

PLANNING COMMISSION AGENDA

CHAIRPERSON:

Brett Taylor



VICE CHAIRPERSON:

Liz Wynn

COMMISSIONERS: Brett Taylor, Liz Wynn, Chris Gomez, Marvin Hansen, Sarrah Peariso

MONDAY, OCTOBER 23, 2017; 7:00 P.M., COUNCIL CHAMBERS, 707 W. ACEQUIA, VISALIA CA

1. THE PLEDGE OF ALLEGIANCE –
2. CITIZEN'S COMMENTS – This is the time for citizens to comment on subject matters that are not on the agenda but are within the jurisdiction of the Visalia Planning Commission. The Commission requests that a 5-minute time limit be observed for comments. Please begin your comments by stating and spelling your name and providing your street name and city. Please note that issues raised under Citizen's Comments are informational only and the Commission will not take action at this time.
3. CHANGES OR COMMENTS TO THE AGENDA–
4. CONSENT CALENDAR - All items under the consent calendar are to be considered routine and will be enacted by one motion. For any discussion of an item on the consent calendar, it will be removed at the request of the Commission and made a part of the regular agenda.
 - Time Extension for Tentative Parcel Map No. 2015-06 & Conditional Use Permit No. 2015-26
5. PUBLIC HEARING – Paul Scheibel
Variance No. 2017-24: A request to allow a second vehicle to be used in conjunction with Home Occupation Permit No. 2016-79 for a limousine service located at the Home Occupation Permit residence, 640 W. Kimball Avenue (APN: 126-570-007). The project is Categorical Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15305, Categorical Exemption No. 2017-77.
6. PUBLIC HEARING – Paul Bernal
Conditional Use Permit No. 2017-33: A request by Lennar Homes of California, Inc., to establish a Planned Residential Development with modified rear yard setbacks for the 94-lot approved Eagle Meadows of Visalia 20 subdivision map. The Eagle Meadows of Visalia 20 subdivision map is located on the east side of North Mooney Boulevard between West Ferguson Avenue and West Riggan Avenue (APN: 090-010-008). The project is Categorical Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15305, Categorical Exemption No. 2017-75
7. DIRECTOR'S REPORT/ PLANNING COMMISSION DISCUSSION-

The Planning Commission meeting may end no later than 11:00 P.M. Any unfinished business may be continued to a future date and time to be determined by the Commission at this meeting. The Planning Commission routinely visits the project sites listed on the agenda.

For the hearing impaired, if signing is desired, please call (559) 713-4359 twenty-four (24) hours in advance of the scheduled meeting time to request these services. For the visually impaired, if enlarged print or Braille copy is desired, please call (559) 713-4359 for this assistance in advance of the meeting and such services will be provided as soon as possible following the meeting.

Any written materials relating to an item on this agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the City Office, 315 E. Acequia Visalia, CA 93291, during normal business hours.

APPEAL PROCEDURE

THE LAST DAY TO FILE AN APPEAL IS THURSDAY, OCTOBER 19, 2017 BEFORE 5 PM

According to the City of Visalia Zoning Ordinance Section 17.02.145 and Subdivision Ordinance Section 16.04.040, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal form with applicable fees shall be filed with the City Clerk at 220 N. Santa Fe, Visalia, CA 93292. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website www.visalia.city or from the City Clerk.

THE NEXT REGULAR MEETING WILL BE HELD ON MONDAY, OCTOBER 23, 2017



REPORT TO CITY OF VISALIA PLANNING COMMISSION

HEARING DATE: October 23, 2017

PROJECT PLANNER: Paul Bernal, City Planner
Phone No.: (559) 713-4025
E-Mail: paul.bernal@visalia.city

SUBJECT: Conditional Use Permit No. 2017-33: A request by Lennar Homes of California, Inc., to establish a Planned Residential Development with modified rear yard setbacks for a 94-lot approved and recorded Eagle Meadows of Visalia 20 subdivision map. The Eagle Meadows of Visalia 20 subdivision map is located on the east side of North Mooney Boulevard between West Ferguson Avenue and West Riggan Avenue (APN: 090-010-008).

STAFF RECOMMENDATION

Conditional Use Permit No. 2017-15

Staff recommends approval of Conditional Use Permit No. 2017-33, as conditioned, based upon the findings and conditions in Resolution No. 2017-74. Staff's recommendation is based on the conclusion that the request is consistent with the Visalia General Plan and Zoning Ordinance.

RECOMMENDED MOTION

I move to approve Conditional Use Permit No. 2017-15, based on the findings and conditions in Resolution No. 2017-29.

PROJECT DESCRIPTION

Conditional Use Permit No. 2017-33, filed by Lennar Homes of California, Inc., is a request to convert the approved 94-lot Eagle Meadows of Visalia 20 subdivision into a Planned Residential Development (PRD) pursuant to Section 17.26 Planned Development of the Zoning Ordinance. The PRD is requesting to establish a reduction to the required 20-foot rear yard setback to 16-feet, subject to the development of specific housing plans and elevations submitted by the applicant (see Exhibits "B", "C", "D", and "E").

The setbacks (see Exhibit "A") for the Eagle Meadows of Visalia 20 subdivision are as follows:

	Proposed setbacks	setbacks est. per 2006 subdivision approval
• Front Yard Setback (habitable space):	15-ft.	15-ft.
• Garage (est. per the Mixed Lot Provisions of former Zoning Ordinance):	20-ft.	20-ft.
• Side Yard:	5-ft.	5-ft.
• Street Side:	10-ft.	10-ft.
• Rear Yard (<i>applicant request</i>):	16-ft.	20-ft

The Eagle Meadows of Visalia 20 subdivision located on the east of North Mooney Boulevard and is situated between two single-family subdivisions with Luis Acres Unit 1, a Lennar Homes

of California development to the south, and the Valley Oaks West residential subdivision to the north. The Eagle Meadows of Visalia 20 map is pending recordation with the Tulare County Recorder's Office.

The applicant is requesting the additional rear yard reduction because they desire to market the same house models as they are constructing at the Luisi Acres subdivision that is adjacent to the south. However, they determined further modifications to the permitted setbacks would be required. Staff concurs with the applicant's intent to replicate the house models. However, the recommendation and the analysis represents a workable compromise that accommodates the applicant's intent, while being sensitive to maintaining consistent rear yard setbacks with existing residences that are adjacent to the project on the north and south.

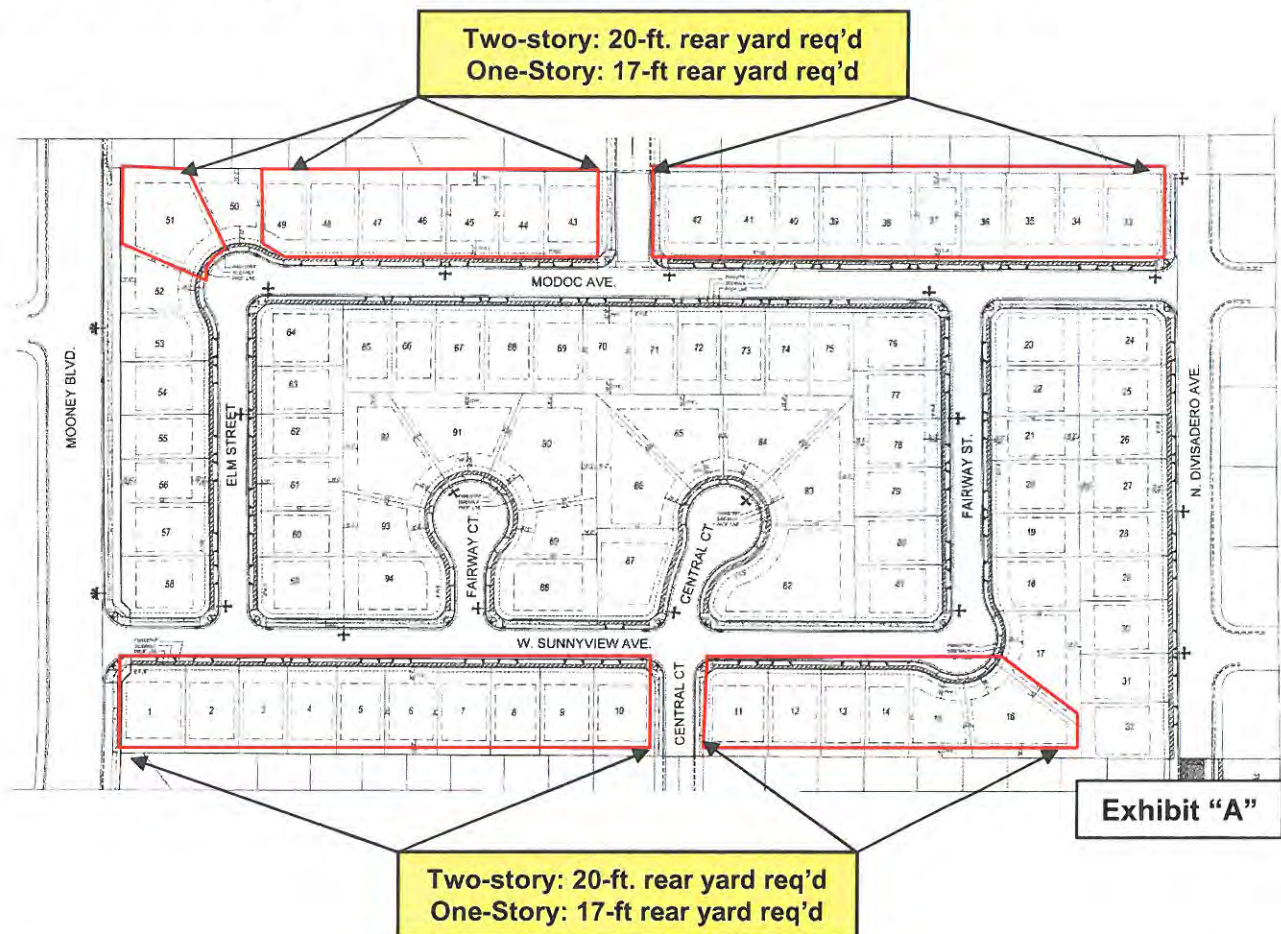
The applicant is requesting a reduced rear yard setback to 16-feet within the subdivision. However, staff recommends the following alternatives to the applicant's basic request:

Two-story plans (Exhibits "D", "E", and "F")

- 20-foot rear yard setback required on Lots 1-16, Lots 33-49, & Lot 51

Single-story plan (Exhibit "C")

- 17-foot rear yard setback required on Lots 1-16, Lots 33-49, & Lot 51



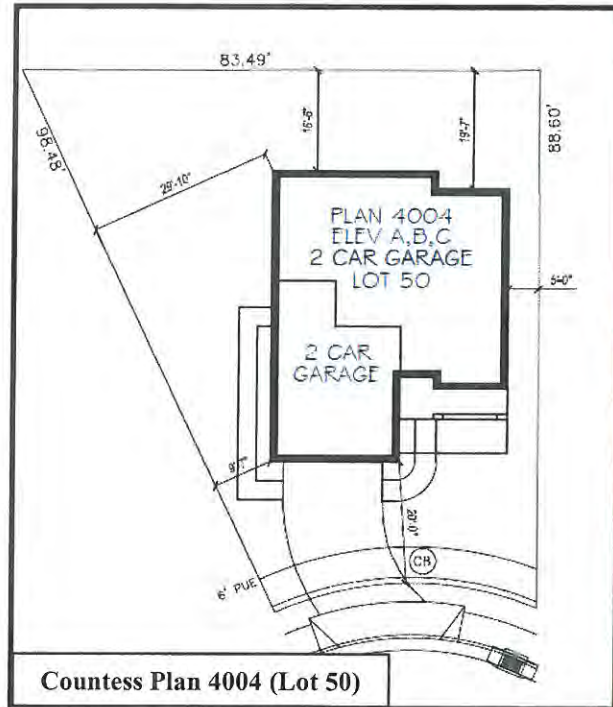
Staff's recommendation, as noted above, is discussed in greater detail under the "Eagle Meadows of Visalia 20 Setbacks" evaluation below.

In addition, staff recommends the Planning Commission consider the following:

Lot 50

- Condition Lot 50 subject to the house plan provided in Exhibit “D” (Plan 4004)
- Condition Lot 50 subject to the setbacks as noted in Exhibit “G”

The applicant demonstrated various options for Lot 50, but due to the lot depth and curvilinear frontage for Lot 50, Exhibit “D” is the only house plan that provides the smallest building footprint that is semi-consistent with staff’s recommendation to maintain a 20-foot rear yard setback for two-story homes on those lots abutting existing single-family residential development.



Countess Plan 4004 (Lot 50)

If the Planning Commission approves staff’s recommendation, the following setbacks would be established within the Eagle Meadows of Visalia 20 subdivision:

- Front Yard Setback (habitable space): 15-ft.
- Garage (est. per the Mixed Lot Provisions of former Zoning Ordinance): 20-ft.
- Side Yard: 5-ft.
- Street Side: 10-ft.
- Rear Yard (for interior lots not abutting existing R-1 development to the north and south): 16-ft.
- Rear Yard (staff recommendation for those lots abutting existing R-1 development to the north and south): 20-ft. (2-story)
17-ft. (single-story)

The Planning Commission approved the Eagle Meadows of Visalia 20 Vesting Tentative Subdivision Map No. 5512, on April 10, 2006. The approved subdivision map depicted the subdivision of 18.75-acres into 94 single-family residential lots. The subdivision was approved to accommodate a variety of lot configurations by utilizing the “Mixed Lot Design” Section of the Zoning Ordinance. The Mixed Lot Design section provided flexibility in the R-1 development standards including establishing 20-foot front yard setback to the garage and 20-foot rear yard setback.

BACKGROUND INFORMATION

General Plan Land Use Designation	Low Density Residential
Zoning	R-1-5 (Single-family Residential, minimum 5,000 sq. ft. lot area)
Surrounding Zoning and Land Use	North: R-1-5 / Residential subdivision South: R-1-5 (Single-Family Residential) / Single-family residential subdivision (Luis Acres) East: North Divisadero Street – Local street West: North Mooney Boulevard – Arterial street
Environmental Review	Categorical Exemption No. 2017-75
Site Plan	N/A

RELATED PLANS & POLICIES

The Planning Commission approved the Eagle Meadows of Visalia 20 Vesting Tentative Subdivision Map No. 5512, on April 10, 2006. The approved subdivision map depicted the subdivision of 18.75-acres into 94 single-family residential lots. The subdivision was originally designed to accommodate a variety of lot configurations by utilizing the former “Mixed Lot Design” Section of the Zoning Ordinance. The Mixed Lot Design section provided flexibility in the R-1 development standards including establishing 20-foot front yard setbacks to garage and 20-foot rear yard setbacks. The subdivision was originally designed using the 52-foot wide local street standard (i.e., small street design) but the streets were re-designed to accommodate the 56-foot wide street pattern. Increasing the local street width did not reduce the minimum R-1-5 lot area standard of 5,000 square feet. The applicant/developer is pursuing the project pursuant to Zoning Ordinance Chapter 17.26 (Planned Development), which may allow development setbacks to be deviated subject to the subdivision being developed with the housing plans submitted for this subdivision.

PROJECT EVALUATION

Staff recommends approval of Conditional Use Permit No. 2017-33, as condition, based on projects consistency with the General Plan, and Zoning Ordinance. Staff finds that the project is consistent with the single-family residential objectives and policies of the General Plan Land Use Element.

Eagle Meadows of Visalia 20 Setbacks

The project represents a request to establish a planned residential development with consideration to modified rear yard setbacks. Staff recommends the Planning Commission approve the subdivision, subject to the following setbacks:

- Front Yard Setback (habitable space): 15-ft.
- Garages (*est. per the Mixed Lot Provisions of former Zoning Ordinance*): 20-ft.
- Side Yard: 5-ft.
- Street Side: 10-ft.
- Rear Yard (*for interior lots not abutting existing R-1 development to the north and south*): 16-ft.
- Rear Yard (*staff recommendation for those lots abutting existing R-1 development to the north and south*): 20-ft. (2-story)
17-ft. (single-story)

Lennar Homes of California, Inc., identified that the house plans proposed within the Eagle Meadows of Visalia 20 subdivision are currently being constructed in the Luis Acres subdivision directly south.

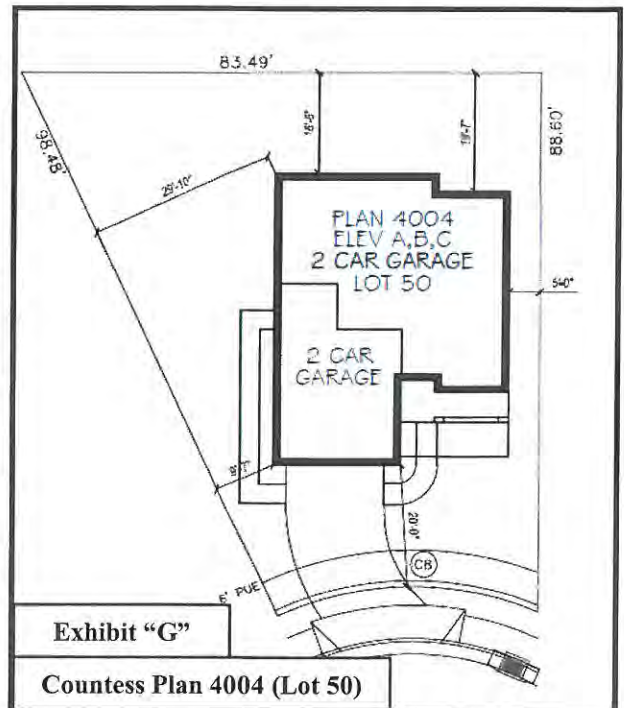
Condition Nos. 1, 2 and 3 have been included in the Conditions of Project requiring a 20-foot rear yard setback for all two-story house plans (see Exhibits "D", "E", and "F") and that a 17-foot rear yard setback be permitted for only the single-story Duke plan (see Exhibit "C") on Lots 1-16, and Lots 33-49 and Lot 51 for the Eagle Meadows of Visalia 20 subdivision.

Staff also recommends the Planning Commission adopt Condition No. 4, conditioning the development of Lot 50 subject the house plan/elevations provided in Exhibit "D", and subject to the setbacks as depicted in Exhibit "G"

Land Use Compatibility / Density

Compatibility with the surrounding area is required by the General Plan in any decision to approve a discretionary action. The proposed project will result in the creation of a planned residential development consisting of single-family homes. Property surrounding the project site is planned and zoned for single-family residential development. The project has been designed with consideration given to the adjacent single-family residences. All units proposed adjacent to the existing single-family neighborhood are to be developed with a 20-foot rear yard setback for two-story structures. The circulation pattern for the proposed development is self-contained and will be accessed from local streets.

The proposed single-family residential units are compatible with surrounding residential units and each residential lot generally provides a useable private rear yard for each single-family residential unit.



Single-Family Elevations

Lennar Homes of California has submitted five single-family residential house plans with elevation details. Exhibits "B", "C", "D", "E", and "F" display the proposed typical building elevations for the units proposed within the subdivision. The elevations' stucco finishes with varying accent materials, stone veneer trim, covered entryways, and pitched tile roofs are noted on the elevations.

Staff has included Condition of Approval No. 5 requiring that the building elevations be developed consistent with those provided in Exhibits "B", "C", "D", "E", and "F".

Exhibit	House Name	Plan #	# of stories	Sq. Ft.
Exhibit "B"	The Duchess	Plan 4001	Single-story	1,766 sq. ft.
Exhibit "C"	The Duke	Plan 4002	Single-story	1,899 sq. ft.
Exhibit "D"	The Countess	Plan 4004	Two-story	2,244 sq. ft.
Exhibit "E"	The Camelot	Plan 4017	Two-story	2,798 sq. ft.
Exhibit "F"	The Chevalier	Plan 4018	Two-story	3,167 sq. ft.

Environmental Review

The project is considered Categorical Exempt under Section 15305 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2017-75). This exemption is based on the project being characterized as a conditional use permit, which is a minor alteration to land use limitations that does not result in changes in land use or density.

RECOMMENDED FINDINGS

1. That the proposed project, as conditioned, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
 - A. The proposed location of the conditional use is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located.
 - B. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity.
 - C. That the proposed project is consistent with the policies and intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance. The project specifically supports General Plan Land Use policies related to efficient land use absorption (Policy LU-P-19, LU-P-45), and to encouraging a variety of housing products (LU-P-50).

3. The project is considered Categorical Exempt under Section 15305 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2017-75). This exemption is based on the project being characterized as a conditional use permit, which is a minor alteration to land use limitations that does not result in changes in land use or density.

RECOMMENDED CONDITIONS OF APPROVAL

1. That the following minimum building setbacks be maintained for the project:

• Front Yard Setback (habitable space):	15-ft.
• Garages (<i>est. per the Mixed Lot Provisions of former Zoning Ordinance</i>):	20-ft.
• Side Yard:	5-ft.
• Street Side:	10-ft.
• Rear Yard: (except for Lots 1-16, Lots 33-49, & Lot 51)	16-ft.
• Rear Yard for Lots 1-16, Lots 33-49, & Lot 51:	20-ft. (2-story) 17-ft. (single-story)
• Lot 50 (shall be developed with Countess Plan 4004):	(See Exhibit "G" for Lot 50 setbacks)
2. That the 20-foot rear yard setback for Lots 1-16, Lots 33-49, & Lot 51 be retained for any two-story house plan proposed on the lots identified.
3. That a 17-foot rear yard setback be retained for Lots 1-16, Lots 33-49, & Lot 51 if developed with the Duke Plan 4002, as depicted in Exhibit "C".
4. That Lot 50 be developed only with the Countess Plan (Plan 4004, two-story) and shall be developed with the setbacks as depicted on Exhibit "G".
5. That the building elevations be developed in substantial compliance with the elevations shown in Exhibits "B", "C", "D", "E", and "F".
6. That landscape and irrigation plans, prepared in accordance with the City of Visalia Model Water Efficient Landscape Ordinance, shall be included in the construction document plans submitted for either grading or civil improvement plans.
7. Provide street trees per the City's Street Tree Ordinance.
8. That all other federal and state laws and city codes and ordinances be complied with.

APPEAL INFORMATION

According to the City of Visalia Zoning Ordinance Section 17.02.145, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal with applicable fees shall be in writing and shall be filed with the City Clerk at 220 N. Santa Fe Street, Visalia, CA 93292. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website www.ci.visalia.ca.us or from the City Clerk.

Attachments:

- Related Plans and Policies
- Resolution No. 2017-74 (Conditional Use Permit No. 2017-33)
- Exhibit "A" – Eagle Meadows of Visalia 20 Subdivision Map No. 5512
- Exhibit "B" – Duchess Plan 4001, Single-story 1,766 sq. ft.
- Exhibit "C" – Duke Plan 4002, Single-story 1,899 sq. ft.
- Exhibit "D" – Countess Plan 4004, Two-story 2,244 sq. ft.
- Exhibit "E" – Camelot Plan 4017, Two-story 2,798 sq. ft.
- Exhibit "F" – Chevalier Plan 4018, Two-story 3,167 sq. ft.
- Exhibit "G" – Lot 50 Plot Plan (developed with Countess Plan 4004)
- General Plan Land Use Map
- Zoning Map
- Aerial Map
- Vicinity Map

RELATED PLANS AND POLICIES

General Plan and Zoning: The following General Plan and Zoning Ordinance policies apply to the proposed project:

General Plan Land Use:

LU-P-19 Ensure that growth occurs in a compact and concentric fashion by implementing the General Plan's phased growth strategy.

The General Plan Land Use Diagram establishes three growth rings to accommodate estimated City population for the years 2020 and 2030. The Urban Development Boundary I (UDB I) shares its boundaries with the 2012 city limits. The Urban Development Boundary II (UDB II) defines the urbanizable area within which a full range of urban services will need to be extended in the first phase of anticipated growth with a target buildout population of 178,000. The Urban Growth Boundary (UGB) defines full buildout of the General Plan with a target buildout population of 210,000. Each growth ring enables the City to expand in all four quadrants, reinforcing a concentric growth pattern.

LU-P-45 Promote development of vacant, underdeveloped, and/or redevelopable land within the City limits where urban services are available and adopt a bonus/incentive program to promote and facilitate infill development in order to reduce the need for annexation and conversion of prime agricultural land and achieve the objectives of compact development established in this General Plan.

LU-P-50 Provide development standards to ensure that a mix of detached and attached single-family and multi-family housing types can be compatible in a single development.

Development standards may include but not be limited to requiring heights, setbacks, and building massing to be in scale with surrounding uses or to provide a transition in scale and character; and establishing the spacing of curb cuts and location of parking.

Conditional Use Permits (Section 17.38)

17.38.010 Purposes and powers.

In certain zones conditional uses are permitted subject to the granting of a conditional use permit. Because of their unusual characteristics, conditional uses require special consideration so that they may be located properly with respect to the objectives of the zoning ordinance and with respect to their effects on surrounding properties. In order to achieve these purposes and thus give the zone use regulations the flexibility necessary to achieve the objectives of this title, the planning commission is empowered to grant or deny applications for conditional use permits and to impose reasonable conditions upon the granting of such permits. (Prior code § 7525)

17.38.020 Application procedures.

- A. Application for a conditional use permit shall be made to the planning commission on a form prescribed by the commission which shall include the following data:
 - 1. Name and address of the applicant;
 - 2. Statement that the applicant is the owner of the property or is the authorized agent of the owner;
 - 3. Address and legal description of the property;
 - 4. The application shall be accompanied by such sketches or drawings as may be necessary by the planning division to clearly show the applicant's proposal;
 - 5. The purposes of the conditional use permit and the general description of the use proposed;
 - 6. Additional information as required by the historic preservation advisory committee.
- B. The application shall be accompanied by a fee set by resolution of the city council sufficient to cover the cost of handling the application. (Prior code § 7526)

17.38.030 Lapse of conditional use permit.

A conditional use permit shall lapse and shall become void twenty-four (24) months after the date on which it became effective, unless the conditions of the permit allowed a shorter or greater time limit, or unless prior to the expiration of twenty-four (24) months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site which was the subject of the permit. A permit may be renewed for an additional period of one year; provided, that prior to the expiration of twenty-four (24) months from the date the permit originally became effective, an application for renewal is filed with the planning commission. The commission may grant or deny an application for renewal of a conditional use permit. In the case of a planned residential development, the recording of a final map and improvements thereto shall be deemed the same as a building permit in relation to this section. (Ord. 2001-13 § 4 (part), 2001: prior code § 7527)

17.38.040 Revocation.

Upon violation of any applicable provision of this title, or, if granted subject to a condition or conditions, upon failure to comply with the condition or conditions, a conditional use permit shall be suspended automatically. The planning commission shall hold a public hearing within sixty (60) days, in accordance with the procedure prescribed in Section 17.38.080, and if not satisfied that the regulation, general provision or condition is being complied with, may revoke the permit or take such action as may be necessary to insure compliance with the regulation, general provision or condition. Appeals of the decision of the planning commission may be made to the city council as provided in Section 17.38.120. (Prior code § 7528)

17.38.050 New application.

Following the denial of a conditional use permit application or the revocation of a conditional use permit, no application for a conditional use permit for the same or substantially the same conditional use on the same or substantially the same site shall be filed within one year from the date of denial or revocation of the permit unless such denial was a denial without prejudice by the planning commission or city council. (Prior code § 7530)

17.38.060 Conditional use permit to run with the land.

A conditional use permit granted pursuant to the provisions of this chapter shall run with the land and shall continue to be valid upon a change of ownership of the site or structure which was the subject of the permit application subject to the provisions of Section 17.38.065. (Prior code § 7531)

17.38.065 Abandonment of conditional use permit.

If the use for which a conditional use permit was approved is discontinued for a period of one hundred eighty (180) days, the use shall be considered abandoned and any future use of the site as a conditional use will require the approval of a new conditional use permit.

17.38.070 Temporary uses or structures.

- A. Conditional use permits for temporary uses or structures may be processed as administrative matters by the city planner and/or planning division staff. However, the city planner may, at his/her discretion, refer such application to the planning commission for consideration.
- B. The city planner and/or planning division staff is authorized to review applications and to issue such temporary permits, subject to the following conditions:
 1. Conditional use permits granted pursuant to this section shall be for a fixed period not to exceed thirty (30) days for each temporary use not occupying a structure, including promotional enterprises, or six months for all other uses or structures.
 2. Ingress and egress shall be limited to that designated by the planning division. Appropriate directional signing, barricades, fences or landscaping shall be provided where required. A security officer may be required for promotional events.
 3. Off-street parking facilities shall be provided on the site of each temporary use as prescribed in Section 17.34.020.
 4. Upon termination of the temporary permit, or abandonment of the site, the applicant shall remove all materials and equipment and restore the premises to their original condition.
 5. Opening and closing times for promotional enterprises shall coincide with the hours of operation of the sponsoring commercial establishment. Reasonable time limits for other uses may be set by the city planner and planning division staff.
 6. Applicants for a temporary conditional use permit shall have all applicable licenses and permits prior to issuance of a conditional use permit.
 7. Signing for temporary uses shall be subject to the approval of the city planner.
 8. Notwithstanding underlying zoning, temporary conditional use permits may be granted for fruit and vegetable stands on properties primarily within undeveloped agricultural areas. In reviewing applications for such stands, issues of traffic safety and land use compatibility shall be evaluated and mitigation measures and conditions may be imposed to ensure that the stands are built and are operated consistent with appropriate construction standards, vehicular access and off-street parking. All fruits and vegetables sold at such stands shall be grown by the owner/operator or purchased by said party directly from a grower/farmer.
- C. The applicant may appeal an administrative decision to the planning commission. (Ord. 9605 § 30 (part), 1996; prior code § 7532)

17.38.080 Public hearing--Notice.

- A. The planning commission shall hold at least one public hearing on each application for a conditional use permit.
- B. Notice of the public hearing shall be given not less than ten days nor more than thirty (30) days prior to the date of the hearing by mailing a notice of the time and place of the hearing to property owners within three hundred (300) feet of the boundaries of the area occupied or to be occupied by the use which is the subject of the hearing, and by publication in a newspaper of general circulation within the city. (Prior code § 7533)

17.38.090 Investigation and report.

The planning staff shall make an investigation of the application and shall prepare a report thereon which shall be submitted to the planning commission. (Prior code § 7534)

17.38.100 Public hearing--Procedure.

At the public hearing the planning commission shall review the application and the statement and drawing submitted therewith and shall receive pertinent evidence concerning the proposed use and the proposed conditions under which it would be operated or maintained, particularly with respect to the findings prescribed in Section 17.38.110. The planning commission may continue a public hearing from time to time as it deems necessary. (Prior code § 7535)

17.38.110 Action by planning commission.

- A. The planning commission may grant an application for a conditional use permit as requested or in modified form, if, on the basis of the application and the evidence submitted, the commission makes the following findings:
 - 1. That the proposed location of the conditional use is in accordance with the objectives of the zoning ordinance and the purposes of the zone in which the site is located;
 - 2. That the proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.
- B. A conditional use permit may be revocable, may be granted for a limited time period, or may be granted subject to such conditions as the commission may prescribe. The commission may grant conditional approval for a permit subject to the effective date of a change of zone or other ordinance amendment.
- C. The commission may deny an application for a conditional use permit. (Prior code § 7536)

17.38.120 Appeal to city council.

The decision of the City planning commission on a conditional use permit shall be subject to the appeal provisions of Section 17.02.145. (Prior code § 7537) (Ord. 2006-18 § 6, 2007)

17.38.130 Effective date of conditional use permit.

A conditional use permit shall become effective immediately when granted or affirmed by the council, or upon the sixth working day following the granting of the conditional use permit by the planning commission if no appeal has been filed. (Prior code § 7539)

RESOLUTION NO. 2017-74

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2017-33, A REQUEST BY LENNAR HOMES OF CALIFORNIA, INC., TO ESTABLISH A PLANNED RESIDENTIAL DEVELOPMENT WITH MODIFIED REAR YARD SETBACKS FOR A 94-LOT APPROVED AND RECORDED EAGLE MEADOWS OF VISALIA 20 SUBDIVISION MAP. THE EAGLE MEADOWS OF VISALIA 20 SUBDIVISION MAP IS LOCATED ON THE EAST SIDE OF NORTH MOONEY BOULEVARD BETWEEN WEST FERGUSON AVENUE AND WEST RIGGIN AVENUE (APN: 090-010-008)

WHEREAS, Conditional Use Permit No. 2017-33, is a request by Lennar Homes of California, Inc., to establish a Planned Residential Development with modified rear yard setbacks for a 94-lot approved and recorded Eagle Meadows of Visalia 20 subdivision map. The Eagle Meadows of Visalia 20 subdivision map is located on the east side of North Mooney Boulevard between West Ferguson Avenue and West Riggin Avenue (APN: 090-010-008); and

WHEREAS, the Planning Commission of the City of Visalia, after duly published notice did hold a public hearing before said Commission on October 23, 2017; and

WHEREAS, the Planning Commission of the City of Visalia finds the Conditional Use Permit to be in accordance with Chapter 17.38.110 of the Zoning Ordinance of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and

WHEREAS, the Planning Commission finds the project to be Categorically Exempt consistent with the California Environmental Quality Act (CEQA) and City of Visalia Environmental Guidelines.

NOW, THEREFORE, BE IT RESOLVED that the project is exempt from further environmental review pursuant to CEQA Section 15305.

NOW, THEREFORE, BE IT FURTHER RESOLVED that the Planning Commission of the City of Visalia makes the following specific findings based on the evidence presented:

1. That the proposed project, as conditioned, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
 - A. The proposed location of the conditional use is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located.

- B. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity.
 - C. That the proposed project is consistent with the policies and intent of the General Plan, Zoning Ordinance, and Subdivision Ordinance. The project specifically supports General Plan Land Use policies related to efficient land use absorption (Policy LU-P-19, LU-P-45), and to encouraging a variety of housing products (LU-P-50).
3. The project is considered Categorically Exempt under Section 15305 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2017-75). This exemption is based on the project being characterized as a conditional use permit, which is a minor alteration to land use limitations that does not result in changes in land use or density.

BE IT FURTHER RESOLVED that the Planning Commission hereby approves the Conditional Use Permit on the real property here in above described in accordance with the terms of this resolution under the provisions of Section 17.38.110 of the Ordinance Code of the City of Visalia, subject to the following conditions:

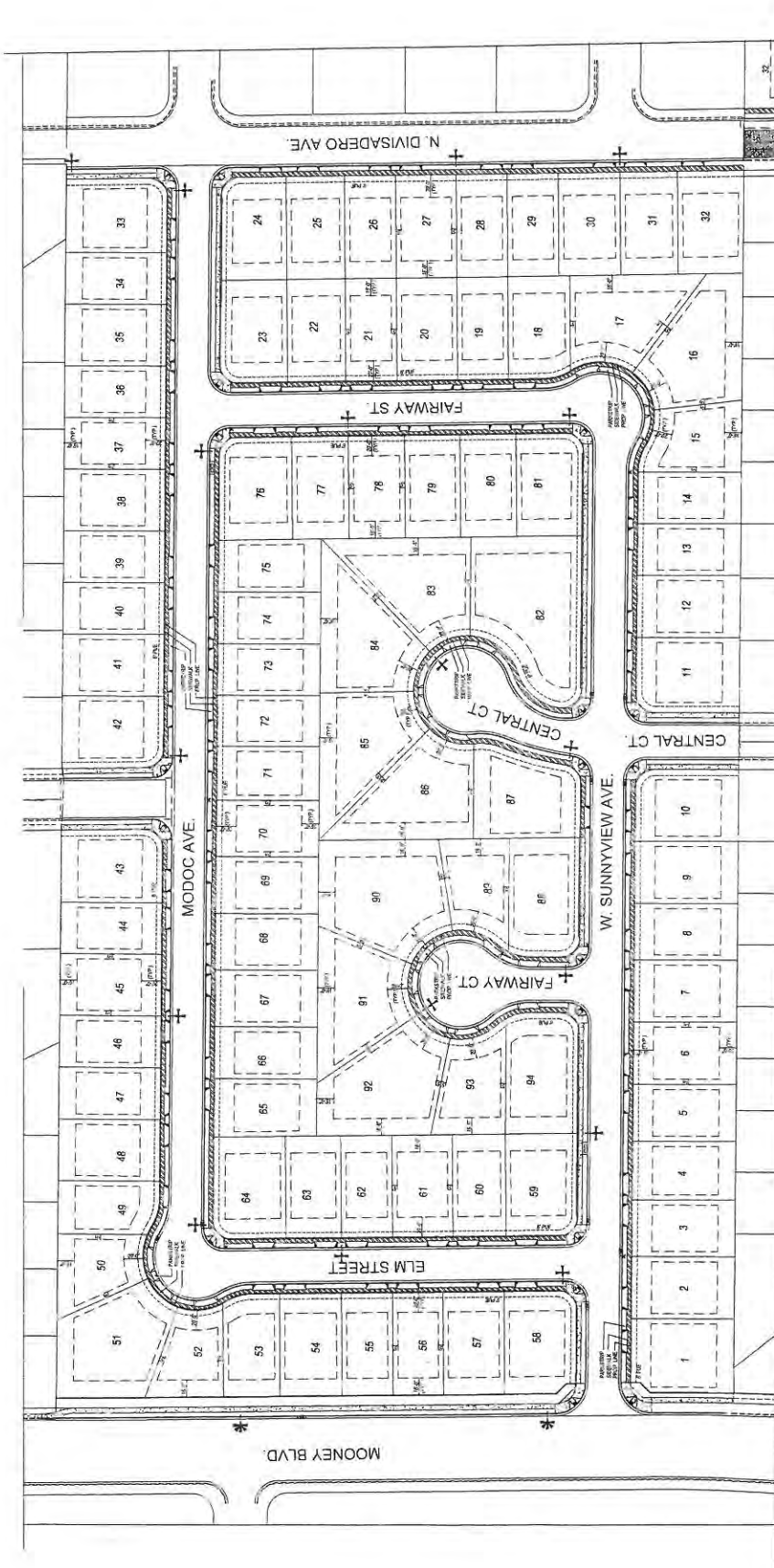
1. That the following minimum building setbacks be maintained for the project:

- Front Yard Setback (habitable space): 15-ft.
- Garages (*est. per the Mixed Lot Provisions of former Zoning Ordinance*): 20-ft.
- Side Yard: 5-ft.
- Street Side: 10-ft.
- Rear Yard: (except for Lots 1-16, Lots 33-49, & Lot 51) 16-ft.
- Rear Yard for Lots 1-16, Lots 33-49, & Lot 51: 20-ft. (2-story)
17-ft. (single-story)
- Lot 50 (shall be developed with Countess Plan 4004): (See Exhibit "G" for Lot 50 setbacks)

- 2. That the 20-foot rear yard setback for Lots 1-16, Lots 33-49, & Lot 51 be retained for any two-story house plan proposed on the lots identified.
- 3. That a 17-foot rear yard setback be retained for Lots 1-16, Lots 33-49, & Lot 51 if developed with the Duke Plan 4002, as depicted in Exhibit "C".
- 4. That Lot 50 be developed only with the Countess Plan (Plan 4004, two-story) and shall be developed with the setbacks as depicted on Exhibit "G".
- 5. That the building elevations be developed in substantial compliance with the elevations shown in Exhibits "B", "C", "D", "E", and "F".

6. That landscape and irrigation plans, prepared in accordance with the City of Visalia Model Water Efficient Landscape Ordinance, shall be included in the construction document plans submitted for either grading or civil improvement plans.
7. Provide street trees per the City's Street Tree Ordinance.
8. That all other federal and state laws and city codes and ordinances be complied with.

TRACT: EAGLES MEADOW 20
 PROPOSED BUILDING SETBACKS: C.U.P.# _____



ZONING R-1.5 (PROPOSED WITH THE CONDITIONAL USE (C.U.P.#))
 FRONT YARD SETBACK: MINIMUM SPACING AND SETBACKS SHALL BE SIX FEET FOR FRONT LOADINGS (GARAGES OR OTHER BUILDINGS) AND FIVE FEET FOR FRONT LOADINGS (GARAGES OR OTHER BUILDINGS) LOCATED IN THE REAR YARD, BUT NOT LIMITED TO GARAGES, PORCHES, PATIOS, OR OTHER STRUCTURES.
 SIDE YARD SETBACK: MINIMUM SPACING AND SETBACKS SHALL BE SIX FEET FOR SIDE LOADINGS (GARAGES OR OTHER BUILDINGS) LOCATED IN THE REAR YARD, BUT NOT LIMITED TO GARAGES, PORCHES, PATIOS, OR OTHER STRUCTURES.
 REAR YARD SETBACK: MINIMUM SPACING AND SETBACKS SHALL BE SIX FEET FOR REAR LOADINGS (GARAGES OR OTHER BUILDINGS) LOCATED IN THE REAR YARD, BUT NOT LIMITED TO GARAGES, PORCHES, PATIOS, OR OTHER STRUCTURES.
 CORNER LOTS: ALL FRONT LOADINGS OF CORNER LOTS SHALL BE A MINIMUM OF TWENTY (20) FEET FROM THE NEAREST PUBLIC IMPROVEMENT OR SIDEWALK.
 REAR YARD SETBACK: MINIMUM SPACING AND SETBACKS SHALL BE SIX FEET FOR REAR LOADINGS (GARAGES OR OTHER BUILDINGS) LOCATED IN THE REAR YARD, BUT NOT LIMITED TO GARAGES, PORCHES, PATIOS, OR OTHER STRUCTURES.
 IN THE R-1.5 SINGLE FAMILY RESIDENTIAL ZONING, THE MINIMUM YARD SHALL BE SIXTEEN (16) FEET.

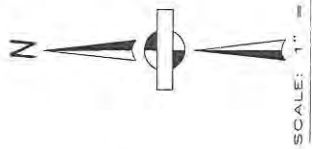


Exhibit “B”

“The Duchess”

(Plan 4001) – 1,766 sq. ft.

One-story

THE DUCHESS

The Chateau Series at Vistas

Approx. 1,766 sq. ft.

Single Story

3 Bedrooms

2 Bathrooms

2-Bay Garage



The Duchess A



The Duchess B



The Duchess C

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THE DUCHESS

The Chateau Series at Vistas

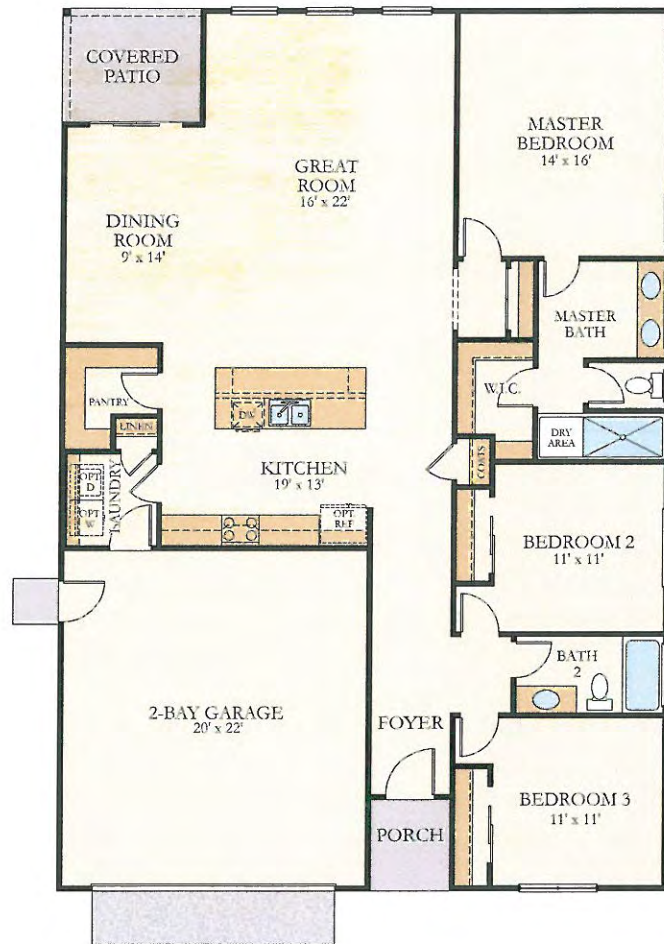
Approx. 1,766 sq. ft.

Single Story

3 Bedrooms

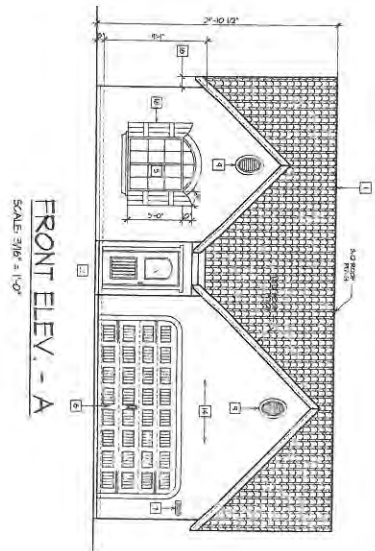
2 Bathrooms

2-Bay Garage

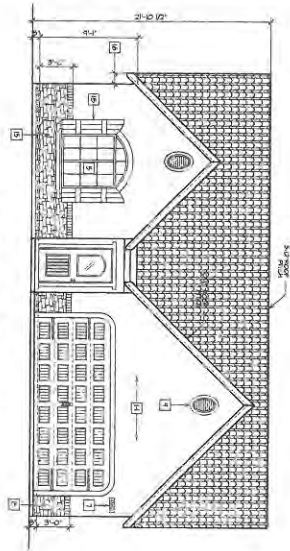


Plans and elevations are artist's renderings and may contain options which are not standard on all models. Lennar reserves the right to make changes to these floor plans, specifications, dimensions and elevations without prior notice. Stated dimensions and square footage are approximate and should not be used as representation of the home's precise or actual size. Any statement, verbal or written, regarding "under air" or "finished area" or any other description or modifier of the square footage size of any home is a shorthand description of the manner in which the square footage was estimated and should not be construed to indicate certainty. Stated dimensions and square footage are approximate and should not be used as representation of the home's precise or actual size. Renderings are conceptual in nature and merely an artist's rendition. These renderings are solely for illustrative purposes and should never be relied upon. Bay size may vary from home to home and may not accommodate all vehicles. Lennar Fresno, Inc. d/b/a Cambridge Homes - License #821180. Lennar Homes of California, Inc. License #728102. Lennar Sales Corp. - California Bureau of Real Estate License #01252753. Copyright © 2017 Lennar Corporation. All rights reserved. Lennar and the Lennar logo are registered service marks or service marks of Lennar Corporation and/or its subsidiaries. 4/17

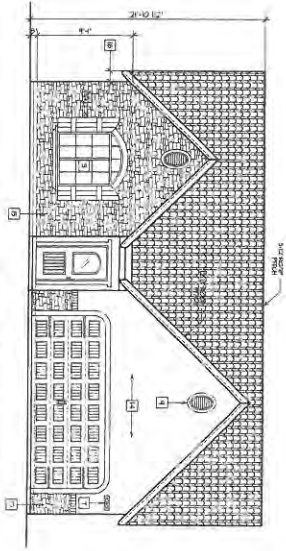




FRONT ELEV. - A
SCALE 3/16" = 1'-0"



FRONT ELEV. - B
SCALE 3/16" = 1'-0"



FRONT ELEV. - C
SCALE 3/16" = 1'-0"

(FLOPPED)

ELEVATION KEYNOTES

- 1. GENERAL: REFER TO THE GENERAL NOTES ON SHEET 101 FOR A COMPLETE LIST OF NOTES.
- 2. FINISHES: REFER TO THE FINISHES SCHEDULE ON SHEET 101 FOR A COMPLETE LIST OF FINISHES.
- 3. MATERIALS: REFER TO THE MATERIALS SCHEDULE ON SHEET 101 FOR A COMPLETE LIST OF MATERIALS.
- 4. ROOFING: REFER TO THE ROOFING SCHEDULE ON SHEET 101 FOR A COMPLETE LIST OF ROOFING.
- 5. PAINTS: REFER TO THE PAINTS SCHEDULE ON SHEET 101 FOR A COMPLETE LIST OF PAINTS.
- 6. GLAZING: REFER TO THE GLAZING SCHEDULE ON SHEET 101 FOR A COMPLETE LIST OF GLAZING.
- 7. LIGHTING: REFER TO THE LIGHTING SCHEDULE ON SHEET 101 FOR A COMPLETE LIST OF LIGHTING.
- 8. MECHANICAL: REFER TO THE MECHANICAL SCHEDULE ON SHEET 101 FOR A COMPLETE LIST OF MECHANICAL.
- 9. ELECTRICAL: REFER TO THE ELECTRICAL SCHEDULE ON SHEET 101 FOR A COMPLETE LIST OF ELECTRICAL.
- 10. PLUMBING: REFER TO THE PLUMBING SCHEDULE ON SHEET 101 FOR A COMPLETE LIST OF PLUMBING.
- 11. HEATING: REFER TO THE HEATING SCHEDULE ON SHEET 101 FOR A COMPLETE LIST OF HEATING.
- 12. AIR CONDITIONING: REFER TO THE AIR CONDITIONING SCHEDULE ON SHEET 101 FOR A COMPLETE LIST OF AIR CONDITIONING.
- 13. FLOORING: REFER TO THE FLOORING SCHEDULE ON SHEET 101 FOR A COMPLETE LIST OF FLOORING.
- 14. WALLS: REFER TO THE WALLS SCHEDULE ON SHEET 101 FOR A COMPLETE LIST OF WALLS.
- 15. CEILING: REFER TO THE CEILING SCHEDULE ON SHEET 101 FOR A COMPLETE LIST OF CEILING.
- 16. DOORS: REFER TO THE DOORS SCHEDULE ON SHEET 101 FOR A COMPLETE LIST OF DOORS.
- 17. WINDOWS: REFER TO THE WINDOWS SCHEDULE ON SHEET 101 FOR A COMPLETE LIST OF WINDOWS.
- 18. EXTERIOR: REFER TO THE EXTERIOR SCHEDULE ON SHEET 101 FOR A COMPLETE LIST OF EXTERIOR.
- 19. INTERIOR: REFER TO THE INTERIOR SCHEDULE ON SHEET 101 FOR A COMPLETE LIST OF INTERIOR.
- 20. OTHER: REFER TO THE OTHER SCHEDULE ON SHEET 101 FOR A COMPLETE LIST OF OTHER.

NOTE FOR R/O/JANIT BARBERS:

UP TO 10'0" MAXIMUM HEIGHT FROM FINISH FLOOR TO TOP OF ROOFING SHALL BE COVERED BY 1" BATTING AND INSULATION TO MEET ENERGY EFFICIENCY AND SOUND ATTENUATION AS SHOWN ON SHEET 101.

STONE VENER NOTE:

WHERE AND HOW STONE VENER SHALL BE INSTALLED SHALL BE INDICATED BY THE ARCHITECT. REFER TO THE GENERAL NOTES ON SHEET 101 FOR A COMPLETE LIST OF NOTES.



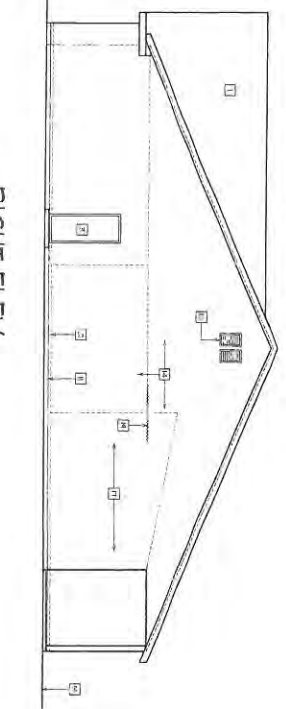
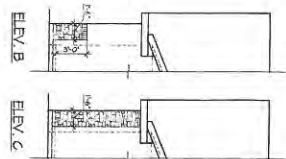
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PREPARED BY:
RLC DESIGN PROGRESSIONS
 222 N. FIRST ST. # 100, FRESNO, CA 93710
 PHONE: (559) 447-3400

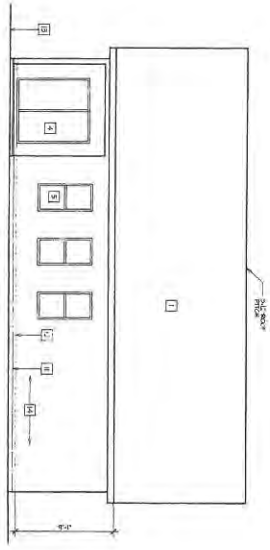

8080 N. PALM AVE. SUITE 110, FRESNO, CA 93711 PHONE (559) 447-3400

VISALIA
PLAN 4001 (DUCHESS)
 DESIGN BY: [] DRAWN: [] DATE: JANUARY 12, 2011 PROJECT: 1707

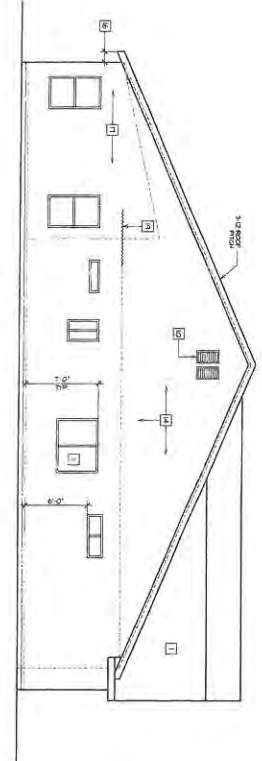
The information, arrangements and ideas represented within these drawings are the property of Lennar Homes. No part shall be copied, disclosed to others, or used in any manner without the written consent of Lennar Homes.



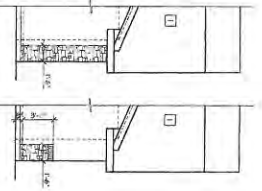
RIGHT ELEV.
SCALE 3/8" = 1'-0"



REAR ELEV.
SCALE 3/8" = 1'-0"



TYP. LEFT ELEV.
SCALE 3/8" = 1'-0"



ELEV. G
ELEV. B

(FLOPPED)

<input type="checkbox"/>	ELEVATION KEYNOTES
<input type="checkbox"/>	SEE SHEET A-2 FOR CORRESPONDING ELEVATION KEYNOTES
<p>NOTE FOR RADIANT BASEBOARDS: UP TO 2000' OF RADIANT BASEBOARD (E.G. 2000' BY 10' BUILDING) REQUIRES APPROX. 10,000 BTU/H. AIR-HEATING EQUIPMENT OF 10,000 BTU/H. IS REQUIRED FOR EACH 1000' OF RADIANT BASEBOARD.</p>	



Modeling, layout, and construction of the drawings are the responsibility of the drafter. The drafter shall be responsible for the accuracy of the drawings. The drafter shall be responsible for the accuracy of the drawings. The drafter shall be responsible for the accuracy of the drawings.

SHEET NO
A-3
OF SHEETS

PREPARED BY:
RLC DESIGN PROGRESSIONS
 1514 N. GARDEN ST. #102 FRESNO, CA 93710
 PHONE: (559) 415-2442

LENNAR
 8080 N. PALM AVE. SUITE 110, FRESNO, CA 93711 PHONE (559) 447-3400

VISALIA
 PLAN 4001 (DUCHESS)

DESIGN BY	DRWHN	DATE	PROJECT
LENNAR	HD, RLC	JANUARY 10, 2011	101

REV	DATE
1	10-11
2	
3	
4	
5	

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Exhibit “C”

“The Duke”

(Plan 4002) – 1,899 sq. ft.

One-story

THE DUKE

The Chateau Series at Vistas

Approx. 1,899 sq. ft.

Single Story

3 Bedrooms

2 Bathrooms

Flex Room

2-Bay Garage



The Duke A



The Duke B



The Duke C

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559-994-6567 | Lennar.com

THE DUKE

The Chateau Series at Vistas

Approx. 1,899 sq. ft.

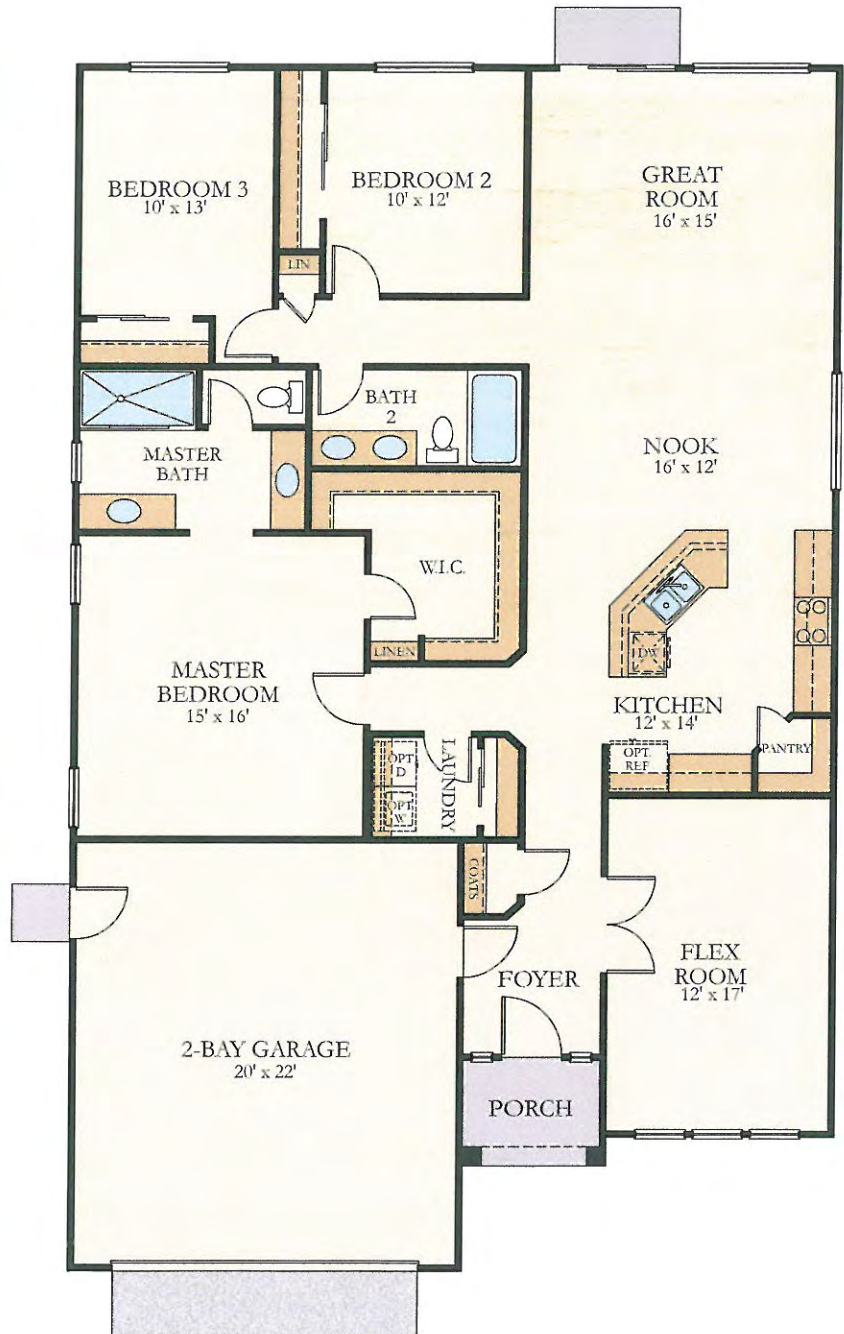
Single Story

3 Bedrooms

2 Bathrooms

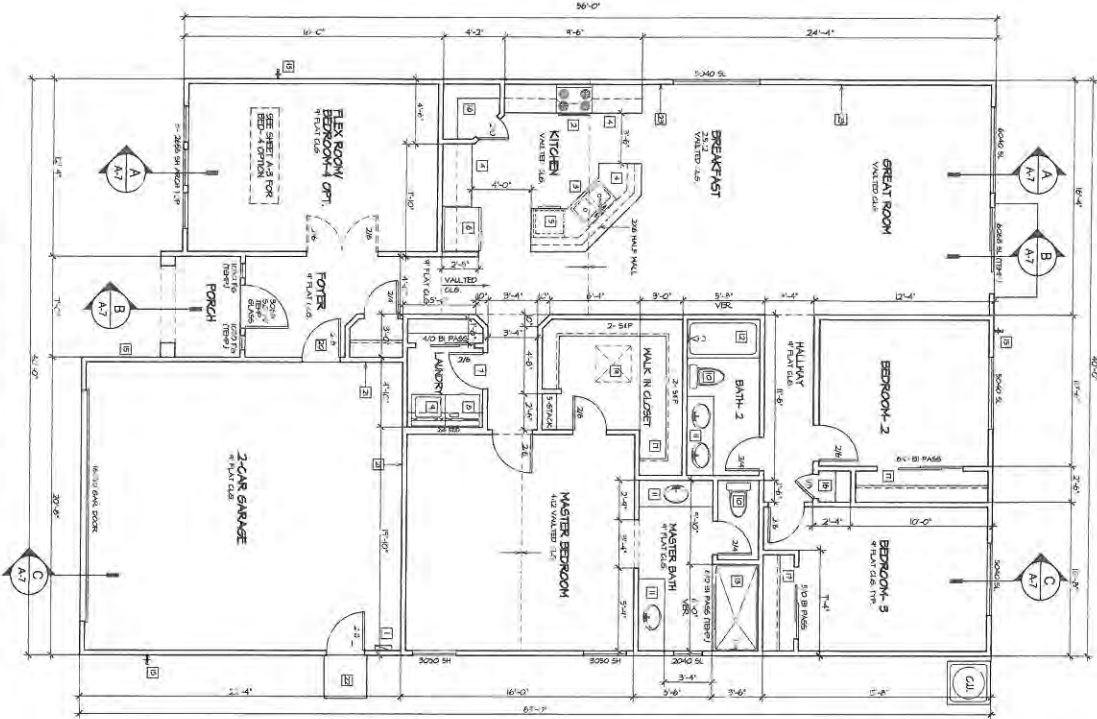
Flex Room

2-Bay Garage



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FLOOR PLAN 1849 SQ. FT.
SCALE: 1/4" = 1'-0"

FLOOR PLAN KEY NOTES:

1. EXTERIOR FINISHES: EXTERIOR WALLS SHALL BE 1/2" THICK TYPE III PORTLAND CEMENT MORTAR OVER 4" THICK CONCRETE BLOCK. EXTERIOR ROOF SHALL BE 2" THICK POLYISOCYANURATE (PIR) INSULATION OVER 1/2" THICK GYP-SOFT BOARD OVER 2" THICK 1/2" x 6" x 12" JOISTS. EXTERIOR FLOORING SHALL BE 3/4" THICK POLYURETHANE FLOORING OVER 1/2" THICK GYP-SOFT BOARD OVER 2" THICK 1/2" x 6" x 12" JOISTS.
2. INTERIOR FINISHES: INTERIOR WALLS SHALL BE 5/8" THICK GYP-SOFT BOARD OVER 1/2" THICK GYP-SOFT BOARD OVER 2" THICK 1/2" x 6" x 12" JOISTS. INTERIOR ROOF SHALL BE 2" THICK POLYISOCYANURATE (PIR) INSULATION OVER 1/2" THICK GYP-SOFT BOARD OVER 2" THICK 1/2" x 6" x 12" JOISTS. INTERIOR FLOORING SHALL BE 3/4" THICK POLYURETHANE FLOORING OVER 1/2" THICK GYP-SOFT BOARD OVER 2" THICK 1/2" x 6" x 12" JOISTS.
3. CEILING FINISHES: CEILING SHALL BE 5/8" THICK GYP-SOFT BOARD OVER 2" THICK 1/2" x 6" x 12" JOISTS.
4. DOORS: DOORS SHALL BE 1 3/4" THICK SOLID CORE DOORS WITH 1 3/4" THICK SOLID CORE DOOR CASINGS.
5. WINDOWS: WINDOWS SHALL BE 1 3/4" THICK SOLID CORE WINDOWS WITH 1 3/4" THICK SOLID CORE WINDOW CASINGS.
6. LIGHTING: LIGHTING SHALL BE 1 1/2" THICK RECESSED CAN LIGHTS WITH 1 1/2" THICK RECESSED CAN LIGHT CASINGS.
7. SWITCHES: SWITCHES SHALL BE 1 1/2" THICK RECESSED SWITCHES WITH 1 1/2" THICK RECESSED SWITCH CASINGS.
8. ELECTRICAL: ELECTRICAL SHALL BE 1 1/2" THICK RECESSED ELECTRICAL BOXES WITH 1 1/2" THICK RECESSED ELECTRICAL BOX CASINGS.
9. PLUMBING: PLUMBING SHALL BE 1 1/2" THICK RECESSED PLUMBING FIXTURES WITH 1 1/2" THICK RECESSED PLUMBING FIXTURE CASINGS.
10. MECHANICAL: MECHANICAL SHALL BE 1 1/2" THICK RECESSED MECHANICAL FIXTURES WITH 1 1/2" THICK RECESSED MECHANICAL FIXTURE CASINGS.
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15. ELEVATOR: ELEVATOR SHALL BE 1 1/2" THICK RECESSED ELEVATOR WITH 1 1/2" THICK RECESSED ELEVATOR CASINGS.
16. RAMP: RAMP SHALL BE 1 1/2" THICK RECESSED RAMP WITH 1 1/2" THICK RECESSED RAMP CASINGS.
17. BALCONY: BALCONY SHALL BE 1 1/2" THICK RECESSED BALCONY WITH 1 1/2" THICK RECESSED BALCONY CASINGS.
18. TERRACE: TERRACE SHALL BE 1 1/2" THICK RECESSED TERRACE WITH 1 1/2" THICK RECESSED TERRACE CASINGS.
19. DRIVEWAY: DRIVEWAY SHALL BE 1 1/2" THICK RECESSED DRIVEWAY WITH 1 1/2" THICK RECESSED DRIVEWAY CASINGS.
20. PORCH: PORCH SHALL BE 1 1/2" THICK RECESSED PORCH WITH 1 1/2" THICK RECESSED PORCH CASINGS.
21. PATIO: PATIO SHALL BE 1 1/2" THICK RECESSED PATIO WITH 1 1/2" THICK RECESSED PATIO CASINGS.
22. GARAGE: GARAGE SHALL BE 1 1/2" THICK RECESSED GARAGE WITH 1 1/2" THICK RECESSED GARAGE CASINGS.

FLOOR PLAN NOTES

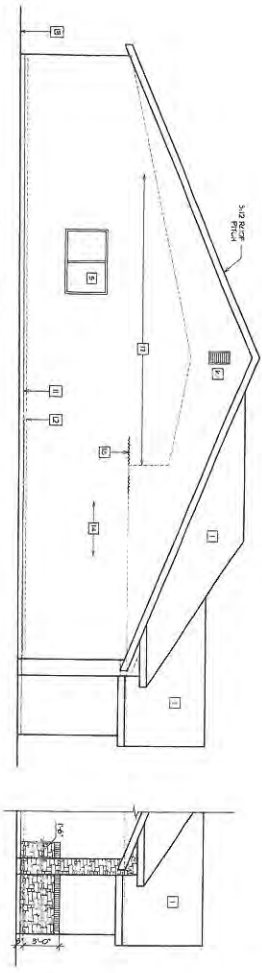
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ENERGY COMPLIANCE SUMMARY

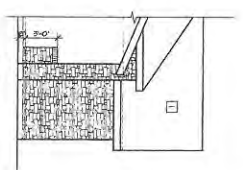
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FLOOR TYPE	R-VALUE
ROOF TYPE	R-VALUE
DOOR TYPE	R-VALUE
WINDOW TYPE	R-VALUE
GLAZING TYPE	U-VALUE
WALL TYPE	R-VALUE
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FLOOR TYPE	R-VALUE
ROOF TYPE	R-VALUE
DOOR TYPE	R-VALUE
WINDOW TYPE	R-VALUE



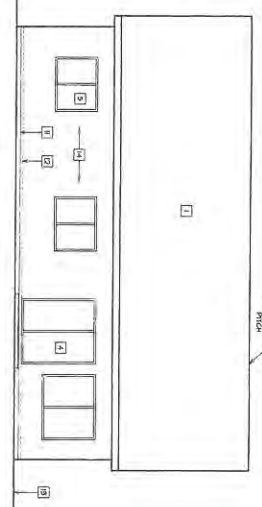
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SHEET NO: A-1
OF SHEETS: 1



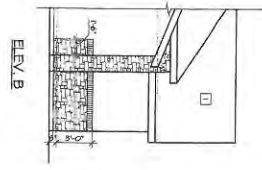
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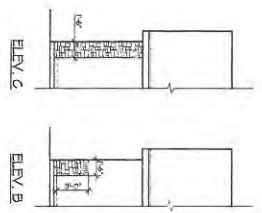
PARTIAL
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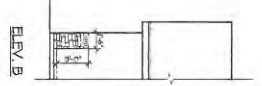
REAR ELEV.
SCALE 3/16" = 1'-0"



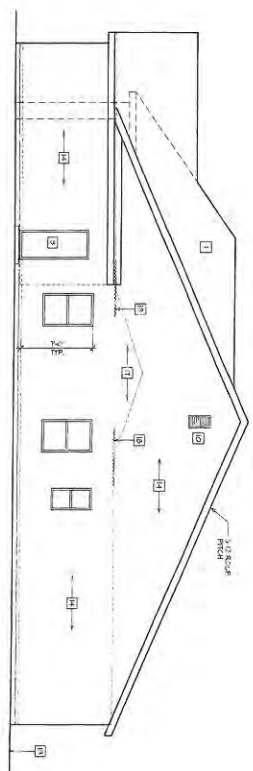
PARTIAL
RIGHT ELEV. B
SCALE 3/16" = 1'-0"



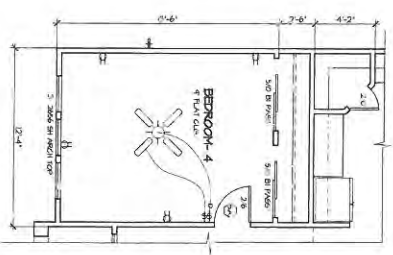
ELEV. C
SCALE 3/16" = 1'-0"



ELEV. B
SCALE 3/16" = 1'-0"



RIGHT ELEV.
SCALE 3/16" = 1'-0"



BEDROOM - 4 OPTION
SCALE 1/4" = 1'-0"

<input type="checkbox"/>	ELEVATION KEYNOTES
<input type="checkbox"/>	SEE SHEET A-2 FOR CORRESPONDING ELEVATION KEYNOTES

NOTE FOR RADIANT BARRIER:
RADIANT BARRIER SHALL BE INSTALLED OVER ALL VERTICAL SURFACES OF RAISED FLOOR SYSTEM EXCEPT UNDER STAIRS AND UNDER BATH TUBS.



SCALE: 3/16" = 1'-0"
DATE: FEB 21, 2017
PROJECT: VISALIA PLAN 4002 (DUKE)

<p>PREPARED BY: RLC DESIGN PROGRESSIONS 822 N. FIRST ST. #100, FRESNO, CA 93710 PHONE: (509) 435-6443</p>	<p>LENNAR</p> <p>8080 N. PALM AVE. SUITE 110, FRESNO, CA. 93711 PHONE (559) 447-3400</p>	<p>VISALIA PLAN 4002 (DUKE)</p>		<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>1/24/17</td> <td></td> </tr> </table>	NO.	DATE	DESCRIPTION	1	1/24/17		<p>The information, drawings and ideas represented within these drawings are the property of Lennar Homes, Inc. and shall not be used, copied, disclosed to others, or used in connection with any other project without the written consent of Lennar Homes.</p>
		NO.	DATE	DESCRIPTION							
1	1/24/17										
<p>DESIGN BY: LDR/K</p>	<p>DATE: 1/24/17</p>	<p>PROJECT: ITOT</p>									

Exhibit “D”

“The Countess”

(Plan 4004) – 2,244 sq. ft.

Two-story

THE COUNTESS

The Chateau Series at Vistas

Approx. 2,244 sq. ft.

Two-Story

4 Bedrooms

2½ Bathrooms

Flex Room

2-Bay Garage with Bonus Space



The Countess A



The Countess B



The Countess C

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559-994-6567 | Lennar.com

THE COUNTESS

The Chateau Series at Vistas

Approx. 2,244 sq. ft.

Two-Story

4 Bedrooms

2½ Bathrooms

Flex Room

2-Bay Garage with Bonus Space



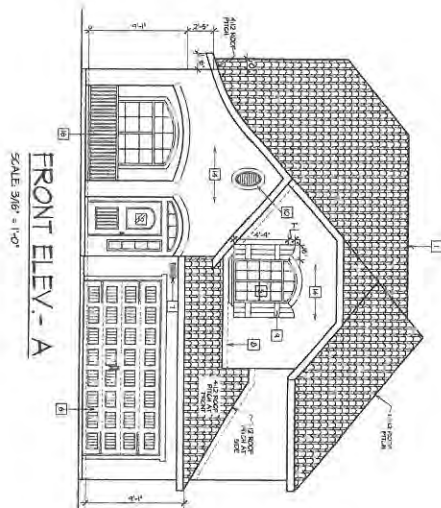
FIRST FLOOR



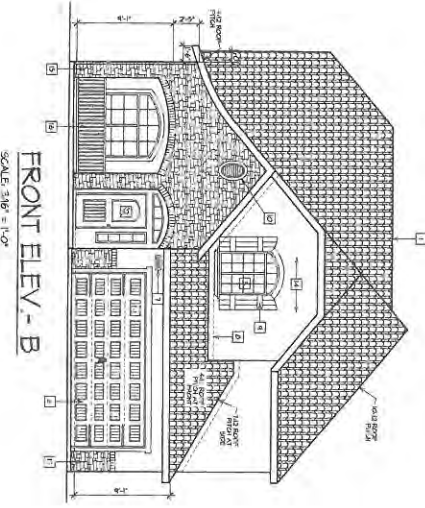
SECOND FLOOR

Plans and elevations are artist's renderings and may contain options which are not standard on all models. Lennar reserves the right to make changes to these floor plans, specifications, dimensions and elevations without prior notice. Stated dimensions and square footage are approximate and should not be used as representation of the home's precise or actual size. Any statement, verbal or written, regarding "under air" or "finished area" or any other description or modifier of the square footage size of any home is a shorthand description of the manner in which the square footage was estimated and should not be construed to indicate certainty. Stated dimensions and square footage are approximate and should not be used as representation of the home's precise or actual size. Renderings are conceptual in nature and merely an artist's rendition. These renderings are solely for illustrative purposes and should never be relied upon. Bay size may vary from home to home, and may not accommodate all vehicles. Lennar Fresno, Inc. d/b/a Cambridge Homes - License #821180. Lennar Homes of California, Inc. License #728102. Lennar Sales Corp. - California Bureau of Real Estate License #01252753. Copyright © 2017 Lennar Corporation. All rights reserved. Lennar and the Lennar logo are registered service marks or service marks of Lennar Corporation and/or its subsidiaries. 4/17

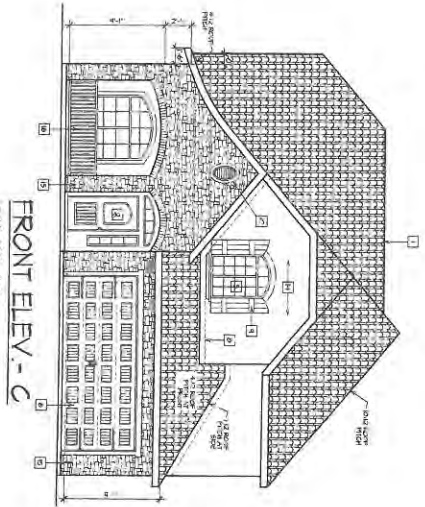




FRONT ELEV.-A
SCALE 3/8" = 1'-0"



FRONT ELEV.-B
SCALE 3/8" = 1'-0"



FRONT ELEV.-C
SCALE 3/8" = 1'-0"

(FLOPPED)

NOTE: ALL DIMENSIONS ARE TO BE MAINTAINED PER THE ARCHITECT'S INTENT. ALL DIMENSIONS ARE TO BE MAINTAINED PER THE ARCHITECT'S INTENT. ALL DIMENSIONS ARE TO BE MAINTAINED PER THE ARCHITECT'S INTENT.

STONE VENEER NOTE: STONE VENEER SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S INTENT. ALL DIMENSIONS ARE TO BE MAINTAINED PER THE ARCHITECT'S INTENT.

ELEVATION KEYNOTES	
1	CONCRETE FOUNDATION SHALL BE PERMITTED TO BE EXPOSED AT THE FRONT PORCH AND SIDE PORCH.
2	FRONT PORCH SHALL BE CONCRETE WITH A FINISH TO MATCH THE MAIN FLOOR FINISH.
3	FRONT PORCH SHALL BE CONCRETE WITH A FINISH TO MATCH THE MAIN FLOOR FINISH.
4	FRONT PORCH SHALL BE CONCRETE WITH A FINISH TO MATCH THE MAIN FLOOR FINISH.
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9	FRONT PORCH SHALL BE CONCRETE WITH A FINISH TO MATCH THE MAIN FLOOR FINISH.
10	FRONT PORCH SHALL BE CONCRETE WITH A FINISH TO MATCH THE MAIN FLOOR FINISH.
11	FRONT PORCH SHALL BE CONCRETE WITH A FINISH TO MATCH THE MAIN FLOOR FINISH.



DATE: 07/15/2011
TIME: 10:00 AM
SCALE: 3/8" = 1'-0"

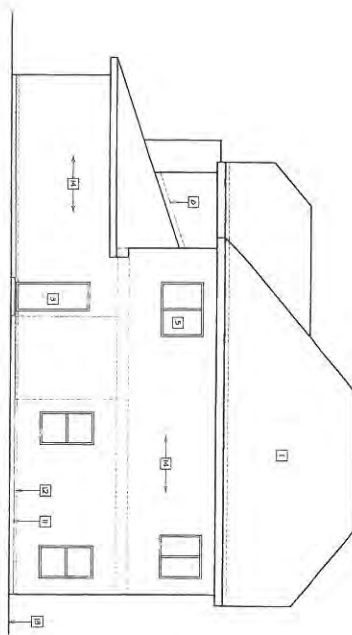
PREPARED BY:
RLC DESIGN PROGRESSIONS
2274 FIRST ST. # 108 FRESNO, CA 93704
PHONE: (559) 435-5445

LENNAR
8080 N. PALM AVE. SUITE 110, FRESNO, CA. 93711 PHONE (559) 447-3400

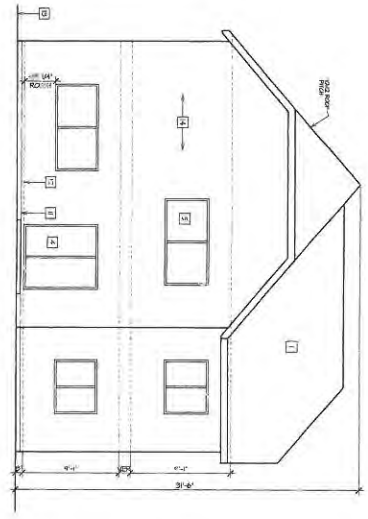
VISALIA
PLAN 4004 (COUNTLESS)

DESIGN BY	DATE	PROJECT
MLW	11/11/10	1412

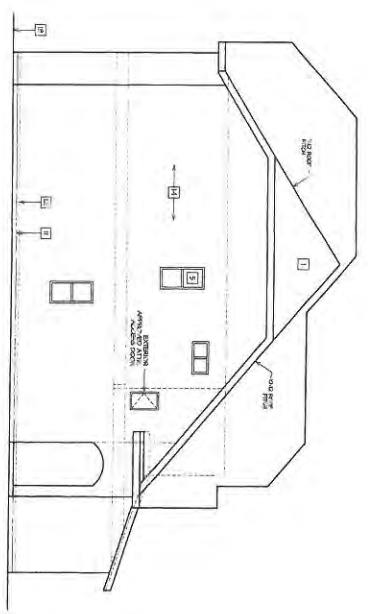
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RIGHT ELEV.
SCALE 3/8" = 1'-0"



REAR ELEV.
SCALE 3/8" = 1'-0"



TYP. LEFT ELEV.
SCALE 3/8" = 1'-0"

<input type="checkbox"/>	ELEVATION KEYNOTES
<input type="checkbox"/>	SEE SHEET A-3 FOR CORRESPONDING ELEVATION KEYNOTES

NOTE FOR RADIANT BARRIERS:
RADIANT BARRIERS TO BE INSTALLED UNDER ALL SLAB ON GRADE FLOORING. SEE SHEET A-1 FOR DETAILS.

(FLOPPED)

DATE: FEB 21, 2017

Exhibit “E”

“The Camelot”

(Plan 4017) – 2,798 sq. ft.

One-story

THE CAMELOT

The Chateau Series at Vistas

Approx. 2,798 sq. ft.

Two-Story

4 Bedrooms

3½ Bathrooms

3-Bay Tandem Garage



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The Camelot A



The Camelot B



The Camelot C

THE CAMELOT

The Chateau Series at Vistas

Approx. 2,798 sq. ft.

Two-Story

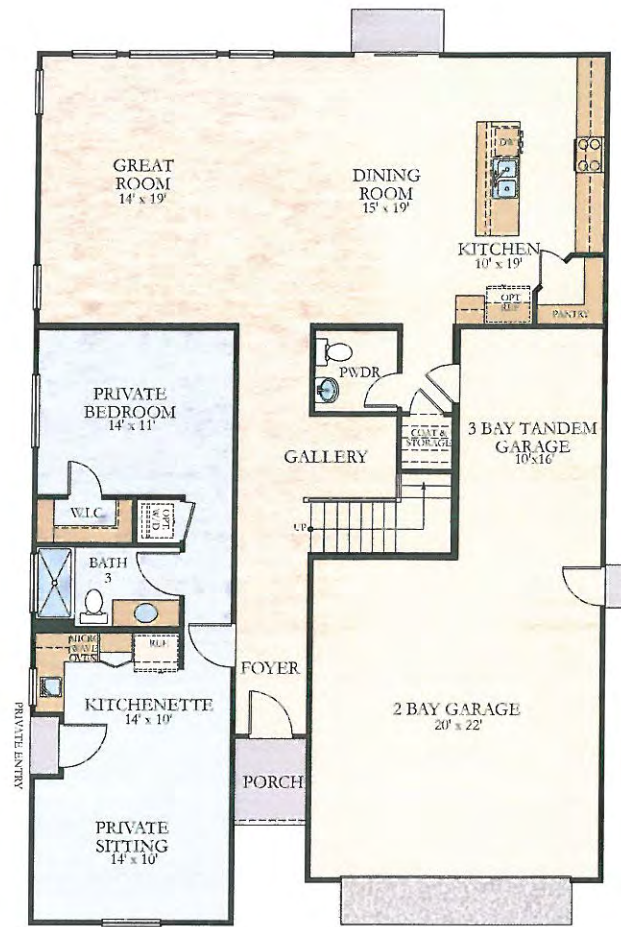
4 Bedrooms

3½ Bathrooms

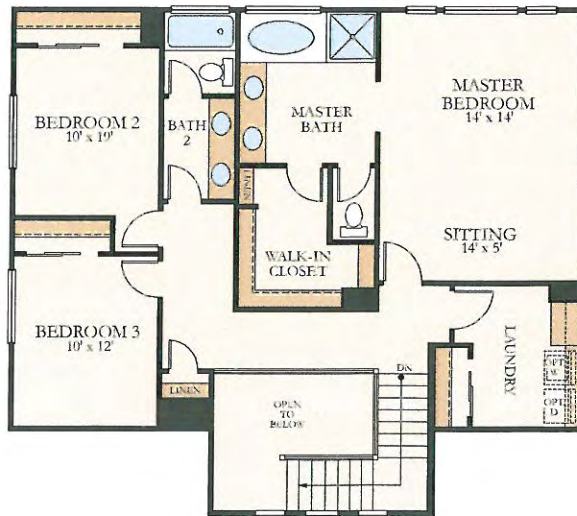
3-Bay Tandem Garage



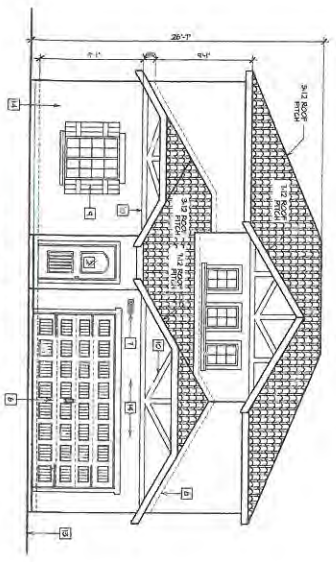
Plans and elevations are artist's renderings and may contain options which are not standard on all models. Lennar reserves the right to make changes to these floor plans, specifications, dimensions and elevations without prior notice. Stated dimensions and square footage are approximate and should not be used as representation of the home's precise or actual size. Any statement, verbal or written, regarding "under air" or "finished area" or any other description or modifier of the square footage size of any home is a shorthand description of the manner in which the square footage was estimated and should not be construed to indicate certainty. Stated dimensions and square footage are approximate and should not be used as representation of the home's precise or actual size. Renderings are conceptual in nature and merely an artist's rendition. These renderings are solely for illustrative purposes and should never be relied upon. Bay size may vary from home to home and may not accommodate all vehicles. Lennar Fresno, Inc. d/b/a Cambridge Homes - License #821180, Lennar Homes of California, Inc. License #728102, Lennar Sales Corp. - California Bureau of Real Estate License #01252753. Copyright © 2017 Lennar Corporation. All rights reserved. Lennar, the Lennar logo, Next Gen - The Home Within A Home and the Next Gen logo are registered service marks or service marks of Lennar Corporation and/or its subsidiaries. 4/17



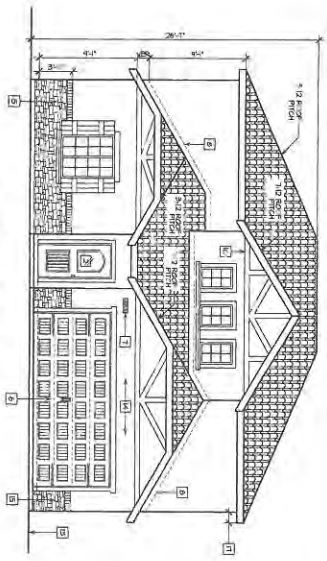
FIRST FLOOR



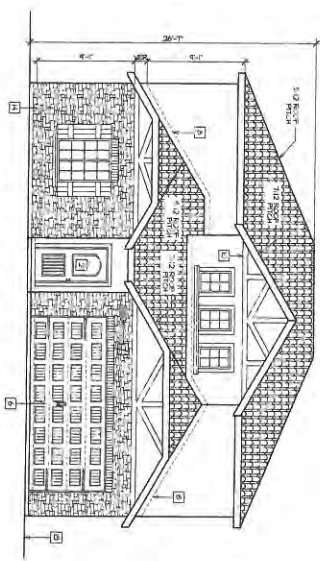
SECOND FLOOR



FRONT ELEV. - A
SCALE 3/16" = 1'-0"



FRONT ELEV. - B
SCALE 3/16" = 1'-0"



FRONT ELEV. - C
SCALE 3/16" = 1'-0"

NOTE:
ONE FOOT EQUALS THREE (3) INCHES. IT IS THE CLIENT'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND MATERIALS WITH THE SUPPLIER. THE SUPPLIER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND MATERIALS. THE SUPPLIER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND MATERIALS. THE SUPPLIER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND MATERIALS.

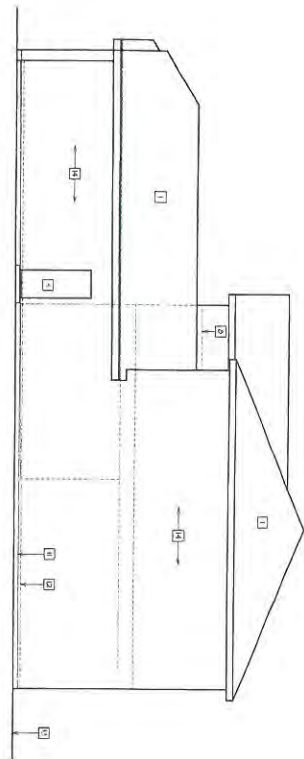
STONE VENEER NOTE:
STONE VENEER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE MANUFACTURER'S INSTRUCTIONS SHALL BE OBTAINED FROM THE SUPPLIER. THE SUPPLIER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND MATERIALS. THE SUPPLIER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND MATERIALS. THE SUPPLIER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND MATERIALS.

KEY	ELEVATION KEYNOTES
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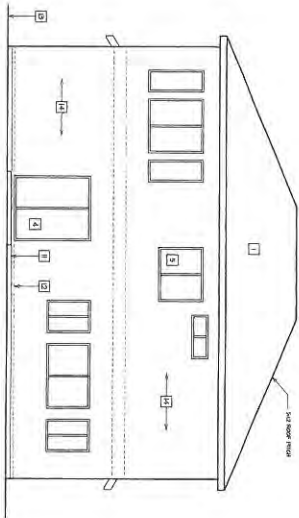
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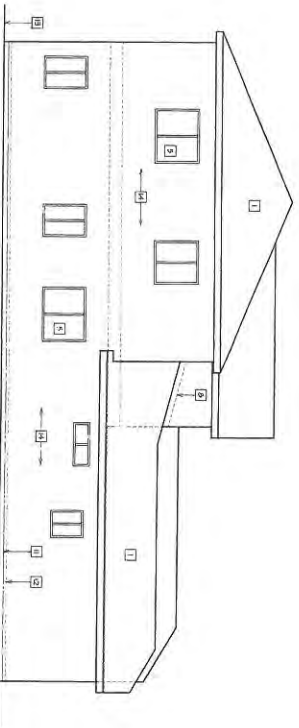
DATE: FEB 21, 2017
TIME: 1:15 PM



RIGHT ELEV.
SCALE 3/16" = 1'-0"



REAR ELEV.
SCALE 3/16" = 1'-0"



TYP. LEFT ELEV.
SCALE 3/16" = 1'-0"

<input type="checkbox"/>	ELEVATION KEYNOTES
<input type="checkbox"/>	SEE SHEET A-3 FOR CORRESPONDING ELEVATION KEYNOTES
<p>NOTE FOR RADIANT BARRIERS: IF RADIANT BARRIERS ARE USED BY LE BUILDING SOLUTIONS, THEY MUST BE ALL VERTICAL - SPACERS IF ANY, 2" A.C. OR 1" GABE BLD WALLS.</p>	

(FLOPPED)



REVISIONS TO THIS SHEET:
 1. REVISED TO ADD RADIANT BARRIERS TO ALL VERTICAL SPACERS IF ANY, 2" A.C. OR 1" GABE BLD WALLS.
 DATE: FEB 21, 2017

SHEET NO. A-4 OF SHEETS	PREPARED BY: RLC DESIGN PROGRESSIONS 1011 N. FIRST ST. # 105 FRESNO, CA 93710 PHONE (559) 355-4445	LENNAR® 8080 N. PALM AVE. SUITE 110, FRESNO, CA. 93711 PHONE (559) 447-3400	VISALIA PLAN 4017 (CAMELOT)		REV. DATE 1 10-14-17 2 01-11-17 3 01-11-17 4 01-11-17	The information, arrangements and ideas represented within these drawings are and shall remain the property of LENNAR® or Home. No part shall be copied, disclosed to others, or used in connection with any project without the written consent of LENNAR® Home.
			DESIGN BY LBNAR	DRAWN BY RL	DATE JANUARY 11, 2017	

Exhibit “F”

“The Chevalier”

(Plan 4018) – 3,167 sq. ft.

Two-story

THE CHEVALIER-S

The Chateau Series at Vistas

Approx. 3,167 sq. ft.

Two-Story

5 Bedrooms with Extra-large
Master Suite

4 Bathrooms

Loft

2-Bay Garage



— *The Chevalier-S A* —



— *The Chevalier-S B* —



— *The Chevalier-S C* —

THE CHEVALIER-S

The Chateau Series at Vistas

Approx. 3,167 sq. ft.

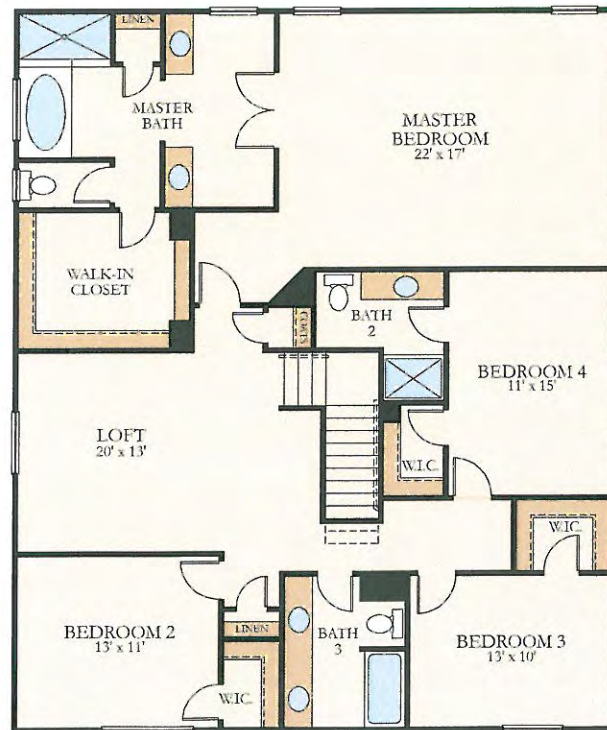
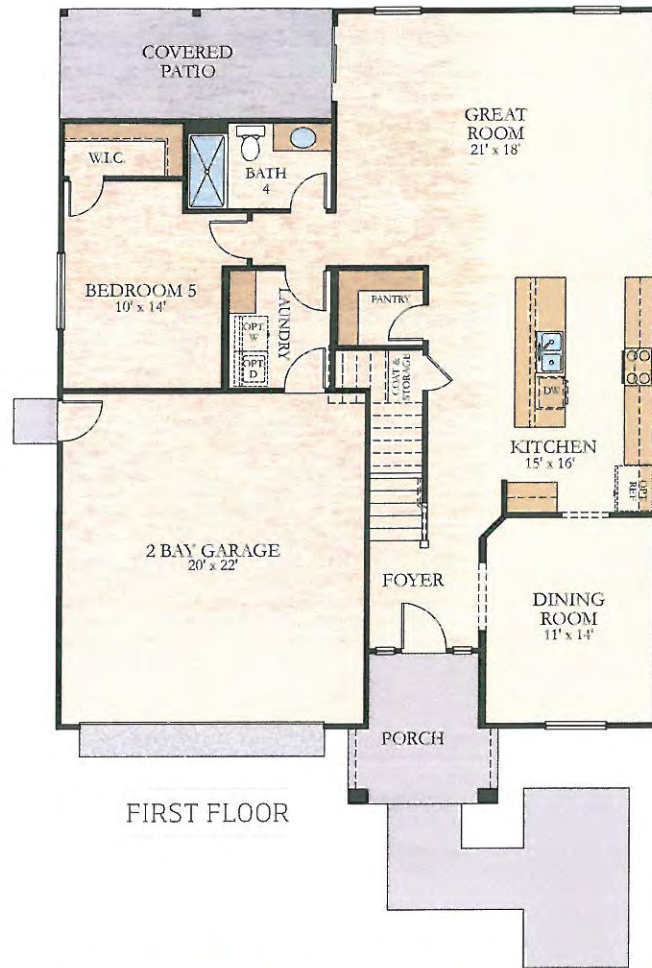
Two-Story

5 Bedrooms with Extra-large
Master Suite

4 Bathrooms

Loft

2-Bay Garage



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Exhibit “G”

Lot 50

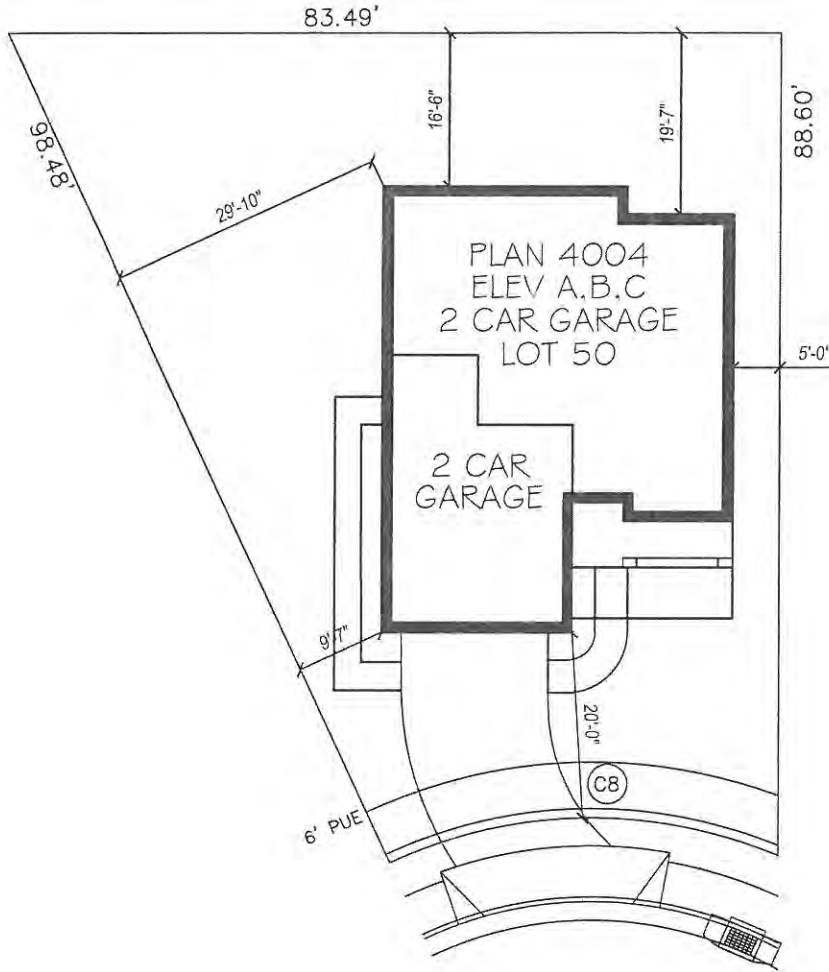
Plot Plan Setback for Lot 50

(Countess Plan 4004) – 2,244 sq. ft.

Two-story

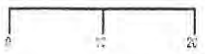
I AGREE TO COMPLY WITH THE MWEL0 PRESCRIPTIVE COMPLIANCE OPTION.

(C8) L. 43.31 R. 52.00 D. 047°43'05"



- STREET LIGHT
- FIRE HYDRANT
- CABLE TV SPLICE BOX
- TELEPHONE SPLICE BOX
- EDISON SPLICE BOX
- PAC-MOUNTED SPLICE BOX
- STOP SIGN

PLAN 4004: COUNTLESS
 RESIDENCE: FIRST FLOOR: 1,033 SQ. FT.
 SECOND FLOOR: 1,211 SQ. FT.
 RESIDENCE TOTAL: 2,244 SQ. FT.
 2-CAR GARAGE: 538 SQ. FT.
 PORCH: 98 SQ. FT.
 TOTAL: 1699 SQ. FT.
 LANDSCAPE AREA: 1167 SQ. FT.



MODOC AVE

NOTE: COLD JOINT PER CITY STD. C-34
 DRIVE APPROACH 4' MIN FROM P.L.

SITE PLAN

Note: Certain site features may not be included in drawing. There may be additional utilities not shown, on plot within shown easement areas. Please visit home site to verify the location of any utility structure which may or may not be shown on this site plan. Any deviation in the placement of house, street lights, fire hydrants, sidewalks, transformers, etc. from the accepted plot plan shall require a plan change from the City for acceptance. There are approximate measurements shown on plot plan except for the minimum required by ordinance. This plot does not reflect as-built conditions which may vary from this plan.

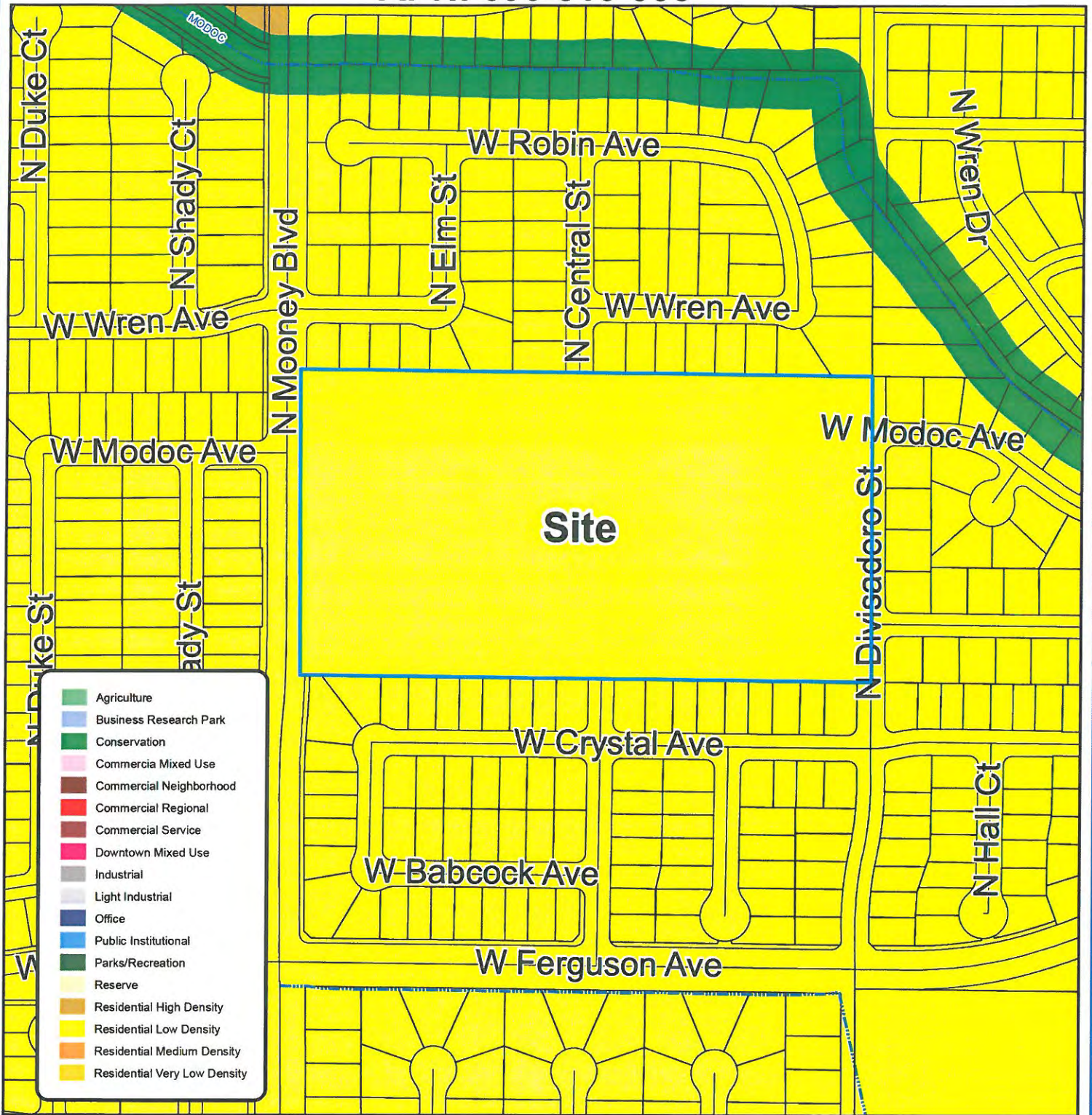
- NOTE:
- * DRAINAGE TO MEET CITY STANDARD
 - * DRIVEWAY APPROACH TO MEET CURRENT CITY STANDARDS
 - * DRIVEWAY TO MEET CURRENT CITY STANDARDS C-22
 - * PARKWAY TO INCLUDE STREET TREES PER APPROVED SUBDIVISION PLANS
 - * INSTALL CITY STANDARD SIDEWALK
 - * INSTALL ROOT BARRIER

LENNAR HOMES OF CALIFORNIA
 8080 N. PALM AVE. SUITE 110
 FRESNO, CA 93711
 (559)447-3400 (FAX)447-3404

EAGLE GLEN- VISTAS VI LOT 50
 XXX MODOC AVE
 PLAN NO. 4004 ELEVATION A,B,C DATE _____
 BUYERS SIGNATURE _____

Conditional Use Permit No. 2017-33

APN: 090-010-008

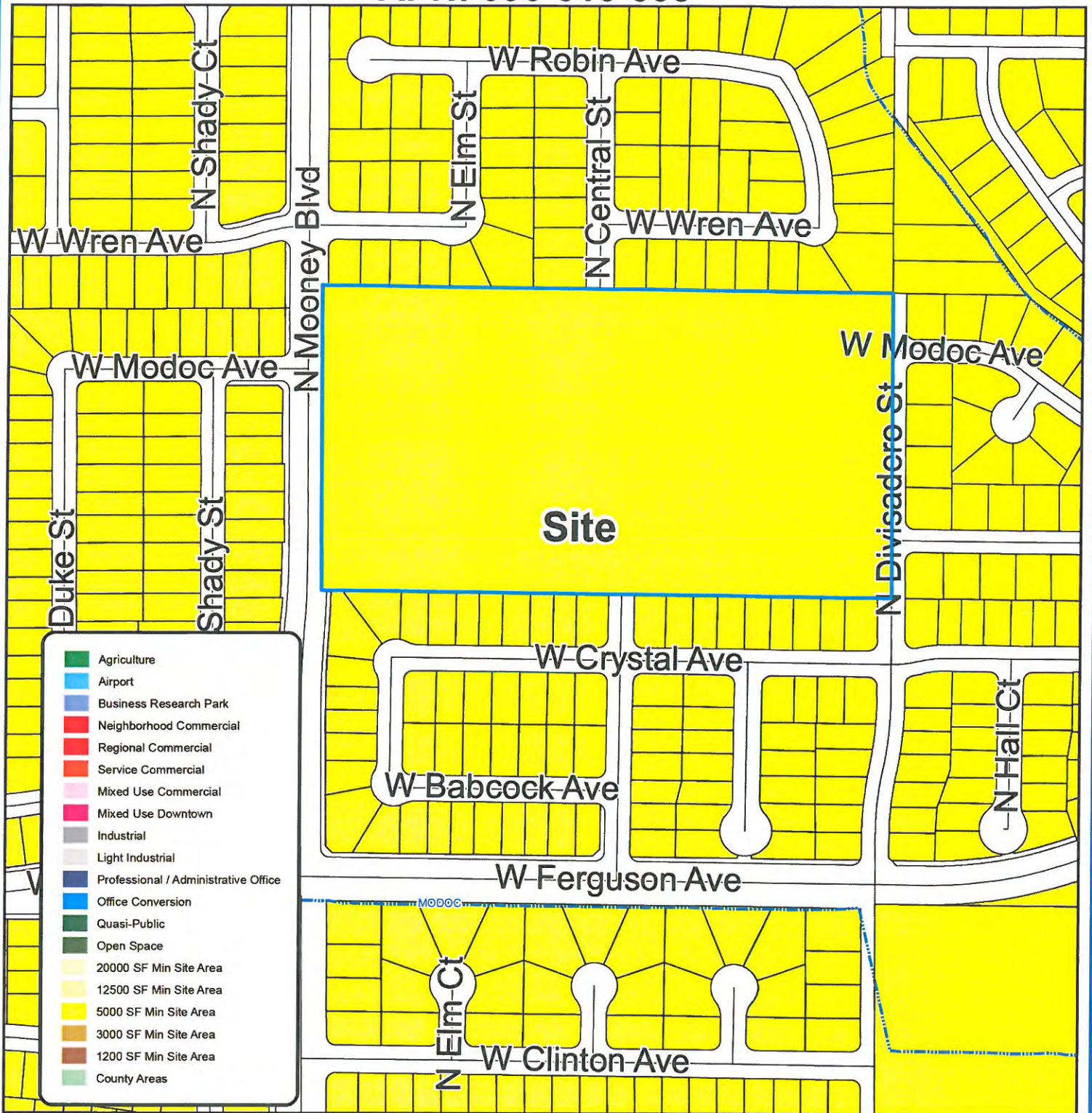


General Plan Land Use Map



Conditional Use Permit No. 2017-33

APN: 090-010-008

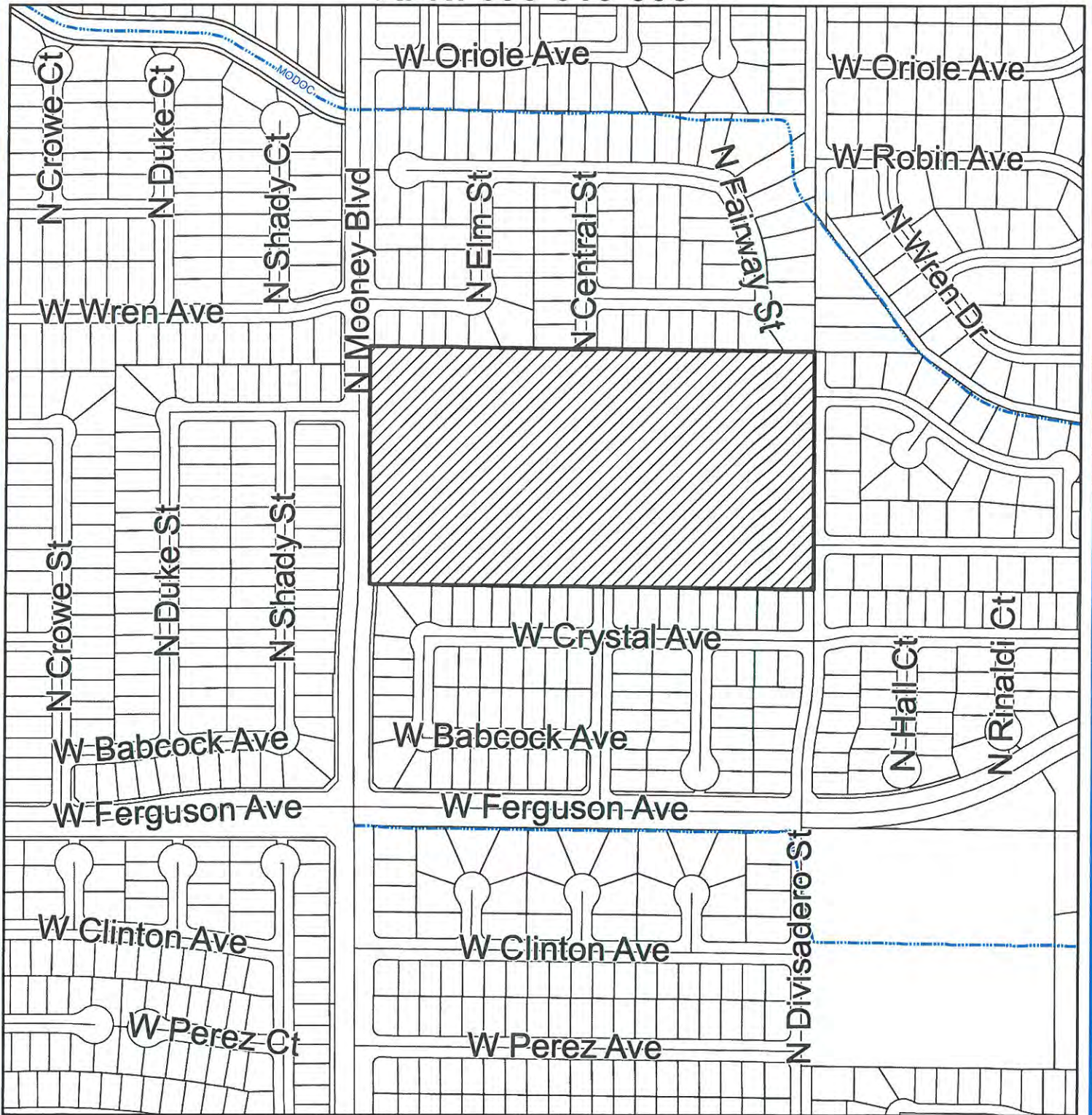


Zoning Map



Conditional Use Permit No. 2017-33

APN: 090-010-008



Vicinity Map



Conditional Use Permit No. 2017-33

APN: 090-010-008



Aerial Map

