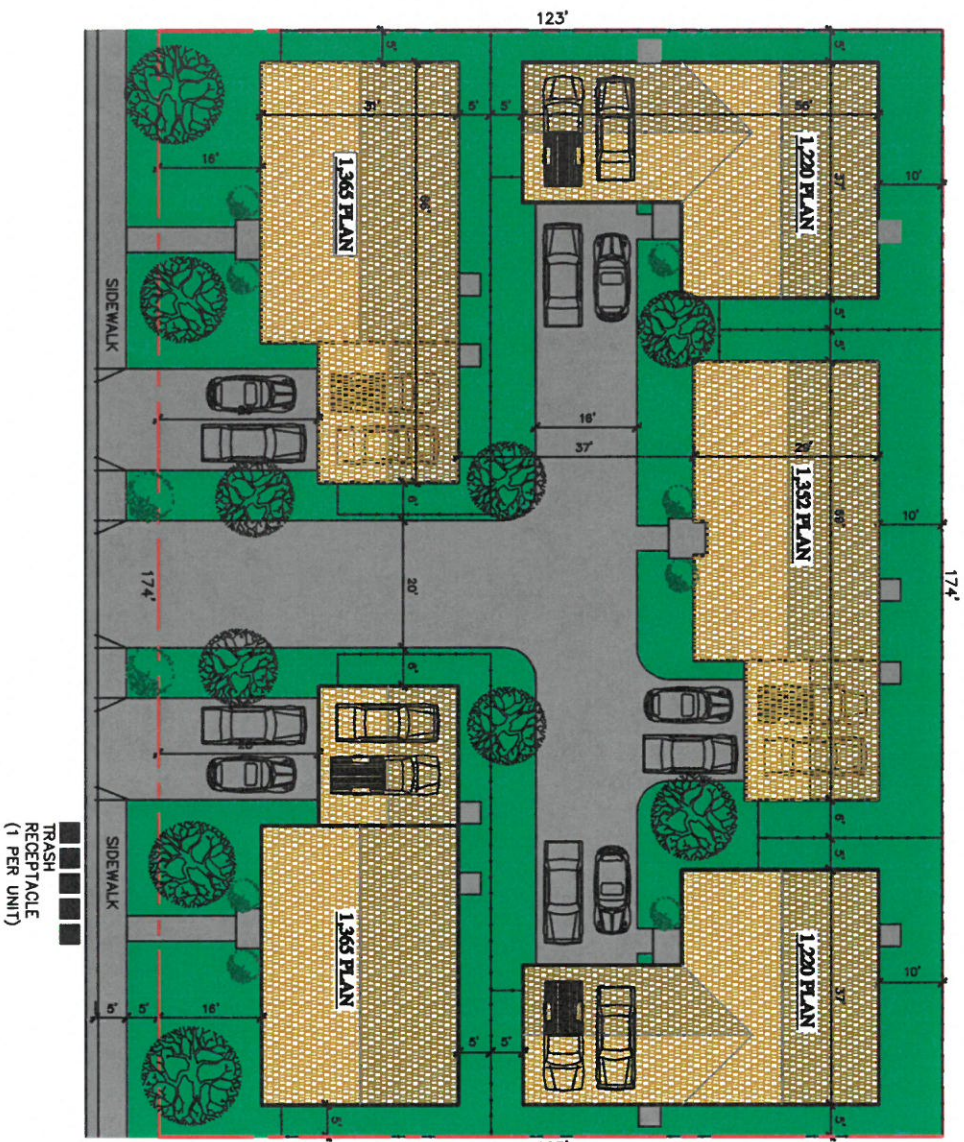
By: _____
(Signature)

Date: _____

*NOTE: OWNER'S SIGNATURE MUST BE NOTARIZED. Attach acknowledgment of signature(s) by Notary Public.

TYPICAL 5-PACK LAYOUT

NOT TO SCALE 174' x 123'



SETBACKS (MINIMUM)

LOTS FRONTING ON

PUBLIC ROAD

- FRONTYARD: 15' (18' TO GARAGE)
- SIDEYARD: 5'
- REAR YARD: 5'

INTERIOR LOTS

- FRONTYARD: 5' (18' TO GARAGE)
- SIDEYARD: 5'
- REAR YARD: 10'