

PLANNING COMMISSION AGENDA

CHAIRPERSON:

Brett Taylor



VICE CHAIRPERSON:

Liz Wynn

COMMISSIONERS: Brett Taylor, Liz Wynn, Chris Gomez, Marvin Hansen, Sarrah Peariso

MONDAY, SEPTEMBER 11, 2017, 7:00 PM REGULAR MEETING,
COUNCIL CHAMBERS, 707 W. ACEQUIA, VISALIA CA

1. THE PLEDGE OF ALLEGIANCE –
2. CITIZEN'S COMMENTS – This is the time for citizens to comment on subject matters that are not on the agenda but are within the jurisdiction of the Visalia Planning Commission. The Commission requests that a 5-minute time limit be observed for comments. Please begin your comments by stating and spelling your name and providing your street name and city. Please note that issues raised under Citizen's Comments are informational only and the Commission will not take action at this time.
3. CHANGES OR COMMENTS TO THE AGENDA–
4. CONSENT CALENDAR - All items under the consent calendar are to be considered routine and will be enacted by one motion. For any discussion of an item on the consent calendar, it will be removed at the request of the Commission and made a part of the regular agenda.
 - Time Extension for Parcel Map No. 2013-02
 - Time Extension for Sol Road Estates Tentative Subdivision Map No. 5542
5. PUBLIC HEARING – Andy Chamberlain - *Continued from the 08/14/2017 Public Hearing*
Variance No. 2017-16: A request by California Water Service Company to allow a variance to the maximum height limit in the rear yard of an R-1-5 (Single-family Residential) zoned property, for the installation of three water treatment tanks. The site is located at 1622 S. Demaree Street.(APN: 095-232-009) The project is Categorical Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15305, Categorical Exemption No. 2017-58.
6. PUBLIC HEARING – Andy Chamberlain - *Continued from the 08/28/2017 Public Hearing*
Conditional Use Permit No. 2017-28: A request by the Roman Catholic Bishop of Fresno, Dennis Townsend, AIA - Agent, to amend the master plan in Conditional Use Permit No. 2008-40, for the St. Charles Borromeo for the Good Shepherd Church, expanding the sanctuary and reconfiguring the parking and buildings on the site, in the QP (Quasi-Public) zone. The site is located at 5049 W. Caldwell Avenue. (APN: 119-070-071) The project is Categorical Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15305, Categorical Exemption No. 2017-61.
7. PUBLIC HEARING – Andy Chamberlain
Variance No. 2017-20: A request by Frank Golden to exceed the 25% office area limit in the Industrial Zone, allowing a 45% office area totaling 2,346 sq. ft. of office in a 5,200 sq. ft. building, in the Industrial (I) Zone. The site is located at 9420 W. Perishing Avenue. (APN: 081-100-026). The project is Categorical Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15305.

8. PUBLIC HEARING –

Conditional Use Permit No. 2017-27: A request by Vise Brewing Company, Inc. to allow a 3,650 square foot nano-brewery and taproom in the C-S (Service Commercial) zone. The project site is located at 210 S. Cain Street, Suites N & O, on the east side of Cain Street between Acequia and Mineral King Avenues.(APN: 098-120-017)The project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301, Categorical Exemption No. 2017-65.

9. PUBLIC HEARING –

- a. Tentative Parcel Map No. 2017-02: A request by Stephen Richey to subdivide a 33,026 square foot parcel into three parcels to facilitate future residential development on land in the R-1-5 (Single-family Residential, 5,000 square feet minimum lot size) Zone. The project site is located on the south side of Whitendale Avenue 250 feet west of Vintage Street. (APN: 122-240-087) The project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15315, Categorical Exemption No. 2017-66.
- b. Conditional Use Permit No. 2017-29: A request by Stephen Richey to establish a planned residential development containing a lot without public street frontage and a lot with less than standard street frontage on land in the R-1-5 (Single-family Residential, 5,000 square feet minimum lot size) Zone. The project site is located on the south side of Whitendale Avenue 250 feet west of Vintage Street. (APN: 122-240-087) The project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15315, Categorical Exemption No. 2017-66.

10. DIRECTOR'S REPORT/ PLANNING COMMISSION DISCUSSION-

The Planning Commission meeting may end no later than 11:00 P.M. Any unfinished business may be continued to a future date and time to be determined by the Commission at this meeting. The Planning Commission routinely visits the project sites listed on the agenda.

For the hearing impaired, if signing is desired, please call (559) 713-4359 twenty-four (24) hours in advance of the scheduled meeting time to request these services. For the visually impaired, if enlarged print or Braille copy is desired, please call (559) 713-4359 for this assistance in advance of the meeting and such services will be provided as soon as possible following the meeting.

Any written materials relating to an item on this agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the City Office, 315 E. Acequia Visalia, CA 93291, during normal business hours.

APPEAL PROCEDURE

THE LAST DAY TO FILE AN APPEAL IS THURSDAY, SEPTEMBER 21, 2017 BEFORE 5 PM

According to the City of Visalia Zoning Ordinance Section 17.02.145 and Subdivision Ordinance Section 16.04.040, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal form with applicable fees shall be filed with the City Clerk at 220 N. Santa Fe, Visalia, CA 93292. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website www.visalia.city or from the City Clerk.

THE NEXT REGULAR MEETING WILL BE HELD ON MONDAY, SEPTEMBER 25, 2017



REPORT TO CITY OF VISALIA PLANNING COMMISSION

HEARING DATE: September 11, 2017

PROJECT PLANNER: Brandon Smith, Senior Planner
Phone: (559)713-4636; Email: brandon.smith@visalia.city

SUBJECT: Conditional Use Permit No. 2017-27: A request by Vise Brewing Company, Inc. to allow a 3,650 square foot nano-brewery and taproom in the C-S (Service Commercial) zone. The project site is located at 210 S. Cain Street, Suites N & O, on the east side of Cain Street between Acequia and Mineral King Avenues. (APN: 098-120-017)

STAFF RECOMMENDATION

Staff recommends approval of Conditional Use Permit No. 2017-27, as conditioned, based on the findings and conditions in Resolution No. 2017-60. Staff's recommendation is based on the conclusion that the request is consistent with the Visalia General Plan and Zoning Ordinance.

RECOMMENDED MOTION

I move to approve Conditional Use Permit No. 2017-27, based on the findings and conditions in Resolution No. 2017-60.

PROJECT DESCRIPTION

Vise Brewing Company is requesting approval of a conditional use permit to operate a nano-brewery and taproom in the C-S zone, located at 210 S. Cain Street, Suites N & O (see site plan, Exhibit "A"). The allowance of a micro-brewery (including a nano-brewery and taproom) as defined in the Zoning Ordinance is a conditional use in the C-S zone under the Zoning Matrix line E3.

The project will involve tenant improvements to a 3,610 square foot space resulting in separate spaces for a brewery production and a taproom or tasting room (see floor plan, Exhibit "B"). The production area will utilize 3,035 square feet and will not be open to the public unless the brewing schedule coincides with the taproom hours of operation. The stated hours of operation according to the operational statement (see Exhibit "D") are seven days a week from 8:00 a.m. to 10:00 p.m., with production taking place as needed. The floor plan and operation statement describe the production size of the brewery, which consists of five tanks with capacities ranging from 150 to 300 gallons each. The total annual production is not expected to exceed 1,000 beer barrels (BBLs) or 31,000 gallons per year. Per the City's Ordinance, a micro-brewery establishment may produce up to 15,000 BBLs per year. The beer will be filled on-site in kegs, bottles, and cans for retail sales and for on-site consumption in the taproom.

The taproom will utilize 575 square feet and will be open to the public. The space consists of table and bar seating for approximately 38 patrons and restrooms. The stated hours of operation, according to the operational statement, are Monday through Friday from 3:00 p.m. to 10:00 p.m., Saturday from 11:00 a.m. to 10:00 p.m., and Sunday from 11:00 a.m. to 8:00 p.m. There is no restaurant or food kitchen associated with the operation. Pre-packaged foods items will be sold on-site and food trucks will occasionally operate in the warehouse portion of the site to the public. Live entertainment is not proposed as part of the business operation, nor is it permitted in the underlying zoning designation.

The project site is a portion of a developed service commercial center located ¼-mile outside of the boundaries of the East Downtown Overlay District. The underlying C-S zone still allows for micro-breweries (including nano-breweries, craft breweries, brewpubs, and taprooms) and micro-wineries (including tasting rooms and boutique wineries) – all with or without restaurants – as conditional uses subject to definitions contained in Zoning Ordinance Chapter 17.63.

BACKGROUND INFORMATION

General Plan Land Use Designation:	Service Commercial
Zoning:	C-S (Service Commercial)
Surrounding Land Use and Zoning	North: C-S / Service commercial / auto repair uses; Department of Motor Vehicles
	South: C-S / Service commercial / auto repair uses; Country Café restaurant & Relax Inn motel
	East: C-S / Single-family residences; towing yard
	West: C-S / Utility company
Environmental Review:	Categorical Exemption No. 2017-65
Special Districts:	None
Site Plan:	2017-045

RELATED PLANS & POLICIES

Please see attached summary of related plans and policies. The proposed project is consistent with applicable plans and policies.

RELATED PROJECTS

No other conditional use permits have been applied for micro-breweries or micro-wineries outside of the East Downtown Overlay District, with the exception of Brewbakers.

Conditional Use Permit No. 95-23 was approved by the Planning Commission on December 11, 1995, allowing a micro-brewery in conjunction with a restaurant (Brewbakers), at 219 E. Main Street.

PROJECT EVALUATION

Staff recommends approval of the requested conditional use permit, as conditioned, based on the project’s consistency with the General Plan and Zoning Ordinance and based on project compatibility with adjacent land uses.

The General Plan policies and Zoning Ordinance regulations seek to enhance the character of the Service Commercial designation by providing a range of service and limited retail opportunities. The proposed use is one which combines elements of manufacturing and production together with an eating / drinking establishment within one space. The proposed use is also unique since there are currently no other stand-alone microbreweries in Visalia without food service. Similar establishments include Barrelhouse Brewing Company, permitted in 2017 as a micro-brewery taproom only that does not produce beer on-site, and Brewbakers,

permitted in 1995 as a micro-brewery with on-site production (approximately 700 BBLs per year) in conjunction with a restaurant.

Land Use Compatibility

The City's Zoning Ordinance was amended in 2016 to address micro-brewery land uses and to re-define zoning districts where the uses would be allowed, including the creation of an overlay district where the uses would be permitted outright. The purposes of these revisions included helping to promote entrepreneurship in the community, supporting a burgeoning business model, and allowing places of alcoholic consumption that could provide a positive image of the community.

Micro-brewery land uses in Visalia are identified as uses that may or may not include on-site food service. The proposed micro-brewery at this location does plan on occasionally hosting food trucks inside the warehouse portion of the facility. Staff is recognizing that the proposed micro-brewery use is able to operate compatibly without the requirement of on-site food service. The conditional use permit does not include conditions requiring food service to be a part of the land use, although there are a number of recommended conditions to ensure that the taproom operates in a safe and wholesome manner.

The Visalia Zoning Matrix identifies micro-breweries as a conditional use in the Service Commercial zone as well as in other commercial and industrial zones. Through the Conditional Use Permit process, potential land use impacts can be addressed, thereby ensuring compatibility between the proposed use and existing surrounding uses.

Adjacent land uses include a variety of service commercial and automotive-related uses. A restaurant, hotel, and residences are located to the south and east, although the proposed use is separated by the building wall constructed of concrete masonry unit blocks. Furthermore there is no direct pedestrian or vehicular access between these uses. Within ¼ mile of the site there is one existing bar without on-site food service (The Green Olive) located west of the project site on Mineral King Avenue.

The hours of operation for most existing businesses in the commercial center and the surrounding area curtail in the early evening, with the exception of an on-site drive-through restaurant (Rainbow Drive-In Express). The open parking lot within the commercial center will therefore be able to accommodate additional customer traffic for the taproom component that is open on evenings and weekends.

The use will be subject to the City's Noise Ordinance regulations for exterior noise standards, particularly as they relate to noise sensitive land uses that include the nearby residences. In the surrounding vicinity there are approximately three residences located to the east accessed by Mineral King Avenue. The residences are heavily surrounded by buildings that help mitigate noise.

Parking

The parking for the use has been calculated by allocating the appropriate parking ratio for each type of use within the micro-brewery. Three spaces are required for the production area based on warehouse parking standards of one space per 1,000 square feet of floor area, and four spaces are required for the taproom area based on restaurant parking standards of one space per 150 square feet of floor area. The total required parking is therefore seven parking spaces.

The commercial center utilizes a 73-space parking lot that is shared among all its tenants. The applicant has provided a parking analysis (included in the Operation Statement, Exhibit "D") that identifies the tenants, type of use, and parking requirement based on the appropriate parking ratio. The analysis concluded that tenants within the commercial center, including the micro-

brewery, require 60 parking spaces. Also included with the Operation Statement is a listing of each tenant's hours of operation that demonstrate peak hours of parking lot usage, which would be weekdays between 3:00 p.m. and 5:00 p.m.

Police Department Review

The Visalia Police Department has reviewed the application and has made recommendations on the proposed conditions of approval for this project. The recommended conditions of approval listed further below are modeled from previous conditional use permits for operations primarily operating as a taproom or as having live entertainment. For this project, they **have** been tailored to address the aspects of the business as addressed in the operational plan.

Age Restriction

The operational statement describes the applicant's interest for the taproom to allow persons of all ages inside the facility. The business would accommodate persons under drinking age by providing pre-packaged snacks, non-alcoholic drinks, and occasional food trucks. A variety of tabletop games and "backyard" games would also be available to all patrons.

Visalia Police Department is recommending against the business being open to all ages. The Department's concerns are based on the taproom operation resembling a bar/tavern wherein the primary purpose for patrons visiting the use is to consume alcohol. As such, a taproom may increase potential for minors having access to and consuming alcohol. This would not be the same as brewpubs that include a restaurant and/or kitchen as part of the business. Recommended condition no. 11 is therefore included to require that customers/patrons be 21 years of age and older during hours of operation.

Visalia's land use policies and zoning regulations, including the Micro-Brewery District Chapter of the Zoning Ordinance, do not specify or allude to imposing age restrictions to business serving alcoholic beverages. Where Conditional Use Permits are required, they offer the ability for the City to recommend conditions as needed to ensure that zoning and land use consistency and public health and welfare are upheld. The balance of the recommended conditions of this CUP ensures that the business upholds these standards.

Businesses that primary operate to serve alcoholic beverages often impose age restrictions that may or may not be mandated by the license issued from State Department of Alcoholic Beverage Control (ABC). One recent exception within Visalia is the Barrelhouse Brewing Company taproom, which is open to all ages and provides accommodations similar to those described in Vise Brewing's operation statement such as games and food trucks. It should be noted that taprooms, including Barrelhouse Brewing, are allowed outright in the East Downtown Overlay District and are not subject to a Conditional Use Permit.

The Planning Commission ultimately has the discretion to retain, modify, or remove this condition. If the condition is removed in its entirety, the State Department of Alcoholic Beverage Control can still exercise its discretion to include conditions to the operating license including but not limited to age restriction.

Conditional Use Permit Revocation Process

Pursuant to Visalia Municipal Code Section 17.38.040, a failure by the owner/operator to comply with the conditions of project approval will result in a Notice of Conditional Use Permit Suspension Order to Cease and Desist. The City of Visalia has the authority to automatically suspend a conditional use permit for failure to comply with the condition(s) of the permit. Upon suspension the Planning Commission shall hold a public hearing within 60 days, in accordance with the public hearing notice procedures. If the Commission is not satisfied that the regulation, general provisions, or applicant's ability to meet the conditions, they may revoke the permit or

take action as may be necessary to insure compliance with the regulation, general provision, or condition(s).

Alcoholic Beverage Control License

At the time of the report preparation, the applicant has not applied for a license through the State Department of Alcoholic Beverage Control (ABC). Recommended condition no. 21 states that all necessary licenses from the ABC shall be obtained, kept current, and complied with.

Environmental Review

The requested action is considered a minor alteration in land use limitations as provided in the Guidelines for the Implementation of the California Environmental Quality Act (CEQA), Section 15301, and is therefore Categorically Exempt from a full environmental review. (Categorical Exemption No. 2017-65).

RECOMMENDED FINDINGS

1. That the proposed project, as conditioned, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed CUP is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
 - The proposed location of the conditional use is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located.
 - The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity.
3. That the proposed conditional use permit would be compatible with adjacent land uses. The proposed use is compatible subject to compliance with the conditions of project approval of this conditional use permit.
4. That the project is considered Categorically Exempt under Section 15301 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2017-65)

RECOMMENDED CONDITIONS OF APPROVAL

1. That the site be developed and maintained in substantial conformance with the site plan in Exhibit "A", floor plan in Exhibit "B", and the operational statement in Exhibit "D".
2. That the facility shall be operated as a micro-brewery / nano-brewery that produces beer together with a taproom.
3. That all alcoholic beverages served or sold from the facility shall be produced on-site.
4. That the area delineated as a taproom on the floor plan shall be limited to the area as shown on the floor plan in Exhibit "B".
5. That the requirements of Site Plan Review No. 2017-45 shall be met.
6. That the project will be required to maintain the noise standards found in Visalia Municipal Code Section 8.36.040 for the project site, including the parking lot and areas of common use by their patrons.

7. No live entertainment, disk jockeys (“DJ’s”), or organized dancing is permitted at any time. Background entertainment as defined in Visalia Municipal Code Section 17.63.030 is permitted.
8. All ticketed events shall require a Temporary Conditional Use Permit.
9. Hours of operation shall not extend beyond Monday through Friday 3:00 p.m. to 10:00 p.m., Saturday 11:00 a.m. to 10:00 p.m., and Sunday 11:00 a.m. to 8:00 p.m.
10. There shall be no adult entertainment as defined in Visalia Municipal Code Chapter 17.62, including no lingerie/bathing suit shows.
11. During hours of operation, customers/patrons shall be 21 years of age and older.
12. Public sidewalks shall be kept clear for pedestrian use. Patrons waiting to enter the business shall be formed in a single orderly line outside of the front door of the business.
13. The parking lot and public sidewalks directly adjacent to the site shall be monitored to prevent loitering, noise, littering, and related issues during and after any business activities.
14. The maximum occupancy limit shall be posted and not exceeded.
15. Official inspections on the premises may be conducted at any time during business hours to validate conformance with these conditions of approval.
16. All exterior doors shall remain closed at all times. Doors may not solely consist of a screen door or ventilated security door.
17. There shall be no exterior advertising of any kind promoting or indicating the availability of alcoholic beverages within the business. This does not include advertising placed inside the business directed to the outside and does not include the name of the business itself.
18. No video/arcade games shall be maintained upon the premises unless approved through site plan review and any subsequent entitlement process.
19. The owner/operator shall provide proof that employees who sell alcohol have completed the following, either:
 - a) Completed training from the State of California Department of Alcoholic Beverage Control-Fresno District Office-administered “Leadership and Education in Alcohol and Drugs” (LEAD) Program as confirmed by receipt of an ABC-issued certificate of completion; or
 - b) Completed equivalent training acceptable to the ABC Fresno District Office to ensure proper distribution of beer, wine, distilled spirits, tobacco, and inhalants to adults of legal age.
20. That the owner/operator shall maintain a video camera system that includes the following:
 - a) A fully functional color digital video camera must be in place to record the activities of patrons on the premises. The interior of the business must have at least one camera placed to focus on each area where alcoholic beverages are being dispensed. Additionally, there shall be at least one camera placed to focus on each of the following areas; front door(s) and/or entry area(s), any area outside where patrons wait to enter the establishment, and the majority of the open floor space area in the establishment.
 - b) The camera storage capacity should be for at least ten (10) calendar days. The system must continuously record, store, be capable of playing back images and be fully functional at all times.

21. Vise Brewing Company will be assessed/evaluated by City of Visalia Departments quarterly (4 times) within the first year of business, bi-annually (2 times) within the second year of business, and annually for every year thereafter to ensure adherence to this Conditional Use Permit and their Security Plan to determine whether modifications are necessary due to public safety, public nuisance, or California Department of Alcoholic Beverage Control sales related problems occur.
22. All of the conditions and responsibilities of Conditional Use Permit No. 2017-27 shall run with the land. The owner/operator shall provide a copy of this resolution and conditions of approval to any and all subsequent owners/operators, who shall be subject to all of the conditions herein unless amended or revoked.
23. Failure to comply with all conditions as set forth may result in the revocation of Conditional Use Permit No. 2017-27, in accordance with Visalia Municipal Code Section 17.38.040.
24. All applicable federal, state, and city laws codes and ordinances shall be met, including obtaining all necessary licenses from the California Department of Alcoholic Beverage Control.

APPEAL INFORMATION

According to the City of Visalia Zoning Ordinance Section 17.02.145, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal with applicable fees shall be in writing and shall be filed with the City Clerk at 220 N. Santa Fe Street, Visalia, CA 93292. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website <http://www.visalia.city> or from the City Clerk.

Attachments:

- Related Plans and Policies
- Resolution No. 2017-60
- Exhibit "A" – Site Plan
- Exhibit "B" – Floor Plan
- Exhibit "C" – Elevation Plan
- Exhibit "D" – Operational Statement
- Site Plan Review Item No. 2017-045 Comments
- General Plan Land Use Map
- Zoning Map
- Aerial Photo
- Vicinity Map

Related Plans & Policies

Zoning Ordinance

Chapter 17.38: Conditional Use Permits

17.38.010 Purposes and powers.

In certain zones conditional uses are permitted subject to the granting of a conditional use permit. Because of their unusual characteristics, conditional uses require special consideration so that they may be located properly with respect to the objectives of the zoning ordinance and with respect to their effects on surrounding properties. In order to achieve these purposes and thus give the zone use regulations the flexibility necessary to achieve the objectives of this title, the planning commission is empowered to grant or deny applications for conditional use permits and to impose reasonable conditions upon the granting of such permits.

17.38.030 Lapse of conditional use permit.

A conditional use permit shall lapse and shall become void twenty-four (24) months after the date on which it became effective, unless the conditions of the permit allowed a shorter or greater time limit, or unless prior to the expiration of twenty-four (24) months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site that was the subject of the permit. A permit may be renewed for an additional period of one year; provided, that prior to the expiration of twenty-four (24) months from the date the permit originally became effective, an application for renewal is filed with the planning commission. The commission may grant or deny an application for renewal of a conditional use permit. In the case of a planned residential development, the recording of a final map and improvements thereto shall be deemed the same as a building permit in relation to this section.

17.38.040 Revocation.

Upon violation of any applicable provision of this title, or, if granted subject to a condition or conditions, upon failure to comply with the condition or conditions, a conditional use permit shall be suspended automatically. The planning commission shall hold a public hearing within sixty (60) days, in accordance with the procedure prescribed in Section 17.38.080, and if not satisfied that the regulation, general provision or condition is being complied with, may revoke the permit or take such action as may be necessary to insure compliance with the regulation, general provision or condition. Appeals of the decision of the planning commission may be made to the city council as provided in Section 17.38.120.

17.38.050 New application.

Following the denial of a conditional use permit application or the revocation of a conditional use permit, no application for a conditional use permit for the same or substantially the same conditional use on the same or substantially the same site shall be filed within one year from the date of denial or revocation of the permit unless such denial was a denial without prejudice by the planning commission or city council.

17.38.060 Conditional use permit to run with the land.

A conditional use permit granted pursuant to the provisions of this chapter shall run with the land and shall continue to be valid upon a change of ownership of the site or structure that was the subject of the permit application subject to the provisions of Section 17.38.065.

17.38.065 Abandonment of conditional use permit.

If the use for which a conditional use permit was approved is discontinued for a period of one hundred eighty (180) days, the use shall be considered abandoned and any future use of the site

as a conditional use will require the approval of a new conditional use permit.

17.38.080 Public hearing--Notice.

A. The planning commission shall hold at least one public hearing on each application for a conditional use permit.

B. Notice of the public hearing shall be given not less than ten days nor more than thirty (30) days prior to the date of the hearing by mailing a notice of the time and place of the hearing to property owners within three hundred (300) feet of the boundaries of the area occupied or to be occupied by the use that is the subject of the hearing, and by publication in a newspaper of general circulation within the city.

17.38.090 Investigation and report.

The planning staff shall make an investigation of the application and shall prepare a report thereon that shall be submitted to the planning commission. The report can recommend modifications to the application as a condition of approval.

17.38.100 Public hearing--Procedure.

At the public hearing the planning commission shall review the application and the statement and drawing submitted therewith and shall receive pertinent evidence concerning the proposed use and the proposed conditions under which it would be operated or maintained, particularly with respect to the findings prescribed in Section 17.38.110. The planning commission may continue a public hearing from time to time as it deems necessary.

17.38.110 Action by planning commission.

A. The planning commission may grant an application for a conditional use permit as requested or in modified form, if, on the basis of the application and the evidence submitted, the commission makes the following findings:

1. That the proposed location of the conditional use is in accordance with the objectives of the zoning ordinance and the purposes of the zone in which the site is located;
2. That the proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.

B. A conditional use permit may be revocable, may be granted for a limited time period, or may be granted subject to such conditions as the commission may prescribe. The commission may grant conditional approval for a permit subject to the effective date of a change of zone or other ordinance amendment.

C. The commission may deny an application for a conditional use permit.

17.38.120 Appeal to city council.

The decision of the City planning commission on a conditional use permit shall be subject to the appeal provisions of section 17.02.145.

17.38.130 Effective date of conditional use permit.

A conditional use permit shall become effective immediately when granted or affirmed by the council, or ten days following the granting of the conditional use permit by the planning commission if no appeal has been filed.

Chapter 17.63: MICRO-BREWERY/MICRO-WINERY OVERLAY DISTRICT

17.63.010 Purpose and Intent.

A. There is created a Micro-brewery/Micro-winery Overlay District, the boundaries of which are shown on the map entitled, "Micro-brewery/Micro-winery Overlay District", which is on file at city hall. Said map is adopted and made a part of this ordinance.

B. This chapter is enacted to preserve and promote the public health, safety, and welfare of the citizens of Visalia, and to facilitate businesses that specialize in the small-scale production and sale of crafted beverages. This chapter is also enacted to encourage the location of micro-brewery and micro-winery businesses in the East Downtown area. This is to:

1. Encourage, protect and enhance existing buildings, their productive re-use, and improvements in the East Downtown area.
2. Promote the vibrancy and sense of destination and place of the East Downtown area by establishing this area as the recognized center for craft brewing establishments.
3. Ensure that these establishments are compatible with each other and with existing and future uses within the East Downtown area.

17.63.020 Components of the Chapter.

This chapter shall include:

A. The Ordinance text which specifies the micro-brewery/micro-winery overlay district and establishes specific standards pertaining to the district.

B. A map designating the micro-brewery/micro-winery overlay district, which shall be depicted on the official zoning map of the city.

17.63.030 Definitions.

"Micro-brewery" An establishment that produces the range of brewed beer, ale, mead, hard cider and similar brewed beverages in quantities totaling 15,000 barrels or less per year (all beverage types combined) that are served on site and/or sold for off-site consumption. Service and sale of brewed beverages must be in conjunction with the regulations of the Alcohol Beverage Control (ABC) and Bureau of Alcohol, Tobacco, and Firearms (ATF). Service of brewed beverages may be conducted with or without the service of food. Taproom, Nano-brewery, Craft brewery, and Brewpub are included in this definition.

"Micro-winery" An establishment that produces fermented fruit wine in quantities totaling 10,000 cases or less per year (all varieties and labels combined) that are served on site and/or sold for off-site consumption. Service and sale of wine must be in conjunction with the regulations of the Alcohol Beverage Control (ABC) and Bureau of Alcohol, Tobacco, and Firearms (ATF). Service of wine may be conducted with or without the service of food. Tasting room and Boutique winery are included in this definition.

"Background entertainment" Non-amplified live music or performance intended to complement the primary venue, and for which no alteration of the physical or operational aspect of the primary use is made.

17.63.040 Standard Operating Conditions.

A. Uses within the Overlay District

1. All uses shall be subject to the Zoning Matrix use allowances, except that micro-brewery/micro-winery locations that occur coincidentally within the micro-brewery/micro-winery overlay district and within the C-S (Service Commercial) or the D-MU (Mixed Use Downtown) Zone District shall be permitted by right.

2. Zoning regulations for micro-brewery/micro-winery locations shall be those of their underlying Zone District; except as follows:

- a) Alcoholic beverages sold on site shall be only that produced by the operator.
- b) Truck loading and unloading shall be limited to between the hours of 7:00am and 4:00pm daily.

- c) Venting of brewing process shall be directed away from sidewalks and residences.
- d) Outdoor storage shall be limited to an area of no more than 5% of the leasable floor area of the establishment. Outdoor storage shall be secured at all times and shall be fully screened from view.
- e) Parking required for a micro-brewery/micro-winery use shall be determined by the allocation of interior floor space of the establishment, and at the prescribed ratios as contained in Chapter 17.34 (Off-street parking and loading facilities). Portions of the floor area used for on-site consumption of beverages and/or food shall be parked at the prescribed restaurant ratio; brewing, bottling and warehousing of product produced or sold on site shall be parked at the prescribed industrial ratio; and, retail display of product for off-site sale shall be parked at the prescribed retail ratio.

RESOLUTION NO. 2017-60

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2017-27: A REQUEST BY VISE BREWING COMPANY, INC. TO ALLOW A 3,650 SQUARE FOOT NANO-BREWERY AND TAPROOM IN THE C-S (SERVICE COMMERCIAL) ZONE. THE PROJECT SITE IS LOCATED AT 210 S. CAIN STREET, SUITES N & O, ON THE EAST SIDE OF CAIN STREET BETWEEN ACEQUIA AND MINERAL KING AVENUES. (APN: 098-120-017)

WHEREAS, Conditional Use Permit No. 2017-27 is a request by Vise Brewing Company, Inc. to allow a 3,650 square foot nano-brewery and taproom in the C-S (Service Commercial) zone. The project site is located at 210 S. Cain Street, Suites N & O, on the east side of Cain Street between Acequia and Mineral King Avenues. (APN: 098-120-017); and

WHEREAS, the Planning Commission of the City of Visalia, after duly published notice did hold a public hearing before said Commission on September 11, 2017; and

WHEREAS, the Planning Commission of the City of Visalia finds the Conditional Use Permit No. 2017-27, as conditioned by staff, to be in accordance with Chapter 17.38.110 of the Zoning Ordinance of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and

WHEREAS, the Planning Commission finds the project to be Categorically Exempt consistent with the California Environmental Quality Act (CEQA) and City of Visalia Environmental Guidelines.

NOW, THEREFORE, BE IT RESOLVED that the project is exempt from further environmental review pursuant to CEQA Section 15301.

NOW, THEREFORE, BE IT FURTHER RESOLVED that the Planning Commission of the City of Visalia makes the following specific findings based on the evidence presented:

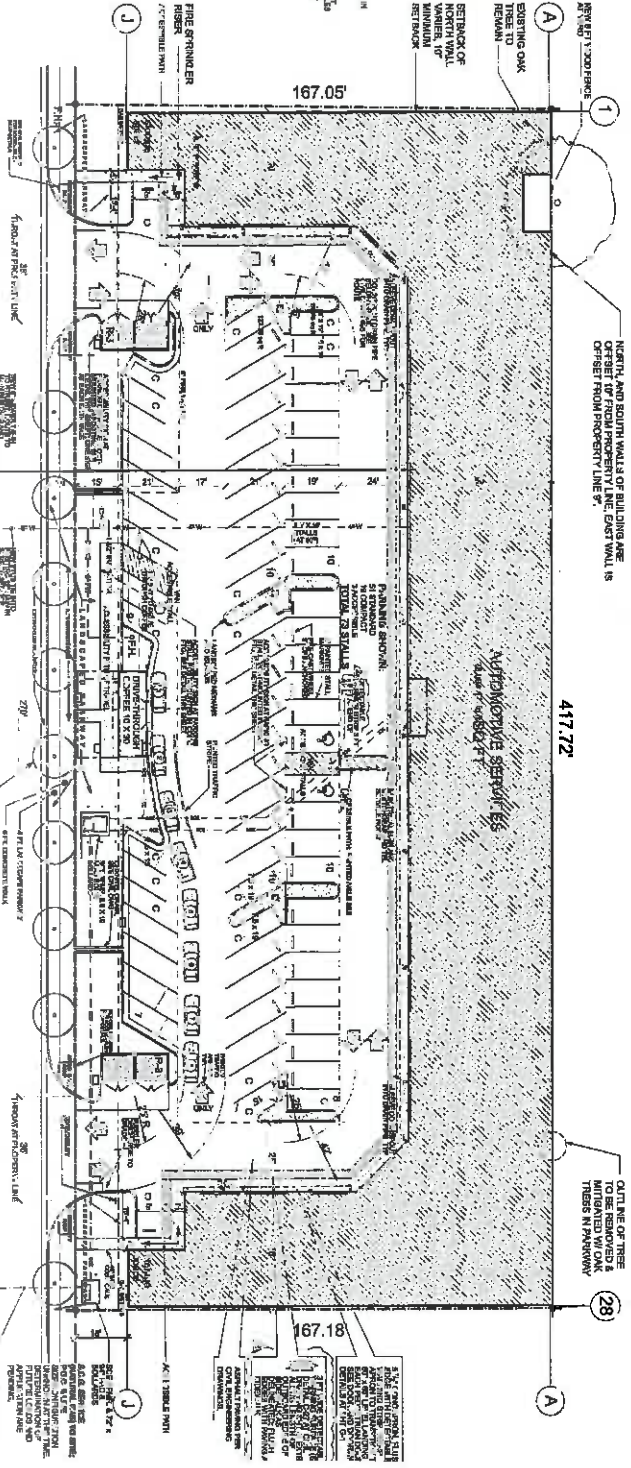
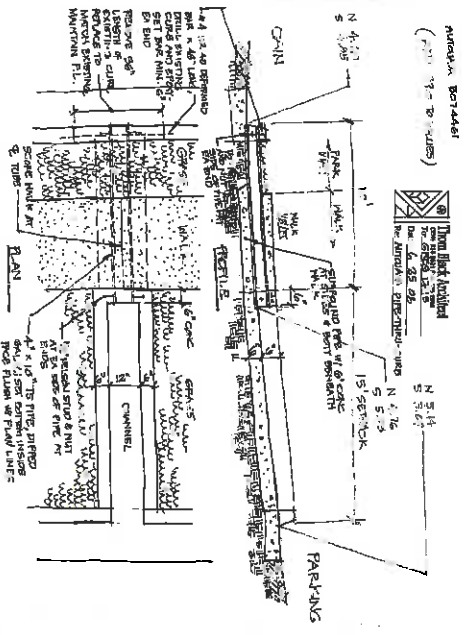
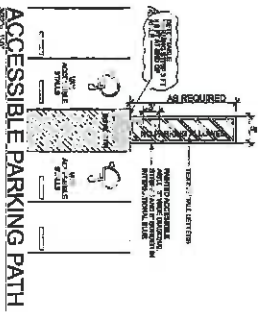
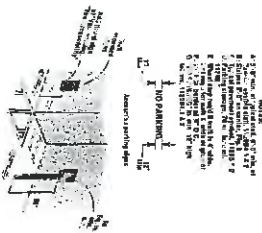
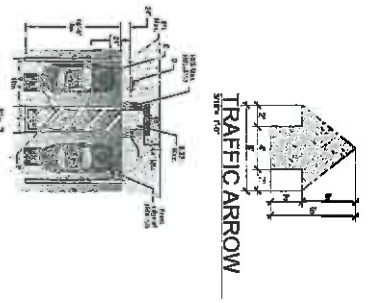
1. That the proposed project, as conditioned, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed CUP is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
 - The proposed location of the conditional use is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located.
 - The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity.

3. That the proposed conditional use permit would be compatible with adjacent land uses. The proposed use is compatible subject to compliance with the conditions of project approval of this conditional use permit.
4. That the project is considered Categorical Exempt under Section 15301 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2017-65)

BE IT FURTHER RESOLVED that the Planning Commission hereby approves the Conditional Use Permit on the real property here described in accordance with the terms of this resolution under the provisions of Section 17.38.110 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the site be developed and maintained in substantial conformance with the site plan in Exhibit "A", floor plan in Exhibit "B", and the operational statement in Exhibit "D".
2. That the facility shall be operated as a micro-brewery / nano-brewery that produces beer together with a taproom.
3. That all alcoholic beverages served or sold from the facility shall be produced on-site.
4. That the area delineated as a taproom on the floor plan shall be limited to the area as shown on the floor plan in Exhibit "B".
5. That the requirements of Site Plan Review No. 2017-45 shall be met.
6. That the project will be required to maintain the noise standards found in Visalia Municipal Code Section 8.36.040 for the project site, including the parking lot and areas of common use by their patrons.
7. No live entertainment, disk jockeys ("DJ's"), or organized dancing is permitted at any time. Background entertainment as defined in Visalia Municipal Code Section 17.63.030 is permitted.
8. All ticketed events shall require a Temporary Conditional Use Permit.
9. Hours of operation shall not extend beyond Monday through Friday 3:00 p.m. to 10:00 p.m., Saturday 11:00 a.m. to 10:00 p.m., and Sunday 11:00 a.m. to 8:00 p.m.
10. There shall be no adult entertainment as defined in Visalia Municipal Code Chapter 17.62, including no lingerie/bathing suit shows.
11. During hours of operation, customers/patrons shall be 21 years of age and older.
12. Public sidewalks shall be kept clear for pedestrian use. Patrons waiting to enter the business shall be formed in a single orderly line outside of the front door of the business.
13. The parking lot and public sidewalks directly adjacent to the site shall be monitored to prevent loitering, noise, littering, and related issues during and after any business activities.
14. The maximum occupancy limit shall be posted and not exceeded.
15. Official inspections on the premises may be conducted at any time during business hours to validate conformance with these conditions of approval.

16. All exterior doors shall remain closed at all times. Doors may not solely consist of a screen door or ventilated security door.
17. There shall be no exterior advertising of any kind promoting or indicating the availability of alcoholic beverages within the business. This does not include advertising placed inside the business directed to the outside and does not include the name of the business itself.
18. No video/arcade games shall be maintained upon the premises unless approved through site plan review and any subsequent entitlement process.
19. The owner/operator shall provide proof that employees who sell alcohol have completed the following, either:
 - a) Completed training from the State of California Department of Alcoholic Beverage Control-Fresno District Office-administered "Leadership and Education in Alcohol and Drugs" (LEAD) Program as confirmed by receipt of an ABC-issued certificate of completion; or
 - b) Completed equivalent training acceptable to the ABC Fresno District Office to ensure proper distribution of beer, wine, distilled spirits, tobacco, and inhalants to adults of legal age.
20. That the owner/operator shall maintain a video camera system that includes the following:
 - a) A fully functional color digital video camera must be in place to record the activities of patrons on the premises. The interior of the business must have at least one camera placed to focus on each area where alcoholic beverages are being dispensed. Additionally, there shall be at least one camera placed to focus on each of the following areas; front door(s) and/or entry area(s), any area outside where patrons wait to enter the establishment, and the majority of the open floor space area in the establishment.
 - b) The camera storage capacity should be for at least ten (10) calendar days. The system must continuously record, store, be capable of playing back images and be fully functional at all times.
21. Vise Brewing Company will be assessed/evaluated by City of Visalia Departments quarterly (4 times) within the first year of business, bi-annually (2 times) within the second year of business, and annually for every year thereafter to ensure adherence to this Conditional Use Permit and their Security Plan to determine whether modifications are necessary due to public safety, public nuisance, or California Department of Alcoholic Beverage Control sales related problems occur.
22. All of the conditions and responsibilities of Conditional Use Permit No. 2017-27 shall run with the land. The owner/operator shall provide a copy of this resolution and conditions of approval to any and all subsequent owners/operators, who shall be subject to all of the conditions herein unless amended or revoked.
23. Failure to comply with all conditions as set forth may result in the revocation of Conditional Use Permit No. 2017-27, in accordance with Visalia Municipal Code Section 17.38.040.
24. All applicable federal, state, and city laws codes and ordinances shall be met, including obtaining all necessary licenses from the California Department of Alcoholic Beverage Control.



Existing Site Plan
(For Reference)

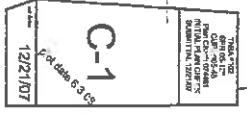
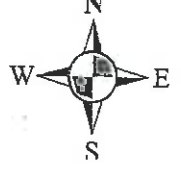
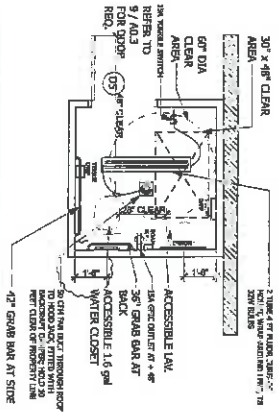


Exhibit "A"

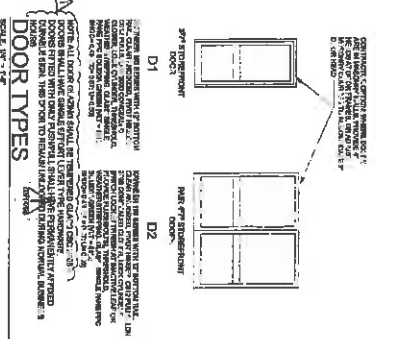
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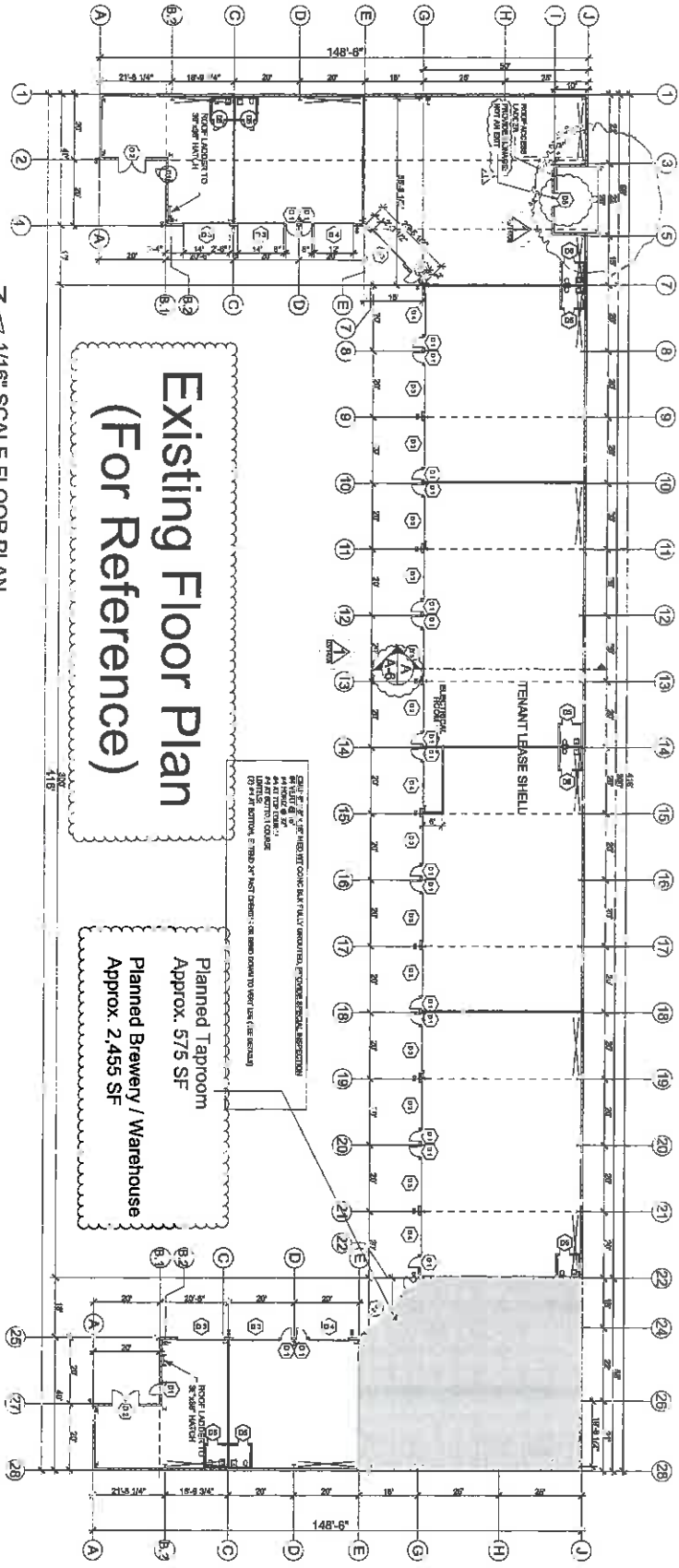
1227/07



TENANT RESTROOM PLAN
 SEE EXISTING FLOOR PLAN FOR DIMENSIONS AND LOCATIONS. THIS PLAN IS FOR REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND MAKE ALL NECESSARY ADJUSTMENTS TO THE PLAN AS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ADJACENT AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ADJACENT AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ADJACENT AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ADJACENT AREAS.

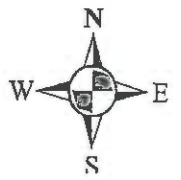


DOOR TYPES
 D1 - 3/4" TEMPERED GLASS DOOR WITH 1 1/2" OVERHUNG. FINISH: POLISHED CHROME.
 D2 - 3/4" TEMPERED GLASS DOOR WITH 1 1/2" OVERHUNG. FINISH: POLISHED CHROME.
 D3 - 1 1/2" OVERHUNG 24" x 36" DOOR. FINISH: POLISHED CHROME.
 D4 - 1 1/2" OVERHUNG 24" x 48" DOOR. FINISH: POLISHED CHROME.
 D5 - 3/4" TEMPERED GLASS DOOR WITH 1 1/2" OVERHUNG. FINISH: POLISHED CHROME.
 ALL DOORS SHALL BE INSTALLED WITH 2" CLEARANCE TO ADJACENT WALLS AND FLOORS. ALL DOORS SHALL BE INSTALLED WITH 2" CLEARANCE TO ADJACENT WALLS AND FLOORS. ALL DOORS SHALL BE INSTALLED WITH 2" CLEARANCE TO ADJACENT WALLS AND FLOORS. ALL DOORS SHALL BE INSTALLED WITH 2" CLEARANCE TO ADJACENT WALLS AND FLOORS.



1/16" SCALE FLOOR PLAN

THIS FLOOR PLAN IS FOR REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND MAKE ALL NECESSARY ADJUSTMENTS TO THE PLAN AS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ADJACENT AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ADJACENT AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ADJACENT AREAS.



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 1/22/1/07

AUTOJAVA



THOMAS BLACK ARCHITECTURE
 1221 N. BROADWAY
 SUITE 100
 SAN ANTONIO, TEXAS 78207
 TEL: (214) 251-1107
 FAX: (214) 251-1108
 WWW.TBLACKARCHITECTURE.COM

Thom Black ARCHITECTURE

Member	Member Name	Occupancy Type	Number of Stories	Floor Area	Calculation Area	Member Load
1	Terrace	AO	10	8,796 SF	0	0
2	Roof	AO	1	1,920 SF	0	15,000
3	Garage	A3	1	1,920 SF	1,920 SF	15,000
4	Warehouse	A2	1	1,920 SF	1,920 SF	15,000
5	Warehouse	A2	1	1,920 SF	1,920 SF	15,000
6	Warehouse	A2	1	1,920 SF	1,920 SF	15,000
7	Warehouse	A2	1	1,920 SF	1,920 SF	15,000
8	Warehouse	A2	1	1,920 SF	1,920 SF	15,000
9	Warehouse	A2	1	1,920 SF	1,920 SF	15,000
Total Occupancy						28,170 SF
Additional Total Occupancy						46

Load Factors as defined in Section 16.1, Table 16.4.1.2 of the 2010 CBC

Multi-story buildings:

with walls of masonry and non-masonry components = 4x U_f or 0.9 U_f per CBC 1604.2

without walls of masonry and non-masonry components = 4x U_f or 0.9 U_f per CBC 1604.2

When U_f is not provided, maximum occupant load of stories may not exceed:

Residential: 1 per CBC Chapter 19 Table 19.1.1.1 (see CBC 1906.1)

Other: Per Table 19.1.1.2

Number	Name	Occupancy Type	Number of Stories	Floor Area	Occupancy Load
1	Terrace	A0	10	8,796 SF	0
2	Roof	A0	1	1,920 SF	0
3	Garage	A3	1	1,920 SF	15,000
4	Warehouse	A2	1	1,920 SF	15,000
5	Warehouse	A2	1	1,920 SF	15,000
6	Warehouse	A2	1	1,920 SF	15,000
7	Warehouse	A2	1	1,920 SF	15,000
8	Warehouse	A2	1	1,920 SF	15,000
9	Warehouse	A2	1	1,920 SF	15,000
Total Occupancy					28,170 SF

Additional Total Occupancy: 46

Load Factors as defined in Chapter 4, Table 4.1 of the 2010 CBC

100% and 100% for all other occupancies. Based on a total occupant load of 46 persons as determined by the calculation above. (See Chapter 4, Table 4.1 of the 2010 CBC for the calculation.)

Where U_f is not provided, maximum occupant load of stories may not exceed:

Residential: 1 per CBC Chapter 19 Table 19.1.1.1 (see CBC 1906.1)

Other: Per Table 19.1.1.2

Where U_f is not provided, maximum occupant load of stories may not exceed:

Residential: 1 per CBC Chapter 19 Table 19.1.1.1 (see CBC 1906.1)

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Residential: 1 per CBC Chapter 19 Table 19.1.1.1 (see CBC 1906.1)

Other: Per Table 19.1.1.2

Where U_f is not provided, maximum occupant load of stories may not exceed:

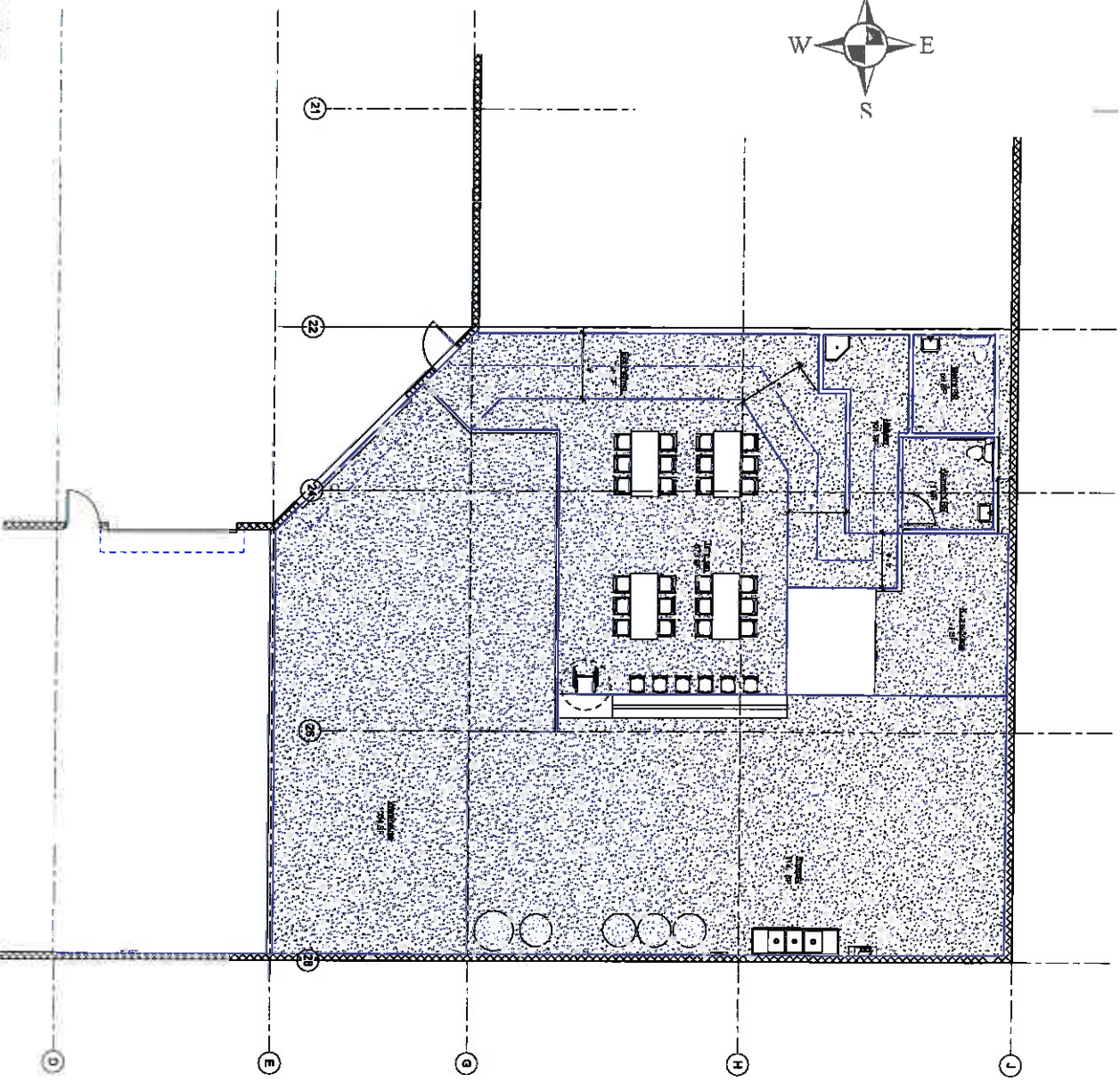
Residential: 1 per CBC Chapter 19 Table 19.1.1.1 (see CBC 1906.1)

Other: Per Table 19.1.1.2

Where U_f is not provided, maximum occupant load of stories may not exceed:

Residential: 1 per CBC Chapter 19 Table 19.1.1.1 (see CBC 1906.1)

Other: Per Table 19.1.1.2



Vise Brewing Co., Inc.

www.visebrewing.com

Consultant
Address
City
State
Zip
Telephone
E-Mail
Firm

Consultant
Address
City
State
Zip
Telephone
E-Mail
Firm

Consultant
Address
City
State
Zip
Telephone
E-Mail
Firm

Consultant
Address
City
State
Zip
Telephone
E-Mail
Firm

No.	Description	Date

Vise Brewing
210 Cain St., Suite N
Area Plan

Project Number: 102
Issue Date: _____
Author: _____
Checker: _____

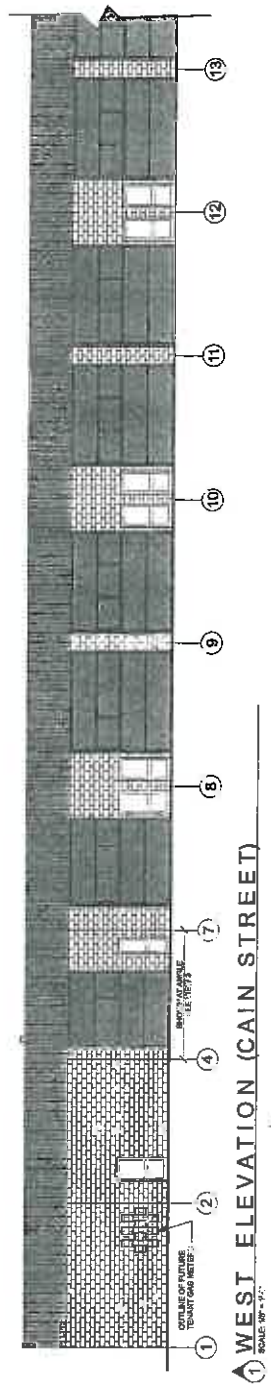
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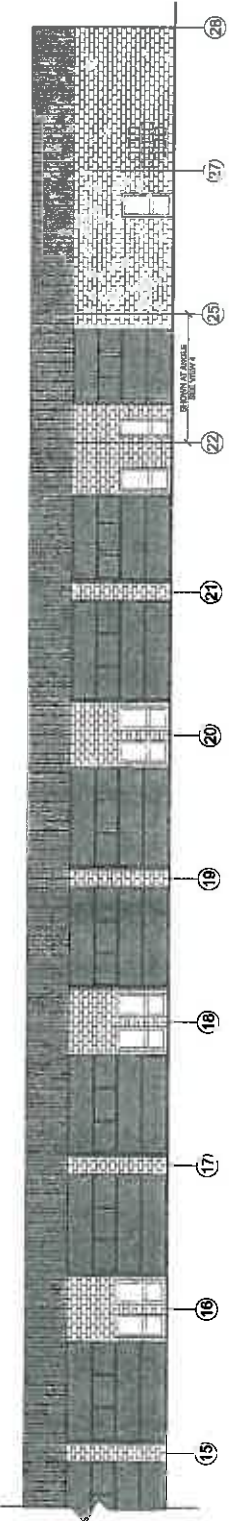
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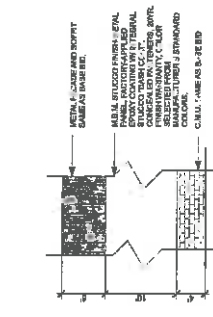
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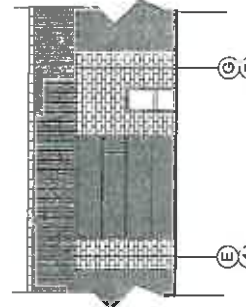
1 WEST ELEVATION (CAIN STREET)
 SCALE: 1/8" = 1'-0"



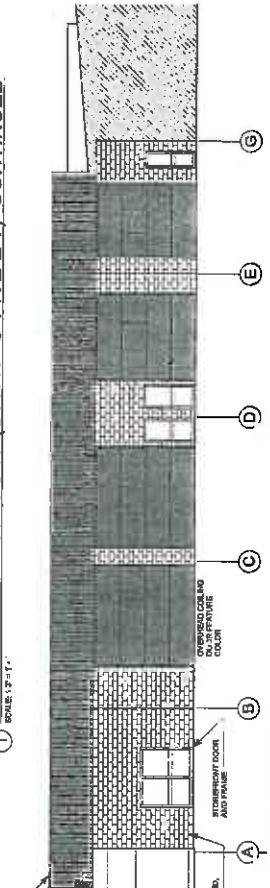
1 WEST ELEVATION (CAIN STREET) CONTINUED
 SCALE: 1/8" = 1'-0"



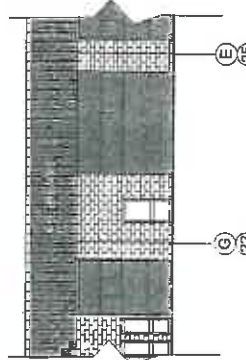
ALTERNATE BID
 PROVIDE ALTERNATE FOR AN EXTERNAL WALL DETAIL AS SHOWN FOR FORCE TO VERIFY THROUGH SUBMITTALS TO BE SHOWN PERMITTED. USE LINE 11. A. 11 SMALL LINE.



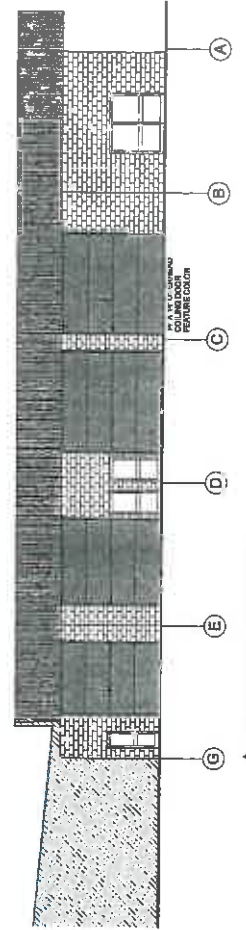
3 ELEVATION VIEW DIAGONAL
 SCALE: 1/8" = 1'-0"



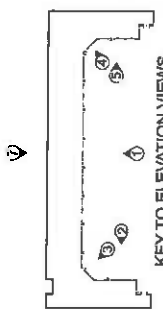
2 FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



4 ELEVATION VIEW DIAGONAL
 SCALE: 1/8" = 1'-0"



5 FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



KEY TO ELEVATION VIEWS

Exhibit "C"

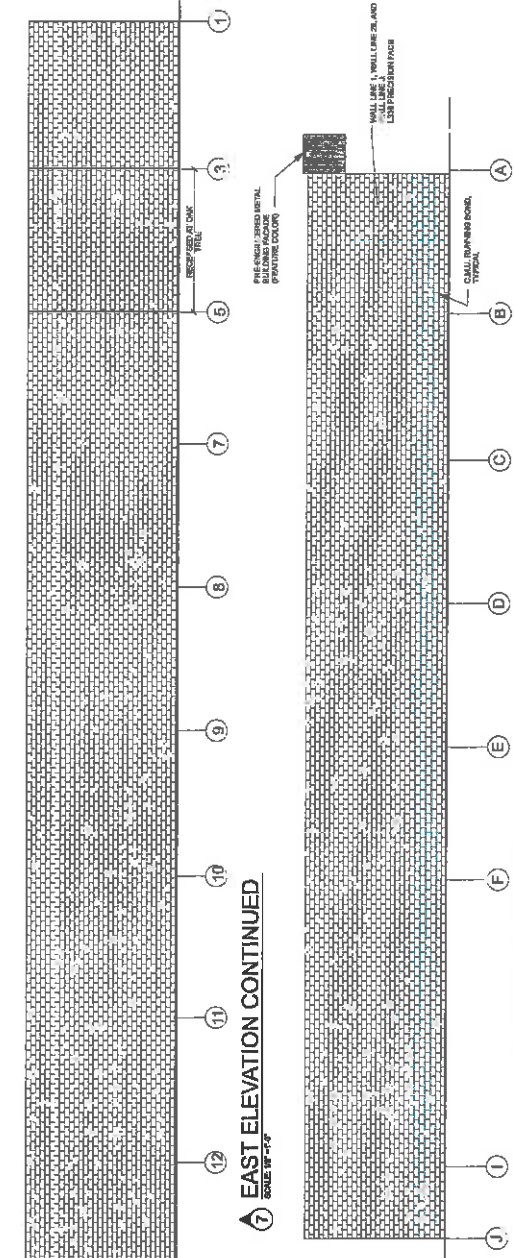
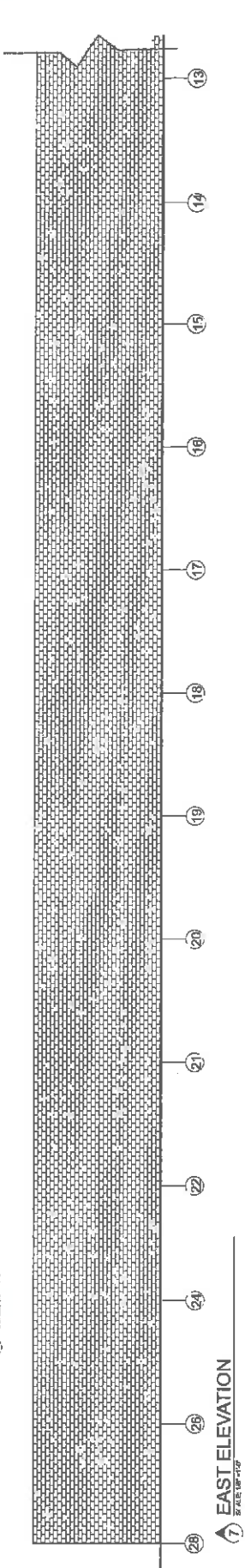
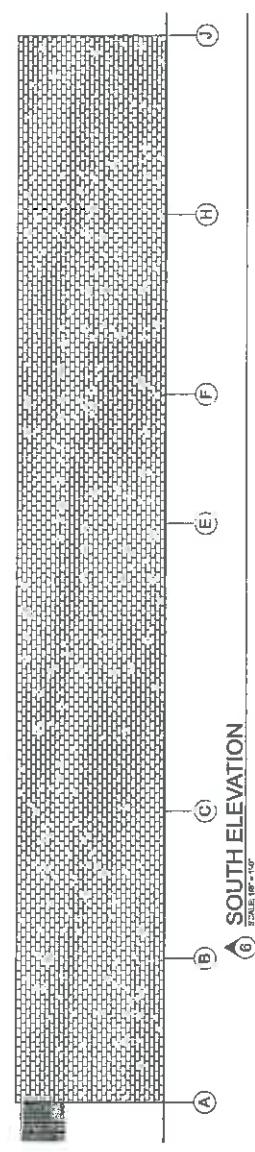




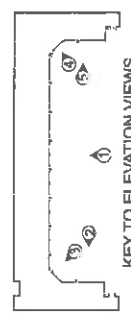
REVISED
 2007 From the original
 drawings, this drawing
 has been revised to reflect
 the changes made to the
 design. The original design
 was approved by the
 Department of Public
 Works and Engineering
 on 11/15/07. The original
 drawings were prepared
 by the design team
 on 11/15/07.

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 A-5
 1221/07



6 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



1221/07

1221/07

**Vise Brewing Co, Inc. –
Brewery & Taproom Operational Statement**

Vise Brewing Co, Inc. is a planned Nano Brewery in the east downtown area of Visalia. The location of the operation is two blocks east of the recently approved Brewery Overlay District. Availability of affordable, available leasable space in the Brewery Overlay District has been an obstacle in finding a reasonable location within this District. We feel that our selected location at 210 S Cain St, will be a complementary addition to the existing nearby businesses as well as the Brewery Overlay District, and given the Taproom hours of operation, our business will not be a nuisance to other businesses in the adjacent area.

Brewery production (active brewing) will occur on an as needed basis. Hours of operation of the production brewery will occur Monday through Sunday from 8 AM to 10 PM. This will not be a full-time, constant production schedule, but as needed, when needed based on product need and employee schedule availability. The brewery will not be open to the public, unless the brewing schedule coincides with the Taproom hours of operation.

Taproom hours of operation will be Monday - Friday from 3:00 PM – 10:00 PM, Saturday from 11:00 AM – 10:00 PM and Sunday from 11:00 AM – 8:00 PM. The taproom will feature beers produced in-house for on-site consumption. Growlers (32 oz and 64 oz) as well as Crowlers (32 oz cans) will be filled on-site for retail sales and off-site consumption. Kegs and Bottles will be filled on-site for retail sales and off-site consumption as well as distribution to local accounts for re-sale.

We aim for our business to be a family friendly location, enjoyable for those of all ages. To accommodate our younger visitors, and those of-age who may not be enjoying a cold brew, we intend to provide pre-packaged snacks and water as well as non-alcoholic drinks for purchase and consumption on site.

Food trucks will be invited to park inside the facility in the Warehouse portion through the roll-up door and serve guests on-site as well. Various Food Trucks / Food Vendors will be scheduled for each day of Taproom operation. Food truck vehicles will not be permitted to idle while parked inside the facility. All Food Trucks / Food Vendors will need to be licensed by and must comply with all Health Department regulations.

A portion of our Taproom will be setup with oversized games such as Jenga, Tick-Tac-Toe, and other backyard games such as Corn Hole, Washers, and Ladder Golf. Board Games will be available and decks of cards may be checked out for those wishing to engage in various card games.

There will be no on-site parking of company service or delivery vehicles. Cardboard / Plastic will be disposed of in on-site City Dumpsters, or recycled at a nearby recycle yard. Spent grains (brewing process waste) will be donated to local

Exhibit “D”

dairies for cattle consumption. The operations of the brewery will not produce any hazardous waste. There will be no single-pass cooling water discharged to the sewer system. Waste water to be recycled and reused for cleaning process prior to going into the municipal sewer system.

Taproom

- 575 SF Taproom
- Hours:
 - o Monday – Friday – 3:00 PM – 10:00 PM
 - o Saturday: 11:00 AM – 10:00 PM
 - o Sunday: 11:00 AM – 8:00 PM
- Staff:
 - o 2 - 4 People
- Seating:
 - o 575 SF @ 1:15 Load Factor = 38 Patrons
- Restrooms
 - o Men's – 1 Lavatory, 1 Urinal, 1 Water Closet
 - o Women's – 1 Lavatory, 1 Water Closet

Production Brewery

- 3,035 SF Brewery / Warehouse
- Hours:
 - o Monday – Sunday: 8 AM – 10 PM, as needed
 - o Deliveries to be made 8 AM – 5 PM, Monday through Friday
- Staff:
 - o 2 - 4 People
- Production Size:
 - o 3.5 BBL Electric Brewhouse (150 Gallon Capacity)
 - o (1) 3.5 BBL Fermenter (150 Gallon Capacity)
 - o (1) 7 BBL Fermenter (300 Gallon Capacity)
 - o (1) 3.5 BBL Brite Tank (150 Gallon Capacity)
 - o (1) 7 BBL Brite Tank (300 Gallon Capacity)
 - o Annual production less than 1,000 BBLs per year
 - 1 BBL = 31 Gallons
- ABV of Beer
 - o Up to 16% Alcohol by Volume
 - o Beer will ferment in Stainless Steel closed, pressure rated fermentation vessels.
 - o Once fermented, beer will be transferred to and carbonated in brite tanks.
 - o Once carbonated, beer will be transferred to and stored in kegs.

- Beer will not be exposed to open heat sources, nor will the ABV be high enough to become flammable if exposed to flame.
- Material Storage
 - Grain
 - 50 lb bags @ 1,000 lbs = 50 bags
 - To be stored on pallets
 - Kegs
 - Empty Kegs will be stored in the warehouse
 - Full Kegs will be stored in the walk-in refrigerator
- Trash
 - Cardboard / Plastic will be disposed of in on-site City dumpsters
 - Spent Grains to be donated to local dairies for cattle consumption
 - Waste Water to be recycled and reused for cleaning process prior to going into municipal sewer system

Vise Brewing, Inc.

Site Plan Review / Conditional Use Permit Application - Narrative

Existing Building Construction Type

- III-N-S

Use & Occupancy Classification

- Assembly Group A-2
 - o Per 2016 CBC, Part 2, Volume 1 – Chapter 3, Section 303.3

Building includes a fully automatic fire sprinkler system.

Space Use – Occupancy Load for Egress Purposes

Space	Area (SF)	Occupancy Load Factor	Occupancy Load	Occupancy Load (Adjusted)
Taproom	575	15	38.333	39
Brewery / Warehouse	2,450	300	8.166	8
Men's Restroom	68	300	0.2	0
Women's Restroom	71	300	0.2	0
Exit Pathway	340	300	1.133	1
Corridor	100	300	0.333	0
Total	4,382		113.7	48

- Parking

- o Restaurant Ratio 1:150 = 3.833 Spaces = 4 Spaces
- o Warehouse Ratio 1:1,000 SF = 3.035 Spaces = 3 Spaces
- o Total = 7 Parking Spaces
 - Shared Parking Provision – Chapter 17.34.050
- o Existing Parking
 - 1 Space per 400 SF of entire 28,004 SF Building
 - Existing = 73 Stalls
 - Current Commercial Service Ratio – 1:500
 - Current Auto Repair Shop Ratio – 1:400
 - Barbershop – 2:1 barber – Minimum 4
 - Restaurant – 1:150
 - Manufacturing / Industrial – 1:1 Employee
 - Retail – 1:500
 - Storage / Warehouse – 1:1,000 SF

Parking Load Analysis

Address	Tenant	Use	Area	Parking Ratio	Parking Stalls
Suite A	Premier Insurance Services	Commercial	420	1:500	1
Suite B & C	Ramirez Quality Services	Auto Repair	2400	1:400	6
Suite D & E	Valley Diesel Repair	Auto Repair	4580	1:400	12
Suite F	Storage	Warehouse	1000	1:1,000	1
Suite G	Garage Doors	Warehouse	3000	1:1,000	3
Suite H - I	Storage	Warehouse	4000	1:1000	4
Suite J	House of Tint	Auto Repair	1000	1:400	3
Suite K	Storage	Warehouse	1000	1:1000	1
Suite L	Foreign Auto Works	Auto Repair	2000	1:400	5
Suite M	Mariscal Service Body Shop	Auto Repair	2000	1:400	5
Suite N	Vise Brewing	Restaurant / Warehouse	575 / 3035	1:150 / 1:1000	4 / 3
Suite P	SafeLite AutoGlass	Auto Repair	2400	1:400	6
Suite Q	Barber Shop	Commercial	420	2:1 / Min 4	4
Suite R	Rainbow Drive-In Express	Restaurant	300	1:150	2
Total Required					60

	Drive-In Express	AM - 8:00 PM	AM - 8:00 PM	AM - 8:00 PM	AM - 8:00 PM	AM - 8:00 PM	AM - 8:00 PM	



#1

MEETING DATE: JUNE 7, 2017
SITE PLAN NO. 17-045 RESUBMITTAL
PARCEL MAP NO.
SUBDIVISION:
LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

- RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.
 - During site plan design/policy concerns were identified, schedule a meeting with
 - Planning Engineering prior to resubmittal plans for Site Plan Review.
 - Solid Waste Parks and Recreation Fire Dept.

REVISE AND PROCEED (see below)

- A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.
- Submit plans for a building permit between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday.
- Your plans must be reviewed by:
 - CITY COUNCIL REDEVELOPMENT
 - PLANNING COMMISSION PARK/RECREATION
 - CUP (MINOR)
 - HISTORIC PRESERVATION OTHER: _____

ADDITIONAL COMMENTS :

If you have any questions or comments, please call Jason Huckleberry at (559) 713-4259.

Site Plan Review Committee



**BUILDING/DEVELOPMENT PLAN
REQUIREMENTS
ENGINEERING DIVISION**

- Jason Huckleberry 713-4259
- Adrian Rubalcaba 713-4271

ITEM NO: 1 DATE: JUNE 7, 2017

SITE PLAN NO.: 17-045 RESUBMITTAL
PROJECT TITLE: VISE BREWING CO, INC
DESCRIPTION: NEW BREWERY & TAPROOM IN EXISTING 2,000 SF WAREHOUSE (CS) (AE) (C)
APPLICANT: VISE BREWING INC
PROP OWNER: LLOYD H MOSLEY LLC
LOCATION: 210 S CAIN ST
APN: 098-120-017

SITE PLAN REVIEW COMMENTS

- REQUIREMENTS (indicated by checked boxes)
- Install curb return with ramp, with _____ radius;
- Install curb; _____ gutter
- Drive approach size: _____ Use radius return;
- Sidewalk: _____ width; _____ parkway width at _____
- Repair and/or replace any sidewalk across the public street frontage(s) of the subject site that has become uneven, cracked or damaged and may constitute a tripping hazard.
- Replace any curb and gutter across the public street frontage(s) of the subject site that has become uneven and has created areas where water can stand.
- Right-of-way dedication required. A title report is required for verification of ownership.
- Deed required prior to issuing building permit;
- City Encroachment Permit Required. FOR ANY WORK NECESSARY IN THE PUBLIC RIGHT-OF-WAY**
Insurance certificate with general & auto liability (\$1 million each) and workers compensation (\$1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit. Contact Encroachment Tech. at 713-4414.
- CalTrans Encroachment Permit required. CalTrans comments required prior to issuing building permit. Contacts: David Deel (Planning) 488-4088;
- Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map.
- Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.
- Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades. Prepared by registered civil engineer or project architect. All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a) directed to the City's existing storm drainage system; b) directed to a permanent on-site basin; or c) directed to a temporary on-site basin is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: _____ : _____ maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance.
- Grading permit is required for clearing and earthwork performed prior to issuance of the building permit.
- Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter = .020%, V-gutter = 0.25%)
- Show adjacent property grade elevations. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
- All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications.
- Traffic indexes per city standards:

- Install street striping as required by the City Engineer.
- Install landscape curbing (typical at parking lot planters).
- Minimum paving section for parking: 2" asphalt concrete paving over 4" Class 2 Agg. Base, or 4" concrete pavement over 2" sand.
- Design Paving section to traffic index of 5.0 min. for solid waste truck travel path.
- Provide "R" value tests: each at
- Written comments required from ditch company Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditch; Jerry Hill 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
- Access required on ditch bank, 15' minimum Provide wide riparian dedication from top of bank.
- Show Oak trees with drip lines and adjacent grade elevations. Protect Oak trees during construction in accordance with City requirements.
- A permit is required to remove oak trees. Contact Joel Hooyer at 713-4295 for an Oak tree evaluation or permit to remove. A pre-construction conference is required.
- Relocate existing utility poles and/or facilities.
- Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- Subject to existing Reimbursement Agreement to reimburse prior developer:
- Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
- If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
- If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.
- Comply with prior comments. Resubmit with additional information. Redesign required.

Additional Comments:

- 1. Proposed use will incur additional impact fees for the "tap room/bar area". Seating will be based on occupancy of the tap room, calculated by the building Dept. Refer to page 3 for applicable fees and summary.**
- 2. Fees will be processed through a 5 year deferral program. Further coordinate with City Engineer.**
- 3. A building permit is required. Standard plan check and inspection fees apply.**
- 4. Refer to further conditions by the Building and Fire Depts.**
- 5. A CUP is required, refer to further conditions by the Planning Dept.**

SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES

Site Plan No: 17-045 RESUBMITTAL

Date: 6/07/2017

Summary of applicable Development Impact Fees to be collected at the time of building permit:

(Preliminary estimate only! Final fees will be based on the development fee schedule in effect at the time of building permit issuance.)

(Fee Schedule Date:10/1/2016)

(Project type for fee rates:SERV COMM + RETAIL)

Existing uses may qualify for credits on Development Impact Fees. **SERV COMM**

<u>FEE ITEM</u>	<u>FEE RATE</u>
<input type="checkbox"/> Groundwater Overdraft Mitigation Fee	
<input checked="" type="checkbox"/> Transportation Impact Fee	TAP ROOM \$13,825/1000SF X 1.909 = \$26,392 - \$3,686(SERV COMM CREDIT) = \$22,706
<input checked="" type="checkbox"/> Trunk Line Capacity Fee	\$6/OCCUPANCY X 100 = \$600 TREATMENT PLANT FEE: \$14/OCCUPANCY X 100 = \$1400
<input type="checkbox"/> Sewer Front Foot Fee	
<input type="checkbox"/> Storm Drain Acq/Dev Fee	
<input type="checkbox"/> Park Acq/Dev Fee	
<input type="checkbox"/> Northeast Specific Plan Fees	
<input type="checkbox"/> Waterways Acquisition Fee	
<input type="checkbox"/> Public Safety Impact Fee: Police	
<input type="checkbox"/> Public Safety Impact Fee: Fire	
<input type="checkbox"/> Public Facility Impact Fee	
<input type="checkbox"/> Parking In-Lieu	

Reimbursement:

- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.



Adrian Rubalcaba

SITE PLAN REVIEW COMMENTS

CITY OF VISALIA TRAFFIC SAFETY DIVISION

June 7, 2017

ITEM NO: 1	RESUBMTL
SITE PLAN NO:	SPR17045
PROJECT TITLE:	WISE BREWING CO., INC
DESCRIPTION:	NEW BREWERY & TAPROOM IN EXISTING 2,000 SF WAREHOUSE (CS) (AE) (C)
APPLICANT:	WISE BREWING INC
PROP. OWNER:	LLOYD H MOSLEY LLC
APN:	098-120-017
LOCATION:	210 S CAIN ST VISA
APN:	098-120-017
LOCATION:	240 S CAIN ST VISA

THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY

- No Comments
- See Previous Site Plan Comments
- Install Street Light(s) per City Standards.
- Install Street Name Blades at Locations.
- Install Stop Signs at Locations.
- Construct parking per City Standards PK-1 through PK-4.
- Construct drive approach per City Standards.
- Traffic Impact Analysis required.
 - Provide more traffic information such as a TIA may be required. Depending on development size, characteristics, etc.,

Additional Comments:

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Leslie Blair

**QUALITY ASSURANCE DIVISION
SITE PLAN REVIEW COMMENTS**

ITEM NO: 1 DATE: June 07, 2017
SITE PLAN NO: SPR17045 *RESUBMIT*
PROJECT TITLE: VISE BREWING CO., INC
DESCRIPTION: NEW BREWERY & TAPROOM IN EXISTING 2,000 SF
 WAREHOUSE (CS) (AE) (C)
APPLICANT: VISE BREWING INC
PROP OWNER: LLOYD H MOSLEY LLC
LOCATION: 210 S CAIN ST
APN(S): 098-120-017

YOU ARE REQUIRED TO COMPLY WITH THE CITY OF VISALIA WASTEWATER ORDINANCE 13.08 RELATIVE TO CONNECTION TO THE SEWER, PAYMENT OF CONNECTION FEES AND MONTHLY SEWER USER CHARGES. THE ORDINANCE ALSO RESTRICTS THE DISCHARGE OF CERTAIN NON-DOMESTIC WASTES INTO THE SANITARY SEWER SYSTEM.

YOUR PROJECT IS ALSO SUBJECT TO THE FOLLOWING REQUIREMENTS:

- WASTEWATER DISCHARGE PERMIT APPLICATION
- SAND AND GREASE INTERCEPTOR – 3 COMPARTMENT _____
- GREASE INTERCEPTOR min. 1000 GAL
- GARBAGE GRINDER – ¾ HP. MAXIMUM _____
- SUBMISSION OF A DRY PROCESS DECLARATION _____
- NO SINGLE PASS COOLING WATER IS PERMITTED _____
- OTHER _____
- SITE PLAN REVIEWED – NO COMMENTS

CALL THE QUALITY ASSURANCE DIVISION AT (559) 713-4529 IF YOU HAVE ANY QUESTIONS.

CITY OF VISALIA
PUBLIC WORKS DEPARTMENT
QUALITY ASSURANCE DIVISION
7579 AVENUE 288
VISALIA, CA 93277



AUTHORIZED SIGNATURE

6-2-17

DATE

Susan Currier

From: Joel Hooyer
Sent: Tuesday, June 06, 2017 8:43 AM
To: Adrian Rubalcaba; Jason Huckleberry; Susan Currier
Subject: Site Plan Review comments for June 6, 2017
Attachments: 20170606080355879.pdf

See attached for the site plan review comments for June 6, 2017.

SPR17045 – No Valley Oaks on the site.

Joel

**City of Visalia
Police Department**
303 S. Johnson St.
Visalia, Ca. 93292
(559) 713-4370

ITEM NO: 1 DATE: June 07, 2017
SITE PLAN NO: SPR17045 **RESUBMIT**
PROJECT TITLE: VISE BREWING CO., INC
DESCRIPTION: NEW BREWERY & TAPROOM IN EXISTING 2,000 SF
 WAREHOUSE (CS) (AE) (C)
 VISE BREWING INC
APPLICANT: LLOYD H MOSLEY LLC
PROP OWNER: 210 S CAIN ST
LOCATION: 098-120-017
APN(S):

Site Plan Review Comments

- No Comment at this time.
- Request opportunity to comment or make recommendations as to safety issues as plans are developed.
- Public Safety Impact fee:
Ordinance No. 2001-11 Chapter 16.48 of Title 16 of the Visalia Municipal Code
Effective date - August 17, 2001

Impact fees shall be imposed by the City pursuant to this Ordinance as a condition of or in conjunction with the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land, upon which no like building, structure of improvement previously existed. *Refer to Engineering Site Plan comments for fee estimation.

- Not enough information provided. Please provide additional information pertaining to:

- Territorial Reinforcement: Define property lines (private/public space).

- Access Controlled / Restricted etc:

- Lighting Concerns: PROPER EXTERIOR LIGHTING REQUIRED
TO PROVIDE A SAFE ENVIRONMENT
- Landscaping Concerns: /

- Traffic Concerns:

- Surveillance Issues: INTERIOR / EXTERIOR SURVEILLANCE CAMERA
SYSTEM TO BE INSTALLED AND ACCESSIBLE
TO VISALIA PD, UPON REQUEST
- Line of Sight Issues:

- Other Concerns: TO COMPLY WITH STANDARD ABC
ON-SITE SALES PROCEDURES
- IF BUSINESS BECOMES
A PUBLIC NUISANCE, A VISALIA PD
APPROVED SECURITY PLAN MAY BE REQUIRED

Visalia Police Department


City of Visalia
Building: Site Plan
Review Comments

SITE PLAN NO: SPR17045 **RESUBMIT**
 PROJECT TITLE: VISE BREWING CO., INC
 DESCRIPTION: NEW BREWERY & TAPROOM IN EXISTING 2,000 SF WAREHOUSE (CS) (AE) (C)
 APPLICANT: VISE BREWING INC
 PROP OWNER: LLOYD H MOSLEY LLC
 LOCATION: 210 S CAIN ST
 APN(S): 098-120-017

NOTE: These are general comments and DO NOT
 Please refer to the applicable California Codes & local ordinance for additional requirements.

- Business Tax Certification is required. *For information call (559) 713-4326*
- A building permit will be required. *For information call (559) 713-4444*
- Submit 4 sets of professionally prepared plans and 2 sets of calculations. (Small Tenant Improvements)
- Submit 4 sets of plans prepared by an architect or engineer. Must comply with 2013 California Building Code Sec. 2308 for conventional light-frame construction or submit 2 sets of engineered calculations.
- Indicate abandoned wells, septic systems and excavations on construction plans.
- You are responsible to ensure compliance with the following checked items:
- Meet State and Federal requirements for accessibility for persons with disabilities.
- A path of travel, parking, common area and public right of way must comply with requirements for access for persons with disabilities.
- Multi family units shall be accessible or adaptable for persons with disabilities.
- Maintain sound transmission control between units minimum of 50 STC.
- Maintain fire-resistive requirements at property lines. **AND BETWEEN TENANT SPACES**
- A demolition permit & deposit is required. *For information call (559) 713-4444*
- Obtain required clearance from San Joaquin Valley Air Pollution Board. Prior to any demolition work
For information call (661) 392-5500
- Location of cashier must provide clear view of gas pump island
- Plans must be approved by the Tulare County Health Department. *For information call (559) 624-7400*
- Project is located in flood zone AE * Hazardous materials report.
- Arrange for an on-site inspection. (Fee for inspection \$157.00) *For information call (559) 713-4444*
- School Development fees. Commercial \$0.56 per square foot. Residential \$3.75 per square foot.
- Existing address must be changed to be consistent with city address. *For information call (559) 713-4320*
- Acceptable as submitted
- No comments
- See previous comments dated: _____

Special comments: PROVIDE 2 WATER CLOSETS FOR THE FEMALE RESTROOM.

 Date: 6/7/17
 Signature

SITE PLAN REVIEW COMMENTS

Paul Bernal, Planning Division (559) 713-4025

Date: June 07, 2017

SITE PLAN NO: 2017-045 RESUBMITTAL
PROJECT TITLE: VISE BREWING CO., INC
DESCRIPTION: NEW BREWERY & TAPROOM IN EXISTING 2,000 SF WAREHOUSE
(CS) (AE) (C)
APPLICANT: VISE BREWING INC
PROP. OWNER: LLOYD H MOSLEY LLC
LOCATION TITLE: 210 S CAIN ST
APN TITLE: 098-120-017
GENERAL PLAN: Service Commercial
EXISTING ZONING: C-S – Service Commercial

Planning Division Recommendation:

- Revise and Proceed
 Resubmit

Project Requirements

- Conditional Use Permit (CUP) for Micro-brewery
- Operational Statement
- Building Permits
- Additional Information as Needed

PROJECT SPECIFIC INFORMATION (06/07/2017):

1. Comply with previous comments below.
2. Provide a detailed operation statement with the CUP application submittal.
3. The floor plan shall depict how the entire area is used.
4. Parking shall be provided at one stall per 150 sq. ft. for the taproom area and one space per 1,000 sq. ft. for the warehouse and brewery area.

PREVIOUS COMMENTS

PROJECT SPECIFIC INFORMATION (03/01/2017):

1. A CUP is required for the microbrewery.
2. Provide a detailed floor plan depicting how the space will be utilized. Call out square footage areas for the brewery and the area dedicated to the taproom / retail space.
3. Parking for microbreweries is calculated as follows: Parking required for a micro-brewery/micro-winery use shall be determined by the allocation of interior floor space of the establishment, and at the prescribed ratios as contained in Chapter 17.34 (Off-street parking and loading facilities). Portions of the floor area used for onsite consumption of beverages and/or food shall be parked at the prescribed restaurant ratio; brewing, bottling and warehousing of product produced or sold on site shall be parked at the prescribed industrial ratio; and, retail display of product for off-site sale shall be parked at the prescribed retail ratio.
4. The entire site was developed as a parking ratio of one space per 400 square feet with 73 parking stalls provided for the entire 28,004 square foot building.
5. Provide a parking analysis of the existing businesses and their hours of operation. This will help staff analyze the parking requirements for the microbrewery business and the parking requirement for the existing businesses.

- Staff's initial finding is that the proposed site plan IS CONSISTENT with the City General Plan. Because this project requires discretionary approval by the City Council and/or Planning Commission the final determination of consistency will be made by the Planning Commission and/or City Council.

17.18.080 Development standards in the C-S zone.

The following development standards shall apply to property located in the C-S zone:

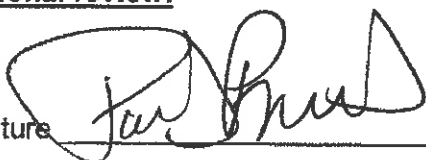
- A. Minimum site area: five thousand (5,000) square feet.
- B. Maximum building height: sixty (60) feet.
- C. Minimum required yards (building setbacks):
 - 1. Front: ten (10) feet;
 - 2. Rear: zero (0) feet;
 - 3. Rear yards abutting an R-1 or R-M zone district: fifteen (15) feet;
 - 4. Side: zero (0) feet;
 - 5. Side yards abutting an R-1 or R-M zone district: fifteen (15) feet;
 - 6. Street side yard on corner lot: ten (10) feet.
- D. Minimum required landscaped yard (setback) areas:
 - 1. Front: ten (10) feet;
 - 2. Rear: five (5) feet (except where a building is located on side property line);
 - 3. Rear yards abutting an R-1 or R-M zone district: five (5) feet;
 - 4. Side: five (5) feet (except where a building is located on side property line);
 - 5. Side yards abutting an R-1 or R-M zone district: five (5) feet;
 - 6. Street side on corner lot: ten (10) feet.

Parking:

- 1. Parking shall be provided at one stall per 150 sq. ft. for the taproom area and one space per 1,000 sq. ft. for the warehouse and brewery area (see Zoning Ordinance Section 17.34).
- 2. Parking required for a micro-brewery/micro-winery use shall be determined by the allocation of interior floor space of the establishment, and at the prescribed ratios as contained in Chapter 17.34 (Off-street parking and loading facilities). Portions of the floor area used for onsite consumption of beverages and/or food shall be parked at the prescribed restaurant ratio; brewing, bottling and warehousing of product produced or sold on site shall be parked at the prescribed industrial ratio; and, retail display of product for off-site sale shall be parked at the prescribed retail ratio.
- 3. 30% of the required parking stalls may be compact and shall be evenly distributed in the lot (Zoning Ordinance Section 17.34.030.I).
- 4. Provide handicapped space(s) (see Zoning Ordinance Section 17.34.030.H).

NOTE: Staff recommendations contained in this document are not to be considered support for a particular action or project unless otherwise stated in the comments. The comments found on this document pertain to the site plan submitted for review on the above referenced date. Any changes made to the plan submitted must be submitted for additional review.

Signature _____





Site Plan Review Comments For:
Visalia Fire Department
Kurtis A. Brown, Fire Marshal
707 W Acequia
Visalia, CA 93291
559-713-4261 Office
559-713-4808 Fax

ITEM NO: 1 DATE: June 07, 2017
SITE PLAN NO: SPR17045 **RESUBMIT**
PROJECT TITLE: VISE BREWING CO., INC
DESCRIPTION: NEW BREWERY & TAPROOM IN EXISTING 2,000 S
WAREHOUSE (CS) (AE) (C)
APPLICANT: VISE BREWING INC
PROP OWNER: LLOYD H MOSLEY LLC
LOCATION: 210 S CAIN ST
APN(S): 098-120-017

The following comments are applicable when checked:

- The Site Plan Review comments are issued as general overview of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2016 California Fire Code (CFC), 2016 California Building Codes (CBC) and City of Visalia Municipal Codes.
- All fire detection, alarm, and extinguishing systems in existing buildings shall be maintained in an operative condition at all times and shall be replaced or repaired where defective. If building has been vacant for a significant amount of time, the fire detection, alarm, and or extinguishing systems may need to be evaluated by a licensed professional. *2016 CFC 901.6*
- No fire protection items required for parcel map or lot line adjustment; however, any future projects will be subject to fire & life safety requirements including fire protection.
- Construction and demolition sites prior to and during construction shall comply with the following:
- Water Supply for fire protection, either temporary or permanent, shall be made available as soon as combustible materials arrive on the site. *2016 CFC 3312*
 - An all-weather, 20 feet width Construction Access Road capable of holding a 75,000 pound fire apparatus. Fire apparatus access shall be provided within 100 feet of temporary or permanent fire department connections. *2016 CFC 3310*
- More information is needed before a Site Plan Review can be conducted. Please submit plans with more detail. Please include information on

General:

- Address numbers must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least four inches (4") high and shall be of a color to contrast with their background. If multiple addresses served are by a common driveway, the range of numbers shall be posted at the roadway/driveway. *2016 CFC 505.1*
- All hardware on exit doors, illuminated exit signs and emergency lighting shall comply with the 2016 California Fire Code. This includes all locks, latches, bolt locks, panic hardware, fire exit hardware and gates.
- Commercial dumpsters with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system. *2016 CFC 304.3.3*

- A Knox Box key lock system is required. Where access to or within a structure or area is restricted because of secured openings (doors and/or gates), a key box is to be installed in an approved location. The key box shall be ordered using an approved Knox Authorization Order Form. The forms are located at the fire department administration office located at 707 W. Acequia, Visalia, CA 93291. Please allow adequate time for shipping and installation. *2016 CFC 506.1*
- If your business handles hazardous material in amounts that exceed the Maximum Allowable Quantities listed on *Table 5003.1.1(1), 5003.1.1(2), 5003.1.1(3) and 5003.1.1(4) of the 2016 California Fire Code*, you are required to submit an emergency response plan to the Tulare County Health Department. Also you shall indicate the quantities on your building plans and prior to the building final inspection a copy of your emergency response plan and Safety Data Sheets shall be submitted to the Visalia Fire Department.

Water Supply for Residential, Commercial & Industrial:

Residential

- Fire hydrant spacing and location shall comply with the following requirements:
The exact location and number of fire hydrants shall be at the discretion of the fire marshal, fire chief and/or their designee. *Visalia Municipal Code 16.36.120(5)*
 - Single-family residential developments shall be provided with fire hydrants every six hundred (600) lineal feet of residential frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
 - Multi-family, zero lot line clearance, mobile home park or condominium developments shall be provided with fire hydrants every four hundred (400) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
 - Multi-family or condominium developments with one hundred (100) percent coverage fire sprinkler systems shall be provided with fire hydrants every six (600) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.

Commercial & Industrial

- Where a portion of the facility or building is more than 400 feet from a hydrant on a fire apparatus access road, on-site fire hydrant(s) shall be provided. *2016 CFC 507.5.1*
- Due to insufficient building information, the number and distance between fire hydrants cannot be determined by the Site Plan Review process. The number of fire hydrants and distance between required fire hydrants shall be determined by utilizing type of construction and square footage in accordance with *CFC 2016 Appendix C102 & C103 & CFC 507.5.1*
- To determine fire hydrant location(s) and distribution the following information was provided to the Site Plan Review committee: **Type of construction** _____ **Square footage** _____

Emergency Access

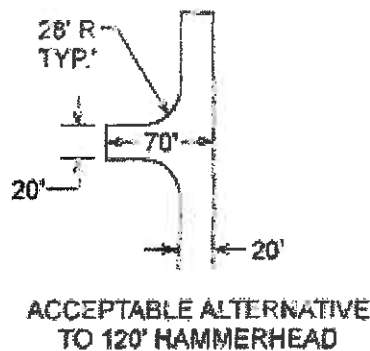
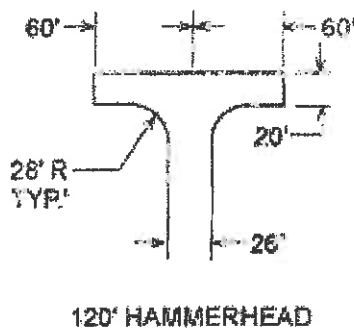
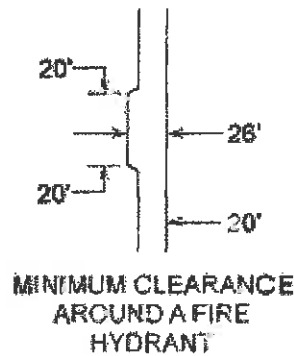
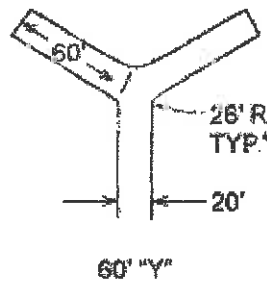
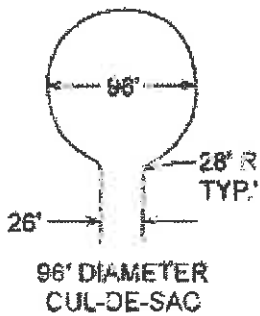
- A fire apparatus access roads shall be provided and must comply with the 2016 CFC and extend within 150 of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Fire apparatus access

roads shall have an unobstructed width of not less than 20 feet. Minimum turning radius for emergency fire apparatus shall be 20 feet inside radius and 43 feet outside radius. 2016 CFC 503.1.1

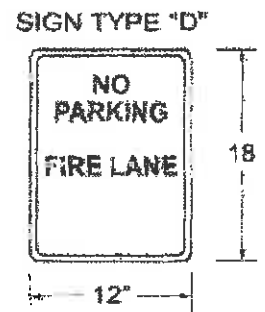
☐ Buildings or portions of buildings or facilities with a vertical distance between the grade plan and the highest roof surface that exceed 30 feet shall provide an approved fire apparatus access roads capable of accommodating fire department aerial apparatus.

- Access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders.
- Access routes shall be located within a minimum of 15 feet and maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building.
- Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building.

☐ Fire apparatus access roads in excess of 150 feet and dead end shall be provided with a turnaround. Fire apparatus access roads with a length of 151-500 feet shall be a minimum of 20 feet in width. Length of 501-750 feet shall be 26 feet in width. 2016 CFC Table D103.4



☐ Approved No PARKING – FIRE LANE signs shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. Signs shall have a minimum dimension of 12 inches wide by 18 inches high and have red letters on a white reflective background. 2013 CFC 503.3/D103.6



- On site Fire Apparatus Access Roads shall be provided and have an unobstructed width of not less than the following;
 - 20 feet width, exclusive of shoulders (No Parking)
 - More than 26 feet width, exclusive of shoulders (No Parking one side)
 - More than 32 feet wide, exclusive of shoulders (Parking permitted on both sides)

- Marking- approved signs, other approved notices or marking that include the words "NO PARKING-FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. *CFC 503.3*

- Gates on access roads shall be a minimum width of 20 feet and shall comply with the following:
2016 CFC D103.5
 - Gates shall be of the swinging or sliding type.
 - Gates shall allow manual operation by one person (power outages).
 - Gates shall be maintained in an operative condition at all times.
 - Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. (Note: Knox boxes shall be ordered using an approved Knox Authorization Order Form. The forms are located at the fire department administration office located at 707 W. Acequia, Visalia, CA 93291. Please allow adequate time for shipping and installation.)

- Streets shall meet the City of Visalia's Design & Improvement Standards for streets to ensure that fire apparatus can make access to all structures in the event of an emergency.

Fire Protection Systems

- An automatic fire sprinkler system will be required for this building. Also, a fire hydrant is required within 50 feet of the Fire Department Connection (FDC). Where an existing building is retrofitted with a sprinkler system (NFPA 13 or NFPA 13R) a fire hydrant shall be provided within 75 feet of the FDC. An additional 25 feet of distance between a fire hydrant and FDC may be granted when a fire sprinkler Density is designed with an additional 25%. *2016 CFC 912 and Visalia Municipal Code 8.20.010 subsection C103.4*

- Locking fire department connection (FDC) caps are required. The caps shall be ordered using an approved Knox Authorization Order Form. The forms are located at the fire department administration office located at 707 W. Acequia, Visalia, CA 93291. *2016 CFC 912.4.1*

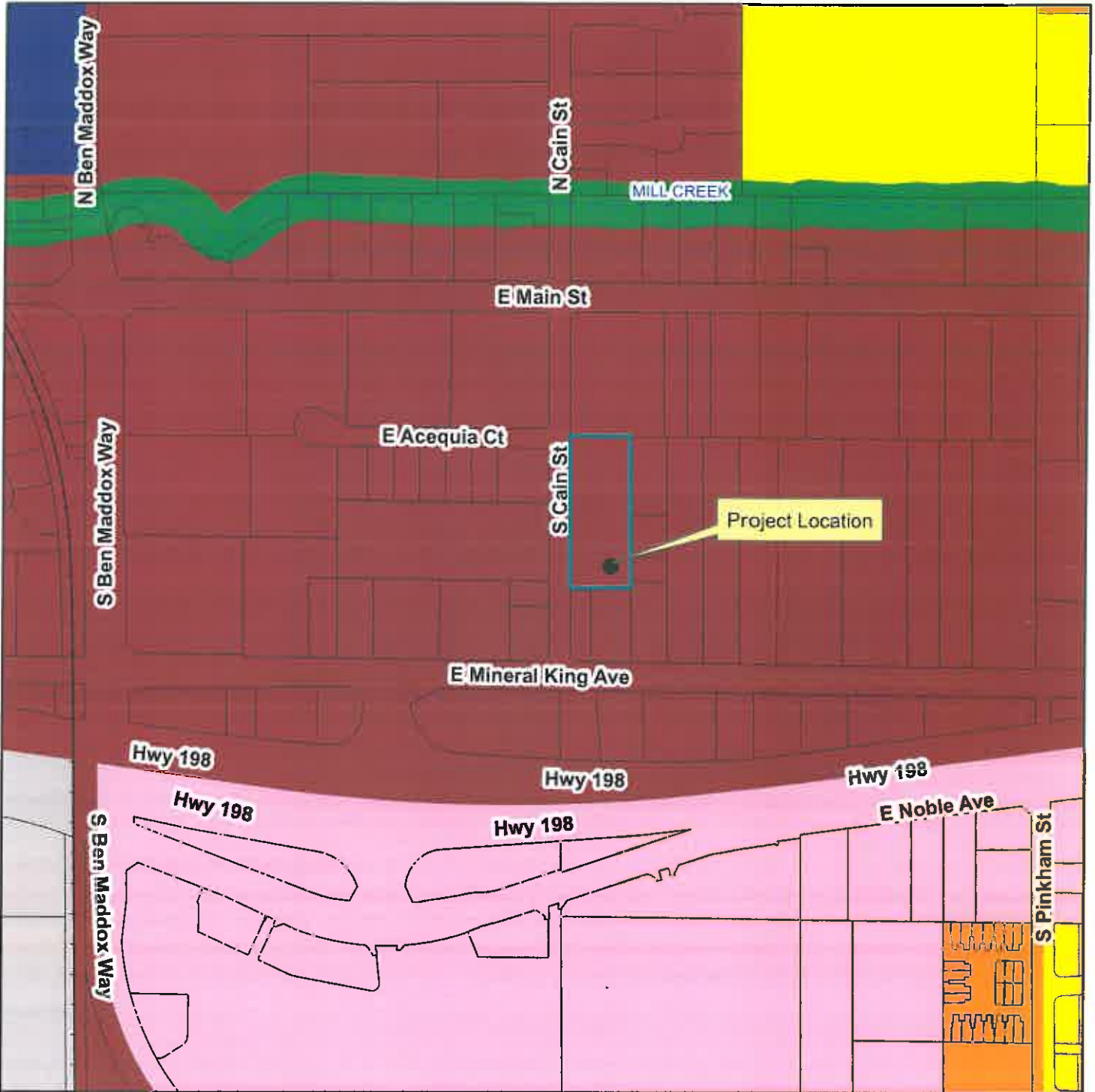
- Commercial cooking appliances and domestic cooking appliances used for commercial purposes that produces grease laden vapors shall be provided with a Type 1 Hood, in accordance with the California Mechanical Code, and an automatic fire extinguishing system. *2016 CFC 904.12 & 609.2*

Special Comments:

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Conditional Use Permit No. 2017-27

The project site is located at 210 S. Cain Street, Suites N & O, on the east side of Cain Street between Acequia and Mineral King Avenues. (APN: 098-120-017)



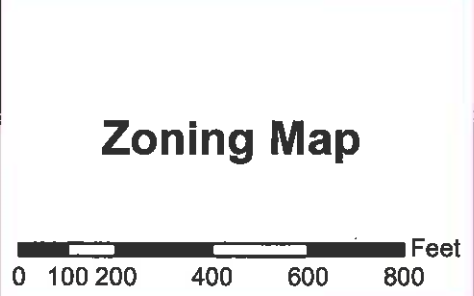
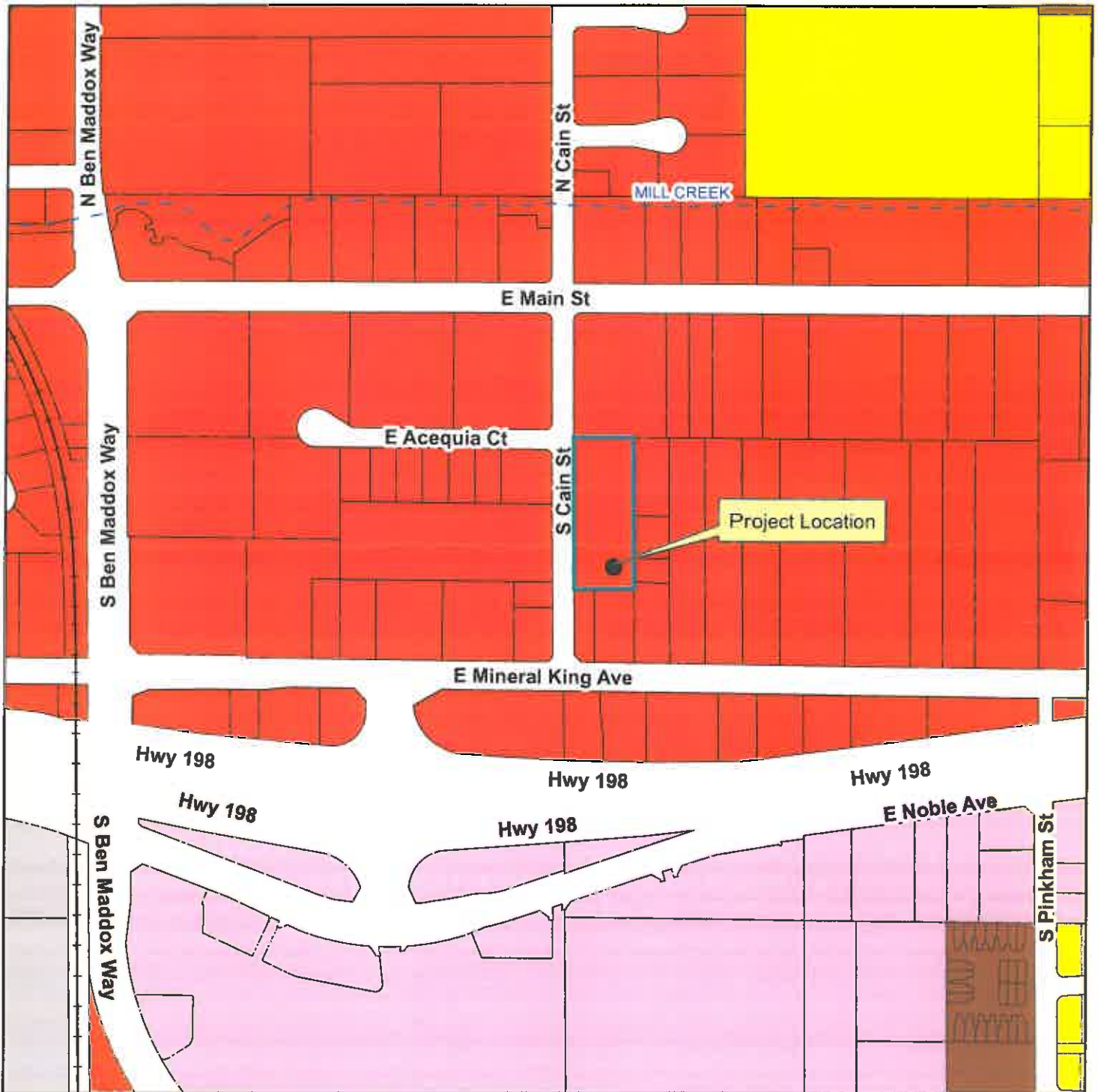
General Plan Land Use Map



- Conservation
 - Commercial Mixed Use
 - Commercial Service
 - Light Industrial
 - Office
 - Residential Low Density
 - Residential Medium Density
- 

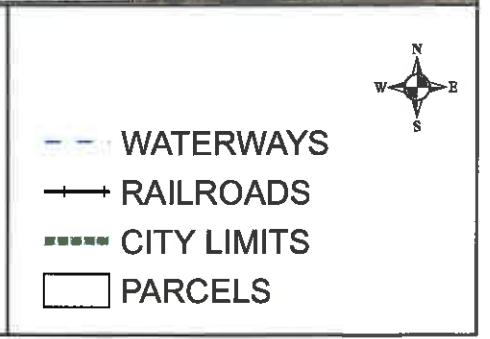
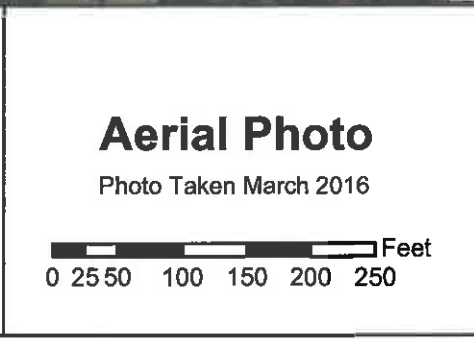
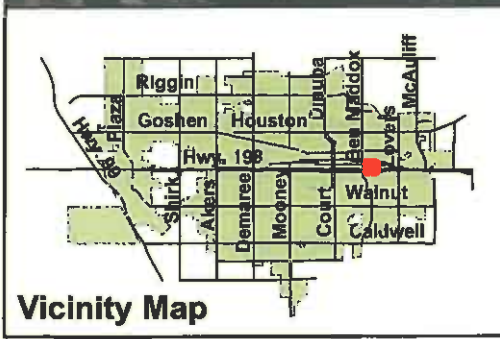
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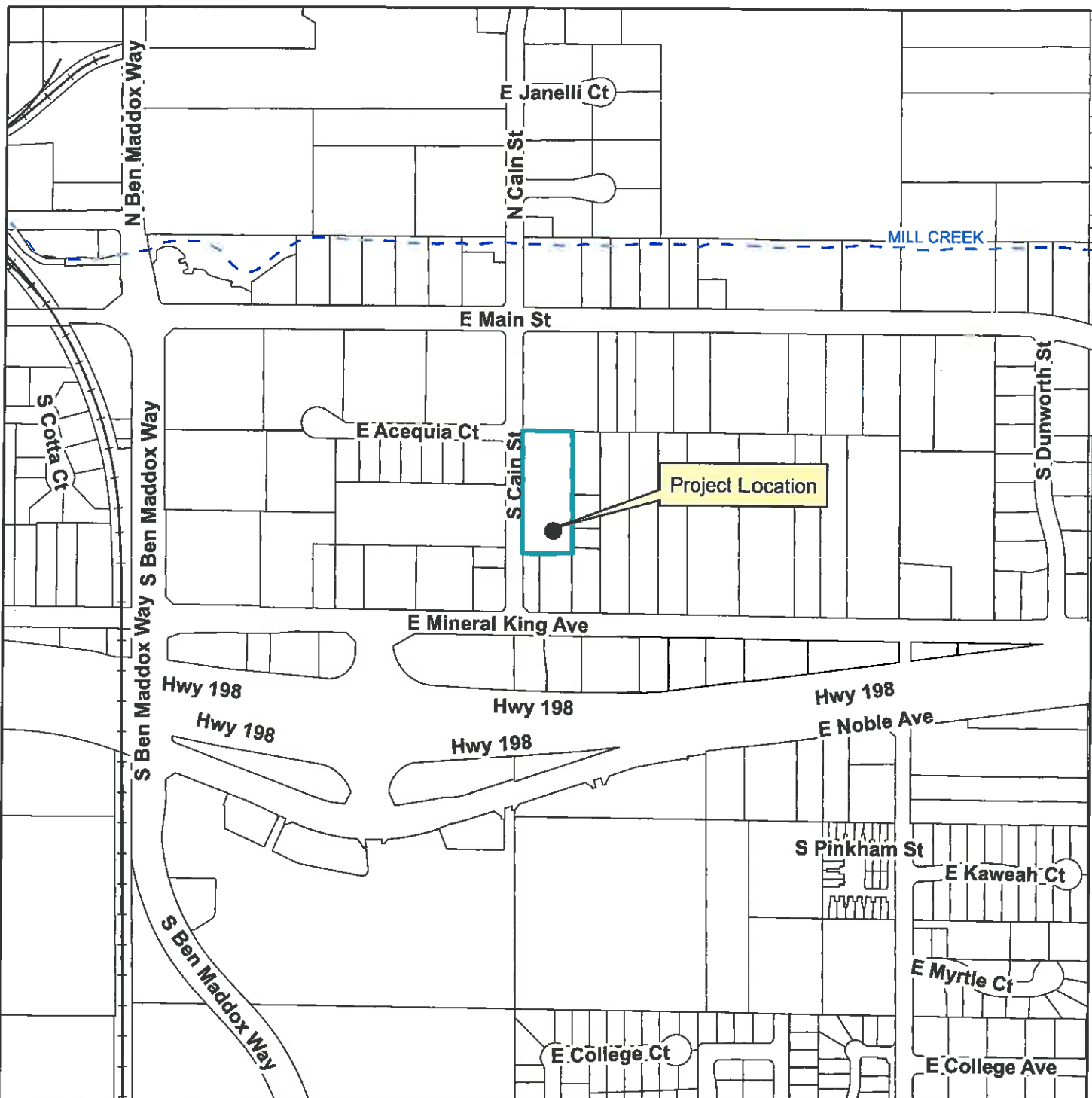
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Location Map



-  WATERWAYS
-  RAILROADS
-  CITY LIMITS
-  PARCELS

