

PLANNING COMMISSION AGENDA

CHAIRPERSON:

Brett Taylor



VICE CHAIRPERSON:

Liz Wynn

COMMISSIONERS: Brett Taylor, Liz Wynn, Chris Gomez, Marvin Hansen, Sarrah Peariso

MONDAY, JUNE 25, 2018; 7:00 P.M., COUNCIL CHAMBERS, 707 W. ACEQUIA, VISALIA CA

1. THE PLEDGE OF ALLEGIANCE –
2. CITIZEN'S COMMENTS – This is the time for citizens to comment on subject matters that are not on the agenda but are within the jurisdiction of the Visalia Planning Commission. The Commission requests that a 5-minute time limit be observed for comments. Please begin your comments by stating and spelling your name and city. Please note that issues raised under Citizen's Comments are informational only and the Commission will not take action at this time.
3. CHANGES OR COMMENTS TO THE AGENDA–
4. CONSENT CALENDAR - All items under the consent calendar are to be considered routine and will be enacted by one motion. For any discussion of an item on the consent calendar, it will be removed at the request of the Commission and made a part of the regular agenda.
 - No Items on the Consent Calendar
5. PUBLIC HEARING – Andy Chamberlain
Conditional Use Permit No. 2018-13: A request by Kim and Francisco Ramos to allow auto repair in the C-MU (Commercial Mixed Use) zone. The site is located at 1140 N. Ben Maddox Way (APN: 098-161-017). The project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15305, Categorical Exemption No. 2018-35.
6. PUBLIC HEARING – Brandon Smith
Conditional Use Permit No. 2018-09: A request by Great Valley Builders to allow a 7,071 square foot building on 1.58 acres for use as a private college classroom facility for Brandman University. The project site has a zoning designation of BRP (Business Research Park) and is located on the west side of Plaza Drive approximately 600 feet north of Crowley Avenue (APN: 081-160-023). The project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332, Categorical Exemption No. 2018-24.
7. PUBLIC HEARING – Paul Bernal
Conditional Use Permit No. 2018-12: A request by Steven L. Keike Architect to allow an amendment to Conditional Use Permit No. 2014-19, for the development of a 47,766 sq. ft. four-story 86-room, hotel on approximately 2-acres within the "Square at Plaza Drive" master-planned development. The two-acre site is zoned BRP (Business Research Park) and the Square at Plaza Drive master-planned development is located on the southwest corner of N. Plaza Dr. and W. Crowley Ave. (APN: N/A). A Mitigated Negative Declaration (MND No. 2014-53) was previously approved, and was determined to be adequate for the project.

8. PUBLIC HEARING – Andy Chamberlain
Zoning Ordinance Text Amendment No. 2018-02: A request by the City of Visalia to amend Chapter 17 of the City of Visalia Zoning Ordinance adding Section 17.64 for a Mobile Food Vending Target Area Program and Mobile Food Vending Overlay District Maps to the Zoning Ordinance. The project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15311, Categorical Exemption No. 2018-15.
9. DIRECTOR'S REPORT/ PLANNING COMMISSION DISCUSSION-
 - The Visalia Planning Commission 2017 Annual Report.

The Planning Commission meeting may end no later than 11:00 P.M. Any unfinished business may be continued to a future date and time to be determined by the Commission at this meeting. The Planning Commission routinely visits the project sites listed on the agenda.

For Hearing Impaired – Call (559) 713-4900 (TTY) 48-hours in advance of the scheduled meeting time to request signing services.

Any written materials relating to an item on this agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the City Office, 315 E. Acequia Visalia, CA 93291, during normal business hours.

APPEAL PROCEDURE

THE LAST DAY TO FILE AN APPEAL IS THURSDAY, JULY 5, 2018 BEFORE 5 PM

According to the City of Visalia Zoning Ordinance Section 17.02.145 and Subdivision Ordinance Section 16.04.040, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal form with applicable fees shall be filed with the City Clerk at 220 N. Santa Fe, Visalia, CA 93292. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website www.visalia.city or from the City Clerk.

THE NEXT REGULAR MEETING WILL BE HELD ON MONDAY, JULY 9, 2018



REPORT TO CITY OF VISALIA PLANNING COMMISSION

HEARING DATE: June 25, 2018

PROJECT PLANNER: Paul Bernal, City Planner
Phone No.: (559) 713-4025

SUBJECT: Conditional Use Permit No. 2018-12: A request by Steven L. Keike Architect to allow an amendment to Conditional Use Permit No. 2014-19, for the development of a 47,766 sq. ft. four-story 86-room, hotel on approximately 2-acres within the "Square at Plaza Drive" master-planned development. The two-acre site is zoned BRP (Business Research Park) and the Square at Plaza Drive master-planned development is located on the southwest corner of N. Plaza Dr. and W. Crowley Ave. (APN: N/A).

STAFF RECOMMENDATION

Staff recommends approval of Conditional Use Permit No. 2018-12, as conditioned, based upon the findings and conditions in Resolution No. 2018-23. Staff's recommendation is based on the conclusion that the request is consistent with the Visalia General Plan, Zoning Ordinance and the Square at Plaza Drive Master Plan.

RECOMMENDED MOTION

I move to approve Conditional Use Permit No. 2018-12, based on the findings and conditions in Resolution No. 2018-23.

PROJECT DESCRIPTION

The applicant has filed a Conditional Use Permit amendment requesting to develop a two-acre parcel with a Hilton Home 2 Hotel. The four-story, 86-room hotel site is located in the master planned development referred to as the "Square at Plaza Drive" as depicted on Exhibit "A". The site plan depicts the hotel south of the existing ARCO AM/PM gas station with the entrance to the hotel directed to the north.

The site plan exhibit ("Exhibit "A") and the Operational Statement (Exhibit "B") identify the following:

- A 47,766 square foot, four-story 86-room hotel;
- Outdoor swimming pool/spa and patio areas;
- Fitness room;
- Lobby / business center;
- Continental breakfast;
- Covered vehicular check-in area;
- 98 parking stalls and five-space bicycle rack;
- On-site landscaping;
- Construction of the on-site trail.

The hotel will be staffed with 10 employees. There will be a maximum of six staff members on-site at any given time.

The Square at Plaza Drive project is a phased master-planned development (see Exhibit "C") in the BRP (Business Research Park) zone. The master plan development document (The Square at Plaza Drive Master Plan) identifies and outlines all development conditions for the entire area. In addition, when the master plan was approved, a hotel site was identified in the southeast corner of the original site plan (see Exhibit "C"). However, no precise development plans were submitted for a hotel during the approval of the master plan development.

The Square at Plaza Drive project has an associated Parcel Map (PM No. 2014-04) that subdivided the master plan development into 11 parcels with shared vehicular cross-access, shared parking, drainage and maintenance agreements (see Exhibit "G"). The hotel is located on Parcel 11 of the approved parcel map. The entire Square at Plaza Drive master development was approved with a Phasing Plan. The phasing plan (see Exhibit "E") depicts the future hotel site being developed with Phase 2.

Rearrangement of hotel site on the master site plan: The proposed project is requesting to relocate the hotel site from the original location (see Exhibit "D"). The applicant has provided the necessary site plan and elevation exhibits that detail and demonstrate site development and consistency with the "Square at Plaza Drive" master plan.

The hotel is proposed south of the ARCO AM/PM gas station site. The Master Plan's original approved site plan (Exhibit "C") depicted a hotel on the southeast corner of the site near the Plaza Drive/Highway 198 ramp. In order to place the hotel at the location desired by the applicant, the applicant submitted a revised master site plan depicting the relocation of the restaurant to the former hotel site but is still retaining vehicular drive aisles to adjoining parcels as required by the master site plan development (see Exhibit "D").

The Hilton Home 2 Hotel elevations (see Exhibit "F") match the architectural thematic scheme approved for the entire project site. The "English" style architecture is incorporated into the building. In addition, the project complies with the design requirements of the master plan document including landscaping, bio-swells, trails and sidewalks as required per the Conditions of the Square at Plaza Drive master CUP.

BACKGROUND INFORMATION

| | |
|------------------------------------|--|
| General Plan Land Use Designation: | Business Research Park |
| Zoning: | BRP (Business Research Park) |
| Surrounding Land Use and Zoning: | North: BRP (Business Research Park) / ARCO AM/PM Gas Station South: State Route 198 East: North Plaza Drive & State Route 198 Interchange West: C-S (Service Commercial) / Plaza Auto Mall Development / Vacant Parcels |
| Environmental Review: | Adopted Mitigated Negative Declaration No. 2014-53 |
| Special Districts: | Area is part of the adopted "Square at Plaza Dr." Master Plan |

RELATED PLANS & POLICIES

Conditional Use Permit No. 2015-06, a request by the Chandi Group to construct a new ARCO gas station with a 6,000 square foot convenience store with a drive-thru lane. The ARCO gas station was approved by the Planning Commission on April 13, 2015 by a 5-0 vote.

Conditional Use Permit 2014-19 and Tentative Parcel Map No. 2014-04, a request by 4Creeks, to establish a 25-acre master-planned multi-use business park development in the BRP (Business Research Park) zone. The project consists of a 25-acre mixed-use development with office and limited highway commercial businesses and residential units. The development is generally comprised of 97,200 square feet of office space, 38,200 square feet of retail, gas station/convenience store, a three-story 65-room hotel with 4,575 square feet of associated conference room space, 11,250 square foot restaurant space, 23 townhome residential units, 28 executive lofts, 808 parking stalls, and a pedestrian trail along the periphery of the site. The Planning Commission approved the project at their November 10, 2014 meeting. The project was appealed to the City Council and was presented at their December 15, 2014 meeting. The City Council approved the project by a 4-0 vote.

PROJECT EVALUATION

Staff recommends approval of the Conditional Use Permit No. 2018-12, as conditioned, based on the project's consistency with the Business Research Park Land Use Element Policies of the General Plan, the Zoning Ordinance and the Square at Plaza Drive Master Plan.

Land Use Compatibility

Hotels are considered compatible uses in the BRP zone where potential impacts can be addressed through the CUP process. The site is located within the Square at Plaza Drive master-planned development which has been approved for a mix of office uses and highway commercial uses.

A hotel site was identified in Phase 2 of development in the master site plan for the Square at Plaza Drive master plan. The project is proposing to relocate the hotel to the restaurant site and relocate the restaurant to the former hotel site (see Exhibit "D"). Staff concludes that the proposed hotel is and will be consistent in nature and character with the existing and approved uses surrounding the project site. In addition to this development, two other master-planned developments in the BRP zone have been approved to the north and southeast with each development planned to include a hotel and supporting uses.

Conditional Use Permit as related to The Square at Plaza Master Plan

Section 17.242.030 of the Zoning Ordinance requires that projects in the BRP zone be developed through the conditional use permit process and that these developments provide a higher degree of design requirements, including a common architectural theme, that is carried throughout the entire development. The CUP for the Hilton Home 2 Hotel has been filed to establish the hotel use and to identify minor revisions to the previously approved CUP master site plan exhibit. The modifications include the relocation of the hotel to Parcel 11, which was originally depicted per the master site plan for a restaurant pad and rearranging the parking field for Parcel 11.

Staff concludes that the hotel at this location would be consistent in nature and character with existing and future development and uses in the area. The proposed building and land use both embody the campus-like development that the BRP zone was originally intended to achieve. Another hotel, Residence Inn Marriott, is located immediately to the north of this site and has developed under the master plan guidelines of the BRP zone.

Primary Access Driveway & Drive Aisle

Staff recommends the Planning Commission approve Condition No. 3, requiring the completion of the primary drive aisle as depicted per the master site plan exhibit. This includes stamped decorative concrete at the primary Crowley Ave. entrance, and the stamped decorative concrete areas between Parcels 1, 2, 3, 5 and 11 (see Figure 1 below). Currently, the primary drive aisle is paved with an asphalt drive. The asphalt pavement was completed with the development of the ARCO AM/PM gas station development. The requirement to complete this primary drive aisle per the master plan alleviates any potential unsafe left turn movements from Crowley Avenue into the ARCO/Hotel sites, and starts the on-site amenities / improvements that are a requirement of the Square at Plaza Drive master plan development.

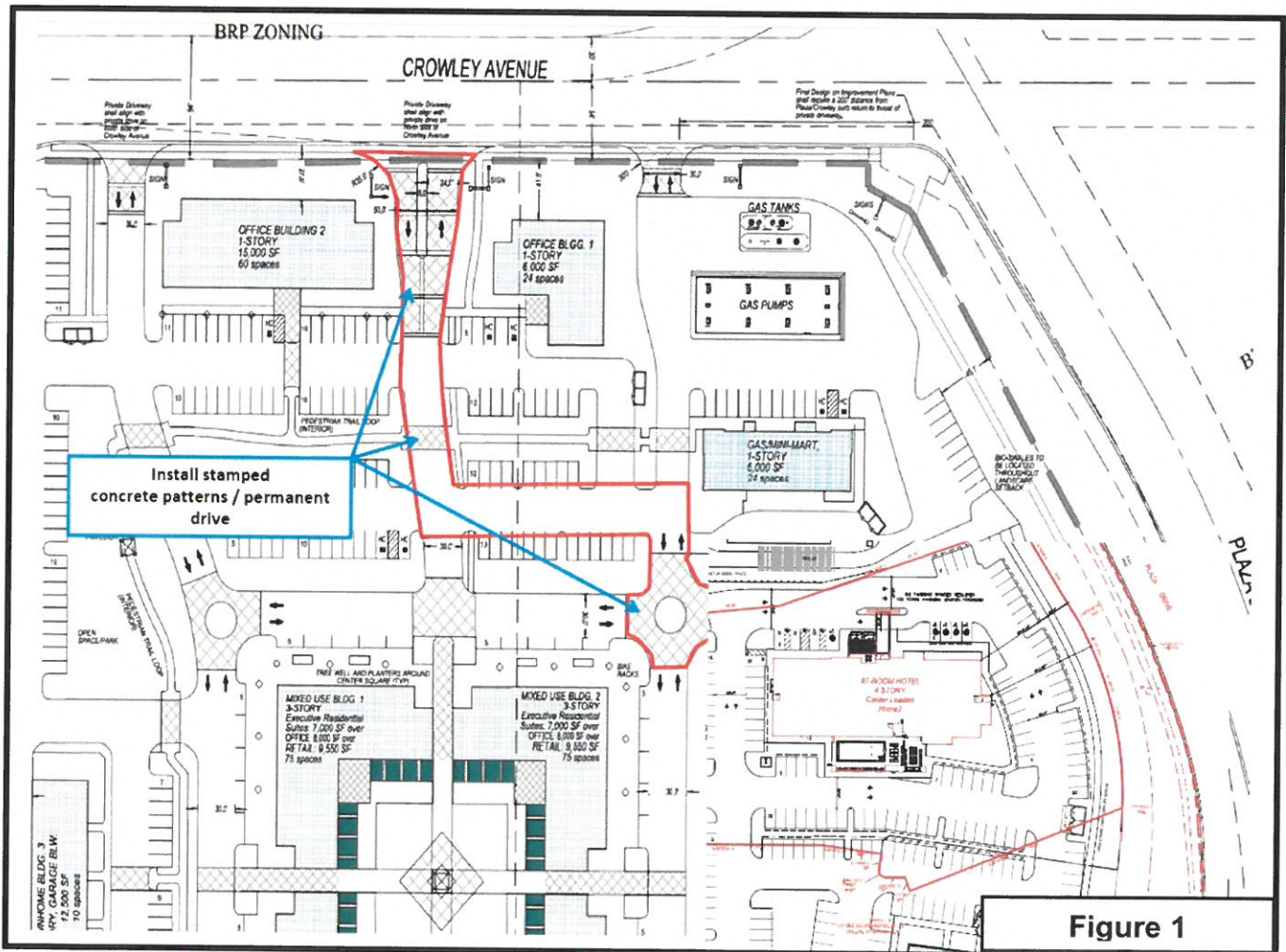
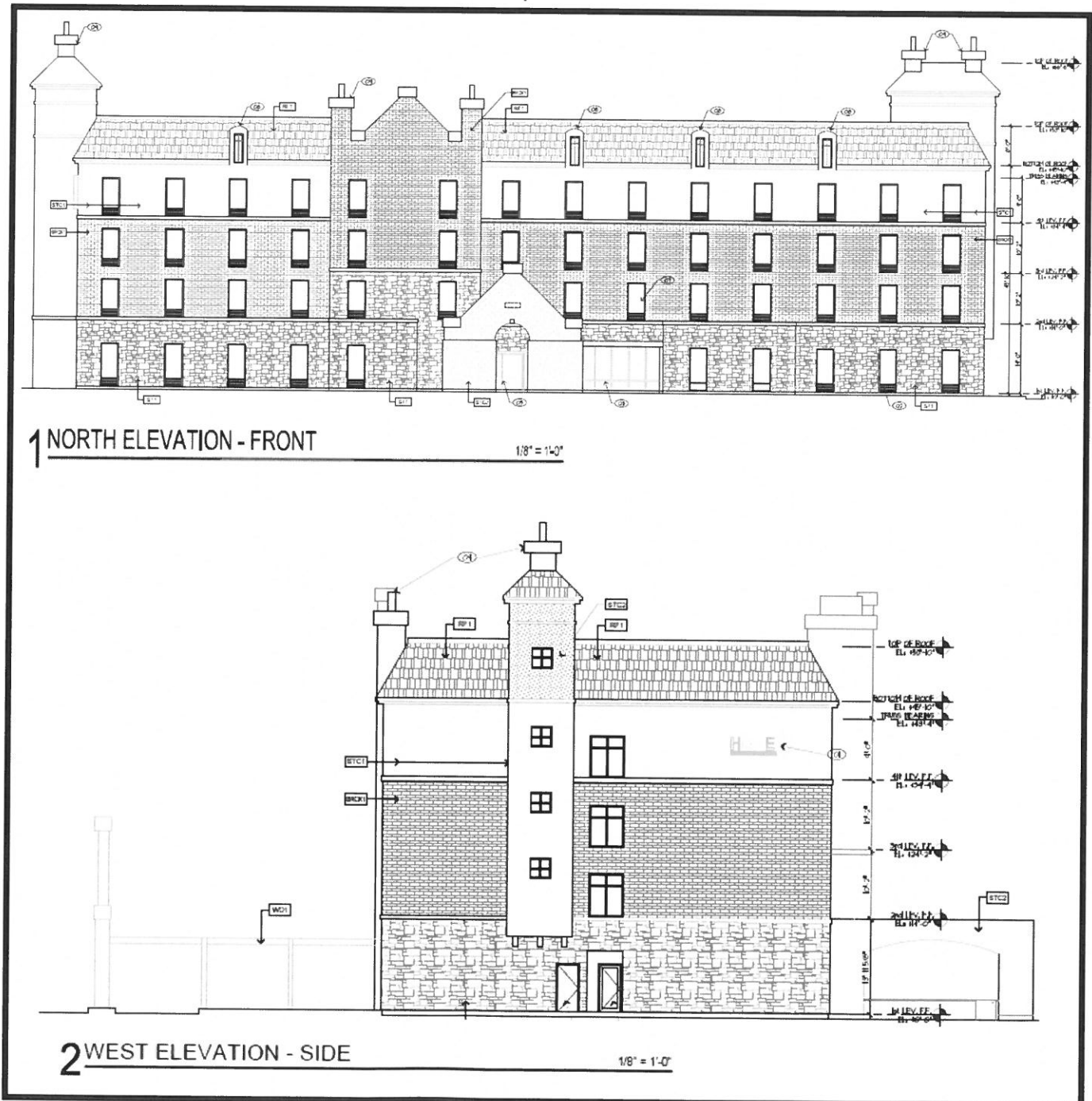


Figure 1

Architectural Theme

The Hilton Home 2 Hotel will incorporate the English style architecture, which is a requirement of the Square at Plaza Drive Master Plan document (see Exhibit "F"). The design of the proposed building will be in conformance with the architectural theme approved with the Square at Plaza Drive master plan and will particularly follow design elements that were incorporated into the design of the existing ARCO AM/PM building to the north.

Building components will include brick, stone veneers, and plaster finishes. Roofs will with be a gable roof design and will include dimension shaker roof tiles and colors to match the architectural style of the building. Per the architectural guidelines of the master plan document, the exterior features for the hotel are in compliance.



Phasing

The Hilton Home 2 Hotel site is identified in Phase 2 of the master planned development and subsequently the conditions requiring the construction of off-site and infrastructure improvements have been satisfied. However, the extension of on-site utilities for the hotel site is required as part of the hotel project.

Landscaping

The project will comply with the common landscape theme, including a proposed bio-swale around the perimeter as shown in the site plan (see Exhibit "A"). The project is required to comply with the Square at Plaza Drive master landscape theme concept with the use of consistent tree and shrub species along the street frontages and within the overall development. A condition was adopted for the master CUP entitlement requiring CC&R's to include a common landscaping maintenance agreement to be established for all parcels to assure that uniform landscape maintenance occurs within the entire project site.

Shared Access, Cross-Access and Maintenance Agreement

The Hilton Home 2 Hotel site plan depicts shared access points and internal cross-access between future development/parcels. The shared access and internal cross-access will require a shared access and maintenance agreement to be established as a part of the recorded final parcel map.

Environmental Review

An Initial Study was prepared for the entire Square at Plaza Drive Master Planned Development project that included the description of the hotel site, consistent with the California Environmental Quality Act (CEQA).

The Initial Study, resulting in a Mitigated Negative Declaration No. 2014-53, which is attached to the staff report, disclosed that a significant, adverse environmental impact related to greenhouse gases may occur from the incremental and cumulative increase from the project operations. The Mitigation Monitoring Program includes two measures as mitigation for the greenhouse gas impact. Other measures intended to reduce emissions are either already incorporated into the project or are required as state and local regulations, such as the compliance with the City's water efficient landscape standards. The mitigations contained in the Mitigation Monitoring Program will effectively reduce the environmental impact of greenhouse gases to a level that is less than significant for the entire project.

The revised hotel site plan has no new effects that could occur, or new mitigation measures that would be required that have not been addressed within the scope of the previously approved Mitigated Negative Declaration No. 2014-53. The Mitigated Negative Declaration prepared for the master-planned Business Research Park was approved by City Council Resolution No. 2008-28. No further environmental review is required.

RECOMMENDED FINDINGS

1. That the proposed Conditional Use Permit is consistent with the policies and intent of the General Plan and Zoning Ordinance.
2. That the proposed Conditional Use Permit is compatible with adjacent land uses.

3. That the proposed project is consistent with the Visalia General Plan, and in particular, satisfactorily meets the Business Research Park designation of the Land Use Element of the General Plan. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:

- a. The proposed location of the conditional use permit is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located. Hotels are considered compatible uses in the BRP zone where potential impacts can be addressed through the CUP process. The site is located within the Square at Plaza Drive master-planned development which has been approved for a mix of office uses and highway commercial uses.

A hotel site was identified in Phase 2 of development in the master site plan for the Square at Plaza Drive master plan. The project is proposing to relocate the hotel to the restaurant site and relocate the restaurant to the former hotel site. Staff concludes that the proposed hotel is and will be consistent in nature and character with the existing and approved uses surrounding the project site. In addition to this development, two other master-planned developments in the BRP zone have been approved to the north and southeast with each development planned to include a hotel and supporting uses.

- b. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity. A hotel site was identified in Phase 2 of development in the master site plan for the Square at Plaza Drive master plan. The project is proposing to relocate the hotel to the restaurant site and relocate the restaurant to the former hotel site. Staff concludes that the proposed hotel is and will be consistent in nature and character with the existing and approved uses surrounding the project site. In addition to this development, two other master-planned developments in the BRP zone have been approved to the north and southeast with each development planned to include a hotel and supporting uses.

4. That the project, as presented, complies with the Design Guidelines for the Square at Plaza Drive Master Plan document and is conditioned herein to meet the intent of the codified requirements and policies for development in the Business Research Park zone.

5. That the proposed location of the Conditional Use Permit and the conditions under which it would be built or maintained will not be detrimental to the public health, safety, or welfare nor materially injurious to properties or improvements in the vicinity.

6. That an Initial Study was prepared for the entire master planned development consistent with CEQA. The Initial Study, resulting in a Mitigated Negative Declaration No. 2014-53, disclosed that a significant, adverse environmental impact related to greenhouse gases may occur from the incremental and cumulative increase from the project operations. The Mitigation Monitoring Program includes two measures as mitigation for the greenhouse gas impact. Other measures intended to reduce emissions are either already incorporated into the project or are required as state and local regulations, such as the compliance with the City's water efficient landscape standards. The mitigations contained in the Mitigation Monitoring Program will effectively reduce the environmental impact of greenhouse gases to a level that is less than significant for the entire project. The revised gas station site plan has no new effects that could occur, or new mitigation measures that would be required that have not been addressed within the scope of the previously approved Mitigated Negative Declaration No. 2014-53. The Mitigated Negative Declaration prepared for the entire 25-acre master planned Business Research Park was approved by Resolution Nos. 2014-29 and 2014-30. No further environmental review is required.

RECOMMENDED CONDITIONS OF APPROVAL

Conditional Use Permit No. 2018-12

1. That the project be developed in substantial compliance with the site plan in Exhibit "A" and the Square at Plaza Drive Master Plan document.
2. That the Conditional Use Permit shall be developed consistent with the comments and conditions of Site Plan Review No. 2018-22 incorporated herein by reference.
3. That the primary drive aisle and stamp concrete patterns be constructed with the development of the hotel site providing for the completed secondary point of access for vehicular ingress/egress and to comply with the development standards adopted with the approval of Conditional Use Permit No. 2014-19 for the Square at Plaza Drive master planned development.
4. That CC&R's including vehicular access, landscaping and permanent maintenance of all common areas such as the public street parkways and perimeter landscaping (bio-swale), project identification signage and walls, and all similar infrastructure agreements shall be revised to reflect the new hotel development. The CC&R's and/or vehicular access agreements shall address property owners' responsibility for repair and maintenance of the easement, repair and maintenance of shared public or private utilities, and shall be kept free and clear of any structures.
5. That the mitigation measures found within the Mitigation Monitoring Plan for Mitigated Negative Declaration No. 2014-53 are hereby incorporated as conditions of Conditional Use Permit No. 2018-12.
 - a. **GHG Mitigation Measure 1.1:** Construction Phase: Comply with the conclusions identified as CalEEMod mitigations in the GHG Analysis dated 07/28/14 completed for the project. Mitigation shall be enforced and carried out during the project's construction, and shall be completed prior to operation of any business or use on the project site.
 - b. **GHG Mitigation Measure 1.2:** Operational Phase: Comply with the conclusions identified as CalEEMod mitigations in the GHG Analysis dated 03/11/14 completed for the project. Mitigation shall be enforced and carried out during the project's operation of any business or use on the project site and before final occupancy for each development phase.

6. That landscape and irrigation plans be submitted with the building permit, designed by a professional landscape architect. Landscape and irrigation plans shall comply with the State Model Water Efficient Landscape Ordinance by submittal of Landscape Documentation Packages and Certificates of Compliance certified by a California licensed landscape architect with sections signed by appropriately licensed or certified persons as required by ordinance.
7. That all signage shall comply with the Square at Plaza Drive master plan document and shall require a separate building permit.
8. That all of the conditions and responsibilities of Conditional Use Permit No. 2014-19 and Conditional Use Permit No. 2018-12 shall run with the land, and subsequent owners/operators shall also be subject to all of the conditions herein, unless amended or revoked.
9. That all other federal and state laws and city codes and ordinances be complied with.

APPEAL INFORMATION

According to the City of Visalia Zoning Ordinance Section 17.02.145, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal with applicable fees shall be in writing and shall be filed with the City Clerk at 425 East Oak Avenue, Suite 301, Visalia, CA 93291. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website www.ci.visalia.ca.us or from the City Clerk.

Attachments:

- Related Plans & Policies
- Resolution No. 2018-23
- Exhibit "A" – Site Plan
- Exhibit "B" – Operational Statement
- Exhibit "C" – Site Plan for the "Square at Plaza Drive" Master Plan
- Exhibit "D" – Site Plan Relocation of Hotel & Restaurant
- Exhibit "E" – Phasing Plan
- Exhibit "F" – Hilton Home 2 Elevations
- Exhibit "G" – Parcel Map
- Exhibit "H" – Hilton Home 2 Floor Plans
- Figure 1 – Primary Access Drive w/ Stamped Concrete
- Adopted Mitigated Negative Declaration No. 2014-53
- Site Plan Review Comments 2018-22
- General Plan Land Use Map
- Zoning Map
- Aerial Map
- Vicinity Map

RELATED PLANS AND POLICIES

17.24.010 Purpose.

- A. This chapter is designed to achieve the following:
 1. Provide for large-scale office developments in the community;
 2. Accommodate large-scale business and research activities;
 3. Protect residential and office areas from excessive noise, illumination, unsightliness, odor, smoke, and other objectionable influences;
 4. Ensure compatibility with adjacent land uses.
- B. The purpose and intent of the planned business research park zone district is to provide for business, scientific, educational and light industrial uses in a campus-type setting. Planned business research parks are to be planned and developed as integrated units via specific or master plans and are intended to accommodate large-scale office developments at locations that provide close-in employment opportunities; promote Visalia's community identity through special site development standards such as lot sizes, setbacks, landscaping, building scale, parking, open areas, etc.; and provide on-site ancillary uses including day care, food service, banks, recreation, etc., served by a variety of transportation modes to reduce vehicle trips.

17.24.015 Applicability.

The requirements in this chapter shall apply to all property within the BRP zone district.

17.24.020 Permitted uses.

Permitted uses in BRP zone shall be determined by Table 17.25.030 in Section 17.25.030.

17.24.030 Conditional and temporary uses.

Conditional and temporary uses in the BRP zone shall be determined by Table 17.25.030 in Section 17.25.030.

17.24.040 Required conditions.

- A. A site plan review permit must be obtained for all development in the P-BRP zone subject to the requirements and procedures in Chapter 17.28.
- B. All businesses, services and processes shall be conducted entirely within a completely enclosed structure, except for off-street parking and loading areas, outdoor dining areas, and play areas.
- C. All development shall be subject to a conditional use permit.

17.24.050 Off-street parking and loading facilities.

Off-street parking facilities and off-street loading facilities shall be provided as prescribed in Chapter 17.34.

17.24.060 Development standards.

For properties that are zoned business research park, the following development criteria shall be applied in conjunction with the development standards. Where variations in standards exist the more restrictive shall apply.

- A. All development shall be subject to the conditional use permit process in Chapter 17.38;
- B. All development shall require a master plan or a specific plan. The master plan shall be designed to accommodate large scale business and research activities in campus-type developments. These developments shall provide a cohesive architectural design to create a campus style setting within a project or center. Shared vehicular and pedestrian access, parking, and common open space and related amenities shall be integrated into project design. Overall design of development shall be compatible with existing and developing character of the neighboring area. The master plan or specific plan, and the architectural design elements, including a comprehensive sign program, as required by this subsection, shall be included with and approved as part of the Conditional Use Permit as required by 17.24.050(C);
- C. Development should provide convenience/service amenities for employees within the BRP zone;

- D. Alternate transportation opportunities including mass transit and ride sharing shall be encouraged;
- E. Minimum site area: five (5) acres.
- F. Maximum building height: seventy-five (75) feet;
- G. Minimum required yards (building setbacks):
 - 1. Front: forty-five (45) feet frontage on Plaza Drive – twenty-five (25) feet front on Hurley, Crowley, Neeley, Kelsey;
 - 2. Side: twenty (20) feet;
 - 3. Street side on a corner lot: twenty (20) feet;
 - 4. Rear: thirty (30) feet;
- H. Minimum required landscaped yard (setback) areas:
 - 1. Front: thirty (30) feet frontage on Plaza Drive; twenty-five (25) front on Hurley, Crowley, Neeley, Kelsey (includes any portion of building that abuts a public street): twenty-five (25) feet. Setback averaging may be used where incorporated into an approved master plan,
 - 2. Side: twenty (20) feet,
 - 3. Street side on a corner lot: twenty (20) feet,
 - 4. Rear: twenty (20) feet.

RESOLUTION NO. 2018-23

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2018-12, A REQUEST BY STEVEN L. KEIKE ARCHITECT TO ALLOW AN AMENDMENT TO CONDITIONAL USE PERMIT NO. 2014-19, TO ALLOW THE DEVELOPMENT OF A 47,766 SQ. FT. FOUR-STORY 86-ROOM, HOTEL ON 2.00-ACRES WITHIN THE "SQUARE AT PLAZA DRIVE" MASTER-PLANNED DEVELOPMENT. THE TWO ACRE SITE IS ZONED BRP (BUSINESS RESEARCH PARK) AND THE SQUARE AT PLAZA DRIVE MASTER-PLANNED DEVELOPMENT IS LOCATED ON THE SOUTHWEST CORNER OF N. PLAZA DR. AND W. CROWLEY AVE. (APN: N/A)

WHEREAS, Conditional Use Permit No. 2018-12, is a request by Steven L. Keike Architect to allow an amendment to Conditional Use Permit No. 2014-19, to allow the development of a 47,766 sq. ft. four-story 86-room, hotel on 2-acres within the "Square at Plaza Drive" master-planned development. The two acre site is zoned BRP (Business Research Park) and the "Square at Plaza Drive" master-planned development is located on the southwest corner of N. Plaza Dr. and W. Crowley Ave. (APN: N/A); and

WHEREAS, the Planning Commission of the City of Visalia, after duly published notice did hold a public hearing before said Commission on June 25, 2018; and

WHEREAS, the Planning Commission of the City of Visalia finds the Conditional Use Permit No. 2018-12, as conditioned by staff, to be in accordance with Chapter 17.38.110 of the Zoning Ordinance of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and

WHEREAS, an Initial Study was prepared, and adopted which disclosed that no significant environmental impacts would result from this project, and mitigation measures would be required.

NOW, THEREFORE, BE IT RESOLVED, that Mitigated Negative Declaration No. 2014-53 was prepared consistent with the California Environmental Quality Act and City of Visalia Environmental Guidelines.

NOW, THEREFORE, BE IT FURTHER RESOLVED that the Planning Commission of the City of Visalia makes the following specific findings based on the evidence presented:

1. That the proposed project will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:

- a. The proposed location of the conditional use permit is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located. Hotels are considered compatible uses in the BRP zone where potential impacts can be addressed through the CUP process. The site is located within the Square at Plaza Drive master-planned development which has been approved for a mix of office uses and highway commercial uses.

A hotel site was identified in Phase 2 of development in the master site plan for the Square at Plaza Drive master plan. The project is proposing to relocate the hotel to the restaurant site and relocate the restaurant to the former hotel site. Staff concludes that the proposed hotel is and will be consistent in nature and character with the existing and approved uses surrounding the project site. In addition to this development, two other master-planned developments in the BRP zone have been approved to the north and southeast with each development planned to include a hotel and supporting uses.

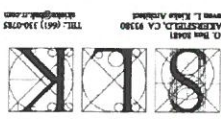
- b. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity. A hotel site was identified in Phase 2 of development in the master site plan for the Square at Plaza Drive master plan. The project is proposing to relocate the hotel to the restaurant site and relocate the restaurant to the former hotel site. Staff concludes that the proposed hotel is and will be consistent in nature and character with the existing and approved uses surrounding the project site. In addition to this development, two other master-planned developments in the BRP zone have been approved to the north and southeast with each development planned to include a hotel and supporting uses.
3. That the proposed Project is consistent with the Visalia General Plan, and in particular, satisfactorily meets the intent of the Land Use Element of the General Plan.
4. That the project, as presented, complies with the Design Guidelines for the Square at Plaza Drive Master Plan document and is conditioned herein to meet the intent of the codified requirements and policies for development in the Business Research Park zone.
5. That an Initial Study was prepared for the entire master planned development consistent with CEQA. The Initial Study, resulting in a Mitigated Negative Declaration No. 2014-53, disclosed that a significant, adverse environmental impact related to greenhouse gases may occur from the incremental and cumulative increase from the project operations. The Mitigation Monitoring Program includes two measures as mitigation for the greenhouse gas impact. Other measures intended to reduce emissions are either already incorporated into the project or are required as state and local regulations, such as the compliance with the City's water efficient landscape standards. The mitigations contained in the Mitigation Monitoring Program will effectively reduce the environmental impact of greenhouse gases to a level that is less than significant for the entire project. The revised gas station site plan has no new effects that could occur, or new mitigation measures that would be required that have not been addressed within the scope of the previously approved Mitigated Negative Declaration No. 2014-53.

The Mitigated Negative Declaration prepared for the entire master planned Business Research Park was approved by Resolution Nos. 2014-29 and 2014-30. No further environmental review is required.

BE IT FURTHER RESOLVED that the Planning Commission hereby approves the Conditional Use Permit on the real property here described in accordance with the terms of this resolution under the provisions of Section 17.38.110 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. the Square at Plaza Drive Master Plan document.
2. That the Conditional Use Permit shall be developed consistent with the comments and conditions of Site Plan Review No. 2018-22 incorporated herein by reference.
3. That the primary drive aisle and stamp concrete patterns be constructed with the development of the hotel site providing for the completed secondary point of access for vehicular ingress/egress and to comply with the development standards adopted with the approval of Conditional Use Permit No. 2014-19 for the Square at Plaza Drive master planned development.
4. That CC&R's including vehicular access, landscaping and permanent maintenance of all common areas such as the public street parkways and perimeter landscaping (bio-swale), project identification signage and walls, and all similar infrastructure agreements shall be revised to reflect the new hotel development. The CC&R's and/or vehicular access agreements shall address property owners' responsibility for repair and maintenance of the easement, repair and maintenance of shared public or private utilities, and shall be kept free and clear of any structures.
5. That the mitigation measures found within the Mitigation Monitoring Plan for Mitigated Negative Declaration No. 2014-53 are hereby incorporated as conditions of Conditional Use Permit No. 2018-12.
 - a. **GHG Mitigation Measure 1.1:** Construction Phase: Comply with the conclusions identified as CalEEMod mitigations in the GHG Analysis dated 07/28/14 completed for the project. Mitigation shall be enforced and carried out during the project's construction, and shall be completed prior to operation of any business or use on the project site.
 - b. **GHG Mitigation Measure 1.2:** Operational Phase: Comply with the conclusions identified as CalEEMod mitigations in the GHG Analysis dated 03/11/14 completed for the project. Mitigation shall be enforced and carried out during the project's operation of any business or use on the project site and before final occupancy for each development phase.
6. That landscape and irrigation plans be submitted with the building permit, designed by a professional landscape architect. Landscape and irrigation plans shall comply with the State Model Water Efficient Landscape Ordinance by submittal of Landscape Documentation Packages and Certificates of Compliance certified by a California licensed landscape architect with sections signed by appropriately licensed or certified persons as required by ordinance.
7. That all signage shall comply with the Square at Plaza Drive master plan document and shall require a separate building permit.

8. That all of the conditions and responsibilities of Conditional Use Permit No. 2014-19 and Conditional Use Permit No. 2018-12 shall run with the land, and subsequent owners/operators shall also be subject to all of the conditions herein, unless amended or revoked.
9. That all other federal and state laws and city codes and ordinances be complied with.



PROJECT: HOME2 - VISALIA
 CLIENT: Home2 Family
 ADDRESS: VISALIA, CA
 DATE: 04/30/2018

REVISIONS
 1. 04/30/2018: SHEET PLAN

JOB NUMBER: 17-022
 SHEET NUMBER: A1.0

PROJECT SUMMARY
 PROPOSED 4-STORY HOTEL HOMES OF TYPE I/A
 CONSTRUCTION FULL SPRINKLERED

SITE SUMMARY
 ADDRESS: 86-00000
 CITY: VISALIA, CA
 COUNTY: KERN COUNTY
 DISTRICT: 0
 ZONE: R-1
 LOT AREA: 111,942 SF
 DEED: 44-27-000-015
 SIDE YARD SETBACK (EXTERIOR): 30' / 15'-0"
 BUILDING HEIGHT: 48'-0" TO TOP OF TOWER
 BUILDING COVERAGE: 11.06% OF 111,942 SF
 LANDSCAPE COVERAGE: 2.00% OF 111,942 SF
 MAXIMUM OVERHANG: 4'-0" / 15'-0"
 MAXIMUM CANOPY: 4'-0" / 15'-0"
 MAXIMUM OVERHANG: 4'-0" / 15'-0"

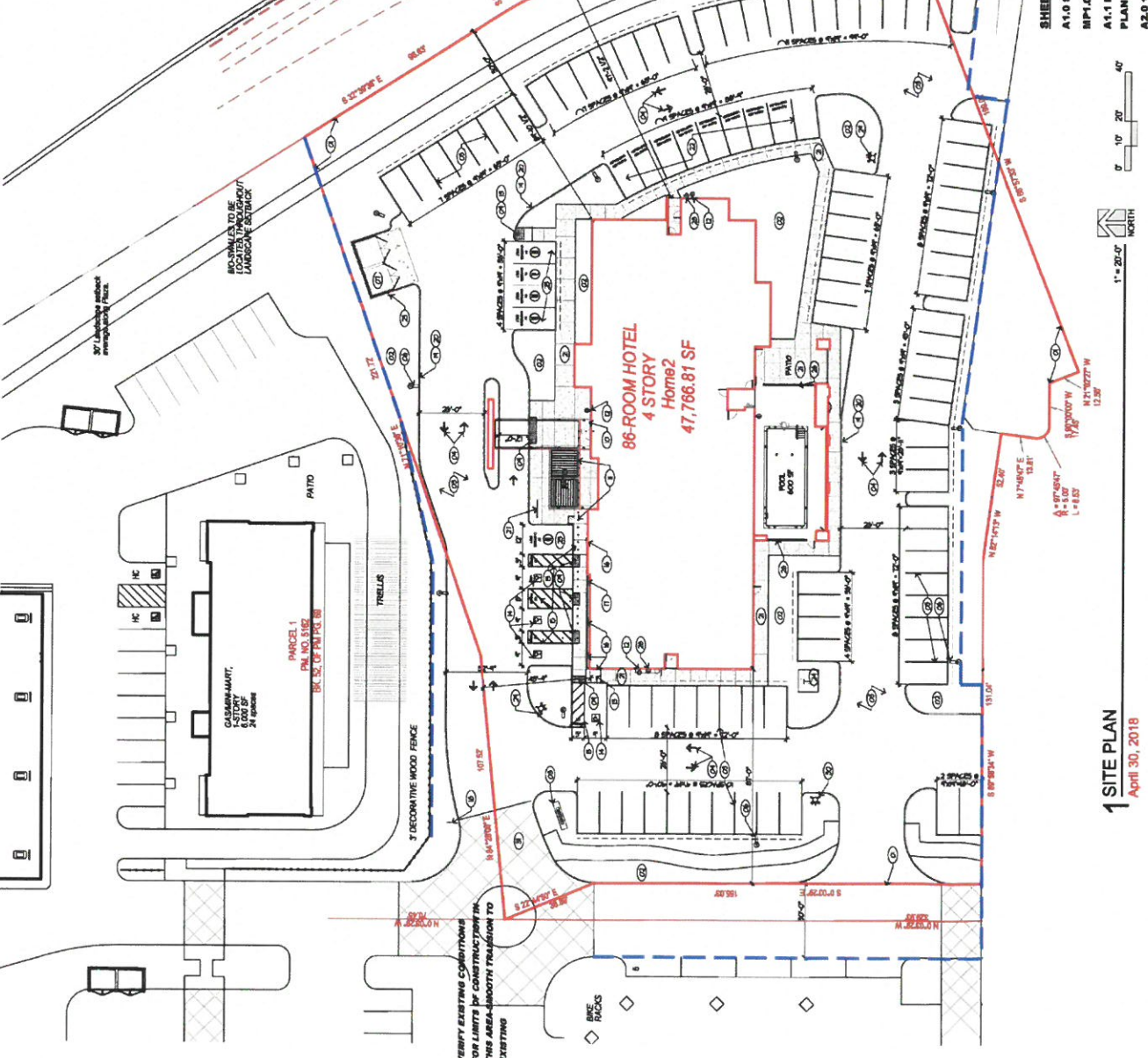
BUILDING AREA
 BASED SEPARATED OCCUPANCY: A-3 (LOBBY, RECEPTION)
 A-1 (RESTROOMS - TRANSITION)
 A-2 (OFFICE, MEETING)
 TYPE OF CONSTRUCTION: I/A (REINFORCED CONCRETE)
 FIRST FLOOR: 111,942 SF
 SECOND FLOOR: 111,942 SF
 THIRD FLOOR: 111,942 SF
 FOURTH FLOOR: 111,942 SF
 TOTAL BUILDING AREA: 447,768 SF

PARKING CALCULATIONS
 PARKING SPACES REQUIRED: 88 SPACES
 1 SPACE PER SUITE ROOM (88 ROOMS)
 1 SPACE PER 1000 SF OF HOTEL (100,000 SF)
 PARKING SPACES PROVIDED: 88 SPACES
 1 SPACE PER SUITE ROOM (88 ROOMS)
 1 SPACE PER 1000 SF OF HOTEL (100,000 SF)

UTILITIES
 WATER SUPPLY: 10" WATER MAIN
 GAS: 8" GAS MAIN
 SEWER: 12" SEWER MAIN
 CITY OF VISALIA PUBLIC WORKS DEPARTMENT
 PHONE (805) 836-1000
 FAX (805) 836-1000
 1000 S. VISALIA AVENUE
 VISALIA, CA 93291

VICINITY MAP
 SUBJECT PROPERTY
 86-00000

- SITE PLAN KEYNOTES**
1. REFER TO SHEET A1.1 FOR THE LOCATION OF THE PROJECT.
 2. REFER TO SHEET A1.2 FOR THE LOCATION OF THE PROJECT.
 3. REFER TO SHEET A1.3 FOR THE LOCATION OF THE PROJECT.
 4. REFER TO SHEET A1.4 FOR THE LOCATION OF THE PROJECT.
 5. REFER TO SHEET A1.5 FOR THE LOCATION OF THE PROJECT.
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 98. REFER TO SHEET A1.98 FOR THE LOCATION OF THE PROJECT.
 99. REFER TO SHEET A1.99 FOR THE LOCATION OF THE PROJECT.
 100. REFER TO SHEET A1.100 FOR THE LOCATION OF THE PROJECT.



1 SITE PLAN
 April 30, 2018

86-ROOM HOTEL
 4 STORY
 Home2
 47,766.81 SF



STEVEN L. KIEKE ARCHITECT

NCARB LEED AP

P. O. Box 80481 Bakersfield, California 93380

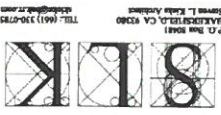
661-330-0785 skieke@bak.rr.com

HOME 2 OPERATIONS STATEMENT

The Home 2 Project at 'The Square', Visalia, CA; consists of a 4 story, 86 room hotel on a 2 acre parcel. Home 2 is a Hilton brand.

The Hotel amenities include a fitness room, lobby gathering area, business center and swimming pool/spa. Food service is limited to a continental breakfast (hot breakfast items are pre-cooked and warmed) for Hotel guests only. Backhouse spaces include management offices and laundry facilities.

The Hotel will be open 24 hours a day, 7 days a week, 365 days a year. There will be a total staff of 10, with a maximum of 6 on any given shift.



HOM2 - VISALIA
 VISALIA, CA
 OWNER: RAYO FAMILY

REVISIONS
 ISSUED FOR: 4/19/18 Site Plan Review

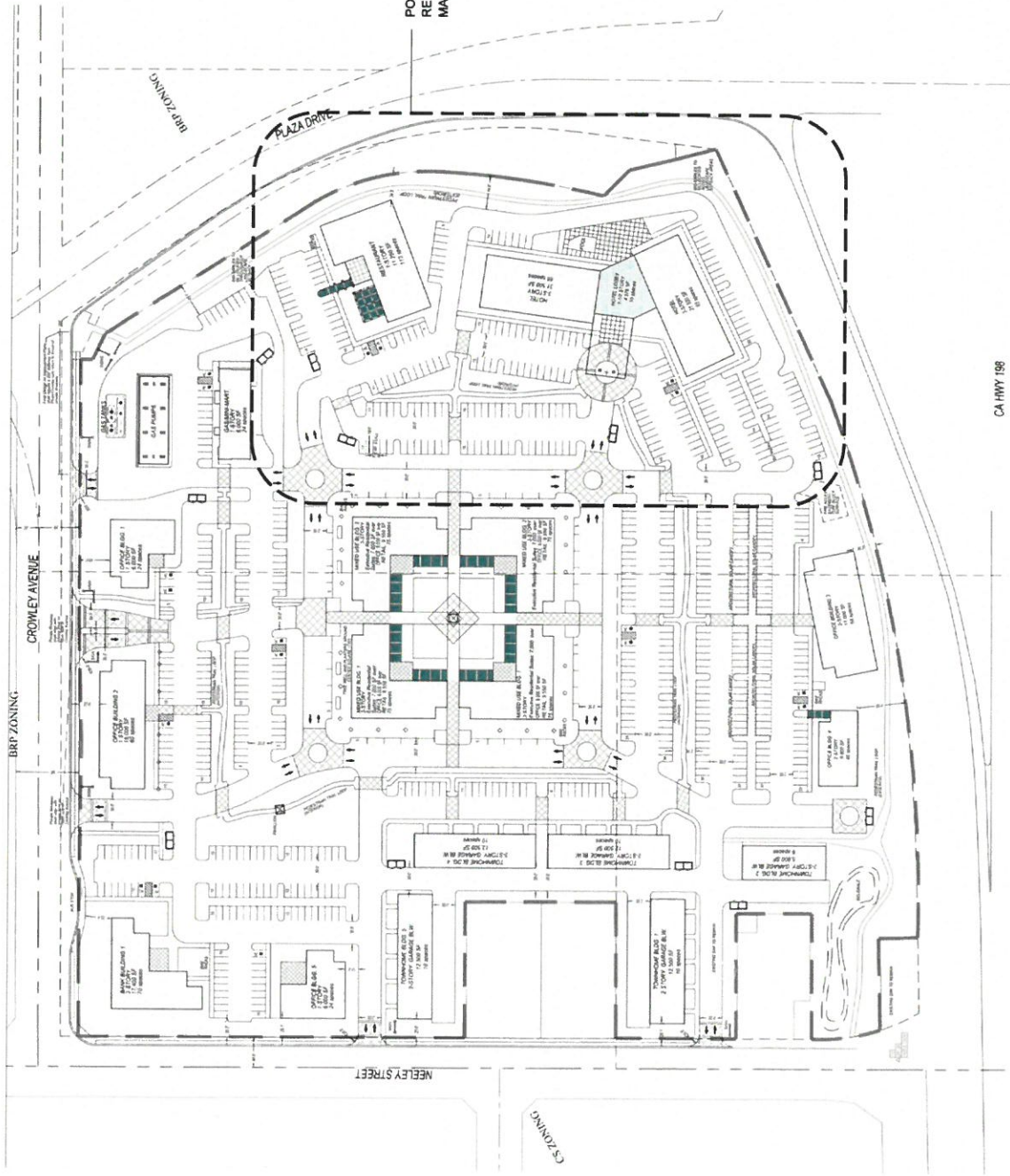
Site Plan
 17-022
 MP1.0

JOB NUMBER: 17-022
 SHEET NUMBER: MP1.0

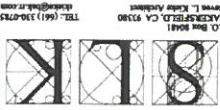
Site Plan No. 17-022



PORTION OF MASTER PLAN TO BE RECONFIGURED—SEE PARTIAL MASTER PLAN SHEET ATTACHED



CA HWY 198



TEL: (661) 310-0773
 BAKERFIELD, CA 93380
 SHAWN L. KATZ ARCHITECT
 P.O. Box 80481
 BAKERFIELD, CA 93380



HOME2 - VISALIA

Owner: Royce Family
 Visalia, CA
 Plaza Drive

REVISIONS

ISSUED FOR: 4/18/18
 SHEET NUMBER: 17-022

Overall Site Plan

Overall Site Plan
 This plan shows the proposed site plan for the HOME2 - VISALIA project. The site is located at the intersection of Plaza Drive and [unintelligible] Street. The plan shows the layout of the hotel, restaurant, and parking areas. The site is bounded by [unintelligible] Street to the north, [unintelligible] Street to the south, and [unintelligible] Street to the east. The plan shows the proposed building footprints, parking stalls, and landscaping. The site is shown in relation to the surrounding streets and other properties. The plan is intended to provide a clear and concise overview of the proposed development.

JOB NUMBER: 17-022
 SHEET NUMBER: A1.1

SDP Plan No. 16-022

SITE DATA:

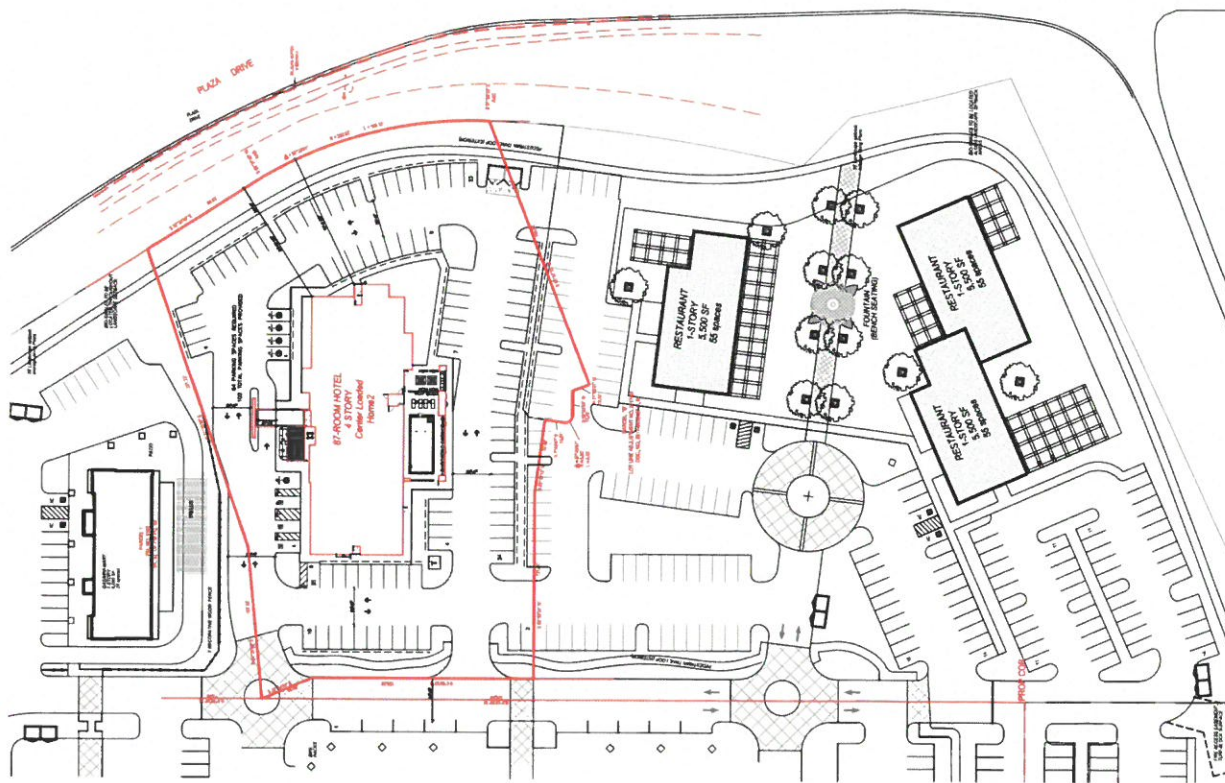
- APN: 081-170-35
- PROJECT ZONING: BHP
- PROPOSED ZONING: BHP
- DESIGN DISTRICT: G
- EXISTING USE: VACANT
- WATER SERVICE: CITY OF VISALIA
- SEWER SERVICE: CALIFORNIA WATER SERVICE COMPANY
- STORM SERVICE: SOUTHERN CALIFORNIA GAS COMPANY
- GAS SERVICE: SOUTHERN CALIFORNIA GAS COMPANY
- ELEC. SERVICE: EDISON COMPANY
- REFUSE SERVICE: CITY OF VISALIA
- TELEPHONE: SBC
- FLOOD ZONE: AE AND X

BUILDING AND PARKING:

- HOTEL PARKING: 97 STALLS
- HOTEL: 87 ROOMS
- SPACES REQUIRED (1/ROOM) AND EMPLOYEES: 97 STALLS
- SPACES PROPOSED: 103
- RESTAURANT PARKING: 55 STALLS
- RESTAURANT 1: 5,500 SF
- SPACES REQUIRED (1 / 100 SF) : 55 STALLS
- RESTAURANT 2: 5,500 SF
- SPACES REQUIRED (1 / 100 SF) : 55 STALLS
- RESTAURANT 3: 5,500 SF
- SPACES REQUIRED (1 / 100 SF) : 55 STALLS
- RESTAURANT SPACES REQUIRED: 165 STALLS
- RESTAURANT SPACES PROPOSED: 141 STALLS (15% REDUCTION)
- *SHARED PARKING AGREEMENT THROUGHOUT SITE TO REDUCE PARKING REQUIREMENTS



VICINITY MAP
 NO SCALE



1" = 40'-0"
 NORTH

1 OVERALL SITE PLAN
 April 19, 2018

MARCH 2014

THE SQUARE @PLAZA DR. PHASING PLAN

PHASE 1 PARCELS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

PREPARED FOR: NOTI FAMILY
PREPARED BY: KLEINER, INC.
VISALIA, CA 93271

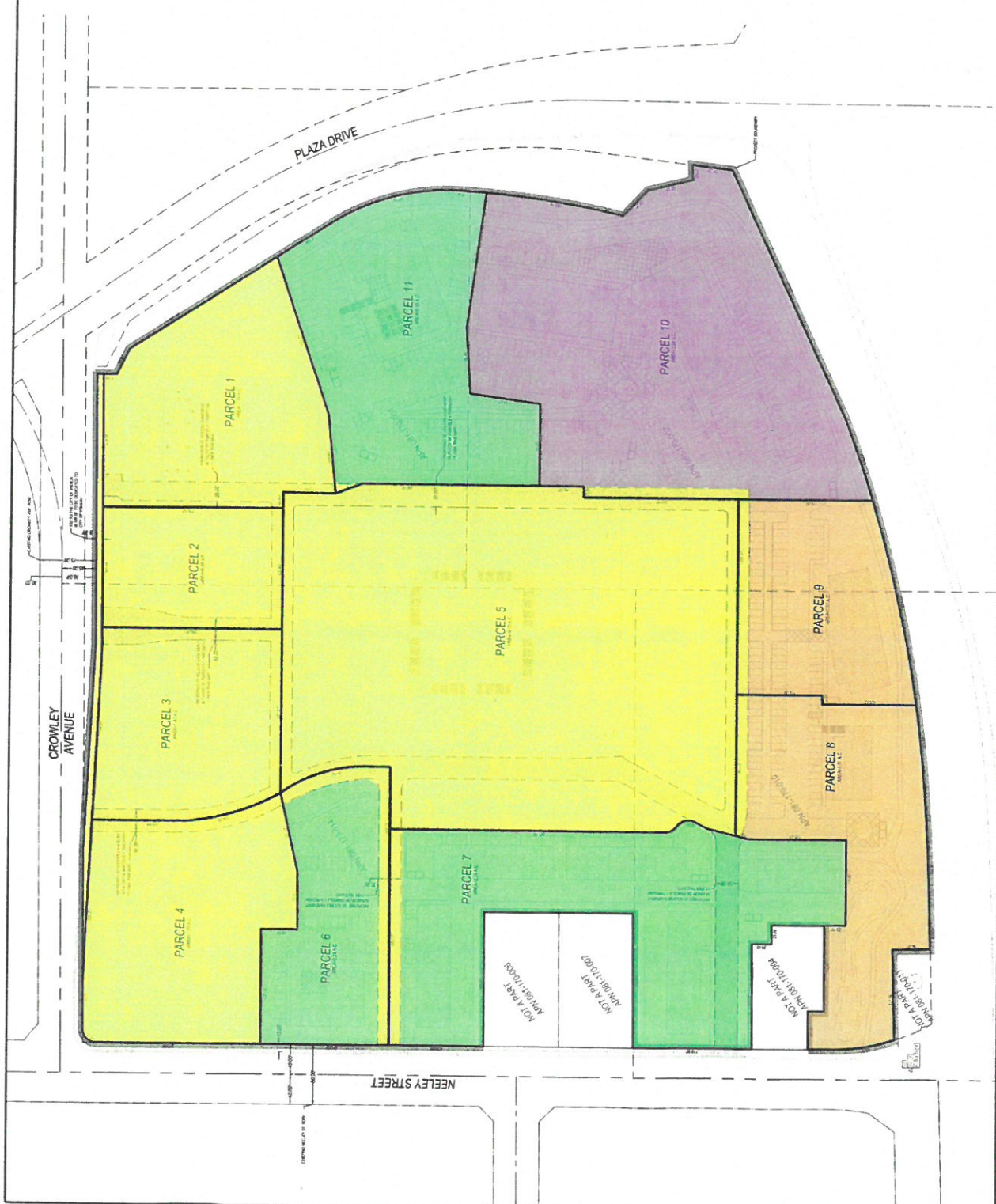
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081-170-09; 081-170-10; 081-170-14

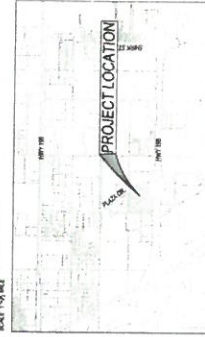
- CURRENT ZONING: RRP
- DESIGN DISTRICT: C
- EXISTING USE: VACANT
- PROPOSED USE: OFFICE
- WATER SERVICE: CALIFORNIA WATER SERVICE COMPANY
- STORM SERVICE: CITY OF VISALIA
- GAS SERVICE: SOUTHERN CALIFORNIA GAS COMPANY
- ELEC. SERVICE: CITY OF VISALIA
- REFUSE SERVICE: CITY OF VISALIA
- TELEPHONE: SBC
- FLOOD ZONE: AE AND X

PHASING

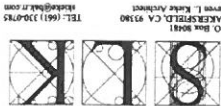
- PHASE 1: PARCELS 1-5
- PHASE 2: PARCELS 6-11
- PHASE 3: PARCELS 8, 9
- PHASE 4: PARCEL 10



VICINITY MAP
SCALE: 1"=1/2 MILE



PREPARED BY: KLEINER, INC.
VISALIA, CA 93271
4CREEKS



TEL: (661) 200-0785
info@slk77.com

F.O. Box 8041
Bakersfield, CA 93380
Steven L. Kalk Architect



HOMER - VISALIA

Owner: Royce Family
Visalia, CA
Piazza Drive

REVISIONS

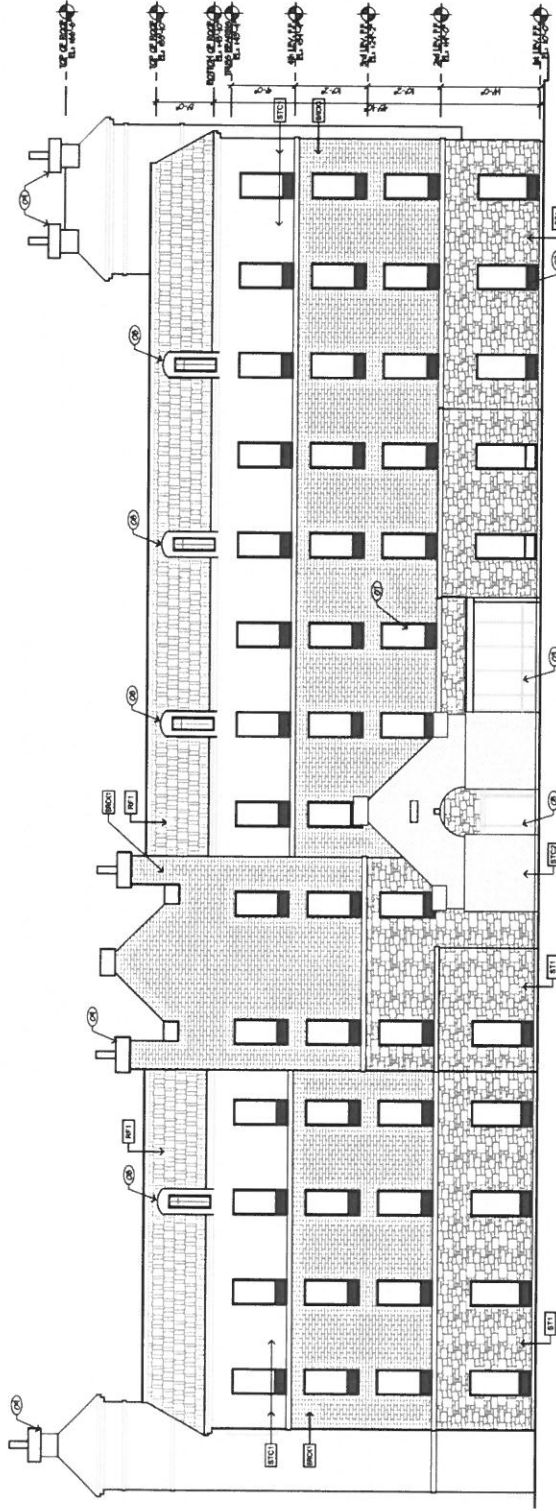
ISSUED FOR: Site Plan Review
DATE: 11.14.18
BY: CJP/SMB

Exterior Elevations

These drawings are to be used in conjunction with the approved site plan and other drawings. The contractor is responsible for verifying all dimensions and materials. The architect is not responsible for construction methods or details not shown. The contractor is responsible for obtaining all necessary permits and approvals. The architect is not responsible for any delays or costs incurred due to the contractor's failure to comply with these drawings.

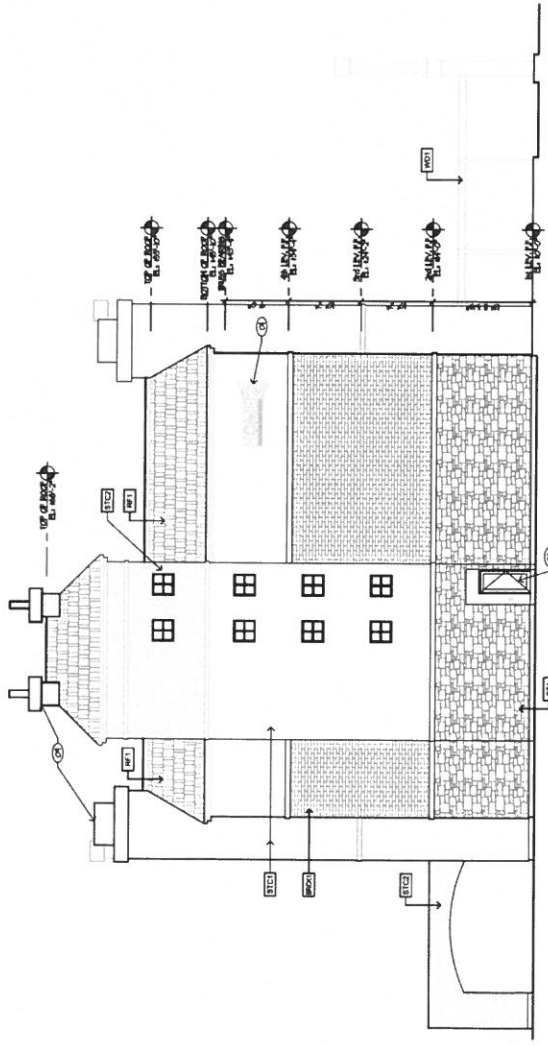
JOB NUMBER: 17-022
SHEET NUMBER: A3.1

SHA Form No. 15-022



1 NORTH ELEVATION - FRONT

1/8" = 1'-0"



2 EAST ELEVATION - SIDE

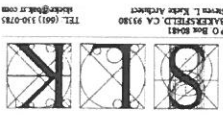
1/8" = 1'-0"

ELEVATION LEGEND

- ST1 ELDERWOOD STONE - HUNGARICIT STONE
- ST2 ELDERWOOD STONE - BRICK VENEER
- ST3 BRICK
- ST4 STUCCO SAND FINISH COLOR COLOR #1
- ST5 STUCCO SAND FINISH COLOR COLOR #2
- ST6 STUCCO SAND FINISH COLOR COLOR #3
- ST7 STUCCO SAND FINISH COLOR COLOR #4
- ST8 STUCCO SAND FINISH COLOR COLOR #5
- ST9 STUCCO SAND FINISH COLOR COLOR #6
- ST10 STUCCO SAND FINISH COLOR COLOR #7
- ST11 STUCCO SAND FINISH COLOR COLOR #8
- ST12 STUCCO SAND FINISH COLOR COLOR #9
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- ST98 STUCCO SAND FINISH COLOR COLOR #95
- ST99 STUCCO SAND FINISH COLOR COLOR #96
- ST100 STUCCO SAND FINISH COLOR COLOR #97

ELEVATION KEYNOTES

- KEYNOTES LISTED BELOW PERTAIN TO THE PLAN ON THIS SHEET ONLY.
- DESCRIPTION
- KEYNOTE
- 1" TYPICAL FRAME CLEAR GLAZING WINDOWS AND GLAZING
- 2" TYPICAL FRAME CLEAR GLAZING WINDOWS AND GLAZING
- 3" TYPICAL FRAME CLEAR GLAZING WINDOWS AND GLAZING
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STK
Steven L. Elder Architects
TTL (661) 110-0715
elder@stka.com



HOME2 - VISALIA

OWNER: Royce Family
Project: Home2
Visalia, CA
REVISONS

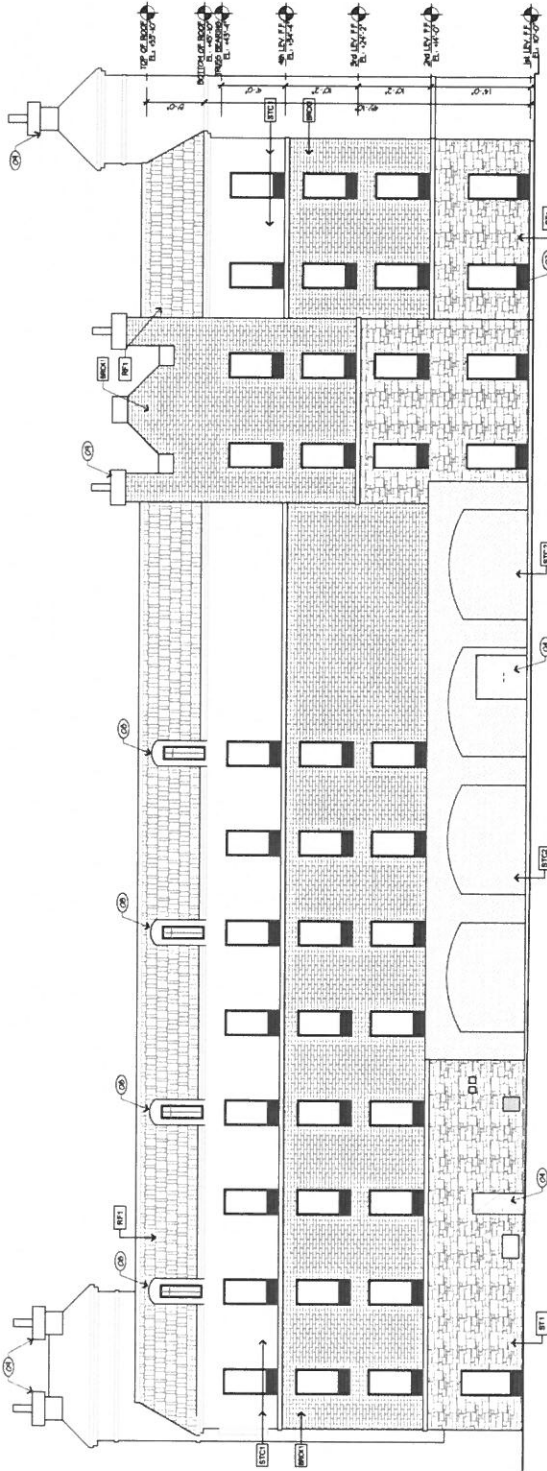
ISSUED FOR: Site Plan Review
4/19/13
5/2/13
5/2/13

Exterior Elevations

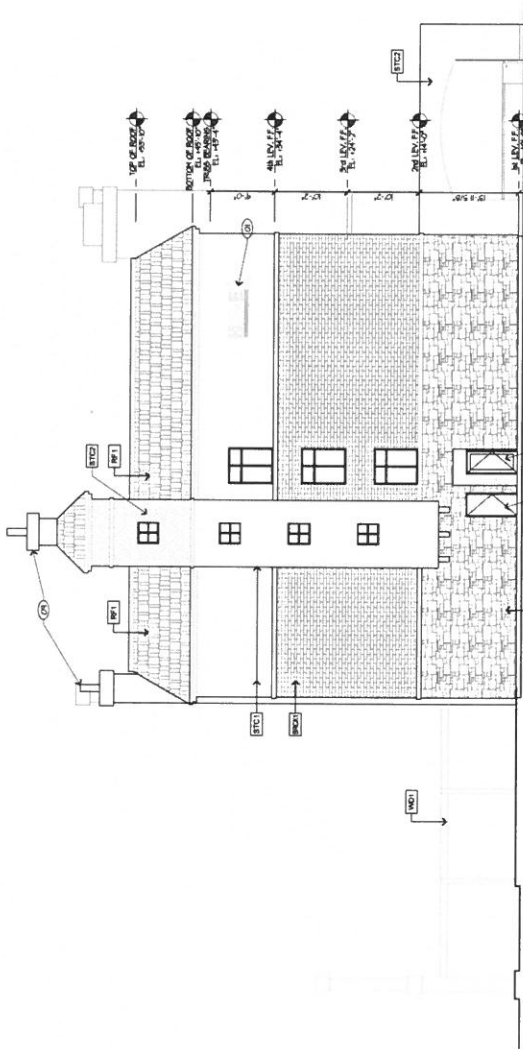
These elevations are based on the information provided in the contract documents and are subject to change without notice. The contractor is responsible for verifying all dimensions and materials. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for coordinating with all other trades and subcontractors. The contractor shall be responsible for maintaining accurate records of all work performed. The contractor shall be responsible for ensuring that all work is completed in accordance with the contract documents and applicable laws and regulations. The contractor shall be responsible for ensuring that all work is completed in a timely and professional manner. The contractor shall be responsible for ensuring that all work is completed in accordance with the contract documents and applicable laws and regulations. The contractor shall be responsible for ensuring that all work is completed in a timely and professional manner.

JOB NUMBER: 17-022
SHEET NUMBER: A3.2

See Plan No. 16-022



1 SOUTH ELEVATION - REAR
1/8" = 1'-0"



2 WEST ELEVATION - SIDE
1/8" = 1'-0"

ELEVATION LEGEND

- BT1 BROWN STONE - ROCKFACED STONE
- BT2 BROWN STONE - BRICK VENEER
- BT3 BROWN STONE - BRICK VENEER
- BT4 SCOTT'S TUCO SAND FRESH COLOR COLOR #1
- BT5 SCOTT'S TUCO SAND FRESH COLOR COLOR #2
- BT6 DIMENSIONAL HEMLOCK ROOF TILES
- BT7 HEAVY TIMBER TRUSSES - STAINED
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ELEVATION KEYNOTES

- KEYNOTES LISTED BELOW PERTAIN TO THE PLANS ON THIS SHEET ONLY
- NO. DESCRIPTION
- 1. PROVIDE BLOODING AND POWER FOR EXTERIOR BUILDING SIGNAGE
- 2. PROVIDE BLOODING AND POWER FOR EXTERIOR BUILDING SIGNAGE
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- 99. PROVIDE BLOODING AND POWER FOR EXTERIOR BUILDING SIGNAGE
- 100. PROVIDE BLOODING AND POWER FOR EXTERIOR BUILDING SIGNAGE



HOME2 - VISALIA

REVISIONS

ISSUED FOR
01/31/18
02/14/18
03/08/18

First Floor Plan

THIS DOCUMENT IS THE PROPERTY OF THE ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN, NOR FOR THE CONSEQUENCES OF ANY ACTION TAKEN OR NOT TAKEN IN RELIANCE ON THIS DOCUMENT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREIN.

JOB NUMBER:
17-022
SHEET NUMBER:
A2.1

GUEST ROOM COUNT & MIX SUMMARY

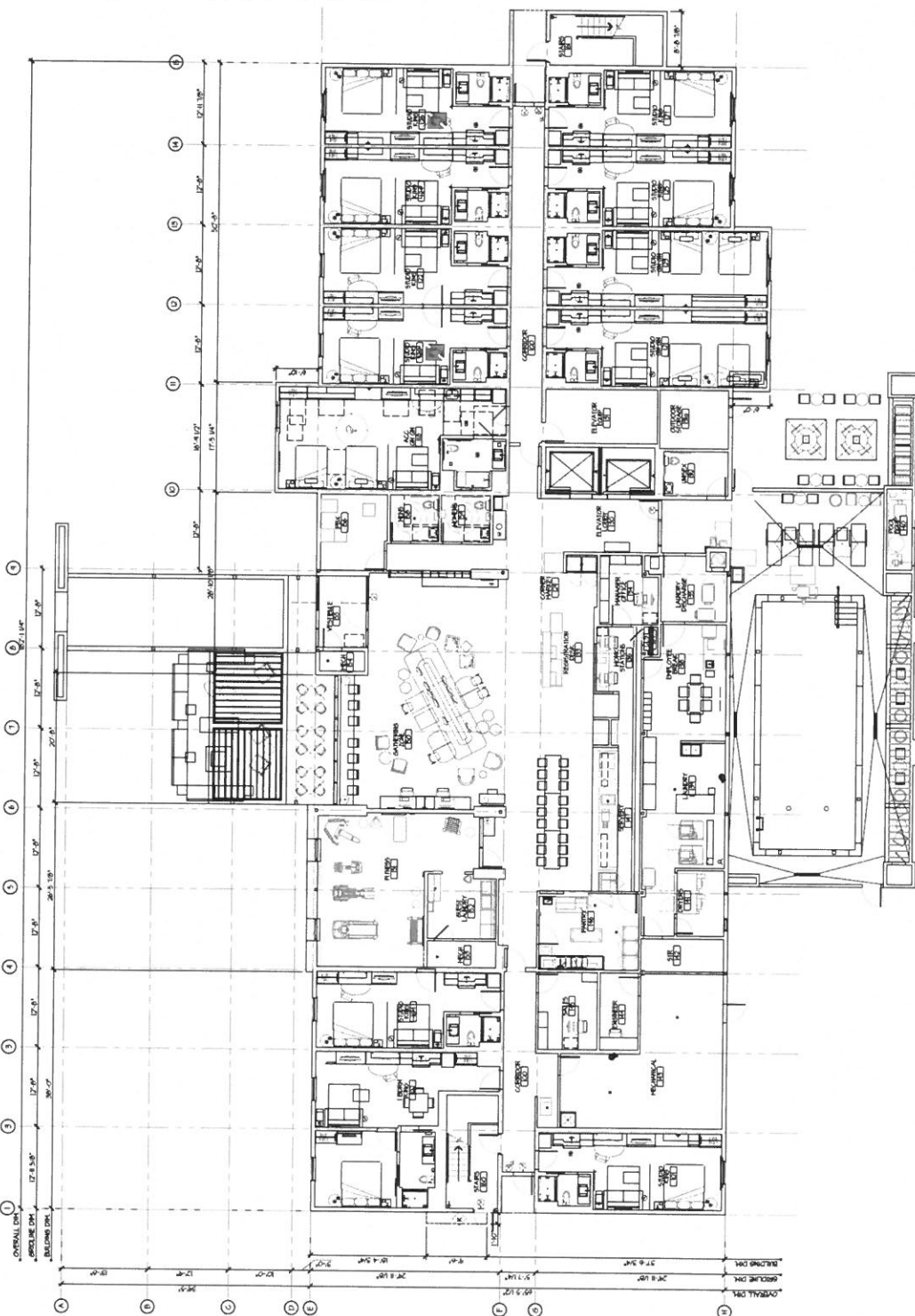
| ROOM TYPE | TRAD. SIZED ROOM | TRAD. SIZED ROOM WITH BATH | MIXED SIZED ROOM | TRAD. SIZED ROOM WITH BATH | TOTAL |
|--------------|------------------|----------------------------|------------------|----------------------------|-------|
| FIRST FLOOR | 8 | 2 | 1 | 1 | 12 |
| SECOND FLOOR | 21 | 1 | 2 | 1 | 25 |
| THIRD FLOOR | 19 | 1 | 2 | 1 | 23 |
| FOURTH FLOOR | 19 | 1 | 2 | 1 | 23 |
| TOTAL | 67 | 5 | 6 | 4 | 82 |

MOBILITY & COMM. FEATURE GR

| DESCRIPTION | 1# | 2# | 3# | 4# | TOTAL |
|------------------|----|----|----|----|-------|
| NOBILITY FEATURE | 1 | 1 | 1 | 1 | 4 |
| COMMUNICATION | 2 | 2 | 2 | 2 | 8 |
| TOTAL | 3 | 3 | 3 | 3 | 12 |

AT LEAST ONE GUEST ROOM REQUIRED TO PROVIDE MOBILITY FEATURES. NOT MORE THAN ONE OF EACH TYPE OF MOBILITY FEATURE SHALL BE PROVIDED PER ROOM. MOBILITY FEATURES SHALL ALSO PROVIDE COMMUNICATION FEATURES. NOT MORE THAN ONE OF EACH TYPE OF COMMUNICATION FEATURE SHALL BE PROVIDED PER ROOM. MOBILITY AND COMMUNICATION FEATURES SHALL BE PROVIDED IN ACCORDANCE WITH THE MINIMUM NUMBER OF GUEST ROOMS REQUIRED TO PROVIDE COMMUNICATION FEATURES: 2019 IBC 119.2.2.8.2

- ### LEGEND
- 100 ROOM NUMBER
 - 101 CEILING MOUNTED ILLUMINATED EXIT SIGN
 - 102 SIGN SHALL BE MOUNTED AND HAVE BATTERY BACKUP. REFER TO ELECTRICAL DRAWINGS FOR SPECIFICATIONS. SHADDED AREA INDICATES ILLUMINATED SIGN. EXIT SIGN ILLUMINATION SHALL BE GREEN EXCEPT AS NOTED ON PLAN.
 - 103 WALL MOUNTED ILLUMINATED EXIT SIGN
 - 104 SIGN SHALL BE MOUNTED AND HAVE BATTERY BACKUP. REFER TO ELECTRICAL DRAWINGS FOR SPECIFICATIONS. SHADDED AREA INDICATES ILLUMINATED SIGN. EXIT SIGN ILLUMINATION SHALL BE GREEN EXCEPT AS NOTED ON PLAN.
 - 105 MOUNTED EXTERIOR ILLUMINATED EXIT SIGN
 - 106 SIGN SHALL BE MOUNTED AND HAVE BATTERY BACKUP. REFER TO ELECTRICAL DRAWINGS FOR SPECIFICATIONS. SHADDED AREA INDICATES ILLUMINATED SIGN. EXIT SIGN ILLUMINATION SHALL BE GREEN EXCEPT AS NOTED ON PLAN.
 - 107 FIRE ALARM CALL POINT
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1 FIRST FLOOR PLAN
APRIL 30, 2018
1/8" = 1'-0"
North

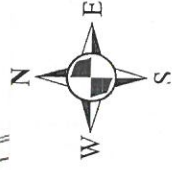
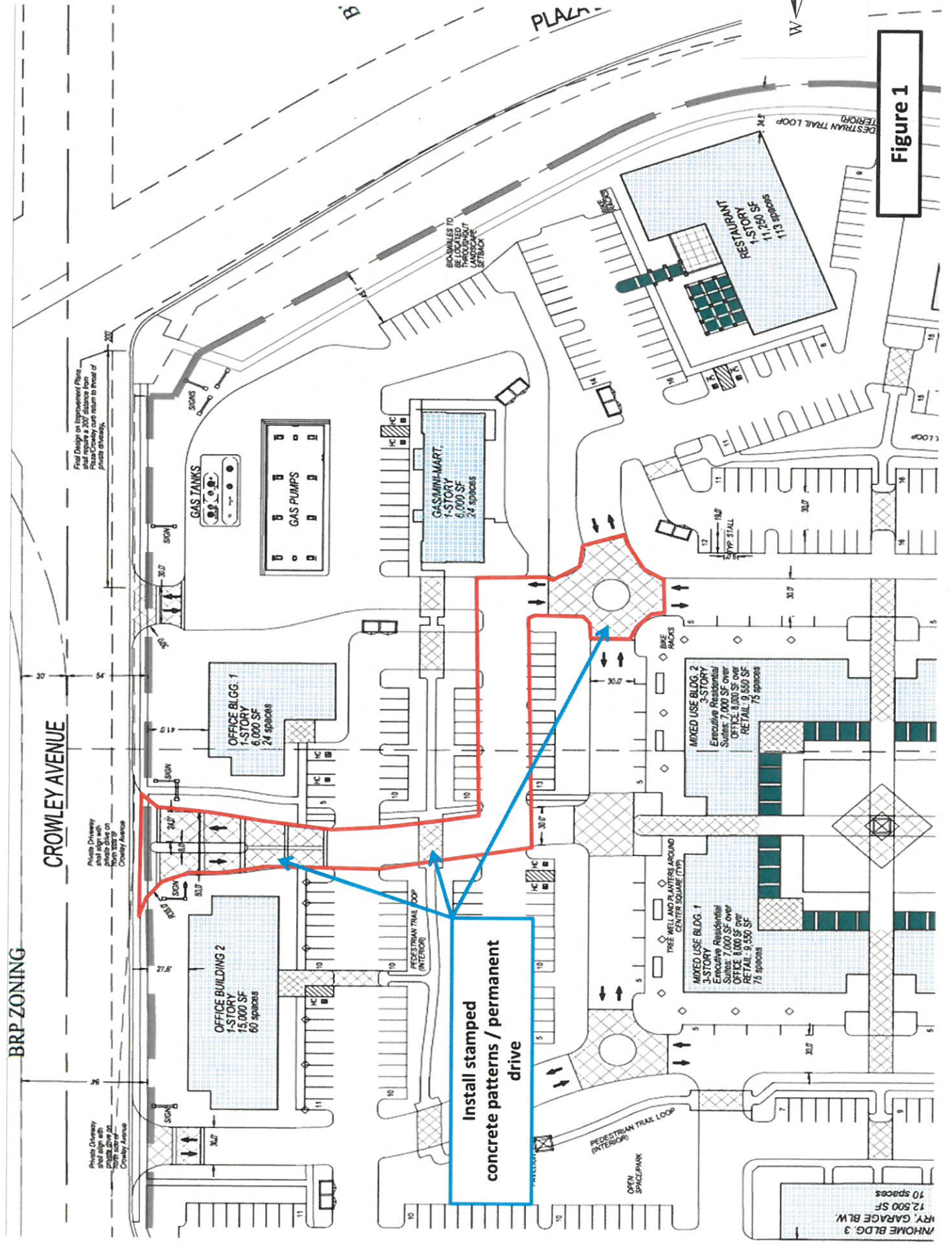


Figure 1



CITY OF VISALIA
315 E. ACEQUIA STREET
VISALIA, CA 93291



**NOTICE OF A PROPOSED
MITIGATED NEGATIVE DECLARATION**

Project Title: Development and subdivision of the Square at Plaza Drive Master Planned Office Development, consisting of Conditional Use Permit No. 2014-19 and Tentative Parcel Map No. 2014-03.

Project Description:

Conditional Use Permit (CUP) No. 2014-19 is a request by 4Creeks Inc., to allow construction of a phased master-planned development in the BRP (Business Research Park) zone. Approval of the master plan conditional use permit project would approve the general layout and development conditions for the project; individual projects requiring supplemental review (such as a Conditional Use Permit) would be required to secure such permit in the future. Other projects would require site plan review to determine compliance with the master plan. The present application contains one site-specific application, one for a convenience store and gas station at the southwest corner of North Plaza Drive and West Crowley Avenue.

The project consists of a 25-acre mixed-use development with office and limited highway commercial businesses and residential units in compliance with Policy 3.6.3 of the Land Use Element of the Visalia General Plan. The development is generally comprised of 97,200 square feet of office space, 38,200 square feet of retail, gas station/convenience store, three-story 65-room hotel with 4,575 square feet of associated conference room space, 11,250 square foot restaurant space, 23 townhome residential units, 28 executive lofts, 808 parking stalls, and a pedestrian trail along the periphery of the site. The project also includes off-site street and infrastructure improvements on Crowley Avenue and Neeley Street inside the City limits. Although the Master Site Plan identifies the location of all future structures, parking stalls, landscaping, etc., it is anticipated that some changes will occur as each planned structure undergoes construction-level design. Therefore, each structure or pad will require City Site Plan Review prior to issuance of a building permit. This will allow the City to determine the structure's consistency with the Master Plan and other City-adopted policies and development standards. It will also allow the City to track the Project's progress against the adopted square footage and parking totals. This review will be performed by the Community Development Director, the City Planner, a designee, or the Site Plan Review Committee.

This Project will be the third master planned BRP development in Visalia to incorporate sustainable design features that will provide a basis for structures to be certified under the "Leadership in Energy and Environmental Design (LEED)" green building rating system. The Master Plan will include the following features prescribed in the LEED program: 1) avoidance of prime farmland, or key habitat areas; 2) location of the project within ¼ mile of bus stops, and integration of transit into the project design; 3) providing bicycle facilities, including on-site bicycle racks; 4) preferential parking for van pools, car pools and low emission vehicles; 5) implementing on-site bio-swale storm water management system to retain stormwater; 6) performance standards for containing errant light; 7) use of trees and highly reflective materials to reduce heat buildup; 8) shared parking; and 9) reduction in on-site water consumption by 50 percent through the use selected plant materials and building features.

As prescribed by the City's BRP regulations, the project will incorporate sites for larger scale office uses, highway commercial uses, business service, employee service uses, and residential units in an integrated high-amenity campus environment. The word "campus" is intended to imply a highly landscaped area, with buildings defining open spaces and common activity areas, and with parking relegated to interior or back areas so that the primary streetscape (whether along Plaza Drive, Crowley Avenue, Neeley Street,) is oriented to building activities and forms. These open spaces are to accommodate multiple uses for active and passive open space, storm water retention and ground water recharge, ornamental landscaping, and to visually separate parking areas. Overall, the Square at Plaza Drive contains approximately 35 percent open space and landscaping. According to the Visalia General Plan, this BRP is to accommodate high quality, larger scale office uses, as well as highway commercial uses. Consequently, sites in the Square at Plaza Drive are designated for hotels, a service station, sit-down restaurants, office space, limited commercial areas, residential units, and related uses. Architecture has been developed to provide thematic consistency throughout, with detailed, high quality contemporary and modern "English" style architecture, with such details carried through to site planning accents and street furniture such as signage, pergolas, benches, bus shelters, and others. The intent is to provide the region with larger scale office, highway commercial and residential structures that will exceed the appearance and design of anything in the region.

The project will be implemented in phases in four phases. Figure "A" illustrates the general phasing of the Project. Building phases may be modified if a finding is made that adequate infrastructure exists or will exist, and buildings may be aggregated into larger footprints if user needs warrant.

Tentative Parcel Map No. 2014-03 is a request to divide the 25-acre site into 11 parcels with shared access, parking, drainage and maintenance agreements.

Project Applicant: The project is a request by 4Creeks, Inc. on behalf of the Roye Family (property owner).

Project Location: The project is located on the southwest corner of North Plaza Drive and West Crowley Avenue, situated within the City limits of Visalia, County of Tulare, State of California. (APNs: 081-170-01, 081-170-02, 081-170-03; 081-170-09, 081-170-10 & 081-170-014)

Contact Person: Paul Bernal, Principal Planner Phone: (559) 713-4025

Time and Place of Public Hearing: A public hearing will be held before the Planning Commission on November 10, 2014, at 7:00 p.m. in the City Hall Council Chambers located at 707 West Acequia Avenue, Visalia, California.

Pursuant to City Ordinance No. 2388, the Environmental Coordinator of the City of Visalia has reviewed the proposed project described herein and has found that the project will not result in any significant effect upon the environment because of the reasons listed below:

Reasons for Mitigated Negative Declaration: Initial Study No. 2014-53 has identified certain significant, adverse environmental impact(s) that may occur because of the project, though with mitigation these impact(s) will be reduced to a level that is less than significant. Copies of the initial study and other documents relating to the subject project may be examined by interested parties at the Planning Division in City Hall East, at 315 East Acequia Avenue, Visalia, CA.

Comments on this proposed Mitigated Negative Declaration will be accepted from October 20, 2014 to November 10, 2014.

Date: 10/20/2014

Signed: *P. Scheibel*
Paul Scheibel, AICP
Environmental Coordinator
City of Visalia

MITIGATED NEGATIVE DECLARATION

Project Title: Development and subdivision of the Square at Plaza Drive Master Planned Office Development, consisting of Conditional Use Permit No. 2014-19 and Tentative Parcel Map No. 2014-03.

Project Description:

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This Project will be the third master planned BRP development in Visalia to incorporate sustainable design features that will provide a basis for structures to be certified under the "Leadership in Energy and Environmental Design (LEED)" green building rating system. The Master Plan will include the following features prescribed in the LEED program: 1) avoidance of prime farmland, or key habitat areas; 2) location of the project within ¼ mile of bus stops, and integration of transit into the project design; 3) providing bicycle facilities, including on-site bicycle racks; 4) preferential parking for van pools, car pools and low emission vehicles; 5) implementing on-site bio-swale storm water management system to retain stormwater; 6) performance standards for containing errant light; 7) use of trees and highly reflective materials to reduce heat buildup; 8) shared parking; and 9) reduction in on-site water consumption by 50 percent through the use selected plant materials and building features.

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The project will be implemented in phases in four phases. Figure "A" illustrates the general phasing of the Project. Building phases may be modified if a finding is made that adequate infrastructure exists or will exist, and buildings may be aggregated into larger footprints if user needs warrant.

Tentative Parcel Map No. 2014-03 is a request to divide the 25-acre site into 11 parcels with shared access, parking, drainage and maintenance agreements.

Project Applicant: The project is a request by 4Creeks, Inc. on behalf of the Roye Family (property owner).

Project Location: The project is located on the southwest corner of North Plaza Drive and West Crowley Avenue, situated within the City limits of Visalia, County of Tulare, State of California. (APNs: 081-170-01, 081-170-02, 081-170-03; 081-170-09, 081-170-10 & 081-170-014)

Project Facts: Refer to Initial Study for project facts, plans and policies, discussion of environmental effects and mitigation measures, and determination of significant effect.

Attachments:

| | |
|-------------------------|-----|
| Initial Study | (X) |
| Environmental Checklist | (X) |
| Maps | (X) |
| Mitigation Measures | (X) |
| Letters | () |

DECLARATION OF NO SIGNIFICANT EFFECT:

This project will not have a significant effect on the environment for the following reasons:

- (a) The project does not have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.
- (b) The project does not have the potential to achieve short-term environmental goals to the disadvantage of long-term environmental goals.
- (c) The project does not have environmental effects which are individually limited but cumulatively considerable. Cumulatively considerable means that the incremental effects of an individual project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.
- (d) The environmental effects of the project will not cause substantial adverse effects on human beings, either directly or indirectly.

This Mitigated Negative Declaration has been prepared by the City of Visalia Planning Division in accordance with the California Environmental Quality Act of 1970, as amended. A copy may be obtained from the City of Visalia Planning Division Staff during normal business hours.

APPROVED
Paul Scheibel, AICP
Environmental Coordinator

By: *J. McDonald for*

Date Approved: October 20, 2014

Review Period: 20 days

INITIAL STUDY

I. GENERAL

A. Description of the Project: Development and subdivision of the Square at Plaza Drive Master Planned Office Development, consisting of Conditional Use Permit No. 2014-19 and Tentative Parcel Map No. 2014-03.

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Project Applicant: The project is a request by 4Creeks, Inc. on behalf of the Roye Family (property owner).

Project Location: The project is located on the southwest corner of North Plaza Drive and West Crowley Avenue, situated within the City limits of Visalia, County of Tulare, State of California. (APNs: 081-170-01, 081-170-02, 081-170-03; 081-170-09, 081-170-10 & 081-170-014)

B. Identification of the Environmental Setting: The project is located on the southwest corner of an improved arterial roadway (Plaza) to the east, a minor collect street (Crowley) to the north and a local street (Neeley) to the west. The south boundary of the site is State Route 198. The site abuts two properties that are not a part of the project that are developed with ranch style homes. There are no structures or improvements on the site. The site currently is and has been fallow vacant land for at least ten years.

The surrounding zoning and land uses are as follows:

- North: Crowley Avenue (minor collector street) & Plaza Business Park; BRP (Business Research Park) zone / Fresno Pacific University and vacant parcels
- South: State Route 198
- East: Plaza Drive & State Route 198/Plaza Drive on-ramp
- West: Neely Street (local street) & Auto Plaza; C-S (Service Commercial) zone / BMW & Lampe Car Dealerships & vacant property

Fire and police protection services, street maintenance of public streets, refuse collection, and wastewater treatment will be provided by the City of Visalia upon the redevelopment of the area.

C. Plans and Policies: Policies applicable to the project are contained in the General Plan's Land Use Element (LUE) and Circulation Element (CE), Airport Master Plan, West Visalia Specific Plan, and County Airport Land Use Compatibility Plan. The Land Use Element designates the site as Business Research Park with the intent to develop it for larger scale offices and high quality Highway Commercial Uses. The site is zoned BRP (Business Research Park).

The zoning allow for large-scale office, highway commercial and residential mixed use developments subject to the adoption of an approved master plan. The specific uses identified on the site plan exhibit are conditionally allowed uses.

The proposed development at this location can be considered to be consistent with the General Plan and Zoning and Subdivision Ordinances based on the site's proximity to arterial-designated streets and other community-level commercial/industrial uses. The proposed project would be consistent with the other BRP developments located at adjacent corner intersections near the project site. The City of Visalia's existing plans and policies specifically address the allowance of concentrated BRP development provided that it is developed consistent with and has minimal impacts upon adjacent land uses (City of Visalia Land Use Element Policies 3.2.2, 3.5.6, & 3.6.3).

City of Visalia Land Use Element Policies 3.2.2, 3.5.16, & 3.6.3 state the following in regards to the proposed Land Use Designation:

Policy 3.2.2: Ensure high quality highway commercial development at State Route 198 and Plaza Drive in conjunction with a Business Research Park through enforcement of the West Visalia Specific Plan's design and development standards. These land uses shall be master planned and developed in conformity with the West Visalia Specific Plan.

Policy 3.5.16: Limited, high quality highway commercial uses shall be integrated into the Business Research Park area at the Plaza/SH 198 intersection.

Policy 3.6.3: Develop a Business Research Park Center zone district to accommodate large-scale businesses and research related activities in campus-type master planned developments at five locations: 1) Plaza Drive north of SH 198 in conjunction with limited, high quality highway commercial uses.

City of Visalia Zoning Ordinance, Section 17.24.010(B), states the following in regards to the proposed Zoning Designation:

The purpose and intent of the planned business research park zone district is to provide for business, scientific, educational and light industrial uses in a campus-type setting. Planned business research parks are to be planned and developed as integrated units via specific or master plans and are intended to accommodate large-scale office developments at locations which provide close-in employment opportunities; promote Visalia's community identity through special site development standards such as lot sizes, setbacks, landscaping, building scale, parking, open areas, etc.; and provide on-site ancillary uses including day care, food service, banks, recreation, etc., served by a variety of transportation modes to reduce vehicle trips.

II. ENVIRONMENTAL IMPACTS

No significant adverse environmental impacts after mitigation have been identified for this project. The City of Visalia Land Use Element and Zoning Ordinance contain land use mitigation measures that are designed to reduce/eliminate impacts to a level of non-significance. Additionally, the project design and conditions include mitigation measures that will reduce potentially significant impacts to a level that is less than significant.

The City of Visalia Zoning Ordinance contains guidelines, criteria, and requirements for the mitigation of potential impacts related to light/glare, visibility screening, noise, and traffic/parking to eliminate and/or reduce potential impacts to a level of non-significance.

City Council Resolution 91-105 adopted and certified the Visalia Land Use Element Update EIR and contained mitigation measures to eliminate or substantially lessen the impacts of growth in the community. Those mitigation measures are included herein by reference. In addition, the Visalia Zoning Ordinance contains guidelines, criteria, and requirements for the mitigation of potential impacts related to light/glare, visibility screening, noise, and traffic/parking to eliminate and/or reduce potential impacts to a level of non-significance. The City's impact fee programs for public safety, public services, groundwater preservation, stormwater management, and others, adequately mitigate public service and infrastructure impacts of the proposed project.

III. MITIGATION MEASURES

The following mitigation measures will reduce environmental impacts related to Greenhouse Gas Emissions a less than significant impact:

- **Greenhouse Gas Reduction Plan – A Greenhouse Reduction Plan was prepared for the project (ref.: Greenhouse Gas Analysis The Square @ Plaza Drive. July 28, 2014, 4Creeks, Inc.) has concluded that a 29% reduction in Greenhouse Gases will be reduced from Business As Usual with the incorporation of Best Performance Standards provided in the Greenhouse Gas Analysis. To ensure that the project complies with the Best Performance Standards, the standards are included as mitigation to be incorporated into the project.**

The City of Visalia Zoning Ordinance contains guidelines, criteria, and requirements for the mitigation of potential impacts related to light/glare, visibility screening, noise, and traffic/parking to eliminate and/or reduce potential impacts to a level of non-significance.

City Council Resolution 91-105 adopted and certified the Visalia Land Use Element Update EIR and contained mitigation measures to eliminate or substantially lessen the impacts of growth in the community. Those mitigation measures are included herein by reference. In addition, the Visalia Zoning Ordinance contains guidelines, criteria, and requirements for the mitigation of potential impacts related to light/glare, visibility screening, noise, and traffic/parking to eliminate and/or reduce potential impacts to a level of non-significance. The City's impact fee programs for public safety, public services, groundwater preservation, stormwater management, and others, adequately mitigate public service and infrastructure impacts of the proposed project.

IV. MITIGATION MONITORING PROGRAM

| <u>Mitigation Measure</u> | <u>Responsible Party</u> | <u>Timeline</u> | <u>Verified</u> |
|--|--------------------------|--|---------------------------|
| GHG Mitigation Measure 1.1: Construction Phase: Comply with the conclusions identified as CalEEMod mitigations in the GHG Analysis dated 07/28/14 completed for the project. | Project Applicant | Mitigation shall be enforced and carried out during the project's construction, and shall be completed prior to operation of any business or use on the project site. | City construction permits |
| GHG Mitigation Measure 1.2: Operational Phase: Comply with the conclusions identified as CalEEMod mitigations in the GHG Analysis dated 03/11/14 completed for the project. | Project Applicant | Mitigation shall be enforced and carried out during the project's operation of any business or use on the project site and Before final occupancy for each development phase | City operating permits |

V. PROJECT COMPATIBILITY WITH EXISTING ZONES AND PLANS

The project is compatible with the General Plan and Zoning Ordinance as the project relates to surrounding properties.

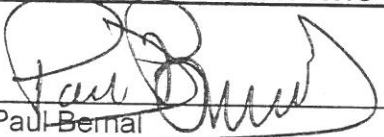
VI. SUPPORTING DOCUMENTATION


The following documents are hereby incorporated into this Mitigated Negative Declaration and Initial Study by reference:

- City of Visalia General Plan Land Use Element. City of Visalia. September 1991, revised June 1996.
- City of Visalia General Plan Land Use Element Final Environmental Impact Report (SCH EIR No. 90020160). City of Visalia, September 3, 1991.
- Visalia City Council Resolution 91-105 (Certifying the EIR for the City of Visalia General Plan Land Use

- Element Update), passed and adopted September 3, 1991.
- City of Visalia General Plan Circulation Element. City of Visalia. April 2001.
 - City of Visalia General Plan Circulation Element Final Environmental Impact Report (SCH EIR No. 95032056). VRPA Technologies, February 26, 2001.
 - Visalia City Council Resolution 2001-19 (Certifying the EIR for the City of Visalia General Plan Circulation Element Update), passed and adopted April 2, 2001.
 - City of Visalia General Plan Conservation, Open Space, Recreation & Parks Element. City of Visalia. June 1989.
 - Visalia Municipal Code, Title 17 (Zoning Ordinance)
 - California Environmental Quality Act Guidelines
 - City of Visalia Storm Water Master Plan. Boyle Engineering Corporation, September 1994.
 - City of Visalia Sanitary Sewer Master Plan. City of Visalia, 1994.
 - Traffic Impact Study for the Square at Plaza, Visalia, California. September 29, 2014 4Creeks, Inc.
 - Greenhouse Gas Analysis for the Square at Plaza Drive, 4Creeks Inc., July 28, 2014

V. NAME OF PERSON WHO PREPARED INITIAL STUDY


Paul Bernal
Principal Planner


Paul Scheibel, AICP
Environmental Coordinator

INITIAL STUDY
 ENVIRONMENTAL CHECKLIST

| | | | |
|-----------------------|--|-------------------|---|
| Name of Proposal | Development and subdivision of the Square at Plaza Drive Master Planned Office Development, consisting of Conditional Use Permit No. 2014-19 and Tentative Parcel Map No. 2014-03. | | |
| NAME OF PROPONENT: | 4Creeks Inc. | NAME OF AGENT: | 4Creeks Inc. |
| Address of Proponent: | 324 S. Santa Fe. St. Suite A Visalia, CA 93291 | Address of Agent: | 324 S. Santa Fe. St. Suite A Visalia, CA 93291 |
| Telephone Number: | (559) 802-3052 | Telephone Number: | (559) 802-3052 |
| Date of Review | October 20, 2014 | Lead Agency: | City of Visalia |

The following checklist is used to determine if the proposed project could potentially have a significant effect on the environment. Explanations and information regarding each question follow the checklist.

1 = No Impact 2 = Less Than Significant Impact
 3 = Less Than Significant Impact with Mitigation Incorporated 4 = Potentially Significant Impact

I. AESTHETICS

Would the project:

- 2 a) Have a substantial adverse effect on a scenic vista?
- 1 b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?
- 2 c) Substantially degrade the existing visual character or quality of the site and its surroundings?
- 2 d) Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?

II. AGRICULTURAL RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:

- 1 a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency to non-agricultural use?
- 1 b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?
- 1 c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?
- 1 d) Result in the loss of forest land or conversion of forest land to non-forest use?
- 1 c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to nonagricultural use?

III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

- 2 a) Conflict with or obstruct implementation of the applicable air quality plan?
- 2 b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?
- 2 c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?
- 2 d) Expose sensitive receptors to substantial pollutant concentrations?
- 2 e) Create objectionable odors affecting a substantial number of people?

IV. BIOLOGICAL RESOURCES

Would the project:

- 2 a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?
- 2 b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?
- 2 c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?
- 2 d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

- 2 e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?
- 2 f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?

V. CULTURAL RESOURCES

Would the project:

- 1 a) Cause a substantial adverse change in the significance of a historical resource as defined in Public Resources Code Section 15064.5?
- 1 b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Public Resources Code Section 15064.5?
- 1 c) Directly or indirectly destroy a unique paleontological resource or site, or unique geologic feature?
- 1 d) Disturb any human remains, including those interred outside of formal cemeteries?

VI. GEOLOGY AND SOILS

Would the project:

- a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:
 - 1 i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?
 - 1 ii) Strong seismic ground shaking?
 - 1 iii) Seismic-related ground failure, including liquefaction?
 - 1 iv) Landslides?
- 2 b) Result in substantial soil erosion or loss of topsoil?
- 1 c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?
- 1 d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?
- 1 e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?

VII. GREENHOUSE GAS EMISSIONS

Would the project:

- 3 a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?
- 3 b) Conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

VIII. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- 1 a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?

- 2 b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?
- 1 c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?
- 1 d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?
- 1 e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?
- 1 f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?
- 1 g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?
- 1 h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

IX. HYDROLOGY AND WATER QUALITY

Would the project:

- 2 a) Violate any water quality standards of waste discharge requirements?
- 2 b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?
- 1 c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?
- 2 d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?
- 2 e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?
- 1 f) Otherwise substantially degrade water quality?
- 1 g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?
- 1 h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?
- 1 i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?
- 1 j) Inundation by seiche, tsunami, or mudflow?

X. LAND USE AND PLANNING

Would the project:

- 2 a) Physically divide an established community?
- 2 b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?
- 1 c) Conflict with any applicable habitat conservation plan or natural community conservation plan?

XI. MINERAL RESOURCES

Would the project:

- 1 a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?
- 1 b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?

XII. NOISE

Would the project:

- 2 a) Cause exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?
- 2 b) Cause exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?
- 2 c) Cause a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?
- 2 d) Cause a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?
- 1 e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?
- 1 f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

XIII. POPULATION AND HOUSING

Would the project:

- 1 a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?
- 1 b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?
- 1 c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?

XIV. PUBLIC SERVICES

Would the project:

- 1 a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically

altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

- 1 i) Fire protection?
- 1 ii) Police protection?
- 1 iii) Schools?
- 1 iv) Parks?
- 1 v) Other public facilities?

XV. RECREATION

Would the project:

- 1 a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?
- 1 b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

XVI. TRANSPORTATION / TRAFFIC

Would the project:

- 2 a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?
- 2 b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?
- 1 c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?
- 1 d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?
- 1 e) Result in inadequate emergency access?
- 2 f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?

XVII. UTILITIES AND SERVICE SYSTEMS

Would the project:

- 1 a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?
- 2 b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?
- 2 c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?
- 1 d) Have sufficient water supplies available to service the project from existing entitlements and resources, or are new or expanded entitlements needed?

- 1 e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?
- 1 f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?
- 1 g) Comply with federal, state, and local statutes and regulations related to solid waste?

XVIII. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- 2 a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?
- 2 b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?
- 3 c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?

Note: Authority cited: Sections 21083 and 21083.05, Public Resources Code. Reference: Section 65088.4, Gov. Code; Sections 21080(c), 21080.1, 21080.3, 21083, 21083.05, 21083.3, 21093, 21094, 21095, and 21151, Public Resources Code; *Sundstrom v. County of Mendocino*, (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors*, (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

Revised 2009

DISCUSSION OF ENVIRONMENTAL EVALUATION

I. AESTHETICS

- a. The proposed project is mixed office/commercial and residential development, which will meet City standards for setbacks, landscaping and building height restrictions.

This project will not adversely affect the view of any scenic vistas. The Sierra Nevada mountain range may be considered a scenic vista which the project will not adversely impact the view of because the proposed project site is entirely surrounded by similar two-story office development. In addition, the proposed two-story project will be located on a hospital campus setting.

- b. The project is not located within the vicinity of a scenic state highway that is designated or might be designed by the State Department of Transportation. There is one oak tree on the project site that will be protected during construction and preserved in accordance with the City's adopted Oak Tree Preservation Ordinance (Visalia Municipal Code Chapter 12.24), and the City's *Standard Specifications for Building Around Valley Oaks*.
- c. The proposed project proposes a high degree of visual character through the use of a high quality, consistent architectural theme, landscaping, building facades, signage, and other amenities. The project elements will be integrated and carried throughout the architecture of the entire development.
- d. The City's development standards and project design standards limit on-site lighting and the amount of errant lighting at individual property lines and public rights of way for any new sources of light to 0.25 lumens. This standard shall be demonstrated on building permit applications submitted in association with the development.

II. AGRICULTURAL RESOURCES

- a. The site is not been under agricultural production in the past five years. The Farmland Mapping and Monitoring Program of the California Resources Agency has designated farmland in and around Visalia as Irrigated Farmland on the map of Important Farmlands of Tulare County. The predominant soil types (Tagus loam with some Grangeville sandy loam) have a land capability classification of Class I as irrigated land and Class IV(c) as non-irrigated land. The site size and configuration, adjacent land uses, and other factors severely limit the site's usefulness for commercial agriculture.

The site is approximately 25 acres in total. The property is below the minimum parcel size for consideration as Prime Agricultural land under the Williamson Act. Further, there is no direct access to surface irrigation supplies or onsite groundwater irrigation wells, further limiting the potential for agricultural production.

The site was evaluated in the EIR for the City of Visalia Land Use Element Update for conversion to urban use, and the City has already adopted urban development boundaries as mitigation measures for conversion of prime agricultural land.

- b. The project will not conflict with an existing zoning for agricultural use, as there are no properties in the project area with an Agriculture zoning. There are no known Williamson Act contracts on any properties within the project area.
- c. There is no forest or timber land currently located on the site.
- d. There is no forest or timber land currently located on the site.
- e. The project will not involve other changes in the existing environment, which due to their location or nature, could result in conversion of Farmland to nonagricultural use. The site is currently fallow and is not in "agricultural use," and is not considered to be economically viable farmland.

III. AIR QUALITY

- a. The project site is located in an area that is under the jurisdiction of the San Joaquin Valley Air Pollution Control District. The project in itself does not disrupt implementation of the San Joaquin Regional Air Quality Management Plan, and will therefore be a less than significant impact. The short-term construction impact of the proposed project's construction emissions are considered less than significant by the SJVAPCD based on compliance with the District's mandatory dust control measures. Development of the project will be subject to the SJVAPCD's Indirect Source Review (Rule 9510) procedures that became effective on March 1, 2006. The Applicant will be required to obtain permits demonstrating compliance with Rule 9510, or payment of mitigation fees to the SJVAPCD.
- b. The project could result in short-term air quality impacts related to dust generation due to grading activities. The project is required to adhere to requirements administered by the SJVAPCD to reduce emissions to a level of compliance consistent with the District's grading regulations. Compliance with the SJVAPCD's rules and regulations will reduce potential impacts associated with air quality standard violations to a less than significant level.

In addition, development of the project will be subject to the SJVAPCD Indirect Source Review (Rule 9510) procedures that became effective on March 1, 2006. The Applicant will be required to obtain permits demonstrating compliance with Rule 9510, or payment of mitigation fees to the SJVAPCD.

- c. The San Joaquin Valley is a region that is already at non-attainment for air quality. This site was evaluated in the EIR for the City of Visalia Land Use Element Update for conversion into urban development. The City adopted urban development boundaries as mitigation measures for air quality.

The project could result in short-term air quality impacts related to dust generation due to grading activities. The project is required to adhere to requirements administered by the SJVAPCD to reduce emissions to a level of

compliance consistent with the District's grading regulations. Compliance with the SJVAPCD's rules and regulations will reduce potential impacts associated with air quality standard violations to a less than significant level.

In addition, development of the project will be subject to the SJVAPCD Indirect Source Review (Rule 9510) procedures that became effective on March 1, 2006. The Applicant will be required to obtain permits demonstrating compliance with Rule 9510, or payment of mitigation fees to the SJVAPCD.

- d. The proposed project will not expose sensitive receptors to a substantial generation of pollutant concentrations.
- e. The proposed project will not involve the generation of objectionable odors that would affect a substantial number of people.

IV. BIOLOGICAL RESOURCES

- a. The site has no known species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service. City-wide biological resources were evaluated in the EIR for the City of Visalia Land Use Element Update for conversion to urban use.
- b. The project is not located within or adjacent to an identified sensitive riparian habitat or other natural community.
- c. The project is not located within or adjacent to federally protected wetlands as defined by Section 404 of the Clean Water Act.
- d. This development would not act as a barrier to animal movement. This site was evaluated in the General Plan EIR for the City of Visalia Land Use Element Update for conversion to urban use.
- e. There is one oak tree on the project site that will be protected during construction and preserved in accordance with Chapter 12.24 of the City's Municipal Code (VMC) regarding Oak Tree Presentation and its *Standard Specifications for Building Around Valley Oaks*.
- f. There are no local or regional habitat conservation plans for the area.

V. CULTURAL RESOURCES

- a. There are no known historical resources located within the project area. If some potentially historical or cultural resource is unearthed during development all work should cease until a qualified professional archaeologist can evaluate the finding and make necessary mitigation recommendations.
- b. There are no known archaeological resources located within the project area. If some archaeological resource is unearthed during development all work should cease until a qualified professional archaeologist can evaluate the finding and make necessary mitigation recommendations.

- c. There are no known unique paleontological resources or geologic features located within the project area.
- d. There are no known human remains buried in the project vicinity. If human remains are unearthed during development all work should cease until the proper authorities are notified and a qualified professional archaeologist can evaluate the finding and make any necessary mitigation recommendations.

VI. GEOLOGY AND SOILS

- a. The State Geologist has not issued an Alquist-Priolo Earthquake Fault Map for Tulare County. The project area is not located on or near any known earthquake fault lines. Therefore, the project will not expose people or structures to potential substantial adverse impacts involving earthquakes.
- b. The development of this site will require movement of topsoil. Existing City Engineering Division standards require that a grading and drainage plan be submitted for review to the City to ensure that off- and on-site improvements will be designed to meet City standards.
- c. The project area is relatively flat and the underlying soil is not known to be unstable. Soils in the Visalia area have few limitations with regard to development. Due to low clay content and limited topographic relief, soils in the Visalia area generally have low expansion characteristics.
- d. Due to low clay content, soils in the Visalia area have an expansion index of 0-20, which is defined as very low potential expansion.
- e. The project does not involve the use of septic tanks or alternative waste water disposal systems since sanitary sewer lines are used for the disposal of waste water at this location.

VII. GREENHOUSE GAS EMISSIONS

- a. The project is expected to generate GreenHouse Gas (GHG) emissions in the short-term as a result of construction emissions and in the long-term as a result of mobile and other sources of operational emissions. Estimated GHG emissions calculations are contained within the California Emissions Estimator Model (CalEEMod) report prepared for the project by 4Creeks, July 28, 2014.

According to the report, the project consisting of the phased development of the 25-acre site is expected to generate a total of 8,964.49 metric tons of carbon dioxide equivalent emissions (CO₂E) associated with construction between 2015 and 2029 under the business as usual scenario. However, the mitigated 2029 generation is 5,971.08, which is below the threshold of significance for GHG generation, owing to a 33.37% reduction when compared with business as usual.

The report further reveals that a strong majority of the CO₂E emissions associated with annual operations will result from mobile sources or vehicle trips associated with the uses. A majority of the Vehicle Miles Traveled (VMT) associated with the gas station/convenience market should be considered as passer-by trips rather than

destination / end of a trip based on the nature of these uses and their location in the context of the City. As a result, the VMT associated with these uses will be less than reported, and the emissions associated with these excess trips can be largely disregarded.

The project will result in the generation of GreenHouse Gas emissions that will result in an incremental impact on the environment. The impact is considered marginal based on ongoing Federal and State-wide efforts to minimize emissions and the project-specific regulations discussed below.

The San Joaquin Valley Air Pollution Control District (SJVAPCD) has released a document entitled *Guidance for Valley Land-use Agencies in Addressing GHG Emission Impacts for New Projects under CEQA*, which provides draft guidance for the determination of significant effects.

GreenHouse Gas emissions associated with new projects are found to have a cumulative effect rather than a direct impact on climate change. Because climate change is a global phenomenon, a direct impact cannot be associated for an individual land development project.

The California Global Warming Solutions Act of 2006, also known as Assembly Bill 32 or AB 32, required that the California Air Resources Board (CARB) design and implement emission limits, regulations, and other measures designed to reduce GHG to 1990 levels by 2020 representing a 29% reduction. Following this reduction target set in CARB's AB 32 Scoping Plan, the District evaluates GHG emission significance and finds that a project can avoid a significant impact by either:

- Using any combination of District approved GHG emission reduction measures to meet Best Performance Standards,
- Complying with an approved GHG plan or mitigation program, or
- Reducing GHG emissions by 29% from Business-As-Usual levels.

The proposed project will utilize a combination of District approved measures and existing State, Regional, and City regulations that will reduce the significance of the impact of GHG emissions.

The following regulations already in effect will assist in reducing the cumulative impact associated with GHG emissions:

- Compliance with the California Building Code of 2010 including Title 24 requirements,
- Compliance with the City of Visalia's water efficient landscape standards,
- Applicability of the SJVAPCD's Indirect Source Rule 9510 to the project,
- Compliance with the City of Visalia Development Standards (Chapter 17.30 of the Municipal Code), which requires the placement of parking

lot shade trees and street trees along public streets;

- Change in use from residential to horizontal mixed use.

The project will also be in compliance with certain measures approved by the SJVAPCD that are designated as an effective means of reducing the project's GHG emissions to meet Best Performance Standards and would provide a measurable reduction of GHG emissions.

The following SJVAPCD-approved measures are being required as project mitigation, further described in the Mitigation Measures section of the Initial Study:

- An on-site pedestrian access network that internally links all uses and connects to existing and planned streets;
 - Minimization of pedestrian barriers which impede pedestrian and bicycle access and inter-connectivity;
 - Providing of shade and/or light-colored materials on at least 30% of the site's non-roof impervious surfaces including parking lots;
 - Commitment to exceed Title 24 requirements by 20%;
 - Utilization of off-road diesel vehicles in compliance with Title 13, CCR, Section 2449 during project construction.
- b. The State of California has enacted the Global Warming Solutions Act of 2006 under Assembly Bill 32 (AB 32), which included provisions for reducing the GHG emission levels to 1990 "baseline" levels by 2020.

The proposed project will not impede the State's ability to meet the GHG emission reduction targets under AB 32. Current and probable future state and local GHG reduction measures will continue to reduce the project's contribution to climate change. As a result, the project will not contribute significantly, either individually or cumulatively, to GAG emissions.

VIII. HAZARDS AND HAZARDOUS MATERIALS

- a. No hazardous materials are anticipated with the project.
- b. Construction activities associated with development of the project may include maintenance of on-site construction equipment, which could lead to minor fuel and oil spills. The use and handling of any hazardous materials during construction activities would occur in accordance with applicable federal, state, regional, and local laws. Therefore, impacts are considered to be less than significant.
- c. There is no school site located one-quarter mile from the project site.
- d. The project area does not include any sites listed as hazardous materials sites pursuant to Government Code Section 65692.5.

- e. The City's adopted Airport Master Plan shows the project area located in Zone C, known as the Common Traffic Pattern. This plan contains safety policies which guide future development for sites located within this zone. There are no restrictions for the proposed type of development within Zone C. The County Airport Land Use Compatibility Plan places the project in Zone H. The project complies with the requirements of Zone H.

The project area is located within 2 miles of a public airport, but will not result in a safety hazard for people residing or working in the project area if developed under the policies referenced above.

- f. The project area is not within the vicinity of any private airstrip.
- g. The project will not interfere with the implementation of any adopted emergency response plan or evacuation plan.
- h. There are no wild lands within or near the project area.

IX. HYDROLOGY AND WATER QUALITY

- a. The project will not violate any water quality standards. A Master Plan has been prepared for the project, which addresses storm drainage, by identifying additions and improvements to storm drain lines required to accommodate the proposed on-site improvements. The storm drain line will feed into an off-site storm water retention basin located west of the project site. These improvements will be consistent with the adopted City Storm Drain Master Plan. In addition to storm drain lines, bio swales will be integrated into the landscaping on the site and will serve as locations for detention, disposal, and purification of storm water.
- b. The project will not substantially deplete groundwater supplies in the project vicinity. The project is within Cal Water's jurisdiction and is within their current Urban Water Management Plan. The primary source of water is groundwater. Existing water mains in the vicinity will be extended to serve the subject site. Building sites will be served by water laterals for domestic, irrigation, and fire protection use. The project will also be required to pay a groundwater impact fee for the purpose of funding upstream and downstream ground water recharge basins, and for importing surface water supplies as feasible.
- c. The project will not result in substantial erosion on- or off-site.
- d. The project will not substantially alter the existing drainage pattern of the site or area, alter the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site.
- e. Planned improvements to the site include additions of storm drain lines and the creation of bio swales. The bio swales will contain storm water in addition to that will be conveyed to a storm drainage basin to the west. The basin will be expanded in accordance with the approved Master Plan for Storm Drainage prepared for the project and the immediate vicinity. Therefore, the project will not create or contribute runoff water which would exceed the capacity of

existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff.

- f. There are no reasonably foreseeable reasons why the project would result in the degradation of water quality.
- g. The project area is located within Zone X02, which indicates an area that is not within flood hazard area.
- h. The project area is located within Zone X02, which indicates an area that is not within a flood hazard area.
- i. The project would not expose people or structures to risks from failure of levee or dam.
- j. Seiche and tsunami impacts do not occur in the Visalia area. The site is relatively flat, which will contribute to the lack of impacts by mudflow occurrence.

X. LAND USE AND PLANNING

- a. The project will not physically divide an established community.
- b. The site is within the current Urban Development Boundary (129,000 Population) of the City of Visalia. The City of Visalia designates the area for urban development. This site was evaluated in the EIR for the City of Visalia Land Use Element Update for conversion to urban use. The City adopted urban development boundaries as mitigation measures for conversion to urban development.

The project analysis contained in the Master Plan demonstrates compliance with applicable city policies and regulations. Chapter 17.24 of the Visalia Zoning Ordinance provides the purpose and intent of the zone along with development standards, and requires that all development within the zone be part of an approved master plan. A Master Plan document has been prepared for the proposed project in order to fulfill this requirement. The proposed project is consistent with all other elements of the General Plan.

The project consists of a 25-acre mixed-use development with office and limited highway commercial businesses and residential units in compliance with Policy 3.6.3 of the Land Use Element of the Visalia General Plan.

- c. The project does not conflict with any applicable conservation plan.

XI. MINERAL RESOURCES

- a. No mineral areas of regional or statewide importance exist within the Visalia area.
- b. There are no mineral resource recovery sites delineated in the Visalia area.

XII. NOISE

- a. The project will result in noise generation typical of urban development. There will be noise generated by traffic along designated arterial and collector streets. The City's standards for setbacks and/or construction of walls along major streets will reduce noise levels to a level that is less than significant.

Traffic and related noise impacts from the proposed project will occur along Neeley Street, Crowley Avenue,

and Plaza Drive. The nearest residential units are at Neeley and Camp Drive. Less than significant traffic is expected to impact Neeley south of Crowley, but none of the streets impacted by increased traffic contain noise sensitive land uses as defined by the Noise Element of the General Plan, and there will therefore not be any significant noise or ground borne vibration impacts from the project.

- b. The project will not result in ground-borne vibration or ground-borne noise levels. There are no existing uses near the project area that create ground-borne vibration or ground-borne noise levels.

Traffic and related noise impacts from the proposed project will occur along Neeley Street, Crowley Avenue, and Plaza Drive. The nearest residential units are at Neeley and Camp Drive. Less than significant traffic is expected to impact Neeley south of Crowley, but none of the streets impacted by increased traffic contain noise sensitive land uses as defined by the Noise Element of the General Plan, and there will therefore not be any significant noise or ground borne vibration impacts from the project.

- c. Ambient noise levels may increase beyond current levels as a result of the project, however these levels will be typical of noise levels associated with urban development and not in excess of standards established in the City of Visalia's General Plan or Noise Ordinance. The City's standards for setbacks and/or construction of walls along major streets reduce noise levels to a level that is less than significant.

Traffic and related noise impacts from the proposed project will occur along Neeley Street, Crowley Avenue, and Plaza Drive. The nearest residential units are at Neeley and Camp Drive. Less than significant traffic is expected to impact Neeley south of Crowley, but none of the streets impacted by increased traffic contain noise sensitive land uses as defined by the Noise Element of the General Plan, and there will therefore not be any significant noise or ground borne vibration impacts from the project.

- d. Noise levels will increase during the construction of the project but shall remain within the limits defined by the City of Visalia Noise Ordinance. Temporary increase in ambient noise levels is considered to be less than significant.

Traffic and related noise impacts from the proposed project will occur along Neeley Street, Crowley Avenue, and Plaza Drive. The nearest residential units are at Neeley and Camp Drive. Less than significant traffic is expected to impact Neeley south of Crowley, but none of the streets impacted by increased traffic contain noise sensitive land uses as defined by the Noise Element of the General Plan, and there will therefore not be any significant noise or ground borne vibration impacts from the project.

- e. The project area is within 2 miles of a public airport. The study for the Draft Visalia Municipal Airport Master Plan has developed noise contours for areas surrounding the

airport, which represent standard noise levels as defined by the City Noise Element. The California State Aeronautics Law establishes a CNEL of 65 dB as the maximum acceptable noise exposure for residential or other noise sensitive land uses. The project area is outside of any airport noise contour area. Although this project is located in Zone C, the location of the site is far enough away so that aircraft will be at a substantial altitude while traversing the property. The project will not expose people residing or working in the project area to excessive noise levels.

- f. There is no private airstrip near the project area.

XIII. POPULATION AND HOUSING

- a. The project will include the development of 23 residential townhomes and 28 rental suites. However, the General Plan and Zone Ordinance support mixed use projects that add a variety of residential inventory to the City's housing supply to meet the City's housing needs. However, this inclusion of these residential units will not directly induce substantial population growth that is in excess of that planned in the General Plan.
- b. Development of the site will not displace any housing on the site. There are two residential properties that are not a part of the development and the project will not require the removal of these two residential properties. The project will include frontage improvements across the properties that are not a part of the project.
- c. Development of the site will not displace any people on the site.

XIV. PUBLIC SERVICES

- a.
 - i. Current fire protection facilities are located at the Visalia Station 55 and can adequately serve the site without a need for alteration. Impact fees will be paid to mitigate the project's proportionate impact on these facilities.
 - ii. Current police protection facilities can adequately serve the site without a need for alteration. Impact fees will be paid to mitigate the project's proportionate impact on these facilities.
 - iii. The project will not directly generate new students. In order to address indirect impacts, the project will be required to pay non-residential impact fees. These fees are considered to be conclusive mitigation for indirect impacts. Current school facilities can adequately serve the site without a need for alteration.
 - iv. The project does not include any residential units that will create a need for additional park facilities. Current park and recreation facilities can adequately serve the site without a need for alteration.
 - v. Other public facilities can adequately serve the site without a need for alteration.

XV. RECREATION

- a. The project will directly generate new residents and will therefore directly increase the use of existing

neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated. Residential developments will pay impact fees to mitigate impacts.

- b. The proposed project does include passive recreational facilities within the project area but will not have an adverse physical effect on the environment. The project includes pedestrian trails interlinking the project site.

XVI. TRANSPORTATION AND TRAFFIC

- a. Development and operation of the project is not anticipated to conflict with applicable plans, ordinances, or policies establishing measures of effectiveness of the City's circulation system. The project will result in an increase in traffic levels on arterial roadways, although the City of Visalia's Circulation Element has been prepared to address this increase in traffic.
- b. Development of the site will result in increased traffic in the area, but will not cause a substantial increase in traffic on the city's existing circulation pattern. This site was evaluated in the EIR for the City of Visalia Land Use Element Update for urban use.

A revised final Traffic Impact Study was conducted for the project, dated September 29, 2014, which studied key roadways and intersections in the vicinity of the project site. The analysis considered existing roadway conditions and year 2026 (ten years after buildout) base conditions, with and without the project conditions. The analysis identified recommended roadway and intersection improvements to the vicinity of the project to ensure that the project operates at acceptable LOS conditions or better through 2026.

The City has determined that the development and operation of the proposed project in itself does not warrant immediate improvements to the intersection of Plaza Drive and Crowley Avenue. The City has recently completed the Plaza Drive Capital Improvement Project, which widened Plaza Drive to a six lane, with median, arterial roadway as well substantial improvements to the Plaza Drive and SR 198 interchange. These improvements are consistent with the improvements identified in the City of Visalia Circulation Element.

Ultimately, the project will cause average annual daily traffic levels to increase in the vicinity, though not beyond levels identified in the Circulation Element Update, or in excess of that which can be handled by existing or planned circulation facilities. Therefore, the increase in traffic spurred by the project will be less than significant.

- c. The project will not result in nor require a need to change air traffic patterns.
- d. There are no planned designs that are considered hazardous.
- e. The project will not result in inadequate emergency access.
- f. The project will be required to meet the City's parking

requirements for development as required in the City's Zoning Ordinance. A parking analysis provided with the project indicated that the amount of parking provided will meet City standards.

XVII. UTILITIES AND SERVICE SYSTEMS

- a. The site is projected for urban development by the City General Plan. The project is not proposed to exceed what has already been planned for in this area.
- b. The project site is a developed site which will be connected to existing City sanitary sewer lines. Usage of the existing lines is consistent with the City Sewer Master Plan. Visalia's wastewater treatment plant has more than sufficient capacity to accommodate impacts associated with the proposed project. These improvements will not cause significant environmental impacts.
- c. The project site will be accommodated by existing City storm water drainage lines that handle on-site and street runoff. Usage of these lines is consistent with the City Storm Drain Master Plan. These improvements will not cause significant environmental impacts.
- d. California Water Service Company has determined that there are sufficient water supplies to support the site, and that service can be extended to the site.
- e. The City has determined that there is adequate capacity existing to serve the site's projected wastewater treatment demands at the City wastewater treatment plant.
- f. Current solid waste disposal facilities can adequately serve the site without a need for alteration.
- g. The project will be able to meet the applicable regulations for solid waste. Removal of debris from construction will be subject to the City's waste disposal requirements.

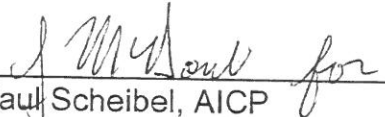
XVIII. MANDATORY FINDINGS OF SIGNIFICANCE

- a. The project will not affect the habitat of a fish or wildlife species or a plant or animal community. This site was evaluated in the EIR for the City of Visalia Land Use Element Update for conversion to urban use. The City adopted mitigation measures for conversion to urban development. Where effects were still determined to be significant a statement of overriding considerations was made.
- b. This site was inherently evaluated in the EIR for the City of Visalia Land Use Element Update for the area's conversion to urban use. The City adopted mitigation measures for conversion to urban development. Where effects were still determined to be significant a statement of overriding considerations was made.
- c. This site was evaluated in the EIR for the City of Visalia Land Use Element Update for conversion to urban use. The City adopted mitigation measures for conversion to urban development. Where effects were still determined to be significant a statement of overriding considerations was made.

DETERMINATION OF REQUIRED ENVIRONMENTAL DOCUMENT

On the basis of this initial evaluation:

- I find that the proposed project **COULD NOT** have a significant effect on the environment. **A NEGATIVE DECLARATION WILL BE PREPARED.**
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described on the attached sheet have been added to the project. **A MITIGATED NEGATIVE DECLARATION WILL BE PREPARED.**
- I find the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.
- I find that the proposed project **MAY** have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An **ENVIRONMENTAL IMPACT REPORT** is required, but it must analyze only the effects that remain to be addressed.
- I find that as a result of the proposed project no new effects could occur, or new mitigation measures would be required that have not been addressed within the scope of the Program Environmental Impact Report (SCH No. 90020160). The Environmental Impact Report prepared for the City of Visalia Land Use Element (Amendment No. 90-04) was certified by Resolution NO. 91-105 adopted on September 3, 1991. **THE PROGRAM ENVIRONMENTAL IMPACT REPORT WILL BE UTILIZED.**



Paul Scheibel, AICP
Environmental Coordinator

October 20, 2014
Date



4

MEETING DATE: APRIL 25, 2018
SITE PLAN NO. 18-022 RESUBMITTAL
PARCEL MAP NO.
SUBDIVISION:
LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

- RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.
- During site plan design/policy concerns were identified, schedule a meeting with
- Planning Engineering prior to resubmittal plans for Site Plan Review.
- Solid Waste Parks and Recreation Fire Dept.

REVISE AND PROCEED (see below)

- A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.
- Submit plans for a building permit between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday.
- Your plans must be reviewed by:
- CITY COUNCIL REDEVELOPMENT
- PLANNING COMMISSION PARK/RECREATION
- CUP AMENDMENT
- HISTORIC PRESERVATION OTHER: _____

ADDITIONAL COMMENTS :

If you have any questions or comments, please call Jason Huckleberry at (559) 713-4259.

Site Plan Review Committee



**BUILDING/DEVELOPMENT PLAN
REQUIREMENTS
ENGINEERING DIVISION**

- Jason Huckleberry 713-4259
- Adrian Rubalcaba 713-4271
- Diego Corvera 713-4209

ITEM NO: 4 DATE: APRIL 25, 2018

SITE PLAN NO.: 18-022 RESUBMITTAL
PROJECT TITLE: HILTON HOME 2
DESCRIPTION: 83 ROOM, 4 STORY HOTEL IN 'THE SQUARE'.
(BRP) (X)
APPLICANT: KIEKE STEVE
PROP OWNER: ROYE LINDA
LOCATION:
APN: 000-011-552

SITE PLAN REVIEW COMMENTS

REQUIREMENTS (indicated by checked boxes)

Install curb return with ramp, with _____ radius;

Install curb; gutter

Drive approach size: Use radius return;

Sidewalk: _____ width; _____ parkway width at

Repair and/or replace any sidewalk across the public street frontage(s) of the subject site that has become uneven, cracked or damaged and may constitute a tripping hazard.

Replace any curb and gutter across the public street frontage(s) of the subject site that has become uneven and has created areas where water can stand.

Right-of-way dedication required. A title report is required for verification of ownership.

Deed required prior to issuing building permit;

City Encroachment Permit Required. **FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY**

Insurance certificate with general & auto liability (\$1 million each) and workers compensation (\$1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit. Contact Encroachment Tech. at 713-4414.

CalTrans Encroachment Permit required. CalTrans comments required prior to issuing building permit. Contacts: David Deel (Planning) 488-4088;

Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map.

Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.

Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades. Prepared by registered civil engineer or project architect. All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a) directed to the City's existing storm drainage system; b) directed to a permanent on-site basin; or c) directed to a temporary on-site basin is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: _____ : _____ maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance. **PROJECT SHALL DETAIN MINIMUM REQUIREMENT PER MASTER PLAN**

Grading permit is required for clearing and earthwork performed prior to issuance of the building permit.

Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter = .020%, V-gutter = 0.25%)

Show adjacent property grade elevations. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.

All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications.

Traffic indexes per city standards:

- Install street striping as required by the City Engineer.
- Install landscape curbing (typical at parking lot planters).
- Minimum paving section for parking: 2" asphalt concrete paving over 4" Class 2 Agg. Base, or 4" concrete pavement over 2" sand.
- Design Paving section to traffic index of 5.0 min. for solid waste truck travel path.
- Provide "R" value tests: each at
- Written comments required from ditch company Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditch; Jerry Hill 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
- Access required on ditch bank, 15' minimum Provide wide riparian dedication from top of bank.
- Show Valley Oak trees with drip lines and adjacent grade elevations. Protect Valley Oak trees during construction in accordance with City requirements.
- A permit is required to remove Valley Oak trees. Contact Public Works Admin at 713-4428 for a Valley Oak tree evaluation or permit to remove. A pre-construction conference is required.
- Relocate existing utility poles and/or facilities.
- Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- Subject to existing Reimbursement Agreement to reimburse prior developer:
- Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
- If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
- If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.
- Comply with prior comments. Resubmit with additional information. Redesign required.

Additional Comments:

- 1. Project will incur development impact fees. Applicant stated 86 rooms will be final design - refer to page 3 for applicable fees and adjusted summary.**
- 2. It is recommended the proposed solid waste enclosure be relocated to the north side of the parking lot (where the small 3 parking stall island is located). Refuse enclosure shall comply with City 24' enclosure standards with concrete apron and metal gates.**
- 3. Project shall improve its parcel frontage limits per the The Square master planned design standards. This would include the common road access along west property line and pedestrian trail loop improvements adjacent to the east property line.**
- 4. The minimum storm water capacity shall be detained onsite per the storm water master plan design of The Square. Detention swales and small ponding areas shall be incorporated into the landscape setbacks and islands - refer to The Square master design standards.**
- 5. An accessible pedestrian path to the trail loop from building area is required.**
- 6. Refer to Planning Dept. conditions of approval.**

SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES

Site Plan No: **18-022 RESUBMITTAL**

Date: **4/25/2018**

Summary of applicable Development Impact Fees to be collected at the time of building permit:

(Preliminary estimate only! Final fees will be based on the development fee schedule in effect at the time of building permit issuance.)

(Fee Schedule Date: **8/18/2017**)

(Project type for fee rates: **HOTEL**)

Existing uses may qualify for credits on Development Impact Fees.

| <u>FEE ITEM</u> | <u>FEE RATE</u> |
|--|--------------------------------------|
| <input checked="" type="checkbox"/> Groundwater Overdraft Mitigation Fee | \$1,260/AC X 2.0 = \$2,520 |
| <input checked="" type="checkbox"/> Transportation Impact Fee | \$2,518/ROOM X 86 = \$216,548 |
| <input checked="" type="checkbox"/> Trunk Line Capacity Fee | \$72/ROOM X 86 = \$6,192 |
| TREATMENT PLANT CONNECTION | |
| | \$303/ROOM X 86 = \$26,058 |
| <input checked="" type="checkbox"/> Sewer Front Foot Fee | \$42/FT X 190 = \$7,980 |
| <input checked="" type="checkbox"/> Storm Drain Acq/Dev Fee | \$5,942/AC X 2.0 = \$11,884 |
| <input type="checkbox"/> Park Acq/Dev Fee | |
| <input type="checkbox"/> Northeast Specific Plan Fees | |
| <input checked="" type="checkbox"/> Waterways Acquisition Fee | \$4,362/AC X 2.0 = \$8,724 |
| <input checked="" type="checkbox"/> Public Safety Impact Fee: Police | \$3,438/AC X 2.0 = \$6,876 |
| <input checked="" type="checkbox"/> Public Safety Impact Fee: Fire | \$1,849/AC X 2.0 = \$3,698 |
| <input checked="" type="checkbox"/> Public Facility Impact Fee | \$114/ROOM X 86 = \$9,804 |
| <input type="checkbox"/> Parking In-Lieu | |

Reimbursement:

- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.



Adrian Rubalcaba

SITE PLAN REVIEW COMMENTS

Andrew Chamberlain 559-713-4003

Date: April 25, 2018

SITE PLAN NO: 2018-022 - B
PROJECT: Hilton Home 2
DESCRIPTION: 83 ROOM 4-STORY HOTEL
APPLICANT: STEVE KIEKE
PROP. OWNER: ROYE
LOCATION TITLE: CAMP AT NEELY
APN TITLE: 081-170-032, 033
GENERAL PLAN: BRP
ZONING: BRP

Planning Division Recommendation:

- Revise and Proceed – Off Agenda to meet Fire Dept. access standards
 Resubmit

Project Requirements

- See Comments from February 21
- Conditional Use Permit Amendment required per CUP No. 2014-19 - Hotels are a "Conditional" use in the BRP zoning designation and per Planning Commission Resolution No. 2014-29 Condition No. 1 any conditional uses will require a CUP (amendment).
- Conditional Use Permit Amendment required to CUP No. 2014-19 Master Plan to relocate hotel to the subject site from adjacent parcel.
- Building Permit
- Additional Information as Needed

PROJECT SPECIFIC INFORMATION: April 25, 2018

1. Relocate trash enclosure further from the Trail.
2. The portion of the Trail on the east side of the parcel is to be constructed with the development of the parcel.
3. The CUP amendment to The Square Master Plan may be done as one sheet included as part of the hotel CUP action. The sheet needs to reflect the overall changes to relocate the hotel from one parcel top another along with the relocation of a use to the original hotel parcel.
4. The portion of the primary drive aisle on the west end of this parcel is to be developed when the parcel is developed.
5. Meet all other codes and ordinances.

PROJECT SPECIFIC INFORMATION: February 21, 2018

6. The line drawings you provided appear to be consistent with the architectural design in The Square Master Plan – Note that the Master Plan calls for tile on the roof/mansards where you have shown dimensional composition roofing. This would be a requested change to the master plan which would require Planning Commission approval through the CUP amendment process.
7. The minimum setback along Plaza Drive to the property line is 45-35 ft. per the Master Plan. Provide a cross section of this area detailing the structure to on-site and Caltrans improvements. Based upon the initial review, staff would not support the 17'-7" setback shown. Anything less than the 35-ft. setback established per the Square Master Plan for this location shall provide a cross-section depicting the hotel elevation, trail section, maintenance road, and retaining wall/embankment of Plaza Dr. for consideration. There is ample room to the west of the hotel site to capture the required setback.

8. **CUP Process** - The project will would also require amending CUP No. 2014-19 for the relocation of the hotel on the site plan. The request to reduce the setback to Plaza Drive would be part of the CUP process. The request to use comp roofing instead of tile would also be part of the CUP process. Provide detailed renderings of the proposed building and a typical operational statement.
9. The site plan indicated large restaurant areas – if they are to be included discuss parking for this portion of the proposed use. NOTE: applicant indicated that the restaurant areas may be eliminated.
10. The proposed building elevations appear to be constant with the approved Master Plan “The Square”.
11. See comments from Fire related to access and building orientation.
12. The development is subject to “The Square” Master Plan.
13. This portion of the site does contain part of the on-site trail, said section of trail to be developed with this action.
14. The initial construction may consider the development of only the parking on the specific parcel – additional associated parking would be required if there is insufficient parking. This works since the whole site is part of a sheared access and parking agreement through the Master Plan.

The BRP standards below shall apply – unless otherwise provided in The Square Master Plan.

17.24.060 Development standards in the B-R-P zone.

For properties that are zoned business research park, the following development criteria shall be applied in conjunction with the development standards. Where variations in standards exist the more restrictive shall apply.

- A. All development shall be subject to the conditional use permit process in Chapter 17.38;
- B. All development shall require a master plan or a specific plan .. The master plan shall be designed to accommodate large scale business and research activities in campus-type developments. These developments shall provide a cohesive architectural design to create a campus style setting within a project or center. Shared vehicular and pedestrian access, parking, and common open space and related amenities shall be integrated into project design. Overall design of development shall be compatible with existing and developing character of the neighboring area. The master plan or specific plan, and the architectural design elements, including a comprehensive sign program, as required by this subsection, shall be included with and approved as part of the Conditional Use Permit as required by 17.24.050(C);
- C. Development should provide convenience/service amenities for employees within the BRP zone;
- D. Alternate transportation opportunities including mass transit and ride sharing shall be encouraged;
- E. Minimum site area: five (5) acres;
- F. Maximum building height: seventy-five (75) feet;
- G. Minimum required yards (building setbacks):
 1. Front: forty-five (45) feet frontage on Plaza Drive – twenty-five (25) feet front on Hurley, Crowley, Neeley, Kelsey;
 2. Side: twenty (20) feet;
 3. Street side on a corner lot: twenty (20) feet;
 4. Rear: thirty (30) feet;
 5. Minimum required landscaped yard (setback) areas:
 1. Front: thirty (30) feet frontage on Plaza Drive; twenty-five (25) front on Hurley, Crowley, Neeley, Kelsey (includes any portion of building that abuts a public street): twenty-five (25) feet. Setback averaging may be used where incorporated into an approved master plan,
 2. Side: twenty (20) feet,
 3. Street side on a corner lot: twenty (20) feet,
 4. Rear: twenty (20) feet.

City of Visalia
Building: Site Plan
Review Comments

ITEM NO: 4 DATE: April 25, 2018
SITE PLAN NO: SPR18022 RESUBMIT
PROJECT TITLE: HILTON HOME 2
DESCRIPTION: 83 ROOM, 4 STORY HOTEL IN 'THE SQUARE'. (BRP)
(X)
APPLICANT: KIEKE STEVE
PROP OWNER: ROYE LINDA
LOCATION: SW CORNER OF PLAZA AND CROWLEY
APN(S): 000-011-552

NOTE: These are general comments and DO NOT constitute a complete plan check for your specific project
Please refer to the applicable California Code & local ordinance for additional requirements.

- A building permit will be required. *For information call (559) 713-4444*
- Submit 5 sets of professionally prepared plans and 2 sets of calculations. (Small Tenant Improvements)
- Submit 5 sets of plans prepared by an architect or engineer. Must comply with 2016 California Building Cod Sec. 2308 for conventional light-frame construction or submit 2 sets of engineered calculations.
- Indicate abandoned wells, septic systems and excavations on construction plans.
- You are responsible to ensure compliance with the following checked items:**
- Meet State and Federal requirements for accessibility for persons with disabilities.
- A path of travel, parking and common area must comply with requirements for access for persons with disabilities.
- All accessible units required to be adaptable for persons with disabilities.
- Maintain sound transmission control between units minimum of 50 STC.
- Maintain fire-resistive requirements ~~at property lines.~~ **BETWEEN ROOMS 1 HR MIN.**
- A demolition permit & deposit is required. *For information call (559) 713-4444*
- Obtain required permits from San Joaquin Valley Air Pollution Board. *For information call (559) 230-6000*
- Plans must be approved by the Tulare County Health Department. **FOR ANY ON SITE COOKING** *For information call (559) 624-8011*
- Project is located in flood zone _____ * Hazardous materials report.
- Arrange for an on-site inspection. (Fee for inspection \$157.00) *For information call (559) 713-4444*
- School Development fees. Commercial \$0.56 per square foot. Residential \$3.45 per square foot.
- Park Development fee \$ _____, per unit collected with building permits.
- Existing address must be changed to be consistent with city address. *For information call (559) 713-4320*
- Acceptable as submitted
- No comments at this time

Additional comments: **SWIMMING POOL BY SEPARATE PERMIT. ALL NEW LANDSCAPING SHALL MEET THE MVELD REQUIREMENTS.**

VAL GARCIA 4/25/18
Signature



Site Plan Review Comments For:

Visalia Fire Department
Kurtis A. Brown, Fire Marshal
707 W Acequia
Visalia, CA 93291
559-713-4261 Office
559-713-4808 Fax

ITEM NO.: 2 DATE: April 29, 2016
SITE PLAN NO: SPR18022 **RESUBMIT**
PROJECT TITLE: HILTON HOME 2
DESCRIPTION: 83 ROOM, 4 STORY HOTEL IN 'THE SQUARE'. (BRP)
(X)
APPLICANT: KIEKE STEVE
PROP OWNER: ROYE LINDA
LOCATION: SW CORNER OF PLAZA AND CROWELY
APN(S): 000-011-552

The following comments are applicable when checked:

- The Site Plan Review comments are issued as general overview of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2016 California Fire Code (CFC), 2016 California Building Codes (CBC) and City of Visalia Municipal Codes.
- All fire detection, alarm, and extinguishing systems in existing buildings shall be maintained in an operative condition at all times and shall be replaced or repaired where defective. If building has been vacant for a significant amount of time, the fire detection, alarm, and or extinguishing systems may need to be evaluated by a licensed professional. *2016 CFC 901.6*
- No fire protection items required for parcel map or lot line adjustment; however, any future projects will be subject to fire & life safety requirements including fire protection.
- Construction and demolition sites prior to and during construction shall comply with the following:
 - Water Supply for fire protection, either temporary or permanent, shall be made available as soon as combustible materials arrive on the site. *2016 CFC 3312*
 - An all-weather, 20 feet width Construction Access Road capable of holding a 75,000 pound fire apparatus. Fire apparatus access shall be provided within 100 feet of temporary or permanent fire department connections. *2016 CFC 3310*
- More information is needed before a Site Plan Review can be conducted. Please submit plans with more detail. Please include information on

General:

- Address numbers must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least four inches (4") high and shall be of a color to contrast with their background. If multiple addresses served are by a common driveway, the range of numbers shall be posted at the roadway/driveway. *2016 CFC 505.1*
- All hardware on exit doors, illuminated exit signs and emergency lighting shall comply with the 2016 California Fire Code. This includes all locks, latches, bolt locks, panic hardware, fire exit hardware and gates.
- Commercial dumpsters with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system. *2016 CFC 304.3.3*

- A Knox Box key lock system is required. Where access to or within a structure or area is restricted because of secured openings (doors and/or gates), a key box is to be installed in an approved location. The key box shall be ordered using an approved Knox Authorization Order Form. The forms are located at the fire department administration office located at 707 W. Acequia, Visalia, CA 93291. Please allow adequate time for shipping and installation. *2016 CFC 506.1*
- If your business handles hazardous material in amounts that exceed the Maximum Allowable Quantities listed on *Table 5003.1.1(1), 5003.1.1(2), 5003.1.1(3) and 5003.1.1(4) of the 2016 California Fire Code*, you are required to submit an emergency response plan to the Tulare County Health Department. Also you shall indicate the quantities on your building plans and prior to the building final inspection a copy of your emergency response plan and Safety Data Sheets shall be submitted to the Visalia Fire Department.

Water Supply for Residential, Commercial & Industrial:

Residential

- Fire hydrant spacing and location shall comply with the following requirements:
The exact location and number of fire hydrants shall be at the discretion of the fire marshal, fire chief and/or their designee. *Visalia Municipal Code 16.36.120(5)*
 - Single-family residential developments shall be provided with fire hydrants every six hundred (600) lineal feet of residential frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
 - Multi-family, zero lot line clearance, mobile home park or condominium developments shall be provided with fire hydrants every four hundred (400) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
 - Multi-family or condominium developments with one hundred (100) percent coverage fire sprinkler systems shall be provided with fire hydrants every six (600) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.

Commercial & Industrial

- Where a portion of the facility or building is more than 400 feet from a hydrant on a fire apparatus access road, on-site fire hydrant(s) shall be provided. *2016 CFC 507.5.1*
- Due to insufficient building information, the number and distance between fire hydrants cannot be determined by the Site Plan Review process. The number of fire hydrants and distance between required fire hydrants shall be determined by utilizing type of construction and square footage in accordance with *CFC 2016 Appendix C102 & C103 & CFC 507.5.1*
- To determine fire hydrant location(s) and distribution the following information was provided to the Site Plan Review committee: **Type of construction** _____ **Square footage** _____

Emergency Access

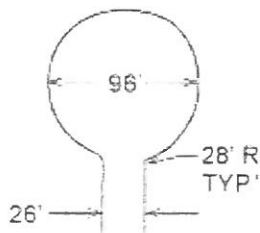
- A fire apparatus access roads shall be provided and must comply with the 2016 CFC and extend within 150 of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Fire apparatus access

roads shall have an unobstructed width of not less than 20 feet. Minimum turning radius for emergency fire apparatus shall be 20 feet inside radius and 43 feet outside radius. *2016 CFC 503.1.1*

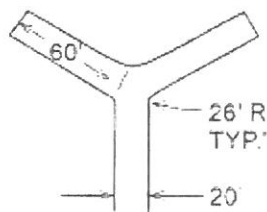
☒ Buildings or portions of buildings or facilities with a vertical distance between the grade plan and the highest roof surface that exceed 30 feet shall provide an approved fire apparatus access roads capable of accommodating fire department aerial apparatus.

- Access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders.
- Access routes shall be located within a minimum of 15 feet and maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building.
- Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building.

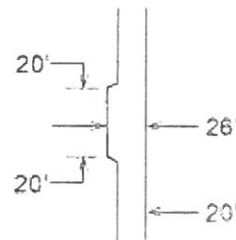
☒ Fire apparatus access roads in excess of 150 feet and dead end shall be provided with a turnaround. Fire apparatus access roads with a length of 151-500 feet shall be a minimum of 20 feet in width. Length of 501-750 feet shall be 26 feet in width. *2016 CFC Table D103.4*



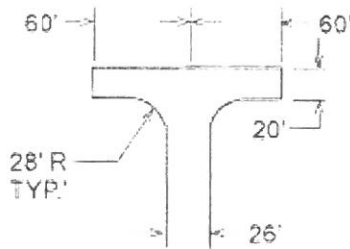
96" DIAMETER
CUL-DE-SAC



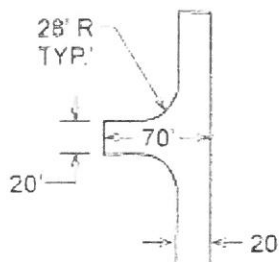
60' "Y"



MINIMUM CLEARANCE
AROUND A FIRE
HYDRANT



120' HAMMERHEAD



ACCEPTABLE ALTERNATIVE
TO 120' HAMMERHEAD

☒ Approved No PARKING – FIRE LANE signs shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. Signs shall have a minimum dimension of 12 inches wide by 18 inches high and have red letters on a white reflective background. *2013 CFC 503.3/D103.6*

SIGN TYPE "A"



12"

SIGN TYPE "C"



12"

SIGN TYPE "D"



12"

18"

- On site Fire Apparatus Access Roads shall be provided and have an unobstructed width of not less than the following:
- 20 feet width, exclusive of shoulders (No Parking)
 - More than 26 feet width, exclusive of shoulders (No Parking one side)
 - More than 32 feet wide, exclusive of shoulders (Parking permitted on both sides)
- Marking- approved signs, other approved notices or marking that include the words "NO PARKING-FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. *CFC 503.3*
- Gates on access roads shall be a minimum width of 20 feet and shall comply with the following:
2016 CFC D103.5
- Gates shall be of the swinging or sliding type.
 - Gates shall allow manual operation by one person (power outages).
 - Gates shall be maintained in an operative condition at all times.
 - Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. (Note: Knox boxes shall be ordered using an approved Knox Authorization Order Form. The forms are located at the fire department administration office located at 707 W. Acequia, Visalia, CA 93291. Please allow adequate time for shipping and installation.)
- Streets shall meet the City of Visalia's Design & Improvement Standards for streets to ensure that fire apparatus can make access to all structures in the event of an emergency.

Fire Protection Systems

- An automatic fire sprinkler system will be required for this building. Also, a fire hydrant is required within 50 feet of the Fire Department Connection (FDC). Where an existing building is retrofitted with a sprinkler system (NFPA 13 or NFPA 13R) a fire hydrant shall be provided within 75 feet of the FDC. An additional 25 feet of distance between a fire hydrant and FDC may be granted when a fire sprinkler Density is designed with an additional 25%. *2016 CFC 912 and Visalia Municipal Code 8.20.010 subsection C103.4*
- Locking fire department connection (FDC) caps are required. The caps shall be ordered using an approved Knox Authorization Order Form. The forms are located at the fire department administration office located at 707 W. Acequia, Visalia, CA 93291. *2016 CFC 912.4.1*
- Commercial cooking appliances and domestic cooking appliances used for commercial purposes that produces grease laden vapors shall be provided with a Type 1 Hood, in accordance with the California Mechanical Code, and an automatic fire extinguishing system. *2016 CFC 904.12 & 609.2*

Special Comments:



Kurtis A. Brown
Fire Marshal

CITY OF VISALIA
SOLID WASTE DIVISION
336 N. BEN MADDOX
VISALIA CA. 93291
713 - 4500

COMMERCIAL BIN SERVICE

#

ITEM NO: 4
SITE PLAN NO:
PROJECT TITLE:
DESCRIPTION:
APPLICANT:
PROP OWNER:
LOCATION:
APN(S):

DATE: April 25, 2016

SPR18022
HILTON HOME 2
83 ROOM, 4 STORY HOTEL IN 'THE SQUARE'. (BRP)
(X)
KIEKE STEVE
ROYE LINDA
SW CORNER OF PLAZA AND CROWLEY
000-011-552

RESUBMIT

No comments.

Same comments as

Revisions required prior to submitting final plans. See

Resubmittal required. See comments below.

Customer responsible for all cardboard and other bulky recyclables to be broken down
before disposing of in recycle containers.

ALL refuse enclosures must be R-3 OR R-4

Customer must provide combination or keys for access to locked gates/bins

Type of refuse service not indicated.

Location of bin enclosure not acceptable. See comments below.

Bin enclosure not to city standards double.

Inadequate number of bins to provide sufficient service. See comments below.

Drive approach too narrow for refuse trucks access. See comments below.

Area not adequate for allowing refuse truck turning radius of :
Commercial (X) 50 ft. outside 36 ft. inside; Residential () 35 ft. outside, 20 ft. inside.
Paved areas should be engineered to withstand a 55,000 lb. refuse truck.

Bin enclosure gates are required

Hammerhead turnaround must be built per city standards.

Cul - de - sac must be built per city standards.

Bin enclosures are for city refuse containers only. Grease drums or any other
items are not allowed to be stored inside bin enclosures.

Area in front of refuse enclosure must be marked off indicating no parking

Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS)
with no less than 38' clear space in front of the bin, included the front concrete pad.
Customer will be required to roll container out to curb for service.

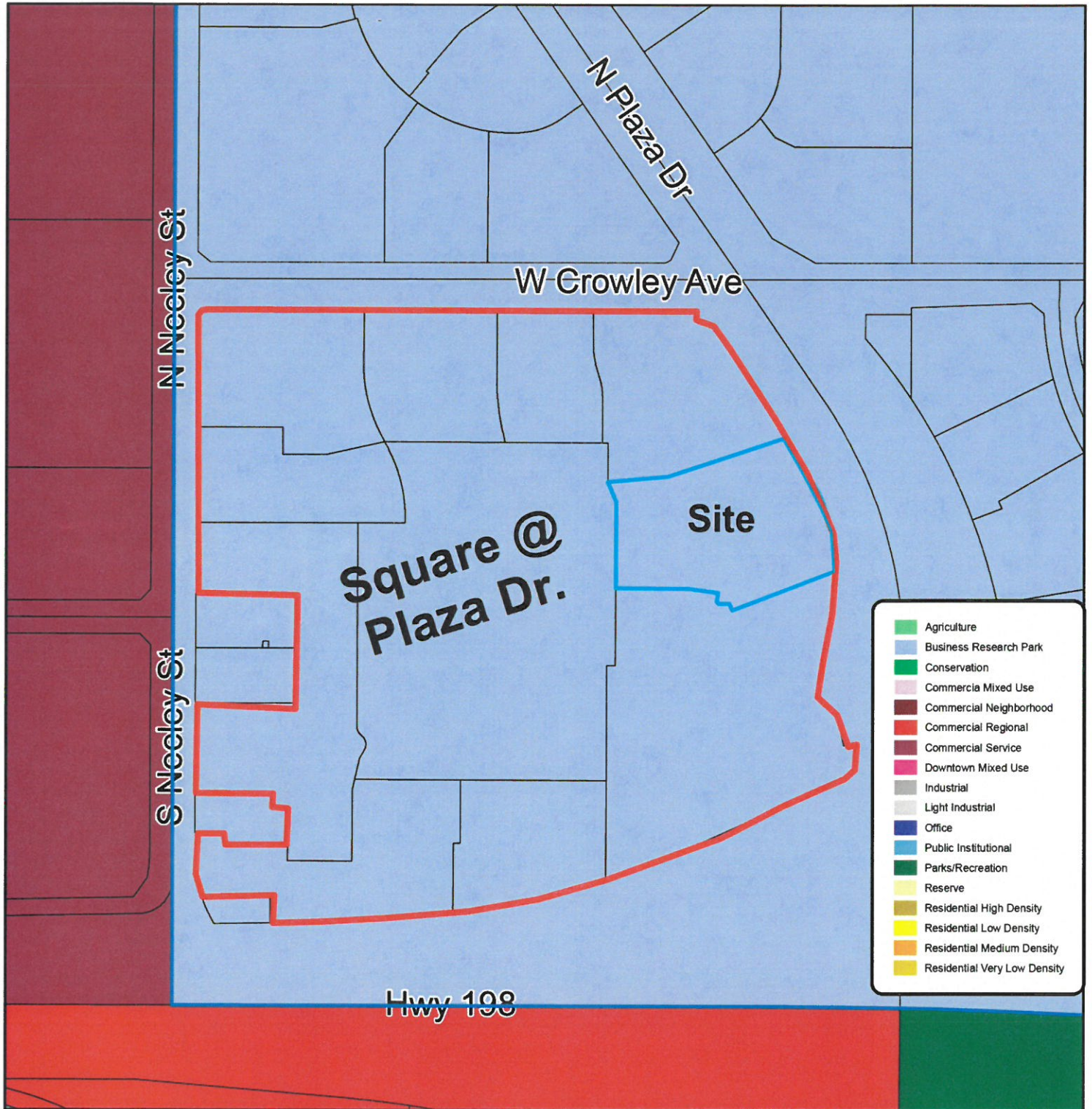
Must be a concrete slab in front of enclosure as per city standards
The width of the enclosure by ten(10) feet, minimum of six(6) inches in depth.
Roll off compactor's must have a clearance of 3 feet from any wall on both sides and
there must be a minimum of 53 feet clearance in front of the compactor
to allow the truck enough room to provide service.

Comment

Jim Ross, Solid Waste Manager, 559-713-4533



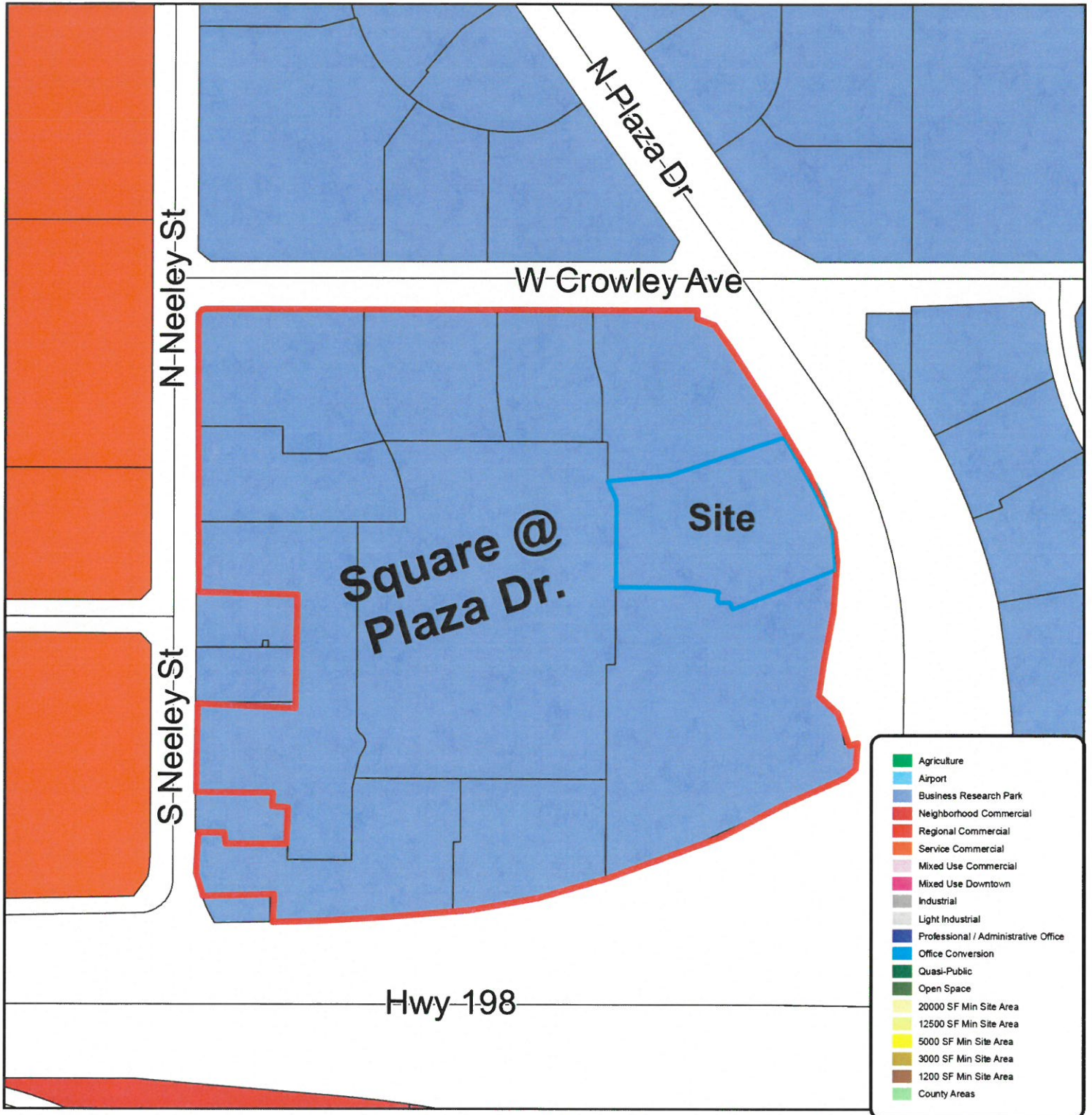
Conditional Use Permit No. 2018-12



General Plan Land Use Map



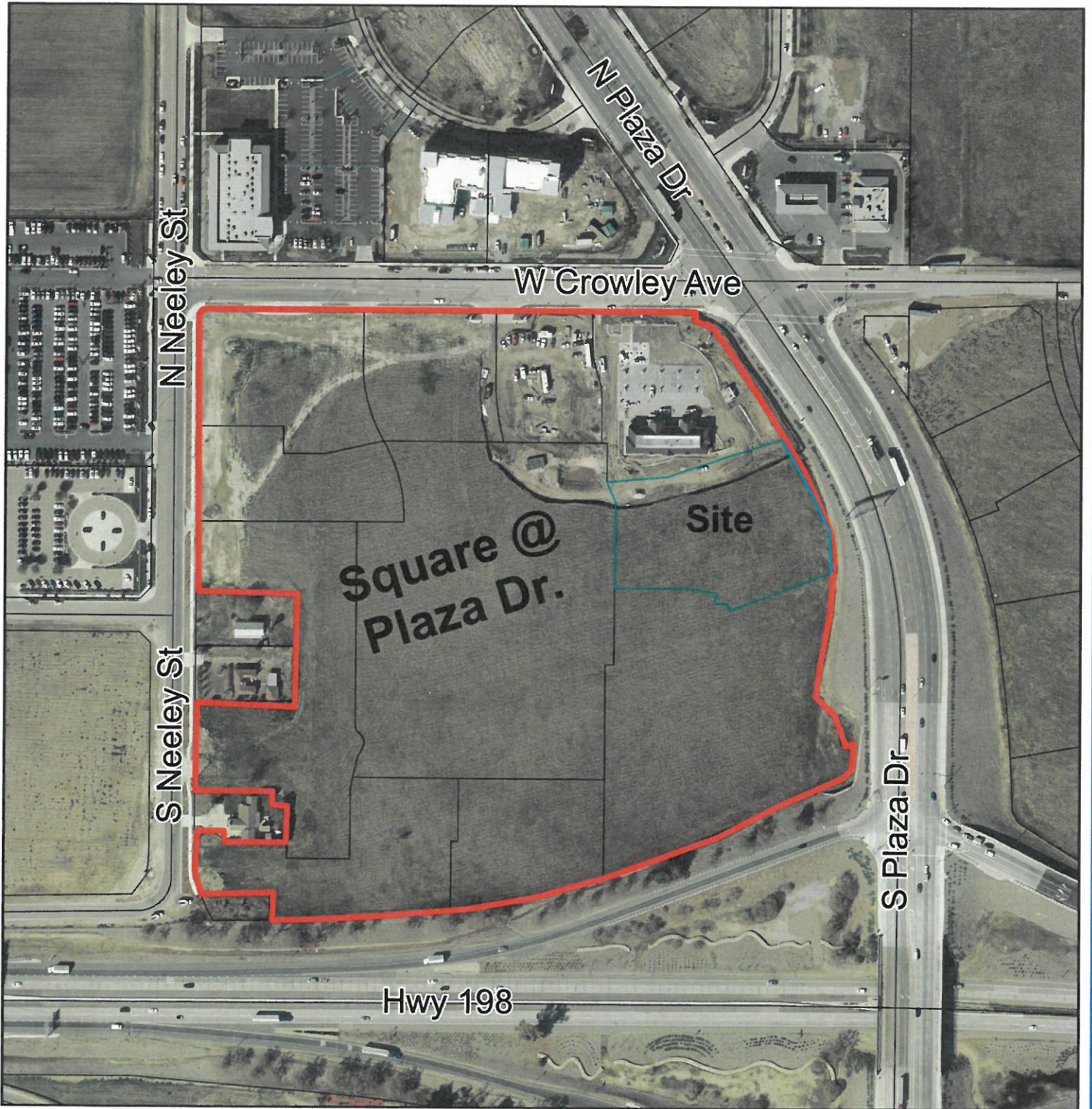
Conditional Use Permit No. 2018-12



Zoning Map



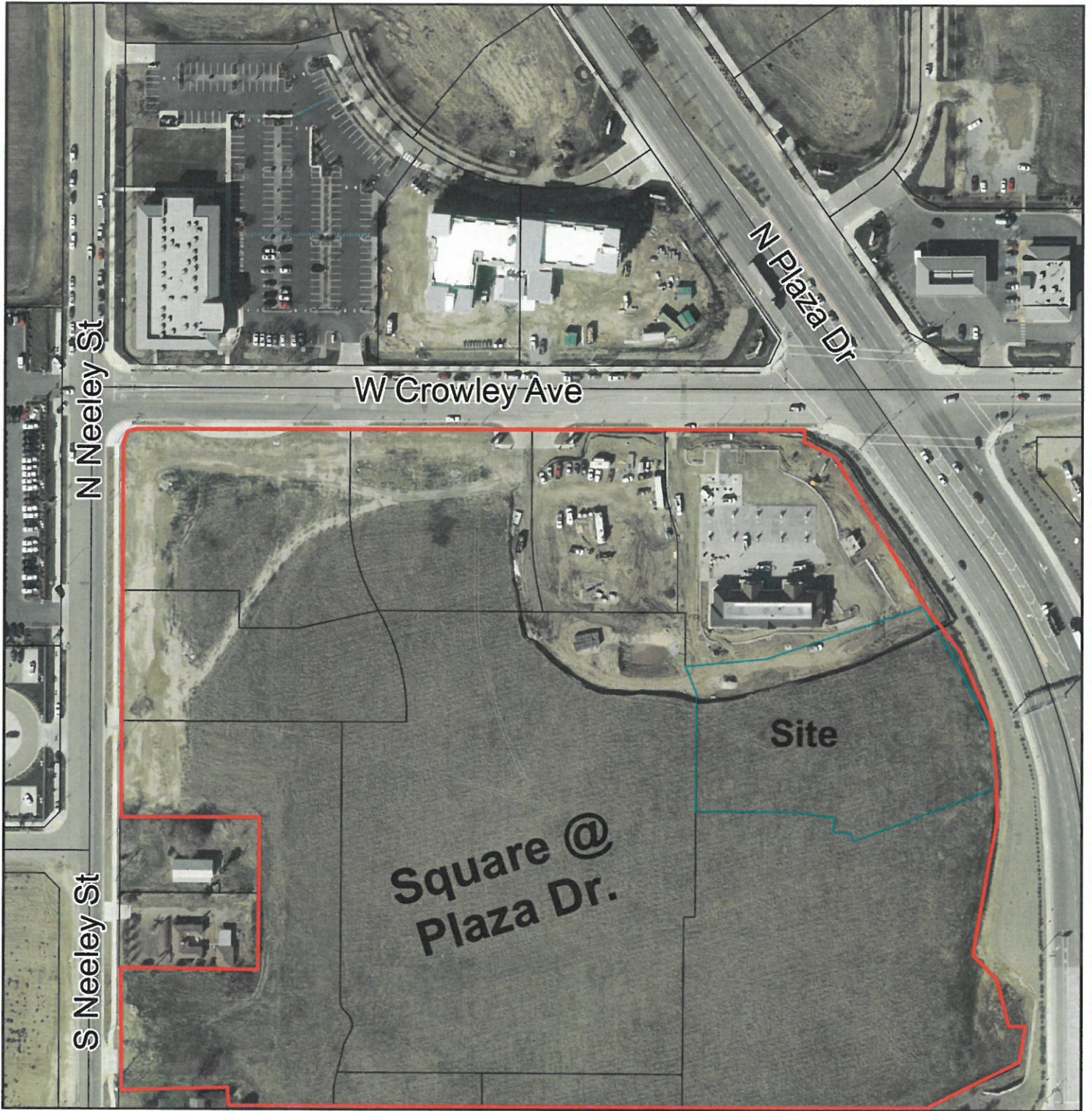
Conditional Use Permit No. 2018-12



Aerial Photo



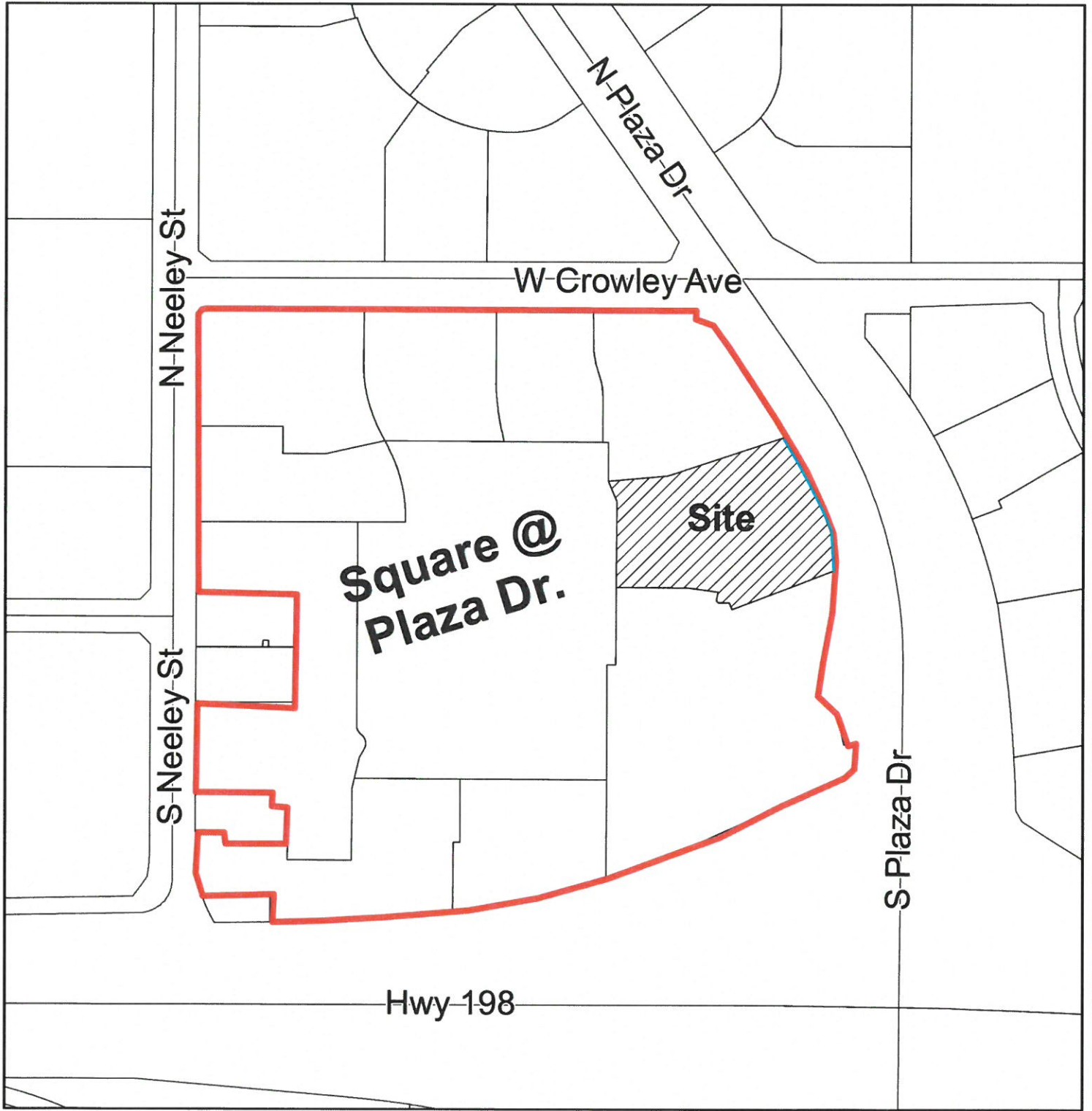
Conditional Use Permit No. 2018-12



Aerial Photo



Conditional Use Permit No. 2018-12



Vicinity Map

