

## **Chapter 17.63**

### **MICRO-BREWERY/MICRO-WINERY OVERLAY DISTRICT**

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**Sections:**

- 17.62.010 Purpose and intent.**
- 17.63.020 Components of the Chapter.**
- 17.63.030 Definitions.**
- 17.63.040 Standard Operating Conditions.**

**17.63.010 Purpose and Intent.**

A. There is created a Micro-brewery/Micro-winery Overlay District, the boundaries of which are shown on the map entitled, "Micro-brewery/Micro-winery Overlay District", which is on file at city hall. Said map is adopted and made a part of this ordinance.

B. This chapter is enacted to preserve and promote the public health, safety, and welfare of the citizens of Visalia, and to facilitate businesses that specialize in the small-scale production and sale of crafted beverages. This chapter is also enacted to encourage the location of micro-brewery and micro-winery businesses in the East Downtown area. This is to:

1. Encourage, protect and enhance existing buildings, their productive re-use, and improvements in the East Downtown area.
2. Promote the vibrancy and sense of destination and place of the East Downtown area by establishing this area as the recognized center for craft brewing establishments.
3. Ensure that these establishments are compatible with each other and with existing and future uses within the East Downtown area.

**17.63.020 Components of the Chapter.**

This chapter shall include:

- A. The Ordinance text which specifies the micro-brewery/micro-winery overlay district and establishes specific standards pertaining to the district.

## City of Visalia Municipal Code Title 17 - Zoning Ordinance

B. A map designating the micro-brewery/micro-winery overlay district, which shall be depicted on the official zoning map of the city.

### 17.63.030 Definitions.

“Micro-brewery” An establishment that produces the range of brewed beer, ale, mead, hard cider and similar brewed beverages in quantities totaling 15,000 barrels or less per year (all beverage types combined) that are served on site and/or sold for off-site consumption. Service and sale of brewed beverages must be in conjunction with the regulations of the Alcohol Beverage Control (ABC) and Bureau of Alcohol, Tobacco, and Firearms (ATF). Service of brewed beverages may be conducted with or without the service of food. Taproom, Nano-brewery, Craft brewery, and Brewpub are included in this definition.

“Micro-winery” An establishment that produces fermented fruit wine in quantities totaling 10,000 cases or less per year (all varieties and labels combined) that are served on site and/or sold for off-site consumption. Service and sale of wine must be in conjunction with the regulations of the Alcohol Beverage Control (ABC) and Bureau of Alcohol, Tobacco, and Firearms (ATF). Service of wine may be conducted with or without the service of food. Tasting room and Boutique winery are included in this definition.

“Background entertainment” Non-amplified live music or performance intended to complement the primary venue, and for which no alteration of the physical or operational aspect of the primary use is made.

### 17.63.040 Standard Operating Conditions.

#### A. Uses within the Overlay District

1. All uses shall be subject to the Zoning Matrix use allowances, except that micro-brewery/micro-winery locations that occur coincidentally within the micro-brewery/micro-winery overlay district ~~Overlay District~~ and within the C-S (Service Commercial) ~~and or the C-DTD-MU (Mixed Use Downtown)~~ Zone District shall be permitted by right.
2. Zoning regulations for micro-brewery/micro-winery locations shall be those of their underlying Zone District ~~and Design District~~; except as follows:
  - a) Alcoholic beverages sold on site shall be only that produced by the operator.
  - b) Truck loading and unloading shall be limited to between the hours of 7:00am and 4:00pm daily.
  - c) Venting of brewing process shall be directed away from sidewalks and residences.
  - d) Outdoor storage shall be limited to an area of no more than 5% of the leasable floor area of the establishment. Outdoor storage shall be secured at all times and shall be fully screened from view.

City of Visalia Municipal Code Title 17 - Zoning Ordinance

e) Parking required for a micro-brewery/micro-winery use shall be determined by the allocation of interior floor space of the establishment, and at the prescribed ratios as contained in ~~VMC~~ Chapter 17.34 (Off-street parking and loading facilities). Portions of the floor area used for on-site consumption of beverages and/or food shall be parked at the prescribed restaurant ratio; brewing, bottling and warehousing of product produced or sold on site shall be parked at the prescribed industrial ratio; and, retail display of product for off-site sale shall be parked at the prescribed retail ratio.

EXHIBIT "B"

Properties Requiring General Plan Amendment to Land Use Map

APN_ID	ADDRESS	ZONE	EXISTING LAND USE DESIGNATION	NEW LAND USE DESIGNATION	EXISTING USE
078110012	N/A	Quasi-Public	Residential Very Low Density	PARKS/RECREATION	PARK SITE
090250064	2611 N. DINUBA	Residential, 1 Unit, 6,000 sq. ft.	Residential Low Density	P-I (PUBLIC INSITUTIONAL)	COUNTY BUILDING
077710007	6921 W. FERGUSON	Service Commercial	Commercial Service	P-I (PUBLIC INSITUTIONAL)	FIRE STATION
094054001	315 E. HOUSTON	Shopping/Office Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	VACANT COMMERCIAL BUILDING
094073027	400 NE 2ND AVE	Residential, 1 Unit, 6,000 sq. ft.	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	APARTMENTS
094071014	217 NE 3RD AVE	Residential, 1 Unit, 6,000 sq. ft.	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	VISALIA EMERGENCY AID COUNCIL
094044002	101, 105, 109, 113, 117 N. STRAWBERRY	Residential, 1 Unit, 6,000 sq. ft.	Residential Low Density	RMD (R-M-2)	APARTMENTS
094044001	405, 409, 411, 413 NW 2ND	Residential, 1 Unit, 6,000 sq. ft.	Residential Low Density	RMD (R-M-2)	APARTMENTS
094032013	1001 & 1005 N. COURT & 116 NW 3RD	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	COMMERCIAL BUILDINGS
094032009	N/A	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	PARKING LOT
094032010	130 NW 3RD	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	CHURCH
094032012	N/A	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	PARKING LOT
094033009	101 NE 3RD	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	RESTAURANT
094033008	107 NE 3RD	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	PARKING LOT
094033010	N/A	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	PARKING LOT

				MIXED USE)	
094033007	109 NE 3RD	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	VACANT HOUSE
094033006	117 NE 3RD	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	HOUSE
094033005	123 NE 3RD	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	HOUSE
094033004	127 NE 3RD	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	HOUSE
094033011	1006, 1008, 1012, 1020 N. COURT	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	COMMERCIAL BUILDINGS
094034011	902, 904 N. COURT & 202 NE 2ND AVE	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	COMMERCIAL BUILDING
094034001	914, 920, 924 N. COURT	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	RESTAURANT
094034002	N/A	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	VACANT
094034003	N/A	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	VACANT
094034004	N/A	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	VACANT
094034005	N/A	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	VACANT
094031008	907 N. COURT	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	COMMERCIAL BUILDING
094031009	210 NW 2ND	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	COMMERCIAL BUILDING
094031010	214 NW 2ND	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	HOUSE
094031020	919 N. COURT & 100 NW 3RD	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	COMMERCIAL BUILDING
094031019	109, 111 NW 3RD	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	COMMERCIAL BUILDING

				MIXED USE)	
094083001	741 N. SANTA FE	Shopping/Office Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	VISALIA RESCUE MISSION
094091003	111 N. ASH	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	COMMERCIAL BUILDING
094091001	734 N. COURT	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	COMMERCIAL BUILDING
094091002	814, 816 N. COURT	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	COMMERCIAL BUILDING
103260020	N/A	Residential, 1 Unit, 4,500 sq. ft.	Residential Low Density	O-S (OPEN SPACE)	PARK SITE / TRAIL AREA
093083035	1304 W. GOSHEN	Shopping/Office Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	COMMERCIAL BUILDING
093083034	1334 W. GOSHEN	Shopping/Office Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	COMMERCIAL BUILDING
094264017	539 N. SANTA FE	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	RESTAURANT
094264015	420, 505 N. SANTA FE	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	CARE FACILITY
094264012	523 N. SANTA FE	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	AUTO REPAIR SHOP
094264018	N/A	Central Business District	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	PARKING LOT
093083019	1414 W. GOSHEN	Shopping/Office Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	COMMERCIAL BUILDING
093083021	1412 W. SWITZER	Shopping/Office Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	COMMERCIAL BUILDING
093083020	1414 W. SWITZER	Shopping/Office Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	COMMERCIAL BUILDING
093083012	N/A	Shopping/Office Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	CAL WATER WELL SITE
085420035	N/A	Office Garden	Commercial Mixed Use	O-PA (OFFICE)	VACANT
085420036	N/A	Office Garden	Commercial Mixed Use	O-PA (OFFICE)	VACANT

			Use		
085420033	N/A	Office Garden	Commercial Mixed Use	O-PA (OFFICE)	VACANT
093173008	508 N. JOHNSON	Shopping/Office Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	VACANT / PARKING LOT / WAREHOUSE
093173009	604 W. MURRAY	Shopping/Office Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	MEAT MARKET /GLICKS
093173004	505 N. WILLIS	Shopping/Office Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	HOUSE
093172006	706 W. MURRAY	Shopping/Office Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	COMMERCIAL BUILDING
093172011	730 W. MURRAY	Shopping/Office Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	OFFICE
093172005	503 N. JOHNSON	Shopping/Office Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	HOUSE
093172008	504 W. MURRAY	Shopping/Office Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	HOUSE
093241008	1200, 1212 W. MURRAY	Shopping/Office Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	COMMERCIAL BUILDING
093241005	505 N. DUDLEY	Shopping/Office Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	HOUSE
093241007	1222, 1234 W. MURRAY	Shopping/Office Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	COMMERCIAL BUILDING
099987200	N/A	Shopping/Office Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	RAILROAD EASEMENT
093242018	1118-1136 W. MURRAY	Convenience Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	COMMERCIAL BUILDING
093242019	506 N. DUDLEY	Convenience Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	HOUSE
093242033	1106 W MURRAY	Convenience Commercial	Residential High Density	C-MU (COMMERCIAL MIXED USE)	COMMERCIAL BUILDING
093254019	N/A	Shopping/Office Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	PARKING LOT
093254018	422 N. PARK	Shopping/Office Commercial	Commercial Neighborhood	C-MU (COMMERCIAL MIXED USE)	UPHOLSTERY SHOP

				MIXED USE)	
093272004	N/A PAUL'S PARISH VISA	Office Conversion	Office	P-I (PUBLIC INSITUTIONAL)	PARKING LOT
097042008	N/A KDHCD	Professional/Admin. Office	Office	P-I (PUBLIC INSITUTIONAL)	PARKING LOT
097042007	N/A KDHCD	Professional/Admin. Office	Office	P-I (PUBLIC INSITUTIONAL)	PARKING LOT
097042009	N/A CITY PARKING LOT	Professional/Admin. Office	Commercial Mixed Use	P-I (PUBLIC INSITUTIONAL)	PARKING LOT
097042009	N/A CITY PARKING LOT	Professional/Admin. Office	Office	P-I (PUBLIC INSITUTIONAL)	PARKING LOT
119650028	N/A VUSD AG TECH PROP	Residential, 1 Unit, 3000 sq. ft.	Residential Medium Density	P-I (PUBLIC INSITUTIONAL)	FIELDS / AG TECH VUSD
119650027	5025 W. WALNUT	Residential, 1 Unit, 3000 sq. ft.	Residential Medium Density	P-I (PUBLIC INSITUTIONAL)	FIRE STATION
119640001	2049 S. LINWOOD	Quasi-Public	Residential Medium Density	P-I (PUBLIC INSITUTIONAL)	VUSD / AG TECH
119600037	2245 S. LINWOOD	Residential, 1 Unit, 6,000 sq. ft.	Residential Medium Density	P-I (PUBLIC INSITUTIONAL)	VUSD / AG TECH
119600036	5100 W. WHITENDALE	Residential, 1 Unit, 6,000 sq. ft.	Residential Medium Density	P-I (PUBLIC INSITUTIONAL)	BASIN - CITY OF VISALIA
119660001	5101 W. WHITENDALE	Residential, 1 Unit, 6,000 sq. ft.	Residential Medium Density	P-I (PUBLIC INSITUTIONAL)	VUSD / EL DIAMANTE SPORTS FIELD
119660001	N/A	Residential, 1 Unit, 3000 sq. ft.	Residential Medium Density	P-I (PUBLIC INSITUTIONAL)	VUSD / EL DIAMANTE SPORTS FIELD
091040031	N/A	Residential, 1 Unit, 4,500 sq. ft.	Residential Low Density	CONSERVATION	TRAIL AREA -- ST. JOHNS COV
103320053	N/A	Residential, 1 Unit, 20,000 sq. ft.	Residential Very Low Density	CONSERVATION	OPEN SPACE AREA -- COV
103320053	N/A	Residential, 1 Unit, 12,500 sq. ft.	Residential Low Density	P-I (PUBLIC INSITUTIONAL)	BASIN - CITY OF VISALIA
103410003	N/A	Residential, 1 Unit, 6,000 sq. ft.	Residential Low Density	P-I (PUBLIC INSITUTIONAL)	BASIN - CITY OF VISALIA
103470073	N/A	Residential, 1 Unit, 6,000 sq. ft.	Residential Low Density	CONSERVATION	TRAIL AREA -- COV



103410001	N/A	Residential, 1 Unit, 6,000 sq. ft.	Residential Low Density	CONSERVATION	OPEN SPACE AREA -- COV
103320058	N/A	Residential, 1 Unit, 6,000 sq. ft.	Residential Low Density	CONSERVATION	MILLCREEK TRAIL -- COV
103260019	N/A	Residential, 1 Unit, 4,500 sq. ft.	Residential Low Density	CONSERVATION	MILLCREEK TRAIL -- COV
103260020	N/A	Residential, 1 Unit, 4,500 sq. ft.	Residential Low Density	CONSERVATION	OPEN SPACE AREA -- COV
098330042	N/A	Residential, 1 Unit, 6,000 sq. ft.	Residential Medium Density	P-I (PUBLIC INSITUTIONAL)	BASIN - CITY OF VISALIA
094110017	N/A	Service Commercial	Commercial Mixed Use	P-I (PUBLIC INSITUTIONAL)	BASIN - CITY OF VISALIA
119800001	N/A	Residential, 1 Unit, 6,000 sq. ft.	Residential Low Density	P-I (PUBLIC INSITUTIONAL)	BASIN - CITY OF VISALIA
077100100	N/A	Quasi-Public	Parks/Recreation	RHD (R-M-3)	FARMLAND
077100101	N/A	Quasi-Public	Parks/Recreation	RMD (R-M-2)	FARMLAND
094-082- 010	404 NE 1ST	Service Commercial	Residential Low Density	C-MU (COMMERCIAL MIXED USE)	VISALIA RESCUE MISSION PROP. FORMER AC REPAIR SHOP (COMM. BLDG.)
094-044- 001	405, 407, 409, 411 NW 2ND AVE	Residential, 1 Unit, 6,000 sq. ft.	Residential Low Density	RMD (R-M-2)	2-STORY 4-PLEX (APARTMENTS)
094-073- 027	400 NE 2ND AVE	Residential, 1 Unit, 6,000 sq. ft.	Neighborhood Commercial	RLD (R-1)	8-PLEX (APARTMENTS)
094-034- 013	118 NE 3RD AVE	Central Business District	Residential High Density	C-MU (COMMERCIAL MIXED USE)	VACANT COMM. BLDG.
094-072- 020 & 021	301, 309 NE 3RD AVE	Residential, 1 Unit, 6,000 sq. ft.	Residential Low Density	C-MU (COMMERCIAL MIXED USE)	CARNICERIA JALISCO (SPECIALTY MEAT MARKET)
094-034- 015	209 GRANITE ST	Central Business District	Residential Low Density	RHD (R-M-3)	SFR (HOUSE)
094-034- 008	228 NE 2ND	Central Business District	Residential Low Density	RHD (R-M-3)	SFR (HOUSE)
094-034- 009	226 NE 2ND	Central Business District	Residential Low Density	RHD (R-M-3)	SFR (HOUSE)

094-034-016	224 NE 2ND	Central Business District	Residential Low Density	RHD (R-M-3)	4-PLEX (APARTMENTS)
094-034-017	222 NE 2ND	Central Business District	Residential Low Density	RHD (R-M-3)	4-PLEX (APARTMENTS)
094-034-017	218 NE 2ND	Central Business District	Residential Low Density	RHD (R-M-3)	DUPLEX
094-035-019	235 NE 2ND	Central Business District	Residential Low Density	RHD (R-M-3)	COMMERCIAL BUILDING
094-035-020	229 NE 2ND	Central Business District	Residential Low Density	RHD (R-M-3)	4-PLEX (APARTMENTS)
094-035-021	227 NE 2ND	Central Business District	Residential Low Density	RHD (R-M-3)	4-PLEX (APARTMENTS)
094-035-006	225 NE 2ND	Central Business District	Residential Low Density	RHD (R-M-3)	4-PLEX (APARTMENTS)
094-035-005	221 NE 2ND	Central Business District	Residential Low Density	RHD (R-M-3)	SFR (HOUSE)
094-035-004	215 NE 2ND	Central Business District	Residential Low Density	RHD (R-M-3)	2 SFR (HOUSES)
094-035-003	209 NE 2ND	Central Business District	Residential Low Density	RHD (R-M-3)	SFR (HOUSE)
094-035-002	N/A	Central Business District	Residential Low Density	C-MU (COMMERCIAL MIXED USE)	VACANT (USED BY MARKET NEXT DOOR)
094-035-001	201 NE 2ND	Central Business District	Residential Low Density	C-MU (COMMERCIAL MIXED USE)	CARNICERIA Y TAQUERIA NUEVA ITALIA (SPECIALTY MEAT MARKET)
094-240-037	210 N. TIPTON	Service Commercial	Service Commercial	C-MU (COMMERCIAL MIXED USE)	IMAGINE U (CHILDREN'S MUSEUM)
094-240-032	N/A	Service Commercial	Service Commercial	C-MU (COMMERCIAL MIXED USE)	IMAGINE U (CHILDREN'S MUSEUM)

**EXHIBIT "C"**  
**REVISIONS TO THE VISALIA GENERAL PLAN LAND USE MAP,  
 TITLE 17 (ZONING) ORDINANCE, AND ZONING MAP  
 RECOMMENDED BY THE VISALIA PLANNING COMMISSION**

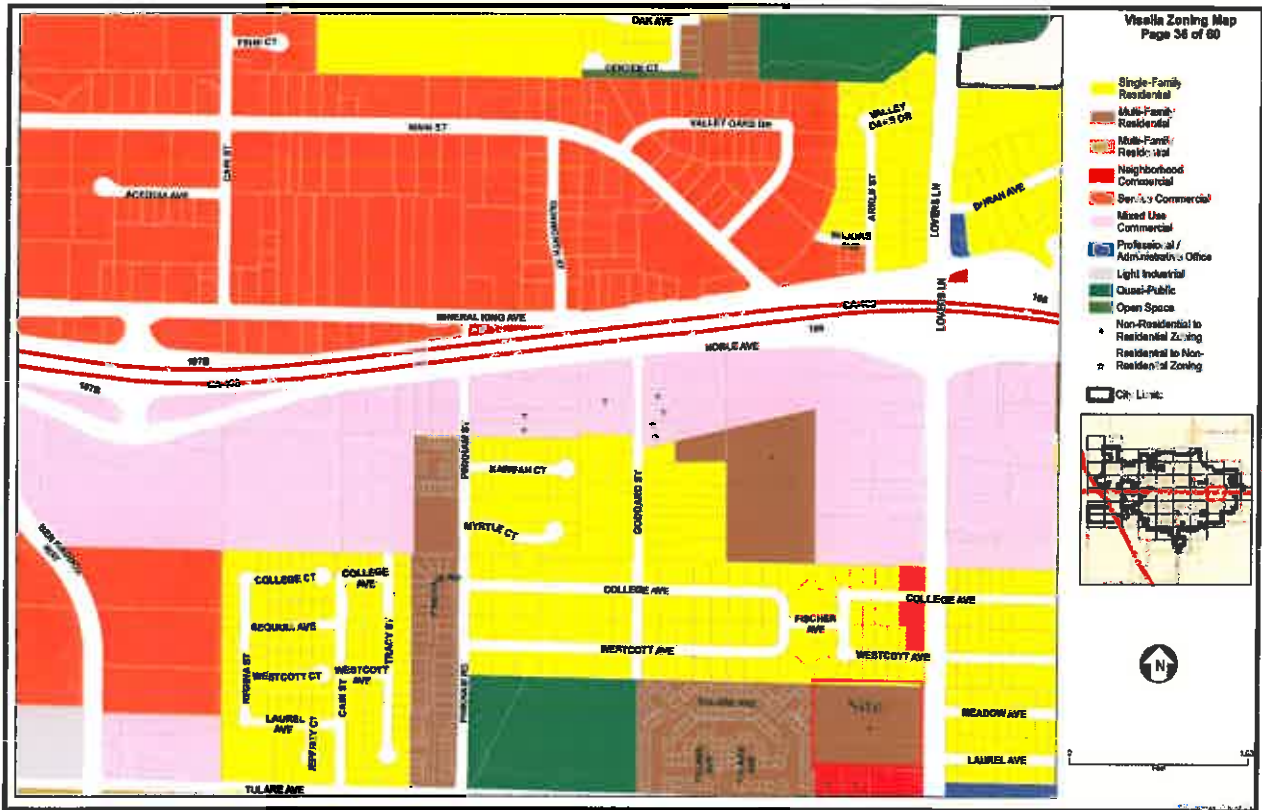
**Zone Map Book Reference Page:** No. 36

**Requestor:** Michael Porte, on behalf of Frank Abe

**Address:** N/A (APN: 100-120-019)

**Location:** West side of S. Lovers Ln. just north of the Lovers Ln. and Tulare Ave. intersection

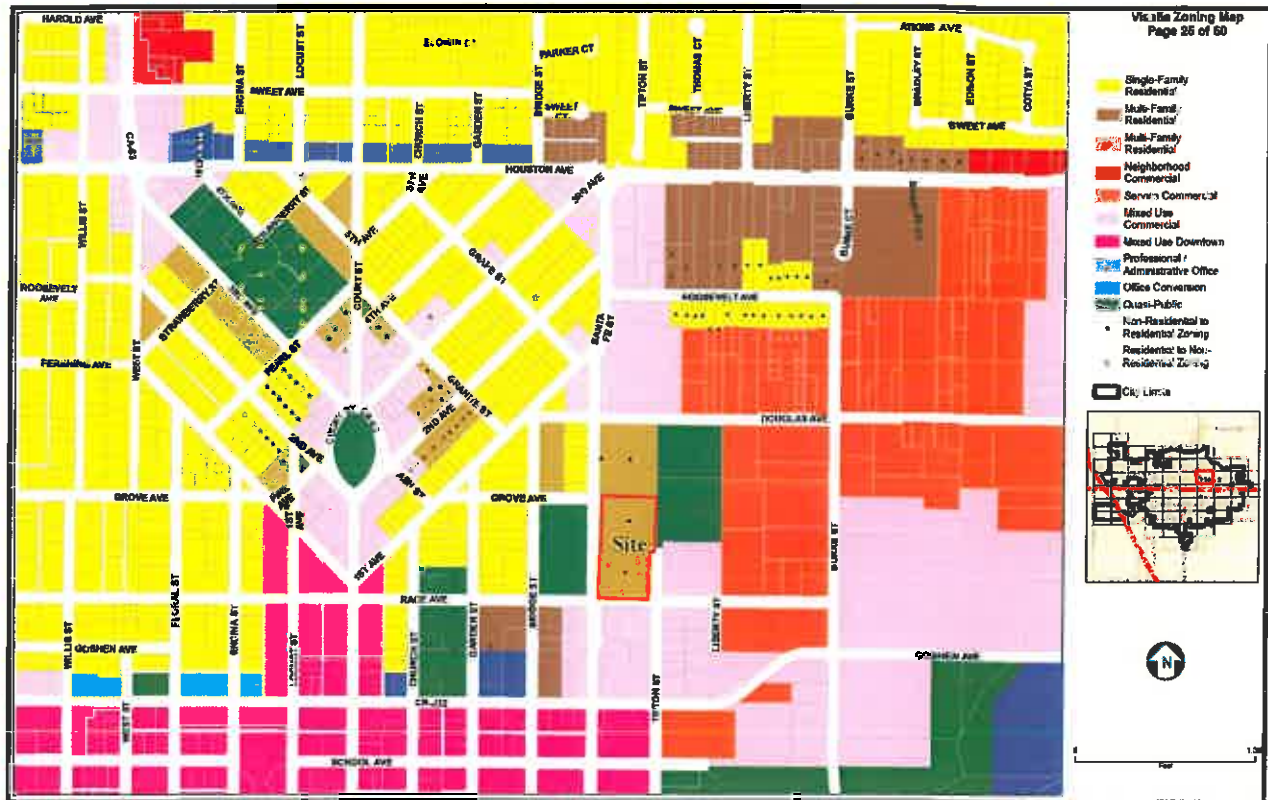
- Revise General Plan Land Use Map and Zoning Designation from Medium Density Residential to Commercial Mixed Use; corresponding Zoning Designation from C-SO (Shopping / Office Commercial) to C-MU (Commercial Mixed Use) for the 6.47-acre site.





**Zone Map Book Reference Page: No. 25**  
**Requestor: Greg Whitney, Property Owner**  
**Address: 500 E. Race Ave. & APN 094-110-013**  
**Location: N/E corner of N. Santa Fe. St. & E. Race Ave.**

- Revise General Plan Land Use Map and Zoning Designation from Medium Density Residential to Commercial Mixed Use; corresponding Zoning Designation from C-S (Service Commercial) to C-MU (Commercial Mixed Use) for 500 East Race Avenue & APN 094-110-013.





#### **Ref. Item No. 4**

**Zone Map Book Reference Page:** N/A

**Zoning Request:** Neighborhood Commercial Zoning

**Requestor:** Pamela Lopez and Katherine Singh on behalf of the Stonebridge Neighborhood Steering Committee

**Location:** Citywide

- Revise the Purpose and Intent language contained in Chapter 17.18.010.B.1. The revision to Chapter 17.18.010.B.1 are as follows:

**Planned** Neighborhood Commercial Zone (C-N). The purpose and intent of the **planned** neighborhood commercial zone district is to provide for **small-scale commercial development that primarily serves surrounding residential areas, wherein small office uses as well as horizontal or vertical residential mixed use are also supported.** Shopping centers in Neighborhood Commercial areas shall be anchored by a grocery store or similar business offering fresh produce, poultry, fish and meat, no individual tenant shall be larger than 40,000 square feet in size, include smaller in-line stores of less than 10,000 square feet, be developed on sites between 5 to 12 acres or as shown on the Land Use Diagram, integrated with surrounding neighborhood uses in terms of design, with negative impacts related to noise, lighting, scale and building mass, privacy, signage and parking be minimized, and located no closer than one mile from other General Plan designated Neighborhood Commercial locations, or from existing grocery stores. If residential uses are included, density should be 10 to 15 dwelling units per gross acre. Neighborhood Commercial development shall ensure that neighborhood commercial uses are economically viable and integrated into neighborhoods, with multimodal access and context-sensitive design. This may be done by requiring design measures that create a walkable environment and require local street and pedestrian connections with an emphasis on compatibility with the surrounding neighborhood. Alterations and additions in existing nonconforming centers may be permitted, subject to design review and conditions of approval to minimize neighborhood impacts.

- Remove Bars and Taverns from the Neighborhood Commercial zone by revising Table 17.25.030.E1 & E2 and eliminating "Conditionally Permitted" from the Neighborhood Commercial zone as follows:

City of Visalia Municipal Code Title 17 - Zoning Ordinance

Commercial, Mixed Use, Office, and Industrial Zones Use Matrix												
P = Use is Permitted by Right      C = Use Requires Conditional Use Permit												
T = Use Requires Temporary Use Permit      Black = Use is Not Allowed												
USE	Commercial and Mixed Use Zones					Office Zones			Industrial Zones		Special Use Standards (See identified Chapter or Section)	
	CZ	CR	CS	CNU	D-NU	O-PA	O-C	BRP	I-1	I-		
D6	Children - 15 or more	C	C	C	C	C	C	C	C	C	C	
D7	In Conjunction with Primary Use	P	P	P	P	P		P	P	P		
D8	Drive-Thru Lanes Meeting All Standards <del>17.32.162</del> Sect. 17.32.162	P	P	P	P		P		P			17.32.162
D9	Drive-Thru Lanes Not Meeting All Standards <del>17.32.162</del> Sect. 17.32.162	C	C	C	C		C		P			17.32.162
D10	Drive-Thru Lanes in Industrial Zone									C	C	17.32.161
<b>E</b>												
<b>EATING &amp; DRINKING ESTABLISHMENTS</b>												
E1	Bars/Taverns - within 300 feet of any residence/public use	<del>IP</del>	C		C							
E2	Bars/Taverns - not within 300 feet of any residence/public use	<del>IP</del>	P		C							
E3	Micro <del>brewery/breweries /</del> micro <del>winery/wineries</del>	C	P	C	C	C			C	C	C	17.63
E4	Cafeterias	P	P	P	P	P	C		P	C	C	

**Zone Map Book Reference Page:** N/A (Citywide)

**Requestor:** JR Robertson, Property Owner

**Location:** Citywide Request

- Establish "Craft Distilleries" as a new use in the Draft Zone Matrix (Chapter 17.25.030).
- Add "Craft Distilleries" to Table 17.25.030.
- Add "Craft Distilleries" as a "Permitted" use in in the Service Commercial (C-S) zone, Light Industrial (I-L) zone and Industrial (I) zone.
- Add "Craft Distilleries" as a "Conditionally Permitted" use in the Commercial Mixed Use (C-MU) and Downtown Mixed Use (D-MU) zones.



**Zone Map Book Reference Page: No. 26**

**Requestor:** Joe Petrosius and Robert Joubert, Henry Torres, Stephen Schenck

**Location:** 1110 N. Cain St. (APN: 098-170-004), 1124 N. Cain St. (APN: 098-170-001) 1809 E. Roosevelt Ct. (APN: 098-170-005)

- Revise General Plan Land Use Map from Medium Density Residential to Service Commercial for 1110 N. Cain St. (APN: 098-170-004), 1124 N. Cain St. (APN: 098-170-001) 1809 E. Roosevelt Ct. (APN: 098-170-005). Retain current Zoning Designation of C-S (Service Commercial) for 1110 N. Cain St. (APN: 098-170-004), 1124 N. Cain St. (APN: 098-170-001) 1809 E. Roosevelt Ct. (APN: 098-170-005).

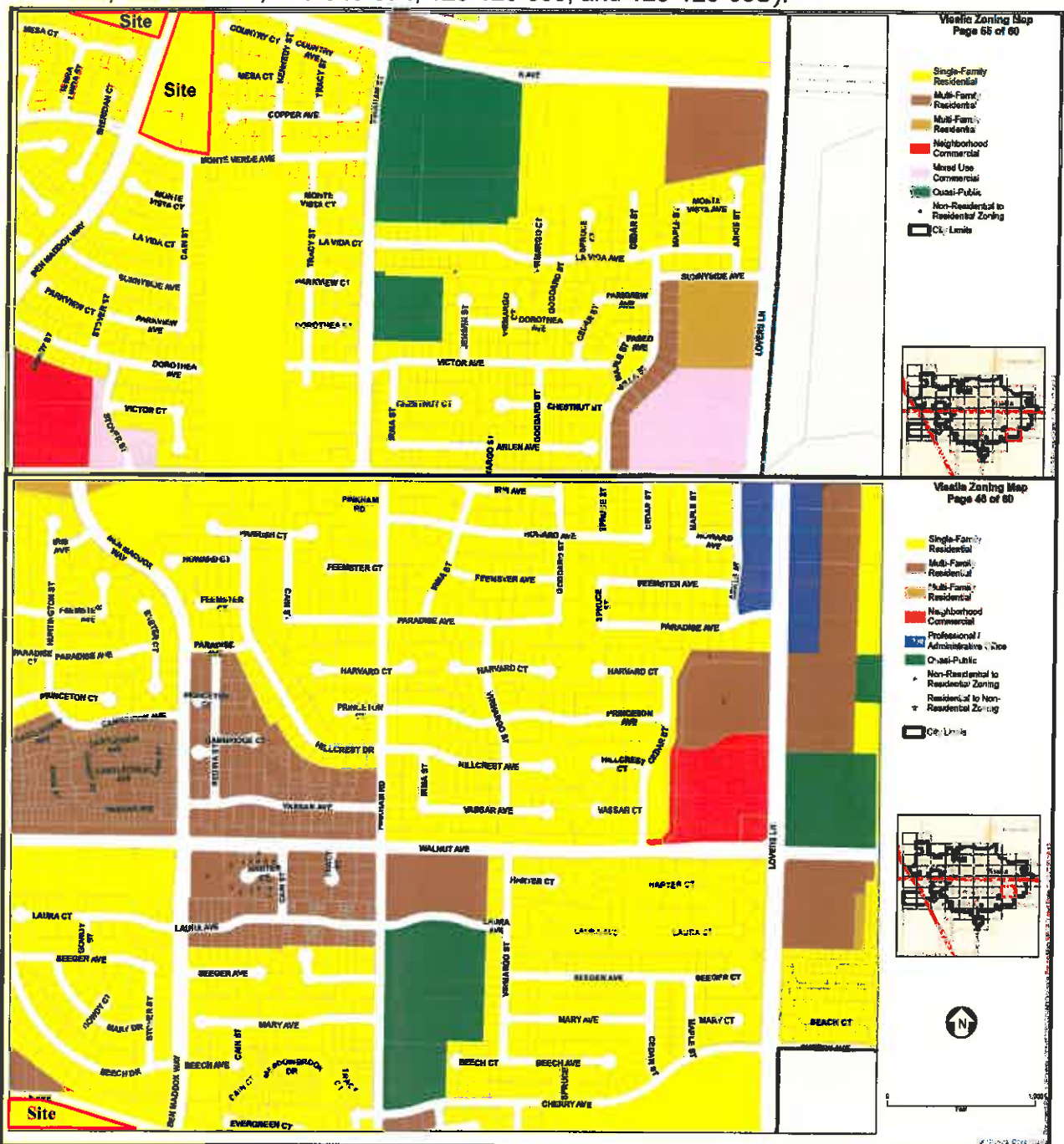


**Zone Map Book Reference Page: No. 46 & 55**

**Requestor:** Donald Fulbright, Castlewood Partners, Inc.

**Location:** Southeast and Southwest corners of South Ben Maddox Way and East K Avenue (APNs: 126-120-050; 126-560-060; 126-590-008; 126-640-074, 126-120-066, and 126-120-065)

- Revise General Plan Land Use Map from Low Density Residential to Medium Density Residential for the southeast and southwest corners of South Ben Maddox Way and East K Avenue (APNs: 126-120-050; 126-560-060; 126-590-008; 126-640-074, 126-120-066, and 126-120-065). Retain current Zoning Designation of R-M-2 (Multi-family Residential 3,000 sq. ft. minimum site area per unit) for the southeast and southwest corners of South Ben Maddox Way and East K Avenue (APNs: 126-120-050; 126-560-060; 126-590-008; 126-640-074, 126-120-066, and 126-120-065).



**Zone Map Book Reference Page: No. 25, 26**

**Requestor:** Del Beames, Bill Whitlach, Brad Thompson, and John Martinez

**Location:** All properties zoned C-SO along the eastside of N. Ben Maddox Way between E. Houston Ave. to the north and E. Goshen Ave. to the south.

- Revise General Plan Land Use Map from Commercial Mixed Use to Service Commercial and Zone properties from C-SO (Shopping / Office Commercial) to C-S (Service Commercial) for the following properties:

Address	APN	Property Owner
604 N. Ben Maddox Way	098-150-026	ANZAI DOROTHA W (TR) (DWA SURVIVORS TR)
632 N. Ben Maddox Way	098-150-006	DELBERT A BEAMES
642 N. Ben Maddox Way	098-150-007	PAMELA M RINGER
702 N. Ben Maddox Way	098-150-008	CHARLES L & CAROLYN M BALDWIN (TRS)
712 N. Ben Maddox Way	098-150-041	FRANK S JR & ELIZABETH A LOVERO (TRS)
724 N. Ben Maddox Way	098-150-040	CANVASSER LLC
744 N. Ben Maddox Way	098-230-012	THOMAS B & BEVERLEY G HUGHES (TRS)
800 N. Ben Maddox Way	098-230-013 & 098-230- 011	SIBEN L P
822 N. Ben Maddox Way	098-230-014	SCOTT & STACY ZINGER
832 N. Ben Maddox Way	098-230-015	RUSSELL C & KAREN S HILL (TRS)
904 N. Ben Maddox Way	098-230-016	GEORGE C OMARTIAN
910 N. Ben Maddox Way	098-230-017	JOHN & MARY ELLEN MARTINEZ
920 & 936 N. Ben Maddox Way	098-230-019	DELBERT A BEAMES
N/A	098-150-025	DON ROSE OIL COMPANY INC
N/A	098-150-003	T S T R PROPERTIES LP

N/A	098-150-002	T S T R PROPERTIES LP
N/A	098-150-004	T S T R PROPERTIES LPV
1526 & 1540 E. Goshen Ave.	098-150-042	ALAN HARLAN







# REPORT TO CITY OF VISALIA PLANNING COMMISSION

**HEARING DATE:** December 12, 2016  
**ENGINEER:** Leslie Blair, Senior Civil Engineer  
Phone No. (559) 713-4633

**SUBJECT:** Traffic Impact Analysis: Presentation on City of Visalia Procedures for Traffic Impact Analysis (TIA)

## DESCRIPTION

One of the goals from the Visalia 2030 General Plan Circulation Element is to provide an integrated transportation system for the safe and efficient movement of people and goods in the Visalia planning area. This is a comprehensive planning document that addresses the environmental impacts of traffic and the mitigation needed at a high level. As developments occur throughout the City and depending on their type and size, the need sometimes arises for a Traffic Impact Analysis (TIA) at a lower, more detailed level than addressed in the overall General Plan. The Traffic Impact Analysis (TIA) Procedures were established to meet this need. At the lower, more detailed level, a TIA is a useful tool for early identification of potential traffic problems and can play an important part in the success of a development as well as the overall City roadway network. When inadequate attention is given to the assessment of traffic impacts, problems such as on-site and/or off-site congestion, inadequate site access, and higher accident experience may result. A TIA provides opportunity to refine the development to eliminate problems or adjust to changed conditions. The intent of the more detailed TIA is to improve traffic circulation both onsite and offsite and analyze ingress and egress access points that is not done at the higher (General Plan) level. In other words, the TIA serves as document to identify any needs for traffic mitigation and further identifies areas of deficiency in need of traffic improvements (at the time of proposed development or by the City at a future date).

At the time of Site Plan Review (SPR), proposed developments are required to provide limited TIA information on their SPR Application. If insufficient information is provided or it is deemed that the project may have an impact on traffic within the City, the applicant may be required to provide further information and complete a TIA. The TIA may range from simply providing a Traffic Impact Statement to conducting a comprehensive Traffic Impact Study. The category of Traffic Impact Study required is dependent on the characteristics of the development and the estimated peak hour traffic volumes. The category of TIA required is outlined in the Procedure for Traffic Impact Analysis (TIA) handbook, see TIA Table 1 attached. Revisions were recently made to the threshold triggers requiring a TIA. This was done in an effort to streamline and enable the development process, but yet provide the City the necessary information to review and manage development-generated traffic.

Overall, the performance of a TIA provides an opportunity for the City and the developer to share information and jointly address potential traffic related problems before construction occurs and the correction becomes costly. It provides a means of balancing development needs with the functional integrity of the roadways that serve both the development and the region.

### Attachments:

- Procedures for Traffic Impact Analysis (TIA)
- TIA Table 1

**PROCEDURES FOR  
TRAFFIC IMPACT ANALYSIS (TIA)**  
*City of Visalia*



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Nick Mascia, City Engineer  
Community Development Department

**Updated September of 2016**

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## INTRODUCTION

Goal one of the City of Visalia Circulation Element Update is to provide an integrated transportation system for the safe and efficient movement of people and goods in the Visalia planning area. The review and management of development-generated traffic is an integral part of operating and maintaining a safe and efficient roadway system and meeting this goal. The Traffic Impact Analysis (TIA) Procedures as outlined in this document have been established to meet this objective. The procedures establish a range of traffic impact study categories based on the characteristics of the development and the estimated peak hour traffic volumes, while also outlining the analysis approach and methods.

A Traffic Impact Analysis, TIA, identifies existing traffic volumes and conditions, development traffic volumes and conditions and their combined impacts on the existing and future roadway system. The TIA is a useful tool for early identification of potential traffic problems and can play an important part in the success of a development as well as the overall City network. When insufficient attention is given to the assessment of traffic impacts, the following problems may result:

- On-site congestion and/or congestion on adjacent roadways
- Inadequate site access
- High accident experience
- Limited flexibility to modify the development to eliminate problems or adjust to changed conditions

These problems can negatively affect the success of a development and can damage the marketability and return on investment of the development. The performance of a TIA provides an opportunity for the City and the developer to share information and jointly address traffic related problems. It provides a means of balancing development needs with the functional integrity of the roadways that serve both the development and the region.

The need for a Traffic Impact Analysis should be assessed as early as possible in the development process when there is maximum flexibility for eliminating traffic-related problems directly and indirectly adjacent to the proposed development. Preparation of a TIA, at this stage in the development process, is also recommended in Chapter 2 "Site Planning" of the Institute of Transportation Engineers publication 'Transportation and Land Development'.



The procedures contained herein are provided to:

- Assist developers through the approval process by outlining the requirements and level of detail of traffic analysis that will be required of them during the approval process.
- Standardize the types and details of analysis required in the assessment of traffic impacts for developments with similar levels of size and intensity.
- Ensure consistency in the preparation and review of a TIA through standardization of the reports.

## **TIA STUDY**

The City Engineer or designee in accordance with Table 1 and the intent of these guidelines will determine the scope for the initial TIA or the need for a revised TIA. This can be done through the City's pre-application process or through a separate meeting for this purpose. If a TIA was done for the project at a site plan review level or with a discretionary entitlement, an addendum or update will be required if the original study is greater than two years old, if additional intersections or driveways are being added, if the new development is different from what was assumed in the master study causing an increase in trips generated, or if surrounding development has changed the background assumptions in the original study.

## **TIA CLASSIFICATIONS AND REQUIREMENTS**

Completing a Traffic Impact Questionnaire (TIQ) is the first step in determining the size and scope of TIA required for the site, whether it be a simple Traffic Impact Statement (TIS) as described under TIS - Category I to a comprehensive Traffic Impact Analysis under TIA – Categories II through IV. Although the TIQ and TIS do not require a Registered Professional Engineer or a Registered Traffic Engineer in California to prepare it, a Traffic Impact Analysis does. A TIA per the following guidelines will be required of all developments or additions to existing developments. The number of trips generated is to be determined from the Institute of Transportation (ITE) Trip Generation Manual, most recent edition. The developer must first estimate the number of vehicle trips generated by the proposed development using the procedures outlined in this document. The TIA category is determined by the number of trips generated in the development's peak hour. The development then needs to be analyzed to determine how their peak hour affects the surrounding streets. The developer must obtain the concurrence of the City Engineer or designated representative on the number of new trips generated by the development, and the appropriate analysis category. The TIA must

document all assumptions made such as for capture, pass-by, trip reduction, etc. Should the developer be unable to meet the approval of the City Engineer the developer may make an appeal to the City Engineer. The specific analysis requirements and level of detail are determined by the following categories:

***TIQ – TRAFFIC IMPACT QUESTIONNAIRE***

At the Site Plan Review level, all developments, including additions and/or changes in use to existing developments, are to complete the traffic impact section of the Site Plan Review application, or a Traffic Impact Questionnaire (TIQ). In many cases if the information provided by the applicant within the Site Plan Review application is completed in its entirety, it may be sufficient to serve as the project's initial TIQ. The TIQ is a tool used by the City to gather information regarding the type and scope of development. Information provided in this questionnaire will be reviewed to determine if a Traffic Impact Analysis (TIA) outlined herein needs to be completed in order to address a traffic concern..

***TIS – TRAFFIC IMPACT STATEMENT (CATEGORY I)***

Developments (nonresidential) generating less than 100 peak hour trips. This will require a lesser analysis and shall include at a minimum: The existing condition analysis, including any existing driveways or intersections in the vicinity, a sight distance evaluation, the traffic generation, the access number and spacing, an access queuing evaluation, and an on-site circulation evaluation.

***TIA - CATEGORY II***

Developments (nonresidential) which generate 100 or more peak hour trips but fewer than 500 trips; and residential developments generating 200 or more peak hour trips but fewer than 500 trips.

***TIA - CATEGORY III***

All developments which generate 500 or more peak hour trips but fewer than 1,000 trips.

***TIA - CATEGORY IV***

All developments which generate 1,000 or more peak hour trips but fewer than 1,500 trips.

## **TIA - CATEGORY V**

All developments which generate more than 1,500 trips.

## **ANALYSIS APPROACH AND METHODS**

### **STUDY AREA**

The minimum study area will be determined by project type and size in accordance with the criteria in Table 1. The City Engineer or designee may require expansion of the study area when the minimum study areas identified in Table 1 do not provide sufficient information to meet the intent of the Traffic Impact Analysis guidelines. For example, a large development in a rural area located two miles from a freeway interchange from which most of the trips are anticipated to access the development may require an enlarged study area to include assessment of the freeway interchange. Also an arterial intersection that falls just outside the study area radii shall also be included in the study area.

### **STUDY TIME FRAME**

The study should include, as a minimum, an analysis of the expected traffic conditions for the time period when the development is expected to open. The opening day conditions should include all of the proposed development traffic as if the development was fully completed and occupied.

The study horizon year is the future year that should be studied with the development. The existing background traffic shall be adjusted to provide a reasonable estimation of the traffic without the site in the horizon year. The horizon years are determined by the project type and size in accordance with the criteria in Table 1.

The study for phased construction developments should include an analysis for each year that planned new phase construction is to be started. In addition, the required 5, 10 or 20 year analysis after the start of the last phase of the development as stated above for the specific categories.

**TABLE 1**

Analysis Category	Development Characteristic (a)(f)	Study Horizons (b)	Minimum Study Area (c)(d)(e)
I	Traffic Impact Statement Less than 100 peak hour trips (Not required for residential)	<ul style="list-style-type: none"> <li>• Opening year</li> </ul>	<ul style="list-style-type: none"> <li>• Site access drives</li> <li>• Any existing driveways or intersections in the vicinity</li> </ul>
II	Small Development 100-499 peak hour trips  Residential Development 200-499 peak hour trips	<ul style="list-style-type: none"> <li>• Opening year</li> <li>• 5 year</li> </ul>	<ul style="list-style-type: none"> <li>• Site access drives</li> <li>• All major intersections within ½ mile of the study site, either signalized or unsignalized</li> <li>• All driveways/intersections where traffic movements could be affected by new driveway traffic movements</li> <li>• Additional locations as requested by the reviewing agency</li> </ul>
III	Moderate Development 500-999 peak hour trips	<ul style="list-style-type: none"> <li>• Opening year</li> <li>• 5 year</li> <li>• 10 year</li> </ul>	<ul style="list-style-type: none"> <li>• Site access drives</li> <li>• All major intersections within 1 mile, either signalized or unsignalized</li> <li>• All driveways/intersections where traffic movements could be affected by new driveway traffic movements</li> <li>• Additional locations as requested by the reviewing agency</li> </ul>
IV	Large Development 1000-1500 peak hour trips	<ul style="list-style-type: none"> <li>• Opening year</li> <li>• 5 year</li> <li>• 10 year</li> <li>• 20 year</li> </ul>	<ul style="list-style-type: none"> <li>• Site access drives</li> <li>• All major intersections within 1 mile, either signalized or unsignalized</li> <li>• All driveways/intersections where traffic movements could be affected by new driveway traffic movements</li> <li>• Additional locations as requested by the reviewing agency</li> </ul>
V	Regional Development 1500 plus peak hour trips	<ul style="list-style-type: none"> <li>• Opening year</li> <li>• 5 year</li> <li>• 10 year</li> <li>• 20 year</li> </ul>	<ul style="list-style-type: none"> <li>• Site access drives</li> <li>• All signalized intersections and major street intersections without signal control within 3 miles,</li> <li>• All driveways/intersections where traffic movements could be affected by new driveway traffic movements</li> <li>• Additional locations as requested by the reviewing agency</li> </ul>

- (a) The developer should first estimate the number of vehicle trips that will be generated by the proposed development and provide this information along with the other suggested study elements of the Traffic Impact Analysis to the City for review and approval prior to the start of any work.
- (b) Assume full occupancy and build-out for single-phase developments. Multi-phase developments may require assessment of up to three (3) horizon years corresponding to key phases as directed by the City Engineer.
- (c) An enlarged study area may be required when the minimum study areas identified in Table 1 do not provide sufficient information to meet the intent of the TIA guidelines.
- (d) Vicinity (where traffic movements could be affected) shall be the area along the perimeter of and adjacent to the development.
- (e) Intersections, if just outside of the designated radius of site to be studied, shall also be included in the study area.
- (f) For residential developments, TIA not required unless generating 200 or more peak hour trips.

## ***ANALYSIS TIME PERIODS***

The study should include an analysis of the impact of the development traffic for the typical adjacent street peak hour conditions on a typical weekday and an analysis of the impact of the development daily weekday traffic generation on the adjacent street system and site driveways. Typical periods for analysis are the morning and evening peak hours of the adjacent street system. Contact the City Engineer for the peak hour times to be analyzed. If the proposed project is expected to generate no trips or a very low number of trips during either the morning or evening peak periods, the requirement to analyze one or both of these periods may be waived by the City Engineer or designee.

In addition, if requested by the City for situations where the peak hour is not during the typical peak periods, additional time periods and or weekend analyses may be required in the study. If the development has unusual peaking characteristics or if the adjacent non-site traffic conditions warrant an analysis of other peak traffic time periods, these peak hours must also be analyzed.

## ***DATA COLLECTION***

All data is to be collected in accordance with the latest edition of the ITE Manual of Transportation Engineering Studies or as directed by the City Engineer or designee if not specifically covered in the ITE Manual. The Traffic Impact Analysis should include information on the following existing and proposed conditions within the study area as determined within the analysis category:

### ***Traffic Volumes***

- Existing and proposed traffic volumes for the adjacent existing and proposed intersections and driveways to include daily weekday, a.m. peak hour and p.m. peak hour (and other time periods as noted in the previous section). Daily traffic volumes should be provided as a 24-hour directional roadway section count and peak hour volumes should be provided by specific intersection or driveway turning movement directions.
- Available counts may be extrapolated a maximum of two years with concurrence of the City Engineer. Where daily count data are not available, mechanical counts may be required at the City Engineer's discretion.
- Projected traffic volumes should be based on available traffic projections from the Tulare County Association of Governments (TCAG), other appropriate documented traffic projection sources or historical traffic volume trends as approved by the City

Engineer. Projected traffic volumes shall include adjustments, as necessary, to reflect other adjacent future development

***Land Use***

- Existing and proposed land use in the study area that has been approved should be discussed and included in the study as it impacts the proposed development street system or driveways.

***Roadway Conditions***

- Existing and proposed roadway conditions shall be identified including pavement type, width, number of traffic lanes and configuration, medians, curb and gutter, speed limits, horizontal and vertical curvature, and traffic control devices.

***Crash Experience***

- Crash experience shall be documented for the past 36 month time period for the adjacent roadway system included within the study area. This data is to be used to help determine traffic control and identify potential corrections to the roadway system.

***TRIP GENERATION***

The trip generation for the proposed development shall be estimated using the latest edition of Trip Generation published by ITE. Exceptions to the use of this document must be approved by the City and may include actual traffic generation counts from a similar existing facility having the same size and surrounding area characteristics or from other recognized sources that provide trip generation data not included in the ITE manual.

If proposed within the Traffic Impact Analysis, adjustments to the site traffic generation should be documented to reflect site traffic interaction, pass-by traffic, use of other modes of transportation, carpooling or other means of trip reduction. Trip reduction methods should be discussed with the City prior to use within the report.

## **TRIP DISTRIBUTION AND ASSIGNMENT**

Site traffic shall be assigned to the proposed site driveways and street intersections included within the study area based on an analysis of the market area for the proposed development. The market area will vary based on the type and location of the development. However, as a minimum, the following guidelines should be used:

- Residential trip distribution should be based on the locations of employment and commercial attractions and the available street system.
- Commercial, industrial and office trip distribution should be based on the surrounding population densities and the available street system.

The area to be considered in the development of the site trip distribution should normally be within a 10-mile radius of the study site. However, other conditions of the proposed development, the adjacent street system and the location of site traffic attractors and generators may indicate the need to expand or reduce the area of influence.

## **TRAFFIC ANALYSIS**

The study should include an analysis of 1) the current year existing traffic conditions, 2) the future 'no-build' traffic conditions, and 3) traffic conditions with the addition of site traffic. Additional analysis years may be required if the project is phased. The following minimum items shall be included:

### ***Capacity Analysis***

- a. Level of service shall be computed for signal controlled and non-signal controlled intersections as identified in the Study Area in Table 1, in accordance with the latest edition of the Highway Capacity Manual.
- b. For signal-controlled intersections, operational analyses shall be performed for time horizons up to 5 years. Operational analyses shall also be performed for street sizing to ensure the appropriate classification 'width' is correct given the demand. The planning method will be acceptable for time horizons beyond 5 years and is also acceptable for Traffic Impact Analysis prepared at the Development Master Plan level, unless used for street sizing.
- c. For urban roadways, and rural highways where signal controlled intersections are at or less than 1 mile apart, the capacity of the roadway is generally dominated by the capacity of the adjacent signal controlled intersections. Roadway levels of service need not be computed for these facilities.

- d. For rural highways where the signal-controlled intersections are more than 1 mile apart, the level of service on the highway shall be estimated in accordance with the latest edition of the Highway Capacity Manual.

### ***Traffic Control Devices***

Study should include intersection and driveway traffic control device requirements using the Federal Highway Administration's (FHWA's) Manual on Uniform Traffic Control Devices for Streets and Highways (edition adopted by the California Department of Transportation).

### ***Traffic Signal Needs***

A traffic signal needs study shall be conducted for all arterial/arterial, arterial/collector and collector/collector intersections within the Study Area for the opening year. If the warrants are not met for the opening year, they should be evaluated for a 5-year horizon for Categories II, III, IV and V. The date at which the traffic signal is projected to be needed shall be provided in the analysis. When performing warrant analysis, the 8-Hour Warrant shall be considered as the minimum warrant required for a signal. All supporting documentation shall be included in the study. Coordination with the City of Visalia before submittal is recommended.

### ***Intersection and Driveway Geometrics***

The study should use recognized accepted formulas with documentation provided in the report. All roadway improvements need to comply with the City of Visalia General Plan and associated documents.

1. Analyze adequacy or need for additional through traffic lanes or auxiliary right or left turn lanes and include storage requirements.
2. Analyze potential conflicts of proposed driveway locations with existing and/or proposed adjacent driveways or intersection traffic lane configurations for the future total traffic conditions.

### ***Deceleration Lane Criteria***

If any of the criteria listed below is met, a deceleration lane is required.

1. At least 5,000 vehicles per day are using or are expected in the near future (five years after the development is built-out) to be using the adjacent street.
2. The posted speed limit is 35 mph or the 85<sup>th</sup> percentile speed limit is greater than 35 mph.



3. At **least** 1,000 vehicles per day are using or are expected to use the driveway(s) for the development or adjacent developments(s) (existing or future).
4. At least 40 vehicles are expected to make right turns into the driveway(s) for a one-hour period for the development or adjacent developments (existing or future).

### ***Queuing Analysis***

A queuing analysis shall be conducted for all turn lanes under stop or signal control within the study area. Examples for estimating queue lengths for signal controlled and non-signal controlled intersections are given below. In addition to these calculations, the TIA can use software that provides analysis; however, supporting documentation is required. In the event that the roadway leg is an arterial, the City of Visalia requires a minimum turn pocket storage length of 300 feet.

For signal controlled intersections, find the number of vehicles arriving at the intersection

$$\text{Vehicles/cycle (for random arrivals)} = (\text{vehicles/hour}) / (\text{cycles/hour})$$

$$\text{Storage length} = 2 \times (\text{vehicles/cycle}) \times (25 \text{ feet})$$

**Example:** Find the storage length required for 300 vph turning left if the signal cycle is 90 seconds.  $\text{Vehicles/cycle} = (300 \text{ veh/hr}) / ((1 \text{ cycle}/90 \text{ sec}) \times (3600 \text{ sec/hr})) = 7.5 \text{ veh/cycle}$

$$\text{Storage length} = 2 \times (7.5 \text{ veh/cycle}) \times (25 \text{ feet}) = 375 \text{ feet} \quad \underline{\underline{\text{USE 375 feet}}}$$

For non-signal controlled intersections, find the number of vehicles per average 2-minute period (AASHTO Green Book).

$$\text{Vehicles}/2 \text{ min period} = (\text{vehicles/hour}) / (30 \text{ periods/hour})$$

$$\text{Storage length} = (\text{vehicles}/2 \text{ min period}) \times 25 \text{ feet}$$

**Example:** Find the storage length required for 150 vehicles turning left at a nonsignal controlled intersection.

$$\text{Vehicles}/2 \text{ min period} = (150 \text{ veh/hr}) / (30 \text{ periods/hr}) = 5 \text{ vehicles}$$

Storage length = 5 veh x 25 feet = 125 feet     **USE 125 feet**

### ***Crash Summary***

Include crash summary and identification of trends and/or potential safety hazards.

### ***Speed Considerations***

Vehicle speed is used to estimate safe stopping and cross-corner sight distances. Sight distance shall conform to the American Association of State Highway and Transportation Officials (AASHTO) standards. The design speed used shall be ten miles above the posted speed limit.

### ***Other Analyses***

Other analyses as requested by the City or as may be required due to the type and location of the proposed development

1. Weaving Analyses
2. Parking Analyses
3. On-site circulation including queuing analyses at major on-site turning movement locations
4. Site access quantity, location and traffic lane configuration

## ***IMPROVEMENT ANALYSIS***

The roadways and intersections within the study area shall be analyzed with and without the proposed development to identify any projected impacts in regard to level of service and safety.

- a. Where an intersection will operate at a level of service below D, alternatives which mitigate these impacts shall be evaluated and included as potential recommendations within the study.
- b. Where a roadway will operate at a level of service below D, alternatives which mitigate these impacts shall be evaluated and included as potential recommendations within the study.

## **REPORT FORMAT**

A TIS Category I will require a Traffic Impact Statement. The Traffic Impact Statement will be a lesser report and shall include at a minimum the following: The existing condition analysis, including any existing driveways or intersections in the vicinity, a sight distance evaluation, the proposed traffic generation, the access number and spacing, an access queuing evaluation, and an on-site circulation evaluation.

TIA Categories II, III, IV, and V will require a full Traffic Impact Analysis and shall include the following items and report sections:

### ***INTRODUCTION AND SUMMARY***

- a) Title Page
- b) Table of Contents and List of Figures and Tables
- c) Introduction and Executive Summary
  - Site location and study area
  - Development description
  - Principal findings
  - Conclusions/Recommendations

### ***PROPOSED DEVELOPMENT (Site and Nearby)***

- a) Site location
- b) Land use and intensity
- c) Site plan (copy must be legible)
  - Access geometrics
- d) Development phasing and timing

### ***STUDY AREA CONDITIONS***

- a) Study area
  - Area of significant traffic impact (including road segments, intersections and driveways)
  - Market area
- b) Land use
  - Existing land use
  - Anticipated future development
- c) Site accessibility
  - Existing and future area roadway system
  - Site circulation

## ***ANALYSIS OF EXISTING CONDITIONS***

- d) Physical characteristics
  - Roadway characteristics (number of lanes, classification, etc.)
  - Traffic control devices
  - Transit service
  - Pedestrian/bicycle facilities
  - Nearby driveways
- b) Traffic volumes
  - Daily, morning, afternoon peak periods and others as required
- c) Level of service
  - Morning peak hour, afternoon peak hour, and others as required
- d) Safety related deficiencies, crash experience
- e) Data sources

## ***PROJECTED TRAFFIC***

- a) Site traffic forecasting (each horizon year)
  - Trip generation
  - Mode split (if applicable)
  - Pass-by traffic (if applicable)
  - Trip distribution
  - Trip assignment
- b) Non-site traffic forecasting (each horizon year)
  - Projections of non-site traffic by Tulare County Association of Governments (TCAG) may be used. For larger developments and study areas, a transportation planning model run may be required.
  - Total traffic (each horizon year)

## ***TRAFFIC AND IMPROVEMENTS ANALYSIS***

- a) Site access
- b) Level of service analysis
  - Without project (including programmed improvements for each horizon year)
  - With project (including programmed improvements for each horizon year)
- c) Roadway improvements
  - Improvements by City of Visalia or others to accommodate non-site traffic
  - Additional improvements necessary to accommodate site traffic
- d) Traffic safety
  - Sight distance
  - Acceleration/deceleration lanes, left-turn lanes
  - Adequacy of location and design of driveway access
- e) Pedestrian considerations
- f) Speed considerations

- g) Traffic control needs
- h) Traffic signal needs (base plus 5-year horizon)
- i) Effect on Signal Progression (if applicable)

### ***INTERNAL PROJECT SITE CIRCULATION (IF APPLICABLE)***

- a) Conflict points
  - Vehicle/vehicle
  - Vehicle/pedestrian
  - Sight distances
  - Building access delivery points
  - Drive-through lanes
- b) Design features
  - Widths of internal circulation roadways
  - Parking dimensions
  - Sight distance per AASHTO Standards
- c) Other features
  - Fire lanes
  - Delivery truck circulation/truck docks
  - Access to waste containers

### ***CONCLUSIONS / RECOMMENDATIONS***

- a) Roadway improvements
  - Phasing
- b) Site access
- c) Internal site circulation
- d) Transportation demand management actions (if appropriate)
- e) Other

### ***APPENDICES***

- a) Traffic counts
- b) Capacity analyses worksheets
- c) Traffic signal needs studies
- d) All supporting documentation for any warrants, studies, etc.

### ***EXHIBITS***

The following information shall be provided on clear and legible figures:

- a) Site location
- b) Site plan
- c) Existing transportation system(s) (Number of lanes, traffic control, etc.)
- d) Existing and future area development

- e) Existing daily traffic volumes
- f) Existing peak hour turning volumes
- g) Future transportation system
- h) Estimated site traffic (daily and peak periods)
- i) Directional distribution of site traffic (daily and peak periods)
- j) Total future traffic (peak periods)
- k) Queuing distance at study intersections, per lane (total traffic in peak periods)
- l) Protected levels of service including existing, horizon year non-site and horizon year total (with site development) conditions
- m) Recommended improvements

### ***REPORT SUBMITTALS***

The report shall be submitted at a minimum as four hard copies, a Word document, and PDF to the City for review. Additional copies of the report may be required for review by other adjacent public agencies. Communication with the City of Visalia before submittal of the Study is recommended.

## **DESIGN STANDARD REFERENCE**

- Design in accordance with the current City of Visalia Standards, current edition of the Highway Design Manual and other current California Department of Transportation policies, procedures and standards.
- Capacity analyses in accordance with the latest edition of the Highway Capacity Manual.
- Traffic Signal needs studies in accordance with the latest edition of Federal Highway Administration's (FHWA's) Manual on Uniform Traffic Control Devices for Streets and Highways (edition adopted by the California Department of Transportation).
- Data collection in accordance with the latest edition of the ITE Manual of Transportation Engineering Studies
- Trip generation in accordance with the latest edition of the ITE publication Trip Generation report.

## **COORDINATION WITH OTHER PUBLIC AGENCIES**

If applicable, the requirements for a Traffic Impact Analysis as noted in this document may need to be coordinated with the requirements of other local agencies such as adjacent cities or towns, the County of Tulare, or the California Department of Transportation (Caltrans). Any deviation from the requirements of this document due to the requirements of other agencies should be presented in written form to the City for review and approval or denial.

**TABLE 1**

Analysis Category	Development Characteristic (a)(f)	Study Horizons (b)	Minimum Study Area (c)(d)(e)
I	Traffic Impact Statement Less than 100 peak hour trips (Not required for residential)	<ul style="list-style-type: none"> <li>• Opening year</li> </ul>	<ul style="list-style-type: none"> <li>• Site access drives</li> <li>• Any existing driveways or intersections in the vicinity</li> </ul>
II	Small Development 100-499 peak hour trips  Residential Development 200-499 peak hour trips	<ul style="list-style-type: none"> <li>• Opening year</li> <li>• 5 year</li> </ul>	<ul style="list-style-type: none"> <li>• Site access drives</li> <li>• All major intersections within ½ mile of the study site, either signalized or unsignalized</li> <li>• All driveways/intersections where traffic movements could be affected by new driveway traffic movements</li> <li>• Additional locations as requested by the reviewing agency</li> </ul>
III	Moderate Development 500-999 peak hour trips	<ul style="list-style-type: none"> <li>• Opening year</li> <li>• 5 year</li> <li>• 10 year</li> </ul>	<ul style="list-style-type: none"> <li>• Site access drives</li> <li>• All major intersections within 1 mile, either signalized or unsignalized</li> <li>• All driveways/intersections where traffic movements could be affected by new driveway traffic movements</li> <li>• Additional locations as requested by the reviewing agency</li> </ul>
IV	Large Development 1000-1500 peak hour trips	<ul style="list-style-type: none"> <li>• Opening year</li> <li>• 5 year</li> <li>• 10 year</li> <li>• 20 year</li> </ul>	<ul style="list-style-type: none"> <li>• Site access drives</li> <li>• All major intersections within 1 mile, either signalized or unsignalized</li> <li>• All driveways/intersections where traffic movements could be affected by new driveway traffic movements</li> <li>• Additional locations as requested by the reviewing agency</li> </ul>
V	Regional Development 1500 plus peak hour trips	<ul style="list-style-type: none"> <li>• Opening year</li> <li>• 5 year</li> <li>• 10 year</li> <li>• 20 year</li> </ul>	<ul style="list-style-type: none"> <li>• Site access drives</li> <li>• All signalized intersections and major street intersections without signal control within 3 miles,</li> <li>• All driveways/intersections where traffic movements could be affected by new driveway traffic movements</li> <li>• Additional locations as requested by the reviewing agency</li> </ul>

- (a) The developer should first estimate the number of vehicle trips that will be generated by the proposed development and provide this information along with the other suggested study elements of the Traffic Impact Analysis to the City for review and approval prior to the start of any work.
- (b) Assume full occupancy and build-out for single-phase developments. Multi-phase developments may require assessment of up to three (3) horizon years corresponding to key phases as directed by the City Engineer.
- (c) An enlarged study area may be required when the minimum study areas identified in Table 1 do not provide sufficient information to meet the intent of the TIA guidelines.
- (d) Vicinity (where traffic movements could be affected) shall be the area along the perimeter of and adjacent to the development.
- (e) Intersections, if just outside of the designated radius of site to be studied, shall also be included in the study area.
- (f) For residential developments, TIA not required unless generating 200 or more peak hour trips.





# REPORT TO CITY OF VISALIA PLANNING COMMISSION

**HEARING DATE:** December 12, 2016

**PROJECT PLANNER:** Brandon Smith, Senior Planner  
Phone No. 713-4636; Email: brandon.smith@visalia.city

**SUBJECT:** Conditional Use Permit No. 2016-31: A request by Luis Patlan and Rachel Garza, amending approved Conditional Use Permit No. 2015-05, to include beer tasting to the operation plan for a wine tasting business in the C-DT (Central Business District Retail) zone. The project site is located at 115 E. Main Street. (APN: 094-298-004)

## STAFF RECOMMENDATION

Staff recommends approval of Conditional Use Permit No. 2016-31 based upon the findings and conditions in Resolution No. 2016-61. Staff's recommendation is based on the conclusion that the request is consistent with the General Plan and Zoning Ordinance.

## RECOMMENDED MOTION

I move to approve Conditional Use Permit No. 2016-31 based on the findings and conditions in Resolution No. 2016-61.

## PROJECT DESCRIPTION

Luis Patlan and Rachel Garza, owners of the Blend Wine Room, are requesting an amendment to a previously approved Conditional Use Permit to allow their business to also offer beer tasting in addition to wine tasting, as described in their revised operation plan included as Exhibit "B". Conditional Use Permit No. 2015-04 was approved by the Planning Commission to allow wine tasting and retail sales, and includes a condition that restricts the business operation to serve wine and other non-alcoholic drinks only. The applicants have expressed an interest to provide the option of serving craft beer to patrons who may prefer to consume beer while in the setting of a wine tasting establishment. No other aspects of the business operation, nor any aspect of the site plan / floor plan, are changing with the Amendment.

In similar fashion to the previously approved operational plan, the revised operation plan (revisions to the plan in Exhibit "B" are shown in underline) states that persons will be permitted to participate in samplings of wine or craft beer from the retail area. Persons wanting to purchase a full glass of wine or bottle of craft beer for on-site consumption must pay a one-time fee to become a private club member, which also entitles the person access to the lounge area or outdoor patio area.

The approved floor plan for the business, attached as Exhibit "A", consists of 1,337 square feet of floor space. The layout of the business consists of a retail display in the entry of the building and lounge and patio areas where customers may order off of a limited menu and/or consume wine and/or beer purchased on-site. Other portions of the tenant space include a converted outdoor patio area, kitchenette, office, and restrooms.

The business is located at 115 E. Main Street, Suite A, in the C-DT zone, and is anticipated to open in December 2016.

## **BACKGROUND INFORMATION**

General Plan Land Use Designation:	Central Business District
Zoning:	P-C-DT (Planned Central Business District Retail)
Surrounding Land Uses and Zoning:	North: P-C-DT / Commercial retail – Chelsea Street Boutique South: P-C-DT / City of Visalia Parking Lot East: P-C-DT / Commercial retail – Provoke Salon West: P-C-DT / Commercial retail – Colima Mexican Restaurant
Environmental Review:	Categorical Exemption No. 2016-62
Special Districts:	Design District “DRD”
Site Plan:	2014-104; 2016-064

### **RELATED PLANS & POLICIES**

The Zoning Ordinance Matrix specifies that wine tasting is a conditional use in several commercial zones including Central Business District Retail Commercial. See attached summary of related plans and policies for CUP requirements.

Zoning Text Amendment No. 2016-07, an amendment to the Zoning Ordinance pertaining to micro-breweries, micro-wineries, and wine tasting establishments, was adopted by the City Council on September 3, 2016. The additions and revisions to the Zoning Ordinance approved through the Amendment are included in the attached related plans and policies.

### **RELATED PROJECTS:**

On April 13, 2015, the Visalia Planning Commission reviewed and approved Conditional Use Permit No. 2015-05, a request by the applicants to allow a 1,337 sq. ft. wine tasting retail business with live music in the C-DT (Central Business District Retail) zone at 115 E. Main Street.

## **PROJECT EVALUATION**

Staff recommends approval of Conditional Use Permit No. 2016-31, as conditioned, based on the project’s consistency with the General Plan and the Zoning Ordinance.

### **Land Use Compatibility**

The site is situated within the C-DT-zoned downtown core area and Main Street. This area supports a wide mix of restaurant, retail, and office uses in its intent towards promoting the continued vitality of the downtown Visalia area, according to Section 17.18.010 of the Zoning Ordinance.

Staff noted in the project evaluation for Conditional Use Permit No. 2015-05 that approved the wine tasting retail shop that the business will bring an activity to the downtown that complements surrounding uses on the block consisting of restaurant and retail uses.

The C-DT zone allows for wine tasting venues and allows for bars in conjunction with a restaurant use, but does not allow for stand-alone bars and taverns allowed in conjunction with a restaurant (not including micro-breweries and micro-wineries as discussed below).

Staff has concluded that the use as depicted in the floor plan and as described in its operation statement establishes itself as a tasting room and retail operation, unlike a bar, tavern, or lounge. This is further highlighted by the availability of a menu for ordering sandwiches and appetizers. Based on these distinctions and based on the restriction of beer consumption to private club members, staff is in support of the sales of beer and would not consider the business to resemble a bar or tavern.

The recommended conditions of approval carried over from Conditional Use Permit No. 2015-05 include limiting hours of operation to 11:00 p.m. on Fridays and Saturdays (the State-issued license for alcohol sales further limits the close time to 10:00 p.m.) and to 9:00 p.m. on all other days, prohibiting the sale of distilled spirits, meeting all conditions of the State-issued Alcoholic Beverage Control license, and conditions pertaining to limited live entertainment.

#### City's Amendments to Micro-brewery/Micro-winery Uses

The recent changes to the Zoning Ordinance's regulation and permitting of micro-breweries and micro-wineries, adopted by the City Council on September 6, 2016, has helped to expand the path for a business model that is based upon alcohol tasting and whose operations include taprooms and tasting rooms. The changes to the City's Zoning Ordinance for the accommodation of micro-breweries and micro-wineries also included the elimination of a restaurant component in connection with the use. This essentially allows for an establishment for on-site alcohol consumption as a conditional use in the Downtown Commercial zoning and as a permitted use in the Overlay District centered on East Downtown, provided that the establishment meets the definition of a micro-brewery or micro-winery. By contrast, a traditional bar or tavern is not allowed in the Downtown Commercial Zoning.

Staff's recommendation in favor of allowing the inclusion of beer tasting to the subject site is further supported by the City's recent zoning amendments for alcoholic tasting venues meeting specific business criteria that separate its connotation with a bar, tavern, or lounge. This is backed by the floor plan and operation statement associated with the original use under Conditional Use Permit No. 2015-05, that strives to associate itself as a tasting room and not a bar. This is further highlighted by the retail store component and the availability of a menu for ordering sandwiches and appetizers.

#### Department of Alcoholic Beverage Control License

Following the approval of Conditional Use Permit No. 2015-05, the project proponents filed an application with the State Department of Alcoholic Beverage Control for an on-site beer and wine license. The Department issued a Type 42 conditional license to the proponents, a copy of which is attached as Exhibit "C".

A Type 42 license authorizes the sale of beer and wine for consumption on or off the premises where sold. Although the license allows for beer consumption, the conditions of the approved Conditional Use Permit No. 2015-05 do not allow for beer sales. If the proposed Amendment to Conditional Use Permit is approved by the Planning Commission, the proponents will be allowed to sell beer and wine under the issued license.

## Environmental Review

This project is considered Categorical Exempt under Section 15301 (Class 1) of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA) as an existing facility project (Categorical Exemption No. 2016-62).

Projects determined to meet this classification consist of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of the use beyond that existing at the time of the lead agency's determination. The types of "existing facilities" itemized in the Class 1 are not intended to be all-inclusive of the types of projects.

### **RECOMMENDED FINDINGS**

1. That the proposed project will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required finding of the Zoning Ordinance Section 17.38.110:
  - The proposed location of the conditional use permit is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located.
  - The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity.
3. That the project is considered Categorical Exempt under Section 15301 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2016-62).

### **RECOMMENDED CONDITIONS OF APPROVAL**

1. That the site be developed in substantial compliance with the comments and conditions of the Site Plan Review Committee as set forth under Site Plan Review No. 2014-104 and 2016-064.
2. That the site be developed in compliance with the site plan and floor plan shown in Exhibit "A". Substantial changes to the site plan and/or floor plan may require an amendment to the Conditional Use Permit.
3. That the site be operated in compliance with the operation statement shown in Exhibit "B". Prior to any operational changes in the site, the changes shall be reviewed by City staff for consistency with this permit. Substantial changes to the operation statement may require an amendment to the Conditional Use Permit.
4. That the hours of operation be limited to between 11:00 a.m. and 9:00 p.m. Sunday through Thursday and between 11:00 a.m. and 11:00 p.m. Friday and Saturday.
5. That the tasting and lounge areas are limiting to serving only wine, beer, and other non-alcoholic drinks only. Distilled spirits are not permitted to be served at the site.
6. That the live entertainment shall be restricted only to live musical acts performing during business hours when wine tastings and menu items are offered. Any subsequent change to

the nature of the live entertainment shall require an amendment to the Conditional Use Permit.

7. That dancing not be allowed in association with live music or channeled music.
8. That the maximum occupancy limits established by the Visalia Building Department and Fire Marshal shall be posted and not exceeded.
9. That all conditions and responsibilities associated with the Conditional Use Permit shall run with the land. The business operator shall provide a copy of this resolution and conditions of approval to any and all subsequent business operators who shall also be subject to all of the conditions herein, unless amended or revoked.
10. That all applicable federal, state, regional, county and city laws, codes and ordinances be met.
11. That the applicant shall obtain and meet all applicable conditions of a license issued by State of California Alcoholic Beverage Control.
12. The City Planner may initiate a Conditional Use Permit revocation hearing pursuant to Visalia Municipal Code Section 17.38.040, based on documented evidence of failure to comply with any conditions of:
  - a. Conditional Use Permit No. 2016-31;
  - b. The Alcoholic Beverage Control license for the business;
  - c. Any and all applicable federal, state and city laws, codes and ordinances.
13. That the applicant submit to the City of Visalia a signed receipt and acceptance of conditions from the applicant and property owner, stating that they understand and agree to all the conditions of Conditional Use Permit No. 2016-31.

## APPEAL INFORMATION

According to the City of Visalia Zoning Ordinance Section 17.02.145, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal form with applicable fees shall be filed with the City Clerk at 220 N. Santa Fe Street, Visalia, CA 93292. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website [www.visalia.city](http://www.visalia.city) or from the City Clerk.

### Attachments:

- Related Plans & Policies
- Resolution
- Exhibit "A" – Site Plan / Floor Plan
- Exhibit "B" – Operation Statement
- Exhibit "C" – Copy of Conditional License issued by Department of Alcoholic Beverage Control, State of California
- Site Plan Review Comments
- General Plan Land Use Map
- Zoning Map
- Aerial Map
- Vicinity Map



## RELATED PLANS AND POLICIES

**Visalia Municipal Code  
Title 17: Zoning Ordinance**

**Chapter 17.18.050: Zoning Use Matrix (Excerpt)**

		CC	C-N	C-SO	C-CM	C-R	C-DT	C-H	C-S	B-R-P	I-L	I-H
87	Microbreweries/micro-winery <del>restaurant</del> <del>brewing, limited</del> <del>bottling or packaging</del> <del>consumption on</del> <del>premises or distribution</del> <del>locally in kegs (not for</del> <del>resale)</del>		C	C	C	P	C	C	C	C	C	C
357	Wine Tasting		C	C	C	P	C	C	C	C	C	C

**Chapter 17.63: Micro-Brewery/Micro-Winery Overlay District**

**17.63.010 Purpose and Intent**

A. There is created a Micro-brewery/Micro-winery Overlay District, the boundaries of which are shown on the map entitled, "Micro-brewery/Micro-winery Overlay District", which is on file at city hall. Said map is adopted and made a part of this ordinance.

B. This chapter is enacted to preserve and promote the public health, safety, and welfare of the citizens of Visalia, and to facilitate businesses that specialize in the small-scale production and sale of crafted beverages. This chapter is also enacted to encourage the location of micro-brewery and micro-winery businesses in the East Downtown area. This is to:

1. Encourage Protect and enhance existing buildings, their productive re-use, and improvements in the East Downtown area.
2. Promote the vibrancy and sense of destination and place of the East Downtown area by establishing this area as the recognized center for craft brewing establishments.
3. Ensure that these establishments are compatible with each other and with existing and future uses within the East Downtown area, and with existing sensitive uses such as residences, schools, places of worship and attractions for youths.

**17.63.020 Components of the Chapter.**

This chapter shall include:

- A. The Ordinance text which specifies the micro-brewery/micro-winery overlay district and establishes specific standards pertaining to the district.
- B. A map designating the micro-brewery/micro-winery overlay district, which shall be depicted on the official zoning map of the city.

**17.63.030 Definitions**

"Micro-brewery" An establishment that produces the range of brewed beer, ale, mead, hard cider and similar brewed beverages in quantities totaling 15,000 barrels or less per year (all beverage types combined) that are served on site and/or sold for off-site consumption. Service and sale of brewed beverages must be in conjunction with the regulations of the Alcohol Beverage Control (ABC) and



*Bureau of Alcohol, Tobacco, and Firearms (ATF). Service of brewed beverages may be conducted with or without the service of food. Taproom, Nano-brewery, Craft brewery, and Brewpub are included in this definition.*

*"Micro-winery" An establishment that produces fermented fruit wine in quantities totaling 10,000 cases or less per year (all varieties and labels combined) that are served on site and/or sold for off-site consumption. Service and sale of wine must be in conjunction with the regulations of the Alcohol Beverage Control (ABC) and Bureau of Alcohol, Tobacco, and Firearms (ATF). Service of wine may be conducted with or without the service of food. Tasting room and Boutique winery are included in this definition.*

*"Background entertainment" Non-amplified live music or performance intended to complement the primary venue, and for which no alteration of the physical or operational aspect of the primary use is made.*

### **17.63.040 Standard Operating Conditions**

#### **A. Uses within the Overlay District**

*1. All uses shall be subject to the Zoning Matrix use allowances, except that micro-brewery/micro-winery locations that occur coincidentally within the Overlay District and within the C-S (Service Commercial) and C-DT Zone District shall be permitted by right.*

*2. Zoning regulations for micro-brewery/micro-winery locations shall be those of their underlying Zone District and Design District; except as follows:*

*a) Micro-brewery/micro-winery locations shall be separated by at least 200 feet from any legally established sensitive use (school intended or minor children, children's museums, parks, and places of worship) in use as of the effective date of the Ordinance establishing the Overlay District.*

*i. Distance shall be measured by the most direct pedestrian path of travel from both the front entrance and rear exit to the edge of parcel of the sensitive use.*

*ii. Separation of a micro-brewery/micro-winery by less than 200 feet from a sensitive use that was legally established as of the effective date of the Ordinance establishing the Overlay District may be approved by a Conditional Use Permit (CUP) processed pursuant to Chapter 17.38 of this Title 17.*

*b) Alcoholic beverages sold on site shall be only that produced by the operator.*

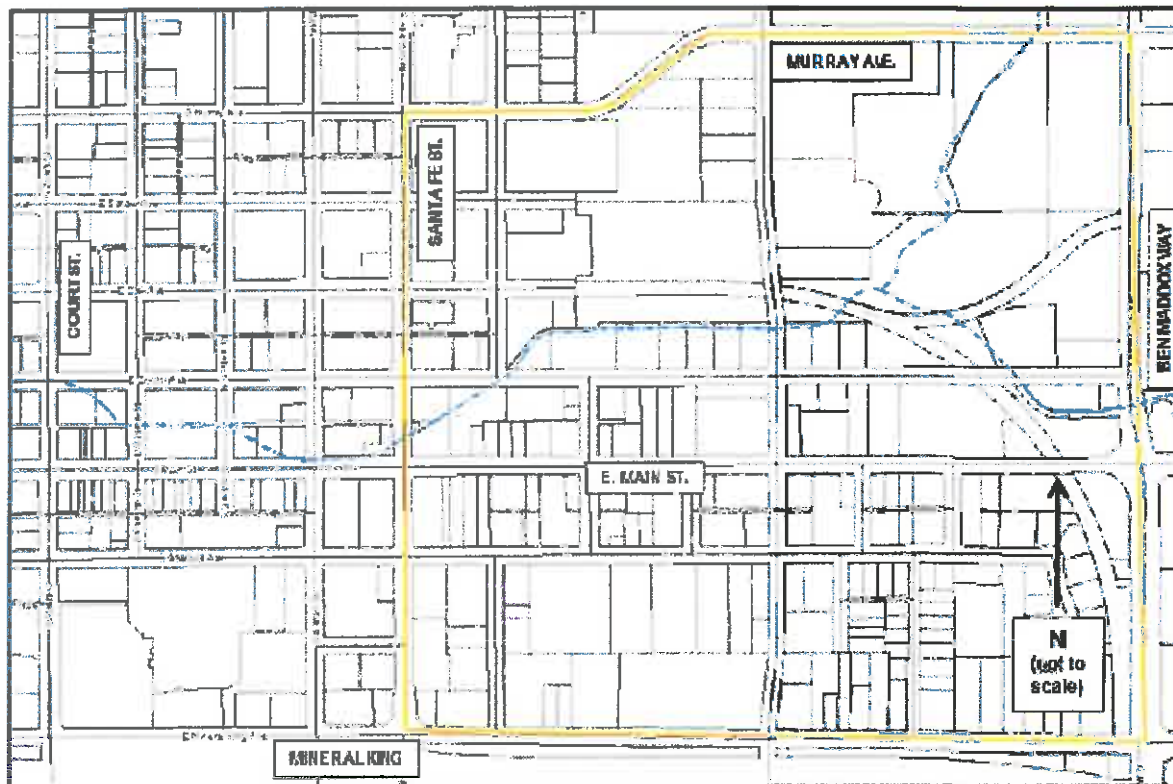
*c) Truck loading and unloading shall be limited to between the hours of 7:00am and 4:00pm daily.*

*d) Venting of brewing process shall be directed away from sidewalks and residences*

*e) Outdoor storage shall be limited to an area of no more than 5% of the leasable floor area of the establishment. Outdoor storage shall be secured at all times and shall be fully screened from view.*

*f) Parking required for a micro-brewery/micro-winery use shall be determined by the allocation of interior floor space of the establishment, and at the prescribed ratios as contained in VMC Chapter 17.34 (Off-street parking and loading facilities). Portions of the floor area used for on-site consumption of beverages and/or food shall be parked at the prescribed restaurant ratio; brewing, bottling and warehousing of product produced or sold on site shall be parked at the prescribed industrial ratio; and, retail display of product for off-site sale shall be parked at the prescribed retail ratio.*

## Micro-Brewery/Micro-Winery Overlay District



### Chapter 17.38: Conditional Use Permits

#### **17.38.010 Purposes and powers.**

In certain zones conditional uses are permitted subject to the granting of a conditional use permit. Because of their unusual characteristics, conditional uses require special consideration so that they may be located properly with respect to the objectives of the zoning ordinance and with respect to their effects on surrounding properties. In order to achieve these purposes and thus give the zone use regulations the flexibility necessary to achieve the objectives of this title, the planning commission is empowered to grant or deny applications for conditional use permits and to impose reasonable conditions upon the granting of such permits. (Prior code § 7525)

#### **17.38.030 Lapse of conditional use permit.**

A conditional use permit shall lapse and shall become void twenty-four (24) months after the date on which it became effective, unless the conditions of the permit allowed a shorter or greater time limit, or unless prior to the expiration of twenty-four (24) months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site which was the subject of the permit. A permit may be renewed for an additional period of one year; provided, that prior to the expiration of twenty-four (24) months from the date the permit originally became effective, an application for renewal is filed with the planning commission. The commission may grant or deny an application for renewal of a conditional use permit. In the case of a planned residential development, the recording of a final map and improvements thereto shall be deemed the same as a building permit in relation to this section. (Ord. 2001-13 § 4 (part), 2001: prior code § 7527)

#### **17.38.040 Revocation.**

Upon violation of any applicable provision of this title, or, if granted subject to a condition or conditions, upon failure to comply with the condition or conditions, a conditional use permit shall be suspended automatically. The planning commission shall hold a public hearing within sixty (60) days, in accordance with the procedure prescribed in Section 17.38.080, and if not satisfied that the regulation, general provision or condition is being complied with, may revoke the permit or take such action as may be necessary to insure compliance with the regulation, general provision or condition. Appeals of the decision of the planning commission may be made to the city council as provided in Section 17.38.120. (Prior code § 7528)

#### **17.38.060 Conditional use permit to run with the land.**

A conditional use permit granted pursuant to the provisions of this chapter shall run with the land and shall continue to be valid upon a change of ownership of the site or structure which was the subject of the permit application subject to the provisions of Section 17.38.065. (Prior code § 7531)

#### **17.38.065 Abandonment of conditional use permit.**

If the use for which a conditional use permit was approved is discontinued for a period of one hundred eighty (180) days, the use shall be considered abandoned and any future use of the site as a conditional use will require the approval of a new conditional use permit.

#### **17.38.080 Public hearing--Notice.**

- A. The planning commission shall hold at least one public hearing on each application for a conditional use permit.
- B. Notice of the public hearing shall be given not less than ten days nor more than thirty (30) days prior to the date of the hearing by mailing a notice of the time and place of the hearing to property owners within three hundred (300) feet of the boundaries of the area occupied or to be occupied by the use which is the subject of the hearing, and by publication in a newspaper of general circulation within the city. (Prior code § 7533)

#### **17.38.090 Investigation and report.**

The planning staff shall make an investigation of the application and shall prepare a report thereon which shall be submitted to the planning commission. (Prior code § 7534)

#### **17.38.100 Public hearing--Procedure.**

At the public hearing the planning commission shall review the application and the statement and drawing submitted therewith and shall receive pertinent evidence concerning the proposed use and the proposed conditions under which it would be operated or maintained, particularly with respect to the findings prescribed in Section 17.38.110. The planning commission may continue a public hearing from time to time as it deems necessary. (Prior code § 7535)

#### **17.38.110 Action by planning commission.**

- A. The planning commission may grant an application for a conditional use permit as requested or in modified form, if, on the basis of the application and the evidence submitted, the commission makes the following findings:
  - 1. That the proposed location of the conditional use is in accordance with the objectives of the zoning ordinance and the purposes of the zone in which the site is located;
  - 2. That the proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.

- B. A conditional use permit may be revocable, may be granted for a limited time period, or may be granted subject to such conditions as the commission may prescribe. The commission may grant conditional approval for a permit subject to the effective date of a change of zone or other ordinance amendment.
- C. The commission may deny an application for a conditional use permit. (Prior code § 7536)\

**17.38.120 Appeal to city council.**

The decision of the City planning commission on a conditional use permit shall be subject to the appeal provisions of Section 17.02.145. (Prior code § 7537) (Ord. 2006-18 § 6, 2007)

**17.38.130 Effective date of conditional use permit.**

A conditional use permit shall become effective immediately when granted or affirmed by the council, or upon the sixth working day following the granting of the conditional use permit by the planning commission if no appeal has been filed. (Prior code § 7539)

RESOLUTION NO. 2016-61

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2016-31: A REQUEST BY LUIS PATLAN AND RACHEL GARZA, AMENDING APPROVED CONDITIONAL USE PERMIT NO. 2015-05, TO INCLUDE BEER TASTING TO THE OPERATION PLAN FOR A WINE TASTING BUSINESS IN THE C-DT (CENTRAL BUSINESS DISTRICT RETAIL) ZONE. THE PROJECT SITE IS LOCATED AT 115 E. MAIN STREET. (APN: 094-298-004)

**WHEREAS**, Conditional Use Permit No. 2016-31 is a request by Luis Patlan and Rachel Garza, amending approved Conditional Use Permit No. 2015-05, to include beer tasting to the operation plan for a wine tasting business in the C-DT (Central Business District Retail) zone. The project site is located at 115 E. Main Street. (APN: 094-298-004); and

**WHEREAS**, the Planning Commission of the City of Visalia, after duly published notice did hold a public hearing before said Commission on December 12, 2016; and

**WHEREAS**, the Planning Commission of the City of Visalia finds Conditional Use Permit No. 2016-31, as conditioned by staff, to be in accordance with Section 17.38.110 of the Zoning Ordinance of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and

**WHEREAS**, the project is considered Categorical Exempt under Section 15301 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA) (Categorical Exemption No. 2016-62).

**NOW, THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Visalia makes the following specific findings based on the evidence presented:

1. That the proposed project will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required finding of the Zoning Ordinance Section 17.38.110:
  - The proposed location of the conditional use permit is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located.
  - The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, nor materially injurious to properties or improvements in the vicinity.
3. That the project is considered Categorical Exempt under Section 15301 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). (Categorical Exemption No. 2016-62).



**BE IT FURTHER RESOLVED** that the Planning Commission hereby approves the Conditional Use Permit on the real property hereinabove described in accordance with the terms of this resolution under the provisions of Section 17.38.110 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the site be developed in substantial compliance with the comments and conditions of the Site Plan Review Committee as set forth under Site Plan Review No. 2014-104 and 2016-064.
2. That the site be developed in compliance with the site plan and floor plan shown in Exhibit "A". Substantial changes to the site plan and/or floor plan may require an amendment to the Conditional Use Permit.
3. That the site be operated in compliance with the operation statement shown in Exhibit "B". Prior to any operational changes in the site, the changes shall be reviewed by City staff for consistency with this permit. Substantial changes to the operation statement may require an amendment to the Conditional Use Permit.
4. That the hours of operation be limited to between 11:00 a.m. and 9:00 p.m. Sunday through Thursday and between 11:00 a.m. and 11:00 p.m. Friday and Saturday.
5. That the tasting and lounge areas are limiting to serving only wine, beer, and other non-alcoholic drinks only. Distilled spirits are not permitted to be served at the site.
6. That the live entertainment shall be restricted only to live musical acts performing during business hours when wine tastings and menu items are offered. Any subsequent change to the nature of the live entertainment shall require an amendment to the Conditional Use Permit.
7. That dancing not be allowed in association with live music or channeled music.
8. That the maximum occupancy limits established by the Visalia Building Department and Fire Marshal shall be posted and not exceeded.
9. That all conditions and responsibilities associated with the Conditional Use Permit shall run with the land. The business operator shall provide a copy of this resolution and conditions of approval to any and all subsequent business operators who shall also be subject to all of the conditions herein, unless amended or revoked.
10. That all applicable federal, state, regional, county and city laws, codes and ordinances be met.
11. That the applicant shall obtain and meet all applicable conditions of a license issued by State of California Alcoholic Beverage Control.
12. The City Planner may initiate a Conditional Use Permit revocation hearing pursuant to Visalia Municipal Code Section 17.38.040, based on documented evidence of failure to comply with any conditions of:
  - a. Conditional Use Permit No. 2016-31;
  - b. The Alcoholic Beverage Control license for the business;
  - c. Any and all applicable federal, state and city laws, codes and ordinances.
13. That the applicant submit to the City of Visalia a signed receipt and acceptance of conditions from the applicant and property owner, stating that they understand and agree to all the conditions of Conditional Use Permit No. 2016-31.



Proposed 1366 sq ft Tenant Improvement for  
**BLEND WINE ROOM** SPR 14-104  
 115 E Main St (formerly Link's, CUP 2014-04, shell permit B140847)

ZONE: CDT (CENTRAL BUSINESS DISTRICT)  
 DESIGN DISTRICT: DD

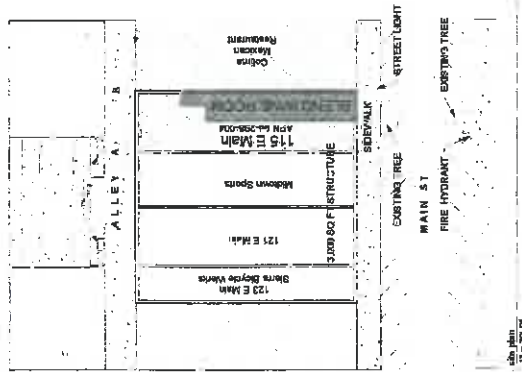
FLOOD ZONE AS INDICATED IN PERMIT B140847.  
 NO ADDITIONAL FLOODING SHALLS ARE REQUIRED.  
 ABOVE THOSE REQUIRED BY PREVIOUS TENANT.  
 PROJECT IS LOCATED IN THE FIRM.

Type II (B) fire (Red 5.9k gph/line)  
 See any load bearing walls,  
 columns and/or other structural members.  
 Check for soil and foundation conditions.  
 Flood Plain AE

SQUARE FOOTAGE AREAS	3,370
GROUND FLOOR	3,349
MEZZ FLOOR	380
TOTAL	3,729
TOTAL	10,367

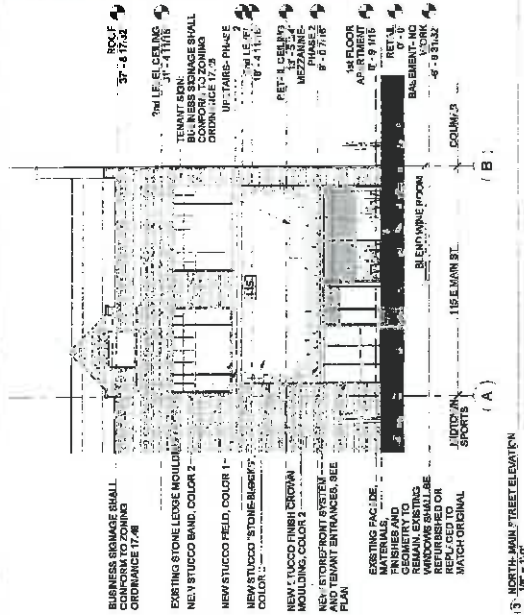
Values based on measuring from inside fin. of masonry walls

SQUARE FOOTAGE AREAS BASED ON USE (See Manual)	
GROUND FLOOR:	
SWELLING	2,454
DWELLING	279
COMMON AREA	517
MEZZ FLOOR:	
DWELLING	3,7
COMMON AREA	228
UPPER LEVEL:	
DWELLING	3,087
COMMON AREA	300
SUMMARY OF USES:	
RETAIL	2,454
RESTAURANT	1,044
COMMON AREA	



TRAFFIC SIGN (SEE LATER)  
 TEMPORARILY REMOVED IN  
 SPR 14-104

ALLEY



BUSINESS SIGNAGE SHALL CONFORM TO ZONING ORDINANCE 17.4F

EXISTING STUCCO LEASE MOUNTING

NEW STUCCO BAND, COLOR 2

NEW STUCCO FIELD, COLOR 1

NEW STUCCO 'STONE BLEND' COLOR

NEW STUCCO FINISH 'CREAM'

NO. INTERIOR SERVICE AND TENANT ENTRANCES, SEE PLAN

EXISTING FACADE FINISHES AND GEOMETRY TO REMAIN UNLESS REFINISHED OR MATCH ORIGINAL

18" WOOD TRIM

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From Black logo

1811 0414

CUP-1

BLEND WINE ROOM

MAIN ST

FCC AND PV FIRE DEPT (USE)

Exhibit "A"





Amended Operating Statement  
Blend Wine Room  
CUP 2015-05

(NOTE: Amendments are show in underlined italics)

1. Business Name: Blend Wine Room
2. Ownership Structure: Blend Wine Room, LLC  
Rachel Garza – Co-Owner  
Luis Patlan – Co-Owner  
Manager – Megan Letson
3. Existing Location: Blend Wine Room is located in Downtown Kingsburg, Ca. This business has been in operation for three years.
4. Proposed Second Location: A second Blend Wine Room & Bistro is proposed to be located at 115 E. Main Street in the former Link's men clothing store in Downtown Visalia, which is now owned by Mr. and Mrs. Sam Sciacca.
5. Facility and Layout: The tenant space encompasses approximately 1,168 square feet for the retail and lounge area plus another 169 square feet recessed covered outdoor patio area for a total of 1,337 square feet. The enclosed site plan reflects the overall concept for the retail wine and tasting room. Moving from the front to the back of the space, a recessed covered patio with seating for 8 to 12 people will be located at the main entry behind the sidewalk. As customers enter the tasting room, wine will be displayed in wood cabinetry against both walls with several island displays placed in rows on the floor. Customers will be able to browse through the many bottles of wines offered for retail sale. Beyond the retail area is a tasting counter where customers can taste featured wines. Past the tasting counter is a lounge area for private club members to enjoy a glass of wine. Just south of the lounge is a 200 square foot kitchenette that will be used for preparing food and washing station for glassware. A commercial refrigerator, dishwasher, microwave, convection oven, ice maker and panini grill will be used in the kitchenette. Beyond the lounge area is a hallway that leads to a separate 100 square foot office/storage area, unisex bathroom and rear exit to the alley.
6. Operational Summary
  - a. Targeted Customers: Blend Wine Room will cater to a mature clientele from the novice to the wine connoisseur. The ambiance will feature a quite elegance where patrons can sit back, relax and enjoy their favorite wine. The customers at the Kingsburg location range in age between 30 and 60 with a vast majority in their 40's. Although a younger clientele is welcome, our success has been in offering a safe, comfortable and friendly environment for the mature wine enthusiast.
  - b. Hours of Operation: Monday-Thursday, 11am to 9 pm; Friday-Saturday, 11 am to 11 pm

Exhibit "B"



- c. **Retail Wine:** Wood cabinet shelving and island racking will be situated in the front of the shop for displaying wine and accessories for retail sale. Patrons can browse through a broad selection of wines from California's various appellations (Napa, Central Coast, and Paso Robles) including wines from other states (Washington State and Oregon) and from around the world (Argentina, Chile Spain, Italy, New Zealand, Germany, France and Australia). A variety of vintages and varietals will be retailed from value, mid-range, to premium price points. Customers can purchase wine by the bottle to take home or for consumption on the premises if they join our private club membership.
- d. **Daily Wine Tasting:** Ten to fifteen wines will be served by the glass daily. Customers will be able to sample three to five wines from the daily flights. The tasting will consist of a 1 oz. pour of each wine selected. Tastings will be limited to one tasting per customer. Customers can then purchase a bottle for take home or for consumption in the lounge if they join the private club membership. Wines served by the glass daily will be rotated every one to two months.
- e. **Private Club Membership:** Customers will be offered a private club membership. For a one-time fee, customers who become private club members will have exclusive access to the lounge/patio area and will enjoy discounts on wines and food including invitations to special events such as private tastings with featured wine makers, tasting of new vintages and wine maker dinners.
- f. **Monthly Wine Club:** A three-tiered monthly wine club membership (Vitner, Estate, and Collector Level) will be offered for the wine enthusiast. The Wine Club allows members to enjoy a selection of fine artisanal wines at a discount price points. The Vitner Level will offer two value-priced wines. The Estate Level will feature three mid-range priced wines. The Collector Level will offer three premium-priced wines. Wine club pick up will be every Wednesday of the month and will include light appetizers.
- g. **Craft Beer:** *Craft beer will be available for daily sampling or purchase for consumption on site. No hard or distilled spirits will be served. Craft beers will be restricted to private club members. Non-private club members will be limited to one craft beer tasting. Private club members will be able to purchase craft beers for consumption in the lounge and outdoor patio area.*
- h. **Private Lounge:** Access to the lounge area will be restricted to private club members. Non-private club members will be limited to one wine tasting and/or purchase of retail wines for take home. Private club members will be able to purchase a bottle or a glass of wine for consumption in the lounge/patio area.
- i. **Menu:** Small bites will be served to members and non-members during business hours. Only private club members can order a glass of wine with food items. The menu will include:
  - i. **Aperitifs:** nut trio (pecans, almonds, and cashews); olive tray (Kalamata, Spanish, and black olives); ; humus with pita strips; cheese and charcuterie platter (assorted artisan cheeses, cured meats, dried fruit and nuts); bread boards served with an olive oil and balsamic mix; bruschetta (avocado, tomato, and shrimp).



- ii. Flatbreads: artichoke & sausage; brie, pear & bacon; Hawaiian; pepperoni; sausage & peppers.
  - iii. Grill Panini sandwiches: salami, chicken, and pulled pork
  - iv. Dessert: assorted gourmet chocolates; baked brie with apricot or raspberry preserve served with crackers; Baklava mini bites; Baklava chocolate triangles; pecan queen Baklava.
- j. Music: Soft background music will be played during business hours through wall/ceiling mounted speakers. Live music will be calendared once or twice per month featuring single and duo acts focused on jazz, flamenco, and adult contemporary music. The light music will add to the casual ambiance and compliment the wine tasting experience. Musicians will typically perform from 6 pm to 9 pm on a Friday or Saturday. There will be no cover charge and no dancing during live music.
- k. Recessed Covered Patio: A 169 square foot recessed covered patio at the main entrance with seating for 12 to 16 patrons will provide outdoor seating area for private club members and non-members to enjoy food items during business hours. Only club members can enjoy a glass of wine in the patio. The patio will add ambiance and enhance the wine tasting experience, which will complement the existing pedestrian oriented character of Downtown Visalia.
- l. On-Site Dinners: Wine maker dinners will be held once per quarter. The business will be closed to the public during the wine maker dinners. For a set price per person, customers will enjoy a four to five course meal provided by local restaurants paired with wines from a selected wine maker. Customers enjoy great food while learning about wines and the wine making process directly from the vintner. For example, at Blend Wine Room in Kingsburg we have held dinners with wine makers from Chamisol (Paso Robles), Maestro Scheidt (Napa), Stephen Vincent (Napa), and Catena (Argentina) with food catered by Jonathan's from Kingsburg, Chef David Scheidt from Napa, and Limon Peruvian Cuisine from Fresno. Wine dinners accommodate approximately 25 to 30 people.
- m. Equipment: The following equipment will be used for the business:
- i. Stainless steel 3 compartment sink
  - ii. Stainless steel mop sink
  - iii. Stainless steel preparation table
  - iv. Dishwasher
  - v. Commercial refrigerator
  - vi. Wine cooler for storage of wine
  - vii. Microwave
  - viii. Convection oven
  - ix. Panini grill
  - x. Ice maker
  - xi. Flat screen television(s)
  - xii. Computer, fax/printer and telephones



- n. **Number of Employees:** In addition to the co-owners and manager, 2 to 6 employees will be hired.
  - o. **Deliveries:** Approximately one to two deliveries per week via small to medium sized trucks. Deliveries will be made through the alley during the day.
7. **ABC License:** A type 20 ABC license for on and off-sale of beer and wine only will be purchased for the business and/or a catering license. The site plan for the business will be submitted to the Alcohol and Beverage Control for review and approval. The business is conditioned upon approval of an on and off-sale ABC license.
8. **Health Permit:** A health permit will be obtained from the Tulare County Health Department. The site plan and plans for the kitchenette will be submitted to the health department for review and approval. The business is conditioned upon approval of a health permit.
9. **Conclusion:** Owners Luis and Rachel Patlan have owned and operated a successful retail wine and tasting room in Downtown Kingsburg, Ca for the past three years. They participate in many local community fundraising events and are members of the Chamber of Commerce. Their business success is based on providing customer service and offering value-priced, quality wines for customers to enjoy in a safe, comfortable and friendly environment.

As small business owners, we appreciate the opportunity to submit this operating statement for our proposed Blend Wine Room in Downtown Visalia. Our goal is locate a successful business that adds to the character and experience of Downtown Visalia. We look forward to working with the City of Visalia on obtaining approval for Blend Wine Room.

**BEFORE THE  
DEPARTMENT OF ALCOHOLIC BEVERAGE CONTROL  
OF THE STATE OF CALIFORNIA**

IN THE MATTER OF THE APPLICATION OF

BLEND WINE ROOM LLC  
BLEND WINE ROOM LLC  
115 E MAIN ST  
STE 101  
VISALIA, CA 93291-6357

} FILE 42-572215

} REG.

} **PETITION FOR CONDITIONAL  
LICENSE**

For Issuance of an On-Sale Beer And Wine - Public  
Premises - License

Under the Alcoholic Beverage Control Act

WHEREAS, petitioner(s) has/have filed an application for the issuance of the above-referred-to license(s) for the above-mentioned premises; and,

WHEREAS, the issuance of an unrestricted license would be contrary to public welfare or morals; and,

WHEREAS, the local policing agency has expressed an objection to the issuance of the applied-for license because there is an over concentration of licenses; and,

WHEREAS, pursuant to Section 23958 of the Business and Professions Code, the Department may deny an application for a license where issuance would result in or add to an undue concentration of licenses; and,

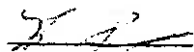
WHEREAS, the proposed premises are located in Census Tract 0012.00 where there presently exists an undue concentration of licenses as defined by Section 23958.4 of the Business and Professions Code; and,

WHEREAS, the petitioner(s) stipulate(s) that by reason of the aforementioned over-concentration of licenses, grounds exist for denial of the applied-for license(s); and,

WHEREAS, petitioner(s) intend to exercise privileges of the license in an exterior patio area; and,

WHEREAS, the issuance of an unrestricted license would be contrary to public welfare and morals;

NOW, THEREFORE, the undersigned petitioner(s) do/does hereby petition for a conditional license as follows, to-wit:

  
Initials

ABC-172 (5/94)

Exhibit "C"

- 1 Sales, service and consumption of alcoholic beverages shall be permitted only between the hours of 11:00 AM and 9:00 PM Sunday through Thursday and 3:00 PM to 10:00 PM Friday and Saturday.
- 2 There shall be no exterior advertising or sign of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages. Interior displays of alcoholic beverages or signs which are clearly visible to the exterior shall constitute a violation of this condition.
- 3 The use of any amplifying system or device is prohibited on patio, and the use of any such system or device inside the premises shall not be audible outside the premises.
- 4 There shall be no dancing allowed on the premises.
- 5 Live entertainment provided shall be limited to live musical acts and shall not be audible beyond the area under the control of the licensee(s) as defined on the ABC-257 dated 8-10-16 and ABC-253 dated 8-10-16.
- 6 There shall be no adult entertainment of any type, including but not limited disc jockey, karaoke, topless entertainment, male or female performers or fashion shows.

This petition for conditional license is made pursuant to the provisions of Sections 23800 through 23805 of the Business and Professions Code and will be carried forward in any transfer at the applicant-premises.

Petitioner(s) agree(s) to retain a copy of this petition on the premises at all times and will be prepared to produce it immediately upon the request of any peace officer.

The petitioner(s) understand(s) that any violation of the foregoing condition(s) shall be grounds for the suspension or revocation of the license(s).

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Applicant/Petitioner

\_\_\_\_\_  
Applicant/Petitioner



MEETING DATE May 11, 2016  
SITE PLAN NO. 16-064  
PARCEL MAP NO.  
SUBDIVISION  
LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

- RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.
- During site plan design/policy concerns were identified, schedule a meeting with
- Planning  Engineering prior to resubmittal plans for Site Plan Review.
- Solid Waste  Parks and Recreation  Fire Dept.

**REVISE AND PROCEED** (see below)

- A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.
- Submit plans for a building permit between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday.
- Your plans must be reviewed by:
- CITY COUNCIL  REDEVELOPMENT  
 PLANNING COMMISSION  PARK/RECREATION  
 HISTORIC PRESERVATION  Other

**ADDITIONAL COMMENTS :**

If you have any questions or comments, please call Jason Huckleberry at (559) 713-4259.

*Site Plan Review Committee*





CITY OF VISALIA  
**SOLID WASTE DIVISION**  
336 N. BEN MADDOX  
VISALIA CA. 93291  
713 - 4500

**COMMERCIAL BIN SERVICE**

ITEM NO: 4      DATE: May 11, 2016  
SITE PLAN NO: SPR16064  
PROJECT TITLE: BLEND WINE ROOM  
DESCRIPTION: RETAIL WINE AND TASTING ROOM IN EXISTING BUILDING ON 2,300 SF AREA (CDT ZONED) (AE/X) (DRD DISTRICT) (REFER 14-104)  
APPLICANT: PATLAN LUIS  
PROP OWNER: SCIACCA SAM A & MARLENE E (TRS)(FAM REV T  
LOCATION: 115 E MAIN ST  
APN(S): 094-298-004

No comments.

Same comments as

Revisions required prior to submitting final plans. See comments below.

Resubmittal required. See comments below.

Customer responsible for all cardboard and other bulky recyclables to be broken down  
be fore disposing of in recycle containers.

ALL refuse enclosures must be R-3 OR R-4

Customer must provide combination or keys for access to locked gates/bins

Type of refuse service not indicated.

Location of bin enclosure not acceptable. See comments below.

Bin enclosure not to city standards double.

Inadequate number of bins to provide sufficient service. See comments below.

Drive approach too narrow for refuse trucks access. See comments below.

Area not adequate for allowing refuse truck turning radius of :  
Commercial ( X ) 50 ft. outside 36 ft. Inside; Residential ( ) 35 ft. outside, 20 ft. inside.

Paved areas should be engineered to withstand a 55,000 lb. refuse truck.

Bin enclosure gates are required

Hammerhead turnaround must be built per city standards.

Cul - de - sac must be built per city standards.

Bin enclosures are for city refuse containers only. Grease drums or any other  
items are not allowed to be stored inside bin enclosures.

Area in front of refuse enclosure must be marked off indicating no parking

Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS)  
with no less than 38' clear space in front of the bin, included the front concrete pad.

Customer will be required to roll container out to curb for service.

Must be a concrete slab in front of enclosure as per city standards  
The width of the enclosure by ten(10) feet, minimum of six(6) inches in depth.



Roll off compactor's must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow the truck enough room to provide service.

---



Bin enclosure gates must open 180 degrees and also hinges must be mounted in front of post  
see page 2 for instructions

---

**COMMENTS**

Existing refuse enclosure and service ok.

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Javier Hernandez, Solid Waste Front Load Supervisor 713-4338  
Earl Nielsen, Solid Waste Manager

# SITE PLAN REVIEW COMMENTS

CITY OF VISALIA TRAFFIC SAFETY DIVISION

May 11, 2016

ITEM NO: 3  
SITE PLAN NO: SPR16054  
PROJECT TITLE: BLEND WINE ROOM  
DESCRIPTION: RETAIL WINE AND TASTING ROOM IN EXISTING BUILDING ON 2,300 SF AREA (COT ZONED)  
(AFIX) (DRD DISTRICT) (REFER 14-104)  
APPLICANT: PATLAN LUIS  
PROP. OWNER: SCIACCA SAM A & MARLENE EITRSIIFAM REV TI  
LOCATION: 115 E MAIN ST  
APNIS: 091-198-004

THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY

- No Comments
- See Previous Site Plan Comments
- Install Street Light(s) per City Standards.
- Install Street Name Blades at Locations.
- Install Stop Signs at Locations.
- Construct parking per City Standards PK-1 through PK-4.
- Construct drive approach per City Standards.
- Traffic Impact Analysis required.

Additional Comments:

  
\_\_\_\_\_  
Leslie Blair

**BUILDING/DEVELOPMENT PLAN  
REQUIREMENTS  
ENGINEERING DIVISION**

Jason Huckleberry 713-4259  
 Adrian Rubalcaba 713-4271

ITEM NO: 4 DATE: MAY 11, 2016

SITE PLAN NO.: 16-064  
 PROJECT TITLE: BLEND WINE ROOM  
 DESCRIPTION: RETAIL WINE AND TASTING ROOM IN EXISTING BUILDING ON 2,300 SF AREA (CDT ZONED) (AE/X) (DRD DISTRICT) (REFER 14-104)

APPLICANT: PATLAN LUIS  
 PROP OWNER: SCIACCA SAM A & MARLENE E (TRS) (FAM REV TR)

LOCATION: 115 E MAIN ST  
 APN: 094-298-004

**SITE PLAN REVIEW COMMENTS**

REQUIREMENTS (indicated by checked boxes)

- Install curb return with ramp, with \_\_\_\_\_ radius;
  - Install curb;  gutter
  - Drive approach size:  Use radius return;
  - Sidewalk: \_\_\_\_\_ width;  parkway width at \_\_\_\_\_
  - Repair and/or replace any sidewalk across the public street frontage(s) of the subject site that has become uneven, cracked or damaged and may constitute a tripping hazard.
  - Replace any curb and gutter across the public street frontage(s) of the subject site that has become uneven and has created areas where water can stand.
  - Right-of-way dedication required. A title report is required for verification of ownership.
  - Deed required prior to issuing building permit;
  - City Encroachment Permit Required.
- Insurance certificate with general & auto liability (\$1 million each) and workers compensation (\$1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit. Contact Encroachment Tech. at 713-4414.
- CalTrans Encroachment Permit required.  CalTrans comments required prior to issuing building permit. Contacts: David Deel (Planning) 488-4088;
  - Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map.
  - Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.
  - Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades.  Prepared by registered civil engineer or project architect.  All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a)  directed to the City's existing storm drainage system; b)  directed to a permanent on-site basin; or c)  directed to a temporary on-site basin is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: \_\_\_\_\_ : \_\_\_\_\_ maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance.
  - Grading permit is required for clearing and earthwork performed prior to issuance of the building permit.
  - Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter = .020%, V-gutter = 0.25%)
  - Show adjacent property grade elevations. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
  - All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications.

- Traffic indexes per city standards:
- Install street striping as required by the City Engineer.
- Install landscape curbing (typical at parking lot planters).
- Minimum paving section for parking: 2" asphalt concrete paving over 4" Class 2 Agg. Base, or 4" concrete pavement over 2" sand.
- Design Paving section to traffic index of 5.0 min. for solid waste truck travel path.
- Provide "R" value tests:            each at
- Written comments required from ditch company            Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditch; Jerry Hill 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
- Access required on ditch bank, 15' minimum     Provide            wide riparian dedication from top of bank.
- Show Oak trees with drip lines and adjacent grade elevations.     Protect Oak trees during construction in accordance with City requirements.
- A permit is required to remove oak trees. Contact Joel Hooyer at 713-4295 for an Oak tree evaluation or permit to remove.     A pre-construction conference is required.
- Relocate existing utility poles and/or facilities.
- Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- Subject to existing Reimbursement Agreement to reimburse prior developer:
- Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
- If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
- If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.
- Comply with prior comments.     Resubmit with additional information.     Redesign required.

**Additional Comments:**

**1. Refer to previous conditions of approval.**

**2. No comments as submitted; no significant changes to the project.**

**SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES**

Site Plan No: 16-064  
Date: 5/11/2016

**Summary of applicable Development Impact Fees to be collected at the time of building permit:**  
**(Preliminary estimate only! Final fees will be based on the development fee schedule in effect at the time of building permit issuance.)**

(Fee Schedule Date:9/4/2015)  
(Project type for fee rates:RETAIL)

Existing uses may qualify for credits on Development Impact Fees.

<u>FEE ITEM</u>	<u>FEE RATE</u>
<input type="checkbox"/> Groundwater Overdraft Mitigation Fee	
<input type="checkbox"/> Transportation Impact Fee	
<input type="checkbox"/> Trunk Line Capacity Fee	
<input type="checkbox"/> Sewer Front Foot Fee	
<input type="checkbox"/> Storm Drain Acq/Dev Fee	
<input type="checkbox"/> Park Acq/Dev Fee	
<input type="checkbox"/> Northeast Specific Plan Fees	
<input type="checkbox"/> Waterways Acquisition Fee	
<input type="checkbox"/> Public Safety Impact Fee: Police	
<input type="checkbox"/> Public Safety Impact Fee: Fire	
<input type="checkbox"/> Public Facility Impact Fee	
<input type="checkbox"/> Parking In-Lieu	

**Reimbursement:**

- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.

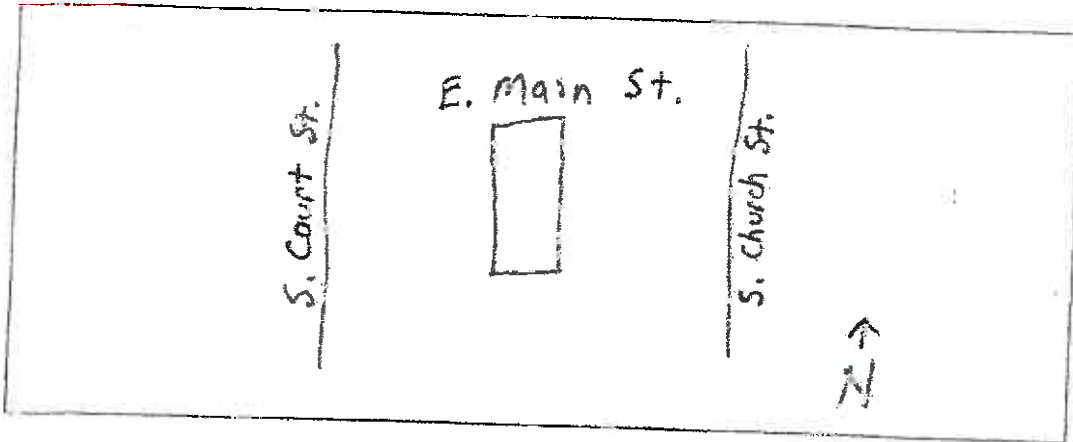
  
\_\_\_\_\_  
**Adrian Rubalcaba**

City of Visalia  
Parks and Urban Forestry  
336 N. Ben Maddox Way  
Visalia, CA 93292

Date: 5-9-16

Site Plan Review # 16064

SITE PLAN REVIEW COMMENTS



COMMENTS: See Below  None

- Please plot and protect all Valley Oak Trees.
- Landscape along parkway to be planted by developer and maintained by a maintenance district.
- All drainage from curb and gutter along streets to be connected to storm drain system.
- All trees planted in street right-of-way to be approved by the Public Works Superintendent of Parks.
- Tie-ins to existing infrastructure may require a bore. Check with the Public Works Department prior to any street cut.

Other Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

*Joel Hooyer*  
Joel Hooyer

Parks and Urban Forestry Supervisor  
559 713-4295 Fax 559 713-4818

Email: jhooyer@ci.visalia.ca.us



ITEM NO: 4                      DATE: May 11, 2016  
 SITE PLAN NO:                SPR16064  
 PROJECT TITLE:               BLEND WINE ROOM  
 DESCRIPTION:                RETAIL WINE AND TASTING ROOM IN EXISTING  
    BUILDING ON 2,300 SF AREA (CDT ZONED) (AE/X)  
    (DRD DISTRICT) (REFER 14-104)  
 APPLICANT:                    PATLAN LUIS  
 PROP OWNER:                 SCIACCA SAM A & MARLENE E (TRS) (FAM REV T)  
 LOCATION:                    115 E MAIN ST  
 APN(S):                        094-298-004

**City of Visalia**  
**Police Department**  
 303 S. Johnson St,  
 Visalia, Ca. 93292  
 (559) 713-4370

### Site Plan Review Comments

- No Comment at this time.
- Request opportunity to comment or make recommendations as to safety issues as plans are developed.
- Public Safety Impact fee:  
 Ordinance No. 2001-11 Chapter 16.48 of Title 16 of the Visalia Municipal Code  
 Effective date - August 17, 2001

Impact fees shall be imposed by the City pursuant to this Ordinance as a condition of or in conjunction with the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcel of land, upon which no like building, structure or improvement previously existed. \*Refer to Engineering Site Plan comments for fee estimation.

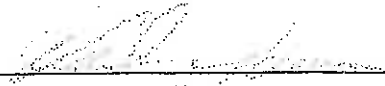
- Not enough information provided. Please provide additional information pertaining to:  
 \_\_\_\_\_
- Territorial Reinforcement: Define property lines (private/public space).  
 \_\_\_\_\_
- Access Controlled / Restricted etc:  
 \_\_\_\_\_
- Lighting Concerns:  
 \_\_\_\_\_
- Landscaping Concerns:  
 \_\_\_\_\_
- Traffic Concerns:  
 \_\_\_\_\_
- Surveillance Issues:  
 \_\_\_\_\_
- Line of Sight Issues:  
 \_\_\_\_\_
- Other Concerns: PROJECT TO GO THROUGH EXISTING  
 ABC / VISALIA P.D. PROCEDURES  
 RELATING TO ALCOHOLIC BEVERAGE SALES.

**City of Visalia**  
**Building: Site Plan**  
**Review Comments**

ITEM NO: **4**                      DATE: **May 11, 2016**  
 SITE PLAN NO:                      SPR16064  
 PROJECT TITLE:                      BLEND WINE ROOM  
 DESCRIPTION:                      RETAIL WINE AND TASTING ROOM IN EXISTING BUILDING ON 2,300 SF AREA (CDT ZONED) (AE/X) (DRD DISTRICT) (REFER 14-104)  
 APPLICANT:                          PATLAN LUIS  
 PROP OWNER:                        SCIACCA SAM A & MARLENE E (TRS)(FAM REV T  
 LOCATION:                          115 E MAIN ST  
 APN(S):                                094-298-004

NOTE: These are general comments and DO NOT constitute a complete plan check for your specific project. Please refer to the applicable California Codes & local ordinance for additional requirements.

- Business Tax Certification is required. *For information call (559) 713-4326*
- A building permit will be required. *For information call (559) 713-4444*
- Submit 4 sets of professionally prepared plans and 2 sets of calculations. (Small Tenant Improvements)
- Submit 4 sets of plans prepared by an architect or engineer. Must comply with 2013 California Building Cod Sec. 2308 for conventional light-frame construction or submit 2 sets of engineered calculations.
- Indicate abandoned wells, septic systems and excavations on construction plans.
- You are responsible to ensure compliance with the following checked items:**
- Meet State and Federal requirements for accessibility for persons with disabilities.
- A path of travel, parking, common area and public right of way must comply with requirements for access for persons with disabilities.
- Multi family units shall be accessible or adaptable for persons with disabilities.
- Maintain sound transmission control between units minimum of 50 STC.
- Maintain fire-resistive requirements at property lines.
- A demolition permit & deposit is required. *For information call (559) 713-4444*
- Obtain required clearance from San Joaquin Valley Air Pollution Board. Prior to any demolition work  
*For information call (661) 392-5500*
- Location of cashier must provide clear view of gas pump island
- Plans must be approved by the Tulare County Health Department. *For information call (559) 624-7400*
- Project is located in flood zone \_\_\_\_\_ \*  Hazardous materials report.
- Arrange for an on-site inspection. (Fee for inspection \$151.90) *For information call (559) 713-4444*
- School Development fees. Commercial \$0.54 per square foot. Residential \$3.48 per square foot.
- Existing address must be changed to be consistent with city address. *For information call (559) 713-4320*
- Acceptable as submitted
- No comments
- See previous comments dated: \_\_\_\_\_
- Special comments: \_\_\_\_\_

  
 \_\_\_\_\_ Date: 5/11/16  
 Signature

# SITE PLAN REVIEW COMMENTS

Paul Bernal, Planning Division (559) 713-4025

Date: May 11, 2016

SITE PLAN NO: 2016-064  
PROJECT TITLE: BLEND WINE ROOM  
DESCRIPTION: RETAIL WINE AND TASTING ROOM IN EXISTING BUILDING ON 2,300 SF AREA (CDT ZONED) (AE/X) (DRD DISTRICT) (REFER 14-104)  
APPLICANT: PATLAN LUIS  
PROP. OWNER: SCIACCA SAM A & MARLENE E (TRS)(FAM REV TR  
LOCATION TITLE: 115 E MAIN ST  
APN TITLE: 094-298-004  
GENERAL PLAN: Downtown Mixed Use  
EXISTING ZONING: CDT – Central Business District

## Planning Division Recommendation:

- Revise and Proceed  
 Resubmit

## Project Requirements

- Comply with approved CUP No. 2015-05
- Building Permit
- Additional Information as needed

**PROJECT SPECIFIC INFORMATION: 05/11/2016**

1. Comply with Conditions of Approval of CUP No. 2015-05.

## CITY GENERAL PLAN CONSISTENCY

Staff initial finding is that the proposed Wine Retail Sales, Wine Tasting and Live Entertainment IS CONSISTENT with the City General Plan and Zoning Ordinance. Because this project requires discretionary approval by the City Council and/or Planning Commission the final determination of consistency will be made by the Planning Commission and/or City Council.

## Downtown Parking District: [Zoning Ordinance Section 17.30.019A Article 2]

1. The site was formally occupied by a retail men's clothing store. The first floor has a parking credit established at the retail rate (1 spacer per 300 sq. ft. of floor area). The proposed project, based on the retail sales of wine does not require additional parking.
2. The building is located in PBID (Property Based Improvement District) and meets the Change-in-use requirements and is not subject to additional Parking In-lieu fees.

## Signage: [see Zoning Ordinance Section 17.48]

1. All signs require a building permit.
2. Signs for this business are subject to the Downtown Retail Design District requirements.

Signs – signs should contribute to the commercial quality and character of the district. Within the district, the following standards for signage are prescribed:

- 1) Primary Signage
  - a) Material: Plastic is prohibited as a primary sign material.
  - b) Size:
    - i) Two (2) square feet of sign area is permitted for each one (1) foot of linear occupancy frontage top a maximum of fifty (50) square feet.

- ii) The sign area as calculated for the occupancy frontage may be used on the occupancy frontage, or may be divided between the occupancy frontage And any other exterior wall. (see DRD for more)
  - c) Location: Users may choose which exterior side of the building will be used for the purpose of calculating the permitted sign area. The exterior side chosen is the primary occupancy frontage. The building sign so calculated shall be mounted on the primary occupancy frontage.
- 2) On Awnings: A building sign may be affixed to or incorporated as a part of the design of the front valance only of an awning; however, such sign area shall be deducted from that calculated for the exterior building wall to which the awning is attached. Numerals used for the purpose of identifying street addresses need not be deducted from the calculated sign area.
- 3) Street addresses
- 4) Additional signs of a maximum twenty-five percent of the sign area calculated for the primary occupancy frontage will be allowed for each remaining exterior wall, provided that the sign for any given wall does not exceed two square feet per linear foot of the wall length. This subsection does not apply to alley frontages visible from center or Acequia streets.
- 5) Pedestrian oriented sign: one double faced sign not exceeding an area of three (3) square feet per face, to be constructed of wood, with a carved and/or painted logo. Pedestrian oriented signs shall be a minimum of 8 feet above the sidewalk and shall not exceed a maximum height of 12 feet.
- 6) A pedestrian oriented sign may also be affixed to or incorporated into the design of the side valance of awnings which are perpendicular to the store frontage. Both side valances of an awning may be so utilized, however, only one sign face per awning side is allowed. Each sign face shall not exceed three (3) square feet. If this option is chosen, not other pedestrian oriented sign is allowed.
- 7) The building sign area as calculated on the primary occupancy frontage may also be used on the alley frontage for those businesses with direct pedestrian entrances form alleyways, where such entrances and frontages are visible from center or Acequia streets. In no case shall the sign area used on the alley frontage exceed that permitted for the primary occupancy frontage.
- 8) Each building may display a reader board of a maximum area of twenty (20) square feet indicating the name, address and type of business of the businesses within the building. If the reader board is located on a part of the building qualifying as an occupancy frontage for which sign area is calculated, the sign area used for the reader board shall be deducted from the total permitted for that building. Reader boards shall be designed as one with each copy panel consisting of similar materials and designs. Permits for reader boards shall not be issued without consent of the property owner.
- 9) Within the district, internally illuminated signs are prohibited, with the exception of neon.
- 10) Plastic is prohibited as a primary sign material.
- 11) Each commercial use which has direct pedestrian access through an exterior building wall which is visible from a public right-of-way, shall be allowed at least ten (10) square feet of building sign area, regardless of building occupancy frontage. Commercial uses having a sole access from the interior of any building or from an enclosed lobby or court shall not be allowed the minimum building sign area referred to in this section.
- 12) Permanent signage painted or affixed to the surface of retail display windows shall cover no more than twenty percent (20%) of the display window area and shall be allowed in addition to the calculated building sign area.
- 13) Temporary signs pertaining to special store events or sales lasting no more that thirty (30) days may be painted or affixed to display windows provided that their total area shall not exceed thirty percent (30%) of the window. Such temporary sign or signs shall be removed

within seven (7) days of the completion of said event or sale. No permit is required for such temporary sign(s).

**Signage:** [see Zoning Ordinance Section 17.48]

1. All signs require a building permit. Signs are subject to the sign standards identified in Section 17.48 of the Zone Ordinance.

**NOTE: Staff recommendations contained in this document are not to be considered support for a particular action or project unless otherwise stated in the comments. The comments found on this document pertain to the site plan submitted for review on the above referenced date. Any changes made to the plan submitted must be submitted for additional review.**

Signature \_\_\_\_\_

A handwritten signature in black ink, appearing to read "Paul St. Bernard", written over a horizontal line. The signature is stylized with a large loop at the beginning and a long horizontal stroke at the end.

**QUALITY ASSURANCE DIVISION  
SITE PLAN REVIEW COMMENTS**

ITEM NO: 4                      DATE: May 11, 2016  
SITE PLAN NO:                      SPR16064  
PROJECT TITLE:                      BLEND WINE ROOM  
DESCRIPTION:                      RETAIL WINE AND TASTING ROOM IN EXISTING  
    BUILDING ON 2,300 SF AREA (CDT ZONED) (AE/X)  
    (DRD DISTRICT) (REFER 14-104)  
APPLICANT:                              PATLAN LUIS  
PROP OWNER:                              SCIACCA SAM A & MARLENE E (TRS) (FAM REV T  
LOCATION:                                      115 E MAIN ST  
APN(S):                                      094-298-004

YOU ARE REQUIRED TO COMPLY WITH THE CITY OF VISALIA WASTEWATER ORDINANCE 13.08 RELATIVE TO CONNECTION TO THE SEWER, PAYMENT OF CONNECTION FEES AND MONTHLY SEWER USER CHARGES. THE ORDINANCE ALSO RESTRICTS THE DISCHARGE OF CERTAIN NON-DOMESTIC WASTES INTO THE SANITARY SEWER SYSTEM.

YOUR PROJECT IS ALSO SUBJECT TO THE FOLLOWING REQUIREMENTS:

- WASTEWATER DISCHARGE PERMIT APPLICATION
- SAND AND GREASE INTERCEPTOR - 3 COMPARTMENT \_\_\_\_\_
- GREASE INTERCEPTOR min. 1000 GAL
- GARBAGE GRINDER -  $\frac{3}{4}$  HP. MAXIMUM \_\_\_\_\_
- SUBMISSION OF A DRY PROCESS DECLARATION \_\_\_\_\_
- NO SINGLE PASS COOLING WATER IS PERMITTED \_\_\_\_\_
- OTHER \_\_\_\_\_
- SITE PLAN REVIEWED - NO COMMENTS

CALL THE QUALITY ASSURANCE DIVISION AT (559) 713-4529 IF YOU HAVE ANY QUESTIONS.

CITY OF VISALIA  
PUBLIC WORKS DEPARTMENT  
QUALITY ASSURANCE DIVISION  
7579 AVENUE 288  
VISALIA, CA 93277



\_\_\_\_\_  
AUTHORIZED SIGNATURE

5-9-16

\_\_\_\_\_  
DATE





**Site Plan Review Comments For:**  
City of Visalia  
Fire Department  
707 W Acequia  
Visalia, CA 93291  
559-713-4261 office  
559-713-4808 fax

ITEM NO: 4      DATE: May 11, 2016  
SITE PLAN NO:      SPR16064  
PROJECT TITLE:      BLEND WINE ROOM  
DESCRIPTION:      RETAIL WINE AND TASTING ROOM IN EXISTING  
BUILDING ON 2,300 SF AREA (CDT ZONED) (AE/X)  
(DRD DISTRICT) (REFER 14-104)  
APPLICANT:      PATLAN LUIS  
PROP OWNER:      SCIACCA SAM A & MARLENE E(TRS)(FAM REV T  
LOCATION:      115 E MAIN ST  
APN(S):      094-298-004

**The following comments are applicable when checked:**

- The Site Plan Review comments are issued as general overview of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2013 California Fire Code (CFC), 2013 California Building Codes (CBC) and City of Visalia Municipal Codes.
- All fire detection, alarm, and extinguishing systems in existing buildings shall be maintained in an operative condition at all times and shall be replaced or repaired where defective. If building has been vacant for a significant amount of time, the fire detection, alarm, and or extinguishing systems may need to be evaluated by a licensed professional. *2013 CFC 901.6*
- No fire protection items required for parcel map or lot line adjustment; however, any future projects will be subject to fire & life safety requirements including fire protection.
- More information is needed before a Site Plan Review can be conducted. Please submit plans with more detail. Please include information on

**General:**

- Address numbers must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least four inches (4") high and shall be of a color to contrast with their background. If multiple addresses are served by a common driveway, the range of numbers shall be posted at the roadway/driveway. *2013 CFC 505.1*
- A Knox Box key lock system is required. Where access to or within a structure or an area is restricted because of secured openings (doors and/or gates) or for fire-fighting purposes, a key box is to be installed in an approved location. (Note: Knox boxes shall be ordered using an approved application that can be found at Fire Administration Office located at 707 W. Acequia Ave. Please allow adequate time for shipping and installation.) *2013 CFC 506.1*
- All hardware on exit doors shall comply with Chapter 10 of the 2013 California Fire Code. This includes all locks, latches, bolt locks, and panic and fire exit hardware.
- Provide illuminated exit signs and emergency lighting through-out building. *2013 CFC 1011*
- When portion of the building are built upon a property line or in close proximity to another structure the exterior wall shall be constructed as to comply *2013 California Building Code Table 508.4 and Table 602.*



- Commercial dumpsters with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system. *2013 CFC 304.3.3*
- If your business handles hazardous material in amounts that exceed the Maximum Allowable Quantities listed on *Table 5003.1.1(1), 5003.1.1(2), 5003.1.1(3) and 5003.1.1(4) of the 2013 California Fire Code*, you are required to submit an emergency response plan to the Tulare County Health Department. Also you shall indicate the quantities on your building plans and prior to the building final inspection a copy of your emergency response plan and Safety Data Sheets shall be submitted to the Visalia Fire Department.

**Water Supply:**

- Construction and demolition sites shall have an approved water supply for fire protection, either temporary or permanent, and shall be made available as soon as combustible material arrives on the site. *2013 CFC 3312*
- No additional fire hydrants are required for this project; however, additional fire hydrants may be required for any future development.
- There is/are fire hydrants required for this project. (See marked plans for fire hydrant locations.)
- Fire hydrant spacing shall comply with the following requirements:  
The exact location of fire hydrants and final decision as to the number of fire hydrants shall be at the discretion of the fire marshal, fire chief and/or their designee. *Visalia Municipal Code 16.36.120 & 16.36.120(8)*
  - Single-family residential developments shall be provided with fire hydrants every six hundred (600) lineal feet of residential frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
  - Multi-family, zero lot line clearance, mobile home park or condominium developments shall be provided with fire hydrants every four hundred (400) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
  - Multi-family or condominium developments with one hundred (100) percent coverage fire sprinkler systems shall be provided with fire hydrants every six (600) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
  - Commercial or industrial developments shall be provided with fire hydrants every three hundred (300) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
  - Commercial or industrial developments with one hundred (100) percent coverage fire sprinkler systems shall be provided with fire hydrants every five hundred (500) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
- When any portion of a building is in excess of one hundred fifty (150) feet from a water supply on a public street there shall be provided on site fire hydrants and water mains capable of supplying the required fire flow. *Visalia Municipal Code 16.36.120(6)*

**Emergency Access:**

- A construction access road is required and shall be a minimum of 20 feet wide. The road shall be an all-weather driving surface accessible prior to and during construction. The access road shall be capable of holding 75,000 pound piece of fire apparatus, and shall provide access to within 100 feet of temporary or permanent fire department connections. 2013 CFC 3310
  
- Buildings or portions of buildings or facilities with a vertical distance between the grade plans and the highest roof surface exceed 30 feet shall provide an approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders. Access routes shall be located within a minimum of 15 feet and maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building. 2013 CFC D105
  
- A fire apparatus access roads shall be provide and must comply with the CFC and extend to within 150 of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Minimum turning radius for emergency fire apparatus shall be 20 feet inside radius and 43 feet outside radius. 2013 CFC 503.1.1
  
- Fire apparatus access roads in excess of 150 feet and dead end shall be provided with a turnaround. Length 151-500 feet shall be a minimum of 20 feet in width and have a 120 foot Hammerhead, 60-foot "Y" or 96-Foot diameter Cul-de-sac in accordance with Figure D103.1 of the 2013 CFC. Length 501-750 feet shall be 26 feet in width and have a 120 foot Hammerhead, 60-foot "Y" or 96-Foot diameter Cul-de-sac in accordance with Figure D103.1 of the 2013 CFC.

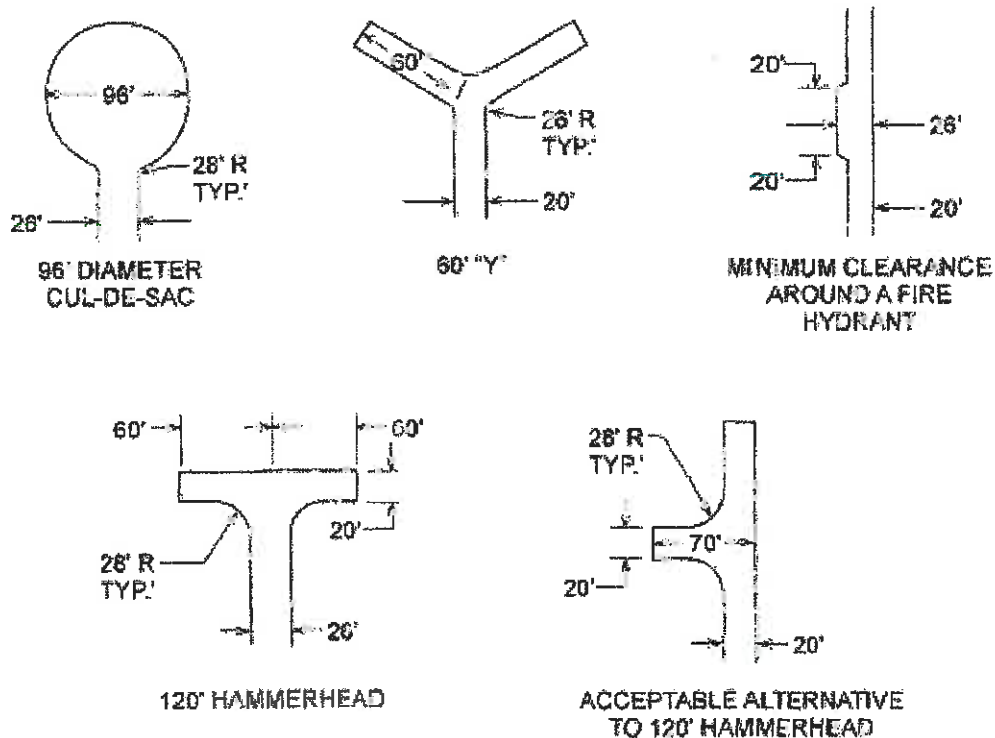


FIGURE D103.1  
DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUND

- Gates on access roads shall be a minimum width of 20 feet and shall comply with the following:  
*2013 CFC D103.5*
  - Typical chain and lock shall be the type that can be cut with a common bolt cutter, or the developer may opt to provide a Knox Box key lock system.
  - Gates shall be of the swinging or sliding type.
  - Gates shall allow manual operation by one person. (power outages)
  - Gates shall be maintained in an operative condition at all times.
  - Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. (Note: Knox boxes shall be ordered using an approved application that can be found at Fire Administration Office located at 707 W. Acequia Ave. Please allow adequate time for shipping and installation.)
  
- In any and all new One- or two-family dwellings residential developments regardless of the number of units, street width shall be a minimum of 36 feet from curb to curb to allow fire department access and to permit parking on both sides of the street. A minimum of 20 feet shall be provided for developments that don't allow parking on the streets. *2013 CFC D107.2*

**Fire Protection Systems:**

- An automatic fire sprinkler system will be required for this building. Also a fire hydrant is required within 50 feet of the Fire Department Connection (FDC). *2013 CFC 903 and Visalia Municipal Code 16.36.120(7)*
  
- Commercial cooking appliances and domestic cooking appliances used for commercial purposes that produces grease laden vapors shall be provided with a Type 1 Hood, in accordance with the California Mechanical Code, and an automatic fire extinguishing system. *2013 CFC 904.11& 609.2*

**Special Comments:**

  
\_\_\_\_\_  
Maribel Vasquez  
Fire Inspector



MEETING DATE August 20, 2014  
SITE PLAN NO. 14-104  
PARCEL MAP NO.  
SUBDIVISION  
LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

- RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.
- During site plan design/policy concerns were identified, schedule a meeting with
- Planning  Engineering prior to resubmittal plans for Site Plan Review.
- Solid Waste  Parks and Recreation  Fire Dept.

- REVISE AND PROCEED** (see below)
- A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.
- Submit plans for a building permit between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday.
- Your plans must be reviewed by:
- CITY COUNCIL  REDEVELOPMENT  
 PLANNING COMMISSION  PARK/RECREATION  
 HISTORIC PRESERVATION  OTHER \_\_\_\_\_

**ADDITIONAL COMMENTS** This project requires a Conditional Use Permit.

If you have any questions or comments, please call Jason Huckleberry at (559) 713-4259.



City of Visalia  
Building: Site Plan  
Review Comments

ITEM NO: 5      DATE: August 20, 2014  
SITE PLAN NO: SPR14104      RESUBMIT  
PROJECT TITLE: BLEND WINE ROOM  
DESCRIPTION: RETAIL WINE AND TASTING ROOM IN EXISTING  
1,336 SF BUILDING ON 2,300 SF AREA (CDT ZONED)  
(X/AE) (DISTRICT DRD)  
APPLICANT: PATLAN LUIS  
PROP OWNER: SCIACCA SAM A & MARLENE E(TRS)(FAM REV T  
LOCATION: 115 E MAIN ST  
APN(S): 094-298-004

NOTE: These are general comments and DO NOT constitute a complete plan check for your specific project  
Please refer to the applicable California Code & local ordinance for additional requirements.

- A building permit will be required. *For information call (559) 713-4444*
- Submit 5 sets of professionally prepared plans and 2 sets of calculations. (Small Tenant Improvements)
- Submit 5 sets of plans prepared by an architect or engineer. Must comply with 2013 California Building Cod Sec. 2308 for conventional light-frame construction or submit 2 sets of engineered calculations.
- Indicate abandoned wells, septic systems and excavations on construction plans.
- You are responsible to ensure compliance with the following checked items:**
- Meet State and Federal requirements for accessibility for persons with disabilities.
- A path of travel, parking and common area must comply with requirements for access for persons with disabilities.
- All accessible units required to be adaptable for persons with disabilities.
- Maintain sound transmission control between units minimum of 50 STC.
- Maintain fire-resistive requirements at property lines.
- A demolition permit & deposit is required. *For information call (559) 713-4444*
- Obtain required permits from San Joaquin Valley Air Pollution Board. *For information call (559) 230-6000*
- Plans must be approved by the Tulare County Health Department. *For information call (559) 624-8011*
- Project is located in flood zone \_\_\_\_\_ \*  Hazardous materials report.
- Arrange for an on-site inspection. (Fee for inspection \$146.40) *For information call (559) 713-4444*
- School Development fees. Commercial \$0.47 per square foot. Residential \$2.97 per square foot.
- Park Development fee \$ \_\_\_\_\_, per unit collected with building permits.
- Existing address must be changed to be consistent with city address. *For information call (559) 713-4320*
- Acceptable as submitted
- No comments at this time

Additional comments: SEE PREVIOUS COMMENTS

G. FERRELL

Signature

**Site Plan Review Comments For:**

Visalia Fire Department  
 Kurtis A. Brown,  
 Assistant Fire Marshal  
 707 W Acequia  
 Visalia, CA 93291  
 559-713-4261 *office*  
 559-713-4808 *fax*

SITE PLAN NO: SPR14, **RESUBMIT**  
 PROJECT TITLE: BLEND WINE ROOM  
 DESCRIPTION: RETAIL WINE AND TASTING ROOM IN EXISTING  
 1,336 SF BUILDING ON 2,300 SF AREA (CDT ZONED)  
 (X/AE) (DISTRICT DRD)  
 APPLICANT: PATLAN LUIS  
 PROP OWNER: SCIACCA SAM A & MARLENE E (TRS)(FAM REV T  
 LOCATION: 115 E MAIN ST  
 APN(S): 094-298-004

**The following comments are applicable when checked:**

- The Site Plan Review comments are issued as general overview of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2013 California Fire Code (CFC), 2013 California Building Codes (CBC) and City of Visalia Municipal Codes.
- All fire detection, alarm, and extinguishing systems in existing buildings shall be maintained in an operative condition at all times and shall be replaced or repaired where defective. If building has been vacant for a significant amount of time, the fire detection, alarm, and or extinguishing systems may need to be evaluated by a licensed professional. *2013 CFC 901.6*
- No fire protection items required for parcel map or lot line adjustment; however, any future projects will be subject to fire & life safety requirements including fire protection.
- More information is needed before a Site Plan Review can be conducted. Please submit plans with more detail. Please include information on

**General:**

- Address numbers must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least four inches (4") high and shall be of a color to contrast with their background. If multiple addresses served are by a common driveway, the range of numbers shall be posted at the roadway/driveway. *2013 CFC 505.1*
- A Knox Box key lock system is required. Where access to or within a structure or an area is restricted because of secured openings (doors and/or gates) or for fire-fighting purposes, a key box is to be installed in an approved location. (Note: Knox boxes shall be ordered using an approved application that can be found at Fire Administration Office located at 707 W. Accquia Ave. Please allow adequate time for shipping and installation.) *2013 CFC 506.1*
- All hardware on exit doors shall comply with Chapter 10 of the 2013 California Fire Code. This includes all locks, latches, dolt locks, and panic and fire exit hardware.
- Provide Illuminated exit signs and emergency lighting through-out building. *2013 CFC 1011*
- When portion of the building are built upon a property line or in close proximity to another structure the exterior wall shall be constructed as to comply *2013 California Building Code Table 508.4 and Table 602.*



- Commercial dumpsters with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system. *2013 CFC 304.3.3*
- If your business handles hazardous material in amounts that exceed the Maximum Allowable Quantities listed on *Table 5003.1.1(1), 5003.1.1(2), 5003.1.1(3) and 5003.1.1(4) of the 2013 California Fire Code*, you are required to submit an emergency response plan to the Tulare County Health Department. Also you shall indicate the quantities on your building plans and prior to the building final inspection a copy of your emergency response plan and Safety Data Sheets shall be submitted to the Visalia Fire Department.

**Water Supply:**

- Construction and demolition sites shall have an approved water supply for fire protection, either temporary or permanent, and shall be made available as soon as combustible material arrives on the site. *2013 CFC 3312*
- No additional fire hydrants are required for this project; however, additional fire hydrants may be required for any future development.
- There is/are fire hydrants required for this project. (See marked plans for fire hydrant locations.)
- Fire hydrant spacing shall comply with the following requirements:

The exact location of fire hydrants and final decision as to the number of fire hydrants shall be at the discretion of the fire marshal, fire chief and/or their designee. *Visalia Municipal Code 16.36.120 & 16.36.120(8)*

  - Single-family residential developments shall be provided with fire hydrants every six hundred (600) lineal feet of residential frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
  - Multi-family, zero lot line clearance, mobile home park or condominium developments shall be provided with fire hydrants every four hundred (400) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
  - Multi-family or condominium developments with one hundred (100) percent coverage fire sprinkler systems shall be provided with fire hydrants every six (600) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
  - Commercial or industrial developments shall be provided with fire hydrants every three hundred (300) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
  - Commercial or industrial developments with one hundred (100) percent coverage fire sprinkler systems shall be provided with fire hydrants every five hundred (500) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
- When any portion of a building is in excess of one hundred fifty (150) feet from a water supply on a public street there shall be provided on site fire hydrants and water mains capable of supplying the required fire flow. *Visalia Municipal Code 16.36.120(6)*



**Emergency Access:**

- A construction access road is required and shall be a minimum of 20 feet wide. The road shall be an all-weather driving surface accessible prior to and during construction. The access road shall be capable of holding 75,000 pound piece of fire apparatus, and shall provide access to within 100 feet of temporary or permanent fire department connections. *2013 CFC 3310*
- Buildings or portions of buildings or facilities with a vertical distance between the grade plans and the highest roof surface exceed 30 feet shall provide an approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders. Access routes shall be located within a minimum of 15 feet and maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building. *2013 CFC D105*
- A fire apparatus access roads shall be provide and must comply with the CFC and extend to within 150 of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Minimum turning radius for emergency fire apparatus shall be 20 feet inside radius and 43 feet outside radius. *2013 CFC 503 1.1*
- Fire apparatus access roads in excess of 150 feet and dead end shall be provided with a turnaround. Length 151-500 feet shall be a minimum of 20 feet in width and have a 120 foot Hammerhead, 60-foot "Y" or 96-Foot diameter Cul-de-sac in accordance with Figure D103.1 of the 2013 CFC. Length 501-750 feet shall be 26 feet in width and have a 120 foot Hammerhead, 60-foot "Y" or 96-Foot diameter Cul-de-sac in accordance with Figure D103.1 of the 2013 CFC.

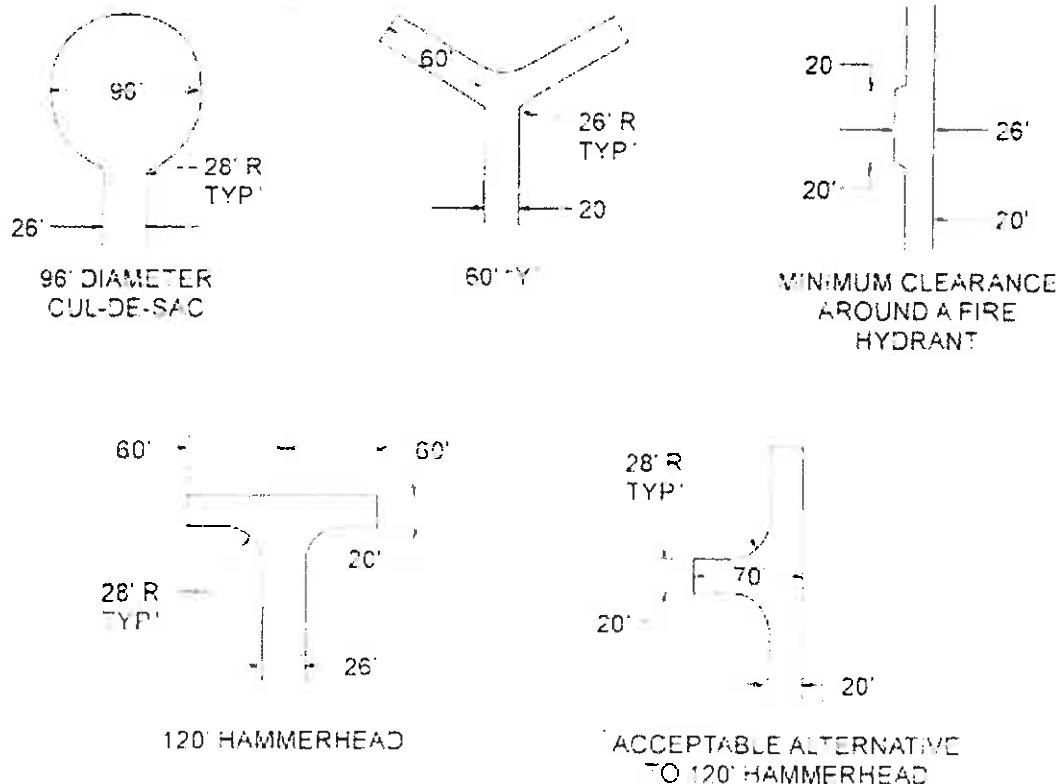


FIGURE D103.1  
DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUND.

Gates on access roads shall be a minimum width of 20 feet and shall comply with the following:  
*2013 CFC D103.5*

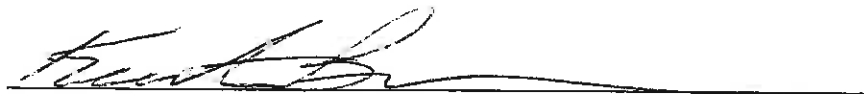
- Typical chain and lock shall be the type that can be cut with a common bolt cutter, or the developer may opt to provide a Knox Box key lock system.
- Gates shall be of the swinging or sliding type.
- Gates shall allow manual operation by one person. (power outages)
- Gates shall be maintained in an operative condition at all times.
- Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. (Note: Knox boxes shall be ordered using an approved application that can be found at Fire Administration Office located at 707 W. Acequia Ave. Please allow adequate time for shipping and installation.)

In any and all new One- or two-family dwellings residential developments regardless of the number of units, street width shall be a minimum of 36 feet from curb to curb to allow fire department access and to permit parking on both sides of the street. A minimum of 20 feet shall be provided for developments that don't allow parking on the streets. *2013 CFC D107.2*

**Fire Protection Systems:**

- An automatic fire sprinkler system will be required for this building. Also a fire hydrant is required within 50 feet of the Fire Department Connection (FDC). *2013 CFC 903 and Visalia Municipal Code 16.36.120(7)*
- Commercial cooking appliances and domestic cooking appliances used for commercial purposes that produces grease laden vapors shall be provided with a Type I Hood, in accordance with the California Mechanical Code, and an automatic fire extinguishing system. *2013 CFC 904.11 & 609.2*

**Special Comments:**

  
Kurtis A. Brown  
Assistant Fire Marshal

**City of Visalia**  
**Police Department**  
303 S. Johnson St.  
Visalia, Ca. 93292  
(559) 713-4370

ITEM NO: 5      DATE: August 20, 2014  
SITE PLAN NO: SPR 14104      RESUBMIT  
PROJECT TITLE: BLEND WINE ROOM  
DESCRIPTION: RETAIL WINE AND TASTING ROOM IN EXISTING  
1,336 SF BUILDING ON 2,300 SF AREA (CDT ZONED)  
(X/AE) (DISTRICT DRD)  
APPLICANT: PATLAN LUIS  
PROP OWNER: SCIACCA SAM A & MARLENE E (TRS) (FAM REV T)  
LOCATION: 115 E MAIN ST  
APN(S): 094-298-004

### Site Plan Review Comments

- No Comment at this time.
- Request opportunity to comment or make recommendations as to safety issues as plans are developed.
- Public Safety Impact fee:  
Ordinance No. 2001-11 Chapter 16.48 of Title 16 of the Visalia Municipal Code  
Effective date - August 17, 2001  
  
Impact fees shall be imposed by the City pursuant to this Ordinance as a condition of or in conjunction with the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land, upon which no like building, structure of improvement previously existed. \*Refer to Engineering Site Plan comments for fee estimation.
- Not enough information provided. Please provide additional information pertaining to:  
\_\_\_\_\_
- Territorial Reinforcement: Define property lines (private/public space).  
\_\_\_\_\_
- Access Controlled / Restricted etc:  
\_\_\_\_\_
- Lighting Concerns:  
\_\_\_\_\_
- Landscaping Concerns:  
\_\_\_\_\_
- Traffic Concerns:  
\_\_\_\_\_
- Surveillance Issues:  
\_\_\_\_\_
- Line of Sight Issues:  
\_\_\_\_\_

Other Concerns: *MUST ABIDE BY ABL AND CYP. CONDITIONS FOR LIVE ENTERTAINMENT AND ALCOHOL BEVERAGE SALES*

*[Signature]*  
Visalia Police Department

# SITE PLAN REVIEW COMMENTS

Paul Bernal, Planning Division (559) 713-4025

Date: August 20, 2014

SITE PLAN NO: 2014-104 RESUBMITTAL  
PROJECT TITLE: BLEND WINE ROOM  
DESCRIPTION: RETAIL WINE AND TASTING ROOM IN EXISTING 1,336 SF BUILDING ON 2,300 SF AREA (CDT ZONED) (X/AE) (DISTRICT DRD)  
APPLICANT: PATLAN LUIS  
PROP. OWNER: SCIACCA SAM A & MARLENE E(TRS)(FAM REV TR  
LOCATION TITLE: 115 E MAIN ST  
APN TITLE: 094-298-004

General Plan: CDT – Central Business District

Existing Zoning: CDT – Central Business District

## Planning Division Recommendation:

- Revise and Proceed  
 Resubmit

## Project Requirements

- Conditional Use Permit for Wine Tasting & Live Entertainment
- ~~Lounge/Bar/Tavern is prohibited in CDT zone~~
- Operational Statement
- Additional Information as needed

### **PROJECT SPECIFIC INFORMATION:** 08/20/2014

1. A CUP is required for "Wine Tasting" in the CDT zone; retail sales of wine and ancillary items are a "Permitted" Use in the CDT zone.
2. The CUP will be conditioned to comply with the operational statement. Changes to the daily operations may result in a re-review of the use.
3. Other conditions may be included emphasizing that the use cannot operate as a lounge/bar.

## **PREVIOUS COMMENTS**

### **PROJECT SPECIFIC INFORMATION:** 08/06/2014

1. Staff supports wine bottle retail sales; wine tasting associated with the wine products sold within the business, and live entertainment as described in the operational statement for the Blend Wine business.
2. Based on information presented in the operational statement, a wine lounge (i.e., bar) as a primary use is not allowed in the CDT (Central Business District) zone. A lounge associated with a sit-down restaurant is Permitted subject to the bar area not exceeding 25% of the public use area. The business operation is required to be modified due to the businesses primary use as a "lounge".
3. Resubmit a revised operational statement that identifies changes to the business operation to comply with zoning requirements for the CDT zone.
4. A Conditional Use Permit (CUP) is required for wine tasting and live entertainment. The filing of the CUP will cover both uses. Staff may condition the project limiting the number of wine tasting an individual may purchase per visit to the commercial establishment. The reasoning to limit the onsite consumption would be to address any misconception that the business is operating a "bar/lounge/tavern".
5. Live entertainment would be conditioned based on the operational statement.

## CITY GENERAL PLAN CONSISTENCY

Staff initial finding is that the proposed Wine Retail Sales, Wine Tasting and Live Entertainment IS CONSISTENT with the City General Plan and Zoning Ordinance. Because this project requires discretionary approval by the City Council and/or Planning Commission the final determination of consistency will be made by the Planning Commission and/or City Council.

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### Downtown Parking District: [Zoning Ordinance Section 17.30.019A Article 2]

1. The site was formally occupied by a retail men's clothing store. The first floor has a parking credit established at the retail rate (1 spacer per 300 sq. ft. of floor area). The proposed project, based on the retail sales of wine does not require additional parking.
2. The building is located in PBID (Property Based Improvement District) and meets the Change-in-use requirements and is not subject to additional Parking In-lieu fees.

### Signage: [see Zoning Ordinance Section 17.48]

1. All signs require a building permit.
2. Signs for this business are subject to the Downtown Retail Design District requirements.

Signs – signs should contribute to the commercial quality and character of the district. Within the district, the following standards for signage are prescribed:

- 1) Primary Signage
  - a) Material: Plastic is prohibited as a primary sign material.
  - b) Size:
    - i) Two (2) square feet of sign area is permitted for each one (1) foot of linear occupancy frontage to a maximum of fifty (50) square feet.
    - ii) The sign area as calculated for the occupancy frontage may be used on the occupancy frontage, or may be divided between the occupancy frontage and any other exterior wall. (see DRD for more)
  - c) Location: Users may choose which exterior side of the building will be used for the purpose of calculating the permitted sign area. The exterior side chosen is the primary occupancy frontage. The building sign so calculated shall be mounted on the primary occupancy frontage.
- 2) On Awnings: A building sign may be affixed to or incorporated as a part of the design of the front valance only of an awning; however, such sign area shall be deducted from that calculated for the exterior building wall to which the awning is attached. Numerals used for the purpose of identifying street addresses need not be deducted from the calculated sign area.
- 3) Street addresses
- 4) Additional signs of a maximum twenty-five percent of the sign area calculated for the primary occupancy frontage will be allowed for each remaining exterior wall, provided that the sign for any given wall does not exceed two square feet per linear foot of the wall length. This subsection does not apply to alley frontages visible from center or Acequia streets.
- 5) Pedestrian oriented sign: one double faced sign not exceeding an area of three (3) square feet per face, to be constructed of wood, with a carved and/or painted logo. Pedestrian oriented signs shall be a minimum of 8 feet above the sidewalk and shall not exceed a maximum height of 12 feet.
- 6) A pedestrian oriented sign may also be affixed to or incorporated into the design of the side valance of awnings which are perpendicular to the store frontage. Both side valances of an awning may be so utilized, however, only one sign face per awning side is allowed. Each sign

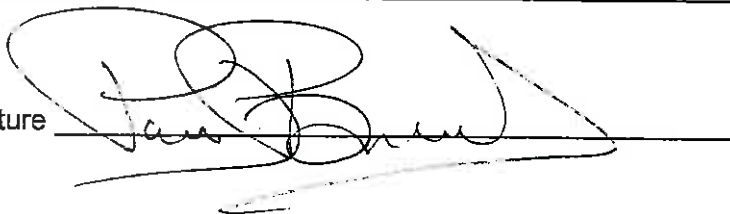
face shall not exceed three (3) square feet. If this option is chosen, no other pedestrian oriented sign is allowed.

- 7) The building sign area as calculated on the primary occupancy frontage may also be used on the alley frontage for those businesses with direct pedestrian entrances from alleyways, where such entrances and frontages are visible from center or Acequia streets. In no case shall the sign area used on the alley frontage exceed that permitted for the primary occupancy frontage.
- 8) Each building may display a reader board of a maximum area of twenty (20) square feet indicating the name, address and type of business of the businesses within the building. If the reader board is located on a part of the building qualifying as an occupancy frontage for which sign area is calculated, the sign area used for the reader board shall be deducted from the total permitted for that building. Reader boards shall be designed as one with each copy panel consisting of similar materials and designs. Permits for reader boards shall not be issued without consent of the property owner.
- 9) Within the district, internally illuminated signs are prohibited, with the exception of neon.
- 10) Plastic is prohibited as a primary sign material.
- 11) Each commercial use which has direct pedestrian access through an exterior building wall which is visible from a public right-of-way, shall be allowed at least ten (10) square feet of building sign area, regardless of building occupancy frontage. Commercial uses having a sole access from the interior of any building or from an enclosed lobby or court shall not be allowed the minimum building sign area referred to in this section.
- 12) Permanent signage painted or affixed to the surface of retail display windows shall cover no more than twenty percent (20%) of the display window area and shall be allowed in addition to the calculated building sign area.
- 13) Temporary signs pertaining to special store events or sales lasting no more than thirty (30) days may be painted or affixed to display windows provided that their total area shall not exceed thirty percent (30%) of the window. Such temporary sign or signs shall be removed within seven (7) days of the completion of said event or sale. No permit is required for such temporary sign(s).

The comments found on this document pertain to the site plan submitted for review on the above referenced date. Any changes made to the plan submitted must be submitted for additional review.

**NOTE: Staff recommendations contained in this document are not to be considered support for a particular action or project unless otherwise stated in the comments.**

Signature





**BUILDING/DEVELOPMENT PLAN  
REQUIREMENTS  
ENGINEERING DIVISION**

- Jason Huckleberry 713-4259
- Adrian Rubalcaba 713-4271

ITEM NO: 5 DATE: AUGUST 20, 2014

SITE PLAN NO.: 14-104 RESUBMITTAL  
PROJECT TITLE: BLEND WINE ROOM  
DESCRIPTION: RETAIL WINE AND TASTING ROOM IN EXISTING  
1,336 SF BUILDING ON 2,300 SF AREA (CDT  
ZONED) (X/AE) (DISTRICT DRD)  
APPLICANT: PATLAN LUIS  
PROP OWNER: SCIACCA SAM A & MARLENE E (TRS)(FAM REV  
TR)  
LOCATION: 115 E MAIN ST  
APN: 094-298-004

**SITE PLAN REVIEW COMMENTS**

REQUIREMENTS (indicated by checked boxes)

- Install curb return with ramp, with \_\_\_\_\_ radius;
- Install curb;  gutter
- Drive approach size:  Use radius return;
- Sidewalk: \_\_\_\_\_ width;  parkway width at \_\_\_\_\_
- Repair and/or replace any sidewalk across the public street frontage(s) of the subject site that has become uneven, cracked or damaged and may constitute a tripping hazard.
- Replace any curb and gutter across the public street frontage(s) of the subject site that has become uneven and has created areas where water can stand.
- Right-of-way dedication required. A title report is required for verification of ownership.
- Deed required prior to issuing building permit;
- City Encroachment Permit Required.  
Insurance certificate with general & auto liability (\$1 million each) and workers compensation (\$1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit. Contact Rafael Magallan, 713-4414.
- CalTrans Encroachment Permit required.  CalTrans comments required prior to issuing building permit. Contacts: David Deel (Planning) 488-4088;
- Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map.
- Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.
- Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades.  Prepared by registered civil engineer or project architect.  All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a)  directed to the City's existing storm drainage system; b)  directed to a permanent on-site basin; or c)  directed to a temporary on-site basin is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: \_\_\_\_\_ : \_\_\_\_\_ maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance.
- Grading permit is required for clearing and earthwork performed prior to issuance of the building permit.
- Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter = .020%, V-gutter = 0.25%)
- Show adjacent property grade elevations. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
- All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications.



- Traffic indexes per city standards:
- Install street striping as required by the City Engineer.
- Install landscape curbing (typical at parking lot planters).
- Minimum paving section for parking: 2" asphalt concrete paving over 4" Class 2 Agg. Base, or 4" concrete pavement over 2" sand.
- Design Paving section to traffic index of 5.0 min. for solid waste truck travel path.
- Provide "R" value tests:            each at
- Written comments required from ditch company            Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditch; Jerry Hill 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
- Access required on ditch bank, 15' minimum    Provide            wide riparian dedication from top of bank.
- Show Oak trees with drip lines and adjacent grade elevations.    Protect Oak trees during construction in accordance with City requirements.
- A permit is required to remove oak trees. Contact Joel Hooyer at 713-4295 for an Oak tree evaluation or permit to remove.    A pre-construction conference is required.
- Relocate existing utility poles and/or facilities.
- Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- Subject to existing Reimbursement Agreement to reimburse prior developer:
- Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
- If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
- If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.
- Comply with prior comments.    Resubmit with additional information.    Redesign required.

**Additional Comments:**

***1. Shell permit for existing building will need to be "finaled" prior to proposed tenant improvement permit issuance.***

***2. Proposed wine bar and limited food menu will be assessed under retail impact fees; already credited by previous use.***

***3. Building permit plan check and inspection fees apply.***

**SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES**

Site Plan No: 14-104 RESUBMITTAL

Date: 8/20/2014

**Summary of applicable Development Impact Fees to be collected at the time of building permit:**  
**(Preliminary estimate only! Final fees will be based on the development fee schedule in effect at the time of building permit issuance.)**

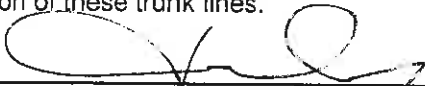
(Fee Schedule Date:8/15/2014)  
(Project type for fee rates:RETAIL BAR)

Existing uses may qualify for credits on Development Impact Fees. **RETAIL**

<u>FEE ITEM</u>	<u>FEE RATE</u>
<input type="checkbox"/> Groundwater Overdraft Mitigation Fee	
<input type="checkbox"/> Transportation Impact Fee	
<input type="checkbox"/> Trunk Line Capacity Fee	
<input type="checkbox"/> Sewer Front Foot Fee	
<input type="checkbox"/> Storm Drain Acq/Dev Fee	
<input type="checkbox"/> Park Acq/Dev Fee	
<input type="checkbox"/> Northeast Specific Plan Fees	
<input type="checkbox"/> Waterways Acquisition Fee	
<input type="checkbox"/> Public Safety Impact Fee: Police	
<input type="checkbox"/> Public Safety Impact Fee: Fire	
<input type="checkbox"/> Public Facility Impact Fee	
<input type="checkbox"/> Parking In-Lieu	

**Reimbursement:**

- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.

  
\_\_\_\_\_  
**Jason Huckleberry**

# SITE PLAN REVIEW COMMENTS

CITY OF VISALIA TRAFFIC SAFETY DIVISION

August 20, 2014


ITEM NO:	5	RESUBMITL
SITE PLAN NO:	SPR14104	
PROJECT TITLE:	BLEND WINE ROOM	
DESCRIPTION:	RETAIL WINE AND TASTING ROOM IN EXISTING 1,336 SF BUILDING ON 2,300 SF AREA (CITY ZONED) (XIRE) (DISTRICT ORD)	
APPLICANT:	PATLAN LUIS	
PROP. OWNER:	SCIACCA SAM A & MARLENE EXTRS)(FAM REV TR	
LOCATION:	110 S MAIN ST	
APN(S):	094-298-004	

**THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY**

- No Comments
- See Previous Site Plan Comments
- Install Street Light(s) per City Standards.
- Install Street Name Blades at Locations.
- Install Stop Signs at Locations.
- Construct parking per City Standards PK-1 through PK-4.
- Construct drive approach per City Standards.
- Traffic Impact Questionnaire required.

**Additional Comments:**

•

  
\_\_\_\_\_  
Leslie Blair

**QUALITY ASSURANCE DIVISION  
SITE PLAN REVIEW COMMENTS**

ITEM NO: 5	DATE: August 20, 2014
SITE PLAN NO:	SPR14104              RESUBMIT
PROJECT TITLE:	BLEND WINE ROOM
DESCRIPTION:	RETAIL WINE AND TASTING ROOM IN EXISTING 1,336 SF BUILDING ON 2,300 SF AREA (CDT ZONED) (X/AE) (DISTRICT DRD)
APPLICANT:	PATLAN LUIS
PROP OWNER:	SCIACCA SAM A & MARLENE E (TRS) (FAM REV T)
LOCATION:	115 E MAIN ST
APN(S):	094-298-004

YOU ARE REQUIRED TO COMPLY WITH THE CITY OF VISALIA WASTEWATER ORDINANCE 13.08 RELATIVE TO CONNECTION TO THE SEWER, PAYMENT OF CONNECTION FEES AND MONTHLY SEWER USER CHARGES. THE ORDINANCE ALSO RESTRICTS THE DISCHARGE OF CERTAIN NON-DOMESTIC WASTES INTO THE SANITARY SEWER SYSTEM.

YOUR PROJECT IS ALSO SUBJECT TO THE FOLLOWING REQUIREMENTS:

- WASTEWATER DISCHARGE PERMIT APPLICATION
- SAND AND GREASE INTERCEPTOR – 3 COMPARTMENT \_\_\_\_\_
- GREASE INTERCEPTOR min. 1000 GAL
- GARBAGE GRINDER – ¾ HP. MAXIMUM \_\_\_\_\_
- SUBMISSION OF A DRY PROCESS DECLARATION \_\_\_\_\_
- NO SINGLE PASS COOLING WATER IS PERMITTED \_\_\_\_\_
- OTHER \_\_\_\_\_
- SITE PLAN REVIEWED – NO COMMENTS

CALL THE QUALITY ASSURANCE DIVISION AT (559) 713-4529 IF YOU HAVE ANY QUESTIONS.

CITY OF VISALIA  
PUBLIC WORKS DEPARTMENT  
QUALITY ASSURANCE DIVISION  
7579 AVENUE 288  
VISALIA, CA 93277



\_\_\_\_\_  
AUTHORIZED SIGNATURE

8-15-14

\_\_\_\_\_  
DATE

City of Visalia  
Parks and Urban Forestry  
336 N. Ben Maddox Way  
Visalia, CA 93292

Date: 8-11-14

Site Plan Review # 14-104

SITE PLAN REVIEW COMMENTS



COMMENTS: See Below  None

- Please plot and protect all Valley Oak Trees.
- Landscape along parkway to be planted by developer and maintained by a maintenance district.
- All drainage from curb and gutter along streets to be connected to storm drain system.
- All trees planted in street right-of-way to be approved by the Public Works Superintendent of Parks.
- Tie-ins to existing infrastructure may require a bore. Check with the Public Works Department prior to any street cut.

Other Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

*Bob Hoover*

CITY OF VISALIA  
SOLID WASTE DIVISION  
336 N. BEN MADDOX  
VISALIA CA. 93291  
713 - 4500

ITEM NO: 5

DATE: AUGUST 20, 2014

SITE PLAN NO: SPR14104 RE MIT  
PROJECT TITLE: BLEND WINE ROOM  
DESCRIPTION: RETAIL WINE AND TASTING ROOM IN EXISTING  
1,336 SF BUILDING ON 2,300 SF AREA (CDT ZONED)  
(X/AE) (DISTRICT DRD)  
APPLICANT: PATLAN LUIS  
PROP OWNER: SCIACCA SAM A & MARLENE E (TRS) (FAM REV T  
LOCATION: 115 E MAIN ST  
APN(S): 094-298-004

COMMERCIAL BIN SERVICE

No comments.

Same comments as as

Revisions required prior to submitting final plans. See comments below.

Resubmittal required. See comments below.

Customer responsible for all cardboard and other bulky recyclables to be broken down  
before disposing of in recycle containers.

ALL refuse enclosures must be R-3 or R-4

Customer must provide combination or keys for access to locked gates/bins

Type of refuse service not indicated.

Location of bin enclosure not acceptable. See comments below.

Bin enclosure not to city standards double.

Inadequate number of bins to provide sufficient service. See comments below.

Drive approach too narrow for refuse trucks access. See comments below.

Area not adequate for allowing refuse truck turning radius of :

Commercial ( X ) 50 ft. outside 36 ft. inside; Residential ( ) 35 ft. outside, 20 ft. inside.

Paved areas should be engineered to withstand a 55,000 lb. refuse truck.

Bin enclosure gates are required

Hammerhead turnaround must be built per city standards.

Cul - de - sac must be built per city standards.

Bin enclosures are for city refuse containers only. Grease drums or any other  
items are not allowed to be stored inside bin enclosures.

Area in front of refuse enclosure must be marked off indicating no parking

Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS)

Customer will be required to roll container out to curb for service.

Must be a concrete slab in front of enclosure as per city standards

The width of the enclosure by ten(10) feet, minimum of six(6) inches in depth.

Roll off compactor's must have a clearance of 3 feet from any wall on all sides and there must be a minimum of 53 feet clearance in front of the compactor to allow the truck enough room to provide service.

Bin enclosure gates must open 180 degrees and also hinges must be mounted in front of post see page 2 for instructions

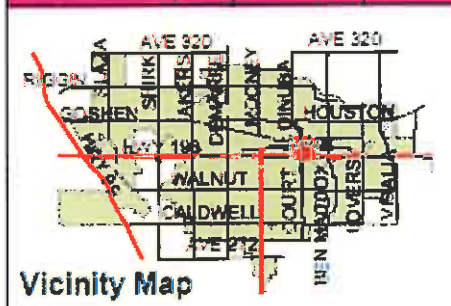
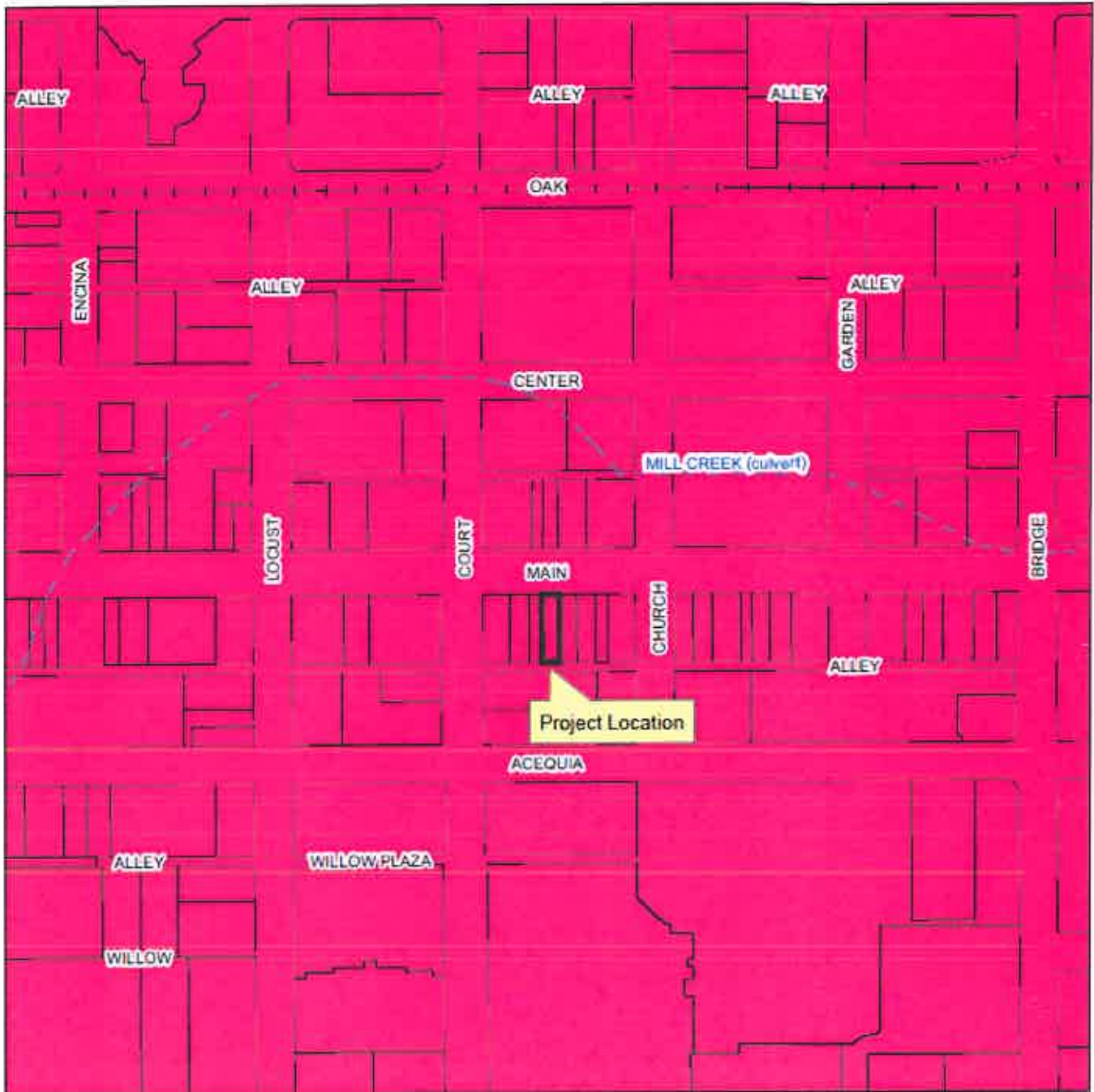
EXISTING SERVICE OK.

Javier Hernandez, Solid Waste Front Load Supervisor 713-4338



# Conditional Use Permit No. 2016-31

The subject site is located at 115 E. Main Street,  
on the south side of Main Street between Court and Church Streets. (APN: 094-299-004)



Vicinity Map

## General Plan Land Use Map

0 50 100 200 300 400 Feet

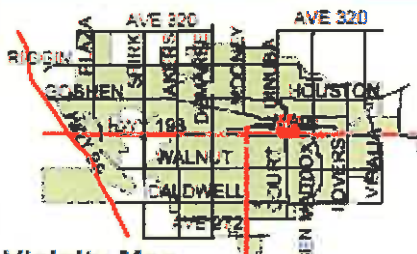
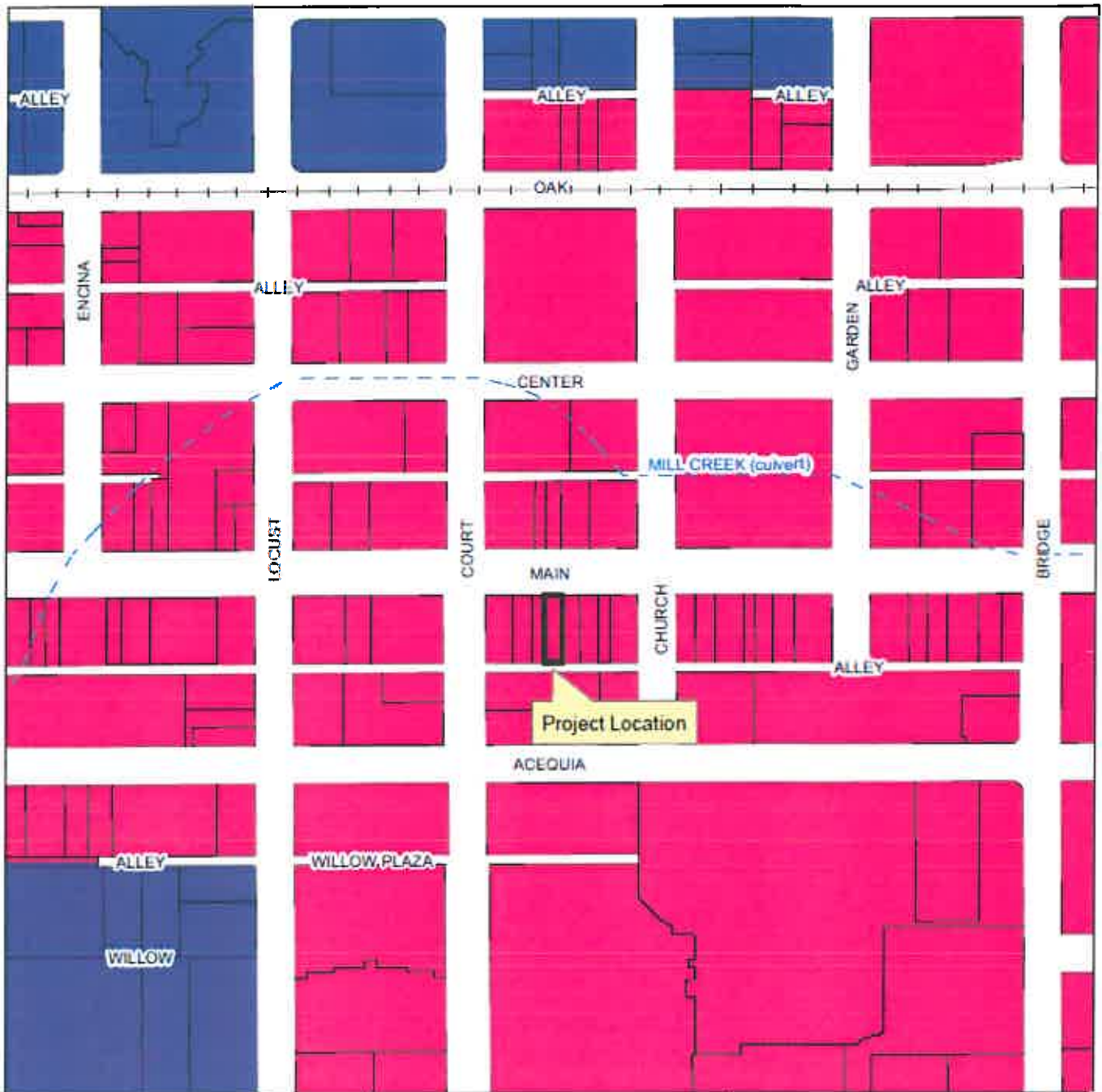
### Legend

- - - WATERWAYS
- + + RAILROADS
- CENTRAL BUSINESS DISTRICT



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Vicinity Map

## Zoning Map



### Legend

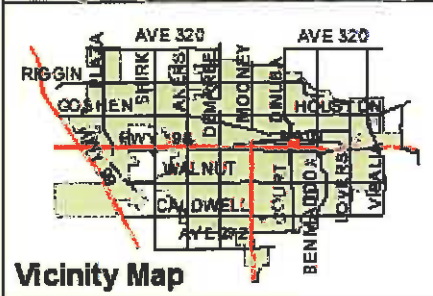
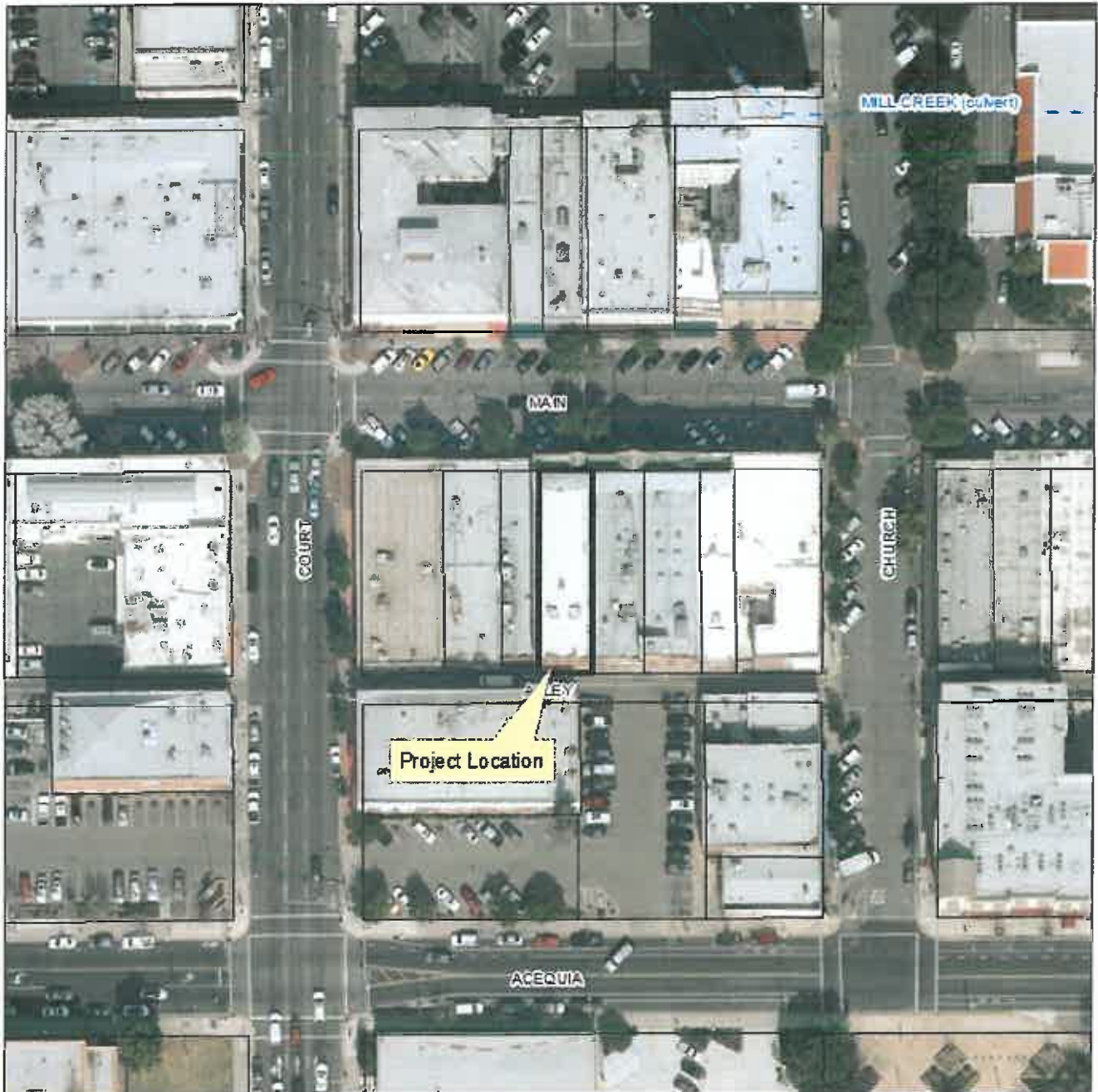
- WATERWAYS
- RAILROADS
- PINK CENTRAL BUSINESS DISTRICT
- BLUE PROFESSIONAL / ADMIN. OFFICE





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Vicinity Map

## Aerial Photo

Photo Taken March 2012



## Legend

- WATERWAYS
- + RAILROADS



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