

# PLANNING COMMISSION AGENDA

CHAIRPERSON:

Brett Taylor



VICE CHAIRPERSON:

Liz Wynn

COMMISSIONERS: Brett Taylor, Liz Wynn, Chris Gomez, Marvin Hansen, Sarrah Peariso

**MONDAY, NOVEMBER 13, 2017; 7:00 P.M., COUNCIL CHAMBERS, 707 W. ACEQUIA, VISALIA CA**

1. THE PLEDGE OF ALLEGIANCE –
2. CITIZEN'S COMMENTS – This is the time for citizens to comment on subject matters that are not on the agenda but are within the jurisdiction of the Visalia Planning Commission. The Commission requests that a 5-minute time limit be observed for comments. Please begin your comments by stating and spelling your name and providing your street name and city. Please note that issues raised under Citizen's Comments are informational only and the Commission will not take action at this time.
3. CHANGES OR COMMENTS TO THE AGENDA–
4. CONSENT CALENDAR - All items under the consent calendar are to be considered routine and will be enacted by one motion. For any discussion of an item on the consent calendar, it will be removed at the request of the Commission and made a part of the regular agenda.
  - a. Time Extension for Emerald Creek Tentative Subdivision Map No. 5453 and Conditional Use Permit No. 2004-41: A request by Kevin Fistolera and Bob Ausherman (Forester Weber & Associates, agent) to divide 14.6 acres into 46 lots with Remainder lots for a planned residential development of single-family, duplex, triplex, and four-piex townhouses.
  - b. Time Extension for Los Pinos Vesting Tentative Subdivision Map No. 5467: A request by Acevedo Properties to divide 9.8 acres into 21 lots for single-family development. The project is located at the northwest corner of South Dans Street and West Visalia Parkway (APN: 126-760-010 and 126-020-065).
  - c. Vista Del Sol Estates Tentative Subdivision Map No. 5552: A request by Jonathan Cassaday to subdivide 5.72 acres into 38 lots ranging in size from 4,500 to 6,844 sq. ft. and Conditional Use Permit No. 2015-19, a request to develop four duplex units on corner lots in the Vista Del Sol Estates Subdivision. The site is located south of the intersection of Douglas Avenue and Tracy Street approximately 2,200 feet east of Ben Maddox Way. (APN: 098-050-069)
  - d. Finding of Consistency 2017-05: A request by the Neighborhood Church to change the monument sign design approved as a part of Conditional Use Permit No. 2016-26. The site is located at 5505 West Riggan Avenue (APN: 077-100-062). Conditional Use Permit No. 2016-26 was approved by the Planning Commission on December 12, 2016.

5. PUBLIC HEARING – Paul Bernal *Continued from 10/23/2017*  
Conditional Use No. 2017-33, a request by Lennar Homes of California, Inc., to establish a Planned Residential Development with modified rear yard setbacks for a 94-lot approved and recorded Eagle Meadows of Visalia 20 subdivision map. The Eagle Meadows of Visalia 20 subdivision map is located on the east side of North Mooney Boulevard between West Ferguson Avenue and West Riggan Avenue (APN: 090-010-008). The project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15305, Categorical Exemption No. 2017-75
6. PUBLIC HEARING – Paul Scheibel
  - a. General Plan Amendment GPA No. 2017-03: A request by the City of Visalia to amend the General Plan Land Use designation on two parcels totaling 15.69 acres, from RHD (Residential High Density) to RMD (Residential Medium Density), located on the northeast corner of Riggan Ave. and Court St., and to revise the Regional Housing Needs Allocation (RHNA) Sites Inventory to reflect the change in development density potential (APNs: 079-310-004, and -005)
  - b. Change of Zone COZ No. 2017-04: A request by the City of Visalia to amend the Zoning designation on two parcels totaling 15.69 acres, from R-M-3 (Multi-family Residential, 1,200 sq. ft. of lot area per unit) to R-M-2 (Multi-family Residential, 3,000 sq. ft. of lot area per unit), located on the northeast corner of Riggan Ave. and Court St., (APNs: 079-310-004, and -005)

That a Negative Declaration was adopted for the proposed Housing Element Update (Negative Declaration No. 2015-56) and the Zoning Ordinance Update (Environmental Document No. 2016-41), and are directly applicable to this project, and which disclosed the project has no new effects that could occur, or new mitigation measures that would be required that have not been addressed within the scope of the Program Environmental Impact Report (SCH No. 2010041078). The Environmental Impact Report prepared for the City of Visalia General Plan was certified by Resolution No. 2014-37, adopted on October 14, 2014. Therefore, staff concludes that the Program Environmental Impact Report adequately analyzed and addresses the project necessary to enable regulatory enforcement of the new plan policies and to achieve consistency between the General Plan and implementing ordinances. Therefore, Environmental Document No. 2017-76 can be adopted for this project.

7. WORK SESSION – James D. Koontz, Assistant City Attorney  
Robert's Rules of Order/Recusal Requirements
8. DIRECTOR'S REPORT/ PLANNING COMMISSION DISCUSSION-

The Planning Commission meeting may end no later than 11:00 P.M. Any unfinished business may be continued to a future date and time to be determined by the Commission at this meeting. The Planning Commission routinely visits the project sites listed on the agenda.

For the hearing impaired, if signing is desired, please call (559) 713-4359 twenty-four (24) hours in advance of the scheduled meeting time to request these services. For the visually impaired, if enlarged print or Braille copy is desired, please call (559) 713-4359 for this assistance in advance of the meeting and such services will be provided as soon as possible following the meeting.

Any written materials relating to an item on this agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the City Office, 315 E. Acequia Visalia, CA 93291, during normal business hours.

**APPEAL PROCEDURE**

**THE LAST DAY TO FILE AN APPEAL IS MONDAY NOVEMBER 27, 2017 BEFORE 5 PM**

According to the City of Visalia Zoning Ordinance Section 17.02.145 and Subdivision Ordinance Section 16.04.040, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal form with applicable fees shall be filed with the City Clerk at 220 N. Santa Fe, Visalia, CA 93292. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website [www.visalia.city](http://www.visalia.city) or from the City Clerk.

**THE NEXT REGULAR MEETING WILL BE HELD ON MONDAY, DECEMBER 11, 2017**

# City of Visalia

## **Memo**



**To:** Visalia Planning Commission

**From:** Paul Bernal, City Planner (559) 713-4025  
[paul.bernal@visalia.city](mailto:paul.bernal@visalia.city)

**Date:** November 13, 2017

**Re:** **Continued Public Hearing:** Conditional Use No. 2017-33, a request by Lennar Homes of California, Inc., to establish a Planned Residential Development with modified rear yard setbacks for a 94-lot approved and recorded Eagle Meadows of Visalia 20 subdivision map. The Eagle Meadows of Visalia 20 subdivision map is located on the east side of North Mooney Boulevard between West Ferguson Avenue and West Riggan Avenue (APN: 090-010-008).

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### **Staff Recommendation**

Staff recommends approval of Conditional Use Permit No. 2017-33, as conditioned, based upon the findings and conditions in the revised Resolution No. 2017-74 (attached). Staff's recommendation is based on the conclusion that the request is consistent with the Visalia General Plan and Zoning Ordinance.

### **Background**

On October 23, 2017, the Planning Commission continued Conditional Use Permit (CUP) No. 2017-33 to their November 13, 2017 meeting at the request of the applicant. The applicant requested the continuance to revise three of the five housing elevation plans submitted for the Eagle Meadows of Visalia 20 subdivision. No other changes to the CUP were requested. Since the item (i.e., CUP No. 2017-33) was continued to a date specific, re-noticing of the CUP was not required.

A copy of the October 23, 2017 staff report for Conditional Use Permit (CUP) No. 2017-33 is attached to this memorandum. The analysis and recommended conditions of approval for CUP No. 2017-33 have not been modified, with the exception of Condition No. 5 (see revised Condition No. 5 below). No additional modifications to the project are being requested.

### **Single-Family Elevations**

Lennar Homes of California has submitted revised elevations for three of the five single-family residential house plans. The revised elevations are for Exhibit's "B", "C", and "D", which are attached to this memorandum and replace the original Exhibits "B", "C", and "D" attached to the October 23, 2017 Planning Commission staff report.

All five exhibits, revised Exhibits "B", "C", "D", and the original Exhibits "E", and "F" which were attached to the October 23, 2017 Planning Commission staff report, are attached to this memorandum. The attached exhibits display building elevations for each of the single-family homes proposed within the subdivision. The elevations identify varying finishes and accent material noted on the elevation plans.

Exhibit	House Name	Plan #	# of stories	Sq. Ft.
Exhibit "B" (Revised)	The Duchess	Plan 4011	Single-story	1,767 sq. ft.
Exhibit "C" (Revised)	The Duke	Plan 4012	Single-story	1,898 sq. ft.
Exhibit "D" (Revised)	The Countess	Plan 4014	Two-story	2,280 sq. ft.
Exhibit "E"	The Camelot	Plan 4017	Two-story	2,798 sq. ft.
Exhibit "F"	The Chevalier	Plan 4018	Two-story	3,167 sq. ft.

Staff recommends Condition No. 5 for CUP No. 2017-33 be revised as follows:

**Condition No. 5:** That the building elevations be developed in substantial compliance with the elevations shown in the revised Exhibits "B", "C", "D", and Exhibits "E", and "F" attached to the Planning Commission memorandum dated November 13, 2017

Staff has prepared a revised resolution (attached) identifying the continued public hearing and revised conditions as noted above.

**Attachments:**

- Revised Resolution No. 2107-53
- Exhibit – "B" (Revised) November 13, 2017
- Exhibit – "C" (Revised) November 13, 2017
- Exhibit – "D" (Revised) November 13, 2017
- Exhibit – "E" October 23, 2017
- Exhibit – "F" October 23, 2017
- Planning Commission Staff Report dated October 23, 2017

RESOLUTION NO. 2017-74

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2017-33, A REQUEST BY LENNAR HOMES OF CALIFORNIA, INC., TO ESTABLISH A PLANNED RESIDENTIAL DEVELOPMENT WITH MODIFIED REAR YARD SETBACKS FOR A 94-LOT APPROVED AND RECORDED EAGLE MEADOWS OF VISALIA 20 SUBDIVISION MAP. THE EAGLE MEADOWS OF VISALIA 20 SUBDIVISION MAP IS LOCATED ON THE EAST SIDE OF NORTH MOONEY BOULEVARD BETWEEN WEST FERGUSON AVENUE AND WEST RIGGIN AVENUE (APN: 090-010-008)

**WHEREAS**, Conditional Use Permit No. 2017-33, is a request by Lennar Homes of California, Inc., to establish a Planned Residential Development with modified rear yard setbacks for a 94-lot approved and recorded Eagle Meadows of Visalia 20 subdivision map. The Eagle Meadows of Visalia 20 subdivision map is located on the east side of North Mooney Boulevard between West Ferguson Avenue and West Riggins Avenue (APN: 090-010-008); and

**WHEREAS**, the Planning Commission of the City of Visalia, after duly published notice did hold a public hearing before said Commission on October 23, 2017; and

**WHEREAS**, the Planning Commission of the City of Visalia, after duly published notice scheduled a public hearing before said Commission on October 23, 2017, and continued said hearing to November 13, 2017, based on the applicants request to submit revised building elevations for three of the five residential plans; and

**WHEREAS**, the Planning Commission of the City of Visalia did hold and conclude said hearing on November 13, 2017; and

**WHEREAS**, the Planning Commission of the City of Visalia finds the Conditional Use Permit to be in accordance with Chapter 17.38.110 of the Zoning Ordinance of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and

**WHEREAS**, the Planning Commission finds the project to be Categorically Exempt consistent with the California Environmental Quality Act (CEQA) and City of Visalia Environmental Guidelines.

**NOW, THEREFORE, BE IT RESOLVED** that the project is exempt from further environmental review pursuant to CEQA Section 15305.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** that the Planning Commission of the City of Visalia makes the following specific findings based on the evidence presented:

1. That the proposed project, as conditioned, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.

2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
  - A. The proposed location of the conditional use is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located.
  - B. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity.
  - C. That the proposed project is consistent with the policies and intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance. The project specifically supports General Plan Land Use policies related to efficient land use absorption (Policy LU-P-19, LU-P-45), and to encouraging a variety of housing products (LU-P-50).
3. The project is considered Categorically Exempt under Section 15305 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2017-75). This exemption is based on the project being characterized as a conditional use permit, which is a minor alteration to land use limitations that does not result in changes in land use or density.

**BE IT FURTHER RESOLVED** that the Planning Commission hereby approves the Conditional Use Permit on the real property here in above described in accordance with the terms of this resolution under the provisions of Section 17.38.110 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the following minimum building setbacks be maintained for the project:
 

• Front Yard Setback (habitable space):	15-ft.
• Garages ( <i>est. per the Mixed Lot Provisions of former Zoning Ordinance</i> ):	20-ft.
• Side Yard:	5-ft.
• Street Side:	10-ft.
• Rear Yard: (except for Lots 1-16, Lots 33-49, & Lot 51)	16-ft.
• Rear Yard for Lots 1-16, Lots 33-49, & Lot 51:	20-ft. (2-story) 17-ft. (single-story)
• Lot 50 (shall be developed with Countess Plan 4004):	(See Exhibit "G" for Lot 50 setbacks)
2. That the 20-foot rear yard setback for Lots 1-16, Lots 33-49, & Lot 51 be retained for any two-story house plan proposed on the lots identified.
3. That a 17-foot rear yard setback be retained for Lots 1-16, Lots 33-49, & Lot 51 if developed with the Duke Plan 4002, as depicted in Exhibit "C".

4. That Lot 50 be developed only with the Countess Plan (Plan 4004, two-story) and shall be developed with the setbacks as depicted on Exhibit "G".
5. That the building elevations be developed in substantial compliance with the elevations shown in the revised Exhibits "B", "C", "D", and Exhibits "E", and "F" attached to the Planning Commission memorandum dated November 13, 2017.
6. That landscape and irrigation plans, prepared in accordance with the City of Visalia Model Water Efficient Landscape Ordinance, shall be included in the construction document plans submitted for either grading or civil improvement plans.
7. Provide street trees per the City's Street Tree Ordinance.
8. That all other federal and state laws and city codes and ordinances be complied with.



**(Revised)**

# **Exhibit “B”**

**“The Duchess”**

**(Plan 4011) – 1,766 sq. ft.**

**One-story**

**Dated: November 13, 2017**



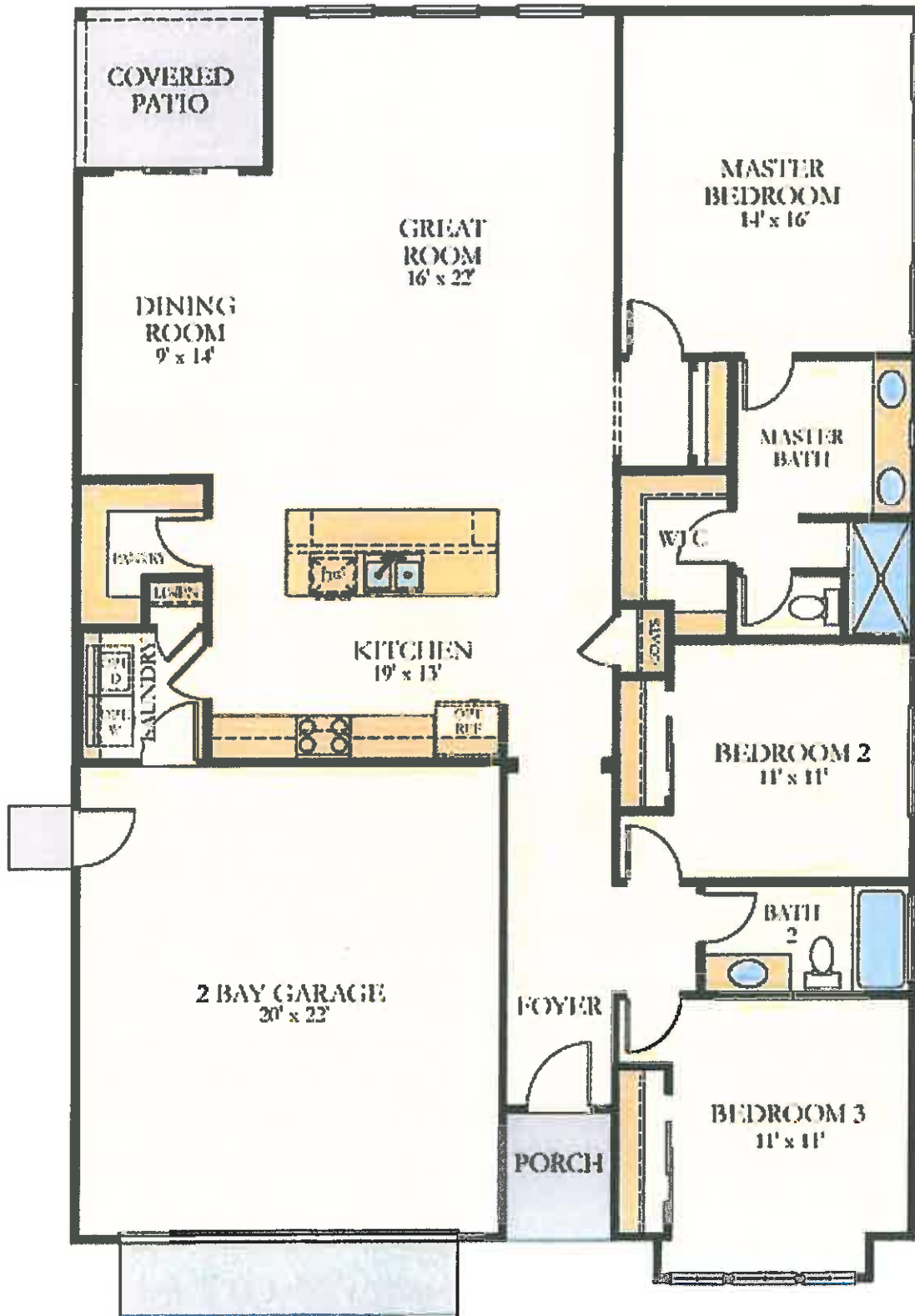
**ELEVATION A**



**ELEVATION B**

**PLAN 4011 (DUCHESS)**

**RESIDENCE 1,767 SQ. FT. / 2-CAR GARAGE / 3 BEDROOM / 2 BATH**



## PLAN 4011 (DUCHESS)

RESIDENCE 1,767 SQ. FT. / 2-CAR GARAGE / 3 BEDROOM / 2 BATH



REV.	DATE	DESCRIPTION OF WORK

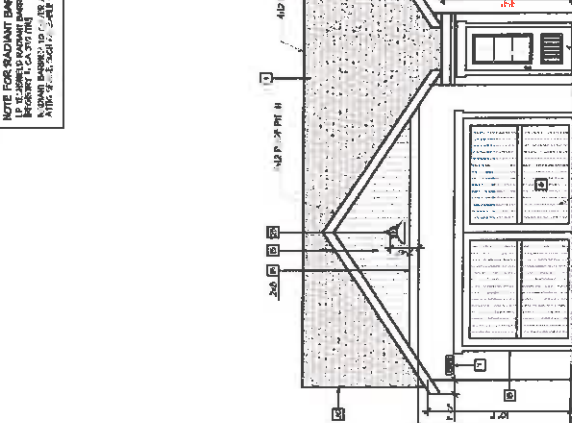
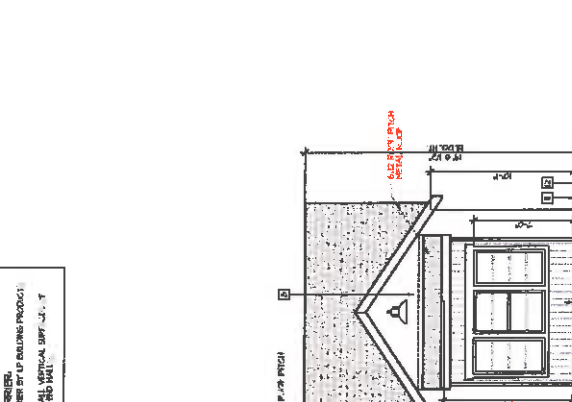
THE DESIGN, APPROVAL AND ISSUE OF THESE DRAWINGS IS THE RESPONSIBILITY OF THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.

**REGULATIONS:** ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA MECHANICAL CODE, THE CALIFORNIA ELECTRICAL CODE, THE CALIFORNIA PLUMBING CODE, THE CALIFORNIA FIRE CODE, THE CALIFORNIA SOILS AND FOUNDATIONS CODE, THE CALIFORNIA WINDBOURNE CODE, THE CALIFORNIA ENERGY CODE, THE CALIFORNIA ENVIRONMENTAL CODE, THE CALIFORNIA HISTORIC PRESERVATION CODE, THE CALIFORNIA LAND USE CODE, THE CALIFORNIA WATER CODE, THE CALIFORNIA WILDFIRE CODE, THE CALIFORNIA AIR QUALITY CODE, THE CALIFORNIA CLIMATE CHANGE CODE, THE CALIFORNIA DISASTER PREPAREDNESS CODE, THE CALIFORNIA INFRASTRUCTURE CODE, THE CALIFORNIA TRANSPORTATION CODE, THE CALIFORNIA UTILITIES CODE, THE CALIFORNIA WASTE MANAGEMENT CODE, THE CALIFORNIA WATER RESOURCES CODE, THE CALIFORNIA WILDLIFE AND FISH AND GAME CODE, THE CALIFORNIA CULTURAL HERITAGE CODE, THE CALIFORNIA ANTI-SLUMP AND SLURRY WALL CODE, THE CALIFORNIA ANTI-SLUMP AND SLURRY WALL CODE, THE CALIFORNIA ANTI-SLUMP AND SLURRY WALL CODE.

**NOTE FOR RADIANT BARRIERS:**  
IF SEPARATED JOINTS ARE USED BY UP-BUILDING PRODUCTS, REFER TO DRAWING 11-1000 FOR DETAILS. ALL JOINTS SHALL BE SEALED WITH AN APPROPRIATE JOINT SEALANT. ALL JOINTS SHALL BE SEALED WITH AN APPROPRIATE JOINT SEALANT. ALL JOINTS SHALL BE SEALED WITH AN APPROPRIATE JOINT SEALANT.

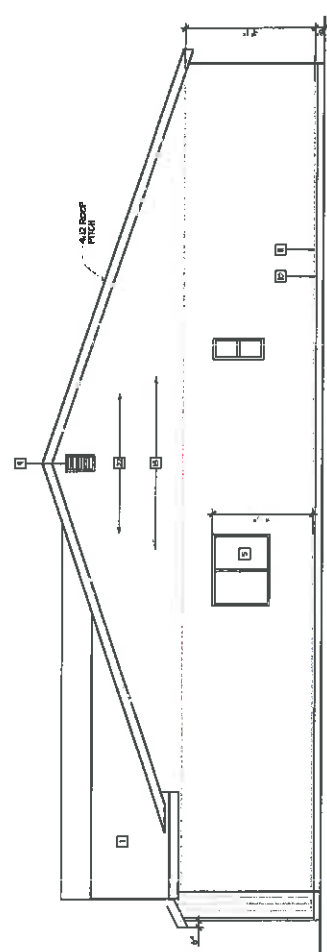
**ELEVATION KEYNOTES:**  
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA MECHANICAL CODE, THE CALIFORNIA ELECTRICAL CODE, THE CALIFORNIA PLUMBING CODE, THE CALIFORNIA FIRE CODE, THE CALIFORNIA SOILS AND FOUNDATIONS CODE, THE CALIFORNIA WINDBOURNE CODE, THE CALIFORNIA ENERGY CODE, THE CALIFORNIA ENVIRONMENTAL CODE, THE CALIFORNIA HISTORIC PRESERVATION CODE, THE CALIFORNIA LAND USE CODE, THE CALIFORNIA WATER CODE, THE CALIFORNIA WILDFIRE CODE, THE CALIFORNIA AIR QUALITY CODE, THE CALIFORNIA CLIMATE CHANGE CODE, THE CALIFORNIA DISASTER PREPAREDNESS CODE, THE CALIFORNIA INFRASTRUCTURE CODE, THE CALIFORNIA TRANSPORTATION CODE, THE CALIFORNIA UTILITIES CODE, THE CALIFORNIA WASTE MANAGEMENT CODE, THE CALIFORNIA WATER RESOURCES CODE, THE CALIFORNIA WILDLIFE AND FISH AND GAME CODE, THE CALIFORNIA CULTURAL HERITAGE CODE, THE CALIFORNIA ANTI-SLUMP AND SLURRY WALL CODE, THE CALIFORNIA ANTI-SLUMP AND SLURRY WALL CODE, THE CALIFORNIA ANTI-SLUMP AND SLURRY WALL CODE.

**NOTE FOR ANKORED WEDGES:**  
ALL ANKORED WEDGES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA MECHANICAL CODE, THE CALIFORNIA ELECTRICAL CODE, THE CALIFORNIA PLUMBING CODE, THE CALIFORNIA FIRE CODE, THE CALIFORNIA SOILS AND FOUNDATIONS CODE, THE CALIFORNIA WINDBOURNE CODE, THE CALIFORNIA ENERGY CODE, THE CALIFORNIA ENVIRONMENTAL CODE, THE CALIFORNIA HISTORIC PRESERVATION CODE, THE CALIFORNIA LAND USE CODE, THE CALIFORNIA WATER CODE, THE CALIFORNIA WILDFIRE CODE, THE CALIFORNIA AIR QUALITY CODE, THE CALIFORNIA CLIMATE CHANGE CODE, THE CALIFORNIA DISASTER PREPAREDNESS CODE, THE CALIFORNIA INFRASTRUCTURE CODE, THE CALIFORNIA TRANSPORTATION CODE, THE CALIFORNIA UTILITIES CODE, THE CALIFORNIA WASTE MANAGEMENT CODE, THE CALIFORNIA WATER RESOURCES CODE, THE CALIFORNIA WILDLIFE AND FISH AND GAME CODE, THE CALIFORNIA CULTURAL HERITAGE CODE, THE CALIFORNIA ANTI-SLUMP AND SLURRY WALL CODE, THE CALIFORNIA ANTI-SLUMP AND SLURRY WALL CODE, THE CALIFORNIA ANTI-SLUMP AND SLURRY WALL CODE.

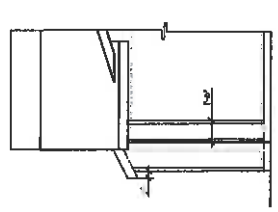


**FRONT ELEV. - A**  
SCALE: 1/4" = 1'-0"

**FRONT ELEV. - B**  
SCALE: 1/4" = 1'-0"



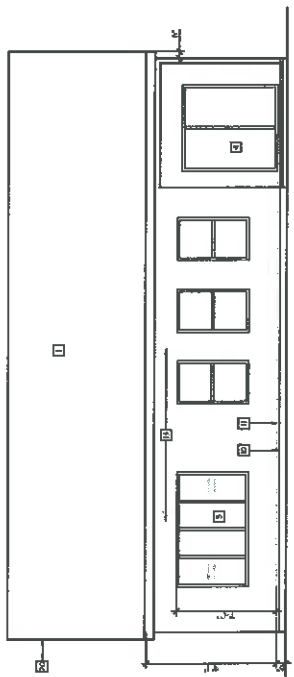
**RIGHT ELEV.**  
SCALE: 1/4" = 1'-0"



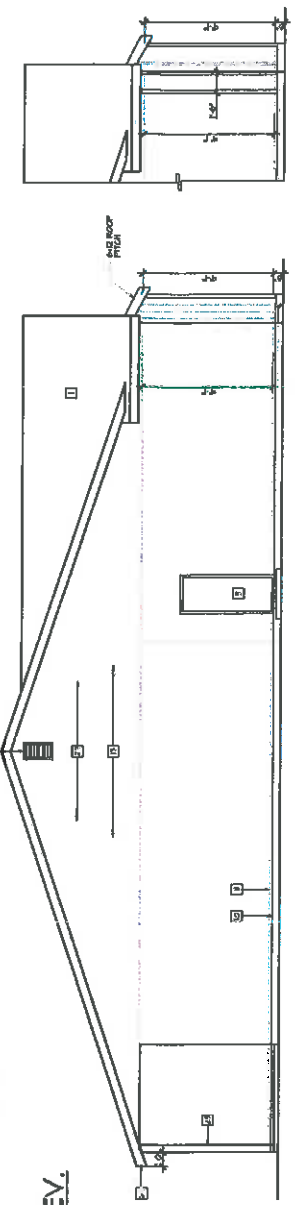
**PARTIAL RIGHT ELEV.-B**  
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES	
□	SEE ELEVATION KEYNOTES ON SHEET A-2

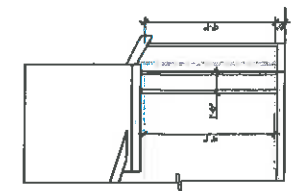
NOTE FOR RADIANT BARRIERS:  
 IF RADIANT BARRIER IS USED, IT SHALL BE INSTALLED BY LP THROUGH PRODUCTS, INC. AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. RADIANT BARRIER SHALL BE INSTALLED ON ALL VERTICAL SURFACES OF ATTIC SPACE 2021 AND ABOVE L2B WALLS.



**TYP. REAR ELEV.**  
SCALE: 1/4" = 1'-0"



**LEFT ELEV.**  
SCALE: 1/4" = 1'-0"



**PARTIAL LEFT ELEV.-B**  
SCALE: 1/4" = 1'-0"

**(Revised)**

# **Exhibit “C”**

**“The Duke”**

**(Plan 4012) – 1,899 sq. ft.**

**One-story**

**Dated: November 13, 2017**



**ELEVATION A**

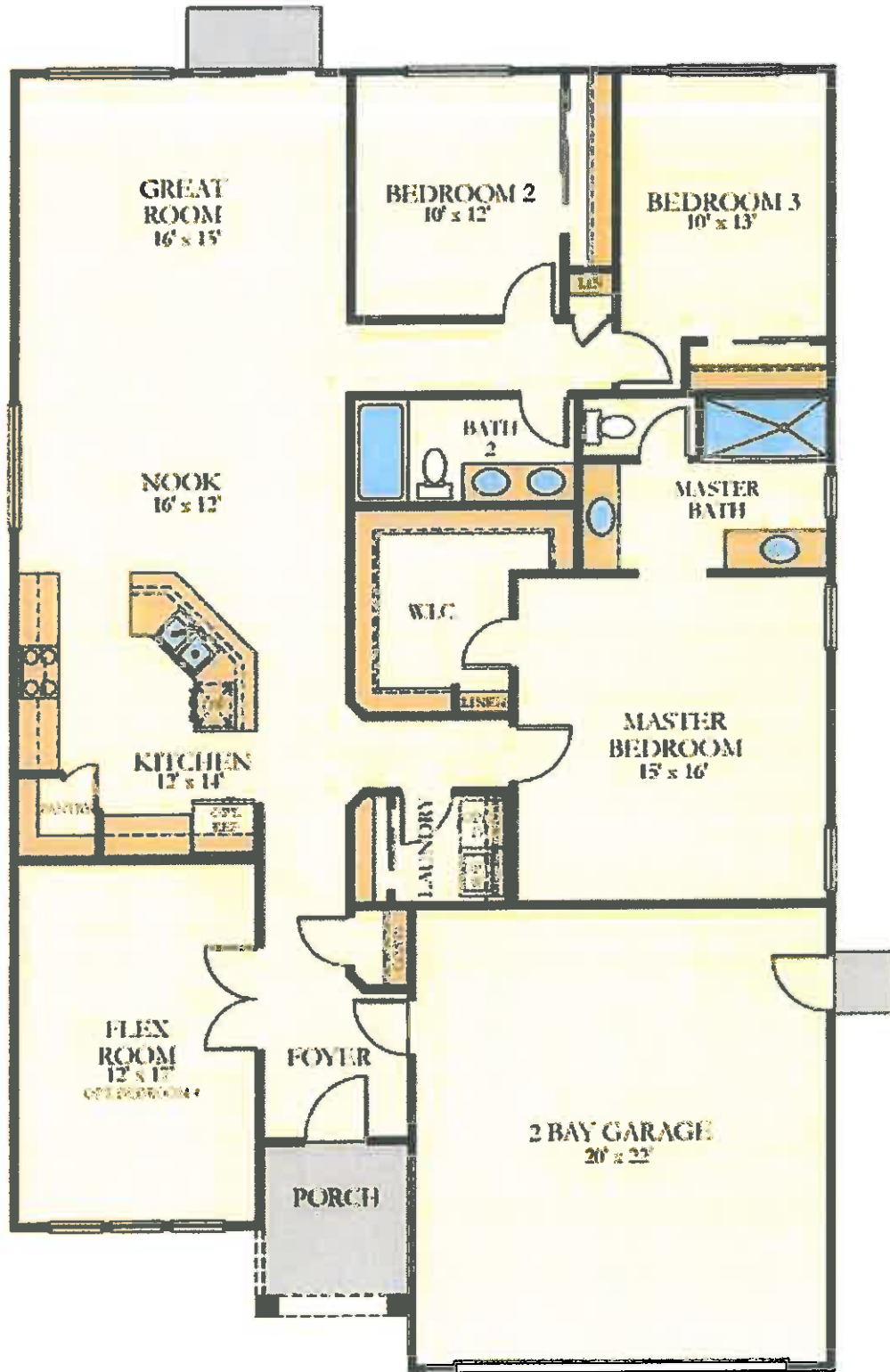


**ELEVATION B**

**PLAN 4012 (DUKE)**

**RESIDENCE 1,898 SQ. FT. / 2-CAR GARAGE / 3 BEDROOM / 2 BATH**





## PLAN 4012 (DUKE)

RESIDENCE 1,898 SQ. FT. / 2-CAR GARAGE / 3 BEDROOM / 2 BATH

**FLOOR PLAN NOTES:**

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL WALLS ARE 1/2" THICK UNLESS OTHERWISE NOTED.
3. ALL DOORS ARE 36" HIGH BY 80" WIDE UNLESS OTHERWISE NOTED.
4. ALL WINDOWS ARE 60" HIGH BY 48" WIDE UNLESS OTHERWISE NOTED.
5. ALL FLOORS ARE TO BE FINISHED TO THE TOP OF THE FINISH FLOOR UNLESS OTHERWISE NOTED.
6. ALL CEILING ARE TO BE FINISHED TO THE TOP OF THE FINISH FLOOR UNLESS OTHERWISE NOTED.
7. ALL ROOF ARE TO BE FINISHED TO THE TOP OF THE FINISH FLOOR UNLESS OTHERWISE NOTED.
8. ALL EXTERIOR WALLS ARE TO BE FINISHED TO THE TOP OF THE FINISH FLOOR UNLESS OTHERWISE NOTED.
9. ALL EXTERIOR ROOF ARE TO BE FINISHED TO THE TOP OF THE FINISH FLOOR UNLESS OTHERWISE NOTED.
10. ALL EXTERIOR FLOORS ARE TO BE FINISHED TO THE TOP OF THE FINISH FLOOR UNLESS OTHERWISE NOTED.

**FLOOR PLAN KEY NOTES:**

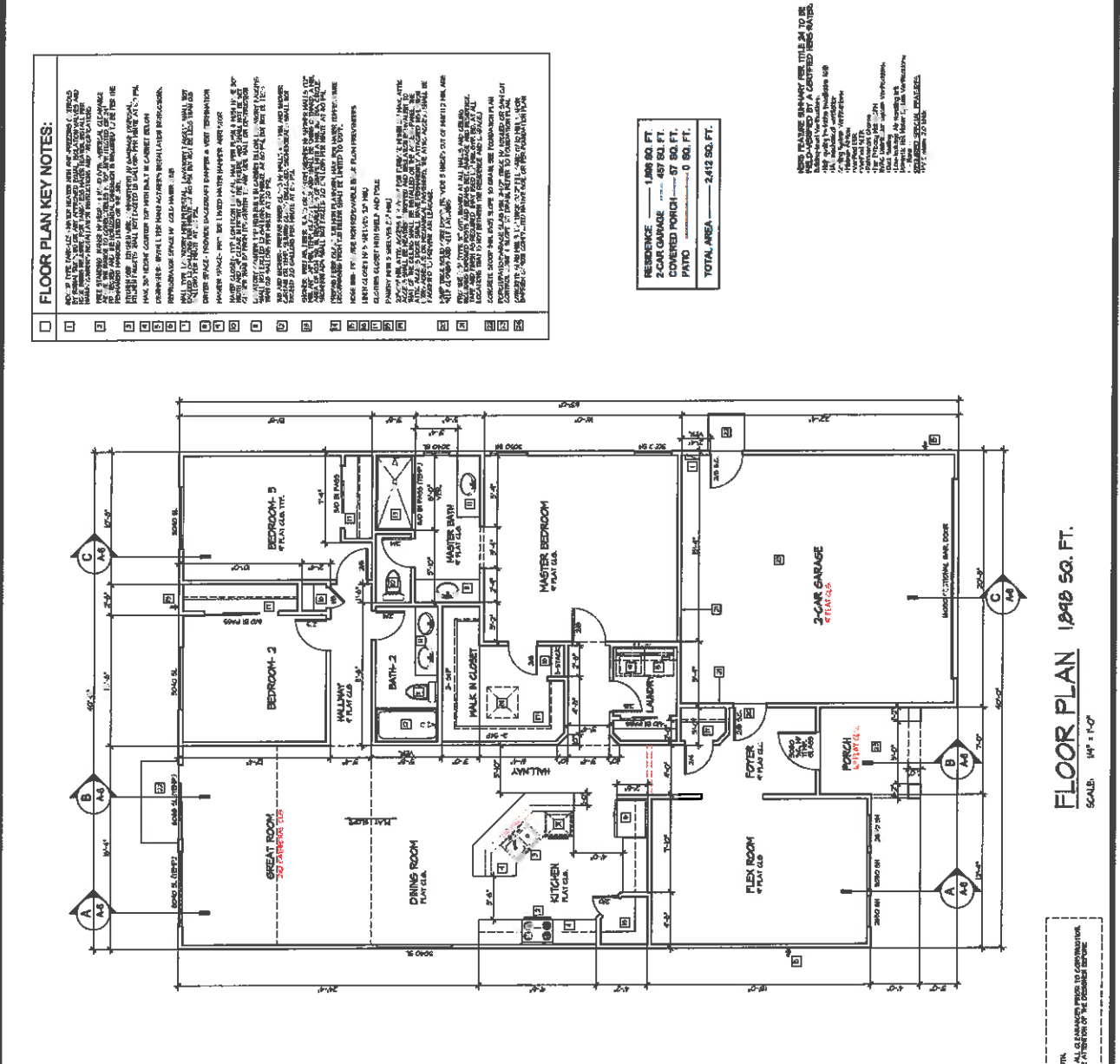
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7. ALL ROOF ARE TO BE FINISHED TO THE TOP OF THE FINISH FLOOR UNLESS OTHERWISE NOTED.
8. ALL EXTERIOR WALLS ARE TO BE FINISHED TO THE TOP OF THE FINISH FLOOR UNLESS OTHERWISE NOTED.
9. ALL EXTERIOR ROOF ARE TO BE FINISHED TO THE TOP OF THE FINISH FLOOR UNLESS OTHERWISE NOTED.
10. ALL EXTERIOR FLOORS ARE TO BE FINISHED TO THE TOP OF THE FINISH FLOOR UNLESS OTHERWISE NOTED.

**ENERGY COMPLIANCE SUMMARY**

FENESTRATION	
GLAZING TYPE	1-WALL/LIF
GLAZING TYPE	2-WALL/LIF
GLAZING TYPE	3-WALL/LIF
GLAZING TYPE	4-WALL/LIF
GLAZING TYPE	5-WALL/LIF
GLAZING TYPE	6-WALL/LIF
GLAZING TYPE	7-WALL/LIF
GLAZING TYPE	8-WALL/LIF
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GLAZING TYPE	28-WALL/LIF
GLAZING TYPE	29-WALL/LIF
GLAZING TYPE	30-WALL/LIF

**RESIDENCE** 1,898 SQ. FT.  
**2-CAR GARAGE** 457 SQ. FT.  
**COVERED PORCH** 87 SQ. FT.  
**PATIO** 0 SQ. FT.  
**TOTAL AREA** 2,442 SQ. FT.

THIS HOUSE BINARY FILE TITLE IS TO BE FIELD-CHECKED BY A CERTIFIED INSURER. THE FIELD-CHECKER SHALL VERIFY THAT THE HOUSE BINARY FILE TITLE IS CORRECT AND THAT THE HOUSE BINARY FILE TITLE IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA BUILDING DEPARTMENT. THE FIELD-CHECKER SHALL ALSO VERIFY THAT THE HOUSE BINARY FILE TITLE IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE. THE FIELD-CHECKER SHALL SIGN AND DATE THE FIELD-CHECK REPORT AND PROVIDE A COPY OF THE REPORT TO THE HOMEOWNER AND TO THE BUILDING DEPARTMENT. THE FIELD-CHECK REPORT SHALL BE FILED WITH THE BUILDING DEPARTMENT. THE FIELD-CHECK REPORT SHALL BE MADE AVAILABLE TO THE PUBLIC UPON REQUEST.



**FLOOR PLAN 1,898 SQ. FT.**  
 SCALE: 1/4" = 1'-0"

1. THIS PLAN IS THE PROPERTY OF LENNAR CORPORATION. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON.  
 2. NO PART OF THIS PLAN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LENNAR CORPORATION.  
 3. THE HOUSE BINARY FILE TITLE IS TO BE FIELD-CHECKED BY A CERTIFIED INSURER. THE FIELD-CHECKER SHALL VERIFY THAT THE HOUSE BINARY FILE TITLE IS CORRECT AND THAT THE HOUSE BINARY FILE TITLE IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA BUILDING DEPARTMENT. THE FIELD-CHECKER SHALL ALSO VERIFY THAT THE HOUSE BINARY FILE TITLE IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE. THE FIELD-CHECKER SHALL SIGN AND DATE THE FIELD-CHECK REPORT AND PROVIDE A COPY OF THE REPORT TO THE HOMEOWNER AND TO THE BUILDING DEPARTMENT. THE FIELD-CHECK REPORT SHALL BE FILED WITH THE BUILDING DEPARTMENT. THE FIELD-CHECK REPORT SHALL BE MADE AVAILABLE TO THE PUBLIC UPON REQUEST.

REV.	DATE	DESCRIPTION OF WORK

The architect, engineer and contractor shall be responsible for the construction of the project. The architect, engineer and contractor shall be responsible for the construction of the project. The architect, engineer and contractor shall be responsible for the construction of the project.

**ELEVATION KEYNOTES**

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

2. FINISH GRADE SHALL BE AS SHOWN ON THE PLAN.

3. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT.

4. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT.

5. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT.

6. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT.

7. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT.

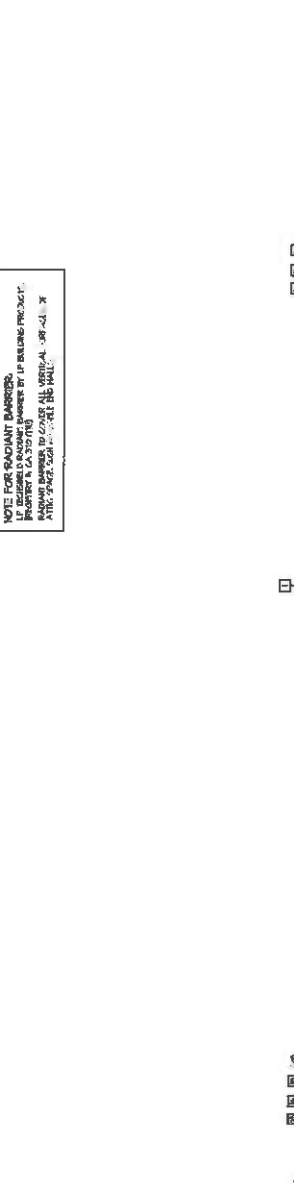
8. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT.

9. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT.

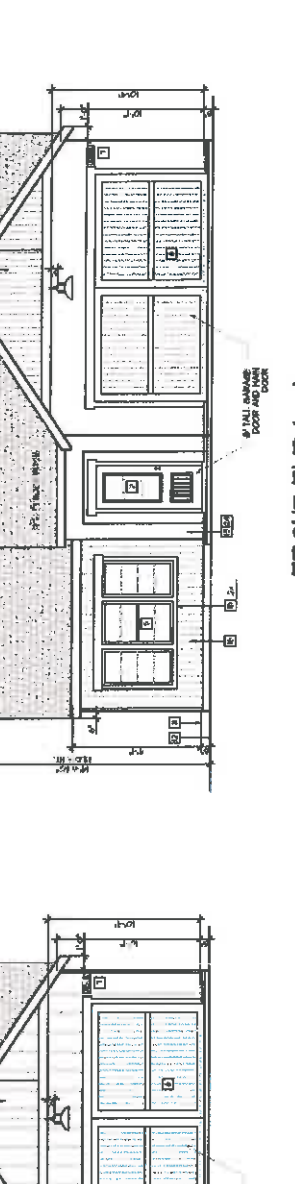
10. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT.

**NOTE FOR EXHIBIT BARRIERS:**  
 IF EXHIBIT BARRIERS ARE TO BE INSTALLED, THE ARCHITECT SHALL BE CONSULTED PRIOR TO CONSTRUCTION.

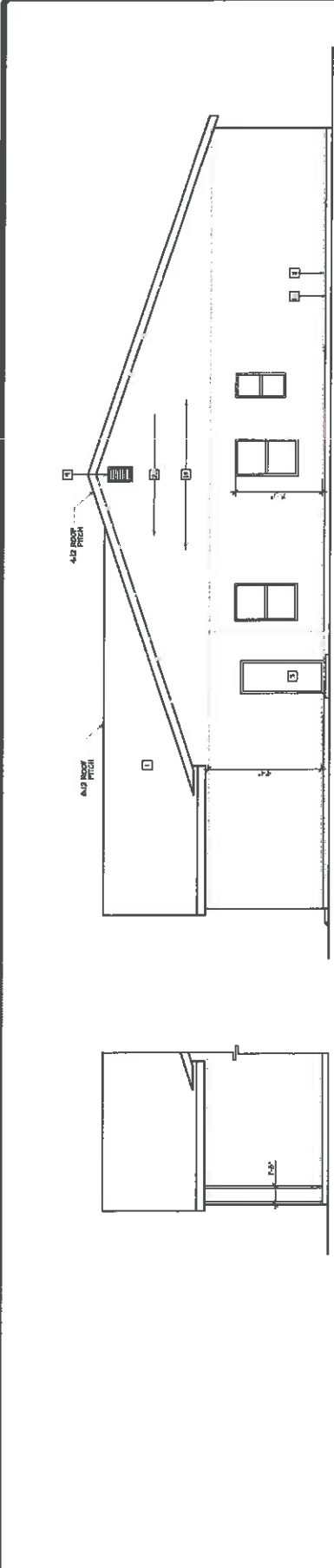
**NOTE FOR EXHIBIT BARRIERS:**  
 IF EXHIBIT BARRIERS ARE TO BE INSTALLED, THE ARCHITECT SHALL BE CONSULTED PRIOR TO CONSTRUCTION.



**FRONT ELEV. - A**  
 SCALE: 1/8" = 1'-0"

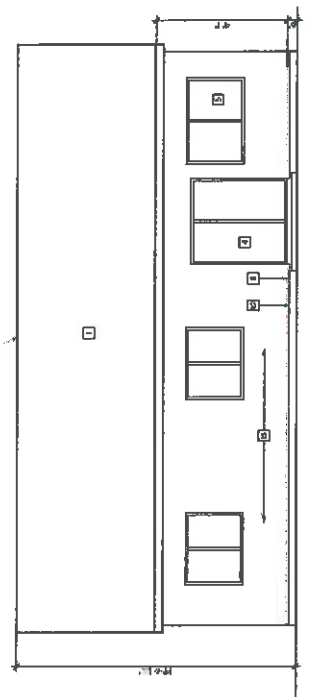


**FRONT ELEV. - B**  
 SCALE: 1/8" = 1'-0"



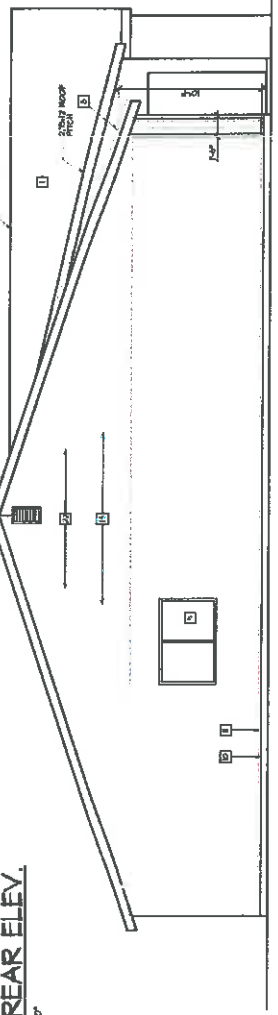
**RIGHT ELEV.**  
SCALE: 1/4" = 1'-0"

**PARTIAL RIGHT ELEV.- B**  
SCALE: 1/4" = 1'-0"

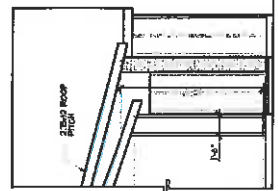


**TYP. REAR ELEV.**  
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES	
□	SEE ELEVATION KEYNOTES ON SHEET A-2
NOTE FOR RADIANT BARRIERS: IF IT IS DETERMINED THAT BARRIERS ARE NEEDED FOR STRUCTURAL OR ENERGY EFFICIENCY REASONS, THE BARRIERS SHALL BE INSTALLED TO ALL VERTICAL CONTACT OF ATIC IN 2" TYP. TO GABLE END WALLS.	



**LEFT ELEV.**  
SCALE: 1/4" = 1'-0"



**PARTIAL LEFT ELEV.- B**  
SCALE: 1/4" = 1'-0"

**(Revised)**

# **Exhibit “D”**

**“The Countess”**

**(Plan 4014) – 2,244 sq. ft.**

**Two-story**

**Dated: November 13, 2017**



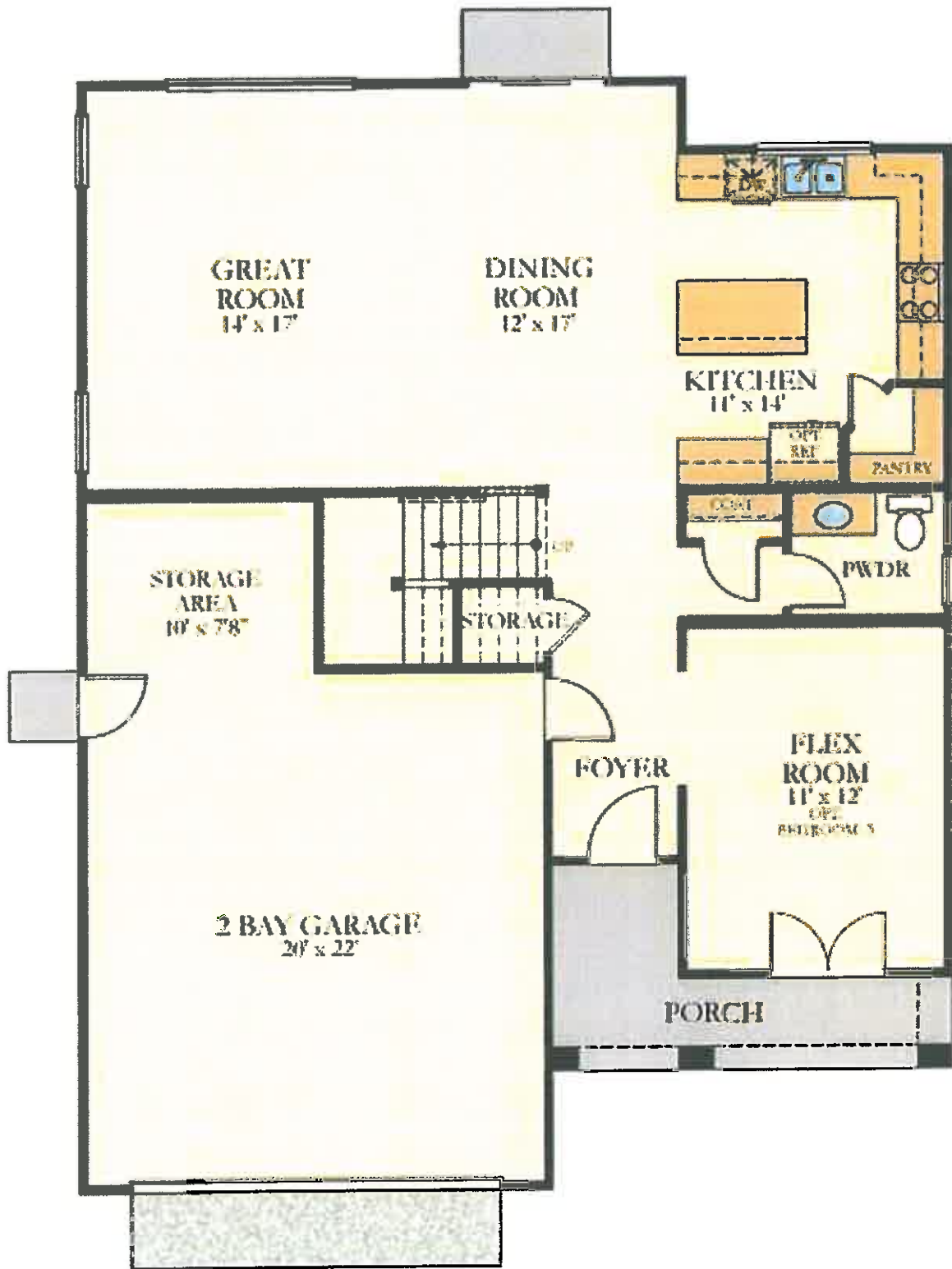
**ELEVATION A**



**ELEVATION B**

**PLAN 4014 (COUNTESS)**

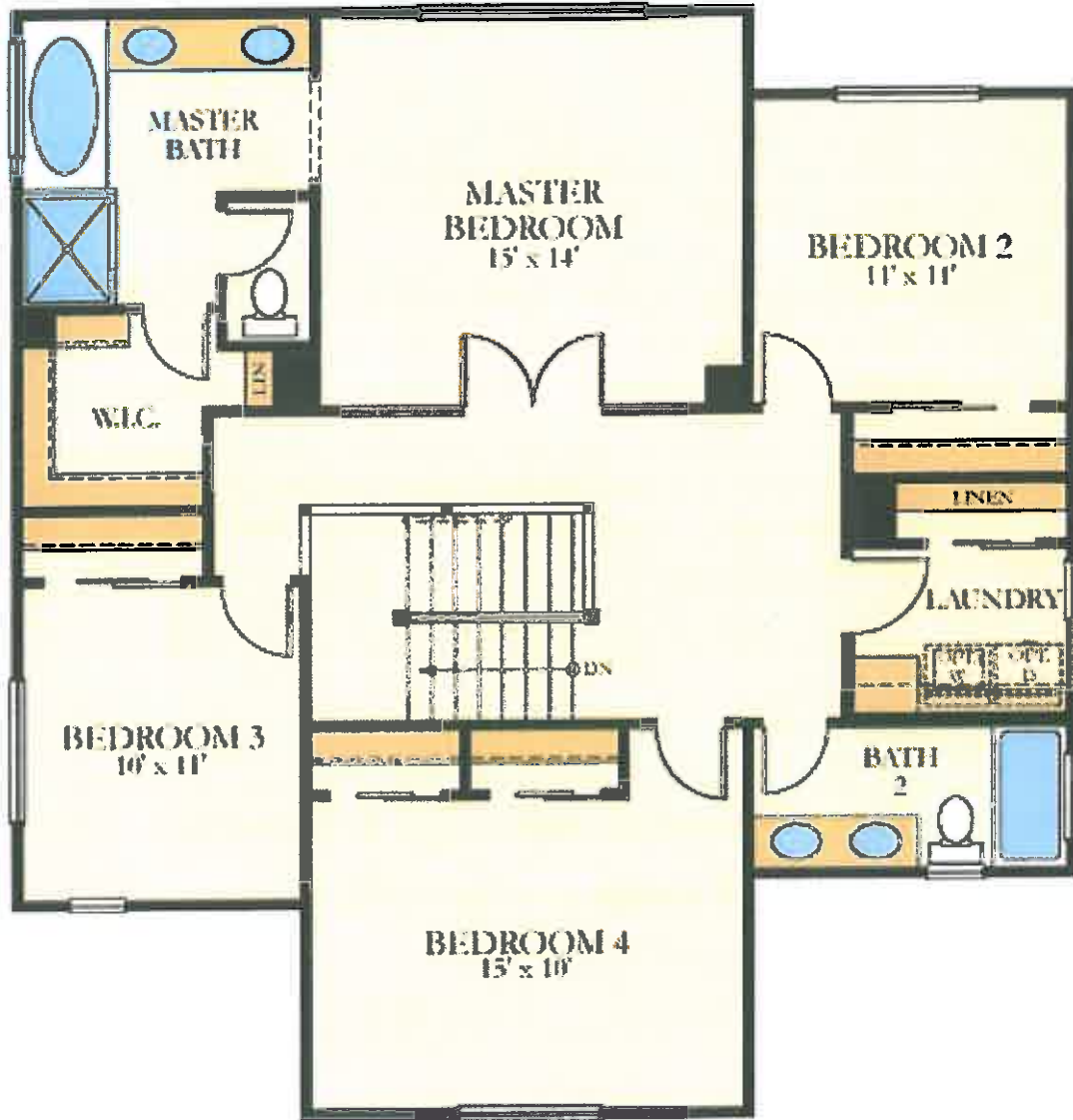
**RESIDENCE 2,280 SQ. FT. / 2-CAR GARAGE / 4 BEDROOM / 2 BATH / 1 HALF BATH**



FIRST FLOOR

**PLAN 4014 (COUNTRESS)**

RESIDENCE 2,280 SQ. FT. / 2-CAR GARAGE / 4 BEDROOM / 2 BATH / 1 HALF BATH



SECOND FLOOR

## PLAN 4014 (COUNTESS)

RESIDENCE 2,280 SQ. FT. / 2-CAR GARAGE / 4 BEDROOM / 2 BATH / 1 HALF BATH





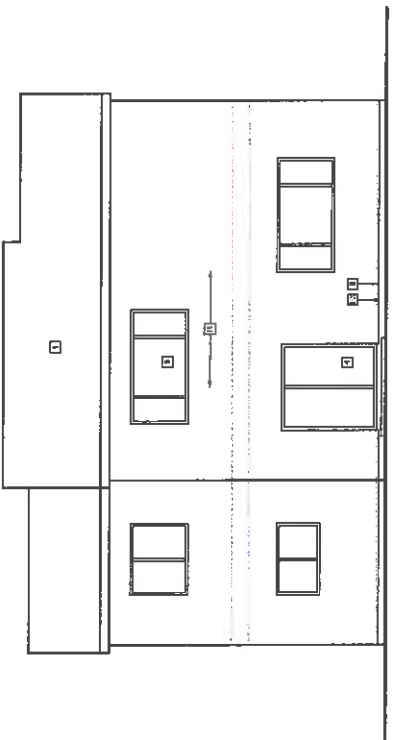


DATE	APR. 2, 2001
PROJECT	CHATEAU SERIES
PLN. 4014 (COURTESY)	VISALIA
REV.	
DATE	
DESCRIPTION OF WORK	

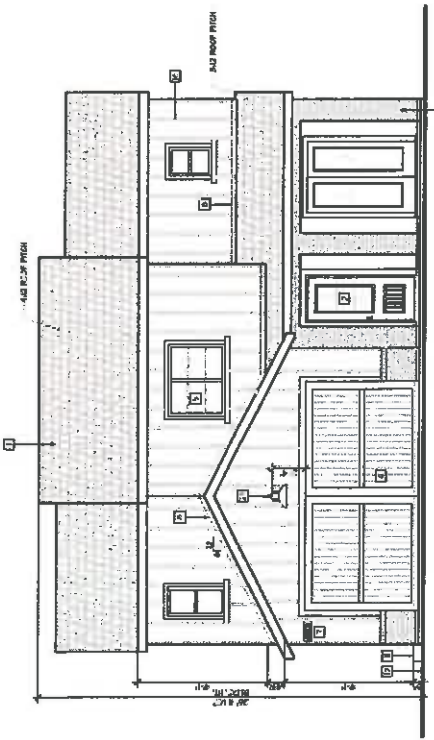
<p><b>ELEVATION KEYNOTES</b></p> <p>1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.</p> <p>2. FINISH FLOOR TO FINISH FLOOR.</p> <p>3. FINISH FLOOR TO FINISH CEILING.</p> <p>4. FINISH FLOOR TO FINISH TOP OF ROOF.</p> <p>5. FINISH FLOOR TO FINISH TOP OF WALL.</p> <p>6. FINISH FLOOR TO FINISH TOP OF CHIMNEY.</p> <p>7. FINISH FLOOR TO FINISH TOP OF PORCH.</p> <p>8. FINISH FLOOR TO FINISH TOP OF DECK.</p> <p>9. FINISH FLOOR TO FINISH TOP OF BALCONY.</p> <p>10. FINISH FLOOR TO FINISH TOP OF TERRACE.</p> <p>11. FINISH FLOOR TO FINISH TOP OF PATIO.</p> <p>12. FINISH FLOOR TO FINISH TOP OF DRIVEWAY.</p> <p>13. FINISH FLOOR TO FINISH TOP OF GARAGE.</p> <p>14. FINISH FLOOR TO FINISH TOP OF STAIRS.</p> <p>15. FINISH FLOOR TO FINISH TOP OF WALKWAY.</p> <p>16. FINISH FLOOR TO FINISH TOP OF RAMP.</p> <p>17. FINISH FLOOR TO FINISH TOP OF CURB.</p> <p>18. FINISH FLOOR TO FINISH TOP OF DRIVE.</p> <p>19. FINISH FLOOR TO FINISH TOP OF SIDEWALK.</p> <p>20. FINISH FLOOR TO FINISH TOP OF DRIVEWAY CURB.</p> <p>21. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE.</p> <p>22. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE CURB.</p> <p>23. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE.</p> <p>24. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE CURB.</p> <p>25. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE DRIVE.</p> <p>26. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE DRIVE CURB.</p> <p>27. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE DRIVE DRIVE.</p> <p>28. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE DRIVE DRIVE CURB.</p> <p>29. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE DRIVE DRIVE DRIVE.</p> <p>30. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE DRIVE DRIVE DRIVE CURB.</p>	<p>1. FINISH FLOOR TO FINISH TOP OF ROOF.</p> <p>2. FINISH FLOOR TO FINISH TOP OF WALL.</p> <p>3. FINISH FLOOR TO FINISH TOP OF CHIMNEY.</p> <p>4. FINISH FLOOR TO FINISH TOP OF PORCH.</p> <p>5. FINISH FLOOR TO FINISH TOP OF DECK.</p> <p>6. FINISH FLOOR TO FINISH TOP OF BALCONY.</p> <p>7. FINISH FLOOR TO FINISH TOP OF TERRACE.</p> <p>8. FINISH FLOOR TO FINISH TOP OF PATIO.</p> <p>9. FINISH FLOOR TO FINISH TOP OF DRIVEWAY.</p> <p>10. FINISH FLOOR TO FINISH TOP OF GARAGE.</p> <p>11. FINISH FLOOR TO FINISH TOP OF STAIRS.</p> <p>12. FINISH FLOOR TO FINISH TOP OF WALKWAY.</p> <p>13. FINISH FLOOR TO FINISH TOP OF RAMP.</p> <p>14. FINISH FLOOR TO FINISH TOP OF CURB.</p> <p>15. FINISH FLOOR TO FINISH TOP OF DRIVE.</p> <p>16. FINISH FLOOR TO FINISH TOP OF SIDEWALK.</p> <p>17. FINISH FLOOR TO FINISH TOP OF DRIVEWAY CURB.</p> <p>18. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE.</p> <p>19. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE CURB.</p> <p>20. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE.</p> <p>21. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE CURB.</p> <p>22. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE DRIVE.</p> <p>23. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE DRIVE CURB.</p> <p>24. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE DRIVE DRIVE.</p> <p>25. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE DRIVE DRIVE CURB.</p> <p>26. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE DRIVE DRIVE DRIVE.</p> <p>27. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE DRIVE DRIVE DRIVE CURB.</p> <p>28. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE DRIVE DRIVE DRIVE DRIVE.</p> <p>29. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE DRIVE DRIVE DRIVE DRIVE CURB.</p> <p>30. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE DRIVE DRIVE DRIVE DRIVE DRIVE.</p>
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**NOTE FOR SACHANT ENGINEER:**  
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
 2. FINISH FLOOR TO FINISH FLOOR.  
 3. FINISH FLOOR TO FINISH TOP OF ROOF.  
 4. FINISH FLOOR TO FINISH TOP OF WALL.  
 5. FINISH FLOOR TO FINISH TOP OF CHIMNEY.  
 6. FINISH FLOOR TO FINISH TOP OF PORCH.  
 7. FINISH FLOOR TO FINISH TOP OF DECK.  
 8. FINISH FLOOR TO FINISH TOP OF BALCONY.  
 9. FINISH FLOOR TO FINISH TOP OF TERRACE.  
 10. FINISH FLOOR TO FINISH TOP OF PATIO.  
 11. FINISH FLOOR TO FINISH TOP OF DRIVEWAY.  
 12. FINISH FLOOR TO FINISH TOP OF GARAGE.  
 13. FINISH FLOOR TO FINISH TOP OF STAIRS.  
 14. FINISH FLOOR TO FINISH TOP OF WALKWAY.  
 15. FINISH FLOOR TO FINISH TOP OF RAMP.  
 16. FINISH FLOOR TO FINISH TOP OF CURB.  
 17. FINISH FLOOR TO FINISH TOP OF DRIVE.  
 18. FINISH FLOOR TO FINISH TOP OF SIDEWALK.  
 19. FINISH FLOOR TO FINISH TOP OF DRIVEWAY CURB.  
 20. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE.  
 21. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE CURB.  
 22. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE.  
 23. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE CURB.  
 24. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE DRIVE.  
 25. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE DRIVE CURB.  
 26. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE DRIVE DRIVE.  
 27. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE DRIVE DRIVE CURB.  
 28. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE DRIVE DRIVE DRIVE.  
 29. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE DRIVE DRIVE DRIVE CURB.  
 30. FINISH FLOOR TO FINISH TOP OF DRIVEWAY DRIVE DRIVE DRIVE DRIVE DRIVE DRIVE.

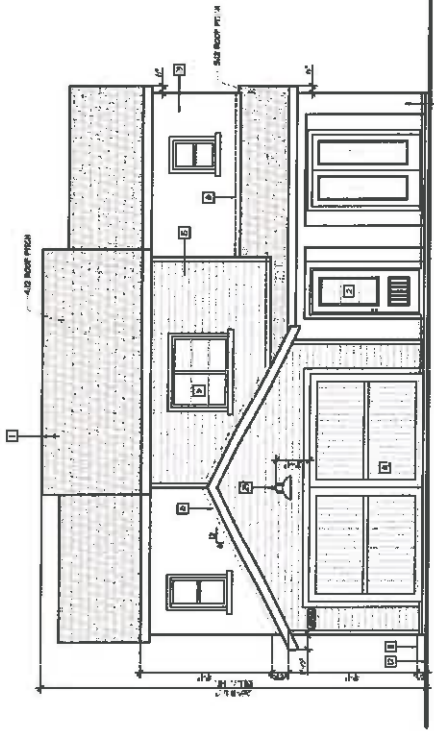
THIS PLAN IS THE PROPERTY OF LENNAR. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LENNAR. ANY UNAUTHORIZED USE OF THIS PLAN IS STRICTLY PROHIBITED.



**TYP. REAR ELEV.**  
 SCALE: 1/4" = 1'-0"



**FRONT ELEV. - B**  
 SCALE: 1/4" = 1'-0"

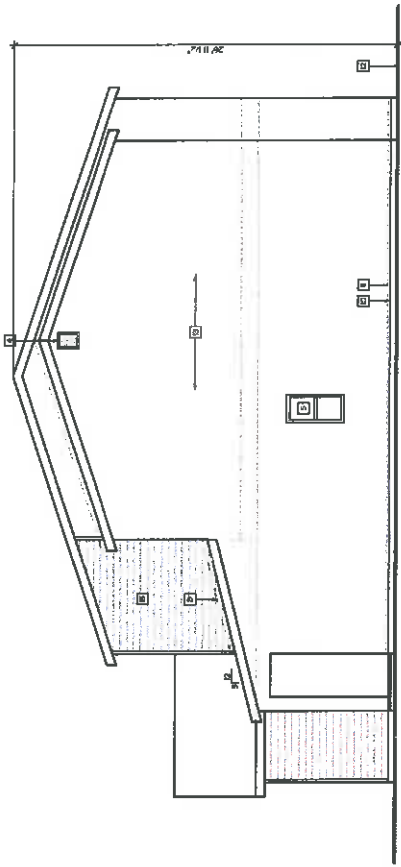


**FRONT ELEV. - A**  
 SCALE: 1/4" = 1'-0"

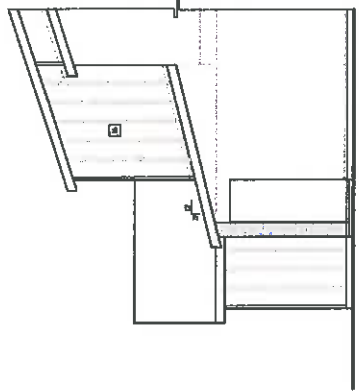
VISALIA  
PLAN 4014 (COURTESY)

REV.	DATE	DESCRIPTION OF WORK

The architect, engineer and contractor shall be responsible for the accuracy of the information furnished hereon. The architect, engineer and contractor shall be responsible for the accuracy of the information furnished hereon.

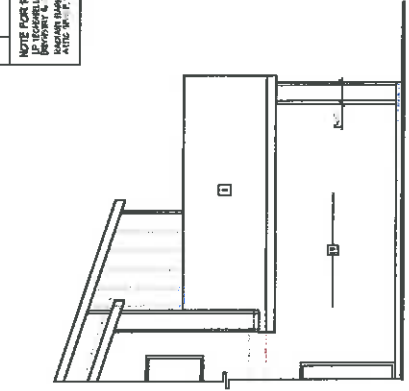


**RIGHT ELEV.- A**  
SCALE: 1/4" = 1'-0"

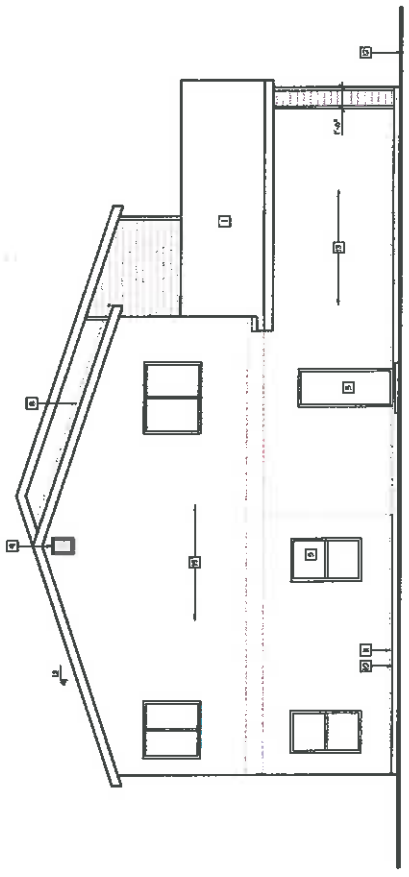


**PARTIAL RIGHT ELEV.- B**  
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES	
<input type="checkbox"/>	SEE ELEVATION KEYNOTES ON SHEET A-3
NOTE: FACE RADIANT BARBERS (P. 16) SHALL BE PAINTED AND FINISHED BY THE CONTRACTOR. (SEE PLAN SHEET A-3, P. 17) FOR DETAILS OF FINISHES AND MATERIALS TO BE USED FOR THIS ELEVATION.	



**PARTIAL LEFT ELEV.- B**  
SCALE: 1/4" = 1'-0"



**LEFT ELEV.- A**  
SCALE: 1/4" = 1'-0"

# Exhibit “E”

“The Camelot”

(Plan 4017) – 2,798 sq. ft.

One-story

Dated: October 23, 2017

# THE CAMELOT

*The Chateau Series at Vistas*

Approx. 2,798 sq. ft.

Two-Story

4 Bedrooms

3½ Bathrooms

3-Bay Tandem Garage



2424 N. Shady St. | Visalia, CA 93291  
559-994-6567 | Lennar.com



*The Camelot A*



*The Camelot B*



*The Camelot C*

# THE CAMELOT

The Chateau Series at Vistas

Approx. 2,798 sq. ft.

Two-Story

4 Bedrooms

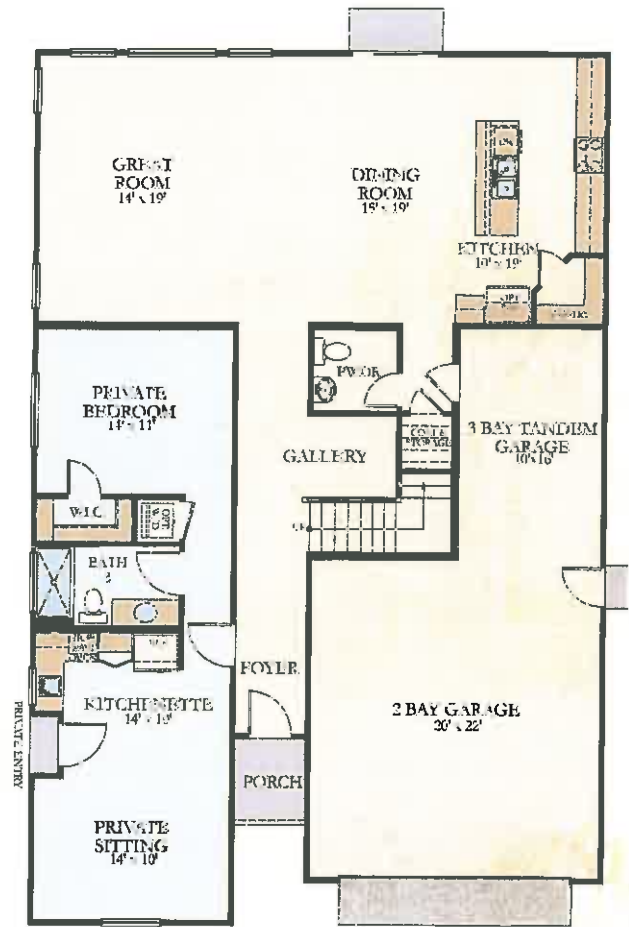
3½ Bathrooms

3-Bay Tandem Garage

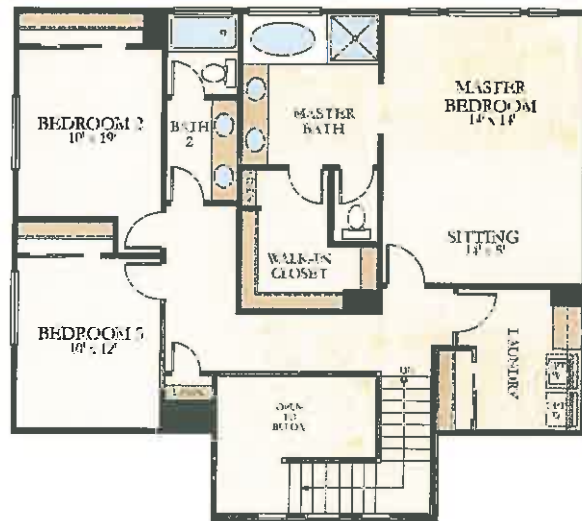


**NEXTGEN**  
THE HOME OFFICE & MORE

Plans and elevations are artist's renderings and may contain options which are not standard on all models. Lennar reserves the right to make changes to these plans, specifications, dimensions and elevations without prior notice. Stated dimensions and square footage are approximate and should not be used as representation of the home's actual or available square footage. Actual square footage may vary. Stated area, or any other description or feature of the square footage area of this home is a virtual description of the features in which the square footage was estimated and should not be construed to indicate accuracy. Stated dimensions and square footage are approximate and should not be used as representation of the home's actual or actual size. Renderings are conceptual in nature and merely an artistic rendering. These drawings are solely for illustrative purposes and should never be relied upon. They may vary from home to home and may not accommodate all vehicles. Lennar Homes, Inc. 3030 Cambridge Homes - License #0211180 Lennar Homes of California, Inc. License #129102 Central Sales Corp. - California Bureau of Real Estate License #01257753 Copyright © 2011 Lennar Corporation. All rights reserved. Lennar, the Lennar logo, Next Gen - The Home Office & More and the Next Gen logo are registered service marks or trademarks of Lennar Corporation and/or its subsidiaries. 4/11



FIRST FLOOR



SECOND FLOOR



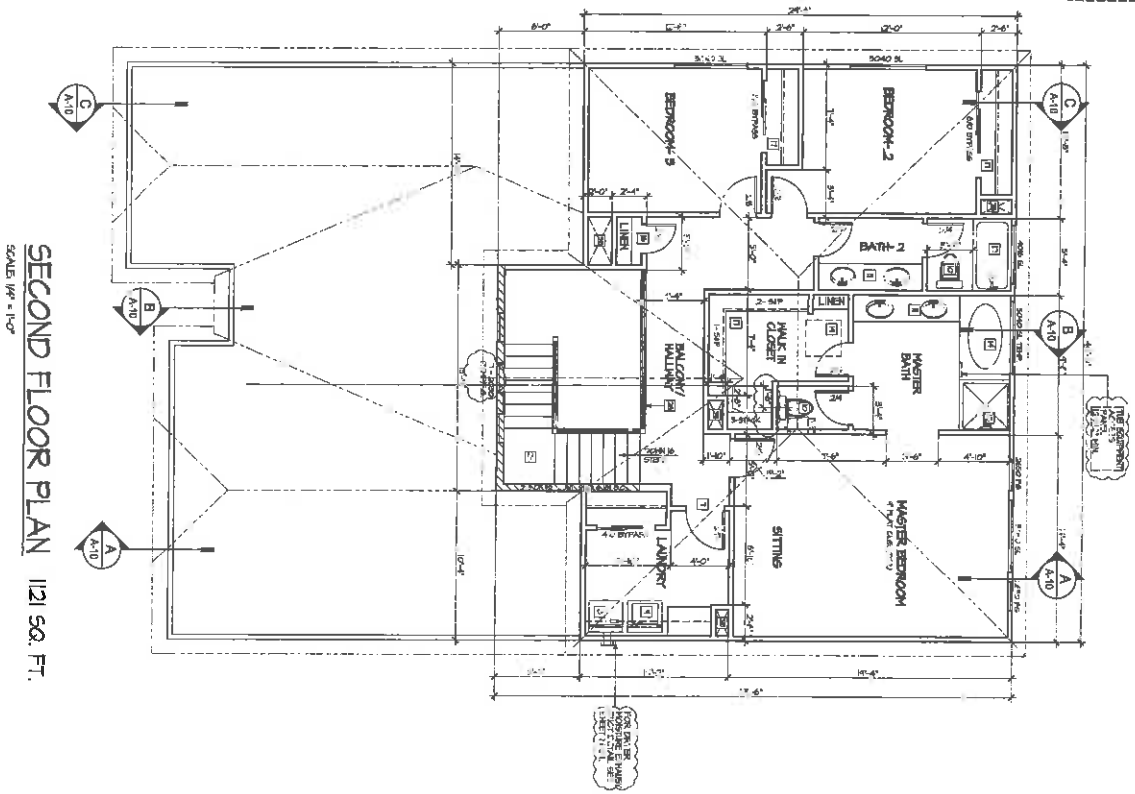


**FLOOR PLAN CONSTRUCTION NOTES:**

- 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- 4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- 5. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

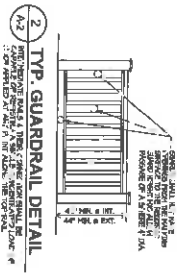
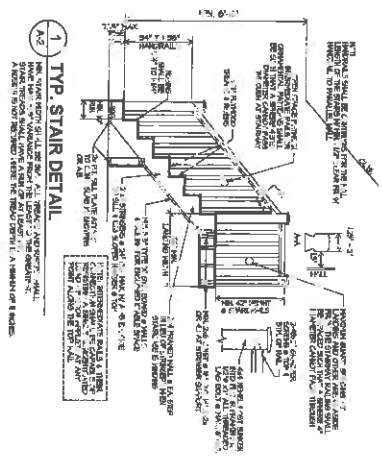
**FLOORING WALLS NOTES:**

- 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- 4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- 5. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.



**SECOND FLOOR PLAN** 1121 SQ. FT.  
SCALE 1/8" = 1'-0"

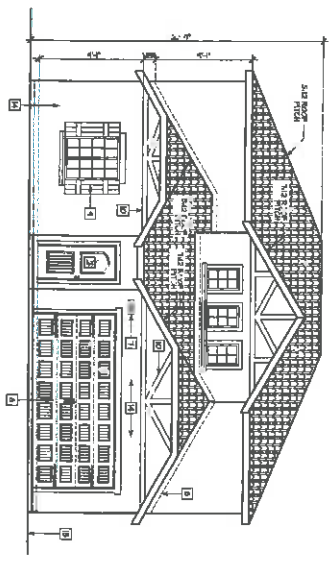
FLOOR PLAN KEY NOTES:  
SEE FLOOR PLAN KEYNOTES ON SHEET A-1



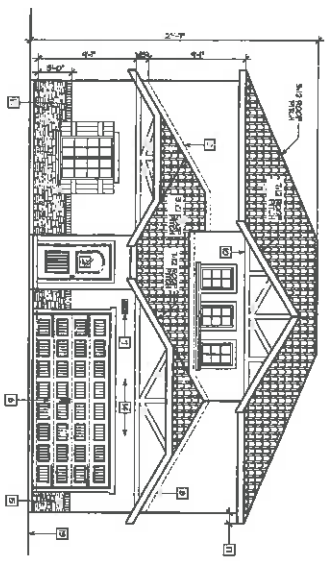
(FLOPPED)



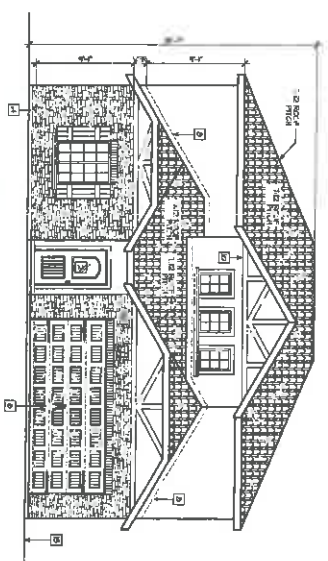
DATE: 08/11/07  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]



FRONT ELEV.- A  
SCALE 3/8" = 1'-0"



FRONT ELEV.- B  
SCALE 3/8" = 1'-0"



FRONT ELEV.- C  
SCALE 3/8" = 1'-0"

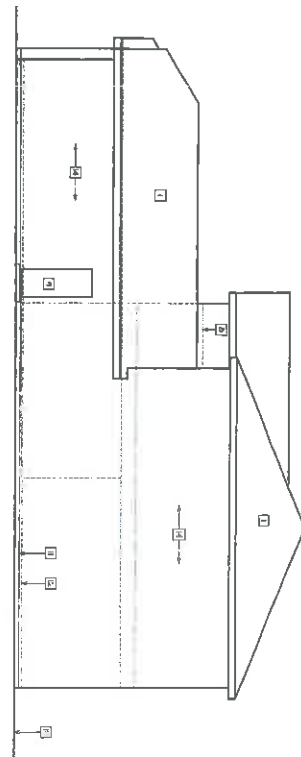
**NOTE:**  
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
 2. FINISHES ARE TO BE AS SHOWN ON THE DRAWING.  
 3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT.  
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.  
 5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.  
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.  
 7. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION THROUGHOUT THE PROJECT.  
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL ADJACENT PROPERTIES.  
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES AND STRUCTURES.  
 10. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION THROUGHOUT THE PROJECT.

REV.	DATE	DESCRIPTION
1	04-11-11	ISSUED FOR PERMITS
2	05-11-11	REVISIONS TO PERMITS
3	06-11-11	REVISIONS TO PERMITS
4	07-11-11	REVISIONS TO PERMITS
5	08-11-11	REVISIONS TO PERMITS
6	09-11-11	REVISIONS TO PERMITS
7	10-11-11	REVISIONS TO PERMITS
8	11-11-11	REVISIONS TO PERMITS
9	12-11-11	REVISIONS TO PERMITS
10	01-11-12	REVISIONS TO PERMITS
11	02-11-12	REVISIONS TO PERMITS
12	03-11-12	REVISIONS TO PERMITS
13	04-11-12	REVISIONS TO PERMITS
14	05-11-12	REVISIONS TO PERMITS
15	06-11-12	REVISIONS TO PERMITS
16	07-11-12	REVISIONS TO PERMITS
17	08-11-12	REVISIONS TO PERMITS
18	09-11-12	REVISIONS TO PERMITS
19	10-11-12	REVISIONS TO PERMITS
20	11-11-12	REVISIONS TO PERMITS
21	12-11-12	REVISIONS TO PERMITS
22	01-11-13	REVISIONS TO PERMITS
23	02-11-13	REVISIONS TO PERMITS
24	03-11-13	REVISIONS TO PERMITS
25	04-11-13	REVISIONS TO PERMITS
26	05-11-13	REVISIONS TO PERMITS
27	06-11-13	REVISIONS TO PERMITS
28	07-11-13	REVISIONS TO PERMITS
29	08-11-13	REVISIONS TO PERMITS
30	09-11-13	REVISIONS TO PERMITS
31	10-11-13	REVISIONS TO PERMITS
32	11-11-13	REVISIONS TO PERMITS
33	12-11-13	REVISIONS TO PERMITS
34	01-11-14	REVISIONS TO PERMITS
35	02-11-14	REVISIONS TO PERMITS
36	03-11-14	REVISIONS TO PERMITS
37	04-11-14	REVISIONS TO PERMITS
38	05-11-14	REVISIONS TO PERMITS
39	06-11-14	REVISIONS TO PERMITS
40	07-11-14	REVISIONS TO PERMITS
41	08-11-14	REVISIONS TO PERMITS
42	09-11-14	REVISIONS TO PERMITS
43	10-11-14	REVISIONS TO PERMITS
44	11-11-14	REVISIONS TO PERMITS
45	12-11-14	REVISIONS TO PERMITS
46	01-11-15	REVISIONS TO PERMITS
47	02-11-15	REVISIONS TO PERMITS
48	03-11-15	REVISIONS TO PERMITS
49	04-11-15	REVISIONS TO PERMITS
50	05-11-15	REVISIONS TO PERMITS
51	06-11-15	REVISIONS TO PERMITS
52	07-11-15	REVISIONS TO PERMITS
53	08-11-15	REVISIONS TO PERMITS
54	09-11-15	REVISIONS TO PERMITS
55	10-11-15	REVISIONS TO PERMITS
56	11-11-15	REVISIONS TO PERMITS
57	12-11-15	REVISIONS TO PERMITS
58	01-11-16	REVISIONS TO PERMITS
59	02-11-16	REVISIONS TO PERMITS
60	03-11-16	REVISIONS TO PERMITS
61	04-11-16	REVISIONS TO PERMITS
62	05-11-16	REVISIONS TO PERMITS
63	06-11-16	REVISIONS TO PERMITS
64	07-11-16	REVISIONS TO PERMITS
65	08-11-16	REVISIONS TO PERMITS
66	09-11-16	REVISIONS TO PERMITS
67	10-11-16	REVISIONS TO PERMITS
68	11-11-16	REVISIONS TO PERMITS
69	12-11-16	REVISIONS TO PERMITS
70	01-11-17	REVISIONS TO PERMITS
71	02-11-17	REVISIONS TO PERMITS
72	03-11-17	REVISIONS TO PERMITS
73	04-11-17	REVISIONS TO PERMITS
74	05-11-17	REVISIONS TO PERMITS
75	06-11-17	REVISIONS TO PERMITS
76	07-11-17	REVISIONS TO PERMITS
77	08-11-17	REVISIONS TO PERMITS
78	09-11-17	REVISIONS TO PERMITS
79	10-11-17	REVISIONS TO PERMITS
80	11-11-17	REVISIONS TO PERMITS
81	12-11-17	REVISIONS TO PERMITS
82	01-11-18	REVISIONS TO PERMITS
83	02-11-18	REVISIONS TO PERMITS
84	03-11-18	REVISIONS TO PERMITS
85	04-11-18	REVISIONS TO PERMITS
86	05-11-18	REVISIONS TO PERMITS
87	06-11-18	REVISIONS TO PERMITS
88	07-11-18	REVISIONS TO PERMITS
89	08-11-18	REVISIONS TO PERMITS
90	09-11-18	REVISIONS TO PERMITS
91	10-11-18	REVISIONS TO PERMITS
92	11-11-18	REVISIONS TO PERMITS
93	12-11-18	REVISIONS TO PERMITS
94	01-11-19	REVISIONS TO PERMITS
95	02-11-19	REVISIONS TO PERMITS
96	03-11-19	REVISIONS TO PERMITS
97	04-11-19	REVISIONS TO PERMITS
98	05-11-19	REVISIONS TO PERMITS
99	06-11-19	REVISIONS TO PERMITS
100	07-11-19	REVISIONS TO PERMITS

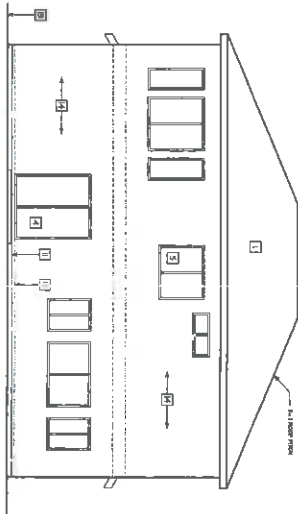
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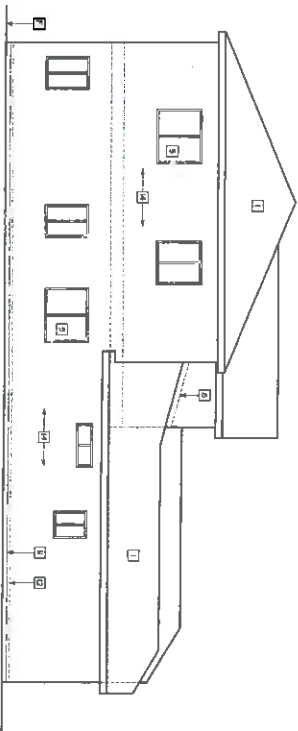
DATE: FEB 8, 2011



**RIGHT ELEV.**  
SCALE 3/8" = 1'-0"



**REAR ELEV.**  
SCALE 3/8" = 1'-0"



**TYP. LEFT ELEV.**  
SCALE 3/8" = 1'-0"

<input type="checkbox"/>	ELEVATION KEYNOTES
<input type="checkbox"/>	SEE SHEET A-4 FOR CORRESPONDING ELEVATION KEYNOTES
<p>NOTE FOR RADIANT BARRIER: IF RADIANT BARRIER BARRIERS ARE 2" x 4" SIP OR BUILDING BARRIERS, REFER TO C-6 FOR ALL VERTICAL SIPS. IF BARRIERS ARE 2" x 2" SIPS, AS SHOWN ON WALL.</p>	

(FLOPPED)



PROFESSIONAL SEAL OF THE STATE OF CALIFORNIA  
REGISTERED ARCHITECT  
LENNAR DESIGN PROGRESSIONS  
1000 N. PALM AVENUE, SUITE 110, FRESNO, CA 93711  
PHONE (559) 447-3400  
FRESNO, CA 93711

SHEET NO. **A-4**  
OF SHEETS

PREPARED BY:  
**RLC DESIGN PROGRESSIONS**  
2000 N. PALM AVENUE, SUITE 110, FRESNO, CA 93711  
PHONE (559) 447-3400

**LENNAR**

8080 N. PALM AVE. SUITE 110, FRESNO, CA 93711 PHONE (559) 447-3400

**VISALIA**  
PLAN 401T (CAMELOT)

DESIGNER	DRAWN	DATE	PROJECT
L. GARR	KD. RLC	JANUARY 1, 2001	1101

REV.	DATE
0	104-0
1	
2	
3	
4	

The information, arrangements and ideas depicted within these drawings are the property of Lennar Design Progressions, Inc. and shall not be used, copied, reproduced, or otherwise, without the written consent of Lennar Design Progressions, Inc.

# **Exhibit “F”**

**“The Chevalier”**

**(Plan 4018) – 3,167 sq. ft.**

**Two-story**

**Dated: October 23, 2017**

# THE CHEVALIER-S

*The Chateau Series at Vistas*

Approx. 3,167 sq. ft.

Two-Story

5 Bedrooms with Extra-large  
Master Suite

4 Bathrooms

Loft

2-Bay Garage



*The Chevalier-S A*



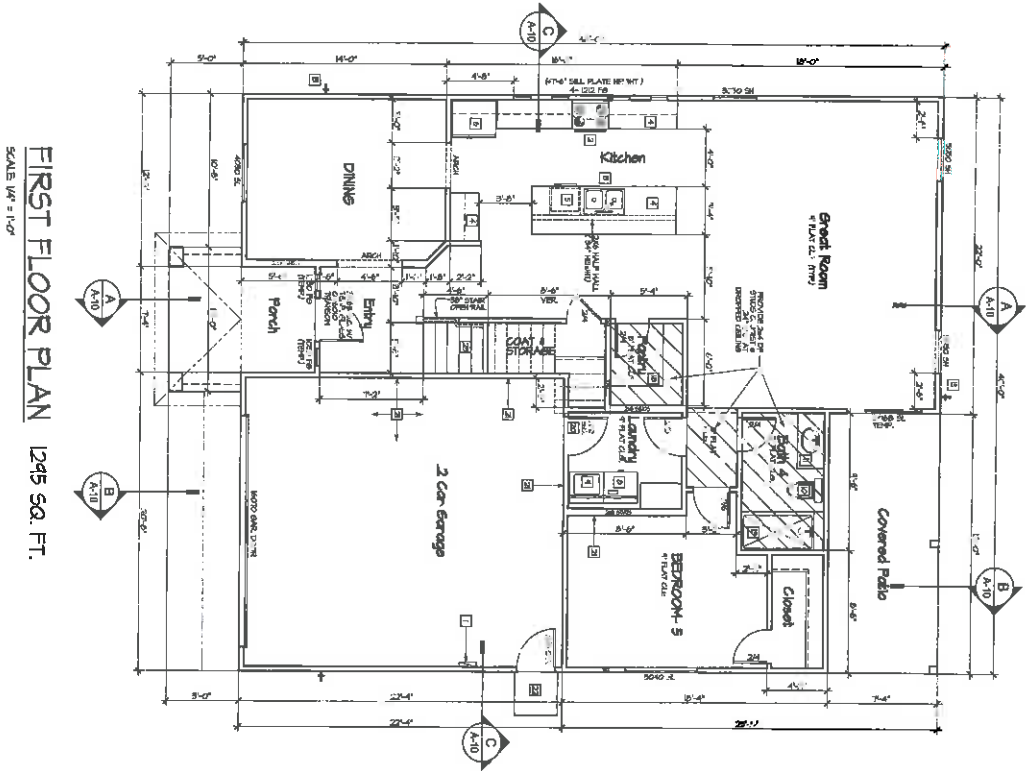
*The Chevalier-S B*



*The Chevalier-S C*



**FLOOR PLAN DEVIATION NOTE:**  
 1. THE FOLLOWING DEVIATION NOTE IS FOR THE ARCHITECT'S REVIEW ONLY. THE ARCHITECT'S REVIEW SHALL BE THE FINAL AUTHORITY FOR THE APPROVAL OF THE FLOOR PLAN.  
 2. THE ARCHITECT'S REVIEW SHALL BE THE FINAL AUTHORITY FOR THE APPROVAL OF THE FLOOR PLAN.  
 3. THE ARCHITECT'S REVIEW SHALL BE THE FINAL AUTHORITY FOR THE APPROVAL OF THE FLOOR PLAN.



**FIRST FLOOR PLAN** 1245 SQ. FT.  
 SCALE 1/4" = 1'-0"

**FLOOR PLAN KEY NOTES:**

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL FINISHES ARE TO BE AS SHOWN ON THE FINISH SCHEDULE.
3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE AS SHOWN ON THE SPECIFICATIONS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL MECHANICAL AND PLUMBING CODE BOOK (IMC).
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ELECTRICAL CODE BOOK (IEC).
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL FIRE AND SAFETY CODE BOOK (IFSC).
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ENERGY EFFICIENCY CODE BOOK (IEEC).
9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL SWEET'S ARCHITECTURAL SYMBOLS (SAS).
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL ABBREVIATIONS (IAA).
11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL CONVENTIONS (IAC).
12. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL PRACTICES (IAP).
13. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL STANDARDS (IAS).
14. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL BEST PRACTICES (IABP).
15. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL ETHICS (IAE).
16. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL RESPONSIBILITIES (IAR).
17. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL OBLIGATIONS (IAO).
18. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL RIGHTS (IAR).
19. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL INTERESTS (IAI).
20. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL VALUES (IAV).
21. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL PRINCIPLES (IAP).
22. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL CANONS (IAC).
23. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL LAWS (IAL).
24. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL REGULATIONS (IAR).
25. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL ORDINANCES (IAO).
26. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL DECREES (IAD).
27. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL EDICTS (IAE).
28. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL DECREES (IAD).
29. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL EDICTS (IAE).
30. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL DECREES (IAD).

**ENERGY COMPLIANCE SUMMARY**

GLAZING TYPE	U-VALUE	SHGC
DOUBLE GLAZING	0.35	0.60
TRIPLE GLAZING	0.25	0.50
LOW-E GLAZING	0.30	0.55
ENERGY STAR	0.30	0.55

BUILDING INSULATION	R VALUE
CEILING	15
FLOOR	25
WALLS	13
ROOF	30
FOUNDATION	10
DOORS	5
WINDOWS	0.35

HVAC / WATER HEATING	EFFICIENCY
HVAC SYSTEM	13
WATER HEATER	0.90
MECHANICAL	10
ELECTRICAL	15
PLUMBING	10
MECHANICAL	10
ELECTRICAL	15
PLUMBING	10

**FLOOR PLAN NOTES:**

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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22. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL CANONS (IAC).
23. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL LAWS (IAL).
24. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL REGULATIONS (IAR).
25. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL ORDINANCES (IAO).
26. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL DECREES (IAD).
27. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL EDICTS (IAE).
28. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL DECREES (IAD).
29. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL EDICTS (IAE).
30. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL ARCHITECTURAL DECREES (IAD).



1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
 2. ALL FINISHES ARE TO BE AS SHOWN ON THE FINISH SCHEDULE.  
 3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE AS SHOWN ON THE SPECIFICATIONS.  
 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).

PREPARED BY:  
**RLC DESIGN PROGRESSIONS**  
 29-72 (C) 2018 RLC DESIGN PROGRESSIONS, FRESNO, CA 93710  
 SHEET NO. **A-1**

**LENNAR**  
 8080 N. PALM AVE. SUITE 110, FRESNO, CA, 93711 PHONE (569) 447-3400

**VISALIA**  
**PLAN 4018 (CHEVALIER)**  
 DESIGN BY: [Signature] DRAWN: [Signature] DATE: JANUARY 10, 2018 PROJECT: 1707

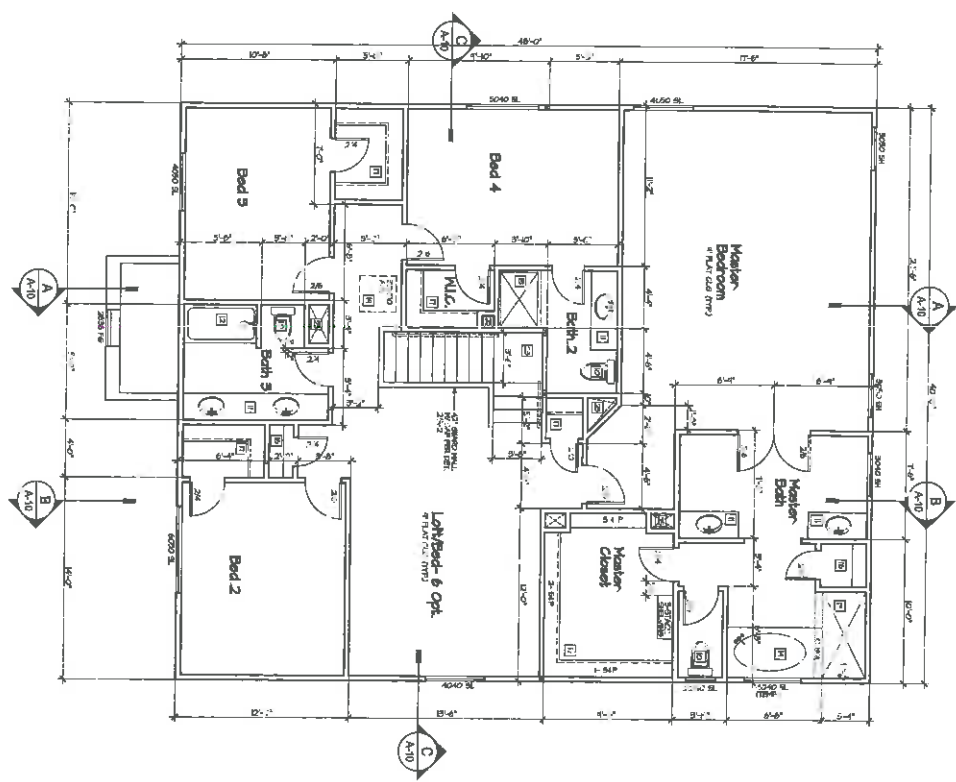
REV.	DATE	DESCRIPTION
1	10-1	ISSUED FOR PERMITS
2		
3		
4		
5		
6		
7		
8		
9		
10		

**FLOOR PLAN DIMENSIONAL NOTES:**

- 1. DIMENSIONS SHOWN ARE FROM FACE OF WALL UNLESS NOTED OTHERWISE.
- 2. DIMENSIONS BETWEEN WALLS OF CONCRETE OR BRICK SHALL BE TO CENTERLINE UNLESS NOTED OTHERWISE.
- 3. DIMENSIONS BETWEEN WALLS OF OTHER MATERIAL SHALL BE TO FACE UNLESS NOTED OTHERWISE.
- 4. DIMENSIONS BETWEEN WALLS OF OTHER MATERIAL SHALL BE TO FACE UNLESS NOTED OTHERWISE.
- 5. DIMENSIONS BETWEEN WALLS OF OTHER MATERIAL SHALL BE TO FACE UNLESS NOTED OTHERWISE.

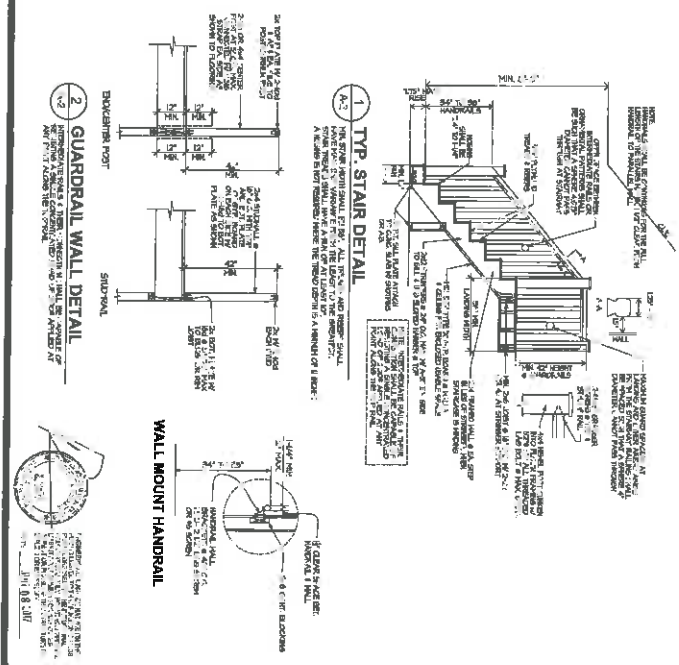
**NOTES:**

1. CHECK ALL THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT FOR THE APPLICABLE CODES.
2. ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE.
5. ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE.

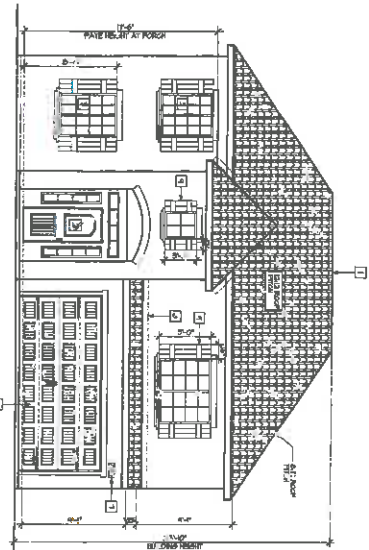


**SECOND FLOOR PLAN** 1872 SQ. FT.  
SCALE 1/4" = 1'-0"

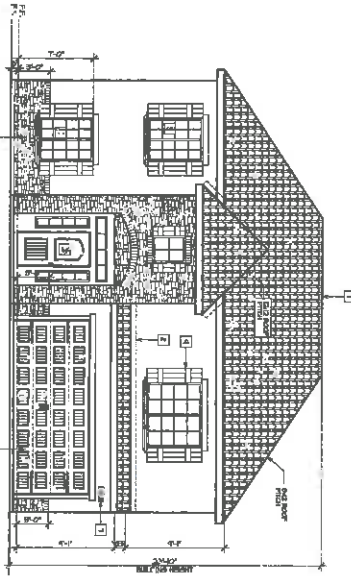
FLOOR PLAN KEY NOTES:  
SEE FLOOR PLAN NOTES ON SHEET A-1



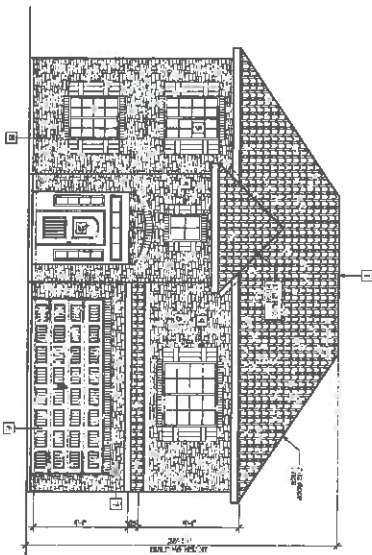




FRONT ELEV - A  
SCALE 3/8" = 1'-0"



FRONT ELEV - B  
SCALE 3/8" = 1'-0"



FRONT ELEV - C  
SCALE 3/8" = 1'-0"

ELEVATION KEYNOTES	
1	CONCRETE FOUNDATION - SEE FOUNDATION PLAN
2	1" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
3	2" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
4	3" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
5	4" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
6	5" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
7	6" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
8	7" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
9	8" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
10	9" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
11	10" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
12	11" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
13	12" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
14	13" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
15	14" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
16	15" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
17	16" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
18	17" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
19	18" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
20	19" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
21	20" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
22	21" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
23	22" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
24	23" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
25	24" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
26	25" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
27	26" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
28	27" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
29	28" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
30	29" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
31	30" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
32	31" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
33	32" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
34	33" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
35	34" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
36	35" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
37	36" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
38	37" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
39	38" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
40	39" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
41	40" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
42	41" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
43	42" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
44	43" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
45	44" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
46	45" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
47	46" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
48	47" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
49	48" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
50	49" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
51	50" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
52	51" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
53	52" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
54	53" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
55	54" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
56	55" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
57	56" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
58	57" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
59	58" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
60	59" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
61	60" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
62	61" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
63	62" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
64	63" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
65	64" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
66	65" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
67	66" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
68	67" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
69	68" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
70	69" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
71	70" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
72	71" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
73	72" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
74	73" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
75	74" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
76	75" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
77	76" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
78	77" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
79	78" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
80	79" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
81	80" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
82	81" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
83	82" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
84	83" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
85	84" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
86	85" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
87	86" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
88	87" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
89	88" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
90	89" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
91	90" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
92	91" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
93	92" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
94	93" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
95	94" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
96	95" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
97	96" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
98	97" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
99	98" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN
100	99" x 4" STUDS @ 16" O.C. - SEE FOUNDATION PLAN

NOTE FOR RADIANT BARRIERS:  
 1. RADIANT BARRIERS SHALL BE INSTALLED UNDER ALL EXTERIOR WALLS AND UNDER ALL VERTICAL SURFACES OF ALL EXTERIOR WALLS.  
 2. RADIANT BARRIERS SHALL BE INSTALLED UNDER ALL EXTERIOR WALLS AND UNDER ALL VERTICAL SURFACES OF ALL EXTERIOR WALLS.  
 3. RADIANT BARRIERS SHALL BE INSTALLED UNDER ALL EXTERIOR WALLS AND UNDER ALL VERTICAL SURFACES OF ALL EXTERIOR WALLS.  
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PREPARED BY:  
**RLC DESIGN PROGRESSIONS**  
 2515 N. MARKET ST. FRESNO, CA 93701  
 PHONE: (559) 435-6646

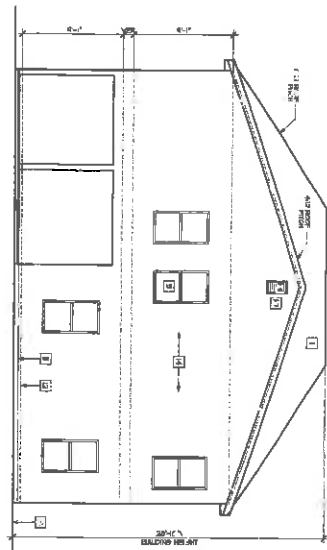
**LENNAR**  
 8080 N. PALM AVE. SUITE 110, FRESNO, CA. 93711 PHONE (559) 447-3400

**VISALIA**  
 PLAN 401B (CHEVALIER)

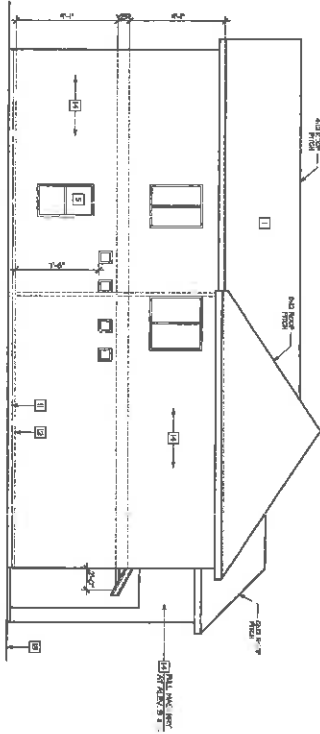
DESIGN BY:	REVISED:	DATE:	PROJECT NO.:
RLC	01	01/01/01	1101

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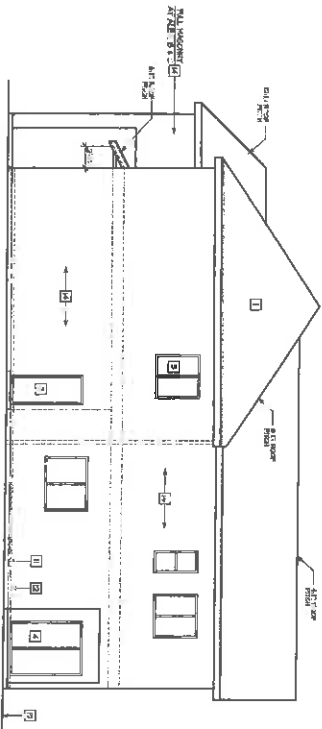
SHEET NO.  
**A-3**



REAR ELEV.  
SCALE 3/8" = 1'-0"



LEFT ELEV.  
SCALE 3/8" = 1'-0"



RIGHT ELEV.  
SCALE 3/8" = 1'-0"

<input type="checkbox"/>	ELEVATION KEYNOTES
	SEE SHEET A-3 FOR CORRESPONDING ELEVATION KEYNOTES
<p>NOTE FOR RAUJANT BARRBER,          PROJECT ENGINEER: I HAVE ALL NECESSARY          INFORMATION TO COMPLETE THIS DRAWING.          APPROVED: [Signature]</p>	



DRAWING NO. 14-01-01-01-01-01-01  
 SHEET NO. A-4  
 DATE: FEB 11 2011  
 PROJECT: 14-01-01-01-01-01-01  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 APPROVED BY: [Name]

SHEET NO. A-4

**PREPARED BY:**  
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DESIGN BY	DATE	PROJECT
LDW/ML	10.2.2.2008	1101

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# REPORT TO CITY OF VISALIA PLANNING COMMISSION

**HEARING DATE:** October 23, 2017

**PROJECT PLANNER:** Paul Bernal, City Planner  
Phone No.: (559) 713-4025  
E-Mail: paul.bernal@visalia.city

**SUBJECT: Conditional Use Permit No. 2017-33:** A request by Lennar Homes of California, Inc., to establish a Planned Residential Development with modified rear yard setbacks for a 94-lot approved and recorded Eagle Meadows of Visalia 20 subdivision map. The Eagle Meadows of Visalia 20 subdivision map is located on the east side of North Mooney Boulevard between West Ferguson Avenue and West Riffin Avenue (APN: 090-010-008).

## STAFF RECOMMENDATION

### Conditional Use Permit No. 2017-15

Staff recommends approval of Conditional Use Permit No. 2017-33, as conditioned, based upon the findings and conditions in Resolution No. 2017-74. Staff's recommendation is based on the conclusion that the request is consistent with the Visalia General Plan and Zoning Ordinance.

## RECOMMENDED MOTION

I move to approve Conditional Use Permit No. 2017-15, based on the findings and conditions in Resolution No. 2017-29.

## PROJECT DESCRIPTION

Conditional Use Permit No. 2017-33, filed by Lennar Homes of California, Inc., is a request to convert the approved 94-lot Eagle Meadows of Visalia 20 subdivision into a Planned Residential Development (PRD) pursuant to Section 17.26 Planned Development of the Zoning Ordinance. The PRD is requesting to establish a reduction to the required 20-foot rear yard setback to 16-feet, subject to the development of specific housing plans and elevations submitted by the applicant (see Exhibits "B", "C", "D", and "E").

The setbacks (see Exhibit "A") for the Eagle Meadows of Visalia 20 subdivision are as follows:

	Proposed setbacks	setbacks est. per 2006 subdivision approval
• Front Yard Setback (habitable space):	15-ft.	15-ft.
• Garage (est. per the Mixed Lot Provisions of former Zoning Ordinance):	20-ft.	20-ft.
• Side Yard:	5-ft.	5-ft.
• Street Side:	10-ft.	10-ft.
• Rear Yard ( <i>applicant request</i> ):	16-ft.	20-ft

The Eagle Meadows of Visalia 20 subdivision located on the east of North Mooney Boulevard and is situated between two single-family subdivisions with Luis Acres Unit 1, a Lennar Homes

of California development to the south, and the Valley Oaks West residential subdivision to the north. The Eagle Meadows of Visalia 20 map is pending recordation with the Tulare County Recorder's Office.

The applicant is requesting the additional rear yard reduction because they desire to market the same house models as they are constructing at the Luisi Acres subdivision that is adjacent to the south. However, they determined further modifications to the permitted setbacks would be required. Staff concurs with the applicant's intent to replicate the house models. However, the recommendation and the analysis represents a workable compromise that accommodates the applicant's intent, while being sensitive to maintaining consistent rear yard setbacks with existing residences that are adjacent to the project on the north and south.

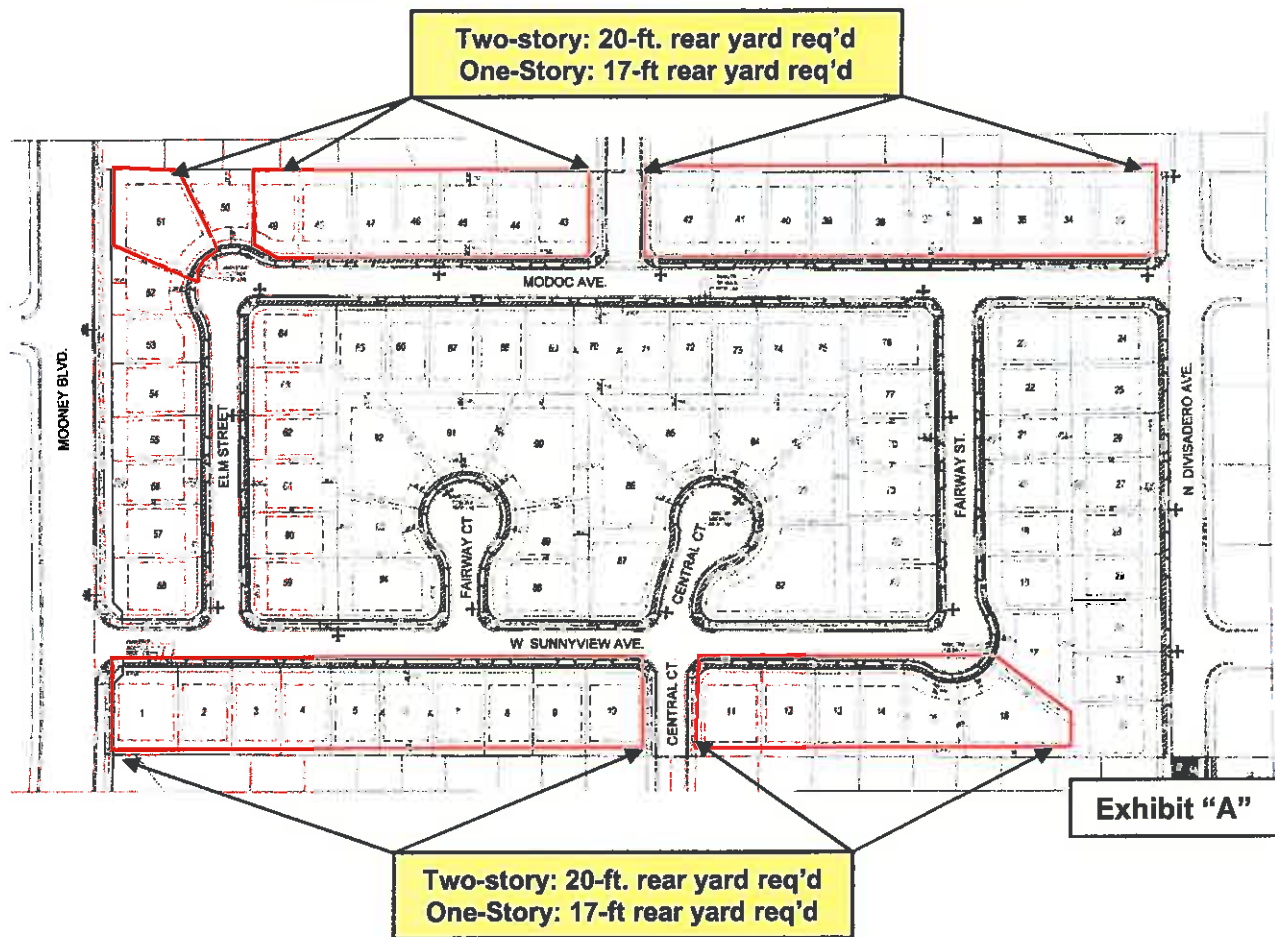
The applicant is requesting a reduced rear yard setback to 16-feet within the subdivision. However, staff recommends the following alternatives to the applicant's basic request:

**Two-story plans (Exhibits "D", "E", and "F")**

- 20-foot rear yard setback required on Lots 1-16, Lots 33-49, & Lot 51

**Single-story plan (Exhibit "C")**

- 17-foot rear yard setback required on Lots 1-16, Lots 33-49, & Lot 51



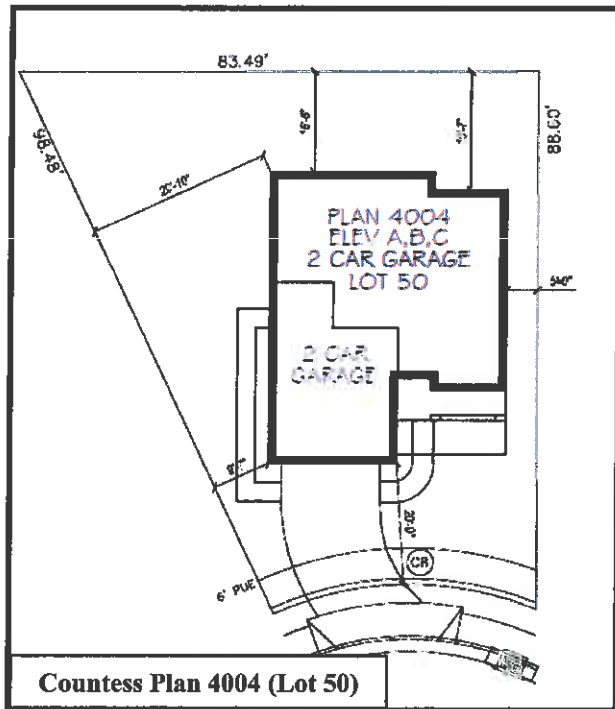
Staff's recommendation, as noted above, is discussed in greater detail under the "Eagle Meadows of Visalia 20 Setbacks" evaluation below.

In addition, staff recommends the Planning Commission consider the following:

**Lot 50**

- Condition Lot 50 subject to the house plan provided in Exhibit “D” (Plan 4004)
- Condition Lot 50 subject to the setbacks as noted in Exhibit “G”

The applicant demonstrated various options for Lot 50, but due to the lot depth and curvilinear frontage for Lot 50, Exhibit “D” is the only house plan that provides the smallest building footprint that is semi-consistent with staff’s recommendation to maintain a 20-foot rear yard setback for two-story homes on those lots abutting existing single-family residential development.



Countess Plan 4004 (Lot 50)

If the Planning Commission approves staff’s recommendation, the following setbacks would be established within the Eagle Meadows of Visalia 20 subdivision:

- Front Yard Setback (habitable space): 15-ft.
- Garage (est. per the Mixed Lot Provisions of former Zoning Ordinance): 20-ft.
- Side Yard: 5-ft.
- Street Side: 10-ft.
- Rear Yard (for interior lots not abutting existing R-1 development to the north and south): 16-ft.
- Rear Yard (staff recommendation for those lots abutting existing R-1 development to the north and south): 20-ft. (2-story)  
17-ft. (single-story)

The Planning Commission approved the Eagle Meadows of Visalia 20 Vesting Tentative Subdivision Map No. 5512, on April 10, 2006. The approved subdivision map depicted the subdivision of 18.75-acres into 94 single-family residential lots. The subdivision was approved to accommodate a variety of lot configurations by utilizing the "Mixed Lot Design" Section of the Zoning Ordinance. The Mixed Lot Design section provided flexibility in the R-1 development standards including establishing 20-foot front yard setback to the garage and 20-foot rear yard setback.

## **BACKGROUND INFORMATION**

General Plan Land Use Designation	Low Density Residential
Zoning	R-1-5 (Single-family Residential, minimum 5,000 sq. ft. lot area)
Surrounding Zoning and Land Use	North: R-1-5 / Residential subdivision South: R-1-5 (Single-Family Residential) / Single-family residential subdivision (Luis Acres) East: North Divisadero Street – Local street West: North Mooney Boulevard – Arterial street
Environmental Review	Categorical Exemption No. 2017-75
Site Plan	N/A

## **RELATED PLANS & POLICIES**

The Planning Commission approved the Eagle Meadows of Visalia 20 Vesting Tentative Subdivision Map No. 5512, on April 10, 2006. The approved subdivision map depicted the subdivision of 18.75-acres into 94 single-family residential lots. The subdivision was originally designed to accommodate a variety of lot configurations by utilizing the former "Mixed Lot Design" Section of the Zoning Ordinance. The Mixed Lot Design section provided flexibility in the R-1 development standards including establishing 20-foot front yard setbacks to garage and 20-foot rear yard setbacks. The subdivision was originally designed using the 52-foot wide local street standard (i.e., small street design) but the streets were re-designed to accommodate the 56-foot wide street pattern. Increasing the local street width did not reduce the minimum R-1-5 lot area standard of 5,000 square feet. The applicant/developer is pursuing the project pursuant to Zoning Ordinance Chapter 17.26 (Planned Development), which may allow development setbacks to be deviated subject to the subdivision being developed with the housing plans submitted for this subdivision.

## **PROJECT EVALUATION**

Staff recommends approval of Conditional Use Permit No. 2017-33, as condition, based on projects consistency with the General Plan, and Zoning Ordinance. Staff finds that the project is consistent with the single-family residential objectives and policies of the General Plan Land Use Element.

**Eagle Meadows of Visalia 20 Setbacks**

The project represents a request to establish a planned residential development with consideration to modified rear yard setbacks. Staff recommends the Planning Commission approve the subdivision, subject to the following setbacks:

- Front Yard Setback (habitable space): 15-ft.
- Garages (*est. per the Mixed Lot Provisions of former Zoning Ordinance*): 20-ft.
- Side Yard: 5-ft.
- Street Side: 10-ft.
- Rear Yard (*for interior lots not abutting existing R-1 development to the north and south*): 16-ft.
- Rear Yard (*staff recommendation for those lots abutting existing R-1 development to the north and south*): 20-ft. (2-story)  
17-ft. (single-story)

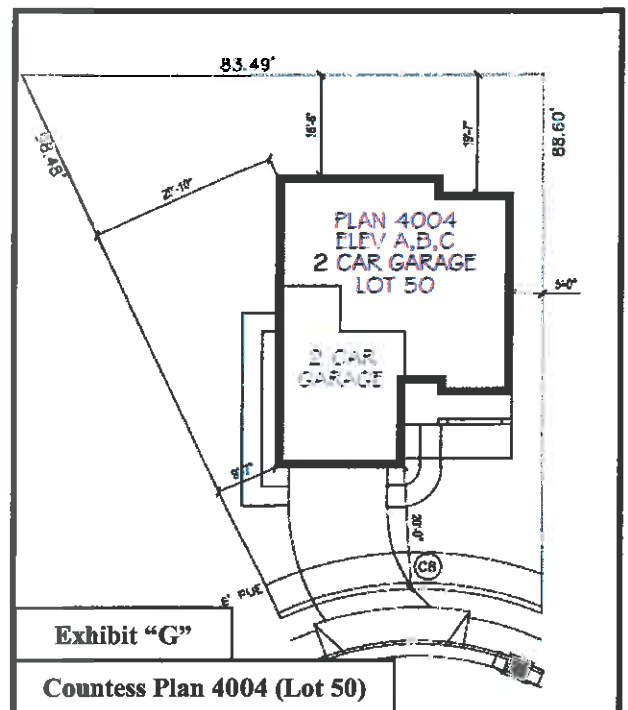
Lennar Homes of California, Inc., identified that the house plans proposed within the Eagle Meadows of Visalia 20 subdivision are currently being constructed in the Luis Acres subdivision directly south.

Condition Nos. 1, 2 and 3 have been included in the Conditions of Project requiring a 20-foot rear yard setback for all two-story house plans (see Exhibits “D”, “E”, and “F”) and that a 17-foot rear yard setback be permitted for only the single-story Duke plan (see Exhibit “C”) on Lots 1-16, and Lots 33-49 and Lot 51 for the Eagle Meadows of Visalia 20 subdivision.

Staff also recommends the Planning Commission adopt Condition No. 4, conditioning the development of Lot 50 subject the house plan/elevations provided in Exhibit “D”, and subject to the setbacks as depicted in Exhibit “G”

**Land Use Compatibility / Density**

Compatibility with the surrounding area is required by the General Plan in any decision to approve a discretionary action. The proposed project will result in the creation of a planned residential development consisting of single-family homes. Property surrounding the project site is planned and zoned for single-family residential development. The project has been designed with consideration given to the adjacent single-family residences. All units proposed adjacent to the existing single-family neighborhood are to be developed with a 20-foot rear yard setback for two-story structures. The circulation pattern for the proposed development is self-contained and will be accessed from local streets.



The proposed single-family residential units are compatible with surrounding residential units and each residential lot generally provides a useable private rear yard for each single-family residential unit.

## **Single-Family Elevations**

Lennar Homes of California has submitted five single-family residential house plans with elevation details. Exhibits "B", "C", "D", "E", and "F" display the proposed typical building elevations for the units proposed within the subdivision. The elevations' stucco finishes with varying accent materials, stone veneer trim, covered entryways, and pitched tile roofs are noted on the elevations.

Staff has included Condition of Approval No. 5 requiring that the building elevations be developed consistent with those provided in Exhibits "B", "C", "D", "E", and "F".

Exhibit	House Name	Plan #	# of stories	Sq. Ft.
Exhibit "B"	The Duchess	Plan 4001	Single-story	1,766 sq. ft.
Exhibit "C"	The Duke	Plan 4002	Single-story	1,899 sq. ft.
Exhibit "D"	The Countess	Plan 4004	Two-story	2,244 sq. ft.
Exhibit "E"	The Camelot	Plan 4017	Two-story	2,798 sq. ft.
Exhibit "F"	The Chevalier	Plan 4018	Two-story	3,167 sq. ft.

## **Environmental Review**

The project is considered Categorical Exempt under Section 15305 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2017-75). This exemption is based on the project being characterized as a conditional use permit, which is a minor alteration to land use limitations that does not result in changes in land use or density.

### **RECOMMENDED FINDINGS**

1. That the proposed project, as conditioned, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
  - A. The proposed location of the conditional use is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located.
  - B. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity.
  - C. That the proposed project is consistent with the policies and intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance. The project specifically supports General Plan Land Use policies related to efficient land use absorption (Policy LU-P-19, LU-P-45), and to encouraging a variety of housing products (LU-P-50).



3. The project is considered Categorical Exempt under Section 15305 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2017-75). This exemption is based on the project being characterized as a conditional use permit, which is a minor alteration to land use limitations that does not result in changes in land use or density.

### RECOMMENDED CONDITIONS OF APPROVAL

1. That the following minimum building setbacks be maintained for the project:
 

• Front Yard Setback (habitable space):	15-ft.
• Garages ( <i>est. per the Mixed Lot Provisions of former Zoning Ordinance</i> ):	20-ft.
• Side Yard:	5-ft.
• Street Side:	10-ft.
• Rear Yard: (except for Lots 1-16, Lots 33-49, & Lot 51)	16-ft.
• Rear Yard for Lots 1-16, Lots 33-49, & Lot 51:	20-ft. (2-story) 17-ft. (single-story)
• Lot 50 (shall be developed with Countess Plan 4004):	(See Exhibit "G" for Lot 50 setbacks)
2. That the 20-foot rear yard setback for Lots 1-16, Lots 33-49, & Lot 51 be retained for any two-story house plan proposed on the lots identified.
3. That a 17-foot rear yard setback be retained for Lots 1-16, Lots 33-49, & Lot 51 if developed with the Duke Plan 4002, as depicted in Exhibit "C".
4. That Lot 50 be developed only with the Countess Plan (Plan 4004, two-story) and shall be developed with the setbacks as depicted on Exhibit "G".
5. That the building elevations be developed in substantial compliance with the elevations shown in Exhibits "B", "C", "D", "E", and "F".
6. That landscape and irrigation plans, prepared in accordance with the City of Visalia Model Water Efficient Landscape Ordinance, shall be included in the construction document plans submitted for either grading or civil improvement plans.
7. Provide street trees per the City's Street Tree Ordinance.
8. That all other federal and state laws and city codes and ordinances be complied with.

### APPEAL INFORMATION

According to the City of Visalia Zoning Ordinance Section 17.02.145, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal with applicable fees shall be in writing and shall be filed with the City Clerk at 220 N. Santa Fe Street, Visalia, CA 93292. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website [www.ci.visalia.ca.us](http://www.ci.visalia.ca.us) or from the City Clerk.

**Attachments:**

- Related Plans and Policies
- Resolution No. 2017-74 (Conditional Use Permit No. 2017-33)
- Exhibit "A" – Eagle Meadows of Visalia 20 Subdivision Map No. 5512
- Exhibit "B" – Duchess Plan 4001, Single-story 1,766 sq. ft.
- Exhibit "C" – Duke Plan 4002, Single-story 1,899 sq. ft.
- Exhibit "D" – Countess Plan 4004, Two-story 2,244 sq. ft.
- Exhibit "E" – Camelot Plan 4017, Two-story 2,798 sq. ft.
- Exhibit "F" – Chevalier Plan 4018, Two-story 3,167 sq. ft.
- Exhibit "G" – Lot 50 Plot Plan (developed with Countess Plan 4004)
- General Plan Land Use Map
- Zoning Map
- Aerial Map
- Vicinity Map

## RELATED PLANS AND POLICIES

**General Plan and Zoning:** The following General Plan and Zoning Ordinance policies apply to the proposed project:

**General Plan Land Use:**

**LU-P-19** Ensure that growth occurs in a compact and concentric fashion by implementing the General Plan's phased growth strategy.

*The General Plan Land Use Diagram establishes three growth rings to accommodate estimated City population for the years 2020 and 2030. The Urban Development Boundary I (UDB I) shares its boundaries with the 2012 city limits. The Urban Development Boundary II (UDB II) defines the urbanizable area within which a full range of urban services will need to be extended in the first phase of anticipated growth with a target buildout population of 178,000. The Urban Growth Boundary (UGB) defines full buildout of the General Plan with a target buildout population of 210,000. Each growth ring enables the City to expand in all four quadrants, reinforcing a concentric growth pattern.*

**LU-P-45** Promote development of vacant, underdeveloped, and/or redevelopable land within the City limits where urban services are available and adopt a bonus/incentive program to promote and facilitate infill development in order to reduce the need for annexation and conversion of prime agricultural land and achieve the objectives of compact development established in this General Plan.

**LU-P-50** Provide development standards to ensure that a mix of detached and attached single-family and multi-family housing types can be compatible in a single development.

*Development standards may include but not be limited to requiring heights, setbacks, and building massing to be in scale with surrounding uses or to provide a transition in scale and character; and establishing the spacing of curb cuts and location of parking.*

## **Conditional Use Permits (Section 17.38)**

### 17.38.010 Purposes and powers.

In certain zones conditional uses are permitted subject to the granting of a conditional use permit. Because of their unusual characteristics, conditional uses require special consideration so that they may be located properly with respect to the objectives of the zoning ordinance and with respect to their effects on surrounding properties. In order to achieve these purposes and thus give the zone use regulations the flexibility necessary to achieve the objectives of this title, the planning commission is empowered to grant or deny applications for conditional use permits and to impose reasonable conditions upon the granting of such permits. (Prior code § 7525)

### 17.38.020 Application procedures.

- A. Application for a conditional use permit shall be made to the planning commission on a form prescribed by the commission which shall include the following data:
1. Name and address of the applicant;
  2. Statement that the applicant is the owner of the property or is the authorized agent of the owner;
  3. Address and legal description of the property;
  4. The application shall be accompanied by such sketches or drawings as may be necessary by the planning division to clearly show the applicant's proposal;
  5. The purposes of the conditional use permit and the general description of the use proposed;
  6. Additional information as required by the historic preservation advisory committee.
- B. The application shall be accompanied by a fee set by resolution of the city council sufficient to cover the cost of handling the application. (Prior code § 7526)

### 17.38.030 Lapse of conditional use permit.

A conditional use permit shall lapse and shall become void twenty-four (24) months after the date on which it became effective, unless the conditions of the permit allowed a shorter or greater time limit, or unless prior to the expiration of twenty-four (24) months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site which was the subject of the permit. A permit may be renewed for an additional period of one year; provided, that prior to the expiration of twenty-four (24) months from the date the permit originally became effective, an application for renewal is filed with the planning commission. The commission may grant or deny an application for renewal of a conditional use permit. In the case of a planned residential development, the recording of a final map and improvements thereto shall be deemed the same as a building permit in relation to this section. (Ord. 2001-13 § 4 (part), 2001: prior code § 7527)

### 17.38.040 Revocation.

Upon violation of any applicable provision of this title, or, if granted subject to a condition or conditions, upon failure to comply with the condition or conditions, a conditional use permit shall be suspended automatically. The planning commission shall hold a public hearing within sixty (60) days, in accordance with the procedure prescribed in Section 17.38.080, and if not satisfied that the regulation, general provision or condition is being complied with, may revoke the permit or take such action as may be necessary to insure compliance with the regulation, general provision or condition. Appeals of the decision of the planning commission may be made to the city council as provided in Section 17.38.120. (Prior code § 7528)

#### 17.38.050 New application.

Following the denial of a conditional use permit application or the revocation of a conditional use permit, no application for a conditional use permit for the same or substantially the same conditional use on the same or substantially the same site shall be filed within one year from the date of denial or revocation of the permit unless such denial was a denial without prejudice by the planning commission or city council. (Prior code § 7530)

#### 17.38.060 Conditional use permit to run with the land.

A conditional use permit granted pursuant to the provisions of this chapter shall run with the land and shall continue to be valid upon a change of ownership of the site or structure which was the subject of the permit application subject to the provisions of Section 17.38.065. (Prior code § 7531)

#### 17.38.065 Abandonment of conditional use permit.

If the use for which a conditional use permit was approved is discontinued for a period of one hundred eighty (180) days, the use shall be considered abandoned and any future use of the site as a conditional use will require the approval of a new conditional use permit.

#### 17.38.070 Temporary uses or structures.

- A. Conditional use permits for temporary uses or structures may be processed as administrative matters by the city planner and/or planning division staff. However, the city planner may, at his/her discretion, refer such application to the planning commission for consideration.
- B. The city planner and/or planning division staff is authorized to review applications and to issue such temporary permits, subject to the following conditions:
  1. Conditional use permits granted pursuant to this section shall be for a fixed period not to exceed thirty (30) days for each temporary use not occupying a structure, including promotional enterprises, or six months for all other uses or structures.
  2. Ingress and egress shall be limited to that designated by the planning division. Appropriate directional signing, barricades, fences or landscaping shall be provided where required. A security officer may be required for promotional events.
  3. Off-street parking facilities shall be provided on the site of each temporary use as prescribed in Section 17.34.020.
  4. Upon termination of the temporary permit, or abandonment of the site, the applicant shall remove all materials and equipment and restore the premises to their original condition.
  5. Opening and closing times for promotional enterprises shall coincide with the hours of operation of the sponsoring commercial establishment. Reasonable time limits for other uses may be set by the city planner and planning division staff.
  6. Applicants for a temporary conditional use permit shall have all applicable licenses and permits prior to issuance of a conditional use permit.
  7. Signing for temporary uses shall be subject to the approval of the city planner.
  8. Notwithstanding underlying zoning, temporary conditional use permits may be granted for fruit and vegetable stands on properties primarily within undeveloped agricultural areas. In reviewing applications for such stands, issues of traffic safety and land use compatibility shall be evaluated and mitigation measures and conditions may be imposed to ensure that the stands are built and are operated consistent with appropriate construction standards, vehicular access and off-street parking. All fruits and vegetables sold at such stands shall be grown by the owner/operator or purchased by said party directly from a grower/farmer.
- C. The applicant may appeal an administrative decision to the planning commission. (Ord. 9605 § 30 (part), 1996: prior code § 7532)

17.38.080 Public hearing--Notice.

- A. The planning commission shall hold at least one public hearing on each application for a conditional use permit.
- B. Notice of the public hearing shall be given not less than ten days nor more than thirty (30) days prior to the date of the hearing by mailing a notice of the time and place of the hearing to property owners within three hundred (300) feet of the boundaries of the area occupied or to be occupied by the use which is the subject of the hearing, and by publication in a newspaper of general circulation within the city. (Prior code § 7533)

17.38.090 Investigation and report.

The planning staff shall make an investigation of the application and shall prepare a report thereon which shall be submitted to the planning commission. (Prior code § 7534)

17.38.100 Public hearing--Procedure.

At the public hearing the planning commission shall review the application and the statement and drawing submitted therewith and shall receive pertinent evidence concerning the proposed use and the proposed conditions under which it would be operated or maintained, particularly with respect to the findings prescribed in Section 17.38.110. The planning commission may continue a public hearing from time to time as it deems necessary. (Prior code § 7535)

17.38.110 Action by planning commission.

- A. The planning commission may grant an application for a conditional use permit as requested or in modified form, if, on the basis of the application and the evidence submitted, the commission makes the following findings:
  - 1. That the proposed location of the conditional use is in accordance with the objectives of the zoning ordinance and the purposes of the zone in which the site is located;
  - 2. That the proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.
- B. A conditional use permit may be revocable, may be granted for a limited time period, or may be granted subject to such conditions as the commission may prescribe. The commission may grant conditional approval for a permit subject to the effective date of a change of zone or other ordinance amendment.
- C. The commission may deny an application for a conditional use permit. (Prior code § 7536)

17.38.120 Appeal to city council.

The decision of the City planning commission on a conditional use permit shall be subject to the appeal provisions of Section 17.02.145. (Prior code § 7537) (Ord. 2006-18 § 6, 2007)

17.38.130 Effective date of conditional use permit.

A conditional use permit shall become effective immediately when granted or affirmed by the council, or upon the sixth working day following the granting of the conditional use permit by the planning commission if no appeal has been filed. (Prior code § 7539)

RESOLUTION NO. 2017-74

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2017-33, A REQUEST BY LENNAR HOMES OF CALIFORNIA, INC., TO ESTABLISH A PLANNED RESIDENTIAL DEVELOPMENT WITH MODIFIED REAR YARD SETBACKS FOR A 94-LOT APPROVED AND RECORDED EAGLE MEADOWS OF VISALIA 20 SUBDIVISION MAP. THE EAGLE MEADOWS OF VISALIA 20 SUBDIVISION MAP IS LOCATED ON THE EAST SIDE OF NORTH MOONEY BOULEVARD BETWEEN WEST FERGUSON AVENUE AND WEST RIGGIN AVENUE (APN: 090-010-008)

**WHEREAS**, Conditional Use Permit No. 2017-33, is a request by Lennar Homes of California, Inc., to establish a Planned Residential Development with modified rear yard setbacks for a 94-lot approved and recorded Eagle Meadows of Visalia 20 subdivision map. The Eagle Meadows of Visalia 20 subdivision map is located on the east side of North Mooney Boulevard between West Ferguson Avenue and West Riggin Avenue (APN: 090-010-008); and

**WHEREAS**, the Planning Commission of the City of Visalia, after duly published notice did hold a public hearing before said Commission on October 23, 2017; and

**WHEREAS**, the Planning Commission of the City of Visalia finds the Conditional Use Permit to be in accordance with Chapter 17.38.110 of the Zoning Ordinance of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and

**WHEREAS**, the Planning Commission finds the project to be Categorical Exempt consistent with the California Environmental Quality Act (CEQA) and City of Visalia Environmental Guidelines.

**NOW, THEREFORE, BE IT RESOLVED** that the project is exempt from further environmental review pursuant to CEQA Section 15305.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** that the Planning Commission of the City of Visalia makes the following specific findings based on the evidence presented:

1. That the proposed project, as conditioned, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
  - A. The proposed location of the conditional use is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located.

- B. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity.
  - C. That the proposed project is consistent with the policies and intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance. The project specifically supports General Plan Land Use policies related to efficient land use absorption (Policy LU-P-19, LU-P-45), and to encouraging a variety of housing products (LU-P-50).
3. The project is considered Categorically Exempt under Section 15305 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2017-75). This exemption is based on the project being characterized as a conditional use permit, which is a minor alteration to land use limitations that does not result in changes in land use or density.

**BE IT FURTHER RESOLVED** that the Planning Commission hereby approves the Conditional Use Permit on the real property here in above described in accordance with the terms of this resolution under the provisions of Section 17.38.110 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the following minimum building setbacks be maintained for the project:
  - Front Yard Setback (habitable space): 15-ft.
  - Garages (*est. per the Mixed Lot Provisions of former Zoning Ordinance*): 20-ft.
  - Side Yard: 5-ft.
  - Street Side: 10-ft.
  - Rear Yard: (except for Lots 1-16, Lots 33-49, & Lot 51) 16-ft.
  - Rear Yard for Lots 1-16, Lots 33-49, & Lot 51: 20-ft. (2-story)  
17-ft. (single-story)
  - Lot 50 (shall be developed with Countess Plan 4004): (See Exhibit "G" for Lot 50 setbacks) 50 setbacks
2. That the 20-foot rear yard setback for Lots 1-16, Lots 33-49, & Lot 51 be retained for any two-story house plan proposed on the lots identified.
3. That a 17-foot rear yard setback be retained for Lots 1-16, Lots 33-49, & Lot 51 if developed with the Duke Plan 4002, as depicted in Exhibit "C".
4. That Lot 50 be developed only with the Countess Plan (Plan 4004, two-story) and shall be developed with the setbacks as depicted on Exhibit "G".
5. That the building elevations be developed in substantial compliance with the elevations shown in Exhibits "B", "C", "D", "E", and "F".



6. That landscape and irrigation plans, prepared in accordance with the City of Visalia Model Water Efficient Landscape Ordinance, shall be included in the construction document plans submitted for either grading or civil improvement plans.
7. Provide street trees per the City's Street Tree Ordinance.
8. That all other federal and state laws and city codes and ordinances be complied with.



# **Exhibit “B”**

**“The Duchess”**

**(Plan 4001) – 1,766 sq. ft.**

**One-story**

# THE DUCHESS

*The Chateau Series at Vistas*

Approx. 1,766 sq. ft.

Single Story

3 Bedrooms

2 Bathrooms

2-Bay Garage



*The Duchess A*



*The Duchess B*



*The Duchess C*

2424 N. Shady St. | Visalia, CA 93291  
559-994-6567 | Lennar.com

# THE DUCHESS

The Chateau Series at Vistas

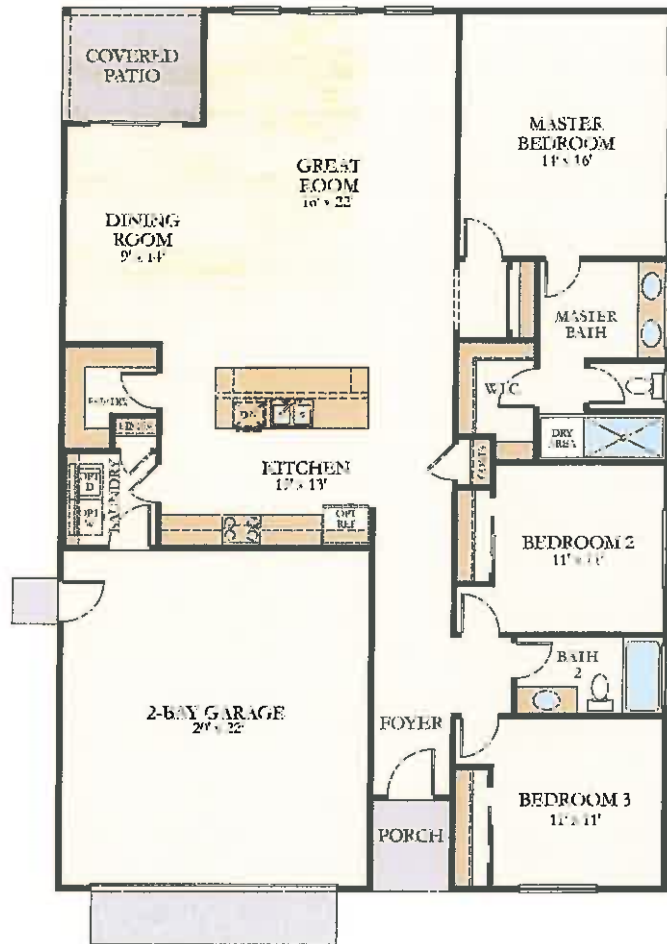
Approx. 1,766 sq. ft.

Single Story

3 Bedrooms

2 Bathrooms

2-Bay Garage



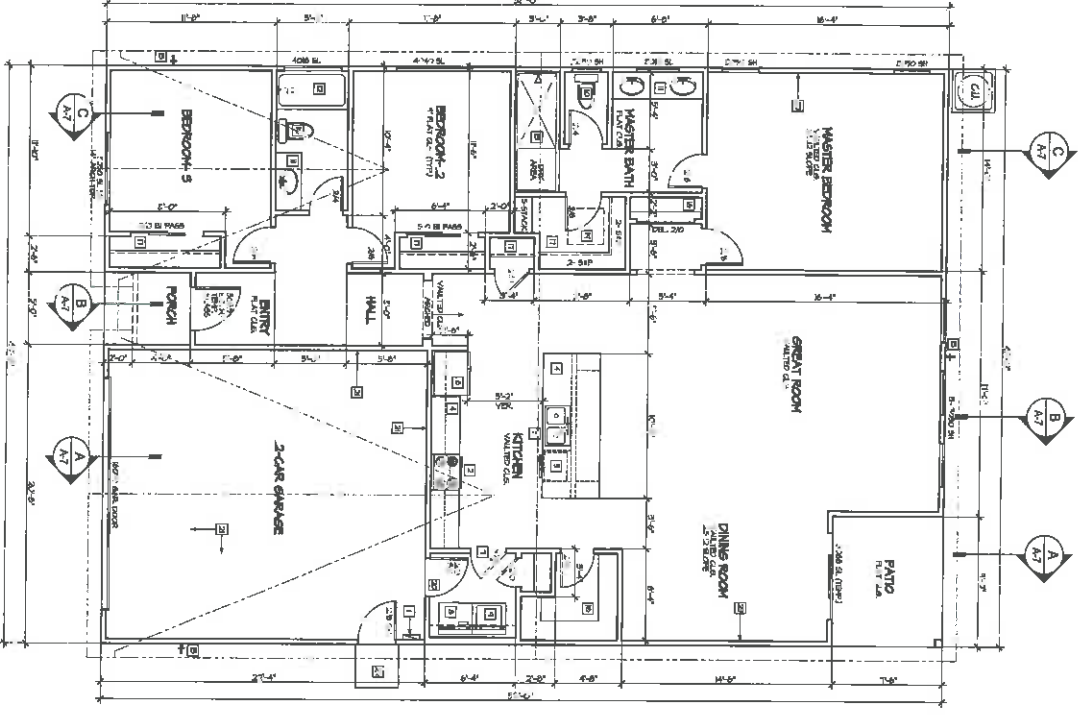
Plans and elevations are artistic renderings and may contain omissions which are not standard on all models. Lennar reserves the right to make changes to finish, floor coverings, dimensions, dimensions and elevations without prior notice. Exact dimensions and square footage are approximate and should not be used as representation of the home's actual size. Any statements, written or verbal, regarding length or of "finished area" or any other dimension or feature of the exact square foot of any home is a statement of opinion of the estimator to which the actual footage was estimated and should not be construed to indicate certainty. Actual dimensions and square footage are approximate and should not be used as representation of the home's actual size. Renderings are illustrative only and are not intended to represent actual construction. These renderings are solely for illustrative purposes and should never be taken literally. Buy the way only. Each home is home and may not accommodate all models. Lennar Homes, Inc. 3100 Cambridge Powers • Lennar #821280, Lennar Homes of California, Inc. #228104, Lennar 3100 Cambridge • California Division of Real Estate License #011247763. Copyright © 2019 Lennar Corporation. All rights reserved. Lennar and the Lennar logo are registered service marks of Lennar. Marks of Lennar Corporation and/or its subsidiaries. #117

**FLOOR PLAN KEY NOTES:**

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.
3. ALL DOORS ARE 36" WIDE UNLESS NOTED OTHERWISE.
4. ALL WINDOWS ARE 60" WIDE UNLESS NOTED OTHERWISE.
5. ALL FLOORS ARE 4" CONCRETE ON 8" GRAVEL UNLESS NOTED OTHERWISE.
6. ALL ROOFS ARE 2" POLYSTYRENE INSULATION ON 4" CONCRETE UNLESS NOTED OTHERWISE.
7. ALL CEILING ARE 5" MINIMUM UNLESS NOTED OTHERWISE.
8. ALL LIGHT FIXTURES ARE 15" DIA. UNLESS NOTED OTHERWISE.
9. ALL ELECTRICAL PANELS ARE 18" WIDE UNLESS NOTED OTHERWISE.
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24. ALL PORCHES ARE 36" WIDE UNLESS NOTED OTHERWISE.
25. ALL PATIOS ARE 36" WIDE UNLESS NOTED OTHERWISE.

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**FLOOR PLAN** 1766 SQ. FT.  
SCALE 1/4" = 1'-0"

(FLOPPED)

**FLOOR PLAN NOTES:**

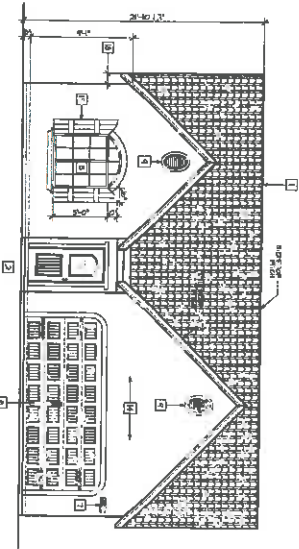
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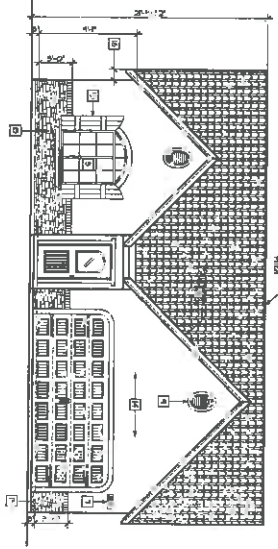
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ENERGY COMPLIANCE SUMMARY	
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GLAZING TYPE	SHGC
SHGC	0.25
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SHGC	0.25
U-VALUE	0.35
BUILDING INSULATION	
SURFACE	R-VALUE
WALL	13
CEILING	5
FLOOR	25
ROOF	30
DOOR	5
WINDOW	5
HVAC WATER HEATING	
COMPONENT	EFFICIENCY
WATER HEATER	0.68
AIR CONDITIONING	0.92
MECHANICAL SYSTEM	0.75
MECHANICAL SYSTEM	0.75

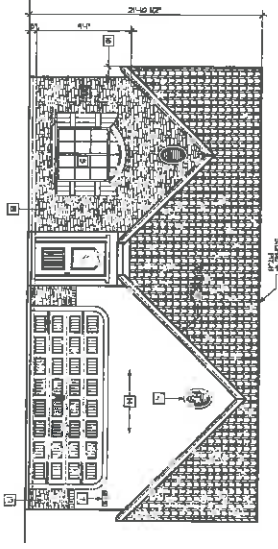




FRONT ELEV. - A  
SCALE: 3/8" = 1'-0"



FRONT ELEV. - B  
SCALE: 3/8" = 1'-0"



FRONT ELEV. - C  
SCALE: 3/8" = 1'-0"

(FLOPPED)

ELEVATION KEYNOTES

- 1. EXTERIOR FINISHES SHALL BE AS SHOWN ON THE DRAWINGS.
- 2. ALL FINISHES SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
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- 20. ALL FINISHES SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.

NOTE FOR ADJACENT PROPERTIES:

LET THE ADJACENT PROPERTY OWNER BE ADVISED OF THE EXISTING AND PROPOSED FINISHES AND MATERIALS TO BE USED IN THE CONSTRUCTION OF THIS PROJECT. THE ADJACENT PROPERTY OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.

NOTES:

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PREPARED BY:  
**RLC DESIGN PROGRESSIONS**  
2773 N. MCINTOSH ST., #101, FRESNO, CA 93710  
TEL: 559-431-1234

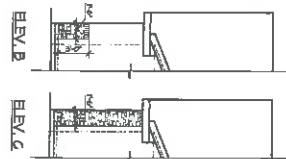
**LENNAR**  
8080 N. PALM AVE. SUITE 110, FRESNO, CA. 93711 PHONE (569) 447-3400

**VISALIA**  
PLAN 4001 (DUCHESS)

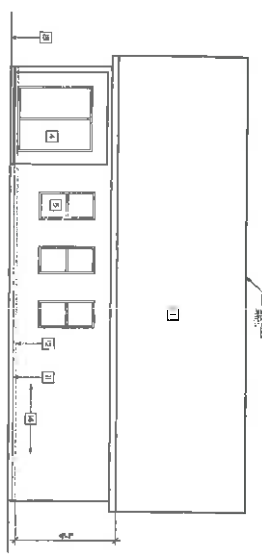
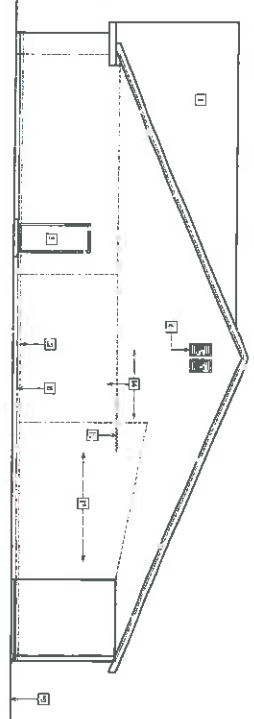
DESIGN BY: [ ] DATE: [ ] PROJECT: [ ]  
LENNAR: [ ] NO. [ ] JOURNAL: [ ] 1707

REV.	DATE	DESCRIPTION
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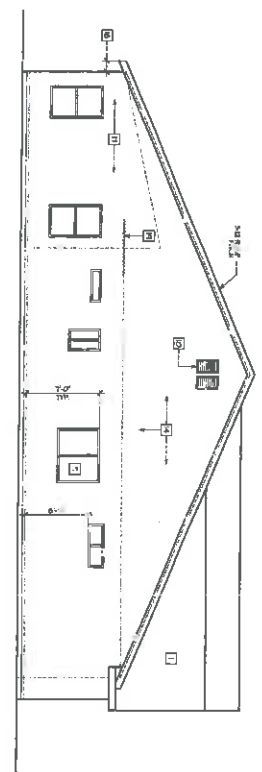
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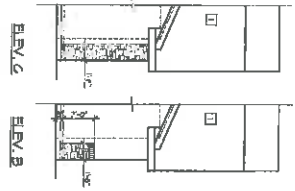
**RIGHT ELEV.**  
SCALE 3/8" = 1'-0"



**REAR ELEV.**  
SCALE 3/8" = 1'-0"



**TYP. LEFT ELEV.**  
SCALE 3/8" = 1'-0"



(FLOPPED)

<input type="checkbox"/>	ELEVATION KEYNOTES
<input type="checkbox"/>	SEE SHEET A-2 FOR CORRESPONDING ELEVATION KEYNOTES
<p>NOTE FOR RADIANT BARRIER:          IN THE EVENT OF A CLAIM DUE TO A BREACH OF THE BUILT-UP RADIANT BARRIER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND INSTALLATION OF THE BARRIER.</p>	



1/4" = 1'-0"  
 1/8" = 1'-0"  
 3/16" = 1'-0"  
 1/2" = 1'-0"  
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 9 1/2" = 1'-0"  
 9 3/4" = 1'-0"  
 10" = 1'-0"

A-3  
 OF SHEETS

**RLC DESIGN PROGRESSIONS**  
 PREPARED BY:  
 2514 N. FIRST ST., #100 FRESNO, CA 93710  
 PHONE: (559) 447-3400

**LENNAR**  
 8080 N. PALM AVE. SUITE 110, FRESNO, CA. 93711 PHONE (559) 447-3400

**VISALIA**  
 PLAN 4001 (DUCHESS)

DESIGN BY	DATE	PROJECT
LEN-001	11/17/07	1707

REV.	DATE	DESCRIPTION
1	11/17/07	ISSUE FOR PERMITS

The information, arrangements and ideas shown on these drawings are the property of RLC DESIGN PROGRESSIONS and shall remain the property of RLC DESIGN PROGRESSIONS. No part shall be copied, reproduced, or used in any way without the written consent of RLC DESIGN PROGRESSIONS.



# **Exhibit “C”**

**“The Duke”**

**(Plan 4002) – 1,899 sq. ft.**

**One-story**

# THE DUKE

*The Chateau Series at Vistas*

Approx. 1,899 sq. ft.

Single Story

3 Bedrooms

2 Bathrooms

Flex Room

2-Bay Garage



*The Duke A*



*The Duke B*



*The Duke C*

# THE DUKE

The Chateau Series at Vistas

Approx. 1,899 sq. ft.

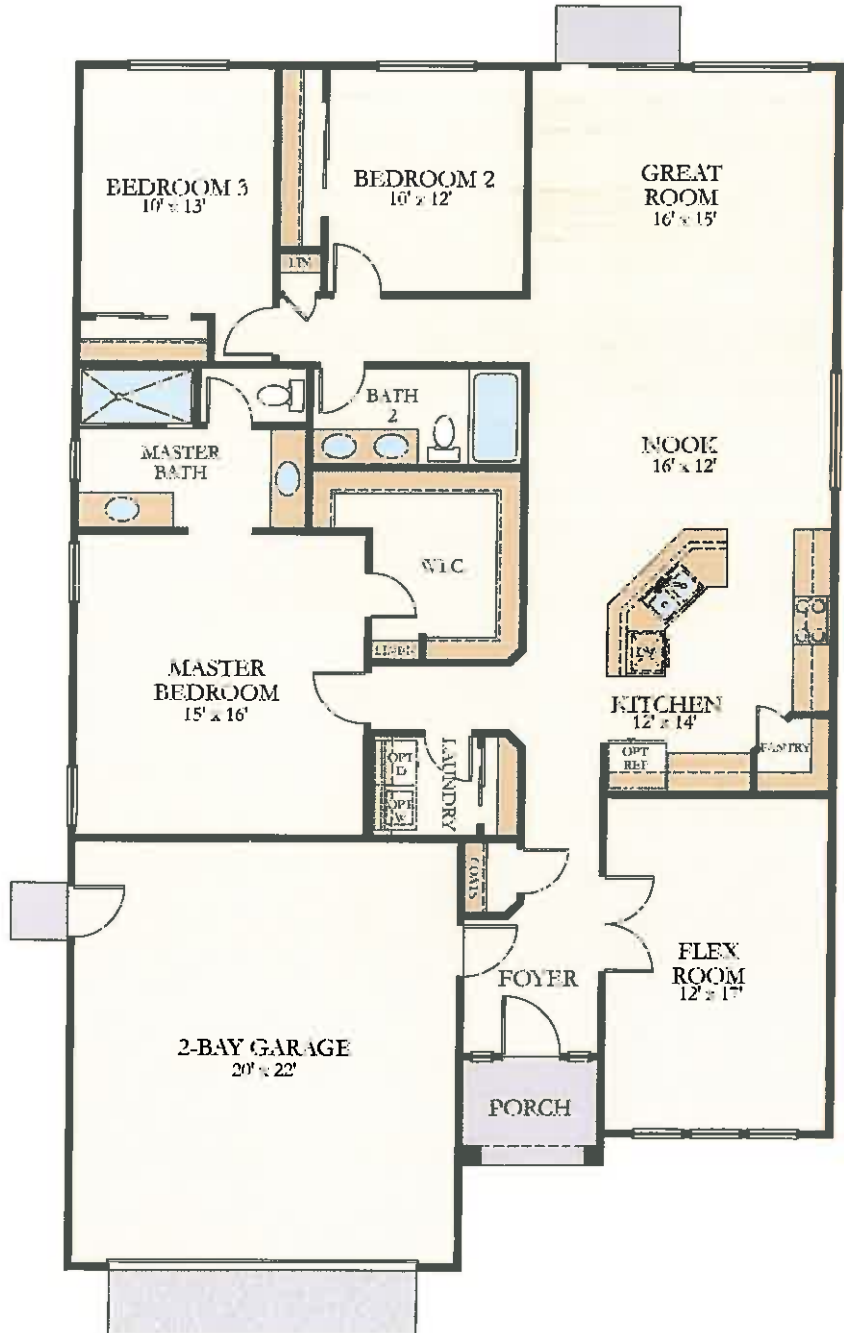
Single Story

3 Bedrooms

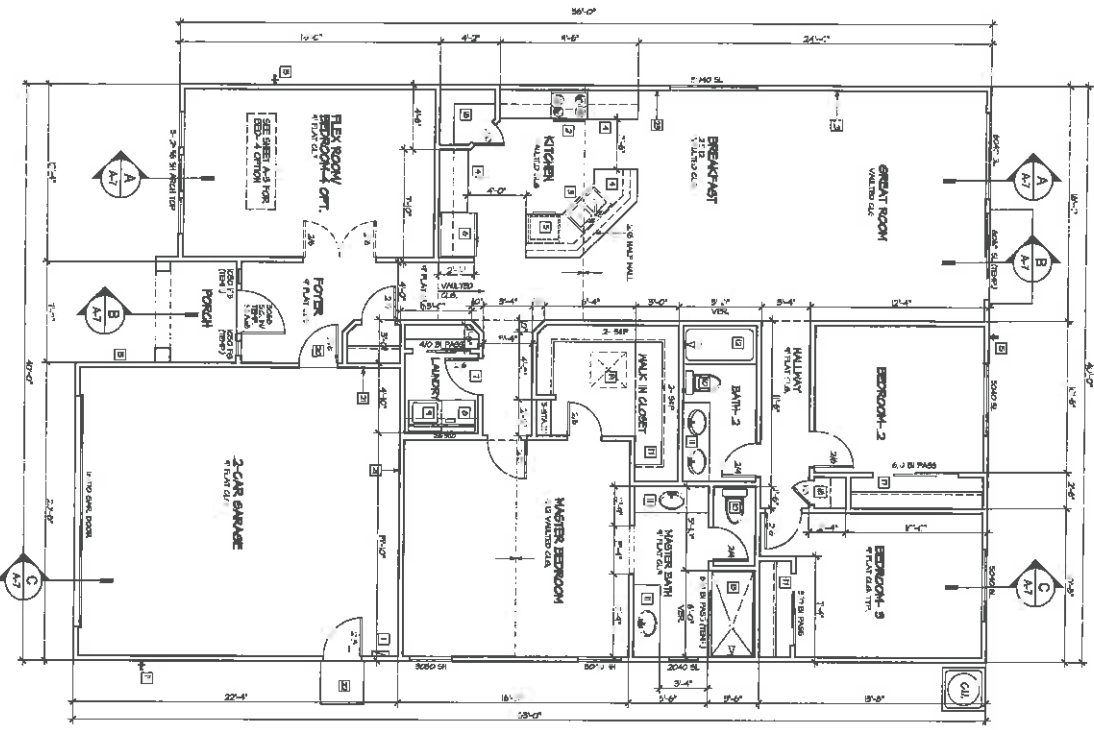
2 Bathrooms

Flex Room

2-Bay Garage



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FLOOR PLAN 1849 SQ. FT. SCALE 1/4" = 1'-0"

FLOOR PLAN KEY NOTES:

- 1. ALL ROOMS TO BE FINISHED WITH AN IMPROVED FINISH FOR THE WALLS AND CEILING, AND A FINISHED FLOOR. UNLESS OTHERWISE NOTED, ALL WALLS AND CEILING ARE TO BE PAINTED WITH A HIGH QUALITY SEMI-GLOSS PASTE PAINT. ALL FLOORS ARE TO BE FINISHED WITH A HIGH QUALITY CARPET OR HARDWOOD FLOORING.
- 2. ALL ROUGH WORK TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 3. FINISHES TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 4. ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 5. ALL MECHANICAL WORK TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 6. ALL PLUMBING WORK TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 7. ALL CONCRETE WORK TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 8. ALL WOODWORK TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 9. ALL GLAZING TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 10. ALL DOORS AND WINDOWS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 11. ALL STAIRS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 12. ALL BALCONIES AND PATIOS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 13. ALL TERRAZZOS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 14. ALL TILEWORK TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 15. ALL GRANITE TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 16. ALL COUNTERTOPS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 17. ALL SINKS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 18. ALL TUBS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 19. ALL SHOWERS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 20. ALL TOILETS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 21. ALL BATHS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 22. ALL BEDROOMS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 23. ALL BATHS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 24. ALL KITCHENS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 25. ALL BREAKFAST ROOMS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 26. ALL GREAT ROOMS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 27. ALL FLY ROOMS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 28. ALL PORCHES TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 29. ALL 2-CAR GARAGES TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 30. ALL MASTER BEDROOMS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 31. ALL BATH-2S TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 32. ALL HALLWAYS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 33. ALL BEDROOM-2S TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 34. ALL BEDROOM-3S TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 35. ALL LAUNDRY ROOMS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
- 36. ALL MASTER BATHS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).

FLOOR PLAN NOTES

1. FOR ALL INFORMATION, CHECK THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2001 INTERNATIONAL MECHANICAL CODE (IMC).
2. ALL ROUGH WORK TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
3. FINISHES TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
4. ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
5. ALL MECHANICAL WORK TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
6. ALL PLUMBING WORK TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
7. ALL CONCRETE WORK TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
8. ALL WOODWORK TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
9. ALL GLAZING TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
10. ALL DOORS AND WINDOWS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
11. ALL STAIRS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
12. ALL BALCONIES AND PATIOS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
13. ALL TERRAZZOS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
14. ALL TILEWORK TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
15. ALL GRANITE TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
16. ALL COUNTERTOPS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
17. ALL SINKS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
18. ALL TUBS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
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20. ALL TOILETS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
21. ALL BATHS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
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25. ALL BREAKFAST ROOMS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
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27. ALL FLY ROOMS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
28. ALL PORCHES TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
29. ALL 2-CAR GARAGES TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
30. ALL MASTER BEDROOMS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
31. ALL BATH-2S TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
32. ALL HALLWAYS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
33. ALL BEDROOM-2S TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
34. ALL BEDROOM-3S TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
35. ALL LAUNDRY ROOMS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
36. ALL MASTER BATHS TO BE IN ACCORDANCE WITH THE 2001 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).

ENERGY COMPLIANCE SUMMARY

FENESTRATION	
GLAZING TYPE	WIND
GLAZING U-VALUE	0.32
SHGC	0.25
GLAZING TYPE	WIND
GLAZING U-VALUE	0.32
SHGC	0.25
BUILDING INSULATION	
SURFACE	R-VALUE
WALL	R-13
CEILING	R-19
FLOOR	R-25
ROOF	R-38
DOORS	R-5
WINDOWS	R-5
GLAZING	R-5
CEILING	R-19
FLOOR	R-25
ROOF	R-38
DOORS	R-5
WINDOWS	R-5
GLAZING	R-5
CEILING	R-19
FLOOR	R-25
ROOF	R-38
DOORS	R-5
WINDOWS	R-5
GLAZING	R-5

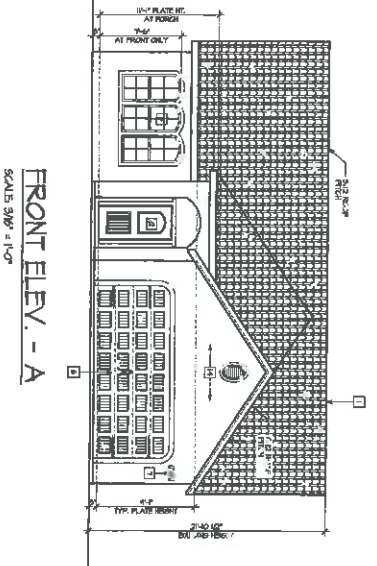
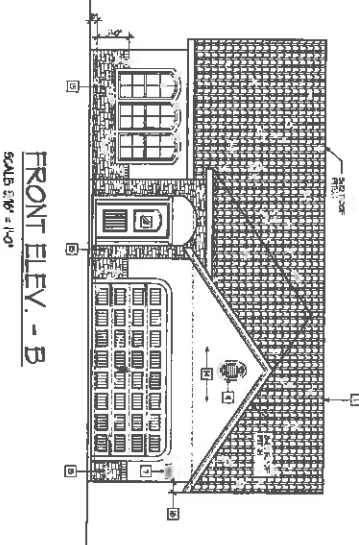
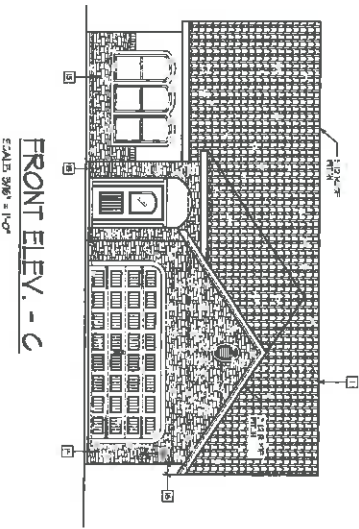


PREPARED BY:  
**RLC DESIGN PROGRESS**  
 250 N. PALM AVENUE, SUITE 110, FRESNO, CA 93711  
 PHONE: (559) 534-4000

**LENNAR**  
 8080 N. PALM AVE, SUITE 110, FRESNO, CA 93711 PHONE (559) 447-3400

VISALIA  
 PLAN 4002 (DUKE)  
 DESIGN BY: LK DRAWN: DATE: PROJECT: 1707

The information, arrangements, etc. shown here are intended to be used with the drawings and shall not be relied upon for construction. No portion of this information shall be used without the written consent of LENNAR. Year: 2001



FRONT ELEV. - C  
SCALE 3/8" = 1'-0"

FRONT ELEV. - B  
SCALE 3/8" = 1'-0"

FRONT ELEV. - A  
SCALE 3/8" = 1'-0"

**ELEVATION NOTES**

- 1. FINISHES TO BE SHOWN ON THIS DRAWING ARE TO BE USED UNLESS OTHERWISE NOTED.
- 2. FINISHES TO BE SHOWN ON THIS DRAWING ARE TO BE USED UNLESS OTHERWISE NOTED.
- 3. FINISHES TO BE SHOWN ON THIS DRAWING ARE TO BE USED UNLESS OTHERWISE NOTED.
- 4. FINISHES TO BE SHOWN ON THIS DRAWING ARE TO BE USED UNLESS OTHERWISE NOTED.
- 5. FINISHES TO BE SHOWN ON THIS DRAWING ARE TO BE USED UNLESS OTHERWISE NOTED.
- 6. FINISHES TO BE SHOWN ON THIS DRAWING ARE TO BE USED UNLESS OTHERWISE NOTED.
- 7. FINISHES TO BE SHOWN ON THIS DRAWING ARE TO BE USED UNLESS OTHERWISE NOTED.
- 8. FINISHES TO BE SHOWN ON THIS DRAWING ARE TO BE USED UNLESS OTHERWISE NOTED.
- 9. FINISHES TO BE SHOWN ON THIS DRAWING ARE TO BE USED UNLESS OTHERWISE NOTED.
- 10. FINISHES TO BE SHOWN ON THIS DRAWING ARE TO BE USED UNLESS OTHERWISE NOTED.

**NOTE FOR ROOFING CONTRACTORS**

ROOFING CONTRACTOR TO VERIFY ALL ROOFING MATERIALS AND METHODS TO BE USED ON THIS PROJECT. ALL ROOFING MATERIALS AND METHODS TO BE USED ON THIS PROJECT SHALL BE APPROVED BY THE ARCHITECT.

**NOTE**

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**STONE VENEER NOTE**

STONE VENEER TO BE USED ON THE EXTERIOR WALLS OF THE HOUSE. THE STONE VENEER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE STONE VENEER SHALL BE INSTALLED OVER A 1/2" THICK CONCRETE BLOCK WALL. THE STONE VENEER SHALL BE INSTALLED OVER A 1/2" THICK CONCRETE BLOCK WALL.



PROJECT: 4002 (DUKE)  
DATE: 08/11/09  
SCALE: 3/8" = 1'-0"

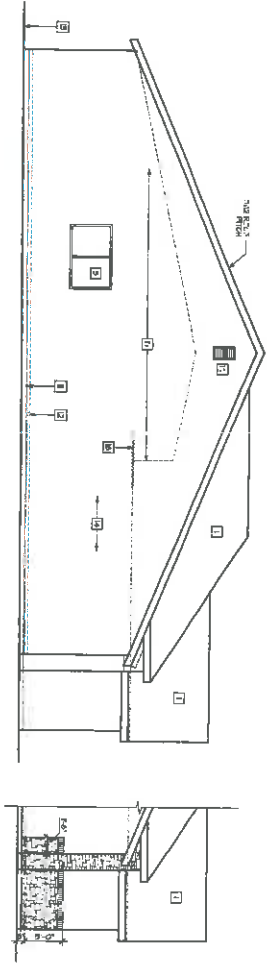
SHEET NO. A-2

PREPARED BY:  
**RLC DESIGN PROGRESSIONS**  
2525 N. MISSION BLVD., SUITE 100, VISALIA, CA 93280  
TEL: (559) 735-1100 FAX: (559) 735-1101

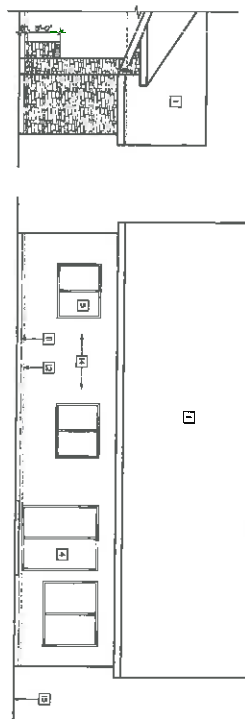
**LENNAR**  
8080 N. PALM AVE. SUITE 110, FRESNO, CA 93711 PHONE (559) 447-3400

VISALIA  
PLAN 4002 (DUKE)  
DESIGNED BY: DR. JIN  
PROJECT: 1701  
DATE: 08/11/09

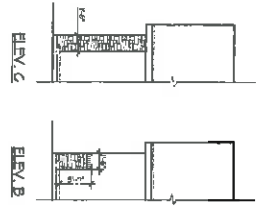
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LEFT ELEV.  
SCALE 3/16" = 1'-0"

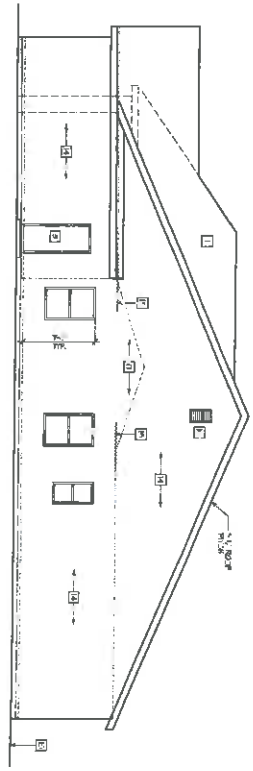


REAR ELEV.  
SCALE 3/16" = 1'-0"

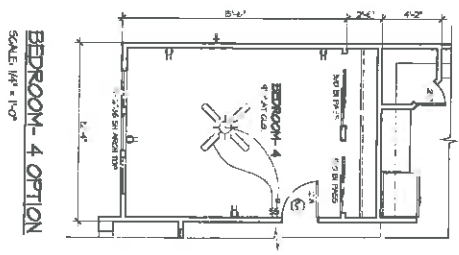


ELEV. C

ELEV. B



RIGHT ELEV.  
SCALE 3/16" = 1'-0"



BEDROOM-4 OPTION  
SCALE 1/4" = 1'-0"

<input type="checkbox"/>	ELEVATION KEYNOTES
<input type="checkbox"/>	SEE SHEET A-2 FOR CORRESPONDING ELEVATION KEYNOTES
<p>NOTE FOR RADIANT BARRIERS:          RADIANT BARRIERS SHALL BE INSTALLED BY THE BUILDER.          RADIANT BARRIERS SHALL BE INSTALLED BETWEEN ALL EXTERIOR WALLS AND ALL EXTERIOR ROOFS.          RADIANT BARRIERS SHALL BE INSTALLED BETWEEN ALL EXTERIOR WALLS AND ALL EXTERIOR ROOFS.</p>	



# **Exhibit “D”**

**“The Countess”**

(Plan 4004) – 2,244 sq. ft.

Two-story

# THE COUNTESS

*The Chateau Series at Vistas*

Approx. 2,244 sq. ft.

Two-Story

4 Bedrooms

2½ Bathrooms

Flex Room

2-Bay Garage with Bonus Space



*The Countess A*



*The Countess B*



*The Countess C*

2424 N. Shady St. | Visalia, CA 93291  
559-994-6567 | Lennar.com



# THE COUNTESS

The Chateau Series at Vistas

Approx. 2,244 sq. ft.

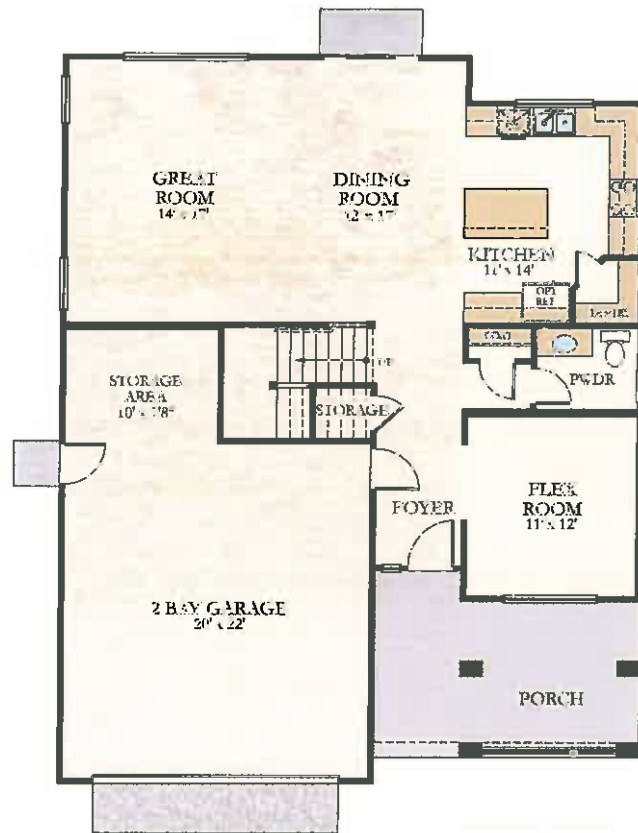
Two-Story

4 Bedrooms

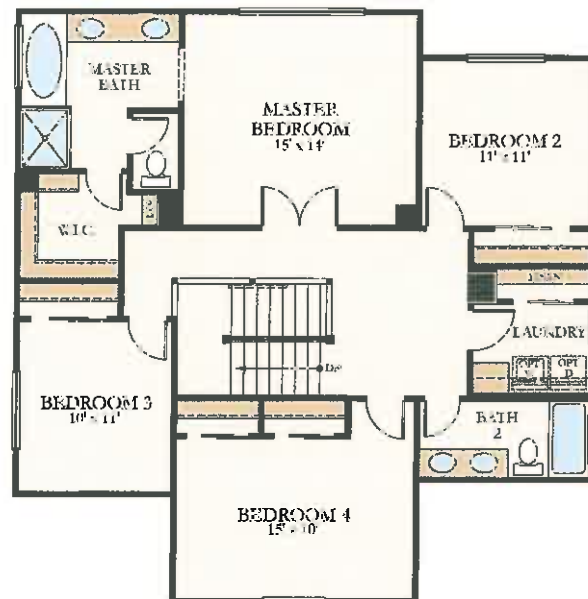
2½ Bathrooms

Flex Room

2-Bay Garage with Bonus Space



FIRST FLOOR



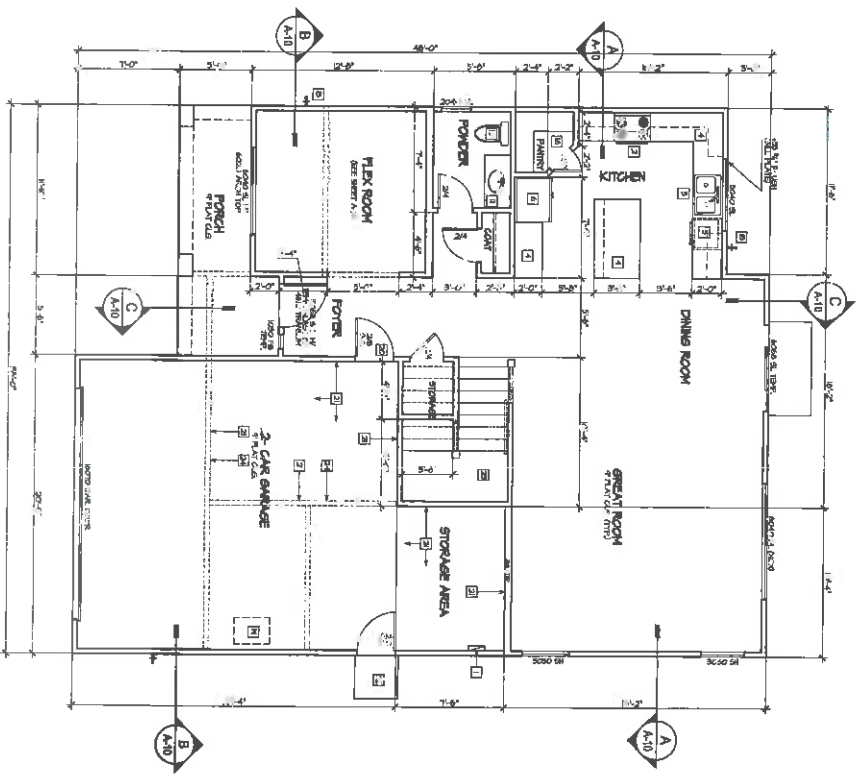
SECOND FLOOR

Plans and elevations are artist's renderings and may contain errors, which are not standard on all models. Lennar reserves the right to make changes to these plans (plans, specifications, dimensions and elevations) without prior notice. Stated dimensions and square footage are approximate and should not be used as representation of the home's size or in actual use. Any statement, verbal or written, regarding "square foot" or "finished area" or any other description or footnote of the square footage size of any home is a statement of opinion of the builder in which the square footage was collected and should not be construed to indicate certainty. Stated dimensions and square footage are approximate and should not be used as representation of the home's size or in actual use. Renderings are conceptual in nature and do not represent an artist's rendition. These renderings are solely for illustrative purposes and should never be relied upon. Key site may vary from home to home and may not accommodate all vehicles. Lennar Homes, Inc. d/b/a Cambridge Homes - License #821186; Lennar Homes of California, Inc. License #729100; Lennar Sales Corp. - California Bureau of Real Estate License #01427225. Copyright © 2017 Lennar Corporation. All rights reserved. Lennar and the Lennar logo are registered service marks or service marks of Lennar Corporation and/or its subsidiaries. 4/17

**FLOOR PLAN KEY NOTES:**

- 1. GENERAL: THIS FLOOR PLAN SHOWS THE LAYOUT OF THE FIRST FLOOR OF THE PROJECT. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 2. THE EXISTING FOUNDATION SHALL BE REINFORCED WITH 4# BARS AT 16" ON CENTER. ALL EXISTING FOUNDATION SHALL BE REINFORCED WITH 4# BARS AT 16" ON CENTER.
- 3. FOUNDATION: THE FOUNDATION SHALL BE REINFORCED WITH 4# BARS AT 16" ON CENTER. ALL EXISTING FOUNDATION SHALL BE REINFORCED WITH 4# BARS AT 16" ON CENTER.
- 4. CONCRETE: CONCRETE SHALL BE 3000 PSI STRENGTH. ALL CONCRETE SHALL BE FINISHED WITH 1/2" SAND FINISH.
- 5. FLOORING: FLOORING SHALL BE 1/2" THICK POLISHED CONCRETE. ALL EXISTING FLOORING SHALL BE REINFORCED WITH 4# BARS AT 16" ON CENTER.
- 6. ROOFING: ROOFING SHALL BE 2" THICK POLYSTYRENE INSULATION ON TOP OF 4" THICK CONCRETE SLAB. ALL EXISTING ROOFING SHALL BE REINFORCED WITH 4# BARS AT 16" ON CENTER.
- 7. WALLS: WALLS SHALL BE 8" THICK CMU WITH 1/2" SAND FINISH. ALL EXISTING WALLS SHALL BE REINFORCED WITH 4# BARS AT 16" ON CENTER.
- 8. CEILING: CEILING SHALL BE 5/8" THICK GYPSUM BOARD. ALL EXISTING CEILING SHALL BE REINFORCED WITH 4# BARS AT 16" ON CENTER.
- 9. LIGHTING: LIGHTING SHALL BE 4' X 4' RECESSED CEILING LIGHTS. ALL EXISTING LIGHTING SHALL BE REINFORCED WITH 4# BARS AT 16" ON CENTER.
- 10. MECHANICAL: MECHANICAL SHALL BE 18" DIA. ROUND DUCTS. ALL EXISTING MECHANICAL SHALL BE REINFORCED WITH 4# BARS AT 16" ON CENTER.
- 11. PLUMBING: PLUMBING SHALL BE 1/2" DIA. COPPER PIPING. ALL EXISTING PLUMBING SHALL BE REINFORCED WITH 4# BARS AT 16" ON CENTER.
- 12. ELECTRICAL: ELECTRICAL SHALL BE 120V/240V SINGLE PHASE. ALL EXISTING ELECTRICAL SHALL BE REINFORCED WITH 4# BARS AT 16" ON CENTER.
- 13. FINISHES: FINISHES SHALL BE 1/2" THICK POLISHED CONCRETE FLOOR, 1/2" SAND FINISH WALLS, AND 5/8" THICK GYPSUM BOARD CEILING.
- 14. NOTES: SEE NOTES ON OTHER SHEETS OF THIS SET.

- PLUMBING WALLS NOTE:**
1. PLUMBING WALLS SHALL BE 8" THICK CMU WITH 1/2" SAND FINISH.
  2. PLUMBING WALLS SHALL BE REINFORCED WITH 4# BARS AT 16" ON CENTER.
  3. PLUMBING WALLS SHALL BE FINISHED WITH 1/2" SAND FINISH.



**FIRST FLOOR PLAN 1033 SQ. FT.**  
SCALE: 1/4" = 1'-0"

**FLOOR PLAN NOTES:**

1. THE EXISTING FOUNDATION SHALL BE REINFORCED WITH 4# BARS AT 16" ON CENTER.
2. FOUNDATION: THE FOUNDATION SHALL BE REINFORCED WITH 4# BARS AT 16" ON CENTER.
3. FLOORING: FLOORING SHALL BE 1/2" THICK POLISHED CONCRETE.
4. ROOFING: ROOFING SHALL BE 2" THICK POLYSTYRENE INSULATION ON TOP OF 4" THICK CONCRETE SLAB.
5. WALLS: WALLS SHALL BE 8" THICK CMU WITH 1/2" SAND FINISH.
6. CEILING: CEILING SHALL BE 5/8" THICK GYPSUM BOARD.
7. LIGHTING: LIGHTING SHALL BE 4' X 4' RECESSED CEILING LIGHTS.
8. MECHANICAL: MECHANICAL SHALL BE 18" DIA. ROUND DUCTS.
9. PLUMBING: PLUMBING SHALL BE 1/2" DIA. COPPER PIPING.
10. ELECTRICAL: ELECTRICAL SHALL BE 120V/240V SINGLE PHASE.
11. FINISHES: FINISHES SHALL BE 1/2" THICK POLISHED CONCRETE FLOOR, 1/2" SAND FINISH WALLS, AND 5/8" THICK GYPSUM BOARD CEILING.
12. NOTES: SEE NOTES ON OTHER SHEETS OF THIS SET.

**ENERGY COMPLIANCE SUMMARY**

ITEM	REQUIREMENT	COMPLIANCE
1. WINDOW U-VALUE	MAX 0.35	0.25
2. WINDOW SHGC	MAX 0.60	0.45
3. ROOF INSULATION	R-10	R-15
4. WALL INSULATION	R-13	R-15
5. FLOOR INSULATION	R-5	R-5
6. AIR LEAKAGE	MAX 3.0	1.5
7. MECHANICAL EFFICIENCY	SEER 13	SEER 14
8. HEATING EFFICIENCY	AFUE 80	AFUE 85
9. WATER HEATING EFFICIENCY	EF 0.90	EF 0.95
10. ENERGY STAR APPLIANCES	ENERGY STAR	ENERGY STAR
11. ENERGY STAR LIGHTING	ENERGY STAR	ENERGY STAR

(FLOPPED)



DATE: 01/11/2007  
DRAWN BY: J. L. L. L. L.  
CHECKED BY: J. L. L. L. L.  
SCALE: 1/4" = 1'-0"

8080 N. PALM AVE. SUITE 110, FRESNO, CA. 93711 PHONE (559) 447-3400

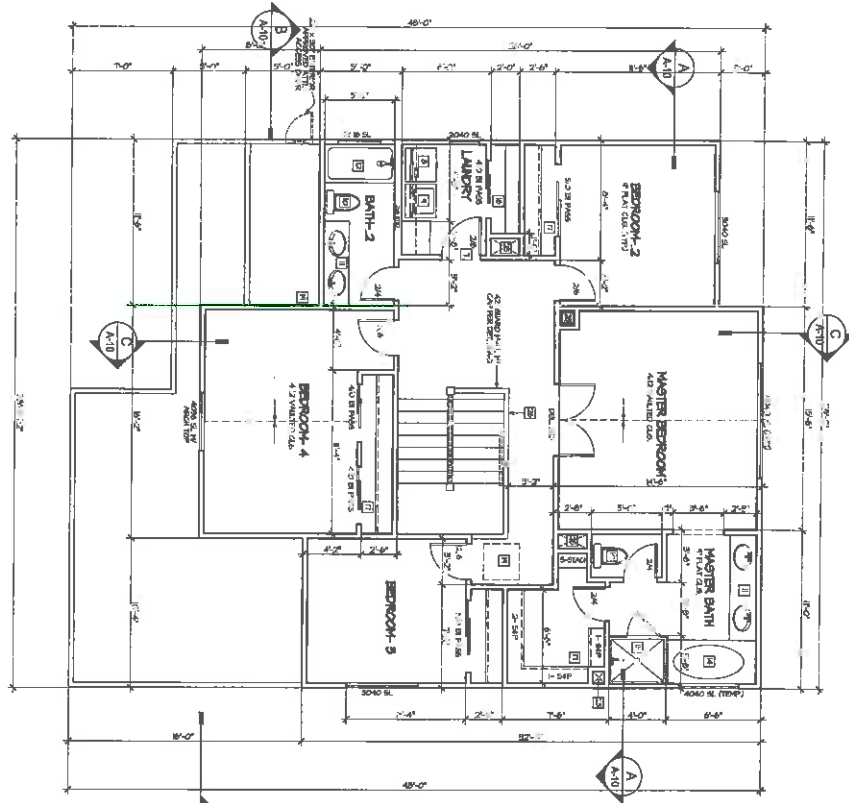
**YISALIA**  
PLAN 4004 (COUNTES)

DESIGN BY	DRAWN	DATE	PROJECT
LENNAR	NO. 06/01	JANUARY 2007	1412

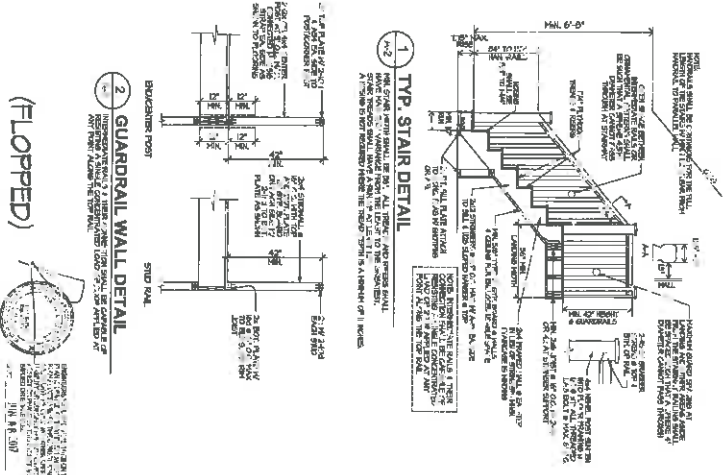
The information, measurements and specifications shown on this drawing are for the property of the customer and are not to be used for any other purpose without the written consent of Lennar Homes.

**ELABORATE PLAN DIMENSIONAL NOTES:**  
 1. DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
 2. DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.  
 3. DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.  
 4. DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.  
 5. DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.

FLOOR PLAN KEY NOTES:  
 SEE FLOOR PLAN REMOTES ON SHEET A-1

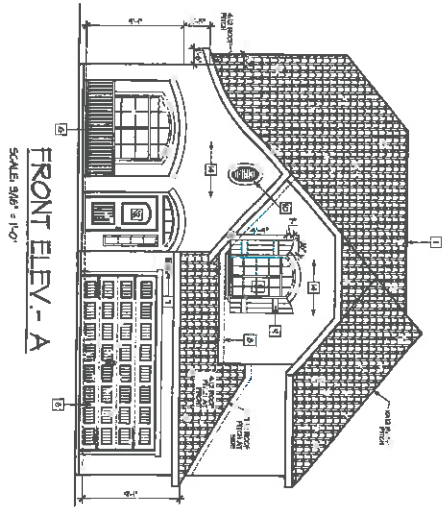


**SECOND FLOOR PLAN** 1211 SQ. FT.  
 SCALE 1/4" = 1'-0"

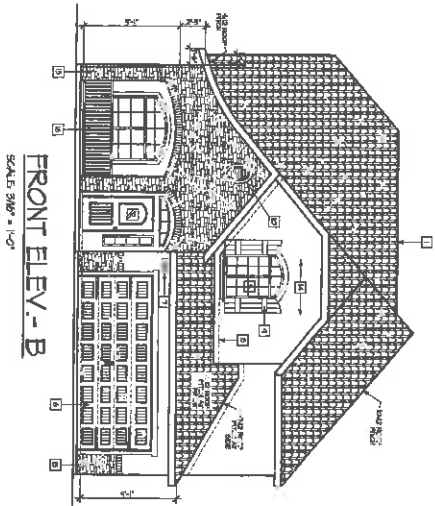


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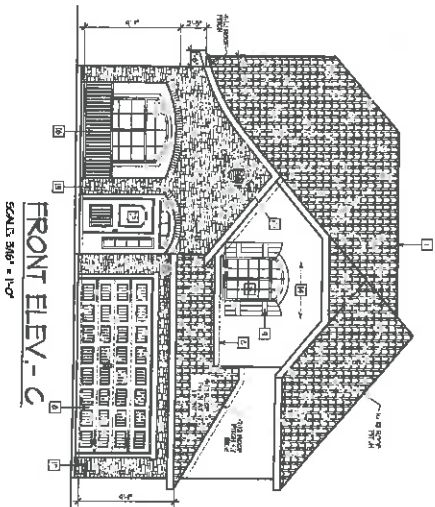




FRONT ELEV - A  
SCALE 3/8" = 1'-0"



FRONT ELEV - B  
SCALE 3/8" = 1'-0"



FRONT ELEV - C  
SCALE 3/8" = 1'-0"

(FLOPPED)

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**STONE VENEER NOTE:** STONE VENEER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. THE STONE VENEER SHALL BE INSTALLED OVER A 1/2\"/>

ELEVATION KEYNOTES	
1	FRONT PORCH
2	FRONT DOOR
3	FRONT WINDOW
4	FRONT WINDOW
5	FRONT WINDOW
6	FRONT WINDOW
7	FRONT WINDOW
8	FRONT WINDOW
9	FRONT WINDOW
10	FRONT WINDOW
11	FRONT WINDOW
12	FRONT WINDOW
13	FRONT WINDOW
14	FRONT WINDOW
15	FRONT WINDOW
16	FRONT WINDOW
17	FRONT WINDOW
18	FRONT WINDOW
19	FRONT WINDOW
20	FRONT WINDOW
21	FRONT WINDOW
22	FRONT WINDOW
23	FRONT WINDOW
24	FRONT WINDOW
25	FRONT WINDOW
26	FRONT WINDOW
27	FRONT WINDOW
28	FRONT WINDOW
29	FRONT WINDOW
30	FRONT WINDOW
31	FRONT WINDOW
32	FRONT WINDOW
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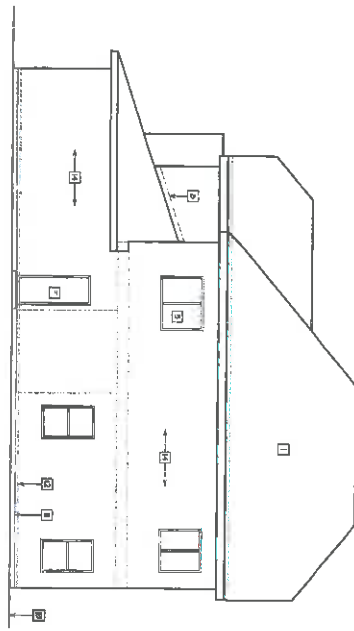
PREPARED BY:  
**RLC DESIGN PROGRESSIONS**  
3000 N. GARDEN AVENUE, SUITE 100, VISALIA, CA 93281  
PHONE: (559) 443-3440

**LENNAR**  
8080 N. PALM AVE. SUITE 110, FRESNO, CA 93711 PHONE (559) 447-3400

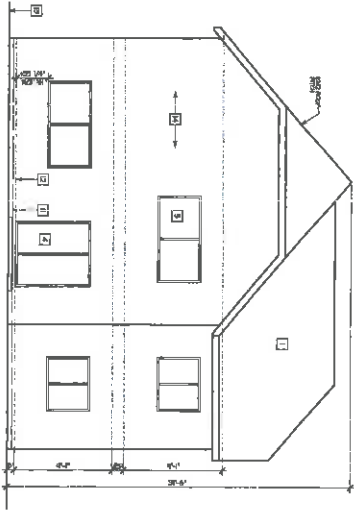
**VISALIA**  
PLAN 4004 (COUNTESS)  
DESIGN BY: [ ] DRAWN: [ ] DATE: [ ] PROJECT: [ ]

REVISIONS  
NO. DATE DESCRIPTION  
1 10/1/00 [ ]  
2 10/1/00 [ ]  
3 10/1/00 [ ]  
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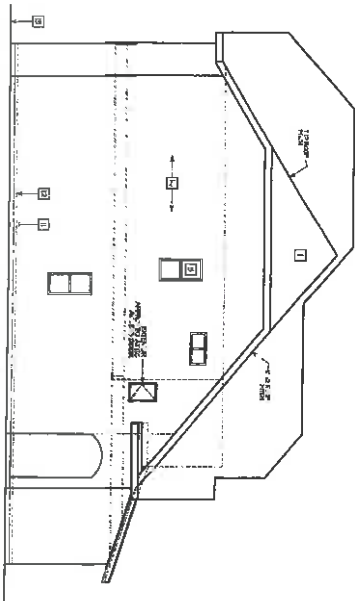
The information, drawings and items prepared herein are the property of RLC Design Progressions, Inc. and shall remain the property of RLC Design Progressions, Inc. No part shall be copied, reproduced, or used in any way without the written consent of RLC Design Progressions, Inc.



RIGHT ELEV.  
SCALE 3/8" = 1'-0"



REAR ELEV.  
SCALE 3/8" = 1'-0"



TYP. LEFT ELEV.  
SCALE 3/8" = 1'-0"

(FLOPPED)



SCALE: 3/8" = 1'-0"  
DATE: 01/11/11  
PROJECT: VISALIA  
SHEET: A-4

<input type="checkbox"/>	ELEVATION KEYNOTES
<input type="checkbox"/>	SEE SHEET A-3 FOR CORRESPONDING ELEVATION KEYNOTES
<p>NOTE FOR VISANT BARBER: LET REVISIONS/CHANGES BE MADE BY 1. MILLION PROJECTING CO. (503) 711-1111 OR VISANT BARBER ARCHITECTS (503) 711-1111</p>	

0 OF SHEETS  
A-4



PREPARED BY:  
**RLC DESIGN PROGRESSIONS**  
6011 N. FIRST ST., # 100, FRESNO, CA 93710  
PHONE: (559) 447-3400

**LENNAR**

8080 N. PALM AVE. SUITE 110, FRESNO, CA 93711 PHONE (559) 447-3400

VISALIA  
PLAN 4004 (COUNTS)

DESIGN BY	DRAWN	DATE	PROJECT
LENNAR	NO. 00	JANUARY 2011	1412

REV	DATE
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5	

The following arrangements and other requirements with these drawings are not to be construed as a warranty of LENNAR Homes. No part of this work shall be used, copied, or used in connection with any project without the written consent of LENNAR Homes.

# **Exhibit “E”**

**“The Camelot”**

**(Plan 4017) – 2,798 sq. ft.**

**One-story**

# THE CAMELOT

*The Chateau Series at Vistas*

Approx. 2,798 sq. ft.

Two-Story

4 Bedrooms

3½ Bathrooms

3-Bay Tandem Garage



2424 N. Shady St. | Visalia, CA 93291  
559-994-6567 | Lennar.com



*The Camelot A*



*The Camelot B*



*The Camelot C*

# THE CAMELOT

The Chateau Series at Vistas

Approx. 2,798 sq. ft.

Two-Story

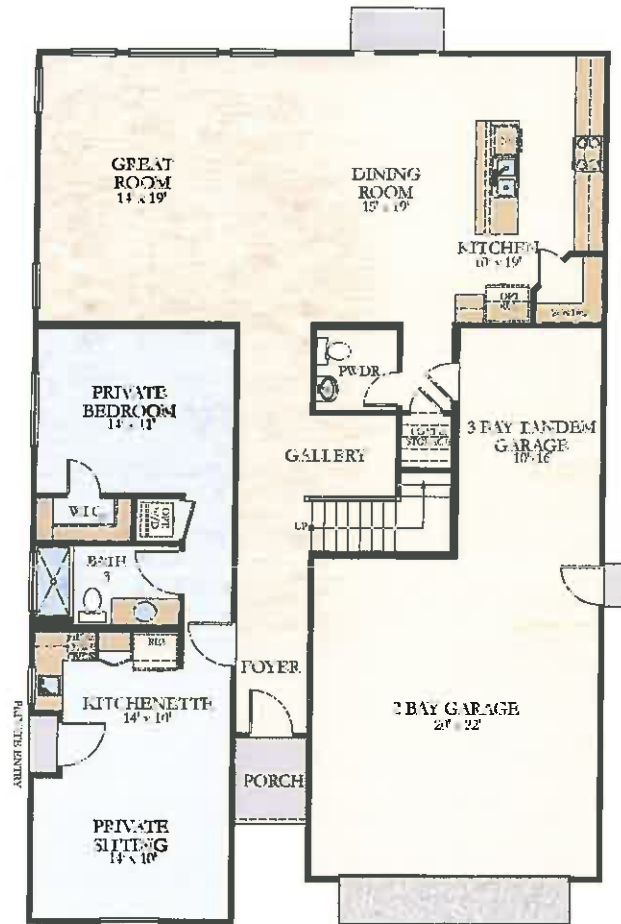
4 Bedrooms

3½ Bathrooms

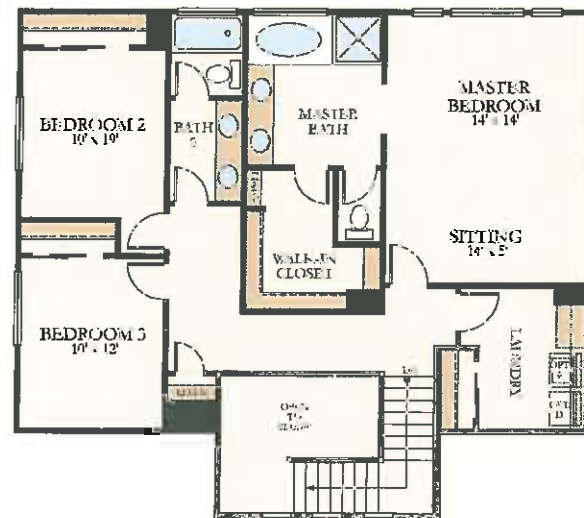
3-Bay Tandem Garage



Plans and elevations are artistic renderings and they contain errors which are not intended as a warranty. Lennar reserves the right to make changes to these floor plans, specifications, dimensions and elevations without notice. Square footages and other measurements are approximate and should not be used as representation of the home's precise or actual size. Any statements, written or verbal, regarding "under an" or "finished area" or any other description in regards to the square footage size of any home is a good-faith declaration of the developer in which the square footage was calculated and should not be construed to indicate certainty. Label dimensions and square footage are approximate and should not be used as representation of the home's precise or actual size. Rendering is conceptual in nature and merely an artistic rendition. These renderings are solely for illustrative purposes and should never be relied upon. Buy the way you're from home to home and may not accommodate all vehicles. Lennar Homes, Inc. 2014 Cambridge Homes | License #822162, Lennar Homes of California, Inc. License #728102, Lennar Sales Corp. | Official Broker of Real Estate License #01457253, Copyright © 2017 Lennar Companies, Inc. All Rights Reserved. Lennar, the Lennar logo, Next Gen, The Home Within A Home and the Next Gen logo are registered service marks or service marks of Lennar Corporation and/or its subsidiaries. 4/17



FIRST FLOOR



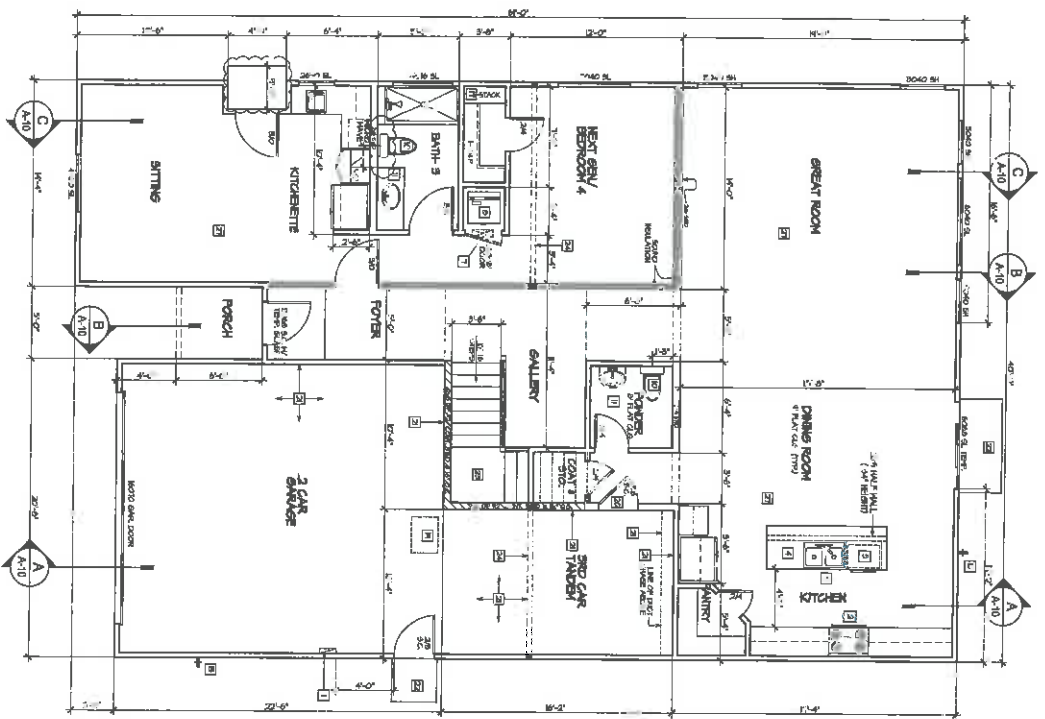
SECOND FLOOR



**FLOOR PLAN KEY NOTES:**

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL WALLS ARE 1/2" THICK UNLESS OTHERWISE NOTED.
3. ALL DOORS ARE 3'0" WIDE UNLESS OTHERWISE NOTED.
4. ALL WINDOWS ARE 6'0" WIDE UNLESS OTHERWISE NOTED.
5. ALL FLOORS ARE 4" CONCRETE ON 8" GRAVEL UNLESS OTHERWISE NOTED.
6. ALL ROOFS ARE 2" POLYSTYRENE INSULATION ON 2" GYP BOARD ON 4" CONCRETE ON 8" GRAVEL UNLESS OTHERWISE NOTED.
7. ALL CEILING ARE 5'0" HIGH UNLESS OTHERWISE NOTED.
8. ALL CEILING ARE 1/2" GYP BOARD ON 2" X 4" JOISTS UNLESS OTHERWISE NOTED.
9. ALL CEILING ARE TO BE PAINTED UNLESS OTHERWISE NOTED.
10. ALL WALLS ARE TO BE PAINTED UNLESS OTHERWISE NOTED.
11. ALL FLOORS ARE TO BE POLISHED CONCRETE UNLESS OTHERWISE NOTED.
12. ALL ROOFS ARE TO BE BURR ROOF UNLESS OTHERWISE NOTED.
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20. ALL ROOFS ARE TO BE 2" POLYSTYRENE INSULATION ON 2" GYP BOARD ON 4" CONCRETE ON 8" GRAVEL UNLESS OTHERWISE NOTED.

**ENERGY COMPLIANCE NOTES:**  
 THIS PLAN IS SUBMITTED FOR REVIEW AND APPROVAL BY THE CALIFORNIA ENERGY EFFICIENCY BOARD (CEEB) FOR COMPLIANCE WITH THE CALIFORNIA ENERGY EFFICIENCY ACT (CEEA). THE PLAN IS SUBJECT TO THE ATTENTION OF THE BOARD'S STAFF ENGINEERS AND CONSULTANTS. THE BOARD'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE BOARD'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON.



**FIRST FLOOR PLAN** 1677 SQ. FT.  
 SCALE 1/4" = 1'-0"

ENERGY COMPLIANCE SUMMARY		
CEEB RATING	1.0	1.0
MINIMUM ENERGY EFFICIENCY INDEX (EEI)	1.0	1.0
MINIMUM ENERGY EFFICIENCY INDEX (EEI) - 10% BONUS	1.1	1.1
MINIMUM ENERGY EFFICIENCY INDEX (EEI) - 20% BONUS	1.2	1.2
MINIMUM ENERGY EFFICIENCY INDEX (EEI) - 30% BONUS	1.3	1.3
MINIMUM ENERGY EFFICIENCY INDEX (EEI) - 40% BONUS	1.4	1.4
MINIMUM ENERGY EFFICIENCY INDEX (EEI) - 50% BONUS	1.5	1.5
MINIMUM ENERGY EFFICIENCY INDEX (EEI) - 60% BONUS	1.6	1.6
MINIMUM ENERGY EFFICIENCY INDEX (EEI) - 70% BONUS	1.7	1.7
MINIMUM ENERGY EFFICIENCY INDEX (EEI) - 80% BONUS	1.8	1.8
MINIMUM ENERGY EFFICIENCY INDEX (EEI) - 90% BONUS	1.9	1.9
MINIMUM ENERGY EFFICIENCY INDEX (EEI) - 100% BONUS	2.0	2.0

**FLOOR PLAN NOTES:**

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL WALLS ARE 1/2" THICK UNLESS OTHERWISE NOTED.
3. ALL DOORS ARE 3'0" WIDE UNLESS OTHERWISE NOTED.
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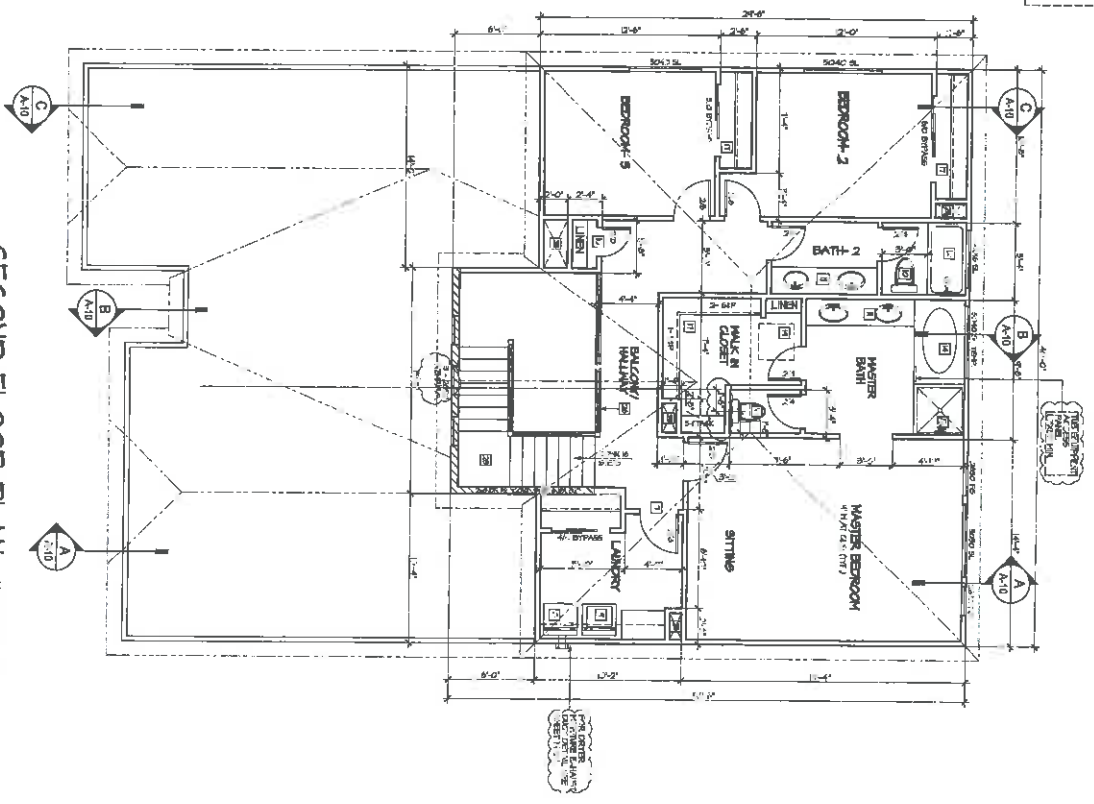
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DATE: 11/11/01

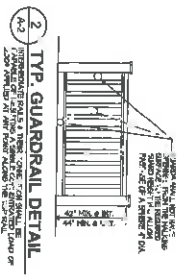
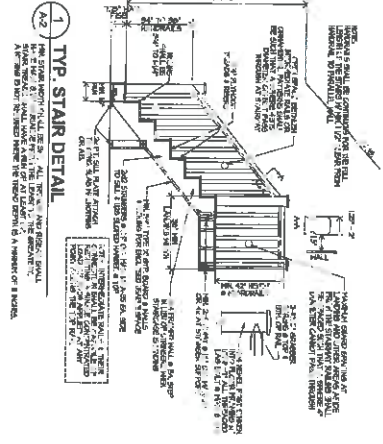
	PREPARED BY: <b>RLC DESIGN PROGRESSIONS</b> 800 N. PALM AVE. SUITE 110, FRESNO, CA 93711 PHONE (559) 447-3400	VISALIA PLAN 4017 (CAMELOT)	REV. DATE 1-11-01
	8080 N. PALM AVE. SUITE 110, FRESNO, CA. 93711 PHONE (559) 447-3400	DESIGN BY: <b>LENNAR</b>	DATE: <b>JANUARY 11, 2001</b>

**FLOOR PLAN DIMENSION NOTES:**  
 ALL DIMENSIONS SHOWN ON THIS PLAN ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED TO THE CONTRARY.  
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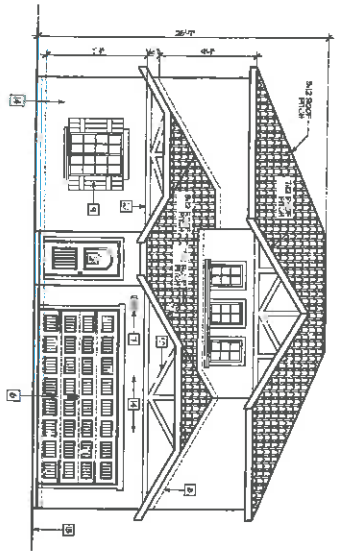
**SECOND FLOOR PLAN** 1121 SQ. FT.  
 SCALE 1/4" = 1'-0"

FLOOR PLAN KEY NOTES:  
 SEE FLOOR PLAN NOTES ON SHEET A-1

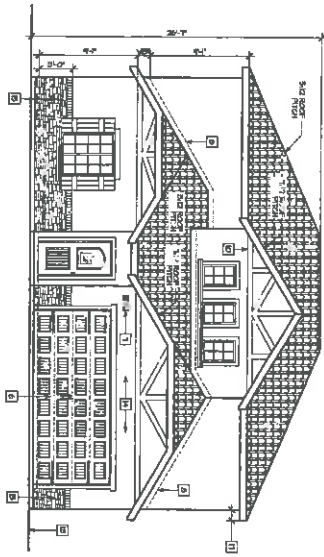


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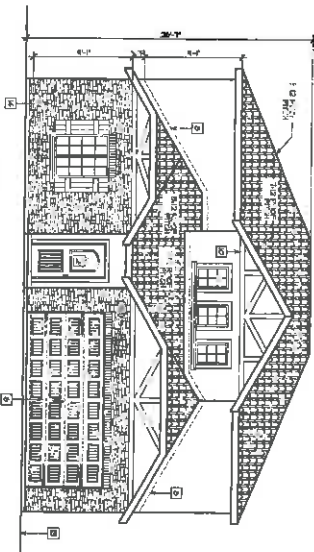




FRONT ELEV. - A  
SCALE 3/8" = 1'-0"



FRONT ELEV. - B  
SCALE 3/8" = 1'-0"



FRONT ELEV. - C  
SCALE 3/8" = 1'-0"

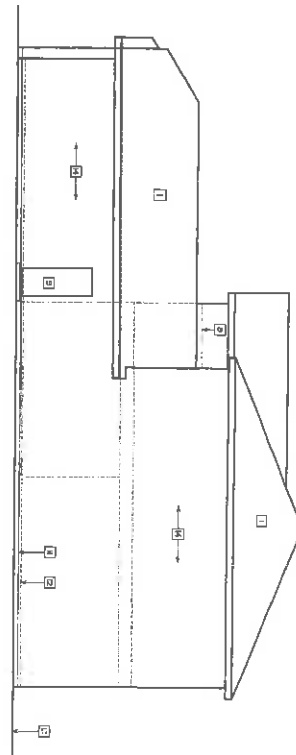
**NOTE:** THIS DRAWING IS A GENERAL REPRESENTATION OF THE PROPOSED APPEARANCE OF THE HOUSE. THE HOUSE WILL BE BUILT BY THE HOMEOWNER. THE HOMEOWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND NEIGHBORHOOD ASSOCIATION. THE HOMEOWNER SHALL BE RESPONSIBLE FOR THE COST OF ALL MATERIALS AND LABOR. THE HOMEOWNER SHALL BE RESPONSIBLE FOR THE COST OF ALL PERMITS AND APPROVALS. THE HOMEOWNER SHALL BE RESPONSIBLE FOR THE COST OF ALL UTILITY CONNECTIONS. THE HOMEOWNER SHALL BE RESPONSIBLE FOR THE COST OF ALL LANDSCAPING. THE HOMEOWNER SHALL BE RESPONSIBLE FOR THE COST OF ALL FURNITURE AND APPLIANCES. THE HOMEOWNER SHALL BE RESPONSIBLE FOR THE COST OF ALL OTHER ITEMS NOT SHOWN ON THIS DRAWING.

**STONE VENEER NOTE:** THE STONE VENEER SHOWN ON THIS DRAWING IS A REPRESENTATION OF THE APPEARANCE OF THE STONE VENEER. THE HOMEOWNER SHALL BE RESPONSIBLE FOR THE COST OF ALL STONE VENEER MATERIALS AND LABOR. THE HOMEOWNER SHALL BE RESPONSIBLE FOR THE COST OF ALL PERMITS AND APPROVALS. THE HOMEOWNER SHALL BE RESPONSIBLE FOR THE COST OF ALL UTILITY CONNECTIONS. THE HOMEOWNER SHALL BE RESPONSIBLE FOR THE COST OF ALL LANDSCAPING. THE HOMEOWNER SHALL BE RESPONSIBLE FOR THE COST OF ALL FURNITURE AND APPLIANCES. THE HOMEOWNER SHALL BE RESPONSIBLE FOR THE COST OF ALL OTHER ITEMS NOT SHOWN ON THIS DRAWING.

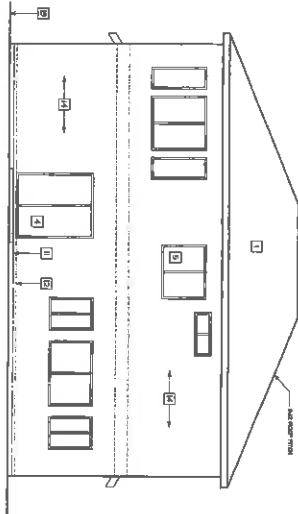
ELEVATION KEYNOTES	
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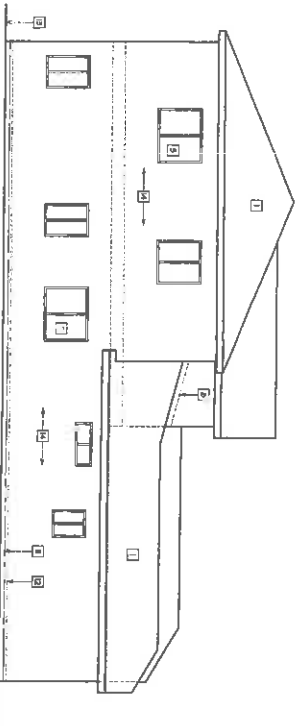
DATE: FEB 91, 2017



**RIGHT ELEV.**  
SCALE 3/8" = 1'-0"



**REAR ELEV.**  
SCALE 3/8" = 1'-0"



**TYP. LEFT ELEV.**  
SCALE 3/8" = 1'-0"

<input type="checkbox"/>	ELEVATION KEYNOTES
<input type="checkbox"/>	SEE SHEET A-3 FOR CORRESPONDING ELEVATION KEYNOTES
<p>1. THE FOUR RADIANT BARBERS, 1215 N. HILL, SAN ANTONIO, TEXAS 78204, ARE THE DESIGNERS OF THE ARCHITECTURE AND ALL VERTICAL DIMENSIONS ARE TO BE TAKEN FROM THE FINISHED FLOOR.</p>	

(FLOPPED)



RLC DESIGN PROGRESSIONS  
 1000 N. GARDEN ST., SUITE 100  
 FRESNO, CA 93701  
 TEL: 559.447.3400  
 FAX: 559.447.3401  
 FEB 21, 2007

A-4  
OF SHEETS



PREPARED BY:  
**RLC DESIGN PROGRESSIONS**  
 1000 N. GARDEN ST., SUITE 100  
 FRESNO, CA 93701  
 TEL: 559.447.3400  
 FAX: 559.447.3401

**LENNAR®**

8080 N. PALM AVE. SUITE 110, FRESNO, CA. 93711 PHONE (559) 447-3400

VISALIA  
PLAN 401T (CAMELOT)

DESIGN BY	DRAWN	DATE	PROJECT
125642	K.D. YL.C.	JANUARY 22, 2007	1101

REVISION	DATE
1	10-1-07
2	
3	
4	
5	

The information, measurements and their  
 approval with this drawing are  
 and that person has property or  
 liability. The user shall be  
 held liable to cover or hold in  
 accordance with any project. Accept the  
 under the terms of the STANDARD AGREEMENT.

# **Exhibit “F”**

**“The Chevalier”**

**(Plan 4018) – 3,167 sq. ft.**

**Two-story**

# THE CHEVALIER-S

*The Chateau Series at Vistas*

Approx. 3,167 sq. ft.

Two-Story

5 Bedrooms with Extra-large  
Master Suite

4 Bathrooms

Loft

2-Bay Garage



*The Chevalier-S A*



*The Chevalier-S B*



*The Chevalier-S C*

2424 N. Shady St. | Visalia, CA 93291  
559-994-6567 | Lennar.com

# THE CHEVALIER-S

The Chateau Series at Vistas

Approx. 3,167-sq. ft.

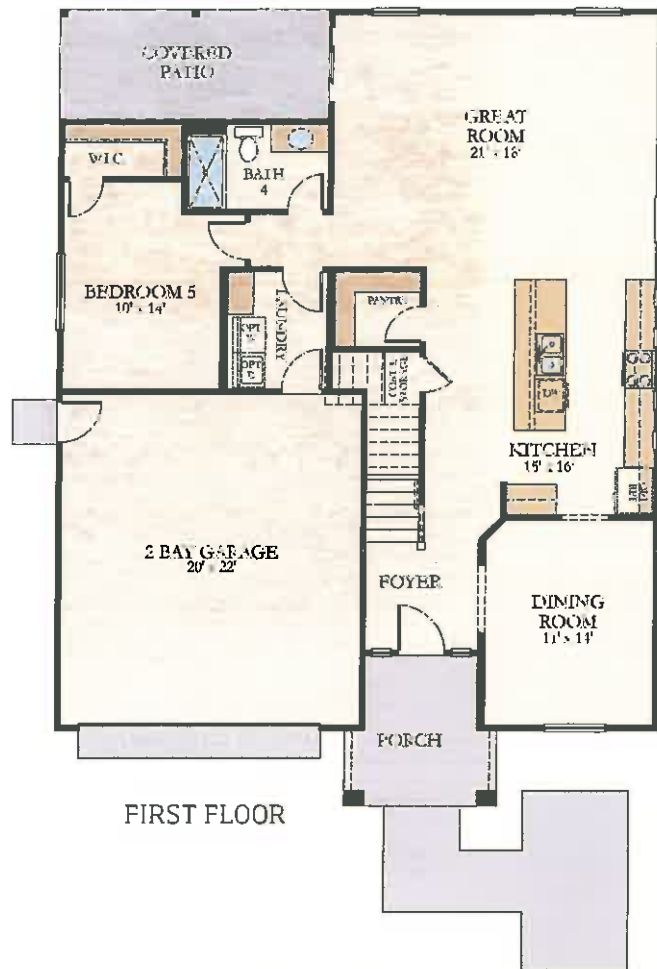
Two-Story

5 Bedrooms with Extra-large  
Master Suite

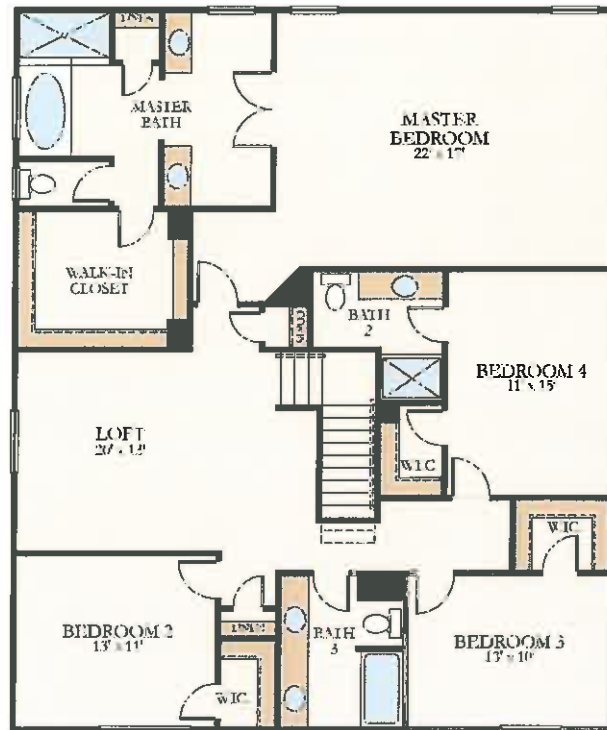
4 Bathrooms

Loft

2-Bay Garage



FIRST FLOOR

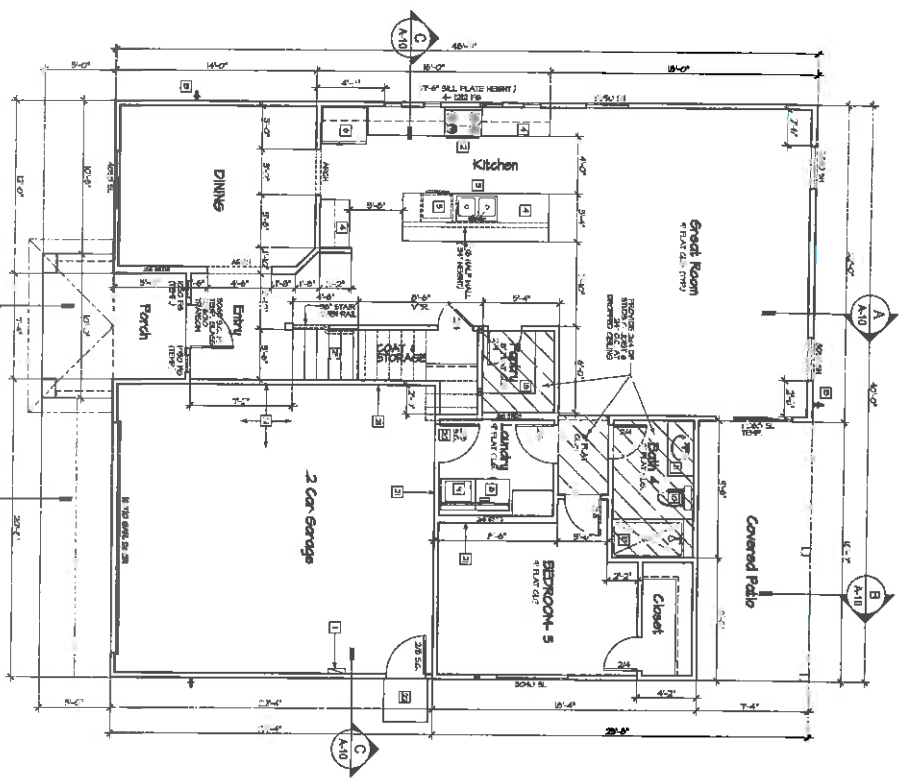


SECOND FLOOR

Plans and elevations are artistic renderings and may contain errors which are not intended as all models. Lennar reserves the right to make changes to these floor plans, specifications, dimensions and elevations without prior notice. Stated dimensions and square footage are approximate and should not be used as representation of the home's actual square footage. Any dimensions stated in either regarding "total area" or "finished area" or any other description or number of the square footage size of any space is a statement of opinion of the person in which the square footage was determined and should not be construed to constitute a warranty. Stated dimensions and square footage are approximate and should not be used as representation of the home's actual square footage. Renderings are conceptual in nature and do not represent actual size. These renderings are solely for illustrative purposes and should never be relied upon. They may vary from those in books and may not be available at all times. Lennar Homes, Inc. 3000 Cambridge Avenue, Suite 1000, Denver, CO 80218. Lennar Homes of California, Inc. 10000 W. 102nd Avenue, Suite 1000, Centennial, CO 80112. Lennar Homes of Florida, Inc. 10000 W. 102nd Avenue, Suite 1000, Centennial, CO 80112. Copyright © 2013 Lennar Corporation. All rights reserved. Lennar and The Chevalier logo are registered service marks of Lennar. Marks of Lennar Corporation and/or its subsidiaries. 4/13

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 1. THIS DRAWING IS THE PROPERTY OF RLC DESIGN PROGRESSIONS AND SHALL REMAIN THE PROPERTY OF RLC DESIGN PROGRESSIONS.  
 2. THE DRAWING IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON.  
 3. ANY CHANGES TO THIS DRAWING SHALL BE MADE BY A WRITTEN AMENDMENT.  
 4. THE DRAWING IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON.  
 5. ANY CHANGES TO THIS DRAWING SHALL BE MADE BY A WRITTEN AMENDMENT.

**FIRST FLOOR PLAN**  
 1245 SQ. FT.  
 SCALE: 1/8" = 1'-0"



- FLOOR PLAN KEY NOTES:**
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
  2. ALL WALLS ARE 1/2" THICK UNLESS OTHERWISE NOTED.
  3. ALL DOORS ARE 36" WIDE UNLESS OTHERWISE NOTED.
  4. ALL WINDOWS ARE 6" MIN. CLEARANCE UNLESS OTHERWISE NOTED.
  5. ALL CEILING HEIGHTS ARE 8'-0" UNLESS OTHERWISE NOTED.
  6. ALL FLOOR FINISHES ARE AS NOTED.
  7. ALL WALL FINISHES ARE AS NOTED.
  8. ALL CEILING FINISHES ARE AS NOTED.
  9. ALL LIGHT FIXTURES ARE AS NOTED.
  10. ALL ELECTRICAL SYMBOLS ARE AS NOTED.
  11. ALL PLUMBING SYMBOLS ARE AS NOTED.
  12. ALL MECHANICAL SYMBOLS ARE AS NOTED.
  13. ALL FINISHES ARE TO BE INSTALLED BY THE TRADES.
  14. ALL MATERIALS ARE TO BE APPROVED BY THE ARCHITECT.
  15. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES.
  16. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MECHANICAL AND ELECTRICAL CODES.
  17. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE PLUMBING CODES.
  18. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FIRE AND LIFE SAFETY CODES.
  19. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ENERGY CODES.
  20. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACCESSIBILITY STANDARDS.

**ENERGY COMPLIANCE SUMMARY**

GLAZING TYPE	U-VALUE	SHGC
WALL	0.09	0.25
ROOF	0.04	0.15
FLOOR	0.05	0.15
CEILING	0.05	0.15
DOOR	0.18	0.25
WINDOW	0.35	0.45
SCREENED WINDOW	0.45	0.55
GLAZED DOOR	0.45	0.55
GLAZED PORCH DOOR	0.45	0.55
GLAZED PATIO DOOR	0.45	0.55
GLAZED ENTRY DOOR	0.45	0.55
GLAZED TRANSOM	0.45	0.55
GLAZED TRANSOM WITH SCREEN	0.45	0.55
GLAZED TRANSOM WITH SCREEN AND INSULATION	0.45	0.55

**FLOOR PLAN NOTES**

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PREPARED BY:  
**RLC DESIGN PROGRESSIONS**  
 8080 N. PALM AVE., SUITE 110, FRESNO, CA 93711  
 PHONE (559) 447-3400

**LENNAR**  
 8080 N. PALM AVE., SUITE 110, FRESNO, CA 93711 PHONE (559) 447-3400

**VISALIA**  
 PLAN 401B (CHEVALIER)

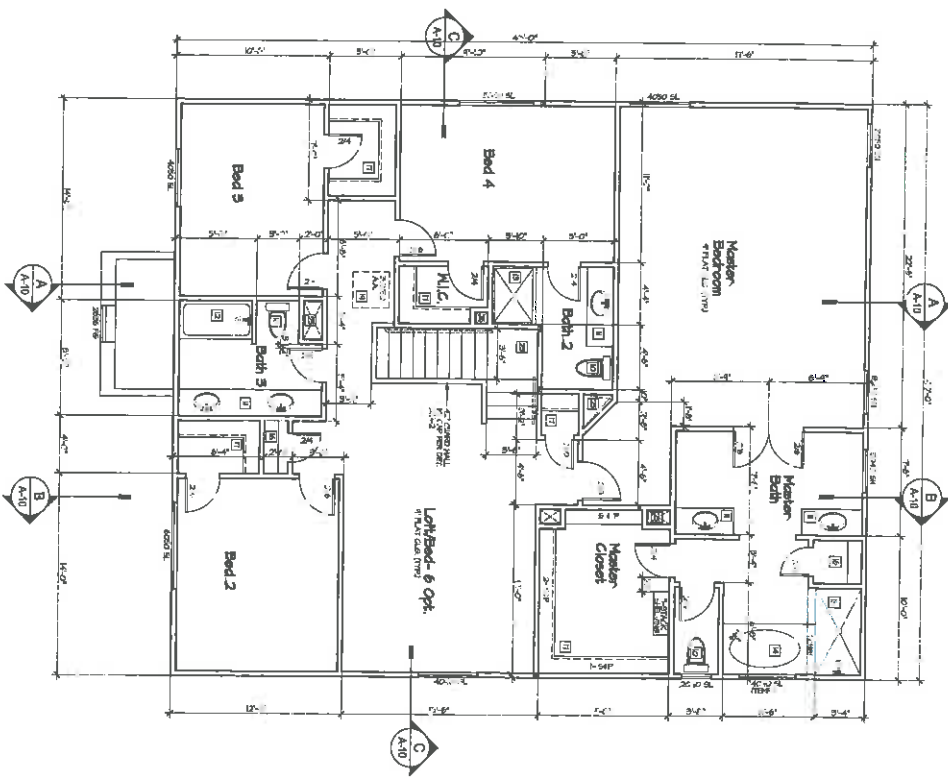
DESIGN BY: **CRANK** DATE: **1/10/11** PROJECT: **1701**

REV.	DATE	DESCRIPTION
1	1-10-11	ISSUE FOR PERMIT
2		
3		
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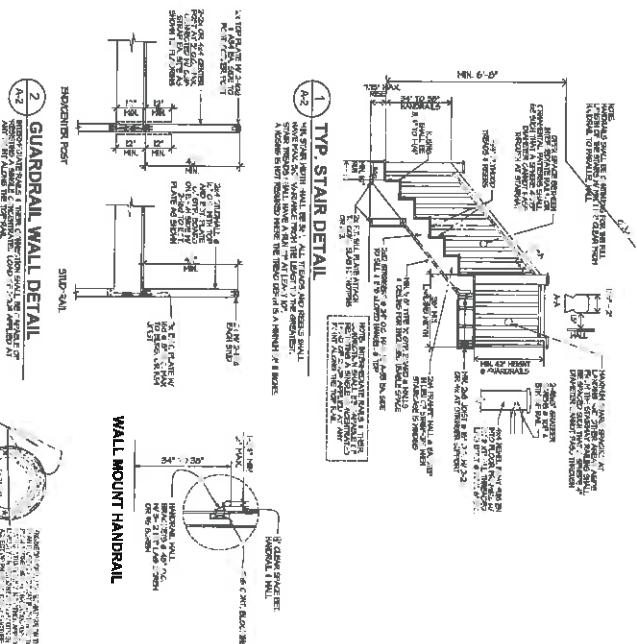
**PLEASE READ THESE NOTES:**  
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
 2. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.  
 3. ALL DOORS ARE 36" WIDE BY 80" HIGH UNLESS NOTED OTHERWISE.  
 4. ALL WINDOWS ARE 60" WIDE BY 60" HIGH UNLESS NOTED OTHERWISE.  
 5. ALL FLOOR FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.  
 6. ALL CEILING FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.  
 7. ALL LIGHT FIXTURES ARE TO BE DETERMINED BY THE ARCHITECT.  
 8. ALL ELECTRICAL SYMBOLS ARE TO BE DETERMINED BY THE ARCHITECT.  
 9. ALL MECHANICAL SYMBOLS ARE TO BE DETERMINED BY THE ARCHITECT.  
 10. ALL FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.

**NOTE:**  
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 10. ALL FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.



**SECOND FLOOR PLAN** 1872 SQ. FT.  
 SCALE: 1/8" = 1'-0"

FLOOR PLAN KEY NOTES:	
<input type="checkbox"/>	FLOOR PLAN KEY NOTES:
<input type="checkbox"/>	SEE FLOOR PLAN KEYNOTES ON SHEET A-1



DATE: 01/11/01  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 PROJECT NO.: [Number]  
 SHEET NO.: [Number]

	PREPARED BY: <b>RLC DESIGN PROGRESSIONS</b> 1000 N. GARDEN AVENUE, SUITE 100, FRESNO, CA 93710 PHONE: (559) 447-3400	<b>VISALIA</b> PLAN 401B (CHEVALIER)	REV. DATE 1-04-01
	8080 N. PALM AVE. SUITE 110, FRESNO, CA. 93711 PHONE (559) 447-3400	DESIGN BY: [Signature] DATE: [Date] DRAWN BY: [Signature] DATE: [Date]	PROJECT: [Number]





# Exhibit “G”

Lot 50

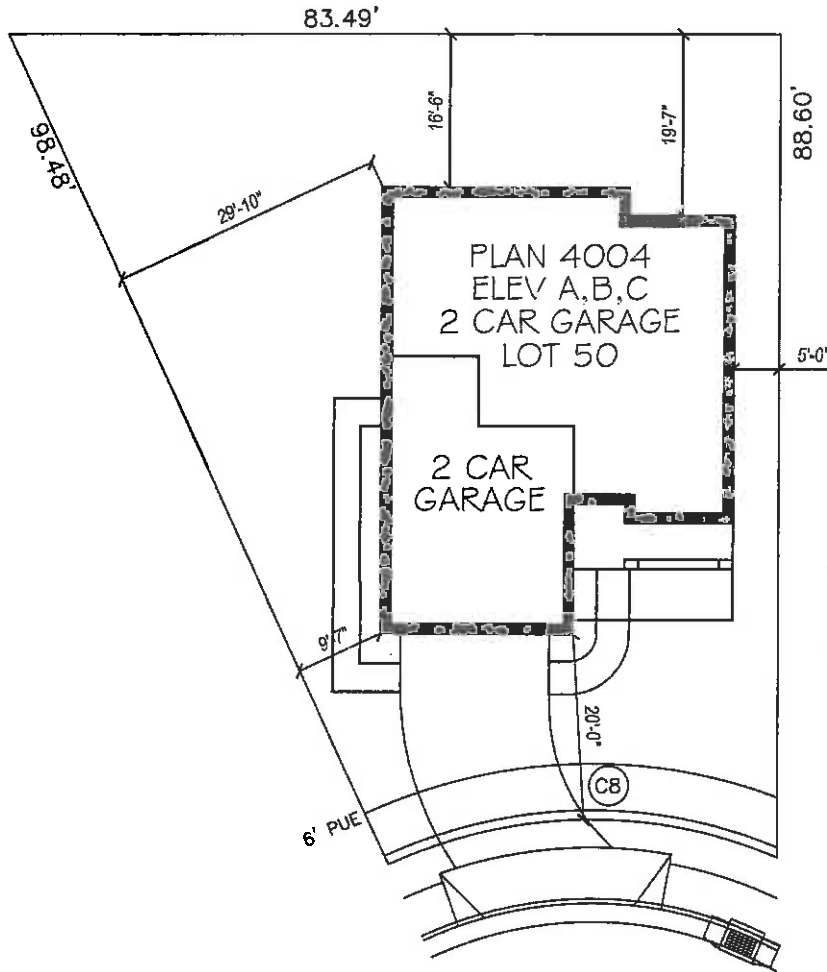
Plot Plan Setback for Lot 50

(Countess Plan 4004) – 2,244 sq. ft.

Two-story

I AGREE TO COMPLY WITH THE MWEL0 PRESCRIPTIVE COMPLIANCE OPTION.

Ⓢ L. R. D.  
 Ⓢ 43.31 52.00 047°43'05"



- STREET LIGHT
- FIRE HYDRANT
- CABLE TV SPLICE BOX
- TELEPHONE SPLICE BOX
- EDISON SPLICE BOX
- SUBDIVIDED SPLICE BOX
- STOP SIGN

PLAN 4004: COUNTLESS  
 RESIDENCE: FIRST FLOOR: 1,033 SQ. FT.  
 SECOND FLOOR: 1,211 SQ. FT.  
 RESIDENCE TOTAL: 2,244 SQ. FT.  
 2-CAR GARAGE: 538 SQ. FT.  
 PORCH: 98 SQ. FT.  
 TOTAL: 1699 SQ. FT.  
 LANDSCAPE AREA: 1167 SQ. FT.



## SITE PLAN

Note: Certain site features may not be included in drawing. There may be additional utility not shown on plan within shown easement areas. Please visit home site to verify the location of any utility structure which may or may not be shown on this site plan. Any deviation in the placement of houses, street lights, fire hydrants, storm drain transformers, etc. from the accepted plot plan shall require a plan change from the City for acceptance. There are approximate measurements shown on plot plan except for the minimum required by ordinance. This plan does not reflect as-built conditions which may vary from this plan.

NOTE: COLD JOINT PER CITY STD. C-34  
 DRIVE APPROACH 4' MIN FROM P.L.

- NOTE:
- \* DRAINAGE TO MEET CITY STANDARD
  - \* DRIVEWAY APPROACH TO MEET CURRENT CITY STANDARDS
  - \* DRIVEWAY TO MEET CURRENT CITY STANDARDS C-22
  - \* PARKWAY TO INCLUDE STREET TREES PER APPROVED SUBDIVISION PLANS
  - \* INSTALL CITY STANDARD SIDEWALK
  - \* INSTALL ROOT BARRIER

## LENNAR HOMES OF CALIFORNIA

8080 N. PALM AVE. SUITE 110  
 FRESNO, CA 93711  
 (559)447-3400 (FAX)447-3404

EAGLE GLEN- VISTAS VI LOT 50

XXX MODOC AVE

PLAN NO. 4004 ELEVATION A,B,C DATE \_\_\_\_\_  
 BUYERS \_\_\_\_\_  
 SIGNATURE \_\_\_\_\_

# Conditional Use Permit No. 2017-33

APN: 090-010-008

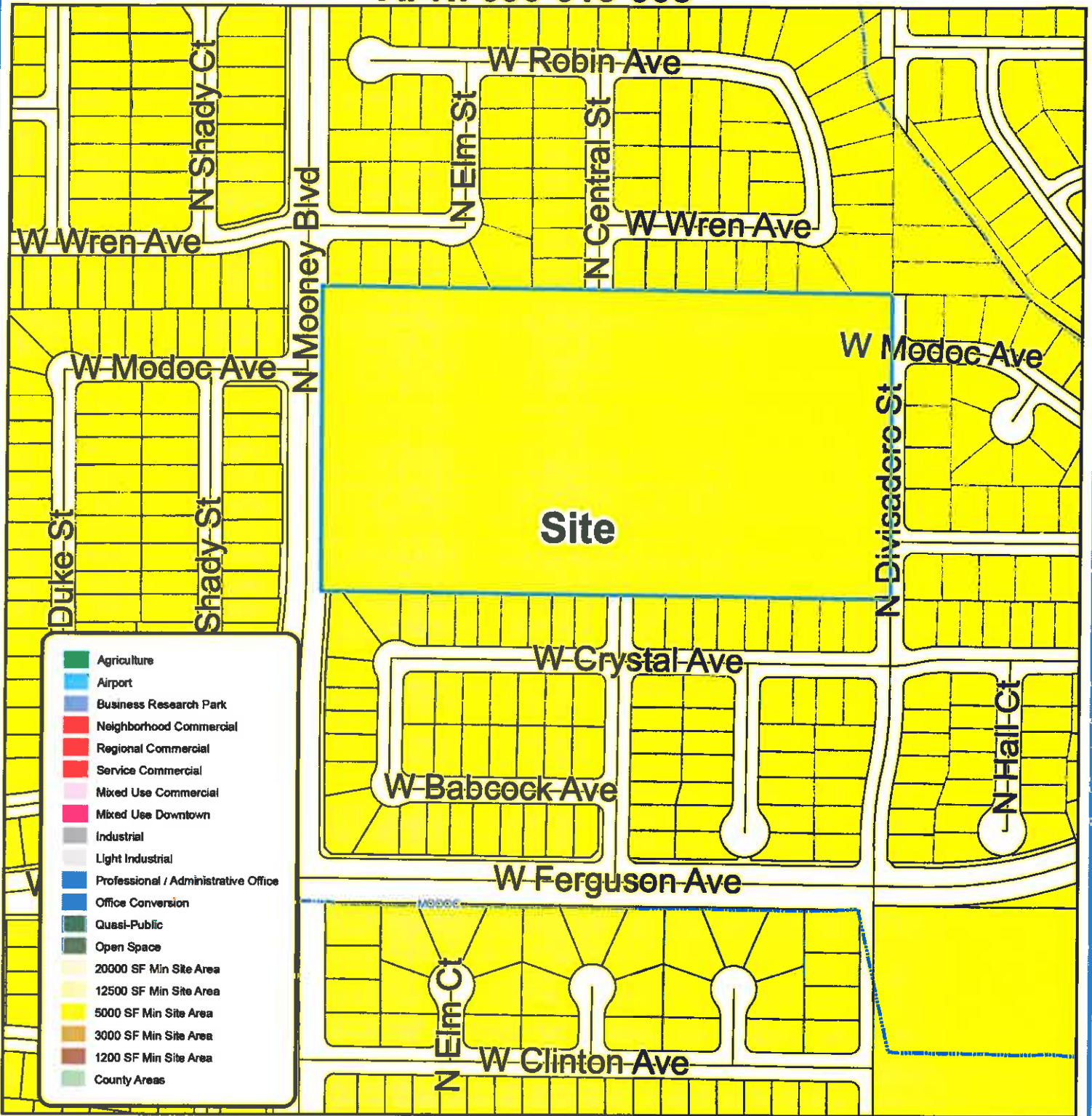


## General Plan Land Use Map



# Conditional Use Permit No. 2017-33

APN: 090-010-008

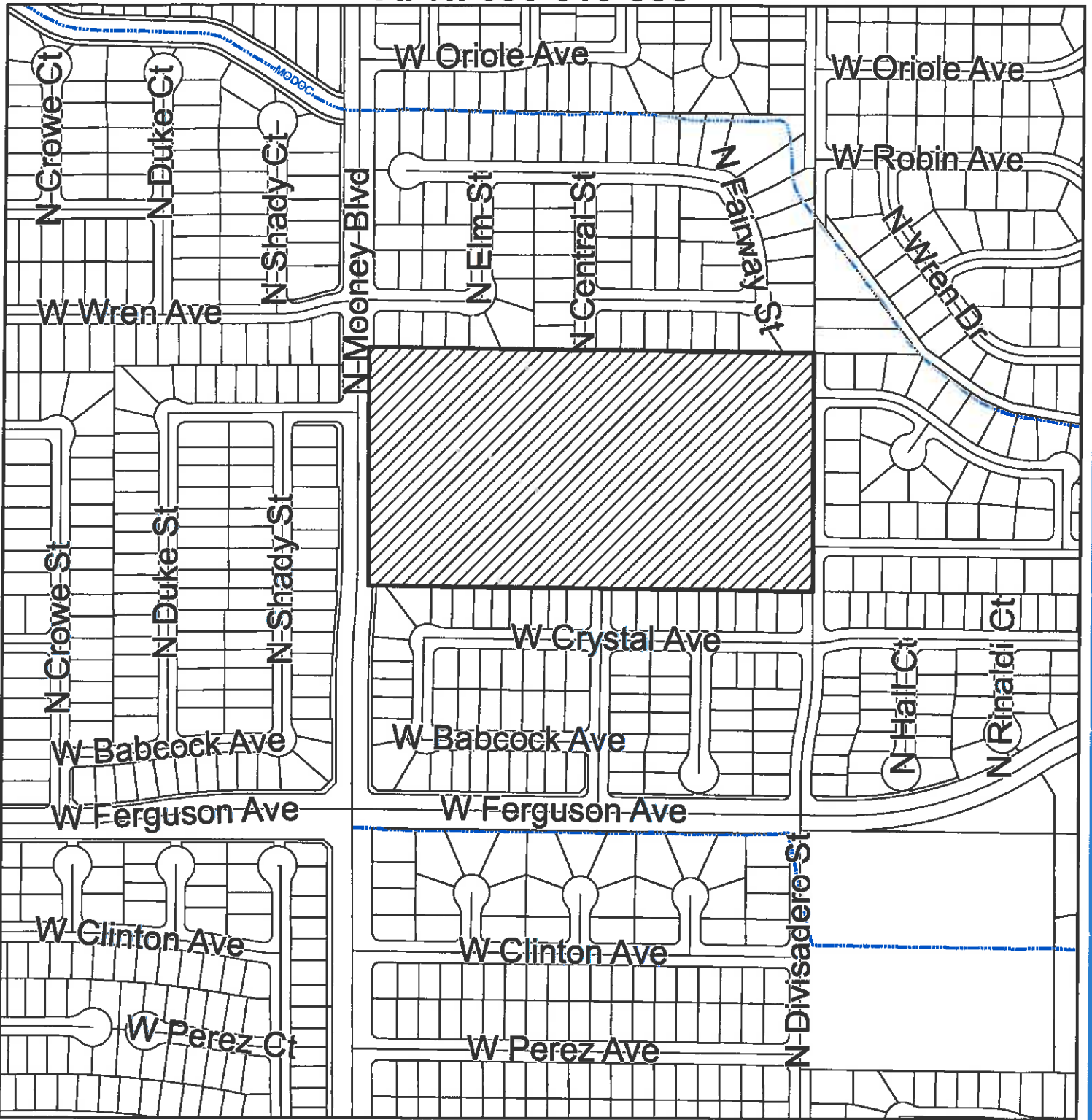


## Zoning Map



# Conditional Use Permit No. 2017-33

APN: 090-010-008



## Vicinity Map





# Conditional Use Permit No. 2017-33

APN: 090-010-008



## Aerial Map

