



REPORT TO CITY OF VISALIA PLANNING COMMISSION

HEARING DATE: December 12, 2016

PROJECT PLANNER: Andrew Chamberlain
Phone No. 713-4003 andrew.chamberlain@visalia.city

SUBJECT: Conditional Use Permit No. 2016-26: A request by Neighborhood Church to amend Conditional Use Permit No. 96-29 to allow a new 23,000 sq. ft. sanctuary, classrooms, office, and parking lots on an existing 18-acre church campus in the R-A (Rural Residential) zone, located at 5505 W. Riggin Avenue. (APN: 077-100-062)

STAFF RECOMMENDATION

Staff recommends approval of Resolution No. 2016-55 for Conditional Use Permit No. 2016-26 based on the project's consistency with the policies of the City's General Plan and Zoning Ordinance.

RECOMMENDED MOTION

I move to adopt Resolution No. 2016-55 approving Conditional Use Permit No. 2016-26.

PROJECT DESCRIPTION

The Neighborhood Church requests approval to revise the Master Plan for its church campus by relocating the proposed sanctuary building and increase the approved seating from 800 to 1,200 seats. The proposal would also add 2,000 sq. ft. of office, along with the addition of two classroom buildings (10,050 sq. ft. total), and additional parking lots. As illustrated in Exhibit "A", development will occur in two phases, with classrooms, office and parking in Phase One. Phase Two includes the Sanctuary, more parking, and a new access drive onto Akers Street. The original Master Plan from CUP No. 96-29 is shown in Exhibit "B", with the major changes being the relocation of the sanctuary from the east side of the site to a more central position, and the elimination of a proposed 40 unit residential project, replaced by sports fields.

Elevations and floor plans are provided in Exhibit "C" for the sanctuary, and Exhibit "D" for the classrooms and office. The proposed building designs match the existing architectural design on the site. An Operational Statement is shown in Exhibit "E", providing the anticipated use of the facilities.

The requested project approval is almost identical to CUP No. 2008-39 approved by the Planning Commission on November 28, 2008, which lapsed after two years due to no permits being issued for the project.

BACKGROUND INFORMATION

General Plan Land Use Designation: Rural Residential

Zoning: R-A – Rural Residential

Surrounding Zoning and Land Use: North: Quasi-Public – Vacant

South: R-1-6 (Single-family Residential) – Single family

residential subdivision
East: R-1-6 – Single family residential subdivision
West: R-1-6 – Single family residential subdivision

Environmental Document

Initial Study No. 2016-51

Site Plan:

Site Plan Review No. 2016-086

RELATED PLANS & POLICIES

The proposed project is consistent with applicable plans and policies and is consistent with the intent and purpose of the General Plan and Zoning Ordinance.

RELATED PROJECTS

Conditional Use Permit No. 96-29, approved by the Planning Commission on January 27, 1997, established a master site plan for the subject site with a 800-seat multi-purpose facility (gymnasium and worship place), office, classrooms and athletic fields.

Conditional Use Permit No. 2008-39, approved by the Planning Commission on November 28, 2008 to allow a new 23,000 +/- sq. ft. sanctuary, classrooms, and expansion of an office and parking lots on an existing 18-acre church campus in the R-A (Rural Residential) zone, located on the southwest corner of Riggins Avenue and Akers Street. This CUP lapsed after two years due to no permits being issued for the project.

PROJECT EVALUATION

Land Use Compatibility

The proposed expansion of the existing church campus will be developed in two phases. Phase One includes two classroom buildings, an office expansion, and a 96 stall parking lot. Phase Two includes the 1,200-seat, 22,906 sq. ft. church sanctuary, and three satellite parking lots with approximately 150 parking stalls.

The expansion of the church facility is a conditionally allowed use under the current R-A zone with discretionary approval of a Conditional Use Permit. The proposed church facility expansion is consistent with the Land Use Element of the General Plan for rural residential uses mixed with public and quasi-public uses of an educational or religious type, such as churches. The proposal is consistent with the existing mix of quasi-public and low density residential uses in the surrounding area.

Staff finds the requested changes to the Master Plan consistent with the surrounding residential neighborhood based upon the new site plan (Master Plan) and operational statement. The proposed changes would not significantly change the approved uses and density of the original approved Master Plan as conditioned by this use permit.

Architectural Compatibility

The proposed building elevations in Exhibits "C" and "D" were designed to be architecturally consistent with the existing church campus facilities on the site. Visual impacts through various design techniques, such as building orientation, scale and building mass, signage, parking and landscaping depth, have been addressed through site plan review of the project. The sanctuary will be approximately 34 feet high, which is within the 35-foot height limit in the RA zone.

Landscaping

A majority of the site is currently landscaped. Staff has included a condition that the landscaping along the public street frontages be required prior to Phase Two construction, unless otherwise required sooner by Site Plan Review No. 2016-086.

Operational Statement

The Operational Statement in Exhibit "E" indicates the use and capacity of the church campus with adult and youth services, part-time classes and small group meetings provided during weekdays and nights, and church services during Sunday mornings. The operational statement is subject to change as the facilities are constructed and routine use patterns are established. Staff has included a condition requiring that any significant changes in the Operational Statement be reviewed by staff for consistency with this use permit.

Access and Circulation

The site is served by two arterial roadways, Riggin Avenue to the north and Akers Street to the east. The site will access Riggin Avenue via two existing driveways and a proposed driveway on Akers Street will serve the east parking areas. An existing fire lane and turnaround is located adjacent to the proposed sanctuary building. There are two access easements on the site which will not be affected by the proposed project.

Street Improvements

Proposed street improvements will include completion of curb and gutter, sidewalk and pave-out along Riggin Avenue and Akers Street in accordance with Site Plan Review No. 2016-086. Street improvements along Riggin Avenue will be required to be constructed in conjunction with Phase Two construction. It should be noted that the sanctuary, offices and classrooms were approved as a part of the original Master Plan; this use permit simply rearranges the components on the site along with a seating increase for the sanctuary.



Parking

Zoning Ordinance (Section 17.34.020.D.1) requires that churches provide one parking stall for every four (4) permanent seats in the principal assembly area or one parking space for every 30 square feet of floor area, whichever is greater. At one stall per every 30 sq. ft. of sanctuary area the parking requirement is approximately 708 parking stalls. Based upon the 1,200 fixed seats, the parking requirement would be 300 stalls. The applicant is requesting that the ratio of one stall per every four seats be used.

Staff concurs with the applicant's requested parking ratio and recommends that the Planning Commission approve the project with the total of 491 spaces, which would be phased to accommodate the new construction. Parking was designed to provide a total of 491 spaces at buildout, with the following: Original parking lot – 240 spaces, Phase I lots – 160 spaces, Phase II lot – 91 spaces.

The east parking lot planned with Phase I is an extension of the original parking lot and is required to comply with setback average, while the Phase II south parking lot is required to be 25 feet from street side of a corner lot. The site plan, as proposed, is compliant with these setback standards.

Upon staff's recommendation, the Planning Commission has approved several church facilities based upon the one stall per every four fixed seats. In this case, the final parking count of 491 stalls would exceed the 300 stall minimum (1 stall per 4 seats), providing additional parking for the other ancillary uses on the site which may occur during church services. Staff believes that the proposed parking will accommodate the proposed facility.

Block Wall

As a part of the Phase Two improvements, a seven-foot high block wall along is required along the west property line, from the existing block wall to Riggins Avenue. The wall shall terminate at the 10-foot setback point from Riggins Avenue.

The south side of the site has an existing concrete block wall, and a portion of the west property line has a block wall. The revised Master Plan replaces the residential component with sports fields along the west side of the site, adjacent to a Medium Density Residential zoning/land use.

Monument Sign

The project includes an internally illuminated monument sign shown in Exhibit "F". The sign meets Sign Ordinance standards as shown, and will be located 10 feet behind the property line at the corner of Riggins and Akers.

Lighting

Outdoor lighting is to be designed and installed so as to prevent direct or indirect light or glare from falling upon the adjacent residential areas, per the Site Plan Review Comments.

Environmental Review

An Initial Study was prepared for the tentative subdivision map. Initial Study No. 2016-51 disclosed that environmental impacts are determined to be not significant. The Environmental Impact Report prepared for the City of Visalia General Plan was certified by Resolution No. 2014-37, adopted on October 14, 2015. Staff concludes that the Environmental Impact Report adequately analyzed and addressed the proposed project.

RECOMMENDED FINDINGS

1. That the proposed project will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
 - The proposed location of the conditional use permit is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located.
 - The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
3. That Initial Study No. 2016-51 disclosed that environmental impacts are determined to be not significant, whereby the Environmental Impact Report prepared for the City of Visalia General Plan, certified by Resolution No. 2014-37, adopted on October 14, 2014, will be used for this project. Furthermore, the design of the project and the proposed improvements is not likely to cause substantial environmental damage nor substantially and/or avoidably injure fish or wildlife or their habitat.

RECOMMENDED CONDITIONS OF APPROVAL

1. That the site shall be developed consistent with the Master Plan (site plan) in Exhibit "A".
2. That the facility be operated consistent with the Operational Statement in Exhibit "E".
3. That the site shall be developed consistent with the comments and conditions of the Site Plan Review Committee, as set forth under Site Plan No. 2016-086.
4. That the church sanctuary, office, and classrooms be developed in substantial compliance with the elevations shown in Exhibit "C".
5. That the new office space/building is limited to 2,000 sq. ft., and the new classroom buildings will be limited to 10,050 sq. ft. total.
6. That all new landscaping is developed to the current MWELo (Low Water Use) standards, which may require modifications to the existing Landscaping Plan. Landscape and irrigation plans are required as a part of the building permits for each Phase of construction.
7. That street and right-of-way improvements along Riggins and Akers be installed per the direction of Site Plan Review No. 2016-086.
8. That the landscaping along the public street frontages be required prior to Phase Two construction, unless otherwise required sooner by Site Plan Review No. 2016-086.
9. That the lighting for the facility, including existing lighting, not exceed more than .5 lumens or less at property lines, and are directed and/or shielded to not fall upon adjacent properties.
10. That the church sanctuary shall not have a main assembly area greater than that approved with this use permit (1,200 seats).
11. That any significant changes in the Operational Statement be reviewed by staff for consistency with this use permit.

12. That outdoor public address systems and other equipment which may produce loud noise, may not exceed the allowable community noise levels. Additional Planning Division review is required prior to the installation or use of any public address system for the church, school or athletic fields.
13. That the monument sign be developed as shown in Exhibit "F", and be setback a minimum of 10 feet from the public right-of-way.
14. That a separate sign permit be obtained.
15. That the applicant submit to the City of Visalia a signed receipt and acceptance of conditions from the applicant and property owner, stating that they understand and agree to all the conditions of Conditional Use Permit No. 2016-26, prior to the issuance of any building permits for this project.
16. That all other federal, state and city codes, ordinances and laws be met.

APPEAL INFORMATION

According to the City of Visalia Zoning Ordinance Section 17.02.145, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal with applicable fees shall be in writing and shall be filed with the City Clerk at 220 N. Santa Fe Street, Visalia, CA 93292. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website www.ci.visalia.ca.us or from the City Clerk.

Attachments:

- Related Plans & Policies
- Resolution No. 2016-55
- Exhibit "A" – Proposed Master Plan
- Exhibit "B" – Existing Master Plan – CUP 96-29 (1997)
- Exhibit "C" – Sanctuary Elevations & Floor Plan
- Exhibit "D" – Office/Classroom Elevations & Floor Plan
- Exhibit "E" – Applicant's Operational Statement
- Exhibit "G" – Monument Sign
- Initial Study No. 2016-51
- Site Plan Review Comments
- General Land Use Plan Map
- Zoning Map
- Aerial Map
- Location Map

Related Plans & Policies

General Plan and Zoning: The following General Plan and Zoning Ordinance policies apply to the proposed project:

Zoning Ordinance

Chapter 17.38: Conditional Use Permits

17.38.010 Purposes and powers

In certain zones conditional uses are permitted subject to the granting of a conditional use permit. Because of their unusual characteristics, conditional uses require special consideration so that they may be located properly with respect to the objectives of the zoning ordinance and with respect to their effects on surrounding properties. In order to achieve these purposes and thus give the zone use regulations the flexibility necessary to achieve the objectives of this title, the planning commission is empowered to grant or deny applications for conditional use permits and to impose reasonable conditions upon the granting of such permits. (Prior code § 7525)

17.38.030 Lapse of conditional use permit.

A conditional use permit shall lapse and shall become void twenty-four (24) months after the date on which it became effective, unless the conditions of the permit allowed a shorter or greater time limit, or unless prior to the expiration of twenty-four (24) months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site which was the subject of the permit. A permit may be renewed for an additional period of one year; provided, that prior to the expiration of twenty-four (24) months from the date the permit originally became effective, an application for renewal is filed with the planning commission. The commission may grant or deny an application for renewal of a conditional use permit. In the case of a planned residential development, the recording of a final map and improvements thereto shall be deemed the same as a building permit in relation to this section. (Ord. 2001-13 § 4 (part), 2001: prior code § 7527)

17.38.040 Revocation.

Upon violation of any applicable provision of this title, or, if granted subject to a condition or conditions, upon failure to comply with the condition or conditions, a conditional use permit shall be suspended automatically. The planning commission shall hold a public hearing within sixty (60) days, in accordance with the procedure prescribed in Section 17.38.080, and if not satisfied that the regulation, general provision or condition is being complied with, may revoke the permit or take such action as may be necessary to insure compliance with the regulation, general provision or condition. Appeals of the decision of the planning commission may be made to the city council as provided in Section 17.38.120. (Prior code § 7528)

17.38.050 New application.

Following the denial of a conditional use permit application or the revocation of a conditional use permit, no application for a conditional use permit for the same or substantially the same conditional use on the same or substantially the same site shall be filed within one year from the date of denial or revocation of the permit unless such denial was a denial without prejudice by the planning commission or city council. (Prior code § 7530)

17.38.060 Conditional uses permit to run with the land.

A conditional use permit granted pursuant to the provisions of this chapter shall run with the land and shall continue to be valid upon a change of ownership of the site or structure which was the subject of the permit application subject to the provisions of Section 17.38.065. (Prior code § 7531)

17.38.065 Abandonment of conditional use permit.

If the use for which a conditional use permit was approved is discontinued for a period of one hundred eighty (180) days, the use shall be considered abandoned and any future use of the site as a conditional use will require the approval of a new conditional use permit.

17.38.110 Action by planning commission.

- A. The planning commission may grant an application for a conditional use permit as requested or in modified form, if, on the basis of the application and the evidence submitted, the commission makes the following findings:
 1. That the proposed location of the conditional use is in accordance with the objectives of the zoning ordinance and the purposes of the zone in which the site is located;

2. That the proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.
- B. A conditional use permit may be revocable, may be granted for a limited time period, or may be granted subject to such conditions as the commission may prescribe. The commission may grant conditional approval for a permit subject to the effective date of a change of zone or other ordinance amendment.
- C. The commission may deny an application for a conditional use permit. (Prior code § 7536)\

17.38.120 Appeal to city council.

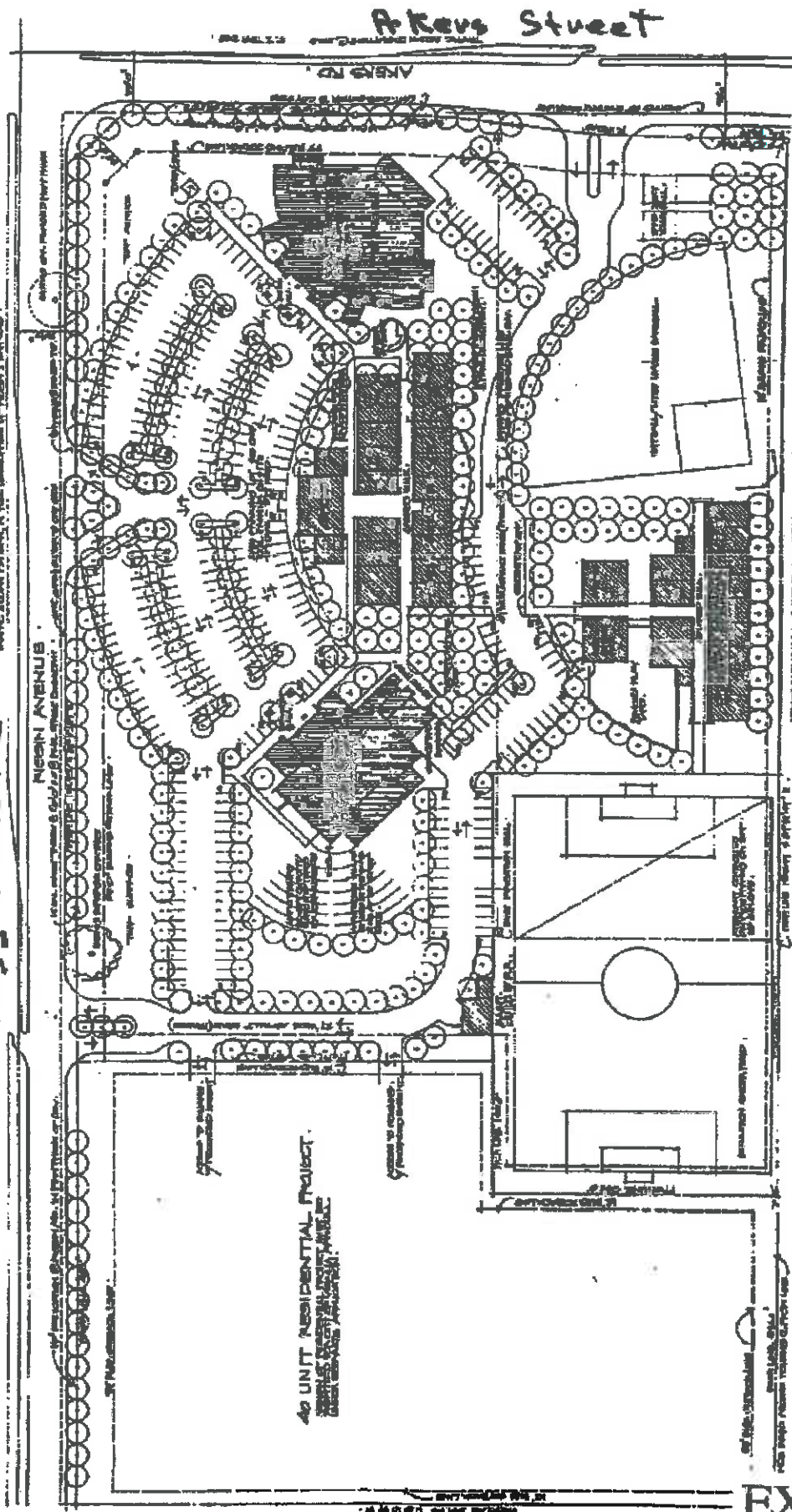
The decision of the City planning commission on a conditional use permit shall be subject to the appeal provisions of Section 17.02.145. (Prior code § 7537) (Ord. 2006-18 § 6, 2007)

17.38.130 Effective date of conditional use permit.

A conditional use permit shall become effective immediately when granted or affirmed by the council, or upon the sixth working day following the granting of the conditional use permit by the planning commission if no appeal has been filed. (Prior code § 7539)

Master Plan from CUP No. 96-29

Riffin Avenue



40 UNIT RESIDENTIAL PROJECT
 100% COMPLETE
 100% COMPLETE

NISSIN AVENUE
 100% COMPLETE

40 UNIT RESIDENTIAL PROJECT

THE DEVELOPER HAS
 OBTAINED ALL NECESSARY
 PERMITS AND APPROVALS
 FROM THE CITY OF
 RICHMOND, VIRGINIA
 AND THE COMMONWEALTH
 OF VIRGINIA.

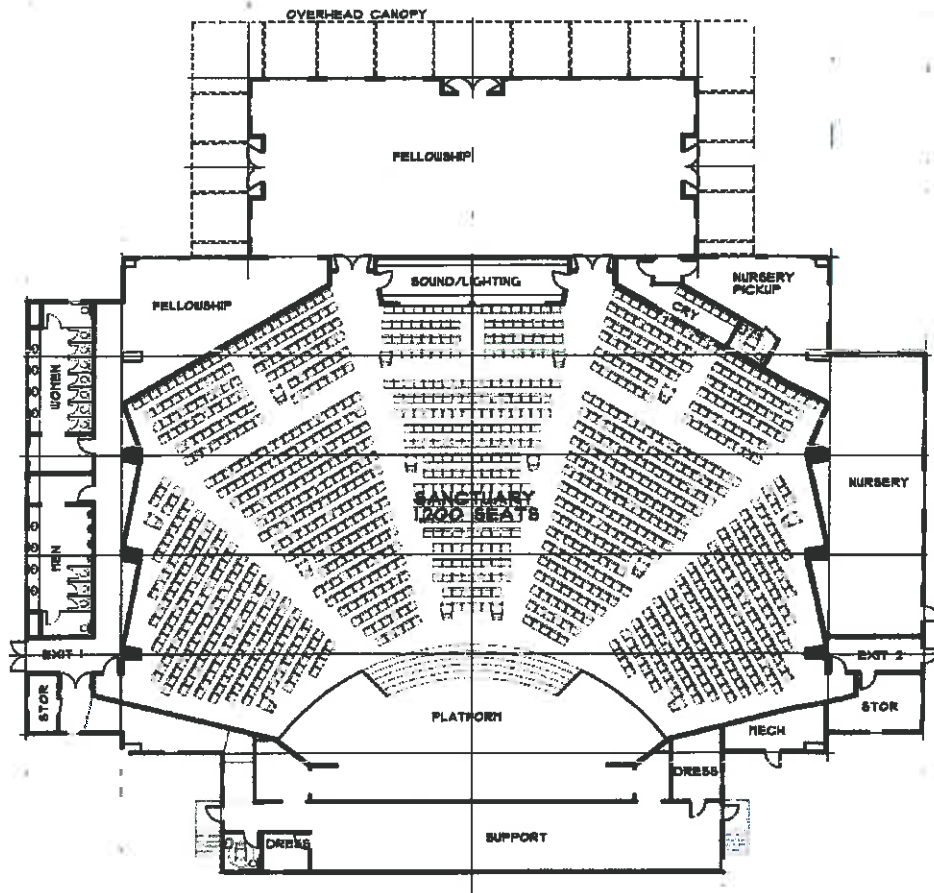


Architects

SITE DEVELOPMENT PLAN
 NISSIN AVENUE, RICHMOND, VIRGINIA
 TOTAL DEVELOPMENT



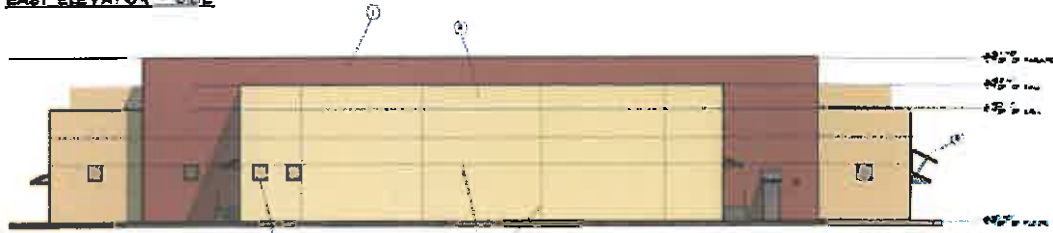
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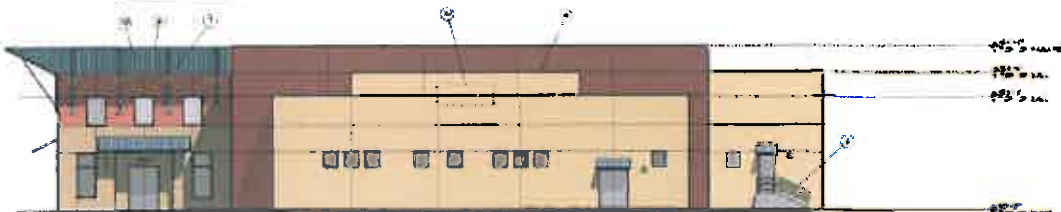
NORTH ELEVATION - FRONT



EAST ELEVATION - SIDE



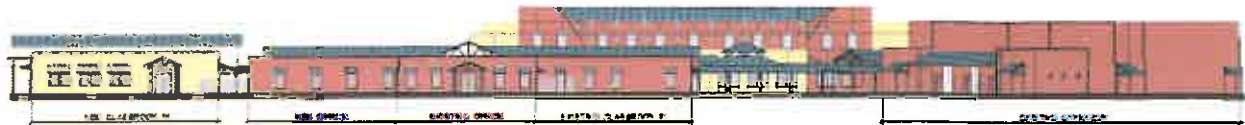
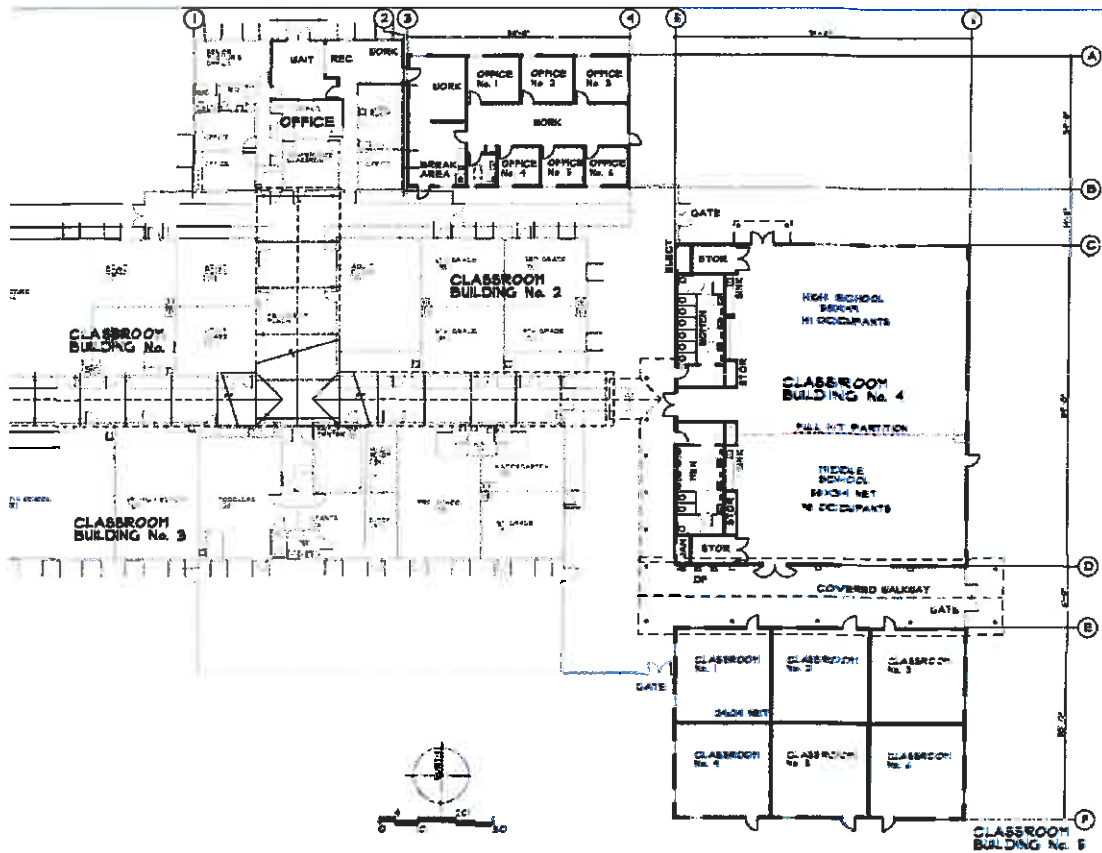
SOUTH ELEVATION - BACK



WEST ELEVATION - SIDE

Sanctuary

Exhibit - C



SITE NORTH ELEVATION - RIGGS

Scale: 1/8" = 1'-0"



SITE EAST ELEVATION - AKERS

Scale: 1/8" = 1'-0"



SITE SOUTH ELEVATION - BACK

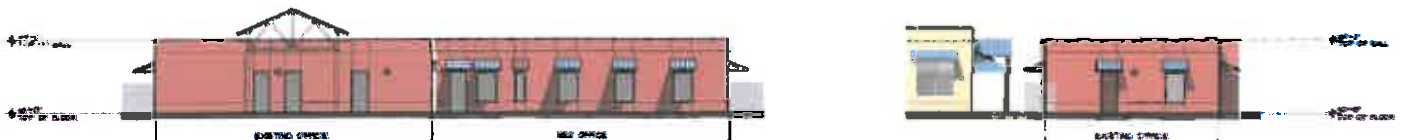
Scale: 1/8" = 1'-0"

- REFERENCE NOTES:**
- 1) Gypsum plaster system - color & texture to match existing building
 - 2) Gypsum plaster system - color & texture to match existing building
 - 3) Metal expanded screen mesh - 1/2" dia.
 - 4) Clay pipe brick system with metal straps
 - 5) Brick - 8" x 8" x 16" with metal straps on top & bottom
 - 6) Painted metal tube screen - color to match steel screen
 - 7) 1/2" dia. steel screen
 - 8) Expanded metal inserted screen - color to match
 - 9) New metal screen - 1/2" dia. with metal straps
 - 10) Existing metal screen - color to match
 - 11) Existing metal screen - color to match
 - 12) Existing metal screen - color to match
 - 13) Existing metal screen - color to match
 - 14) Existing metal screen - color to match
 - 15) Existing metal screen - color to match



NORTH ELEVATION

Scale: 1/8" = 1'-0"



OFFICE SOUTH ELEVATION

Scale: 1/8" = 1'-0"

OFFICE EAST ELEVATION

Classroom & Office

Exhibit - D

Operational Statement
Neighborhood Church
5505 W. Riggin Rd.
Visalia, Ca 93291

The purpose of this project is to provide the church with additional buildings (office, kid's classrooms, shade structures, and auditorium) that will provide ministry opportunities both now and in the future for a growing NC Church family.

The hours of use are as follows:

Sunday

Worship Service	8:30-9:35am (around 430)
Worship Service	10:00-11:05am (around 550)
Worship Service	11:30-12:35pm (around 220)
Kid's Ministries	8:30-12:35pm (various rooms with total reaching around 600)

Total on site at one time on Sundays: approx. 800

Monday (small groups throughout the campus numbering no more than 125)

- Basketball
- Women's Bible Study
- Financial Peace University
- Young Lives

Total on site at one time on Mondays: approx. 125

Tuesday (small groups throughout the campus number no more than 90)

- Women's Bible Study
- Labs
- Karate
- Narcotics Anonymous

Total on site at one time on Tuesdays: approx. 90

Wednesday

Student Ministry	7:00-9:00pm (total student ministry reaching about 150)
Bible Study	
Narcotics Anonymous	

Total on site at one time on Wednesdays: approx. 200

Thursday (small groups throughout the campus numbering no more than 30-50)

Women's Bible Studies

Band Practice

Total on site at one time on Thursdays: approx. 75

Friday Prison Ministries Grading

Total on site at one time on Fridays: approx. 15

*Concerts, banquets, and other special events held occasionally throughout the year with numbers ranging from 100-700 people.

Proposed Operational Statement Phase 1 (Additions: Office, Kid's Classrooms and Shade covering

Office Addition

Office space for 9 current pastors and 8 directors and assistants with room to add more. Time of occupation= Monday-Thursday 8:30am-4pm. Friday 8:30am-12:00pm.

Sunday

Worship Service 8:30-9:35am (around 430)

Worship Service 10:00-11:05am (around 550)

Worship Service 11:30-12:35pm (around 220)

Kid's Ministries 8:30-12:35pm (various rooms totals reaching 600 with room to grow)

Total Onsite at one time on Sundays: Approx 850

Monday (small groups throughout the campus numbering no more than 100)

Basketball

Women's Bible Study

Young Lives

Total on site at one time on Mondays: approx. 100

Tuesday

Labs/Bible Studies

Narcotics Anonymous

Karate

Total on site at one time on Tuesdays: approx. 150

Wednesday

- Student Ministry 7:00-9:00pm (total student ministry reaching about 200)
- Bible Study
- Narcotics Anonymous

Total on site at one time on Wednesdays: approx. 250

Thursday (small groups throughout the campus numbering no more than 30-50)

- Women’s Bible Studies
- Financial Peace University

Total on site at one time on Thursdays: approx. 100

Friday Prison Ministries Grading

Total on site at one time on Fridays: approx. 20

*Concerts, banquets, and other special events held occasionally throughout the year with numbers ranging from 100-700 people.

Proposed Operational Statement Phase 2 (Additions: New Auditorium)

Office Addition

Office space for 9 current pastors and 8 directors and assistants with room to add more. Time of occupation= Monday-Thursday 8:30am-4pm. Friday 8:30am-12:00pm.

Sunday

- Worship Service 8:30-9:35am (between 450-1200)
- Worship Service 10:00-11:05am (between 450-1200)
- Worship Service 11:30-12:35pm (between 450-1200)
- Kid’s Ministries 8:30-12:35pm (various rooms totals reaching 200-400 each service)

Total Onsite at one time on Sundays: Approx 1,600

Monday

- Basketball
- Women’s Bible Study
- Financial Peace University

Total on site at one time on Mondays: approx. 150

Tuesday

- Labs/Bible Studies
- Narcotics Anonymous
- Karate

Total on site at one time on Tuesdays: approx. 250

Wednesday

- Student Ministry 7:00-9:00pm (total student ministry reaching about 325)
- Bible Studies
- Narcotics Anonymous

Total on site at one time on Wednesdays: approx. 450

Thursday

- Women's Bible Studies

Total on site at one time on Thursdays: approx. 75

Friday Prison Ministries Grading

Total on site at one time on Fridays: approx. 25

*Concerts, banquets, and other special events held occasionally throughout the year with numbers ranging from 100-1200 people.



- DIGITAL FRONT VINYL FILM GRAPHICS
- PMS 7700 SATIN ACRYLIC POLYURETHANE
- BRUSH FINISH ALUMINUM DECOR
- WOOD PANELING WITH CLEAR COAT
- SATIN WHITE ACRYLIC POLYURETHANE
- PMS 500 SATIN ACRYLIC POLYURETHANE

TOTAL SIGN AREA: 34 SF.
SIGN HEIGHT: 6 SF.



324 S. SANTA FE, STE. A
VISALIA, CA 93292
(558) 802-3052

NEIGHBORHOOD CHURCH INTERNALLY ILLUMINATED MONUMENT SIGN

NEIGHBORHOOD CHURCH
5505 W. FIGGINS AVENUE
VISALIA, CA 93291

RESOLUTION NO. 2016-55

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2016-26: A REQUEST BY NEIGHBORHOOD CHURCH TO AMEND CONDITIONAL USE PERMIT NO. 96-29 TO ALLOW A NEW 23,000 SQ. FT. SANCTUARY, CLASSROOMS, OFFICE, AND PARKING LOTS ON AN EXISTING 18-ACRE CHURCH CAMPUS IN THE R-A (RURAL RESIDENTIAL) ZONE, LOCATED AT 5505 W. RIGGIN AVENUE. (APN: 077-100-062)

WHEREAS, Conditional Use Permit No. 2016-26 is a request by Neighborhood Church to amend Conditional Use Permit No. 96-29 to allow a new 23,000 sq. ft. sanctuary, classrooms, office, and parking lots on an existing 18-acre church campus in the R-A (Rural Residential) zone, located at 5505 W. Rigglin Avenue. (APN: 077-100-062); and

WHEREAS, the Planning Commission of the City of Visalia, after duly published notice did hold a public hearing before said Commission on December 12, 2016; and

WHEREAS, the Planning Commission of the City of Visalia finds Conditional Use Permit No. 2016-26, as conditioned by staff, to be in accordance with Section 17.38.110 of the Zoning Ordinance of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and

WHEREAS, the Planning Commission finds that Initial Study No. 2016-51 has identified that the proposed project has no new effects that could occur, or new mitigation measures that would be required that have not been addressed within the scope of the Program Environmental Impact Report (SCH No. 2010041078). The Environmental Impact Report prepared for the City of Visalia General Plan was certified by Resolution No. 2014-37, adopted on October 14, 2014. The Program Environmental Impact Report adequately analyzed and addressed this proposed project.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Visalia makes the following specific findings based on the evidence presented:

1. That the proposed project will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
 - The proposed location of the conditional use permit is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located.
 - The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity.

3. That Initial Study No. 2016-51 disclosed that environmental impacts are determined to be not significant, whereby the Environmental Impact Report prepared for the City of Visalia General Plan, certified by Resolution No. 2014-37, adopted on October 14, 2014, will be used for this project. Furthermore, the design of the project and the proposed improvements is not likely to cause substantial environmental damage nor substantially and/or avoidably injure fish or wildlife or their habitat.

BE IT FURTHER RESOLVED that the Planning Commission hereby approves the Conditional Use Permit on the real property hereinabove described in accordance with the terms of this resolution under the provisions of Section 17.38.110 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the site shall be developed consistent with the Master Plan (site plan) in Exhibit "A."
2. That the facility be operated consistent with the Operational Statement in Exhibit "E".
3. That the site shall be developed consistent with the comments and conditions of the Site Plan Review Committee, as set forth under Site Plan No. 2016-086.
4. That the church sanctuary, office, and classrooms be developed in substantial compliance with the elevations shown in Exhibit "C".
5. That the new office space/building is limited to 2,000 sq. ft., and the new classroom buildings will be limited to 10,050 sq. ft. total.
6. That all new landscaping is developed to the current MWELo (Low Water Use) standards, which may require modifications to the existing Landscaping Plan. Landscape and irrigation plans are required as a part of the building permits for each Phase of construction.
7. That street and right-of-way improvements along Riggin and Akers be installed per the direction of Site Plan Review No. 2016-086.
8. That the landscaping along the public street frontages be required prior to Phase Two construction, unless otherwise required sooner by Site Plan Review No. 2016-086.
9. That the lighting for the facility, including existing lighting, not exceed more than .5 lumens or less at property lines, and are directed and/or shielded to not fall upon adjacent properties.
10. That the church sanctuary shall not have a main assembly area greater than that approved with this use permit (1,200 seats).
11. That any significant changes in the Operational Statement be reviewed by staff for consistency with this use permit.
12. That outdoor public address systems and other equipment which may produce loud noise, may not exceed the allowable community noise levels. Additional Planning Division review is required prior to the installation or use of any public address system for the church, school or athletic fields.
13. That the monument sign be developed as shown in Exhibit "F", and be setback a minimum of 10 feet from the public right-of-way.

14. That a separate sign permit be obtained.
15. That the applicant submit to the City of Visalia a signed receipt and acceptance of conditions from the applicant and property owner, stating that they understand and agree to all the conditions of Conditional Use Permit No. 2016-26, prior to the issuance of any building permits for this project.
16. That all other federal, state and city codes, ordinances and laws be met.

INITIAL STUDY

I. GENERAL

A. Description of the Project: A request by Neighborhood Church to amend Conditional Use Permit No. 96-29 to allow a new 23,000 +/- sq. ft. sanctuary, classrooms, and expansion of an office and parking lots on an existing 18-acre church campus in the R-A (Rural Residential) zone. The site is located at the southwest corner of Riggin Avenue and Akers Street. APN: 077-100-062

B. Identification of the Environmental Setting: The site consists of disturbed land with an existing church campus and ball fields. Agricultural crops are located across Riggin Avenue to the north of the site. The site is surrounded by existing single-family residential subdivisions on the west and south sides and across Akers Road to the east. The north and east property lines are adjacent to public rights-of-way (both arterial streets). The surrounding zoning and land uses are as follows:

North: QP (Quasi Public) – agricultural crops
South: R-1-6 (Single-family Residential) – single family residential subdivision
East : R-1-6 (Single-family Residential) – single family residential subdivision
West : R-1-6 (Single-family Residential) – single family residential subdivision

C. Plans and Policies: The City's General Plan Land Use Element (LUE) designates the site as Rural Residential. The site is within the R-A Zone (Rural Residential). The proposed expansion of the existing church establishment is an allowed use subject to discretionary approval of a Conditional Use Permit in accordance with the City's Zoning Ordinance.

II. ENVIRONMENTAL IMPACTS

No significant adverse environmental impacts have been identified for this project. The City of Visalia Land Use Element, Circulation Element, and Zoning Ordinance contain land use mitigation measures that are designed to reduce/eliminate impacts to a level of non-significance.

III. MITIGATION MEASURES


None. The City of Visalia Land Use Element, Circulation Element, and Zoning Ordinance contain land use mitigation measures that are designed to reduce/eliminate impacts related to light/glare, visibility screening, noise, and traffic to a level of non-significance. The project will be subject to conditions of approval for compliance with these mitigation measures, and the project construction will be subject to City engineering standards and building codes that also reduce potentially significant impacts to a level of non-significance.

IV. PROJECT COMPATIBILITY WITH EXISTING ZONES AND PLANS

The project is consistent with the Land Use Element of the General Plan for religious type (churches, parsonages, other religious institutions) uses in residential areas. The intent and goals of the Circulation Element are met by the project's purpose to complete street improvements at an arterial-to-arterial intersection. The proposed project is consistent with all other elements of the General Plan.

V. NAME OF PERSON WHO PREPARED INITIAL STUDY


Andrew Chamberlain
Project Planner


Paul Scheibel, AICP
Environmental Coordinator

**INITIAL STUDY
 ENVIRONMENTAL CHECKLIST**

Name of Proposal	Conditional Use Permit No. 2016-26		
NAME OF PROPONENT:	Neighborhood Church	NAME OF AGENT:	Randy Wasnick
Address of Proponent:	5505 W. Riggin Road	Address of Agent:	324 S. Santa Fe
	Visalia, CA 93291		Visalia CA 93291
Telephone Number:	(559) 732-9107	Telephone Number:	559-802-3052
Date of Review	October 29, 2008	Lead Agency:	City of Visalia

The following checklist is used to determine if the proposed project could potentially have a significant effect on the environment. Explanations and information regarding each question follow the checklist.

1 = No Impact 2 = Less Than Significant Impact
 3 = Less Than Significant Impact with Mitigation Incorporated 4 = Potentially Significant Impact

I. AESTHETICS

Would the project:

- 1 a) Have a substantial adverse effect on a scenic vista?
- 1 b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?
- 2 c) Substantially degrade the existing visual character or quality of the site and its surroundings?
- 2 d) Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?

Department of Fish and Game or U.S. Fish and Wildlife Service?

- 1 b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?

- 1 c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

- 1 d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

- 1 e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?

- 1 f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?

II. AGRICULTURAL RESOURCES

Would the project:

- 1 a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency to non-agricultural use?
- 1 b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?
- 1 c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to nonagricultural use?

V. CULTURAL RESOURCES

Would the project:

- 1 a) Cause a substantial adverse change in the significance of a historical resource as defined in Public Resources Code Section 15064.5?

- 1 b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Public Resources Code Section 15064.5?

- 1 c) Directly or indirectly destroy a unique paleontological resource or site, or unique geologic feature?

- 1 d) Disturb any human remains, including those interred outside of dedicated cemeteries?

VI. GEOLOGY AND SOILS

Would the project:

- a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:

- 1 i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?

- 1 ii) Strong seismic ground shaking?

- 1 iii) Seismic-related ground failure, including liquefaction?

III. AIR QUALITY

Would the project:

- 2 a) Conflict with or obstruct implementation of the applicable air quality plan?
- 2 b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?
- 2 c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?
- 2 d) Expose sensitive receptors to substantial pollutant concentrations?
- 2 e) Create objectionable odors affecting a substantial number of people?

IV. BIOLOGICAL RESOURCES

Would the project:

- 1 a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California

- 1 iv) Landslides?
- 2 b) Result in substantial soil erosion or loss of topsoil?
- 1 c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslides, lateral spreading, subsidence, liquefaction, or collapse?
- 1 d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?

VII. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- 1 a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?
- 1 b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?
- 1 c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?
- 1 d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?
- 1 e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?
- 1 f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?
- 1 g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?
- 1 h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

VIII. HYDROLOGY AND WATER QUALITY

Would the project:

- 2 a) Violate any water quality standards of waste discharge requirements?
- 1 b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?
- 1 c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?
- 1 d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount

of surface runoff in a manner which would result in flooding on- or off-site?

- 2 e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?
- 1 f) Otherwise substantially degrade water quality?
- 1 g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?
- 1 h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?
- 1 i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?
- 1 j) Inundation by seiche, tsunami, or mudflow?

IX. LAND USE AND PLANNING

Would the project:

- 1 a) Physically divide an established community?
- 1 b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?
- 1 c) Conflict with any applicable habitat conservation plan or natural community conservation plan?

X. MINERAL RESOURCES

Would the project:

- 1 a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?
- 1 b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?

XI. NOISE

Would the project:

- 2 a) Cause exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?
- 2 b) Cause exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?
- 2 c) Cause a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?
- 2 d) Cause a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?
- 1 e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?
- 1 f) For a project within the vicinity of a private airstrip, would the project expose people residing or working the in the project area to excessive noise levels?

XII. POPULATION AND HOUSING

Would the project:

- 2 a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?
- 1 b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?
- 1 c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?

XIII. PUBLIC SERVICES

Would the project:

- 1 a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:
 - 1 i) Fire protection?
 - 1 ii) Police protection?
 - 1 iii) Schools?
 - 1 iv) Parks?
 - 1 v) Other public facilities?

XIV. RECREATION

Would the project:

- 1 a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?
- 1 b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

XV. TRANSPORTATION / TRAFFIC

Would the project:

- 2 a) Cause an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system (i.e., result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)?
- 2 b) Exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated roads or highways?
- 1 c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?
- 1 d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?
- 1 e) Result in inadequate emergency access?
- 1 f) Result in inadequate parking capacity?

XVI. UTILITIES AND SERVICE SYSTEMS

Would the project:

- 1 a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?
- 2 b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?
- 2 c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?
- 1 d) Have sufficient water supplies available to service the project from existing entitlements and resources, or are new or expanded entitlements needed?
- 1 e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?
- 1 f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?
- 1 g) Comply with federal, state, and local statutes and regulations related to solid waste?

XVII. TRIBAL CULTURAL RESOURCES

Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:

- 1 a) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or
- 1 b) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.

XVIII. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- 1 a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?
- 2 b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?
- 1 c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly.

DISCUSSION OF ENVIRONMENTAL EVALUATION

I. AESTHETICS

- a. The Sierra Nevada mountain range is a scenic vista that can be seen from Visalia on clear days. This project will not adversely affect the view of this vista.
- b. There are no scenic resources on the site.
- c. The City has development standards related landscaping and other amenities that will ensure that the visual character of the area is not degraded.
- d. The project will create new sources of light that is typical of a large church and school development. Proposed light fixtures are subject to the City's development standards, such that while not demonstrated by current municipal code, are generalized and required through the site plan review process to apply to developments in order to promote the public's welfare by reducing harmful glare upon nearby residences. Any light fixtures that are adjacent to existing and proposed residential developments will be required by conditions of approval of the discretionary permit to be directed and/or shielded to not fall upon adjacent properties.

In addition, the mounting heights of the light fixtures will be required by condition of approval to be at an acceptable level consistent with other similar developments. The project is also conditioned by site plan review to allow a maximum of 20 feet for outdoor lighting at the south property line adjacent to the existing single-family residential subdivision. The mitigation shall also be demonstrated on building permits submitted in association with the development.

II. AGRICULTURAL RESOURCES

- a. The site is already developed with a church and school establishment. The effects of conversion of prime agricultural land to urban development were examined in the City's General Plan EIR as a significant effect on the environment, for the City's entire urban growth boundary, which necessarily applies to the site-specific impacts at the project site. However, a Statement of Overriding Conditions was prepared in association with the General Plan EIR for the conversion of prime agricultural land to urban development. Therefore, this project will have less than significant impacts.
- b. The site is not under Williamson Act contract or not within an Agricultural Preserve.
- c. The project will only change the existing environment which contains an established church and school facility by expanding the existing use. Thus, the project has no potential to create significant impacts to farmland.

III. AIR QUALITY

- a. The project in itself does not disrupt implementation of the San Joaquin Valley Unified Air Pollution Control District's air quality plan. Development of the project will be subject to the SJVAPCD Indirect Source Review (Rule 9510) procedures that became effective on March 1,

2006. The Applicant will be required to obtain permits demonstrating compliance with Rule 9510, or payment of mitigation fees to the SJVAPCD.

- b. The project could result in short-term air quality impacts related to dust generation due to grading activities. The project is required to adhere to requirements administered by the SJVAPCD to reduce emissions to a level of compliance consistent with the District's grading regulations.

In addition, development of the project will be subject to the SJVAPCD Indirect Source Review (Rule 9510) procedures that became effective on March 1, 2006. The Applicant will be required to obtain permits demonstrating compliance with Rule 9510, or payment of mitigation fees to the SJVAPCD.

- c. The San Joaquin Valley is a region that is already at non-attainment for air quality. This site was evaluated in the EIR for the City of Visalia Land Use Element Update for conversion into urban development. The City adopted urban development boundaries as mitigation measures for air quality.

The project could result in short-term air quality impacts related to dust generation due to grading activities. The Applicant is required to adhere to requirements administered by the SJVAPCD to reduce emissions to a level of compliance consistent with the District's regulations.

In addition, development of the project will be subject to the SJVAPCD Indirect Source Review (Rule 9510) procedures that became effective on March 1, 2006. The Applicant will be required to obtain permits demonstrating compliance with Rule 9510, or payment of mitigation fees to the SJVAPCD.

- d. The project location will be adjacent to existing residential subdivisions. The project will expand an existing church and school establishment by creating a new sanctuary building to replace a multi-purpose room for church services and adding two classroom buildings and an office expansion to the site. The Applicant's Operational Statement indicates the number of people currently attending the church and school facilities will increase by 45 percent at the time of buildout. Peak hour traffic generation is anticipated to be on Sundays as associated with the Church services, with lesser traffic generation during week days for office, group meetings, and school uses (based on number persons attending). Based on this information, staff anticipates from the number of persons projected at buildout, that the increase in the amount of potential traffic generated by the project will not significantly increase or cause the current Level of Service (LOS) of the local road system to change. The City's Circulation Element indicates the road segment of Akers Street at the intersection of Riggin Avenue and Akers Street to be at a LOS "B" capacity, which reflects operations with moderately low delay resulting from a small amount of conflicting traffic. Potential impacts to the

existing road capacity serving the site will not be significant since the project will complete the improvements along both arterial roadways serving the site, which will reduce additional burden to the roadways and complete the synchronization of traffic signals. This would help to support the current level of service at or above acceptable levels, which would ultimately improve idle times and associated pollutant concentrations.

Potential increase in pollutant concentrations generated by the amount of traffic anticipated with the project would be offset with the Applicant's compliance with the SJVAPCD Indirect Source Review (Rule 9510) procedures, or payment of mitigation fees to the SJVAPCD.

- e. The project's anticipated amount of traffic use may generate objectionable odors associated with increased emissions in the area. However, potential noxious odors generated would be offset with the Applicant's compliance with the SJVAPCD Indirect Source Review (Rule 9510) procedures, or payment of mitigation fees to the SJVAPCD.

IV. BIOLOGICAL RESOURCES

- a. The site has no known species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service. City-wide biological resources were evaluated in the EIR for the City of Visalia Land Use Element Update for conversion to urban use. A site inspection conducted by Planning Division staff on October 22, 2008 confirmed this conclusion.
- b. The project is not located within or adjacent to an identified sensitive riparian habitat or other natural community.
- c. The project is not located within or adjacent to federally protected wetlands as defined by Section 404 of the Clean Water Act.
- d. The project will expand the uses of a church and school establishment with a sanctuary building, additional classrooms, office space and parking areas. This development would not act as a barrier to animal movement. This site was evaluated in the General Plan EIR for the City of Visalia Land Use Element Update for conversion to urban use. Review of the site plan and an on-site inspection conducted by Planning Division staff on October 22, 2008 confirmed this conclusion.
- e. The City has a municipal ordinance in place to protect oak trees. On on-site inspection by Planning Division staff on October 22, 2008 confirmed that there are no existing oak trees on the site.
- f. There are no local or regional habitat conservation plans for the area.

V. CULTURAL RESOURCES

- a. There are no known historical resources located within the project area. If some potentially historical or cultural resource is unearthed during development all work should

cease until a qualified professional archaeologist can evaluate the finding and make necessary mitigation recommendations.

- b. There are no known archaeological resources located within the project area. If some archaeological resource is unearthed during development all work should cease until a qualified professional archaeologist can evaluate the finding and make necessary mitigation recommendations.
- c. There are no known unique paleontological resources or geologic features located within the project area.
- d. There are no known human remains buried in the project vicinity. If human remains are unearthed during development all work should cease until the proper authorities are notified and a qualified professional archaeologist can evaluate the finding and make any necessary mitigation recommendations.

VI. GEOLOGY AND SOILS

- a. The State Geologist has not issued an Alquist-Prilo Earthquake Fault Map for Tulare County. The project area is not located on or near any known earthquake fault lines. Therefore, the project will not expose people or structures to potential substantial adverse impacts involving earthquakes.
- b. The development of this site will require movement of topsoil. A grading and drainage plan must be submitted for review to the City to ensure proposed improvements will be designed to city engineering standards.
- c. The project area is relatively flat and the underlying soil is not known to be unstable. Soils in the Visalia area have few limitations with regard to development. Due to low clay content and limited topographic relief, soils in the Visalia area generally have low expansion characteristics.
- d. Due to low clay content, soils in the Visalia area have an expansion index of 0-20, which is defined as very low potential expansion.

VII. HAZARDS AND HAZARDOUS MATERIALS

- a. No hazardous materials are anticipated with the project.
- b. There is no reasonably foreseeable condition or incident involving the project that could result in release of hazardous materials into the environment.
- c. There is no reasonably foreseeable condition or incident involving the project that could affect existing or proposed school sites or areas within one-quarter mile of school sites.
- d. The project area does not include any sites listed as hazardous materials sites pursuant to Government Code Section 65692.5.
- e. The project area is not located within two miles of an airport. Thus, the project would not pose a significant threat to the safety of people.
- f. The project area is not within the vicinity of any private airstrip.

- g. The project will not interfere with the implementation of any adopted emergency response plan or evacuation plan.
- h. There are no wild lands within or near the project area.

VIII. HYDROLOGY AND WATER QUALITY

- a. The project will not violate any water quality standards of waste discharge requirements. Development standards applicable to the project require that storm water drainage from the site and street runoff be connected to the existing City storm water drainage system, thus the improvements will be consistent with the adopted City Storm Drain Master Plan.
- b. The project will not substantially deplete groundwater supplies in the project vicinity. New buildings proposed with the project will be served by a water lateral for domestic, irrigation, and fire protection use.
- c. The project will not result in substantial erosion on- or off-site.
- d. The project will not substantially alter the existing drainage pattern of the site or area, alter the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site.
- e. Planned improvements to the site, which include additions of storm drain lines along with existing small drainage ponds, will effectively contain run-off water either on or off the site. Therefore, the project will not create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff.
- f. The project is not a source which would otherwise create substantial degradation of water quality.
- g. The project area is located within Zone X500. Sites designated as being within Zone X500 are areas outside of 500-year floods and are not prone to 100-year floods.
- h. The project area is located within Zone X500. Sites designated as being within Zone X500 are areas outside of 100-year floods. The proposed project would not impede or redirect flood flows.
- i. The project would not expose people or structures to risks from failure of levee or dam.
- j. Seiche and tsunami impacts do not occur in the Visalia area. The site is relatively flat and already developed, which will contribute to the lack of impacts by mudflow occurrence.

IX. LAND USE AND PLANNING

- a. The project will not physically divide an established community.
- b. The site is within the current Urban Development Boundaries of the City of Visalia. The City of Visalia designates the area for urban development. This site was evaluated in the EIR for the City of Visalia Land Use Element Update for conversion to urban use. The City adopted urban development boundaries as mitigation

measures for conversion to urban development.

The project is consistent with the Land Use Element of the General Plan for religious type (churches, parsonages, other religious institutions) uses in residential areas. The intent and goals of the Circulation Element are met by the project's purpose to complete street improvements at an arterial-to-arterial intersection. The proposed project is consistent with all other elements of the General Plan.

Construction of the project will be required to comply with standards established by the Noise Element and Noise Ordinance for construction near residential uses.

- c. The project does not conflict with any applicable conservation plan.

X. MINERAL RESOURCES

- a. No mineral areas of regional or statewide importance exist within the Visalia area.
- b. There are no mineral resource recovery sites delineated in the Visalia area.

XI. NOISE

- a. The project proposes a land use that is in accordance with the underlying General Plan land use and zoning designations for the site.

The Visalia Noise Element and Ordinance contain criterion for acceptable noise levels inside and outside of churches and schools. The proposed Master site plan locates proposed buildings (classrooms) to be at least 150 feet from the nearest arterial roadway (Akers Street), outside of the 50' dB noise contour where the noise exposure levels are considered normally acceptable. An office expansion nearest to Riggin Avenue is outside of the 50' dB noise contour as well. Potential impacts by noise generation by traffic along the designated arterial streets will be reduced to a less than significant impact by City standards for setbacks along major streets, as well as standard construction methods required with building permit.

- b. The project may result in temporary ground-borne vibration or ground-borne noise levels during the course of construction which may impact existing residences adjacent to the project site. The City's Noise Ordinance already contains standards and guidelines for the use of construction equipment. Since the project's construction will be limited in hours of operation and completed in two phases, such increase in existing noise levels is considered to be less than significant in impacting the surrounding neighbors.
- c. Noise levels will increase beyond current levels as a result of the project. These levels will be typical of noise levels associated with traffic and urban uses. Therefore, the increase is considered to be less than significant.
- d. The project will result in temporary increase in ambient noise levels in the area. The City's Noise Ordinance already contains standards and guidelines for the use of construction equipment. Since the project's construction

will be limited in hours of operation and completed in two phases, such increase in existing noise levels is considered to be less than significant in impacting the surrounding neighbors.

- e. The project area is not located within 2 miles of a public airport.
- f. There is no private airstrip near the project area.

XII. POPULATION AND HOUSING

- a. This site was evaluated in the EIR for the City of Visalia Land Use Element Update for conversion to urban use of the area. The project will not directly induce substantial population growth. The sanctuary and school facilities are intended to serve the existing population within the City.
- b. Development of the site will not displace any housing on the site.
- c. Development of the site will not displace any people on the site.

XIII. PUBLIC SERVICES

- a.
 - i. Current fire protection facilities can adequately serve the site without a need for alteration.
 - ii. Current police protection facilities can adequately serve the site without a need for alteration.
 - iii. Current school facilities can adequately serve the site without a need for alteration.
 - iv. Current park and recreation facilities can adequately serve the site without a need for alteration.
 - v. Other public facilities can adequately serve the site without a need for alteration.

XIV. RECREATION

- a. The proposed project will not increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated.
- b. The proposed project does not include recreational facilities or require the construction or expansion of recreational facilities within the area that might have an adverse physical effect on the environment.

XV. TRANSPORTATION AND TRAFFIC

- a. Both the Land Use Element Program EIR and the Circulation Element EIR identify roadways in the area as adequate to meet circulation needs. The proposed Master site plan has identified improvements to the existing streets serving the site which will bring the portions of these roadways adjacent to the project site in compliance with the improvements identified in the Circulation Element for this area. The first phase of the Master site plan, which includes the construction of the proposed office expansion, additional classrooms, and parking lots, will include the completion of street improvements to both arterials adjacent to the site and signal modification at the intersection.

The project will expand an existing church and school establishment by creating a new sanctuary building to replace a multi-purpose room for church services and adding two classroom buildings and an office expansion to the site. The Applicant's Operational Statement indicates the number of people currently attending the church and school facilities will increase by 45 percent at the time of buildout. Peak hour traffic generation is anticipated to be on Sundays as associated with the Church services, with lesser traffic generation during week days for office, group meetings, and school uses (based on number persons attending). Based on this information, staff anticipates from the number of persons projected at buildout that the increase in the amount of potential traffic generated by the project will not significantly increase or cause the current Level of Service (LOS) of the local road system to change. The City's Circulation Element Update (2001) indicates the road segment of Akers Street at the intersection of Riggin Avenue and Akers Street to be at a LOS "B" capacity, which reflects operations with moderately low delay resulting from a small amount of conflicting traffic.

Potential impacts to the existing road capacity serving the site will not be significant since the project will complete the improvements along both arterial roadways serving the site, which will reduce additional burden to the roadways and complete the synchronization of traffic signals. This would help to support the current level of service at or above acceptable levels.

The project will cause average annual daily traffic levels to increase in the vicinity, though not beyond levels identified in the City's Circulation Element Update. Implementation of the Circulation Element's policies and payment of appropriate impact fees will mitigate impacts that may occur.

- b. The project plans for the development of the site in accordance with the site's underlying zoning designation. Average annual daily traffic levels will increase in the vicinity. With the construction of improvements identified in the City of Visalia Circulation Element and the Master site plan proposed for this project, the project will not cause Levels of Service of streets and intersections beyond what has been identified in the Circulation Element Update.
- c. The project will not result in nor require a need to change air traffic patterns.
- d. Upon development of the first phase of the site, roads will be improved and completed to City standards so that there will be no increased hazards.
- e. Upon development of the first phase of the site, roads will be improved and completed to City standards that will provide adequate emergency access.
- f. The project will be required to meet the City's parking requirements for churches as required in the City's Zoning Ordinance. A parking analysis provided with the project indicated that the amount of parking proposed for the project will meet or exceed the City's minimum standards.

XVI. UTILITIES AND SERVICE SYSTEMS

- a. The site is projected for rural residential development by the City General Plan. The project is not proposed to exceed what has already been planned for in this area.
- b. The project will require sanitary sewer lines to connect to an existing City sewer main. Usage of this line and the extension of service from other lines from the project are consistent with the City Sewer Master Plan. Visalia's wastewater treatment plant has more than sufficient capacity to accommodate impacts associated with the proposed project. These improvements will not cause significant environmental impacts.
- c. The project development will include the connection of storm drains to an existing City storm water drainage line for both storm water and street run-off. The construction of these lines are consistent with the City Storm Drain Master Plan. These improvements will not cause significant environmental impacts.
- d. California Water Service Company currently serves the site.
- e. The City has determined that there is adequate capacity existing to serve the site's projected wastewater treatment demands at the City wastewater treatment plant.
- f. Current solid waste disposal facilities adequately serve the site without a need for alteration.
- g. The project should be able to meet the applicable regulations for solid waste. Removal of debris from construction will be subject to the City's waste disposal requirements.

XVII. TRIBAL CULTURAL RESOURCES

The proposed project would not cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and

scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:

- a) The site is not listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or
- b) The site has been determined to not be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.

XVIII. MANDATORY FINDINGS OF SIGNIFICANCE

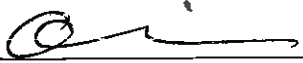
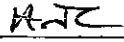
- a. The project will not affect the habitat of a fish or wildlife species or a plant or animal community. This site was evaluated in the EIR for the City of Visalia Land Use Element Update for conversion to urban use. The City adopted mitigation measures for conversion to urban development. Where effects were still determined to be significant a statement of overriding considerations was made.
- b. This site was inherently evaluated in the EIR for the City of Visalia Land Use Element Update for the area's conversion to urban use. The City adopted mitigation measures for conversion to urban development. Where effects were still determined to be significant a statement of overriding considerations was made.
- c. This site was evaluated in the EIR for the City of Visalia Land Use Element Update for conversion to urban use. The City adopted mitigation measures for conversion to urban development. Where effects were still determined to be significant a statement of overriding considerations was made.

DETERMINATION OF REQUIRED ENVIRONMENTAL DOCUMENT

On the basis of this initial evaluation:

- I find that the proposed project **COULD NOT** have a significant effect on the environment. **A NEGATIVE DECLARATION WILL BE PREPARED.**
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described on the attached sheet have been added to the project. **A MITIGATED NEGATIVE DECLARATION WILL BE PREPARED.**
- I find the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required
- I find that as a result of the proposed project no new effects could occur, or new mitigation measures would be required that have not been addressed within the scope of the Program

Environmental Impact Report (SCH No. 90020160). The Environmental Impact Report prepared for the City of Visalia General Plan was certified by Resolution No. 2014-37, adopted on October 14, 2015. **THE PROGRAM ENVIRONMENTAL IMPACT REPORT WILL BE UTILIZED.**

City of Visalia

November 16, 2016
Date



MEETING DATE June 22, 2016
SITE PLAN NO. 16-086
PARCEL MAP NO.
SUBDIVISION
LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

- RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.
- During site plan design/policy concerns were identified, schedule a meeting with
- Planning Engineering prior to resubmittal plans for Site Plan Review.
- Solid Waste Parks and Recreation Fire Dept.

REVISE AND PROCEED (see below)

- A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.
- Submit plans for a building permit between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday.

Your plans must be reviewed by:

- | | |
|---|--|
| <input type="checkbox"/> CITY COUNCIL | <input type="checkbox"/> REDEVELOPMENT |
| <input checked="" type="checkbox"/> PLANNING COMMISSION | <input type="checkbox"/> PARK/RECREATION |
| <input checked="" type="checkbox"/> CUP | |
| <input type="checkbox"/> HISTORIC PRESERVATION | <input type="checkbox"/> Other |

ADDITIONAL COMMENTS :

If you have any questions or comments, please call Jason Huckleberry at (559) 713-4259.

Site Plan Review Committee



**BUILDING/DEVELOPMENT PLAN
REQUIREMENTS
ENGINEERING DIVISION**

Jason Huckleberry 713-4259
 Adrian Rubalcaba 713-4271

ITEM NO: 1	DATE: JUNE 22, 2016
SITE PLAN NO.:	16-086
PROJECT TITLE:	NEIGHBORHOOD MENNONITE BRETHERN CHURCH
DESCRIPTION:	CUP (REISSUE) FOR FUTURE CHURCH CAMPUS EXPANSION (RA) (X)
APPLICANT:	NEIGHBORHOOD MENNONITE BRETHERN CHURCH
PROP OWNER:	CH-NEIGHBORHOOD MENNONITE BRETHERN
LOCATION:	5505 W RIGGIN AVE
APN:	077-100-062

SITE PLAN REVIEW COMMENTS

REQUIREMENTS (indicated by checked boxes)

- Install curb return with ramp, with _____ radius;
- Install curb; gutter ***Across westerly most portion of parcel along Riggan Ave - See additional comments below.***
- Drive approach size: _____ Use radius return;
- Sidewalk: 6' width; 10' parkway width at ***Riggan Ave, see additional comments below.***
- Repair and/or replace any sidewalk across the public street frontage(s) of the subject site that has become uneven, cracked or damaged and may constitute a tripping hazard.
- Replace any curb and gutter across the public street frontage(s) of the subject site that has become uneven and has created areas where water can stand.
- Right-of-way dedication required. A title report is required for verification of ownership.
- Deed required prior to issuing building permit; ***Easement for sidewalk on Riggan Ave***
- City Encroachment Permit Required. For any work within public right of way**
 Insurance certificate with general & auto liability (\$1 million each) and workers compensation (\$1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit. Contact Encroachment Tech. at 713-4414.
- CalTrans Encroachment Permit required. CalTrans comments required prior to issuing building permit. Contacts: David Deel (Planning) 488-4088;
- Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map.
- Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.
- Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades. Prepared by registered civil engineer or project architect. All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a) directed to the City's existing storm drainage system; b) directed to a permanent on-site basin; or c) directed to a temporary on-site basin is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: _____ : _____ maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance.
- Grading permit is required for clearing and earthwork performed prior to issuance of the building permit.
- Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter = .020%, V-gutter = 0.25%)
- Show adjacent property grade elevations. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.

- All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications. **At time curb/gutter is required.**
- Traffic indexes per city standards:
- Install street striping as required by the City Engineer.
- Install landscape curbing (typical at parking lot planters).
- Minimum paving section for parking: 2" asphalt concrete paving over 4" Class 2 Agg. Base, or 4" concrete pavement over 2" sand.
- Design Paving section to traffic index of 5.0 min. for solid waste truck travel path.
- Provide "R" value tests: each at
- Written comments required from ditch company Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditch; Jerry Hill 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
- Access required on ditch bank, 15' minimum Provide wide riparian dedication from top of bank.
- Show Oak trees with drip lines and adjacent grade elevations. Protect Oak trees during construction in accordance with City requirements.
- A permit is required to remove oak trees. Contact Joel Hooyer at 713-4295 for an Oak tree evaluation or permit to remove. A pre-construction conference is required.
- Relocate existing utility poles and/or facilities.
- Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- Subject to existing Reimbursement Agreement to reimburse prior developer:
- Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
- If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
- If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.
- Comply with prior comments. Resubmit with additional information. Redesign required.

Additional Comments:

1. Proposed Phase 1 onsite improvements shall include parkway landscaping along Akers St. frontage (if not completed prior). Comply with State MWELo regulations; street trees required to comply with Urban Forestry standards and City Ordinance.

2. Parcel frontage on Riggan extends beyond phased development. Future road improvements will be required along west end, beyond existing westerly drive approach. Required improvements are, but not limited to, pavement, curb & gutter, street lights, sidewalk, and parkway landscaping. These improvements can be deferred until Phase 2 development. If City determines frontage improvements (curb/gutter and sidewalk) are not needed at time of Phase 2 development, a deferred improvement agreement may be discussed and entered into to further defer improvements to a later date.

3. Site development and new building construction will incur impact fees per phase. Refer to Page 3 for fee summary.

4. New refuse enclosure shall be relocated to provide direct access by Solid Waste vehicle. Refer to further conditions by Solid Waste Dept.

5. Comply with parking lot and accessibility standards.

6. Site improvement permit and building permits are required. Standard plan check and inspection fees apply.

SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES

Site Plan No: 16-086
Date: 6/22/2016

Summary of applicable Development Impact Fees to be collected at the time of building permit:
(Preliminary estimate only! Final fees will be based on the development fee schedule in effect at the time of building permit issuance.)

(Fee Schedule Date:9/4/2015)
(Project type for fee rates:CHURCH/SCHOOL)

Existing uses may qualify for credits on Development Impact Fees.

<u>FEE ITEM</u>	<u>FEE RATE</u>
<input checked="" type="checkbox"/> Groundwater Overdraft Mitigation Fee	\$1,196/AC
<input checked="" type="checkbox"/> Transportation Impact Fee	SCHOOL RATE \$4,114/1KSF X 10.05 = \$41,345.70 CHURCH OFFICE \$3,097/1KSF X 2 = \$6,194
<input checked="" type="checkbox"/> Trunk Line Capacity Fee	\$16/STUDENT, TREATMENT PLANT FEE: \$28/STUDENT OFFICE RATE \$90/1KSF, TREATMENT PLANT FEE: \$214/1KSF
<input checked="" type="checkbox"/> Sewer Front Foot Fee	\$40/LF X 600LF (AKERS)
<input checked="" type="checkbox"/> Storm Drain Acq/Dev Fee	\$5,263/AC
<input type="checkbox"/> Park Acq/Dev Fee	
<input type="checkbox"/> Northeast Specific Plan Fees	
<input checked="" type="checkbox"/> Waterways Acquisition Fee	\$3,312/AC
<input checked="" type="checkbox"/> Public Safety Impact Fee: Police	\$925/AC
<input checked="" type="checkbox"/> Public Safety Impact Fee: Fire	\$1,754/AC
<input checked="" type="checkbox"/> Public Facility Impact Fee	\$441/1000SF
<input type="checkbox"/> Parking In-Lieu	

Reimbursement:

- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines



Jason Huckleberry


City of Visalia
Building: Site Plan
Review Comments

ITEM NO: 1 DA June 22, 2016
 SITE PLAN NO: SPR16086
 PROJECT TITLE: NEIGHBORHOOD MENNONITE BROTHERS
 DESCRIPTION: CHURCH (REISSUE) FOR FUTURE CHURCH CAMPUS
 EXPANSION (RA) (X)
 APPLICANT: NEIGHBORHOOD MENNONITE BROTHERS CHURCH
 PROP OWNER: CH-NEIGHBORHOOD MENNONITE BROTHERS
 LOCATION: 5505 W FRIGGIN AVE
 APN(S): 077-100-062

NOTE: These are general comments and DO NOT constitute a complete plan check for your specific project. Please refer to the applicable California Codes & local ordinance for additional requirements.

- Business Tax Certification is required. *For information call (559) 713-4326*
- A building permit will be required. *For information call (559) 713-4444*
- Submit 4 sets of professionally prepared plans and 2 sets of calculations. (Small Tenant Improvements)
- Submit 4 sets of plans prepared by an architect or engineer. Must comply with 2013 California Building Code Sec. 2308 for conventional light-frame construction or submit 2 sets of engineered calculations.
- Indicate abandoned wells, septic systems and excavations on construction plans.
- You are responsible to ensure compliance with the following checked items:**
- Meet State and Federal requirements for accessibility for persons with disabilities.
- A path of travel, parking, common area and public right of way must comply with requirements for access for persons with disabilities.
- Multi family units shall be accessible or adaptable for persons with disabilities.
- Maintain sound transmission control between units minimum of 50 STC.
- Maintain fire-resistive requirements at property lines.
- A demolition permit & deposit is required. *For information call (559) 713-4444*
- Obtain required clearance from San Joaquin Valley Air Pollution Board. Prior to any demolition work
For information call (661) 392-5500
- Location of cashier must provide clear view of gas pump island
- Plans must be approved by the Tulare County Health Department. *For information call (559) 624-7400*
- Project is located in flood zone _____ * Hazardous materials report.
- Arrange for an on-site inspection. (Fee for inspection \$151.90) *For information call (559) 713-4444*
- School Development fees. Commercial \$0.54 per square foot. Residential \$3.48 per square foot.
- Existing address must be changed to be consistent with city address. *For information call (559) 713-4320*
- Acceptable as submitted
- No comments
- See previous comments dated: _____

Special comments: _____


 Signature _____ Date: 6/22/16

SITE PLAN REVIEW COMMENTS

Paul Bernal, Planning Division (559) 713-4025

Date: June 22, 2016

SITE PLAN NO: 2016-086
PROJECT TITLE: NEIGHBORHOOD MENNONITE BRETHREN CHURCH
DESCRIPTION: CUP (REISSUE) FOR FUTURE CHURCH CAMPUS EXPANSION (RA)
(X)
APPLICANT: NEIGHBORHOOD MENNONITE BRETHREN CHURCH
PROP. OWNER: CH-NEIGHBORHOOD MENNONITE BRETHREN
LOCATION TITLE: 5505 W RIGGIN AVE
APN TITLE: 077-100-062
GENERAL PLAN: Very Low Density Residential
EXISTING ZONING: R-A – Rural Residential

Planning Division Recommendation:

- Revise and Proceed
 Resubmit

Project Requirements

- Conditional Use Permit
- Building Permits
- Additional Information as Needed

PROJECT SPECIFIC INFORMATION: 06/22/2016

1. A Conditional Use Permit Amendment is required to be filed with applicable fees.
2. Provide a detailed Operational Statement to include, but not be limited to: number of employees, number of members, hours of operation, types of operations (schools, church services, other activities planned), peak service hours, and ball field operations (hours of use per week/per year).
3. The parking lots are required to have tree wells every 10 spaces or a 4x4 diamond planter every 4 spaces. Diamond planter inserts are recommended.
4. Provide proposed building elevations with CUP application.
5. Staff recommends the main entry to the sanctuary be oriented away from the residential subdivision located to the south.
6. Staff will recommended to the Planning Commission a condition be included for the CUP prohibiting the use of field lighting for the existing ball fields.
7. Provide a detailed floor plan of proposed buildings. Include a detailed seating plan.
8. Show existing basin, depressed areas as faded areas on the site plan, to provide an accurate plot plan.
9. The Phase II – New South Lot parking area must be relocated a minimum of 25 feet from east property line. No parking is allowed within the setback area. Current parking north of the Akers entrance is allowed within the setback area.
10. Depict the location of parking lot lighting. Any proposed poles shall be designed to reduce lighting from falling on the residential subdivision located south of the church site.
11. Include monument signage proposals with the CUP application submittal. The signage shall be reviewed as part of the CUP review and analysis.

- Staff initial finding is that the proposed site plan IS CONSISTENT with the City General Plan. Because this project requires discretionary approval by the City Council and/or Planning Commission the final determination of consistency will be made by the Planning Commission and/or City Council.

R-A Single Family Residential Zone [17.10]

Maximum Building Height: 30 Feet

Minimum Setbacks:

	Building	Landscaping	½ acre lots
➤ Front	35 Feet	35 Feet	30 > ½ ac.
➤ Side	12 Feet	12 Feet	10 > ½ ac.
➤ Street side on corner lot w/ garage	22 Feet	22 Feet	15 > ½ ac.
➤ Rear	25 Feet*	25 Feet	25

Minimum Site Area: 43,560 square feet

Accessory Structures:

Maximum Height: 12 feet (as measured from average grade next to the structure)

Maximum Coverage: 20% of required Rear Yard (last 25 feet by the width)

Reverse Corner Lots: No structure shall be located closer to the rear property line than the required side yard on the adjoining lot and not closer to the side property line adjoining the street than the required front yard on the adjoining lot, see Zoning Ordinance Section 17.12.090 for complete standards and requirements.

Parking:

1. Churches, libraries, museums, stadiums, clubs and funeral chapels: one parking space for every four permanent seats in the principal assembly area or room, or one parking space for every thirty (30) square feet of floor area, whichever is greater (see Zoning Ordinance Section 17.34.020).
2. 30% of the required parking stalls may be compact and shall be evenly distributed in the lot (Zoning Ordinance Section 17.34.030.I).
3. Provide handicapped space(s) (see Zoning Ordinance Section 17.34.030.H).
4. An 80 sq. ft. minimum landscape well is required every 10 contiguous parking stalls (Zoning Ordinance Section 17.34.040.D & 17.30.130.C).
5. No repair work or vehicle servicing allowed in a parking area (Zoning Ordinance Section 17.34.030.L).
6. It is highly recommended that bicycle rack(s) be provided on site plan.
7. No parking shall be permitted in a required front/rear/side yard (Zoning Ordinance Section 17.34.030.F).
8. Design/locate parking lot lighting to deflect any glare away from abutting residential areas, calculations to be shown on construction documents (Zoning Ordinance Section 17.34.030.J).
9. Parking lot to be screened from view by a 3-foot tall solid wall or shrubs when located adjacent to a public street.

Fencing and Screening:

1. Provide screening for roof mounted equipment (Zoning Ordinance Section 17.30.130.F).
2. Provide screened trash enclosure with solid screening gates (Zoning Ordinance Section 17.30.130.F).
3. Cross Sections need to be provided for site Plan Review if there is greater than an 18-inch difference between the elevation of the subject site and the adjacent properties, and the sections would be required for the public hearing process also.
4. City standard block wall required along the south and west property lines if a block wall is not already constructed.
5. NOTE: The maximum height of block walls and fences is 7-feet in the appropriate areas; this height is measured on the tallest side of the fence. If the height difference is such that the fence on the inside of the project site is not of sufficient height, the fence height should be discussed with Planning Staff prior to the filing of applications to determine if an Exception to fence/wall height should also be submitted.


Landscaping:

1. The City has adopted the State Water Efficient Landscape Ordinance. The ordinance applies to projects installing 2,500 square feet or more of landscaping. It requires that landscaping and irrigation plans be certified by a qualified entity (i.e., Landscape Architect) as meeting the State water conservation requirements. The City's implementation of this new State law will be accomplished by self-certification of the final landscape and irrigation plans by a California licensed landscape architect or other qualified entity with sections signed by appropriately licensed or certified persons as required by the ordinance. **NOTE: Prior to a final for the project, a signed Certificate of Compliance for the MWELO standards is required indicating that the landscaping has been installed to MWELO standards.**
2. Provide street trees at an average of 20-feet on center along street frontages. All trees to be 15-gallon minimum size (Zoning Ordinance Section 17.30.130.C).
3. All landscape areas to be protected with 6-inch concrete curbs (Zoning Ordinance Section 17.30.130.F).
4. All parking lots to be designed to provide a tree canopy to provide shade in the hot seasons and sunlight in the winter months.
5. Provide a detailed landscape and irrigation plan as a part of the building permit package (Zoning Ordinance Section 17.34.040).
6. An 80 sq. ft. minimum landscape well is required every 10 contiguous parking stalls (Zoning Ordinance Section 17.30.130.C).
7. Locate existing oak trees on site and provide protection for all oak trees greater than 2" diameter (see Oak Tree Preservation Ordinance).
8. Maintenance of landscaped areas. - A landscaped area provided in compliance with the regulations prescribed in this title or as a condition of a use permit or variance shall be planted with materials suitable for screening or ornamenting the site, whichever is appropriate, and plant materials shall be maintained and replaced as needed, to screen or ornament the site. (Prior code § 7484)

Lighting:

1. All lighting is to be designed and installed so as to prevent any significant direct or indirect light or glare from falling upon any adjacent residential property. This will need to be demonstrated in the building plans and prior to final on the site.
2. Parking lot and drive aisle lighting adjacent to residential units or designated property should consider the use of 15-foot high light poles, with the light element to be completely recessed into the can. A reduction in the height of the light pole will assist in the reduction/elimination of direct and indirect light and glare which may adversely impact adjacent residential areas.
3. Building and security lights need to be shielded so that the light element is not visible from the adjacent residential properties, if any new lights are added or existing lights relocated.
4. NOTE: Failure to meet these lighting standards in the field will result in no occupancy for the building until the standards are met.
5. In no case shall more than 0.5 lumens be exceeded at any property line, and in cases where the adjacent residential unit is very close to the property line, 0.5 lumens may not be acceptable.

NOTE: Staff recommendations contained in this document are not to be considered support for a particular action or project unless otherwise stated in the comments. The comments found on this document pertain to the site plan submitted for review on the above referenced date. Any changes made to the plan submitted must be submitted for additional review.

Signature  _____



Site Plan Review Comments For:

City of Visalia
Fire Department
707 W Acequia
Visalia, CA 93291
559-713-4261 *office*
559-713-4808 *fax*

ITEM NO: 1

D. June 22, 2016

SITE PLAN NO: SPR16086
PROJECT TITLE: NEIGHBORHOOD MENNONITE BROTHERS
DESCRIPTION: CUP (REISSUE) FOR FUTURE CHURCH CAMPUS
EXPANSION (RA) (X)
APPLICANT: NEIGHBORHOOD MENNONITE BROTHERS CHURCH
PROP OWNER: NEIGHBORHOOD MENNONITE BROTHERS
LOCATION: 5505 W RIGGIN AVE
APN(S): 077-100-062

The following comments are applicable when checked:

- The Site Plan Review comments are issued as general overview of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2013 California Fire Code (CFC), 2013 California Building Codes (CBC) and City of Visalia Municipal Codes.
- All fire detection, alarm, and extinguishing systems in existing buildings shall be maintained in an operative condition at all times and shall be replaced or repaired where defective. If building has been vacant for a significant amount of time, the fire detection, alarm, and or extinguishing systems may need to be evaluated by a licensed professional. *2013 CFC 901.6*
- No fire protection items required for parcel map or lot line adjustment; however, any future projects will be subject to fire & life safety requirements including fire protection.
- More information is needed before a Site Plan Review can be conducted. Please submit plans with more detail. Please include information on

General:

- Address numbers must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least four inches (4") high and shall be of a color to contrast with their background. If multiple addresses are served by a common driveway, the range of numbers shall be posted at the roadway/driveway. *2013 CFC 505.1*
- A Knox Box key lock system is required. Where access to or within a structure or an area is restricted because of secured openings (doors and/or gates) or for fire-fighting purposes, a key box is to be installed in an approved location. (Note: Knox boxes shall be ordered using an approved application that can be found at Fire Administration Office located at 707 W. Acequia Ave. Please allow adequate time for shipping and installation.) *2013 CFC 506.1*
- All hardware on exit doors shall comply with Chapter 10 of the 2013 California Fire Code. This includes all locks, latches, bolt locks, and panic and fire exit hardware.
- Provide illuminated exit signs and emergency lighting through-out building. *2013 CFC 1011*
- When portion of the building are built upon a property line or in close proximity to another structure the exterior wall shall be constructed as to comply *2013 California Building Code Table 508.4 and Table 602.*

- Commercial dumpsters with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system. *2013 CFC 304.3.3*
- If your business handles hazardous material in amounts that exceed the Maximum Allowable Quantities listed on *Table 5003.1.1(1), 5003.1.1(2), 5003.1.1(3) and 5003.1.1(4) of the 2013 California Fire Code*, you are required to submit an emergency response plan to the Tulare County Health Department. Also you shall indicate the quantities on your building plans and prior to the building final inspection a copy of your emergency response plan and Safety Data Sheets shall be submitted to the Visalia Fire Department.

Water Supply:

- Construction and demolition sites shall have an approved water supply for fire protection, either temporary or permanent, and shall be made available as soon as combustible material arrives on the site. *2013 CFC 3312*
- No additional fire hydrants are required for this project; however, additional fire hydrants may be required for any future development.
- There is/are 2 fire hydrants required for this project. (See marked plans for fire hydrant locations.)
- Fire hydrant spacing shall comply with the following requirements:

The exact location of fire hydrants and final decision as to the number of fire hydrants shall be at the discretion of the fire marshal, fire chief and/or their designee. *Visalia Municipal Code 16.36.120 & 16.36.120(8)*

 - Single-family residential developments shall be provided with fire hydrants every six hundred (600) lineal feet of residential frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
 - Multi-family, zero lot line clearance, mobile home park or condominium developments shall be provided with fire hydrants every four hundred (400) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
 - Multi-family or condominium developments with one hundred (100) percent coverage fire sprinkler systems shall be provided with fire hydrants every six (600) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
 - Commercial or industrial developments shall be provided with fire hydrants every three hundred (300) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
 - Commercial or industrial developments with one hundred (100) percent coverage fire sprinkler systems shall be provided with fire hydrants every five hundred (500) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
- When any portion of a building is in excess of one hundred fifty (150) feet from a water supply on a public street there shall be provided on site fire hydrants and water mains capable of supplying the required fire flow. *Visalia Municipal Code 16.36.120(6)*

Emergency Access:

- ☒ A **construction access road** is required and shall be a minimum of 20 feet wide. The road shall be an all-weather driving surface accessible prior to and during construction. The access road shall be capable of holding 75,000 pound piece of fire apparatus, and shall provide access to within 100 feet of temporary or permanent fire department connections. *2013 CFC 3310*

- ☒ Buildings or portions of buildings or facilities with a vertical distance between the grade plans and the **highest roof surface exceed 30 feet** shall provide an approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders. Access routes shall be located within a minimum of 15 feet and maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building. *2013 CFC D105*

- ☒ A fire apparatus access roads shall be provide and must comply with the CFC and extend to **within 150 of all portions of the facility and all portions of the exterior walls of the first story of the building** as measured by an approved route around the exterior of the building or facility. Minimum turning radius for emergency fire apparatus shall be 20 feet inside radius and 43 feet outside radius. *2013 CFC 503.1.1*

- ☐ Fire apparatus access roads in excess of 150 feet and dead end shall be provided with a turnaround. Length 151-500 feet shall be a minimum of 20 feet in width and have a 120 foot Hammerhead, 60-foot "Y" or 96-Foot diameter Cul-de-sac in accordance with Figure D103.1 of the 2013 CFC. Length 501-750 feet shall be 26 feet in width and have a 120 foot Hammerhead, 60-foot "Y" or 96-Foot diameter Cul-de-sac in accordance with Figure D103.1 of the 2013 CFC.

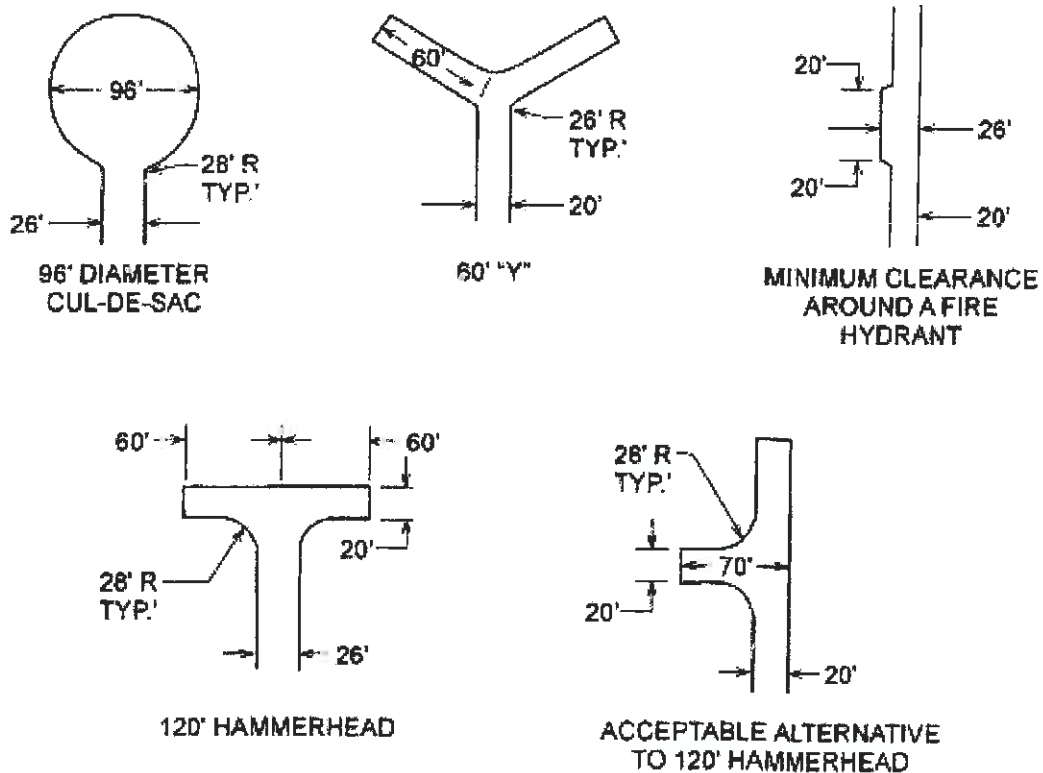


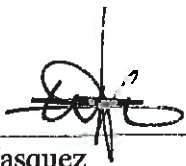
FIGURE D103.1
DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUND

- Gates on access roads shall be a minimum width of 20 feet and shall comply with the following:
2013 CFC D103.5
- Typical chain and lock shall be the type that can be cut with a common bolt cutter, or the developer may opt to provide a Knox Box key lock system.
 - Gates shall be of the swinging or sliding type.
 - Gates shall allow manual operation by one person. (power outages)
 - Gates shall be maintained in an operative condition at all times.
 - Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. (Note: Knox boxes shall be ordered using an approved application that can be found at Fire Administration Office located at 707 W. Acequia Ave. Please allow adequate time for shipping and installation.)
- In any and all new One- or two-family dwellings residential developments regardless of the number of units, street width shall be a minimum of 36 feet from curb to curb to allow fire department access and to permit parking on both sides of the street. A minimum of 20 feet shall be provided for developments that don't allow parking on the streets. *2013 CFC D107.2*

Fire Protection Systems:

- An automatic fire sprinkler system will be required for this building. Also a fire hydrant is required within 50 feet of the Fire Department Connection (FDC). *2013 CFC 903 and Visalia Municipal Code 16.36.120(7)*
- Commercial cooking appliances and domestic cooking appliances used for commercial purposes that produces grease laden vapors shall be provided with a Type 1 Hood, in accordance with the California Mechanical Code, and an automatic fire extinguishing system. *2013 CFC 904.11 & 609.2*

Special Comments:



Maribel Vasquez
Fire Inspector

City of Visalia
Police Department
303 S. Johnson St.
Visalia, Ca. 93292
(559) 713-4370

ITEM NO: 1 DATE: 22, 2016
SITE PLAN NO: SPR16086
PROJECT TITLE: NEIGHBORHOOD MENNONITE BROTHERS
DESCRIPTION: CUP (REISSUE) FOR FUTURE CHURCH CAMPUS
EXPANSION (RA) (X)
APPLICANT: NEIGHBORHOOD MENNONITE BROTHERS CHU
PROP OWNER: CH-NEIGHBORHOOD MENNONITE BROTHERS
LOCATION: 5505 W RIGGIN AVE
APN(S): 077-100-062

Site Plan Review Comments

- No Comment at this time.
- Request opportunity to comment or make recommendations as to safety issues as plans are developed.
- Public Safety Impact fee:
Ordinance No. 2001-11 Chapter 16.48 of Title 16 of the Visalia Municipal Code
Effective date - August 17, 2001

Impact fees shall be imposed by the City pursuant to this Ordinance as a condition of or in conjunction with the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land, upon which no like building, structure of improvement previously existed. *Refer to Engineering Site Plan comments for fee estimation.

- Not enough information provided. Please provide additional information pertaining to:

- Territorial Reinforcement: Define property lines (private/public space).

- Access Controlled / Restricted etc:

- Lighting Concerns:

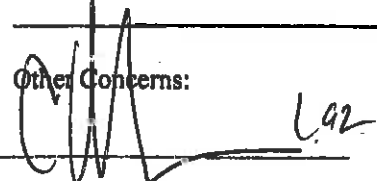
- Landscaping Concerns:

- Traffic Concerns:

- Surveillance Issues:

- Line of Sight Issues:

- Other Concerns:


Visalia Police Department

SITE PLAN REVIEW COMMENTS

CITY OF VISALIA TRAFFIC SAFETY DIVISION

June 22, 2016

ITEM NO: 1
SITE PLAN NO: SPR16086
PROJECT TITLE: NEIGHBORHOOD MENNONITE BRETHERN CHURCH
DESCRIPTION: CUP (REISSUE) FOR FUTURE CHURCH CAMPUS EXPANSION (RA) (X)
APPLICANT: NEIGHBORHOOD MENNONITE BRETHERN CHURCH
PROP. OWNER: CH-NEIGHBORHOOD MENNONITE BRETHERN
LOCATION: 5505 W RIGGIN AVE
APN(S): 077-100-062

THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY

- No Comments
- See Previous Site Plan Comments
- Install Street Light(s) per City Standards.
- Install Street Name Blades at Locations.
- Install Stop Signs at *driveway exit* Locations.
- Construct parking per City Standards PK-1 through PK-4.
- Construct drive approach per City Standards.
- Traffic Impact Analysis required.

Additional Comments:

•



Leslie Blair

CITY OF VISALIA
SOLID WASTE DIVISION
336 N. BEN MADDOX
VISALIA CA. 93291
713 - 4500

16-086

5505 w riggin

COMMERCIAL BIN SERVICE

- No comments.
- Same comments as
- Revisions required prior to submitting final plans. See comments below.
- Resubmittal required. See comments below.
- Customer responsible for all cardboard and other bulky recyclables to be broken down
be fore disposing of in recycle containers.
- ALL refuse enclosures must be R-3 OR R-4
- Customer must provide combination or keys for access to locked gates/bins
- Type of refuse service not Indica 16-06
- Location of bin enclosure not acceptable. See comments below.
- Bin enclosure not to city standards double.
- Inadequate number of bins to provide sufficient service. See comments below.
- Drive approach too narrow for refuse trucks access. See comments below.
- Area not adequate for allowing refuse truck turning radius of :
Commercial (X) 50 ft. outside 36 ft. inside; Residential () 35 ft. outside, 20 ft. inside.
- Paved areas should be engineered to withstand a 55,000 lb. refuse truck.
- Bin enclosure gates are required
- Hammerhead turnaround must be built per city standards.
- Cul - de - sac must be built per city standards.
- Bin enclosures are for city refuse containers only. Grease drums or any other
items are not allowed to be stored inside bin enclosures.
- Area in front of refuse enclosure must be marked off indicating no parking
- Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS)
with no less than 50' clear space in front of the bin, including the front concrete pad.
- Customer will be required to roll container out to curb for service.
- Must be a concrete slab in front of enclosure as per city standards
The width of the enclosure by ten(10) feet, minimum of six(6) inches in depth.

Roll off compactor's must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow the truck enough room to provide service.

Bin enclosure gates must open 180 degrees and also hinges must be mounted in front of post see page 2 for instructions

COMMENTS

New enclosure will need to be located for direct stab with a minimum clearance in front of enclosure of 50' to allow truck to maneuver and direct stab bins in enclosure.

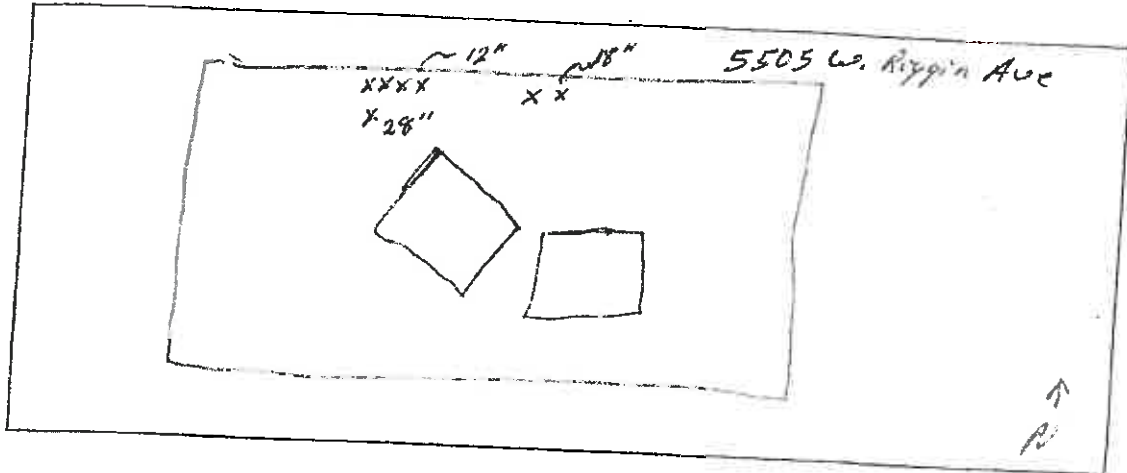
Javier Hernandez, Solid Waste Front Load Supervisor 713-4338
Earl Nielsen, Solid Waste Manager

City of Visalia
Parks and Urban Forestry
336 N. Ben Maddox Way
Visalia, CA 93292

Date: 6-21-16

Site Plan Review # 16086

SITE PLAN REVIEW COMMENTS



COMMENTS: See Below None

Please plot and protect all Valley Oak Trees.

Landscape along parkway to be planted by developer and maintained by a maintenance district.

All drainage from curb and gutter along streets to be connected to storm drain system.

All trees planted in street right-of-way to be approved by the Public Works Superintendent of Parks.

Tie-ins to existing infrastructure may require a bore. Check with the Public Works Department prior to any street cut.

Other Comments:

7- Valley Oak trees - located next to Riggins

Joel Hooyer

Joel Hooyer
Parks and Urban Forestry Supervisor
559 713-4295 Fax 559 713-4818

Email: jhooyer@ci.visalia.ca.us

SITE PLAN REVIEW COMMENTS

TRANSIT DIVISION

ITEM NO. 1 DATE: June 22, 2016

SITE PLAN NO.: SPR16086
PROJECT TITLE: NEIGHBORHOOD MENNONITE BRETHREN CHURCH
DESCRIPTION: CUP (REISSUE) FOR FUTURE CHURCH CAMPUS EXPANSION
(RA) (X)
APPLICANT: NEIGHBORHOOD MENNONITE BRETHREN CHURCH
PROP. OWNER: CH-NEIGHBORHOOD MENNONITE BRETHREN
LOCATION: 5505 W RIGGIN AVE
APN: 077-100-062

NOTES

Please be advised that a new bus cutout and bus stop will need to be installed in accordance with the City of Visalia bus stop standards at the following location:

- ◆ On the west side of Akers, approximately 0' to 150' south of Riggin.

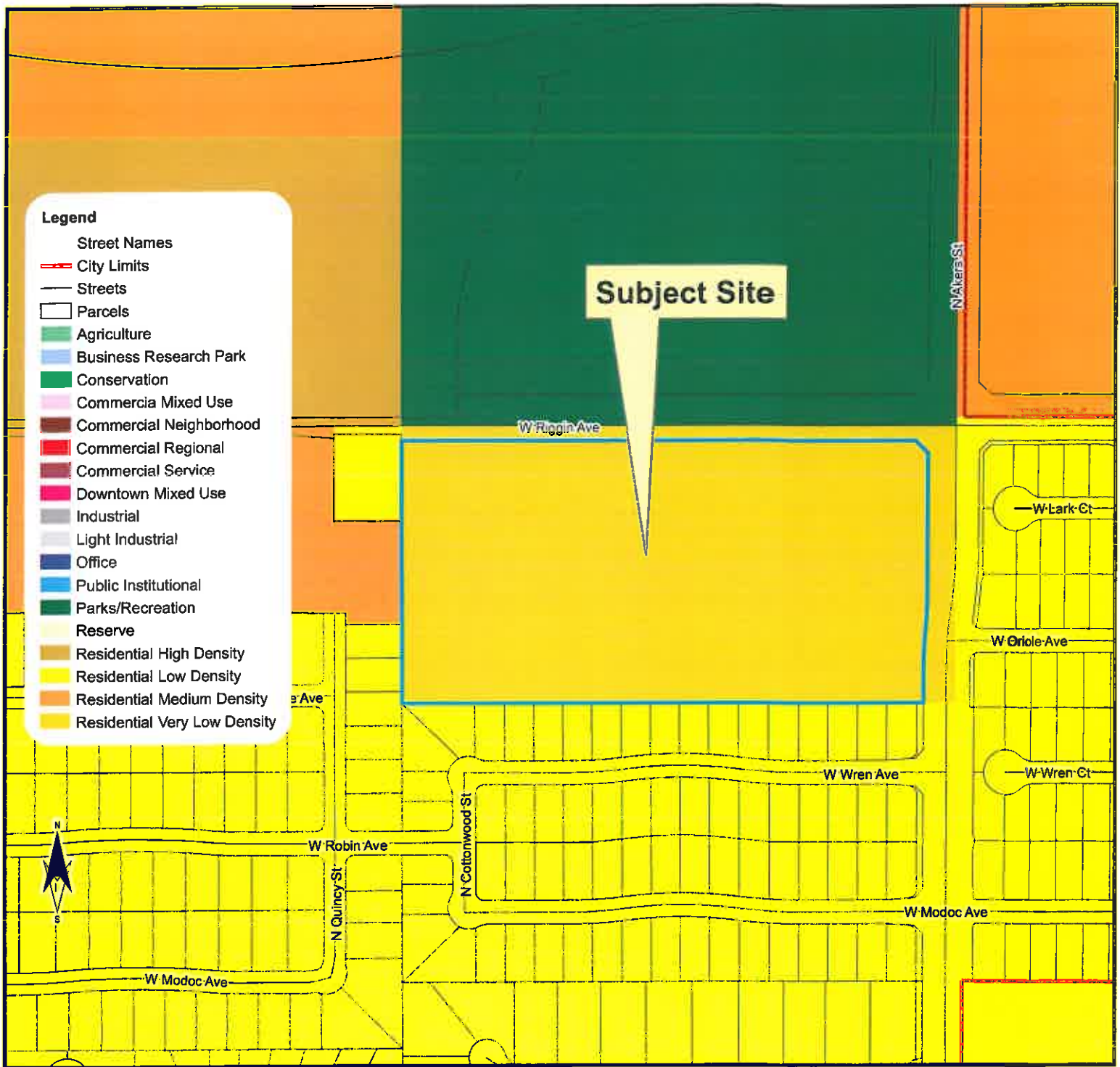
This bus stop will require a sidewalk pad of 10'x 8' for ADA accessibility in agreement with the Americans with Disabilities Act of 1990.

For more information, please contact the Transit Division at 713-4100.



Monty A. Cox
Transit Manager

City of Visalia



Land Use Designations

0 75 150 300 450 600 Feet

CUP 2016-26

City of Visalia

Subject Site

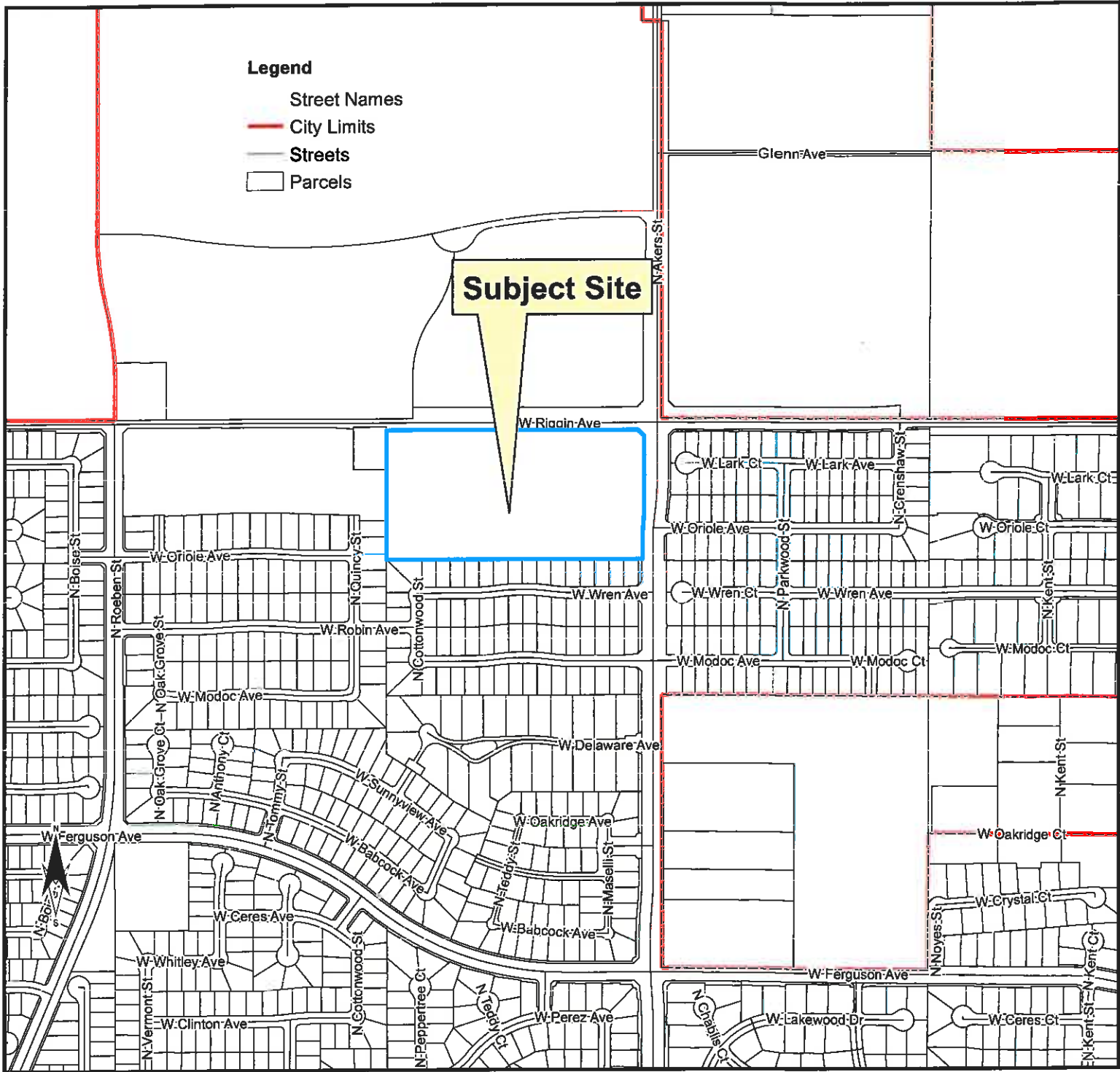


Aerial Photo

0 50 100 200 300 400 Feet

CUP 2016-26

City of Visalia



Location Map

0 160320 640 960 1,280 Feet

CUP 2016-26



REPORT TO CITY OF VISALIA PLANNING COMMISSION

HEARING DATE: December 12, 2016

PROJECT PLANNER: Andrew Chamberlain, Senior Planner
Phone No.: (559) 713-4003

SUBJECT: Conditional Use Permit No. 2016-28: A request by Northwest Visalia Senior Housing LLC, to allow the establishment of a three story, 100 unit, Independent Living facility, and a one story, 20 bed, Memory Care facility in the R-M-2 (Medium Density Residential) zone, located on the north side of Flagstaff Avenue west of Leila Street. (APN: 078-210-027)

STAFF RECOMMENDATION

Staff recommends approval of Conditional Use Permit No. 2016-28, as conditioned, based upon the findings and conditions in Resolution No. 2016-57. Staff's recommendation is based on the conclusion that the request is consistent with the City General Plan and Zoning Ordinance.

RECOMMENDED MOTION

I move to approve Conditional Use Permit No. 2016-28 based on the findings and conditions in Resolution No. 2016-57.

PROJECT DESCRIPTION

The applicant is requesting approval of a conditional use permit to allow development of a three story, 100 unit, independent Living facility, and a one story, 20 bed, Memory Care facility in the R-M-2 (Medium Density Residential) zone. The site plan in Exhibit "A" shows the proposed three story residential structure oriented east/west on the site, with the one story, 20 bed, memory care unit located at the east end of the site. The site takes vehicle access from two primary access points on Flagstaff Avenue, and has two cross-access points with the medical clinic to the west.

The site is the multiple family residential part of the Village at Willow Creek Specific Plan, and borders a single family residential neighborhood to the east, and a ponding basin to the north. To the west will be a new medical clinic and the Village at Willow Creek shopping center to the south.



The proposed 100 units are to be age restricted for seniors and will include on-site services such as meals, gym, pool, entertainment and activities, along with support services for assisted living needs. Transportation will be provided to take residents for appointments and shopping. The project includes an 84 stall parking lot. While most of the residents of the 100 unit complex will be ambulatory, the Parking Study in Exhibit "G" shows that only about 25% will have autos at the site.

The building elevations are provided in Exhibit "B", and the floor plans are provided in Exhibit "D". The proposed elevations are a contemporary design with the one story Memory Care facility being used to transition to the single family residential neighborhood to the east. The elevations and floor plan for the Memory Care unit are shown in Exhibit "C".

There will be staff on site 24 hours a day, with up to 55 staff at peak times for house cleaning and meals as described in the Operational Statement in Exhibit "G". This facility will be operated by the same organization as the existing Quail Park Facility at Cypress and Linwood in Visalia.

BACKGROUND INFORMATION

General Plan Land Use Designation:	Residential Medium Density
Zoning:	Medium Density Residential (R-M-2)
Surrounding Zoning and Land Use:	North: QP (Storm Water Basin) South: CCM (Community Commercial) / Village at Willow Creek Shopping Center East: R-1-6 (Single-Family Residential) West: PA (Office)
Environmental Review:	Categorical Exemption No. 2016-52
Special Districts:	Village at Willow Creek Specific Plan
Site Plan:	Site Plan Review No. 2016-094

RELATED PLANS & POLICIES

See separate Municipal Ordinance chapters pertaining to Conditional Use Permits.

RELATED PROJECTS

Conditional Use Permit No. 2000-05, was approved by the Planning Commission in March of 2000, allowing 114 independent and assisted living units within an integrated development similar to the proposed facility in CUP No. 2016-28.

Specific Plan No. 2006-06, The Village at Willow Creek Specific Plan, was approved by the Planning Commission on October 10, 2006, and the City Council on November 20, 2006. The Village at Willow Creek Specific Plan is a 26 acre plan, consisting of 21 acres of commercial, 3.65 acres of multiple family, and 2.01 acres of office. The existing plan is shown in Exhibit – "B", and the proposed amended Plan in Exhibit "C". The plan area is approximately 65% built-out, with the multiple family, the existing office, and a commercial pad undeveloped.

2016 Zoning Actions: The following actions were approved by the Planning Commission on May 23, 2016, resulting in the creation of the 3.65 acre subject site and an urgent care clinic.

Change of Zone No. 2016-01: A request by Kaweah Delta Health Care District and CRS Farming to change the zoning from R-M-2 (Medium Density Residential) to PA (Professional Administrative Office) on 1.01 acres.

Specific Plan Amendment No. 2016-03: A request by Kaweah Delta Health Care District and CRS Farming to amend the Village at Willow Creek Specific Plan to allow 1.01 acres of Professional Administrative Office.

Tentative Parcel Map No. 2016-02: A request by Kaweah Delta Health Care District and CRS Farming to divide 4.66 acres into 2 parcels of 1.01 acres, and 3.65 acres, in the R-M-2 (Medium Density Residential) zone.

Conditional Use Permit No. 2016-02: A request by Kaweah Delta Health Care District and CRS Farming to establish a 6,100 sq. ft. urgent care medical clinic on 1.01 acres in the PA (Professional Administrative Office) zone.

PROJECT EVALUATION

Staff supports the requested conditional use permit based on the project's consistency with the General Plan and the Zoning Ordinance.

Land Use Compatibility / Density

The site is zoned R-M-2 (Medium Density Residential). Residential development designed for seniors is a conditional use in the R-M-2 zone per Visalia Municipal Code Section 17.16.040.M. As part of the Conditional Use Permit review process, overall site design is evaluated for this type of residential development to ensure compatibility with surrounding land uses.

The Medium Density Residential land use designation provides for unit densities of 10-15 units per acre. Through the conditional use permit process, densities higher than 15 units per acre may be approved for Senior Citizen Residential Developments where issues of access, parking, open space and neighborhood compatibility are addressed. The site is 3.65 acres with a proposed density of 36.5 units per acre. The 20 bed Memory Care unit is not considered as part of the residential density, but an ancillary care facility which has been integrated into the overall project design. The following sections review neighborhood compatibility.

The Village at Willow Creek Specific Plan.

This site is part of the Village at Willow Creek Specific Plan and is designated for Medium Density Multiple Family development. The proposed independent/assisted living units and related memory care unit are consistent with the multiple family residential designation. The proximity of the proposed development adjacent to shopping and open space promotes a reduction in the number and length of vehicle trips by the residents to receive goods and services. This horizontal integration of residential into the Specific Plan is consistent with the intent of these types of planning efforts and the future growth patterns of the community.

Phasing

The applicant's intent is to pursue construction of the site improvements and both buildings in a timely manner. The integrated site design of access and circulation, along with some shared facility staffing promotes the construction of the site as a single integrated facility.

Access and Circulation

The facility is located close to Demaree Street with two access drives on Flagstaff Avenue, and two cross-access points with the medical clinic to the west. Residents and staff will not need to circulate through the residential neighborhood to the east to access the facility. Flagstaff Avenue is already in place providing access to the neighborhood to the east and the shopping center to the south. There would be no roadway improvements other than the proposed access points on Flagstaff Avenue. There are no vehicular access points on the Leila Street portion of the site facing the residential area.

Parking

The project will have an 84 stall parking lot to accommodate the residents, staff and visitors. The parking requirement for senior citizen housing developments is one parking stall per unit, which may be reduced through the conditional use permit process where it can be shown that there will not be impacts to adjacent public streets or properties. The Parking Study in Exhibit "G" provides an analysis of parking demand for these types of facilities. The number of resident vehicles will be limited through facility management to approximately 25, with the balance of the parking made available for staff and visitors. The facility will have a transport van for appointments and shopping trips for the residents. While at peak periods there may be up to 55 staff at the site, the general staff parking would be around 40 vehicles, with approximately 5 overnight vehicles on the site.

As a part of the Village at Willow Creek Specific Plan, the site would have available overflow parking on the existing commercial parking lot to the south. With on-site meals, entertainment and ancillary services, the potential traffic impacts to the adjacent neighborhood to the east is negligible. Based upon the parking study and site integration as part of the shopping center to the south, staff finds the proposed 84 parking stalls adequate for the proposed facility. This includes the Memory Care unit for which the staff parking demand has already been addressed as a part of the total project.

Setbacks

The setbacks in the R-M-2 zone are 15 feet along the street and 25 feet along the rear (north) of the site. The proposed setbacks exceed the 15-foot minimum, with only the west portion of the three story main building located within 20 feet of Flagstaff Avenue. The east end of the building oriented towards the residential neighborhood is setback approximately 70 feet, as shown in Exhibit "A". The one story Memory Care unit is setback approximately 20 feet from the Flagstaff and Leila frontages.

The three story main building is setback approximately 30-50 feet from the rear (north) property line, separated by an access drive. The memory Care building does have a 10-foot rear (north) setback from the adjacent ponding basin.

The proposed setbacks are consistent with the R-M-2 zone and will blend with the existing residential setbacks in the neighborhood to the east. The proposed project is conditioned to match the setbacks shown in the exhibits.

Buildings

The project represents a planned residential development with the three story portion well to the west of the single family area, utilizing the one story Memory Care unit as the interface with the neighborhood. The Memory Care unit does not have a driveway or main building entrance facing the neighborhood, the building is parked and accessed from the west side. The building

will also exceed the minimum 15 foot residential setback along Leila Street with a 20-foot setback and landscaping.

The proposed building elevations shown in Exhibits "B" and "C" are contemporary and will integrate with the residential neighborhood character to the east and also with the Village at Willow Creek shopping center to the south. While there are third floor balconies on the east side of the main building, the balconies are over 220 feet from the closest residential units to the east. Staff finds the 220-foot separation to provide adequate privacy to the closest residential units to the east.

The height limit in the R-M-2 zone is 35 feet or three-stories, whichever is taller (ZO Section 17.16.100). The height of the main building is 42 feet at several of the roof peaks. Staff finds this to be consistent with the three-story height limit provision in the Zoning Ordinance, and minor in nature based upon the 40 to 42-foot maximum to the roof peaks.

Walls / Fences

The project will be installing split rail fencing similar to that used on the shopping center along the Flagstaff Avenue frontage. Open fencing 3 to 4 feet high along the property line is consistent with the fencing standards in the R-M-2 zone. The proposed fencing is also consistent with the Specific Plan standards for fencing.

Monument Sign

The monument sign shown in Exhibit "G" is requested at the west access drive on Flagstaff, with a smaller version at the east access drive. The size and height of the signs would be similar to the site identification signs at the Village at Willow Creek, with an area of 30 sq. ft. per side and a maximum height of 6 feet. This is consistent with the Quasi-Public sign standards in the Zoning Ordinance, except for the requested second sign. Staff supports the request and is recommending Commission approval based upon the size of the facility and the necessity to clearly identify the associated Memory Care unit which would be identified by the secondary sign at the east access drive. The signs are setback on the site rather than being located at the front property line, reducing the visual impact.

Landscaping

The entire site will be landscaped consistent with the design shown in Exhibit "A". Landscaping is subject to Low Water Use standards. Landscape and irrigation plans are required as a part of the building permit package. Staff has included a condition that the Flagstaff and Leila street frontages adjacent to the Memory Care unit be installed prior to the occupancy of the main building if a building permit for the unit has not been pulled by that time.

Environmental Review

This project is considered Categorical Exempt under Section 15332 (Class 32) of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA) as an in-fill development project (Categorical Exemption No. 2016-52).

Projects determined to meet this classification consist of in-fill development meeting a series of conditions, including consistency with applicable General Plan policies and Zoning regulations, no more than five acres, ability to be adequately served by existing utilities and infrastructure, the site having no value as habitat for threatened, rare, or endangered species, and not resulting in any significant environmental effects.

RECOMMENDED FINDINGS

1. That the proposed project, as conditioned, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed CUP is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
 - The proposed location of the conditional use is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located.
 - The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity.
3. That the proposed 100 unit independent/assisted living facility including the 20 bed Memory Care building, has been designed to address issues of access, parking and neighborhood compatibility. As presented in the attached Exhibits, the proposed facility is consistent with the purpose and intent of the General Plan and Zoning Ordinance for providing senior citizen residential facilities.
4. That the proposed project is consistent with the Village at Willow Creek Specific Plan based upon the site design, building elevations, and operational statement.
5. That the project is considered Categorical Exempt under Section 15332 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2016-52).

RECOMMENDED CONDITIONS OF APPROVAL

1. That the project be developed consistent with the comments and conditions of the Site Plan Review No. 2016-094.
2. That the project be developed consistent with the site plan and elevations contained in this staff report.
3. That the proposed independent/assisted living facility be operated in accordance with the Operational Statement provided in Exhibit "E".
4. That the site be developed accordance with the Village at Willow Creek Specific Plan.
5. That the applicant enter into a covenant designating these units as senior residential units, and that said covenant is to be recorded with the title of the property prior to the issuance of any building permits.
6. That landscape and irrigation plans, prepared in accordance with the City of Visalia Model Water Efficient Landscape Ordinance (MWELo), shall be included in the construction document plans submitted for either grading or building construction permits. Prior to the project receiving final approved permits, a signed Certificate of Compliance stating that the project meets MWELo standards shall be submitted to the City.
7. That the landscaping adjacent to the Memory Care unit be installed along the Flagstaff and Leila street frontages if said building permit is not issued prior to any occupancy of the main building.
8. That all applicable federal, state, regional, and city policies and ordinances be met.

9. That the applicant submit to the City of Visalia a signed receipt and acceptance of conditions from the applicant and property owner, stating that they understand and agree to all the conditions of Conditional Use Permit No. 2016-28, prior to the issuance of any building permits for this project.

APPEAL INFORMATION

According to the City of Visalia Zoning Ordinance Section 17.02.145, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal with applicable fees shall be in writing and shall be filed with the City Clerk at 220 N. Santa Fe Street, Visalia, CA 93292. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website www.ci.visalia.ca.us or from the City Clerk.

Attachments:

- Related Plans and Policies
- Resolution
- Exhibit "A" – Project Site Plan
- Exhibit "B" – Three Story Building Site Plan and Elevations
- Exhibit "C" – Memory Care Building Site Plan and Elevations
- Exhibit "D" – Three Story Main Building Floor Plans
- Exhibit "E" – Operational Statement
- Exhibit "F" – Parking Study
- Exhibit "G" – Monument Sign Elevation
- Site Plan Review Comments
- General Plan Land Use Map
- Zoning Map
- Aerial Photo
- Location Map

Related Plans & Policies

General Plan and Zoning: The following General Plan and Zoning Ordinance policies apply to the proposed project:

Zoning Ordinance

Chapter 17.38: Conditional Use Permits

17.38.010 Purposes and powers

In certain zones conditional uses are permitted subject to the granting of a conditional use permit. Because of their unusual characteristics, conditional uses require special consideration so that they may be located properly with respect to the objectives of the zoning ordinance and with respect to their effects on surrounding properties. In order to achieve these purposes and thus give the zone use regulations the flexibility necessary to achieve the objectives of this title, the planning commission is empowered to grant or deny applications for conditional use permits and to impose reasonable conditions upon the granting of such permits. (Prior code § 7525)

17.38.030 Lapse of conditional use permit.

A conditional use permit shall lapse and shall become void twenty-four (24) months after the date on which it became effective, unless the conditions of the permit allowed a shorter or greater time limit, or unless prior to the expiration of twenty-four (24) months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site which was the subject of the permit. A permit may be renewed for an additional period of one year; provided, that prior to the expiration of twenty-four (24) months from the date the permit originally became effective, an application for renewal is filed with the planning commission. The commission may grant or deny an application for renewal of a conditional use permit. In the case of a planned residential development, the recording of a final map and improvements thereto shall be deemed the same as a building permit in relation to this section. (Ord. 2001-13 § 4 (part), 2001: prior code § 7527)

17.38.040 Revocation.

Upon violation of any applicable provision of this title, or, if granted subject to a condition or conditions, upon failure to comply with the condition or conditions, a conditional use permit shall be suspended automatically. The planning commission shall hold a public hearing within sixty (60) days, in accordance with the procedure prescribed in Section 17.38.080, and if not satisfied that the regulation, general provision or condition is being complied with, may revoke the permit or take such action as may be necessary to insure compliance with the regulation, general provision or condition. Appeals of the decision of the planning commission may be made to the city council as provided in Section 17.38.120. (Prior code § 7528)

17.38.050 New application.

Following the denial of a conditional use permit application or the revocation of a conditional use permit, no application for a conditional use permit for the same or substantially the same conditional use on the same or substantially the same site shall be filed within one year from the date of denial or revocation of the permit unless such denial was a denial without prejudice by the planning commission or city council. (Prior code § 7530)

17.38.060 Conditional uses permit to run with the land.

A conditional use permit granted pursuant to the provisions of this chapter shall run with the land and shall continue to be valid upon a change of ownership of the site or structure which was the subject of the permit application subject to the provisions of Section 17.38.065. (Prior code § 7531)

17.38.065 Abandonment of conditional use permit.

If the use for which a conditional use permit was approved is discontinued for a period of one hundred eighty (180) days, the use shall be considered abandoned and any future use of the site as a conditional use will require the approval of a new conditional use permit.

17.38.110 Action by planning commission.

- A. The planning commission may grant an application for a conditional use permit as requested or in modified form, if, on the basis of the application and the evidence submitted, the commission makes the following findings:

1. That the proposed location of the conditional use is in accordance with the objectives of the zoning ordinance and the purposes of the zone in which the site is located;
 2. That the proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.
- B. A conditional use permit may be revocable, may be granted for a limited time period, or may be granted subject to such conditions as the commission may prescribe. The commission may grant conditional approval for a permit subject to the effective date of a change of zone or other ordinance amendment.
- C. The commission may deny an application for a conditional use permit. (Prior code § 7536)\

17.38.120 Appeal to city council.

The decision of the City planning commission on a conditional use permit shall be subject to the appeal provisions of Section 17.02.145. (Prior code § 7537) (Ord. 2006-18 § 6, 2007)

17.38.130 Effective date of conditional use permit.

A conditional use permit shall become effective immediately when granted or affirmed by the council, or upon the sixth working day following the granting of the conditional use permit by the planning commission if no appeal has been filed. (Prior code § 7539)

RESOLUTION NO. 2016-57

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2016-26: A REQUEST BY NORTHWEST VISALIA SENIOR HOUSING LLC, TO ALLOW THE ESTABLISHMENT OF A THREE STORY, 100 UNIT, INDEPENDENT LIVING FACILITY, AND A ONE STORY, 20 BED, MEMORY CARE FACILITY IN THE R-M-2 (MEDIUM DENSITY RESIDENTIAL) ZONE, LOCATED ON THE NORTH SIDE OF FLAGSTAFF AVENUE WEST OF LEILA STREET. (APN: 078-210-027)

WHEREAS, Conditional Use Permit No. 2016-26 is a request by Northwest Visalia Senior Housing LLC, to allow the establishment of a three story, 100 unit, Independent Living facility, and a one story, 20 bed, Memory Care facility in the R-M-2 (Medium Density Residential) zone, located on the north side of Flagstaff Avenue west of Leila Street. (APN: 078-210-027); and

WHEREAS, the Planning Commission of the City of Visalia, after duly published notice did hold a public hearing before said Commission on December 12, 2016; and

WHEREAS, the Planning Commission of the City of Visalia finds Conditional Use Permit No. 2016-28, as conditioned by staff, to be in accordance with Section 17.38.110 of the Zoning Ordinance of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and

WHEREAS, the project is considered Categorical Exempt under Section 15332 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA) (Categorical Exemption No. 2016-52).

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Visalia makes the following specific findings based on the evidence presented:

1. That the proposed project, as conditioned, will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed CUP is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
 - The proposed location of the conditional use is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located.
 - The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity.
3. That the proposed 100 unit independent/assisted living facility including the 20 bed Memory Care building, has been designed to address issues of access, parking and neighborhood compatibility. As presented in the attached Exhibits,

the proposed facility is consistent with the purpose and intent of the General Plan and Zoning Ordinance for providing senior citizen residential facilities.

4. That the proposed project is consistent with the Village at Willow Creek Specific Plan based upon the site design, building elevations, and operational statement.
5. That the project is considered Categorically Exempt under Section 15332 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2016-52).

BE IT FURTHER RESOLVED that the Planning Commission hereby approves the Conditional Use Permit on the real property hereinabove described in accordance with the terms of this resolution under the provisions of Section 17.38.110 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the project be developed consistent with the comments and conditions of the Site Plan Review No. 2016-094.
2. That the project be developed consistent with the site plan and elevations contained in this staff report.
3. That the proposed independent/assisted living facility be operated in accordance with the Operational Statement provided in Exhibit "E".
4. That the site be developed accordance with the Village at Willow Creek Specific Plan.
5. That the applicant enter into a covenant designating these units as senior residential units, and that said covenant is to be recorded with the title of the property prior to the issuance of any building permits.
6. That landscape and irrigation plans, prepared in accordance with the City of Visalia Model Water Efficient Landscape Ordinance (MWELo), shall be included in the construction document plans submitted for either grading or building construction permits. Prior to the project receiving final approved permits, a signed Certificate of Compliance stating that the project meets MWELo standards shall be submitted to the City.
7. That the landscaping adjacent to the Memory Care unit be installed along the Flagstaff and Leila street frontages if said building permit is not issued prior to any occupancy of the main building.
8. That all applicable federal, state, regional, and city policies and ordinances be met.
9. That the applicant submit to the City of Visalia a signed receipt and acceptance of conditions from the applicant and property owner, stating that they understand and agree to all the conditions of Conditional Use Permit No. 2016-28, prior to the issuance of any building permits for this project.

Exhibit - B

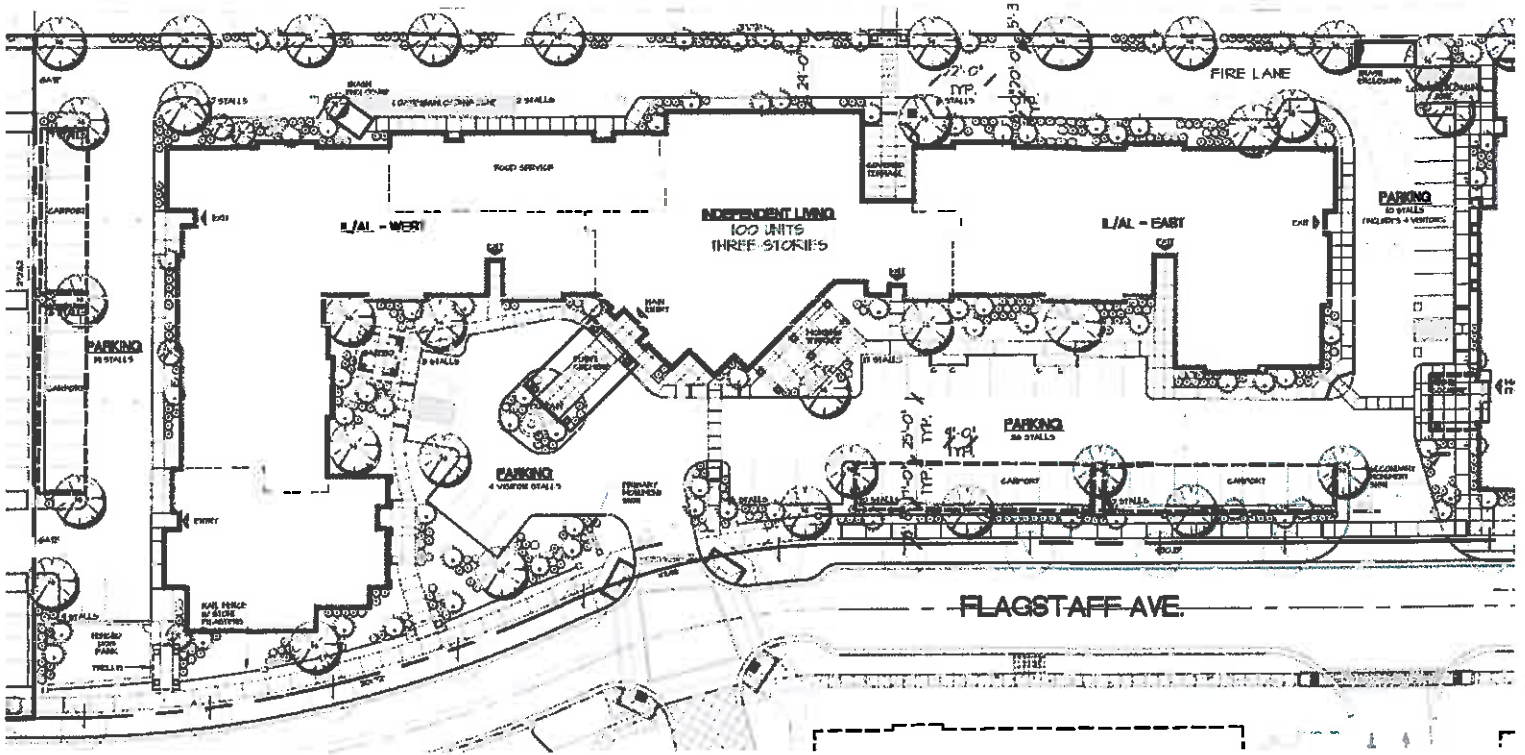
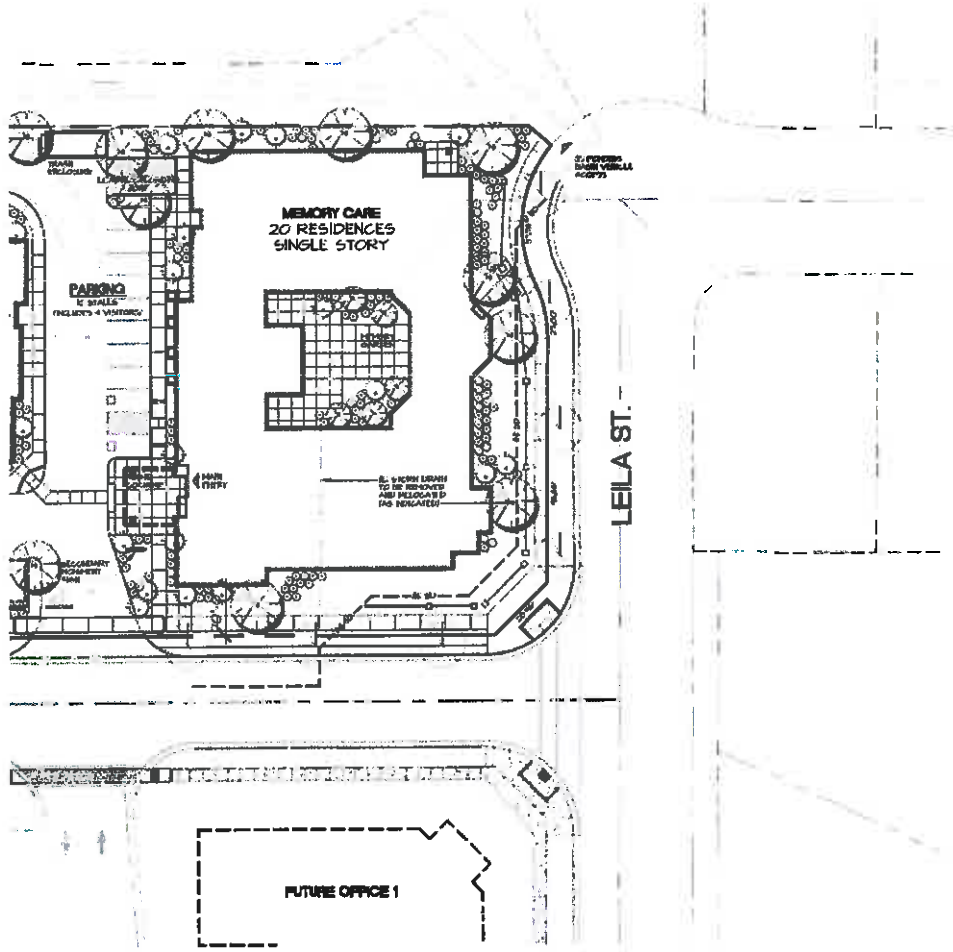


Exhibit - B

Exhibit - C



NORTH ELEVATION



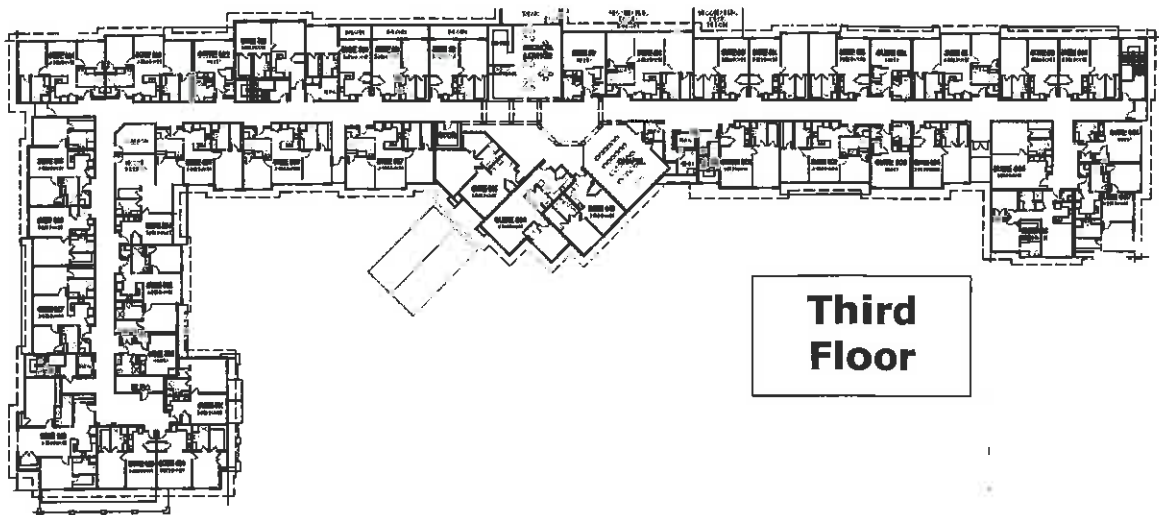
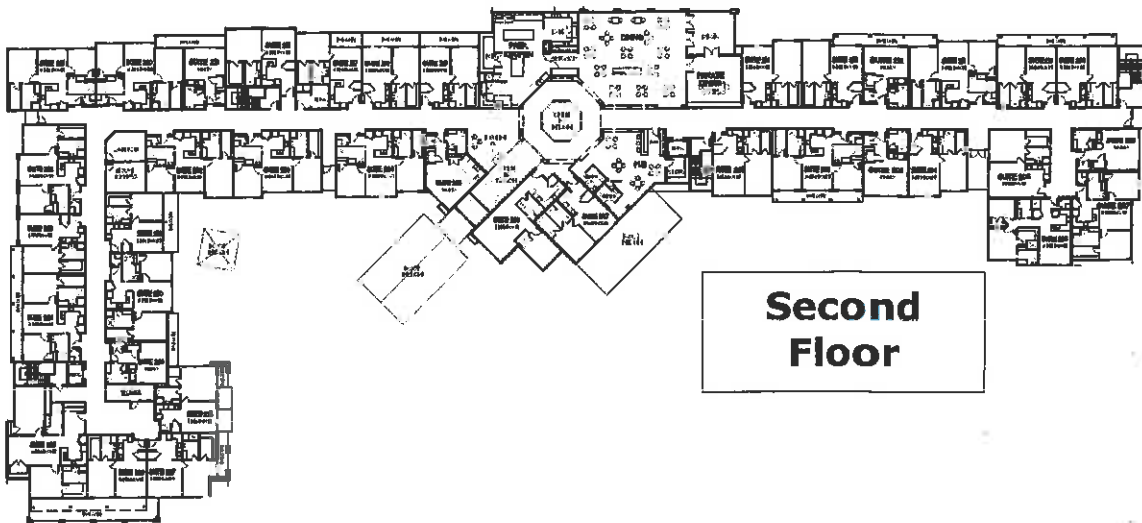
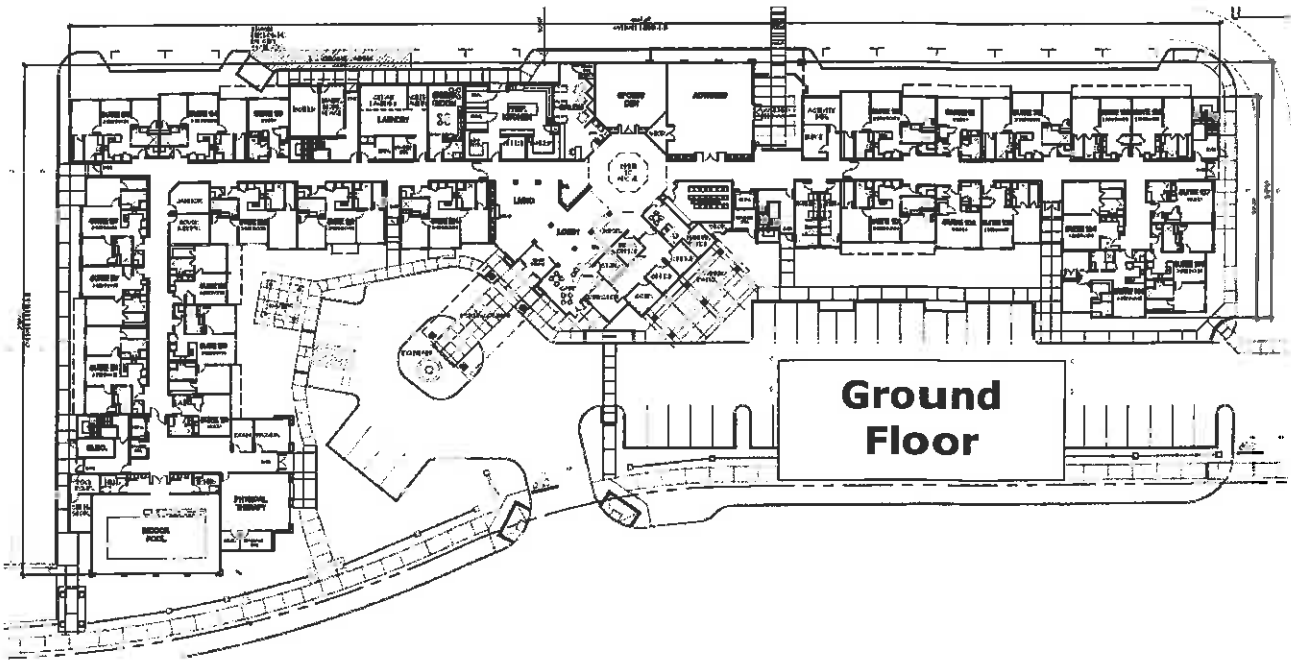
EAST ELEVATION (LEILA ST.)



SOUTH ELEVATION (FLAGSTAFF AVENUE)



Exhibit - D



Quail Park at Shannon Ranch



Operational Statement

Summary

Quail Park at Shannon Ranch ("QPSR") will be located on an approximately 3.65-acre parcel fronting on Flagstaff Avenue one parcel east of Demaree Street in NW Visalia. It will run along the south boundary of the existing ponding basin and public trails. The QPSR project is being proposed by the same organization that developed and own The Lodge at Quail Park of Visalia, Quail Park EAL, and Quail Park of Visalia Memory Care. The intent is to develop, own, and operate the Shannon Ranch community as an updated version of the Quail Park Lodge and Memory Care properties that are already operated by Living Care Lifestyles.

The project is proposed as two separate structures: a memory care building for approximately 20 resident apartments and common areas and a larger, three-story structure that will accommodate about 100 age-restricted apartments with a variety of communal dining and activities areas. The smaller-scale memory care community will be located closest to the single-family residential neighborhood to the east and is proposed as one story and about 14,000 gross square feet. The larger retirement community, "Quail Park at Shannon Ranch," will be on the west portion of the parcel and is proposed as 111,000 gross square feet in 3 stories.

Exhibit - E

Quail Park at Shannon Ranch – Independent and Assisted Living

At Quail Park at Shannon Ranch (“QPSR”), there will be a mix of studio, one-bedroom, and two-bedroom apartments organized around a central services and activities core. Other activity areas will be scattered throughout the community. QPSR will feature several formal and informal dining options, activities spaces and exercise areas, as well as design elements one would find in a new single-family residence such as a private dining room, a library, a theatre, and a formal living room. Assisted living services for personal help with dressing, bathing, medication reminders and mobility will be provided on an as-needed basis throughout this larger community.

The campus will have outdoor gardens, walk ways, and activities areas. A Wellness Center will be located within the main building and feature senior-friendly exercise equipment, a lap and therapy pool, and a PT Studio for guided fitness and wellness activities.

Quail Park Memory Care Residences at Shannon Ranch

At Quail Park Memory Care Residences at Shannon Ranch, our residents will reside in a secure residential-style environment staffed with caregivers and nursing staff who are uniquely trained to care for and assist with cognitive and other memory-related ailments. Every apartment will have private sleeping, living, and toilet and sink areas. Some apartments will have an “en suite” shower room shared with the adjacent living unit. The balance of the units will have private showers. All shower activities will be assisted by staff so privacy and security will be ensured.

Like QPSR, the memory care property will have communal dining and activity areas as well as more intimate spaces for quieter activities. The interior circulation around this community will be highlighted with nodes of different familiar themes to assist the residents with way-finding. Each of these unique areas will be emphasized not only with furniture and decoration but with wall graphics representing unique destinations around town like the Visalia Fox Theatre, or destinations further afield such as Sequoia National Park. The residents at the QP Memory Care Residences will receive 3 prepared meals per day, served in the common dining venues as part of their rental package. None of the resident units will have kitchens or appliances (refrigerator, sink, range and oven or microwave). Nutritionally appropriate snacks and hydration will be available in common areas throughout the community. Within the community will be an outdoor courtyard with a variety of activity nodes and interesting elements to engage those residents who want to spend time outdoors.

The community will provide the amenities of a home environment including dining room, service kitchen, residential laundry, activity areas, and other accessory spaces. Administrative functions and central laundry will all be located within this community. There is no basement planned at this time.

The accessory spaces include areas such as common dining rooms; a beauty salon; common-use rooms for gathering, activities and entertainment; business administration areas; and support rooms such as a service kitchen, laundries, mechanical, electrical, housekeeping and janitorial.

Exhibit - E

Resident Admissions

Incoming residents will be assessed by a Licensed Nurse specializing in senior assessments to determine the specific level of care for that individual. In general, all Residents will qualify for Memory Care/Dementia services. Memory Care Residents are those requiring assistance with their Activities of Daily Living and also suffer from memory impairment or some form of dementia. These individuals may be, but are not exclusively, elderly or frail elderly. All of the apartments will also be Assisted Living Licensed. This community will have approximately 20 Memory Care Bedrooms with a capacity for 20 beds.

Services Offered

Memory Care/Dementia

These residents will be provided daily meals, group activities (resident council, crafts, games, exercise programs, field trips, on-site entertainment, and transportation services), Activities of Daily Living, plus services needed for the cognitively impaired, including living in a secured environment.

Transportation

Transportation will be available daily and scheduled according to the demands of the resident population. Two days per week will be for scheduled medical appointments and the remaining days will be for outings, shopping, trips and/or other resident directed activities. A 12-passenger bus with a wheel chair lift gate will provide the majority of the transportation. A mini-van will also be available for smaller groups or individual transportation. The driver will be an appropriately trained and licensed to meet all the requirements of the State of California.

Staff

Community staffing will include department managers, leads, licensed professionals and front line staff. Staffing patterns are designed to allow for the safe, efficient and effective provision of services to the residents residing in the community. Staffing patterns by each department is described below:

- a. **Administration** - This includes the Full Time Executive Director who has overall responsibility for the operation of the community. The department managers report to this individual. Supporting the Executive Director is a Full Time Business Manager (M-F) who does the basic accounting for the Community. In addition, there will be concierge staffing at the reception area seven days per week. In addition to signing resident/guests in and out, they will monitor the Community's emergency call system;
- b. **Marketing** - This includes one Full Time Community Relations Director whose schedule will vary. This individual will be responsible for community outreach and marketing the Community to prospective residents;
- c. **Dietary** - This department will be managed by the Signature Dining Services Director. This is a full time position with responsibility of the overall supervision and direction of the cooking and serving staff. The kitchen staff consists of Lead Cooks, Cooks and utility staff in the kitchen area and the servers in the Dining Rooms;
- d. **Housekeeping** - A Full Time Lead Housekeeper directs this department. In addition to as-needed clean-ups, Housekeeping is scheduled to weekly clean resident rooms, the common areas and annually deep clean the resident rooms;
- e. **Life Enhancement** - This department is typically staffed with 1.5 FTE's and will plan and execute activities for both the main building and memory care. In addition, the

department is responsible for the Community's scheduled transportation with a Full Time qualified driver;

- f. **Assisted Living** - This department is directed by a Full Time Registered Nurse that is the Director of Wellness for both the Assisted Living Department and the Memory Care Department. In addition, the Assisted Living department will have a Full Time Licensed Practical Nurse. Licensed nursing coverage at the Community between the Assisted Living department and Memory Care department will be seven days per week. The registered nurse will be on-site at least five days per week. Certified medication assistants will be utilized to assist residents with their medications and assist Caregivers as time permits. Caregivers will be CNA's whenever possible and will provide the care for residents who need support with the Activities of Daily Living such as cueing, bathing, dressing, escorting, and other services to residents as outlined in their resident service plans. The staffing ratio will be 1:12 which includes the medication assistants on the day shift, 1:18 on the evening shift and 1:24 on the night shift. However, these ratios will change as the residents' needs change based on their most current assessment;
- g. **Memory Care** - This department will report to the Full Time Registered Nurse in the Assisted Living department, but will be managed day-to-day by a Full Time Licensed practical Nurse and Lead Caregiver. Certified Medication assistants will be utilized to assist residents in taking their medications. The licensed practical nurse will administer medications to those residents who require it;
- h. **Engineering** - This department is directed by a Full Time Director of Engineering and provides all preventative and ongoing maintenance for the Community. In addition, there is a second Full Time maintenance assistant who will provide weekday and weekend coverage for maintenance related issues.

Communication System

The Community will have land line telephone system with an adequate number of phone lines available to serve the operating needs of the community and to insure ease of access by family members or others inquiring into the property. The long line phone system will feature a 'holster phone' capability that allows for anyone carrying this phone inside the buildings to answer the phone wirelessly (useful for late evenings when the reception desk is not occupied). In addition, there will be an emergency call system that will be located in the common areas and the resident rooms for the purpose of responding to residents or others in need. The emergency call system will include a 'check in' feature that the resident must turn off by a prescribed time or staff will inquire as to the well-being of the resident. Staff will have pagers and walkie-talkies in order to communicate with one another, communicate with other departments and respond to residents when the emergency call system is activated. At least one land line phone will be available in the community for residents who don't have a phone in their unit.

Security Alert Systems

Campus Access – The property will have several points of access from Flagstaff Avenue (and none from Demaree Street). It is also planned to have a connecting interior driveway shared with the urgent care clinic that is also planned.

Emergency Notifications - A state-of-the-art Emergency Call system will be utilized to respond to residents of both buildings when in need of assistance. The system will be monitored 24-hours per day by trained and qualified staff. The E-Call system will have both hard-wire and

Exhibit - E

wireless capability so that residents do not need to be at an E-Call box to activate the system (they or staff can do so via wireless pendant or similar device). The E-Call system will have a 'talk back' feature that allows for two way communication between the 24 hour monitoring station and the resident, caregiver or family member activating the system.

Video/Closed Circuit Surveillance - Video surveillance of the properties will include remote outdoor areas, access points to and from the building and in some areas of the building not frequented regularly. Resident rooms or other areas of privacy will not be video monitored.

Security - There will be overnight staff on duty in both buildings and will be trained in all manner of emergency response procedures including intruder response, fire, earthquake, power outages, and other emergencies. If determined necessary, overnight security guards will be employed.

Emergency Lighting and Power - Limited Emergency Lighting will be provided by the Facility's generator at Corridors and Common Areas. In the case of a long-term power outage evening activities in common areas (areas lit by the generator) and staffing will be increased.

With constantly evolving technology in personal communication and low-voltage-based emergency call structures, Living Care and Quail Park at Shannon Ranch will ensure that the most up-to-date systems are in place in both buildings at the time of opening.

Exhibit - F

Quail Park at Shannon Ranch

Parking Study Week of September 12-18, 2016

	Subject Site QP at Shannon Ranch	Quail Park Lynnwood, WA	Quail Park Klamath Falls, OR	Quail Park Lodge (Visalia)
Project / Opened	2018	2013	2011	2001
Property Details				
Independent & Assisted Living Units	100	85	87	114
Memory Care Units	20	45	0	0
Employee Count (Max Shift in BOLD)				
Day Shift (6AM to 2PM)	55	61	28	52
Evening (1:00 PM to 7:00 PM)	40	44	18	38
Overnight (8:00 PM to 6 AM)	5	6	2	5
Employees (3 shifts)				
Non Driving Employees (approx)	15%	15%	35%	15%
Location Type	Urban	Suburban	Small Town	Urban
Occupancy as of 9/18/16	n/a	98.40%	91.5%	99.1%
Parking Stalls by Usage				
Employee Parking Max per Shift	47	52	18	44
Resident Parking (IL & AL Only, 1:4 Ratio)	25	21	22	29
Guest Parking (1:25 Ratio)	5	5	3	5
Total Parking Demand	77	78	43	77
Total Parking Proposed/Provided	84	84	50	86

NOTE 1: Excludes on-street parking spaces

Parking Space Vacancies				
Weekday AM		46.9%	40.0%	23.8%
Weekday Midday		39.8%	54.0%	78.8%
Weekday Evening		38.8%	50.0%	45.0%
Weekend - Sat AM		46.9%	60.0%	36.3%
Weekend - Sat Midday		51.0%	56.0%	37.5%
Weekend - Sat Evening		52.0%	62.0%	35.0%
Weekend - Sun AM		45.9%	n/a	38.8%
Weekend - Sun Midday		34.7%	n/a	42.5%
Weekend - Sun Evening		51.0%	n/a	42.5%

Monument Signage Example

For: Quail Park at Shannon Ranch



Exhibit - X

NOTICE OF EXEMPTION

City of Visalia
315 E. Acequia Ave.
Visalia, CA 93291

To: County Clerk
County of Tulare
County Civic Center
Visalia, CA 93291-4593

Conditional Use Permit No. 2015-09

PROJECT TITLE

2106 S. Garden Street, on the east side of Garden Street 300 feet south of Walnut Avenue.
(APN: 123-063-032)

PROJECT LOCATION

Visalia

Tulare

PROJECT LOCATION - CITY

COUNTY

A request for an amendment to Conditional Use Permit No. 2005-27, to construct an 11-unit addition to a senior citizen residential development on one acre in the R-1-6 (Single-Family Residential 6,000 square feet minimum site area) Zone.

DESCRIPTION - Nature, Purpose, & Beneficiaries of Project

City of Visalia

NAME OF PUBLIC AGENCY APPROVING PROJECT

Silveira Rental Enterprises Inc., 390 Via Bandolero, Arroyo Grande, CA 93420

NAME AND ADDRESS OF APPLICANT CARRYING OUT PROJECT

N/A

NAME AND ADDRESS OF AGENT CARRYING OUT PROJECT

EXEMPT STATUS: (Check one)

- Ministerial - Section 15073
- Emergency Project - Section 15071
- Categorical Exemption - State type and Section number: **Section 15332**
- Statutory Exemptions- State code number:

The project is characterized as an in-fill development project consistent with the intent and conditions of the Class 32 exemption.

REASON FOR PROJECT EXEMPTION

Brandon Smith, Senior Planner

(559) 713-4636

CONTACT PERSON

AREA CODE/PHONE

April 17, 2015

DATE

Paul Scheibel, AICP
ENVIRONMENTAL COORDINATOR



MEETING DATE June 29, 2016
SITE PLAN NO. 16-094
PARCEL MAP NO.
SUBDIVISION
LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

- RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.
- During site plan design/policy concerns were identified, schedule a meeting with
- Planning Engineering prior to resubmittal plans for Site Plan Review.
- Solid Waste Parks and Recreation Fire Dept.

REVISE AND PROCEED (see below)

- A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.
- Submit plans for a building permit between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday.
- Your plans must be reviewed by:
- | | |
|---|--|
| <input type="checkbox"/> CITY COUNCIL | <input type="checkbox"/> REDEVELOPMENT |
| <input checked="" type="checkbox"/> PLANNING COMMISSION | <input type="checkbox"/> PARK/RECREATION |
| <input checked="" type="checkbox"/> CUP | |
| <input type="checkbox"/> HISTORIC PRESERVATION | <input type="checkbox"/> Other |

ADDITIONAL COMMENTS :

If you have any questions or comments, please call Jason Huckleberry at (559) 713-4259.

Site Plan Review Committee



SITE PLAN REVIEW COMMENTS

Paul Bernal, Planning Division (559) 713-4025

Date: June 29, 2016

SITE PLAN NO: 2016-094
PROJECT TITLE: QUAIL PARK AT SHANNON RANCH
DESCRIPTION: INDEPENDENT LIVING COMMUNITY WITH 100 DWELLING UNITS AND
20 RESIDENT MEMORY CARE BUILDING (RM2) (X) (K)
APPLICANT: MUNSCH LYLE
PROP. OWNER: C R S FARMING LLC
LOCATION TITLE: 3600 W FLAGSTAFF AVE VISA
APN TITLE: 078-210-021
GENERAL PLAN: Residential Medium Density
EXISTING ZONING: R-M-2 – Multi-Family Residential 3,000 sq. ft. site area per unit

Planning Division Recommendation:

- Revise and Proceed – Off Agenda
 Resubmit

Project Requirements

- Conditional Use Permit
- Parking Analysis
- Building Permits
- Additional Information as Needed

PROJECT SPECIFIC INFORMATION: 06/29/2016

1. The proposed development shall comply with the development standards established per the Village at Willow Creek Specific Plan.
2. A CUP is required for the proposed 120 unit senior independent living and memory care facility.
3. Provide building elevations with the CUP application submittal. Identify the building height for the three-story structure. The building height in the R-M-2 zone is 35-ft.
4. Staff is requesting the applicant provide a parking analysis that demonstrates the parking needs for this facility based on the number of parking spaces provided on-site. The parking analysis shall identify if the facility placing limitation on the number of residents permitted to have a vehicle on-site. Additionally, the parking analysis shall identify the number of employees on-site during peak periods / shift change.
5. Staff recommends a pedestrian pathway be provided from the facility to the City's existing trail north of the facility.
6. Staff recommends the memory care buildings east elevation be designed with articulation elements and treatments given the buildings location. Staff discourages blank, featureless walls when adjacent to a residential neighborhoods.

- Staff initial finding is that the proposed site plan IS CONSISTENT with the City General Plan and the Village at Willow Creek Specific Plan. Because this project requires discretionary approval by the City Council and/or Planning Commission the final determination of consistency will be made by the Planning Commission and/or City Council.

DEVELOPMENT STANDARDS - **R-M-2 [17.16]**

Maximum Building Height: 35 Feet

<u>Minimum Setbacks:</u>	Building	Landscaping
➤ Front	15 Feet	15 Feet
➤ Side (per story)	5 Feet	5 Feet*
➤ Street side on corner lot	10 Feet	10 Feet
➤ Rear	25 Feet	25 Feet

Minimum Site Area: 3,000 square feet per unit

- Common open space
- Screen 2nd story windows when adjacent to an R-1 Site, Single-Family Residential
- Conditional Use Permit for 60 or more units
- Alley exception for rear setback to parking structure, open space still needed
- Minimum site area 2 acres, unless CUP, zoning action, or Master Plan approved by SPR
- Screen all parking areas adjacent to public streets. Parking subject to Chapter 17.34.

See Zoning Ordinance Section 17.16 for complete standards and requirements.

Parking:

Residential Parking Requirements

1. Section 17.34.020.A.2 requires that multifamily developments provide 1.5 parking spaces per dwelling unit, with an additional .25 spaces required within developments which include more than fifty percent of the units as three or four bedroom units. The total unit count of the multifamily residential development will be determined via a subsequent permit. However, the parking requirement shall be no less than 1.5 parking spaces per unit.
2. Group care facilities: one parking space for each three beds.

Fencing and Screening:

1. Provide screening for roof mounted equipment (Zoning Ordinance Section 17.30.130.F).
2. Provide second and third story screening for all windows that may intrude into adjacent residential properties. Details and cross-sections will be required to be reviewed and approved prior to issuance of building permits (Zoning Ordinance Section 17.30.130.F).
3. Provide screened trash enclosure with solid screening gates (Zoning Ordinance Section 17.30.130.F).
4. Provide solid screening of all outdoor storage areas. Outdoor storage to be screened from public view with solid material (Zoning Ordinance Section 17.30.130.F).
5. Cross Sections need to be provided for site Plan Review if there is greater than an 18-inch difference between the elevation of the subject site and the adjacent properties, and the sections would be required for the public hearing process also.
6. If there is an anticipated grade difference of more than 12-inches between this site and the adjacent sites, a cross section of the difference and the walls must be provided as a part of the Subdivision and/or CUP application package.
7. NOTE: The maximum height of block walls and fences is 7-feet in the appropriate areas; this height is measured on the tallest side of the fence. If the height difference is such that the fence on the inside of the project site is not of sufficient height, the fence height should be discussed with Planning Staff prior to the filing of applications to determine if an Exception to fence/wall height should also be submitted.

Landscaping:

1. The City has adopted the State Water Efficient Landscape Ordinance. The ordinance applies to projects installing 2,500 square feet or more of landscaping. It requires that landscaping and irrigation plans be certified by a qualified entity (i.e., Landscape Architect) as meeting the State water conservation requirements. The City's implementation of this new State law will be accomplished by self-certification of the final landscape and irrigation plans by a California licensed landscape architect or other qualified entity with sections signed by appropriately licensed or certified persons as required by the ordinance. **NOTE: Prior to a final for the project, a signed Certificate of Compliance for the MWELO standards is required indicating that the landscaping has been installed to MWELO standards.**
2. Provide street trees at an average of 20-feet on center along street frontages. All trees to be 15-gallon minimum size (Zoning Ordinance Section 17.30.130.C).
3. In the P(R-M) multi-family residential zone, all multiple family developments shall have landscaping including plants, and ground cover to be consistent with surrounding landscaping in the vicinity. Landscape plans to be approved by city staff prior to installation and occupancy of use and such landscaping to be permanently maintained. (Zoning Ordinance Section 17.16.180)
4. All landscape areas to be protected with 6-inch concrete curbs (Zoning Ordinance Section 17.30.130.F).
5. All parking lots to be designed to provide a tree canopy to provide shade in the hot seasons and sunlight in the winter months.
6. Provide a detailed landscape and irrigation plan as a part of the building permit package (Zoning Ordinance Section 17.34.040).
7. An 80 sq. ft. minimum landscape well is required every 10 contiguous parking stalls (Zoning Ordinance Section 17.30.130.C).
8. Provide a detailed landscape and irrigation plan for review prior to issuance of building permits. Please review Zoning Ordinance section 17.30.130-C for current landscaping and irrigation requirements.
9. Maintenance of landscaped areas. - A landscaped area provided in compliance with the regulations prescribed in this title or as a condition of a use permit or variance shall be planted with materials suitable for screening or ornamenting the site, whichever is appropriate, and plant materials shall be maintained and replaced as needed, to screen or ornament the site. (Prior code § 7484)

Lighting:

1. All lighting is to be designed and installed so as to prevent any significant direct or indirect light or glare from falling upon any adjacent residential property. This will need to be demonstrated in the building plans and prior to final on the site.
2. Parking lot and drive aisle lighting adjacent to residential units or designated property should consider the use of 15-foot high light poles, with the light element to be completely recessed into the can. A reduction in the height of the light pole will assist in the reduction/elimination of direct and indirect light and glare which may adversely impact adjacent residential areas.
3. Building and security lights need to be shielded so that the light element is not visible from the adjacent residential properties, if any new lights are added or existing lights relocated.
4. NOTE: Failure to meet these lighting standards in the field will result in no occupancy for the building until the standards are met.
5. In no case shall more than 0.5 lumens be exceeded at any property line, and in cases where the adjacent residential unit is very close to the property line, 0.5 lumens may not be acceptable.

3.5 FENCING AND WALLS

Walls and fences are necessary elements for the Plan Area, providing safety, security, privacy, property definition, and noise attenuation. Walls and fences can also be included in gateway features and can provide separation between residential areas and more intensive uses. Poorly designed walls and fences can become a noticeable feature that detracts from the quality and character of a neighborhood. Therefore, all wall and fence design within the Plan Area shall be tightly regulated. A creative and controlled approach to walls and fences shall be established to maintain an overall design consistency with the rest of Shannon Ranch. Fencing throughout the Plan Area shall be coordinated under a single fencing system that identifies the type, appearance, and placement. Figure 3.5-1 illustrates the two types of fencing to be used for the Plan Area. Figure 3.5-2 shows the location of each type of fencing within the Plan Area: the split rail fence and the 7' high split faced concrete masonry wall with cultural stone pilasters.

Wall and Fence Policies and Standards

- A. A 7-foot high decorative masonry wall shall be provided along Leila Street behind the proposed Lowe's building. A 6-foot high decorative masonry wall shall be provided at the rear of office buildings 1 and 2.
- B. All decorative masonry walls shall be installed and coordinated with appropriate landscaping consistent with the design guidelines/standards contained in the Chapter.
- C. The loading and unloading activities behind Buildings 1 and 2 shall be conducted in an enclosed loading dock with a positive seal between the loading dock and trucks. For building 1, the loading dock will include a wall of sufficient height (not to exceed 7'), and appearance as the remainder of the building, to minimize sound from trucks.

3.8 LANDSCAPE PALETTE

A landscape palette has been established for the Plan Area to ensure the consistent and proper use of plant materials, trees and shrubs that have been designed to landscape the streetscape, entryways, and other different design elements programmed throughout the project. These materials are presented in a matrix that outlines the landscape design intent, by defining their most appropriate applications throughout the site (see Landscape Palette Table 3.8-1). Final landscaping details will be provided with Improvement Plans. All pedestrian paths, trellis, and landscaping will be completed with Phase One of the project. Building pads not developed in Phase One will be planted with seed grass.

Landscaping Policies and Standards

- A. The landscaping specifications in Table 3.8-1 shall apply to all landscaped areas within the Plan Area.
- B. For the multifamily portion of the Plan Area, street trees are to be planted between streets and sidewalks at 30 feet on center.)

Theme Landscaping Specifications

	Dennison St.	Flaglin Ave.	Club St.	Flagstaff Ave.	Commercial Entries	Commercial Parking	Walking Paths	Medium Density Residential Entries	Medium Density Residential
A. Street Trees - 15 Gallon @ 20' O.C., 30% of Deciduous to be 24" Box									
ACER rubrum 'OCTOBER GLORY', Red Maple		X	X	X			X		
CERCIS canadensis 'OKLAHOMA' Eastern Redbud	X	X	X		X		X	X	X
LAGERSTROEMIA indica 'Cheerokee' - Crape Myrtle					X		X	X	X
LAURUS nobilis 'SARATOGA', laurel		X							X
MAGNOLIA grandiflora 'LITTLE GEM',				X			X		
PISTACIA chinensis - Chinese Pistache					X	X		X	
PLANTANUS x acerifolia 'COLUMBA', Hybrid Plane Tree	X						X		X
QUERCUS rubra, Red Oak		X							X
QUERCUS virginiana, Southern Live Oak			X	X	X				
ZELKOVA serrata 'VILLAGE GREEN' Zelkova						X	X		
B. Intersection Trees - 15 Gallon, 30% of Deciduous to be 24" Box									
ACER rubrum 'OCTOBER GLORY', Red Maple				X					
CERCIS canadensis 'OKLAHOMA' Eastern Redbud	X	X	X		X			X	
LAGERSTROEMIA indica 'Cheerokee' - Crape Myrtle	X	X							
PISTACIA chinensis - Chinese Pistache					X		X	X	
ZELKOVA serrata 'VILLAGE GREEN' Zelkova									
C. Shrubs - 5 Gallon									
GISTUS latifolius, Crimson-Peet Rockrose	X								
MAHONIA aquifolium, Mahonia			X					X	X
NANDINA domestica			X	X				X	
PITTOSPORUM tobira 'CREAM DE MINT'		X	X						X
RHAPSOLEPSIS indica 'Jack Evans'		X	X	X					X
SPIRAEA japonica tosaensis 'SNOWMOUND'	X	X						X	X
VIBURNUM tinus	X	X	X	X				X	X
D. Shrubs/Groundcover - 1 Gallon									
Flower Carpet Rose - Red				X	X	X	X		X
BERBERIS thunbergii 'CRIMSON PIGMY', Barberry	X				X				
DIETES bicolor, African Iris		X			X	X	X		X
NANDINA domestica 'HARBOUR DWARF'		X	X	X	X	X			
RHAPSOLEPSIS indica 'Enchantress'	X	X	X	X		X	X		X
Turf	X	X	X	X		X	X		
E. Vine at Wall - 1 Gallon @ 20' O.C.									
PARTHENOCISSUS tricuspidata - Boston Ivy	X	X	X	X			X	X	X

Notes: 1. Quantities in minimum of 3 five kinds. 2. X = Available for use

3.7 STREETScape AND LIGHTING

An attractive streetscape can enhance the livability and desirability of the Plan Area. Features such as street trees, lighting, landscaping, sidewalks, street widths, housing setbacks, and fencing are just a few factors that contribute to an attractive streetscape. An emphasis on streetscape design is necessary to create areas that encourage pedestrian circulation and interaction, while reducing auto dependency.

An overall lighting plan can contribute to the community identity of the Plan Area. Ornamental lighting will be applied to prominent and unique public places, and the Plan Area's internal streets and pedestrian corridors. Standard "cobra-head" streetlights may be applied along the street corridors. Street lighting shall be appropriately spaced to provide sufficient lighting for vehicles, pedestrians, and cyclists. It is also important that lighting does not negatively interfere with Plan Area residents or surrounding areas.

Lighting Policies and Standards

- A. Lighting shall be provided to ensure a safe environment, but should not cause areas of intense light or glare.
- B. Lighting should be sensitive to adjacent land uses and viewsheds. Architectural features or lighting fixtures that provide down-lighting and lighting that is shielded from adjacent uses shall be implemented.
- C. Street lighting standards shall be spaced dependent upon City requirements.
- D. Ornamental lighting styles shall reflect the overall Shannon Ranch image and shall be installed throughout the Plan Area with the exception of the following street corridors:
 - Demaree Street
 - Riggin Avenue

Standard "Cobra head" street lighting shall be provided along the street corridors listed above.

- E. Plan Area theme lighting specifications are as follows:
 - Perimeter Lights along Demaree and Riggin: SCE Cobra head drop glass on 30' high pole. Use 70w high pressure sodium @ 300' o.c. and 150w high pressure sodium at intersections.
 - Street lights along Leila and Flagstaff: Shannon Ranch, Sun Valley CS-3774 REV.1 (20' pole).
 - Interior parking area lights: Visionaire Lighting, American Type V, 400w MH Pulse Start, 25' height, spaced 100' x 100' on center (Square or Polera Fixture).
 - Pedestrian Walkway Lighting: Shannon Ranch, Sun Valley CS-3774 (12' pole) or CS-3781 (12' pole double-mounted).

3.10.4 ARCHITECTURE

The overall architectural theme of the Plan Area shall be consistent with the architectural style found in Figures 3.1-1, 3.1-2, 3.1-3, 3.1-4, 3.3-1 and 3.4-1.


- A. Heights of structures shall relate to the adjacent open spaces to allow maximum sunlight penetration and ventilation.
- B. The height and scale shall be compatible with that of surrounding development.
- C. Large structures (50,000 square feet and larger and along Leila Street) shall have varied wall and roof planes on the building frontage. The side and rear elevations shall have some combination of architectural treatment(s) including but not limited to, false windows, accent bands, stone/CMU veneer columns or undulating facades. The height of such commercial areas should be varied so that it appears to be divided into distinct massing elements. Color arrangement of facades and materials may also be used to decrease the

bulkiness of a building. Blank walls are not permitted, and all sides of a community commercial building shall be architecturally treated.

- D. The use of standardized, corporate architectural styles associated with chain-type restaurants should be modified to fit the intended theme.
- E. Large areas of intense lighter, white colors should be avoided. While subdued colors usually work best as a dominant color, a bright trim color may be appropriate. The color palette chosen for a Community Commercial center should be compatible with the overall theme. Wherever possible, the number of colors should be minimized on the structures exterior. Small commercial structures should use no more than 3 colors. Primary colors should only be used as accent elements such as door, window frames and architectural details.
- F. The roofline at the top of the structure on building frontages should not run in a continuous plane for more than 50 feet without an offset.
- G. Mechanical equipment on commercial buildings may be roof mounted but shall be screened from public view through using the structures basic materials. Mechanical equipment shall be located below the highest vertical element of the building.
- H. Awnings may be used, and must have eight vertical feet of clearance to the sidewalk. Signs on awnings should be painted on, and be limited to the awning valence or end panels. Plexiglas, and glossy vinyl awnings are prohibited. Canvas, fabric and some standing seam metal roof awnings consistent with the architectural theme may be appropriate. Internally lit awnings are not permitted.
- I. Lighting in Community Commercial centers shall be used to provide security and safety for all areas such as parking, loading, shipping, receiving, pathways and working areas. All building entrances shall be well lit and have architectural lighting treatment.

NOTE: Staff recommendations contained in this document are not to be considered support for a particular action or project unless otherwise stated in the comments. The comments found on this document pertain to the site plan submitted for review on the above referenced date. Any changes made to the plan submitted must be submitted for additional review.

Signature

A handwritten signature in black ink, appearing to be "Paul Brown", written over a horizontal line.

QUALITY ASSURANCE DIVISION
SITE PLAN REVIEW COMMENTS

ITEM NO: 5 DATE: June 29, 2016
SITE PLAN NO: SPR16094
PROJECT TITLE: QUAIL PARK AT SHANNON RANCH
DESCRIPTION: INDEPENDENT LIVING COMMUNITY WITH 100
 DWELLING UNITS AND 20 RESIDENT MEMORY
 CARE BUILDING (RM2) (X) (K)
APPLICANT: MUNSCH LYLE
PROP OWNER: C R S FARMING LLC
LOCATION: 3600 W FLAGSTAFF AVE
APN(S): 078-210-021


YOU ARE REQUIRED TO COMPLY WITH THE CITY OF VISALIA WASTEWATER ORDINANCE 13.08 RELATIVE TO CONNECTION TO THE SEWER, PAYMENT OF CONNECTION FEES AND MONTHLY SEWER USER CHARGES. THE ORDINANCE ALSO RESTRICTS THE DISCHARGE OF CERTAIN NON-DOMESTIC WASTES INTO THE SANITARY SEWER SYSTEM.

YOUR PROJECT IS ALSO SUBJECT TO THE FOLLOWING REQUIREMENTS:

- WASTEWATER DISCHARGE PERMIT APPLICATION
- SAND AND GREASE INTERCEPTOR – 3 COMPARTMENT _____
- GREASE INTERCEPTOR min. 1000 GAL
- GARBAGE GRINDER – ¾ HP. MAXIMUM _____
- SUBMISSION OF A DRY PROCESS DECLARATION _____
- NO SINGLE PASS COOLING WATER IS PERMITTED _____
- OTHER _____
- SITE PLAN REVIEWED – NO COMMENTS

CALL THE QUALITY ASSURANCE DIVISION AT (559) 713-4529 IF YOU HAVE ANY QUESTIONS.

CITY OF VISALIA
PUBLIC WORKS DEPARTMENT
QUALITY ASSURANCE DIVISION
7579 AVENUE 288
VISALIA, CA 93277



AUTHORIZED SIGNATURE

6-27-16

DATE

SITE PLAN REVIEW COMMENTS

CITY OF VISALIA TRAFFIC SAFETY DIVISION

June 29, 2016

ITEM NO: 5
SITE PLAN NO: SPR16094
PROJECT TITLE: QUAIL PARK AT SHANNON RANCH
DESCRIPTION: INDEPENDENT LIVING COMMUNITY WITH 100 DWELLING UNITS AND 20 RESIDENT MEMORY CARE BUILDING (RM2) (X) (K)
APPLICANT: MUNSCH LYLE
PROP. OWNER: C R S FARMING LLC
LOCATION: 3600 W FLAGSTAFF AVE
APN(S): 078-210-021

THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY

- No Comments
- See Previous Site Plan Comments
- Install Street Light(s) per City Standards.
- Install Street Name Blades at Locations.
- Install Stop Signs at *driveway exit* Locations.
- Construct parking per City Standards PK-1 through PK-4.
- Construct drive approach per City Standards.
- Traffic Impact Analysis required.

Additional Comments:



Leslie Blair

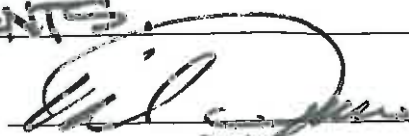
City of Visalia
Building: Site Plan
Review Comments

ITEM NO: **5** DA: **June 29, 2016**
 SITE PLAN NO: **SPR16094**
 PROJECT TITLE: **QUAIL PARK AT SHANNON RANCH**
 DESCRIPTION: **INDEPENDENT LIVING COMMUNITY WITH 100 DWELLING UNITS AND 20 RESIDENT MEMORY CARE BUILDING (RM2) (X) (K)**
 APPLICANT: **MUNSCH LYLE**
 PROP OWNER: **C R S FARMING LLC**
 LOCATION: **3800 W FLAGSTAFF AVE**
 APN(S): **078-210-021**

NOTE: These are general comments and DO NOT constitute a complete plan check for your specific project. Please refer to the applicable California Codes & local ordinance for additional requirements.

- Business Tax Certification is required. *For information call (559) 713-4326*
- A building permit will be required. *For information call (559) 713-4444*
- Submit 4 sets of professionally prepared plans and 2 sets of calculations. (Small Tenant Improvements)
- Submit 4 sets of plans prepared by an architect or engineer. Must comply with 2013 California Building Code Sec. 2308 for conventional light-frame construction or submit 2 sets of engineered calculations.
- Indicate abandoned wells, septic systems and excavations on construction plans.
- You are responsible to ensure compliance with the following checked items:**
- Meet State and Federal requirements for accessibility for persons with disabilities.
- A path of travel, parking, common area and public right of way must comply with requirements for access for persons with disabilities.
- Multi family units shall be accessible or adaptable for persons with disabilities.
- Maintain sound transmission control between units minimum of 50 STC.
- Maintain fire-resistive requirements at property lines.
- A demolition permit & deposit is required. *For information call (559) 713-4444*
- Obtain required clearance from San Joaquin Valley Air Pollution Board. Prior to any demolition work
For information call (661) 392-5500
- Location of cashier must provide clear view of gas pump island
- Plans must be approved by the Tulare County Health Department. *For information call (559) 624-7400*
- Project is located in flood zone _____ • Hazardous materials report.
- Arrange for an on-site inspection. (Fee for inspection \$151.90) *For information call (559) 713-4444*
- School Development fees. Commercial \$0.54 per square foot. Residential \$3.48 per square foot.
- Existing address must be changed to be consistent with city address. *For information call (559) 713-4320*
- Acceptable as submitted
- No comments
- See previous comments dated: _____

Special comments: LANDSCAPE TO MEET MIWELO REQUIREMENTS.

 Date: 6/27/16

**BUILDING/DEVELOPMENT PLAN
REQUIREMENTS
ENGINEERING DIVISION**

- Jason Huckleberry 713-4259
- Adrian Rubalcaba 713-4271

ITEM NO: 5 DATE: JUNE 29, 2016

SITE PLAN NO.: 16-094
PROJECT TITLE: QUAIL PARK AT SHANNON RANCH
DESCRIPTION: INDEPENDENT LIVING COMMUNITY WITH 100 DWELLING UNITS AND 20 RESIDENT MEMORY CARE BUILDING (RM2) (X) (K)

APPLICANT: MUNSCH LYLE
PROP OWNER: C R S FARMING LLC
LOCATION: 3600 W FLAGSTAFF AVE
APN: 078-210-021

SITE PLAN REVIEW COMMENTS

- REQUIREMENTS (indicated by checked boxes)
- Install curb return with ramp, with _____ radius;
- Install curb; gutter **ONSITE AS NECESSARY**
- Drive approach size: Use radius return; **REFER TO MULTI-FAMILY CITY STDS**
- Sidewalk: **6'** width; **10'** parkway width at **FLAGSTAFF**
- Repair and/or replace any sidewalk across the public street frontage(s) of the subject site that has become uneven, cracked or damaged and may constitute a tripping hazard.
- Replace any curb and gutter across the public street frontage(s) of the subject site that has become uneven and has created areas where water can stand.
- Right-of-way dedication required. A title report is required for verification of ownership.
- Deed required prior to issuing building permit; **PEDESTRIAN ACCESS EASEMENT**
- City Encroachment Permit Required. **ALL WORK IN THE PUBLIC RIGHT-OF-WAY**

Insurance certificate with general & auto liability (\$1 million each) and workers compensation (\$1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit. Contact Encroachment Tech. at 713-4414.

- CalTrans Encroachment Permit required. CalTrans comments required prior to issuing building permit. Contacts: David Deel (Planning) 488-4088;
- Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map.
- Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.
- Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades. Prepared by registered civil engineer or project architect. All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a) directed to the City's existing storm drainage system; b) directed to a permanent on-site basin; or c) directed to a temporary on-site basin is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: _____ : _____ maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance.
- Grading permit is required for clearing and earthwork performed prior to issuance of the building permit.
- Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter = .020%, V-gutter = 0.25%)
- Show adjacent property grade elevations. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
- All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications.
- Traffic indexes per city standards:

- Install street striping as required by the City Engineer.
- Install landscape curbing (typical at parking lot planters).
- Minimum paving section for parking: 2" asphalt concrete paving over 4" Class 2 Agg. Base, or 4" concrete pavement over 2" sand.
- Design Paving section to traffic index of 5.0 min. for solid waste truck travel path.
- Provide "R" value tests: each at
- Written comments required from ditch company Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditch; Jerry Hill 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
- Access required on ditch bank, 15' minimum Provide wide riparian dedication from top of bank.
- Show Oak trees with drip lines and adjacent grade elevations. Protect Oak trees during construction in accordance with City requirements.
- A permit is required to remove oak trees. Contact Joel Hooyer at 713-4295 for an Oak tree evaluation or permit to remove. A pre-construction conference is required.
- Relocate existing utility poles and/or facilities.
- Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- Subject to existing Reimbursement Agreement to reimburse prior developer:
- Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
- If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
- If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.
- Comply with prior comments. Resubmit with additional information. Redesign required.

Additional Comments:

RESUBMIT "OFF AGENDA" FOR ITEMS #8 THRU #10

- 1. Install sidewalk, parkway landscaping, and street trees along Flagstaff.**
- 2. Parking lot design to comply with City standards.**
- 3. Impact fees apply to proposed assisted living development. Refer to page 3 for fee summary.**
- 4. A Grant of Easement to the City for pedestrian access will be required for sidewalk located within property boundaries. Refer to City website for document format and procedures. Further coordination with the City Engineer is required.**
- 5. Proposed storm main relocation will require further abandonment of existing storm easement and new easement establishment. Further coordinate with City Engineer.**
- 6. An accessible path of travel from the public right-of-way to the building entrances are required.**
- 7. A building/site improvement permit is required. Standard plan check and inspection fees apply.**
- 8. The westerly refuse enclosure is not acceptable. Relocate/reposition to allow a direct-stab by a Solid Waste vehicle. Refer to City standard 24' enclosures with gates and concrete apron.**
- 9. A pedestrian connection to the existing trail along the north parcel boundary is recommended.**
- 10. Refer to further conditions required by the Planning Dept.**

SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES

Site Plan No: 16-094
Date: 6/29/2016

Summary of applicable Development Impact Fees to be collected at the time of building permit:
(Preliminary estimate only! Final fees will be based on the development fee schedule in effect at the time of building permit issuance.)

(Fee Schedule Date:9/4/2015 **FEE RATE INCREASE EFFECTIVE OCT. 1, 2016**)
(Project type for fee rates:MEDICAL)

Existing uses may qualify for credits on Development Impact Fees.

<u>FEE ITEM</u>	<u>FEE RATE</u>
<input checked="" type="checkbox"/> Groundwater Overdraft Mitigation Fee	\$1,196/AC X 3.65 = \$4,365.40
<input checked="" type="checkbox"/> Transportation Impact Fee	\$1,987/UNIT X 120 = \$238,440
<input checked="" type="checkbox"/> Trunk Line Capacity Fee	\$285/BED X 120 = \$34,200 TREATMENT PLANT FEE: \$270/RESIDENT X 120 = \$32,400
<input checked="" type="checkbox"/> Sewer Front Foot Fee	\$40/LF X 50 (DEMAREE) = \$2,000
<input checked="" type="checkbox"/> Storm Drain Acq/Dev Fee	\$5,263/AC X 3.65 = \$19,209.95
<input type="checkbox"/> Park Acq/Dev Fee	
<input type="checkbox"/> Northeast Specific Plan Fees	
<input checked="" type="checkbox"/> Waterways Acquisition Fee	\$3,864/AC X 3.65 = \$14,103.60
<input checked="" type="checkbox"/> Public Safety Impact Fee: Police	\$3,263/AC X 3.65 = \$11,909.95
<input checked="" type="checkbox"/> Public Safety Impact Fee: Fire	\$1,754/AC X 3.65 = \$6,402.10
<input checked="" type="checkbox"/> Public Facility Impact Fee	\$56/BED X 120 = \$6,720
<input type="checkbox"/> Parking In-Lieu	

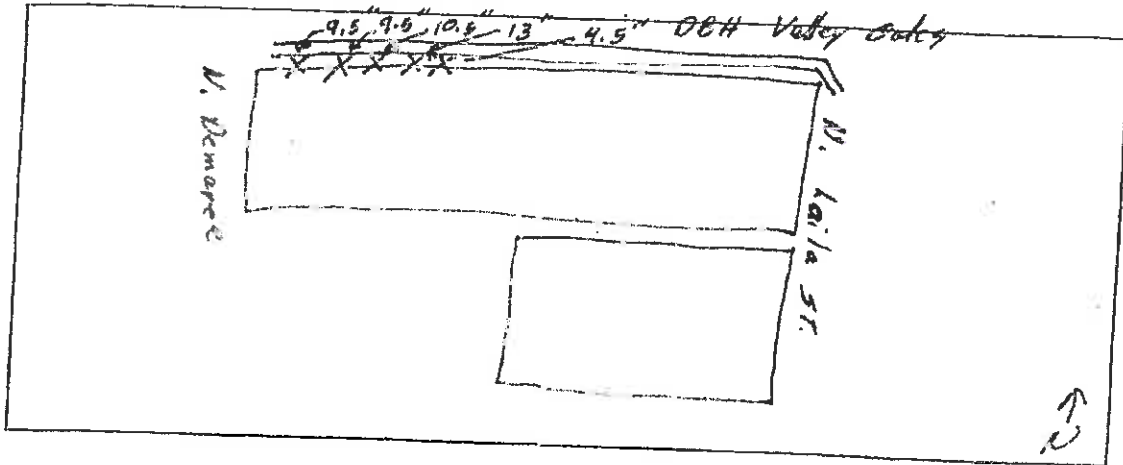
Reimbursement:

- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.



Adrian Rubalcaba

SITE PLAN REVIEW COMMENTS



COMMENTS: See Below None

Please plot and protect all Valley Oak Trees.

Landscape along parkway to be planted by developer and maintained by a maintenance district.

All drainage from curb and gutter along streets to be connected to storm drain system.

All trees planted in street right-of-way to be approved by the Public Works Superintendent of Parks.

Tie-ins to existing infrastructure may require a bore. Check with the Public Works Department prior to any street cut.

Other Comments:

Neighbors property has 5 - Valley Oaks with
druplines that enter this new site plan.
* Need to protect during const.

Joel Hooyer
Joel Hooyer

Parks and Urban Forestry Supervisor
559 713-4295 Fax 559 713-4818

Email: jhooyer@ci.visalia.ca.us

City of Visalia
Police Department
303 S. Johnson St.
Visalia, Ca. 93292
(559) 713-4370

ITEM NO: 5 June 29, 2016
SITE PLAN NO: SPR16094
PROJECT TITLE: QUAIL PARK AT SHANNON RANCH
DESCRIPTION: INDEPENDENT LIVING COMMUNITY WITH 100 DWELLING UNITS AND 20 RESIDENT MEMORY CARE BUILDING (RM2) (X) (K)
APPLICANT: MUNSCH LYLE
PROP OWNER: C R S FARMING LLC
LOCATION: 3600 W FLAGSTAFF AVE
APN(S): 078-210-021

Site Plan Review Comments

- No Comment at this time.
- Request opportunity to comment or make recommendations as to safety issues as plans are developed.
- Public Safety Impact fee:
Ordinance No. 2001-11 Chapter 16.48 of Title 16 of the Visalia Municipal Code
Effective date - August 17, 2001

Impact fees shall be imposed by the City pursuant to this Ordinance as a condition of or in conjunction with the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land, upon which no like building, structure of improvement previously existed. *Refer to Engineering Site Plan comments for fee estimation.

- Not enough information provided. Please provide additional information pertaining to:

- Territorial Reinforcement: Define property lines (private/public space).

- Access Controlled / Restricted etc:

- Lighting Concerns:

- Landscaping Concerns:

- Traffic Concerns:

- Surveillance Issues:

- Line of Sight Issues:

- Other Concerns:


Visalia Police Department



Site Plan Review Comments For
City of Visalia
Fire Department
707 W Acequia
Visalia, CA 93291
559-713-4261 office
559-713-4808 fax

ITEM NO: 5
SITE PLAN NO: SPR16094
PROJECT TITLE: QUAIL PARK AT SHANNON RANCH
DESCRIPTION: INDEPENDENT LIVING COMMUNITY WITH 100 DWELLING UNITS AND 20 RESIDENT MEMORY CARE BUILDING (RM2) (X) (K)
APPLICANT: MUNSCH LYLE
PROP OWNER: C R S FARMING LLC
LOCATION: 3600 W FLAGSTAFF AVE
APN(S): 078-210-021

D. June 29, 2018

The following comments are applicable when checked:

- The Site Plan Review comments are issued as general overview of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2013 California Fire Code (CFC), 2013 California Building Codes (CBC) and City of Visalia Municipal Codes.
- All fire detection, alarm, and extinguishing systems in existing buildings shall be maintained in an operative condition at all times and shall be replaced or repaired where defective. If building has been vacant for a significant amount of time, the fire detection, alarm, and or extinguishing systems may need to be evaluated by a licensed professional. *2013 CFC 901.6*
- No fire protection items required for parcel map or lot line adjustment; however, any future projects will be subject to fire & life safety requirements including fire protection.
- More information is needed before a Site Plan Review can be conducted. Please submit plans with more detail. Please include information on

General:

- Address numbers must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least four inches (4") high and shall be of a color to contrast with their background. If multiple addresses are served by a common driveway, the range of numbers shall be posted at the roadway/driveway. *2013 CFC 505.1*
- A Knox Box key lock system is required. Where access to or within a structure or an area is restricted because of secured openings (doors and/or gates) or for fire-fighting purposes, a key box is to be installed in an approved location. (Note: Knox boxes shall be ordered using an approved application that can be found at Fire Administration Office located at 707 W. Acequia Ave. Please allow adequate time for shipping and installation.) *2013 CFC 506.1*
- All hardware on exit doors shall comply with Chapter 10 of the 2013 California Fire Code. This includes all locks, latches, bolt locks, and panic and fire exit hardware.
- Provide illuminated exit signs and emergency lighting through-out building. *2013 CFC 1011*
- When portion of the building are built upon a property line or in close proximity to another structure the exterior wall shall be constructed as to comply *2013 California Building Code Table 508.4 and Table 602.*

- Commercial dumpsters with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system. *2013 CFC 304.3.3*
- If your business handles hazardous material in amounts that exceed the Maximum Allowable Quantities listed on *Table 5003.1.1(1), 5003.1.1(2), 5003.1.1(3) and 5003.1.1(4) of the 2013 California Fire Code*, you are required to submit an emergency response plan to the Tulare County Health Department. Also you shall indicate the quantities on your building plans and prior to the building final inspection a copy of your emergency response plan and Safety Data Sheets shall be submitted to the Visalia Fire Department.

Water Supply:

- Construction and demolition sites shall have an approved water supply for fire protection, either temporary or permanent, and shall be made available as soon as combustible material arrives on the site. *2013 CFC 3312*
- No additional fire hydrants are required for this project; however, additional fire hydrants may be required for any future development.
- There is/are 2 fire hydrants required for this project. (See marked plans for fire hydrant locations.)
- Fire hydrant spacing shall comply with the following requirements:
The exact location of fire hydrants and final decision as to the number of fire hydrants shall be at the discretion of the fire marshal, fire chief and/or their designee. *Visalia Municipal Code 16.36.120 & 16.36.120(8)*
 - Single-family residential developments shall be provided with fire hydrants every six hundred (600) lineal feet of residential frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
 - Multi-family, zero lot line clearance, mobile home park or condominium developments shall be provided with fire hydrants every four hundred (400) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
 - Multi-family or condominium developments with one hundred (100) percent coverage fire sprinkler systems shall be provided with fire hydrants every six (600) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
 - Commercial or industrial developments shall be provided with fire hydrants every three hundred (300) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
 - Commercial or industrial developments with one hundred (100) percent coverage fire sprinkler systems shall be provided with fire hydrants every five hundred (500) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
- When any portion of a building is in excess of one hundred fifty (150) feet from a water supply on a public street there shall be provided on site fire hydrants and water mains capable of supplying the required fire flow. *Visalia Municipal Code 16.36.120(6)*

Emergency Access:

- ☒ A construction access road is required and shall be a minimum of 20 feet wide. The road shall be an all-weather driving surface accessible prior to and during construction. The access road shall be capable of holding 75,000 pound piece of fire apparatus, and shall provide access to within 100 feet of temporary or permanent fire department connections. 2013 CFC 3310

- ☒ Buildings or portions of buildings or facilities with a vertical distance between the grade plans and the highest roof surface exceed 30 feet shall provide an approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders. Access routes shall be located within a minimum of 15 feet and maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building. 2013 CFC D105

- ☒ A fire apparatus access roads shall be provide and must comply with the CFC and extend to within 150 of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Minimum turning radius for emergency fire apparatus shall be 20 feet inside radius and 43 feet outside radius. 2013 CFC 503.1.1

- ☒ Fire apparatus access roads in excess of 150 feet and dead end shall be provided with a turnaround. Length 151-500 feet shall be a minimum of 20 feet in width and have a 120 foot Hammerhead, 60-foot "Y" or 96-Foot diameter Cul-de-sac in accordance with Figure D103.1 of the 2013 CFC. Length 501-750 feet shall be 26 feet in width and have a 120 foot Hammerhead, 60-foot "Y" or 96-Foot diameter Cul-de-sac in accordance with Figure D103.1 of the 2013 CFC.

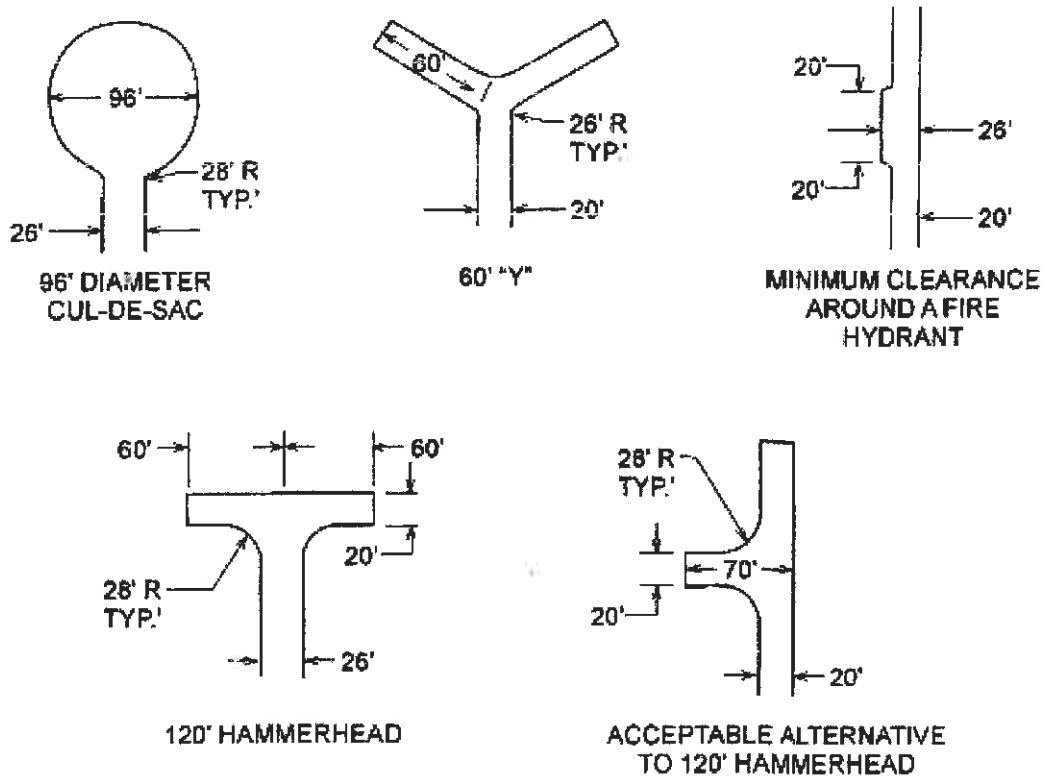


FIGURE D103.1
DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUND

- Gates on access roads shall be a minimum width of 20 feet and shall comply with the following:
2013 CFC D103.5
- Typical chain and lock shall be the type that can be cut with a common bolt cutter, or the developer may opt to provide a Knox Box key lock system.
 - Gates shall be of the swinging or sliding type.
 - Gates shall allow manual operation by one person. (power outages)
 - Gates shall be maintained in an operative condition at all times.
 - Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. (Note: Knox boxes shall be ordered using an approved application that can be found at Fire Administration Office located at 707 W. Acequia Ave. Please allow adequate time for shipping and installation.)
- In any and all new One- or two-family dwellings residential developments regardless of the number of units, street width shall be a minimum of 36 feet from curb to curb to allow fire department access and to permit parking on both sides of the street. A minimum of 20 feet shall be provided for developments that don't allow parking on the streets. *2013 CFC D107.2*

Fire Protection Systems:

- An automatic fire sprinkler system will be required for this building. Also a fire hydrant is required within 50 feet of the Fire Department Connection (FDC). *2013 CFC 903 and Visalia Municipal Code 16.36.120(7)*
- Commercial cooking appliances and domestic cooking appliances used for commercial purposes that produces grease laden vapors shall be provided with a Type 1 Hood, in accordance with the California Mechanical Code, and an automatic fire extinguishing system. *2013 CFC 904.11 & 609.2*

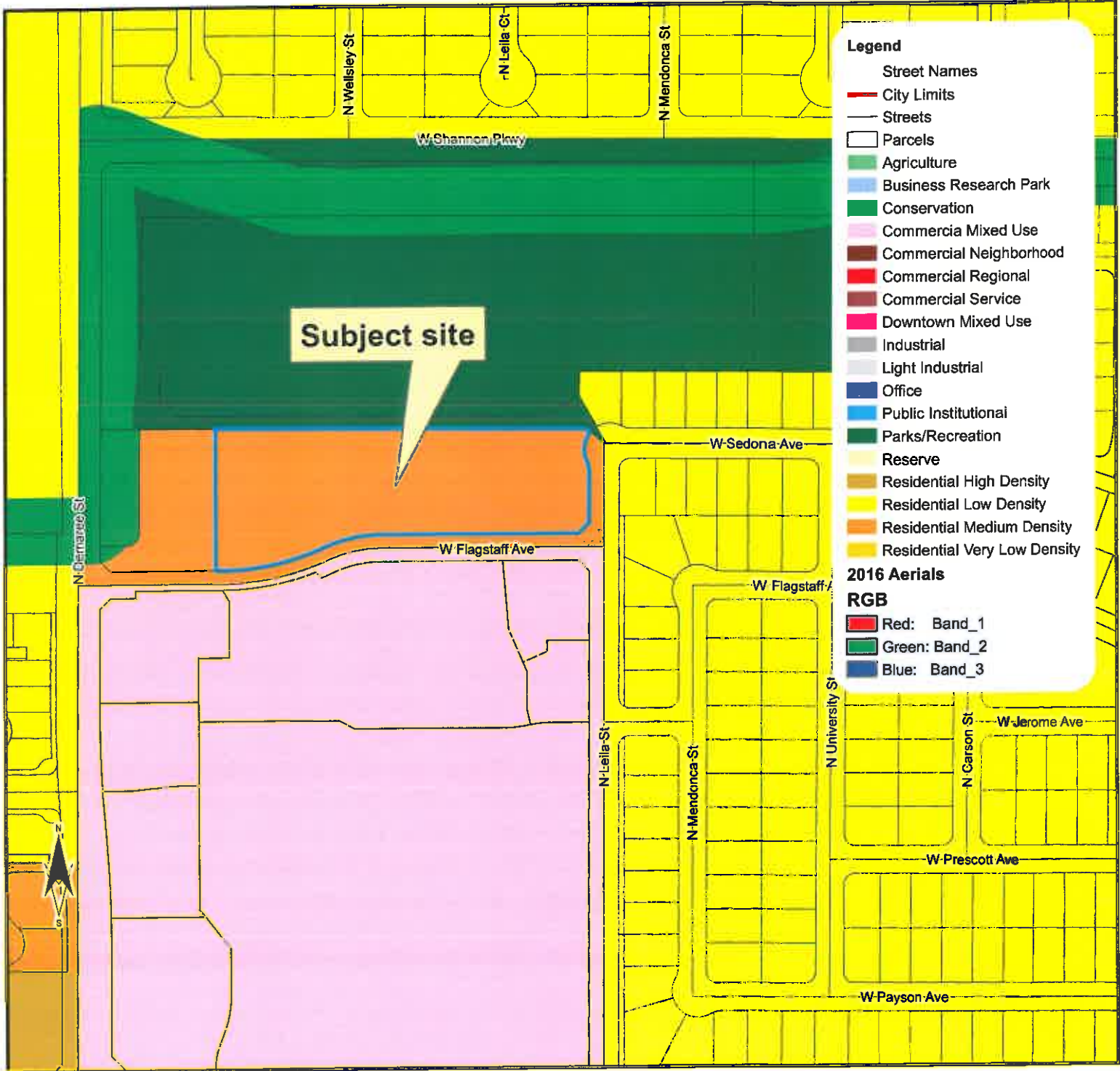
Special Comments:





Maribel Vasquez
Fire Inspector

City of Visalia

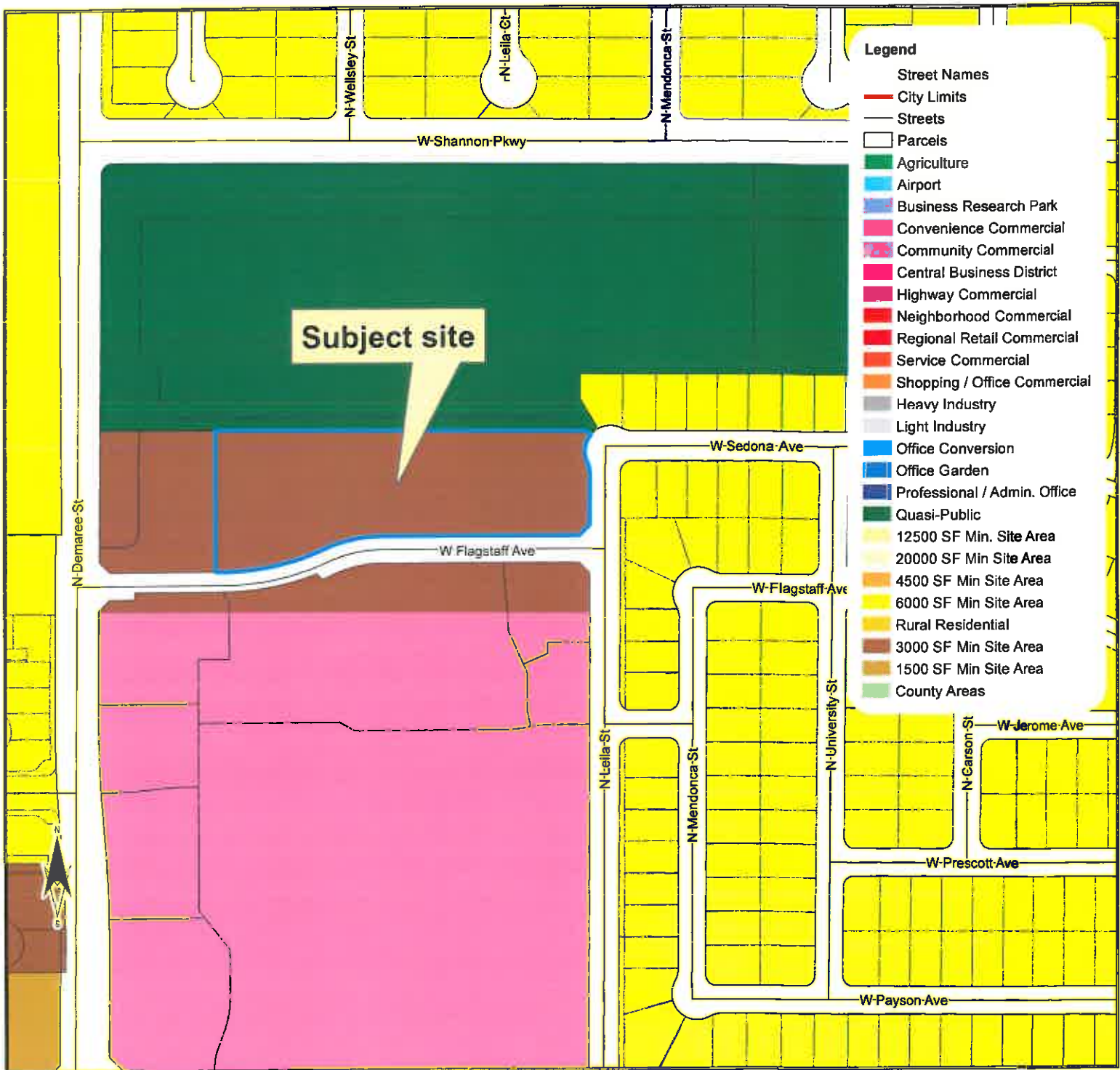


Land Use Designations

0 62.5 125 250 375 500 Feet

CUP 2016-28

City of Visalia



Zoning Designations

0 62.5 125 250 375 500 Feet

CUP 2016-28

City of Visalia

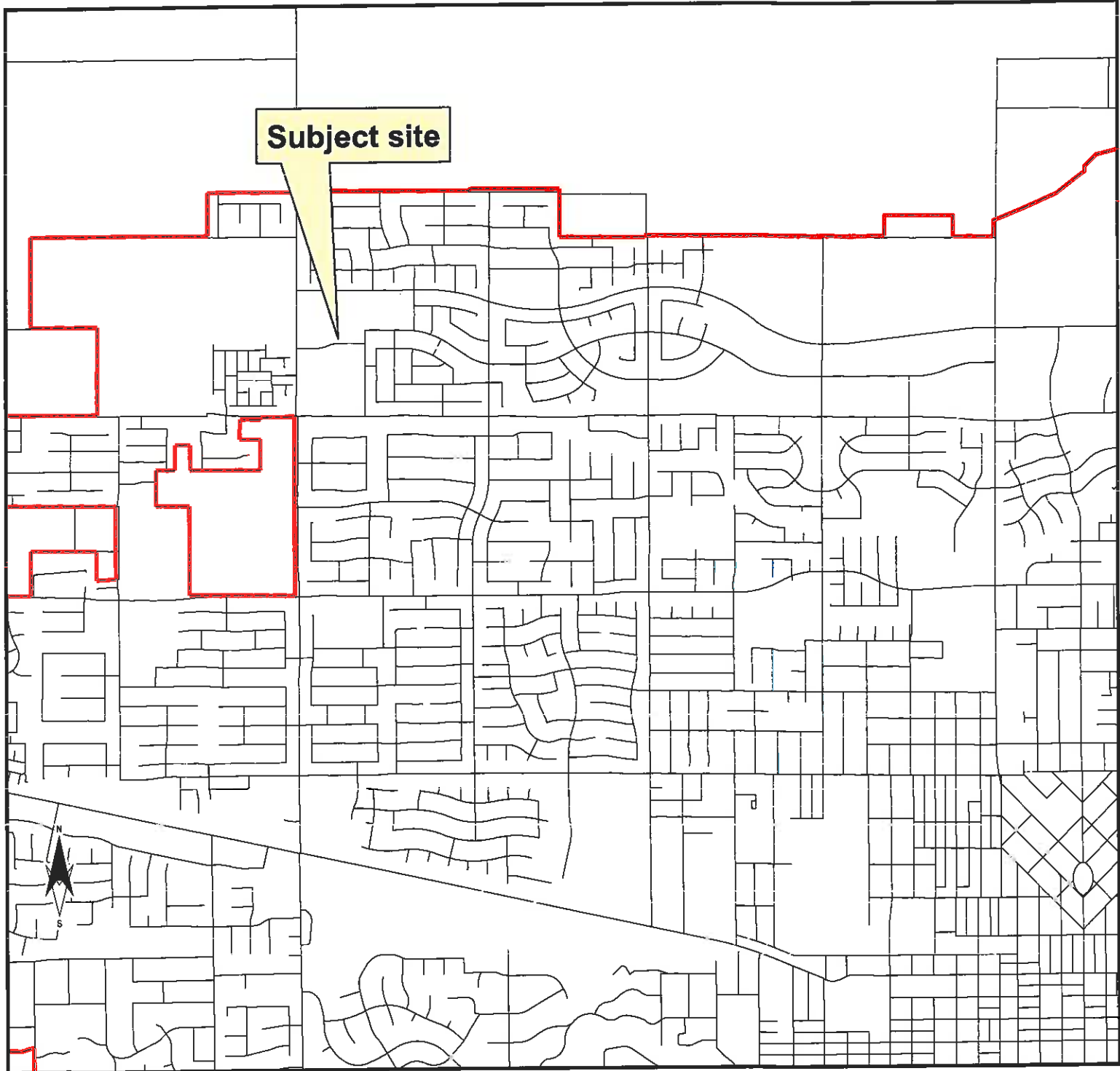


Aerial Photo

0 62.5 125 250 375 500 Feet

CUP 2016-28

City of Visalia



Location Map

0487.975 1,950 2,925 3,900 Feet

CUP 2016-28



REPORT TO CITY OF VISALIA PLANNING COMMISSION

HEARING DATE: December 12, 2016

PROJECT PLANNER: Brandon Smith, Senior Planner
Phone No. 713-4636; Email: brandon.smith@visalia.city

SUBJECT: Conditional Use Permit No. 2016-29: a request by Visalia United Methodist Church, to replace an existing freestanding sign with a new sign having changeable electronic sign copy, associated with an existing church in the Single-family Residential (R-1-6) Zone. The site is located at 5200 W. Caldwell Avenue, on the northeast corner of Akers Street and Caldwell Avenue. (APN: 119-060-008)

STAFF RECOMMENDATION

Staff recommends approval of Conditional Use Permit No. 2016-29, as conditioned, based upon the findings and conditions in Resolution No. 2016-58. Staff's recommendation is based on the conclusion that the request is consistent with the City's General Plan and Zoning Ordinance.

RECOMMENDED MOTION

I move to approve Conditional Use Permit No. 2016-29 based on the findings and conditions in Resolution No. 2016-58.

PROJECT DESCRIPTION

Visalia United Methodist Church requests approval of a conditional use permit to allow one electronic sign for its church campus. The sign will replace an existing monument sign at the same location on the northeast corner of Akers Street and Caldwell Avenue as shown in Exhibit "A". Like the existing monument sign, the proposed sign will be double sided and will be angled so that it is visible to traffic on southbound Akers and westbound Caldwell. The elevations in Exhibit "B" show the new sign will be mounted on a base and will have an overall height of six feet. The sign will contain LED (light emitting diode) electronic copy measuring 5'-5" x 2'-8", or 22.5 square feet, and a fixed sign (shown as reading "The Methodist Church") measuring 8'-5" x 1'-6", or 12.5 square feet. The total sign copy area per side, not including the base, is 35 square feet.

The sign is intended to identify the church and its various activities. An operation statement attached as Exhibit "C" states that the electronic sign messages will be pertain to church related activities taking place on-site or church sponsored activities or events taking place off-site. The proposed hours of use will be seven days a week from 6:00 a.m. to 11:00 p.m.

Visalia United Methodist Church is located within the R-1-6 Single-Family Residential zoning designation. The City of Visalia's recent update to the Sign Ordinance, effective July 2016, included new standards pertaining to electronic signs and signs in residential zones. The Ordinance allows one freestanding sign per site according to Municipal Code Section 17.48.090.G, being a quasi-public use located in a residential zone. The sign ordinance further allows electronic copy as a display medium wherever monument signs are allowed, subject to the issuance of a conditional use permit.

BACKGROUND INFORMATION

General Plan Land Use Designation	Residential Low Density
Zoning	R-1-6 (Single-family Residential 6,000 sq. ft. minimum)
Surrounding Zoning and Land Use	North: R-1-6 (Single-family Residential) / Methodist Church parking lot South: QP (Quasi-Public) / Vacant land – future expansion area of Catholic Church campus East: R-1-6 (Single-family Residential) / Methodist Church open space area West: R-A (Rural Residential) / Kingdom Hall of Jehovah’s Witnesses
Environmental Review	Categorical Exemption No. 2016-56
Special Districts:	None
Site Plan Review	N/A

RELATED PROJECTS

On December 12, 2011, the Planning Commission approved Conditional Use Permit No. 2011-29 for Central Valley Christian School to allow an electronic reader board sign with 18 square foot of copy area on a 16-foot tall sign at their school campus in the Q-P zone.

On April 23, 2012, the Planning Commission approved Conditional Use Permit No. 2012-16 for an electronic reader board sign 12 feet tall with 11 sq. ft. of sign area for St. Paul’s School at 6101 W. Goshen Avenue.

On September 14, 2015, the Planning Commission approved Conditional Use Permit No. 2015-23 for two electronic reader board signs located at the Visalia Convention Center in the C-DT zone. Each sign measures 10 feet tall with 60 sq. ft. of electronic sign copy per face.

On July 20, 2016, the update to the City’s Sign Ordinance went into effect, providing regulations and standards for allowing electronic copy signs in the City of Visalia.

PROJECT EVALUATION

Staff supports the requested conditional use permit (CUP), as conditioned, based on project consistency with the General Plan and the Zoning Ordinance.

Background / Sign Ordinance Regulations

The City of Visalia had applied a broad prohibition to electronic animated signs based on the regulations in the City’s Sign Ordinance prior to 2016. Some exceptions to the prohibition were granted by the City as they were found to be consistent with the prior Sign Code’s regulations that allowed for animated signs associated with a public service. These signs included the electronic reader board signs associated with two private schools and associated with the Visalia Convention Center (refer to Related Projects for more information). Electronic reader board signs had been erected at various public school campuses, although these signs were not approved by the City and were authorized pursuant to state law enabled by Visalia Unified School District.

In 2014, the City initiated an Update to its Sign Ordinance for purposes that included addressing current case law and responding to the advancement and use of new sign technology such as temporary signs and electronic signs. The new Ordinance expressly allows for electronic signs in non-residential areas subject to a granting of a conditional use permit. The new Ordinance also expanded upon the regulations applicable to signage for public and quasi-public uses, including those located in residential zones. Prior to 2016, all signing for public and quasi-public uses was approved through the conditional use permit process.

Signage for public and quasi-public uses is now allowed by right in the updated Sign Ordinance. The electronic sign component of the proposed monument sign for Visalia United Methodist Church however requires the issuance of a conditional use permit.

Evaluation of Sign's Compliance with Standards for Public Uses

Sign Ordinance Section 17.48.090.G provides sign regulations for public and quasi-public uses located in Residential and Agricultural Zones. Public and quasi-public uses include uses of a religious type such as churches. The regulations are as follows:

1. **Maximum Number of Signs:** One freestanding sign and one wall sign.
2. **Maximum Sign Area per Sign:** Freestanding signs shall not be more than 35 square feet in area. Wall signs shall not be more than 36 square feet in area.
3. **Maximum Sign Height.** Freestanding signs shall not be more than 6 feet in height above grade. Wall mounted signs shall not be more than 12 feet in height above grade.
4. **Setback, Freestanding Signs:** Freestanding signs shall be setback a minimum of 10 feet from the public right-of-way.
5. **Illumination:** Signs may be internally illuminated.

Staff finds that the proposed monument sign meets the regulations prescribed by this section of code. The sign's proposed sign area of 35 square feet per side, sign height of six feet above grade, and setback of 10 feet from property line are the maximums allowed by code.

Evaluation of Sign's Compliance with Electronic Copy Standards

Sign Ordinance Section 17.48.080.E provides sign regulations for any sign with electronic copy. In addition to requiring the issuance of a conditional use permit, all signs are required to comply with certain physical and operational standards described in the ordinance. The full text of the relevant ordinance section is included in the Related Plans and Policies section of this report.

Except for two standards (visibility from residences and operative hours) that are discussed in greater detail below, staff finds that the monument sign as proposed can either perform or be restricted to operate in accordance with these standards. The operational standards pertaining to the frequency of change of the electronic display (no more often than once every six seconds) and the limitation of advertising displays pertinent to the on-site use are further addressed in the operation statement (Exhibit "C"). All operating standards specified by the ordinance, including but not limited to lighting and audio output, will be enforced by the City's Neighborhood Preservation Division.

City staff's standard conditions that have been included with past applications for electronic signs, including restricting operating hours, frequency change, and inclusion of a light sensing device, are either addressed in the conditions of approval or the Sign Ordinance's operational standards.

Visibility from Residences

The Sign Ordinance's standards regarding electronic sign copy state that electronic sign displays "must be directed in a manner that is not visible from the front or side yards of

residential properties located in a residential zone district". (Ref. Code Section 17.48.080.E.2.a)

The proposed sign, as situated, will be within distant sight of residences located in the surrounding vicinity. The site plan attached as Exhibit "A" shows the sign positioned at a 45-degree angle perpendicular to the Akers/Caldwell intersection - the same orientation as the existing monument sign that will be removed. Being a double-sided sign, the sign copy will be most visible to moving traffic on southbound Akers Street and westbound Caldwell Avenue.

Based on this orientation, the sign copy area will be within sight from one residence's front and side yard located 300 feet to the north on the west side of Akers Street. Residences in this location are in the County jurisdiction and have a zoning of AE-20 (Exclusive Agriculture, 20 acre minimum), although upon future annexation to the City they will be zoned residential in accordance with the General Plan. The sign will be partially visible from the house's side yard windows over a 6-foot fence and will be visible in the far peripheral vision from the house's front yard. It should also be noted that the sign will be equally visible from the first and second-story rear windows of residences separated by a block wall, located 750 feet to the south across a vacant piece of property. However, staff believes that the



large distance to the back wall of these residences is more than sufficient distance and, together with operational standards, should not cause a significant impact to these residences.

Prior to the Sign Ordinance Update and the establishment of standards for electronic copy signs, the Planning Commission separately approved electronic signs at two private schools - Central Valley Christian and Saint Paul's. In both of these instances, the signs were not within clear and imminent sight of residences. The Saint Paul's sign is 300 feet from the front yard of a neighboring residence and the Central Valley Christian sign is 125 feet from the year yards of neighboring residences.

Overall, the sign as proposed will be visible from the residence to the north as described above. However, staff suggests that the physical separation between the structures, as well as the indirect orientation of the residential view shed, will diminish the impact of the electronic sign upon the residence. Therefore, staff has prepared a finding to the effect that the sign is being located in a manner that is not inconsistent with the purpose and intent of the standard. This finding would be further supported by the fact that the sign is not directly located directly adjacent to residential properties and that the sign location is already among lighting associated with a signalized intersection and heavy vehicle traffic.

Staff's recommendation of approval takes into account this finding and recommends approval of

the sign as proposed. Alternately, if the Planning Commission feels that the sign does conflict with the standard, it is recommended that the sign be approved with modifications so that the effect is mitigated. Possible modifications would be that the sign shall be rotated 90 degrees so that it faces the intersection and is not directly visible from the front or side yard of the residence, or that an obstructing panel or hedge plant shall be placed in the line of sight between the residence.

Sign Operating Hours

The Sign Ordinance's standards regarding electronic sign copy state that electronic sign displays "shall be operative only during hours of operation of the proposed business". (Ref. Code Section 17.48.080.E.3.d)

The operation statement included as Exhibit "C" proposes sign operation seven days a week from 6:00 a.m. to 11:00 p.m.

Staff has consultant with the applicant and confirmed that the church generally does not hold functions starting at 6:00 a.m. or ending at 11:00 p.m. In contrast, staff also recognizes that the operating hours for churches (and schools and other public uses similarly) are not reflective of most businesses that are generally open seven days a week.

Staff recommends that the sign's operating hours be restricted to fit a more limited time frame than those requested in the operation statement. Operating hours between 6:00 a.m. and 10:00 p.m. are therefore proposed in the conditions of approval. The operating time is consistent with past sign approvals at private schools and the Convention Center.

Environmental Review

The requested action is considered to be Categorically Exempt under Section 15301 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2016-56). Projects determined to meet this classification consist of the alteration of public or private structures.

RECOMMENDED FINDINGS

1. That the proposed project will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
 - The proposed location of the conditional use permit is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located.
 - The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
3. That the sign display face of the proposed sign is located approximately 300 feet from the nearest residential front yard and that the affected residence does not carry a residential zoning designation. On account of these factors, the visibility impact to the front or side yards of residential properties is significantly diminished. Furthermore, the sign is being located in a manner that is not inconsistent with the purpose and intent of the standard.

4. That the project is considered Categorically Exempt under Section 15301 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2016-56)

RECOMMENDED CONDITIONS OF APPROVAL

1. That the sign be installed at the existing monument sign location, at the location shown in Exhibit "A".
2. That the sign be developed in substantial compliance with the elevation attached as Exhibit "C".
3. That the sign be developed in substantial compliance with the operating statement attached as Exhibit "C", except that the sign's LED electronic copy display shall not be illuminated between the hours of 10:00 p.m. and 6:00 a.m.
4. That all other federal and state laws and city codes and ordinances be complied with.
5. That the applicant submit to the City of Visalia a signed receipt and acceptance of conditions from the applicant and property owner, stating that they understand and agree to all the conditions of Conditional Use Permit No. 2016-29, prior to the issuance of any building permit for this project

APPEAL INFORMATION

According to the City of Visalia Zoning Ordinance Section 17.02.145, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal form with applicable fees shall be filed with the City Clerk at 220 N. Santa Fe Street, Visalia, CA 93292. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website www.visalia.city or from the City Clerk.

Attachments:

- Summary of Related Plans & Policies
- Resolution No. 2016-58
- Exhibit "A" – Site Plan – Existing Sign Locations
- Exhibit "B" – Elevation of Electronic Reader Board
- Exhibit "C" – Operation Statement
- Land Use Map
- Zoning Map
- Aerial Photo
- Location Sketch

RELATED PLANS AND POLICIES

17.38.110 Action by planning commission

- A. The planning commission may grant an application for a conditional use permit as requested or in modified form, if, on the basis of the application and the evidence submitted, the commission makes the following findings:
 - 1. That the proposed location of the conditional use is in accordance with the objectives of the zoning ordinance and the purposes of the zone in which the site is located;
 - 2. That the proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.
- B. A conditional use permit may be revocable, may be granted for a limited time period, or may be granted subject to such conditions as the commission may prescribe. The commission may grant conditional approval for a permit subject to the effective date of a change of zone or other ordinance amendment.
- C. The commission may deny an application for a conditional use permit. (Prior code § 7536)

17.48.080 General Sign Standards

E. Electronic Copy.

1. **Location.** Electronic copy is allowed as a display medium wherever monument signs are allowed. A Conditional Use Permit, issued pursuant to Chapter 17.38 of the Visalia Municipal Code, is required for the installation of any electronic sign except an interior electronic sign or digital display, which are regulated as permanent window signs.

2. Physical Standards.

- a. The sign display face must be directed in a manner that is not visible from the front or side yards of residential properties located in a residential zone district.
- b. Electronic display faces must be an integral part of the remainder of the sign area.

3. Operational Standards.

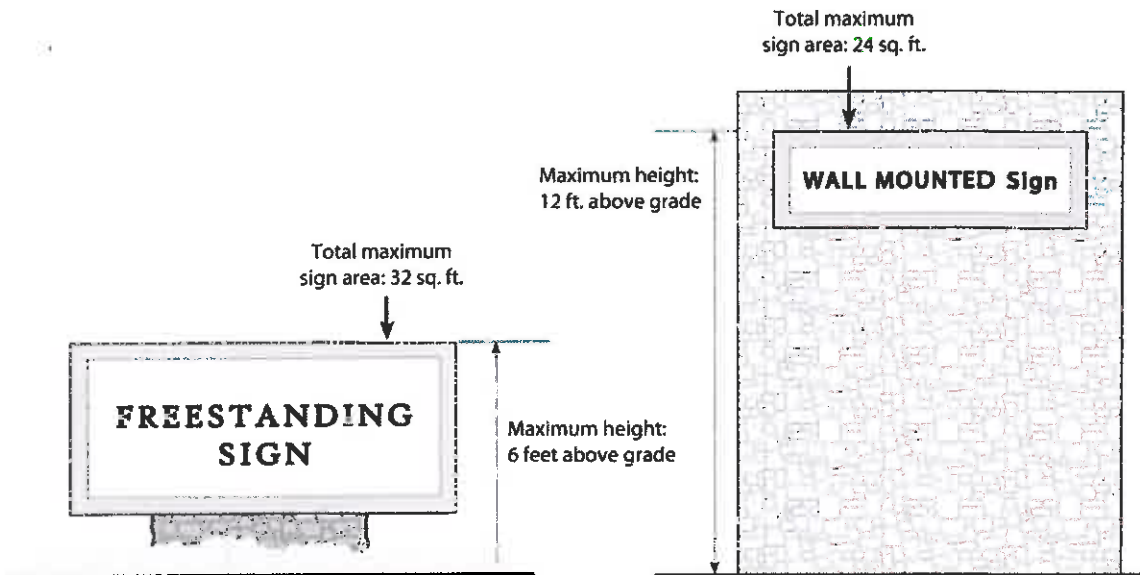
- a. Electronic display shall be limited to no more than 30 lumens output, measured at 10 feet from the sign face.
- b. No portion of the electronic display (either sign copy or pictures) shall change more frequently than once every six seconds.
- c. No audible output from any portion of the sign shall be permitted.
- d. Electronic signs shall be operative only during the hours of operation of the associated business.
- e. Sign copy or electronic picture displays shall be limited to advertising related to the use(s) on the property for which the monument sign is located, except for message substitution, as allowed in Section 17.48.080 D.
- f. No change of lighting intensity may occur during a display or between displays except to respond to a change in ambient lighting conditions.
- g. No display shall create a potential distraction to drivers by virtue of the frequency of changes of images (i.e. the time between images expressed in seconds), and the Planning Commission may impose limitations on the number of images that can be displayed over a specified time period for reasons of traffic safety.

17.48.090 Sign Standards for Agricultural and Residential Zones

G. Public and Quasi-Public Uses. Signs for Public and Quasi-Public uses located in Agricultural and Residential Zones may be erected subject to the following standards. Public and Quasi-Public uses are those identified as permitted or conditionally permitted pursuant to Chapter 17.52.

1. **Maximum Number of Signs:** One freestanding sign and one wall sign.
2. **Maximum Sign Area per Sign:** Freestanding signs shall not be more than 35 square feet in area. Wall signs shall not be more than 36 square feet in area.
3. **Maximum Sign Height.** Freestanding signs shall not be more than 6 feet in height above grade. Wall mounted signs shall not be more than 12 feet in height above grade.
4. **Setback, Freestanding Signs:** Freestanding signs shall be setback a minimum of 10 feet from the public right-of-way.
5. **Illumination:** Signs may be internally illuminated.

FIGURE 17.48.090(G): PUBLIC AND QUASI-PUBLIC USES



No portion of a freestanding sign shall be closer than 10 feet to any property line adjacent to a public right-of-way.

RESOLUTION NO. 2016-58

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2016-29: A REQUEST BY VISALIA UNITED METHODIST CHURCH, TO REPLACE AN EXISTING FREESTANDING SIGN WITH A NEW SIGN HAVING CHANGEABLE ELECTRONIC SIGN COPY, ASSOCIATED WITH AN EXISTING CHURCH IN THE SINGLE-FAMILY RESIDENTIAL (R-1-6) ZONE. THE SITE IS LOCATED AT 5200 W. CALDWELL AVENUE, ON THE NORTHEAST CORNER OF AKERS STREET AND CALDWELL AVENUE. (APN: 119-060-008)

WHEREAS, Conditional Use Permit No. 2016-29 is a request by Visalia United Methodist Church, to replace an existing freestanding sign with a new sign having changeable electronic sign copy, associated with an existing church in the Single-family Residential (R-1-6) Zone. The site is located at 5200 W. Caldwell Avenue, on the northeast corner of Akers Street and Caldwell Avenue. (APN: 119-060-008); and

WHEREAS, the Planning Commission of the City of Visalia, after duly published notice did hold a public hearing before said Commission on December 12, 2016; and

WHEREAS, the Planning Commission of the City of Visalia finds Conditional Use Permit No. 2016-29, as conditioned by staff, to be in accordance with Section 17.38.110 of the Zoning Ordinance of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and

WHEREAS, the project is considered Categorical Exempt under Section 15301 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA) (Categorical Exemption No. 2016-56).

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Visalia makes the following specific findings based on the evidence presented:

1. That the proposed project will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
 - The proposed location of the conditional use permit is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located.
 - The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
3. That the sign display face of the proposed sign is located approximately 300 feet from the nearest residential front yard and that the affected residence does not carry a residential zoning designation. On account of these factors, the visibility impact to the front or side yards of residential properties is significantly diminished.

Furthermore, the sign is being located in a manner that is not inconsistent with the purpose and intent of the standard.

4. That the project is considered Categorical Exempt under Section 15301 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2016-56)

BE IT FURTHER RESOLVED that the Planning Commission hereby approves the Conditional Use Permit on the real property hereinabove described in accordance with the terms of this resolution under the provisions of Section 17.38.110 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the sign be installed at the existing monument sign location, at the location shown in Exhibit "A".
2. That the sign be developed in substantial compliance with the elevation attached as Exhibit "C".
3. That the sign be developed in substantial compliance with the operating statement attached as Exhibit "C", except that the sign's LED electronic copy display shall not be illuminated between the hours of 10:00 p.m. and 6:00 a.m.
4. That all other federal and state laws and city codes and ordinances be complied with.
5. That the applicant submit to the City of Visalia a signed receipt and acceptance of conditions from the applicant and property owner, stating that they understand and agree to all the conditions of Conditional Use Permit No. 2016-29, prior to the issuance of any building permit for this project

5200 W. Caldwell Ave



Exhibit "A"

Church Sign
10' Set Back from
street property lines

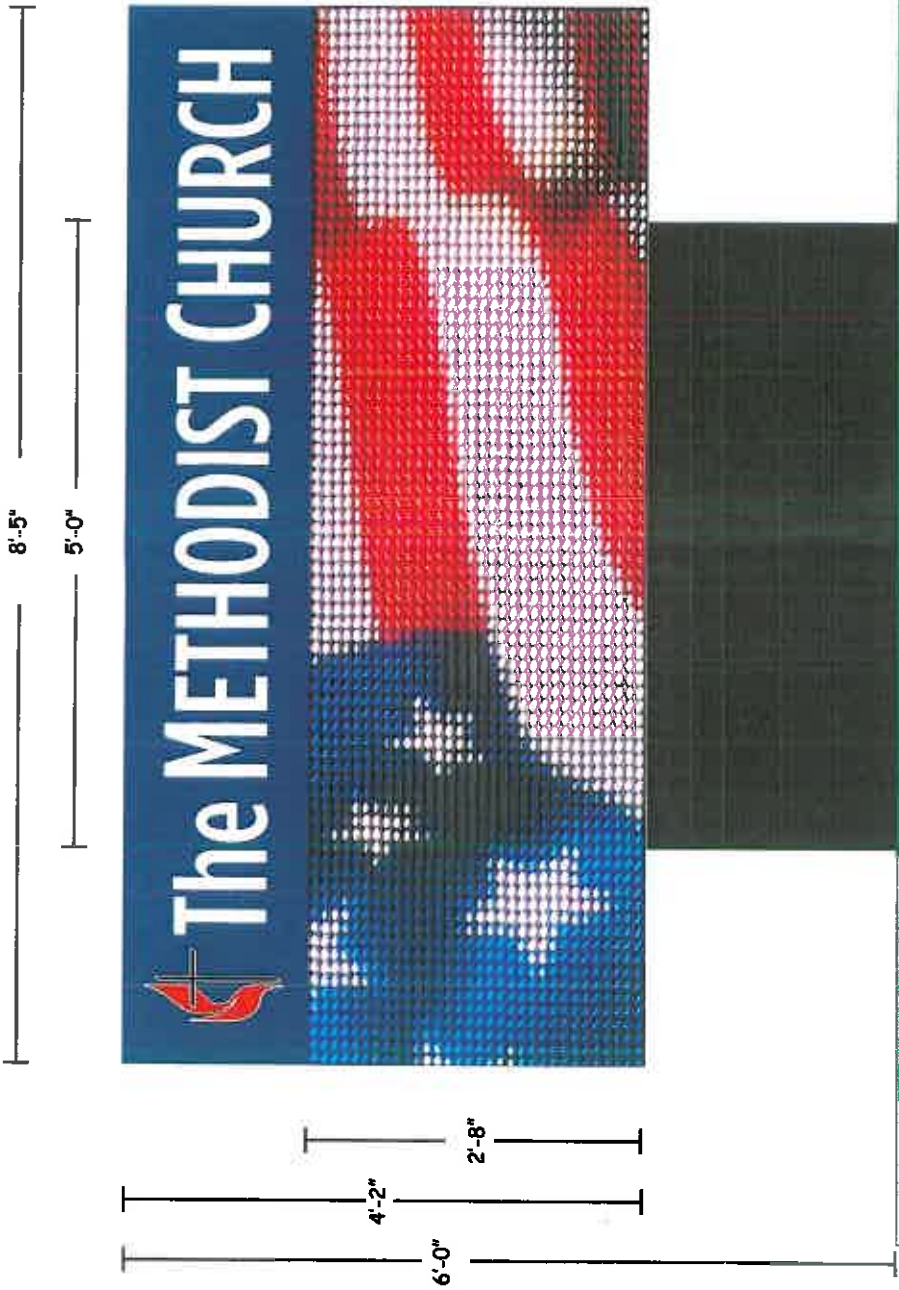


Exhibit "B"

Color To Be Determined
 Color To Be Determined
 White Lettering

DRAWING NUMBER:
MC-RGB-LED
 Revision 2

THIS PERSON IS WARRANTED AS OUR PRICE-GUARANTEE TO BE THE LOWEST PRICE AVAILABLE. ANY CHANGES TO THIS CONTRACT SHALL BE SUBJECT TO A FINAL ORDER (F.O.)

PROPERTY OWNER APPROVAL:
 DATE:

CUSTOMER APPROVAL:
 DATE:

Visual Limited Methodist Church
 CONTACT: Don Boudreau
 SALES PERSON: Jack Wilkison
 DATE: 10/6/2016

5901 E. CLINTON AVE. FRESNO, CA. 93727
 TEL (559) 292-2944 | FAX (559) 292-2980
 www.fresneon.com | sales@fresneon.com

FRESNO NEON
 SIGN COMPANY INC.

VISALIA UNITED METHODIST CHURCH - Two Sided 20mm RGB LED Message Center Monument Sign
 1"=1'

Operation Statement

The Visalia United Methodist Church LED Message Center sign will be active during the hours of 6 am to 11 pm seven days a week.

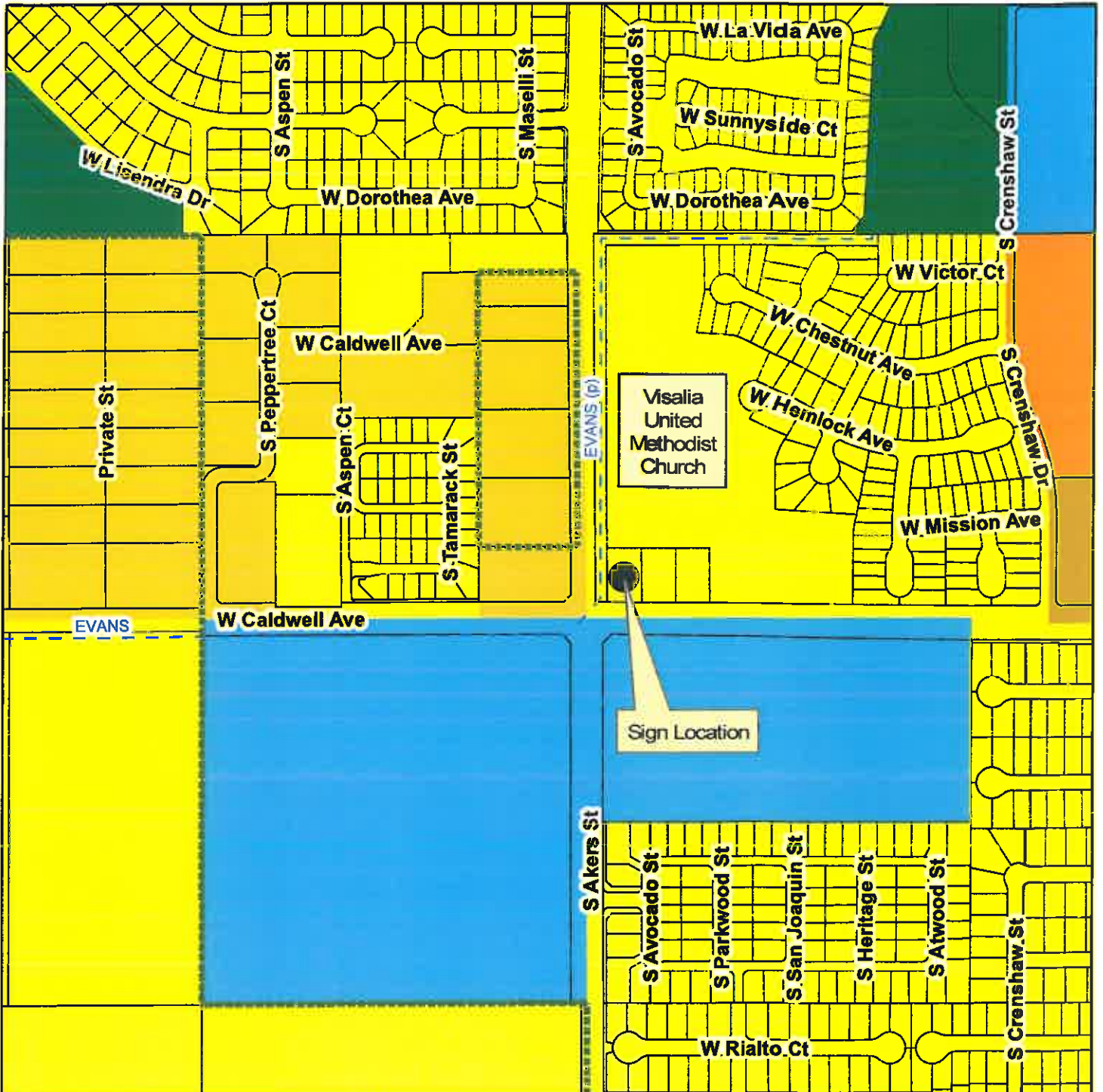
Each item of information that is displayed on the LED sign will stay up for a minimum of 6 seconds before the next item is displayed.

All information will be church related events taking place on the church property or church sponsored ministries / events that will take place off site.

Exhibit "C"

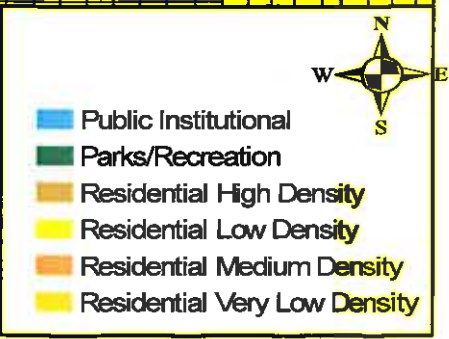
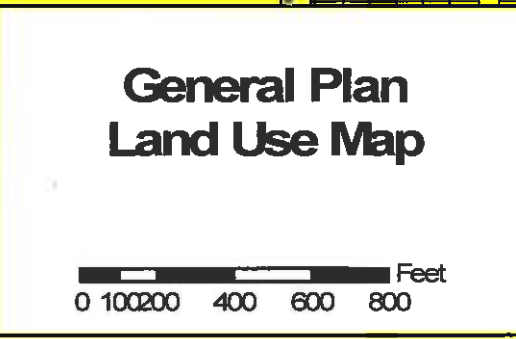
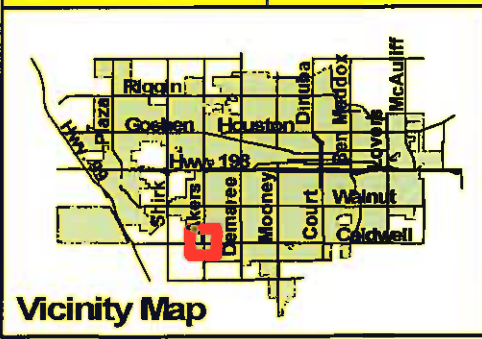
Conditional Use Permit No. 2016-29

The site is located at 5200 W. Caldwell Avenue, on the northeast corner of Akers Street and Caldwell Avenue. (APN: 119-060-008)



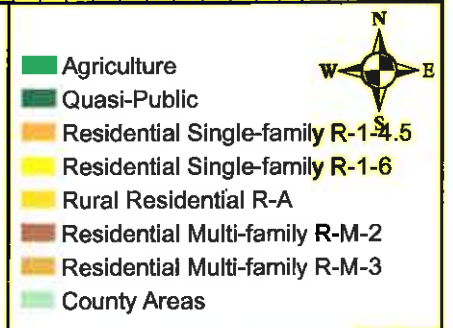
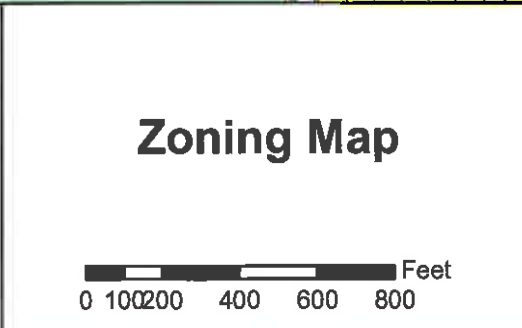
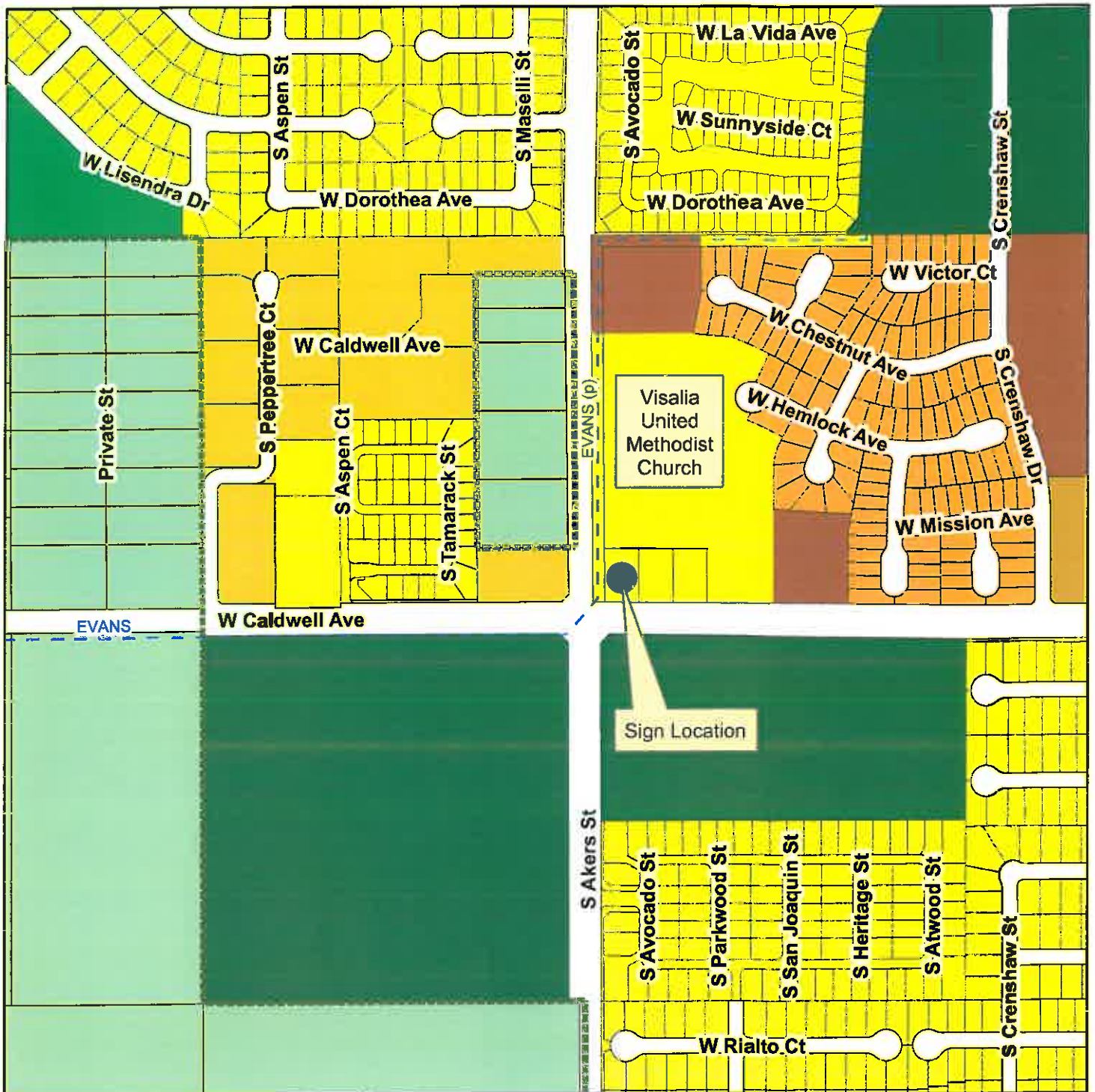
Visalia
United
Methodist
Church

Sign Location



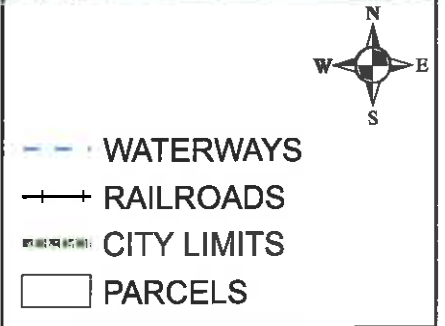
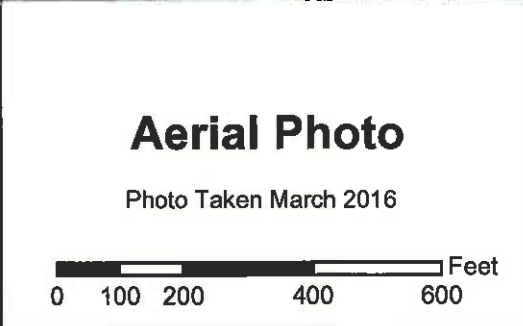
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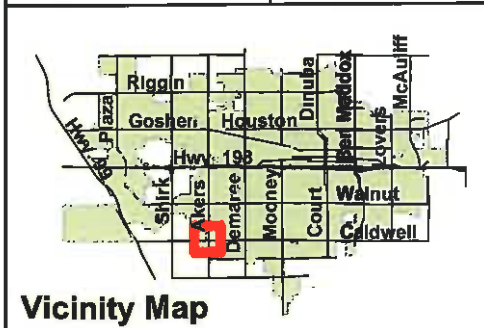
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The site is located at 5200 W. Caldwell Avenue, on the northeast corner of Akers Street and Caldwell Avenue. (APN: 119-060-008)



Conditional Use Permit No. 2016-29

The site is located at 5200 W. Caldwell Avenue, on the northeast corner of Akers Street and Caldwell Avenue. (APN: 119-060-008)



Location Map



- WATERWAYS
- RAILROADS
- CITY LIMITS
- PARCELS

