

# PLANNING COMMISSION AGENDA

CHAIRPERSON:

Adam Peck



VICE CHAIRPERSON:

Brett Taylor

COMMISSIONERS: Adam Peck, Brett Taylor, Liz Wynn, Marvin Hansen, Chris Gomez

MONDAY, OCTOBER 24, 2016; 7:00 P.M., COUNCIL CHAMBERS, 707 W. ACEQUIA, VISALIA CA

1. THE PLEDGE OF ALLEGIANCE –
2. CITIZEN'S COMMENTS – This is the time for citizens to comment on subject matters that are not on the agenda but are within the jurisdiction of the Visalia Planning Commission. The Commission requests that a 5-minute time limit be observed for comments. Please begin your comments by stating and spelling your name and providing your street name and city. Please note that issues raised under Citizen's Comments are informational only and the Commission will not take action at this time.
3. CHANGES OR COMMENTS TO THE AGENDA–
4. CONSENT CALENDAR - All items under the consent calendar are to be considered routine and will be enacted by one motion. For any discussion of an item on the consent calendar, it will be removed at the request of the Commission and made a part of the regular agenda.
  - Finding of Consistency No. 2016-008 a request by the Orosco Group to combine two 15,000 sq. ft. retail pads and remove a 6,000 sq. ft. retail pad located in the approved Packwood Creek Phase II project area to facilitate a 30,000 sq. ft. single retail use. The site is located on the north side of Visalia Parkway between the Costco warehouse retail center to the east and the Packwood Creek Shopping center to the west (APN: 126-730-026)
5. PUBLIC HEARING – Paul Scheibel  
Conditional Use Permit No. 2016-04: A request by Jasco Consulting Inc., to construct a gas station development on 2.45 acres of a 3.85-acre site; and, consisting of a 7,700 square foot commercial building, 4,408 square foot fuel canopy and a 1,000 square foot automated carwash building. The 7,700 square foot commercial building will be divided into three tenant spaces comprised of a 3,000 square foot convenience store, 2,000 square foot fast food tenant space with a drive-thru lane, 2,700 square foot retail tenant space. The site is zoned C-SO (Shopping / Office Commercial), and is located on the southeast corner of East Houston Avenue and North McAuliff Street (APN: 103-120-081). The project is Categorically Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332, Categorical Exemption No. 2016-049
6. DIRECTOR'S REPORT/ PLANNING COMMISSION DISCUSSION-

The Planning Commission meeting may end no later than 11:00 P.M. Any unfinished business may be continued to a future date and time to be determined by the Commission at this meeting. The Planning Commission routinely visits the project sites listed on the agenda.

For the hearing impaired, if signing is desired, please call (559) 713-4359 twenty-four (24) hours in advance of the scheduled meeting time to request these services. For the visually impaired, if enlarged print or Braille copy is desired, please call (559) 713-4359 for this assistance in advance of the meeting and such services will be provided as soon as possible following the meeting.

Any written materials relating to an item on this agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the City Office, 315 E. Acequia Visalia, CA 93291, during normal business hours.

**APPEAL PROCEDURE**

**THE LAST DAY TO FILE AN APPEAL IS THURSDAY, NOVEMBER 3, 2016 BEFORE 5 PM**

According to the City of Visalia Zoning Ordinance Section 17.02.145 and Subdivision Ordinance Section 16.04.040, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal form with applicable fees shall be filed with the City Clerk at 220 N. Santa Fe, Visalia, CA 93292. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website [www.visalia.city](http://www.visalia.city) or from the City Clerk.

**THE NEXT REGULAR MEETING WILL BE HELD ON MONDAY, NOVEMBER 14, 2016**

# City of Visalia



**To:** Planning Commission

**From:** Paul Bernal, Principal Planner (713-4025)

**Date:** October 24, 2016

**Re:** Finding of Consistency No. 2016-008 a request by the Orosco Group to combine two 15,000 sq. ft. retail pads and remove a 6,000 sq. ft. retail pad located in the approved Packwood Creek Phase II project area to facilitate a 30,000 sq. ft. single retail use. The site is located on the north side of Visalia Parkway between the Costco warehouse retail center to the east and the Packwood Creek Shopping center to the west (APN: 126-730-026)

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## **RECOMMENDATION**

Staff recommends that the Planning Commission make a Finding of Consistency modifying the site plan by allowing the removal of a 6,000 sq. ft. retail pad and combining two 15,000 sq. ft. retail pads to facilitate a 30,000 sq. ft. single retail commercial use approved through Conditional Use Permit No. 2007-12, and as depicted on the attached Exhibit "B"

## **DISCUSSION**

Conditional Use Permit No. 2007-12 was approved by the Planning Commission on May 14, 2007, amending CUP No. 2005-29 by relocating the Costco building to the southwest corner of Cameron Avenue and Stonebrook Street and approving the reconfiguration of several building pads. Tentative Parcel Map No. 2007-03 was also approved which created parcels to facilitate the subdivision of this project site based on the CUP site plan exhibit (see Exhibit "A"). The Costco building was subsequently constructed, thereby "use inaugurating" the site plan for the Packwood Phase II area.

The applicant, through the Site Plan Review (SPR) process requested minor modifications to the CUP No. 2007-12 site plan. The request, as stated in the applicant' letter (see Exhibit "C"), and as depicted with the filing of SPR No. 2016-070, is to remove a 6,000 square foot retail commercial pad and combine two 15,000 square foot retail pads, creating one 30,000 square foot commercial pad for a single tenant use (see Exhibit "B"). The 30,000 square foot retail pad will not be adjacent to the remaining inline retail buildings and will be detached by a drive aisle and parking lot.

Staff finds the proposed minor modifications to the approved site plan for CUP No. 2007-12 is still consistent with the scope of the approved Conditional Use Permit and will not pose any significant impact to the surrounding land uses. This finding is based on staff's determination that the retail building square footage approved for the site is consistent with the overall development plan approved for the site, and will not result in an increase in traffic or parking that was not considered as part of the CUP approval process. All traffic associated with the new 30,000 square foot retail pad will be utilizing surrounding arterial and collector streets for access.

Approval of the finding of consistency will not require any change to the Conditional Use Permit's approved resolution, included as Exhibit "D".

## **ATTACHMENTS**

- Exhibit "A" – CUP No. 2007-12 Approved Site Plan Exhibit
- Exhibit "B" – Proposed Site Plan Exhibit (SPR No. 2016-070)
- Exhibit "C" – Letter of Request
- Resolution Approving Conditional Use Permit No. 2007-12
- Aerial Photo

Exhibit 'A' – Approved CUP No. 2007-12 Site Plan:

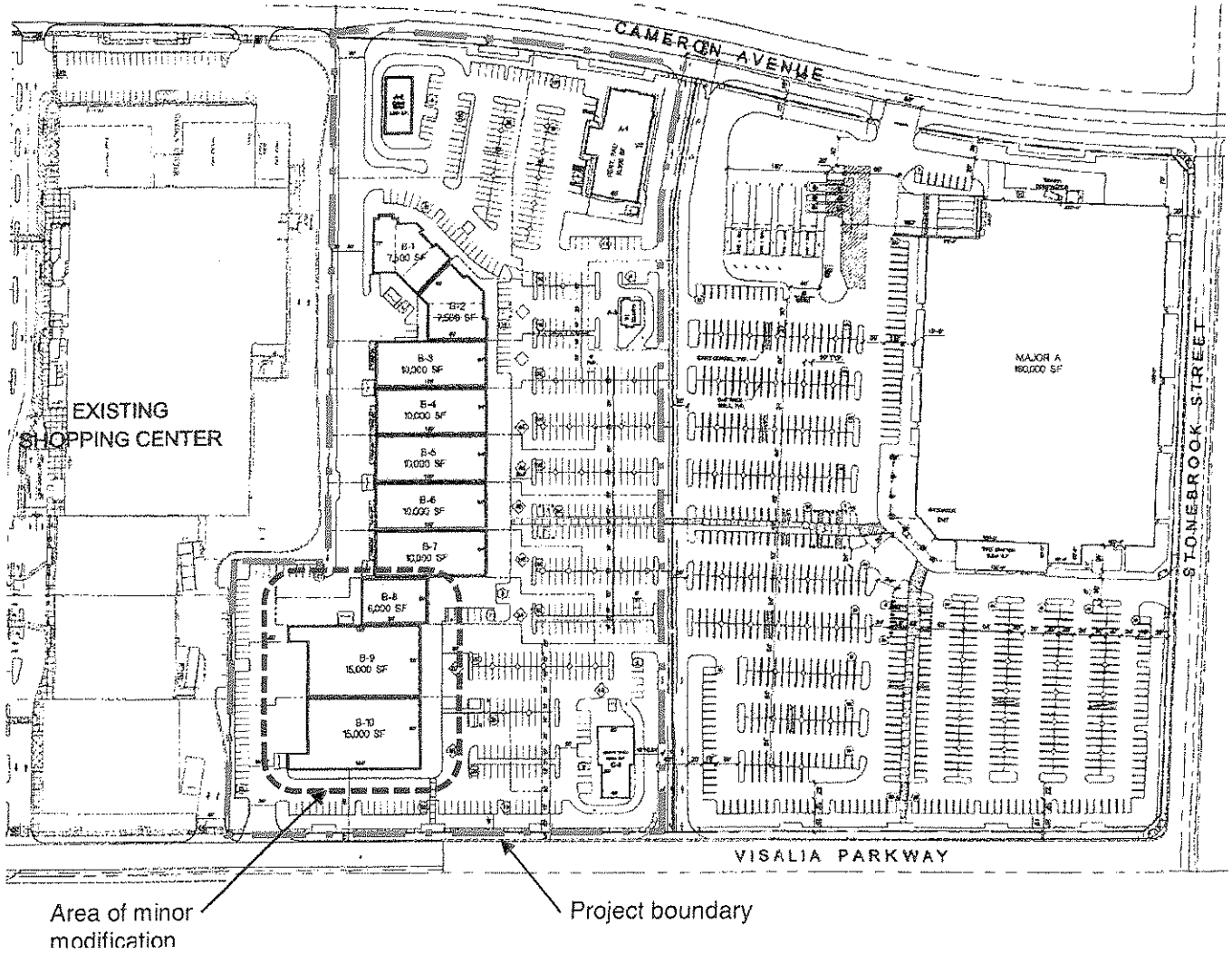
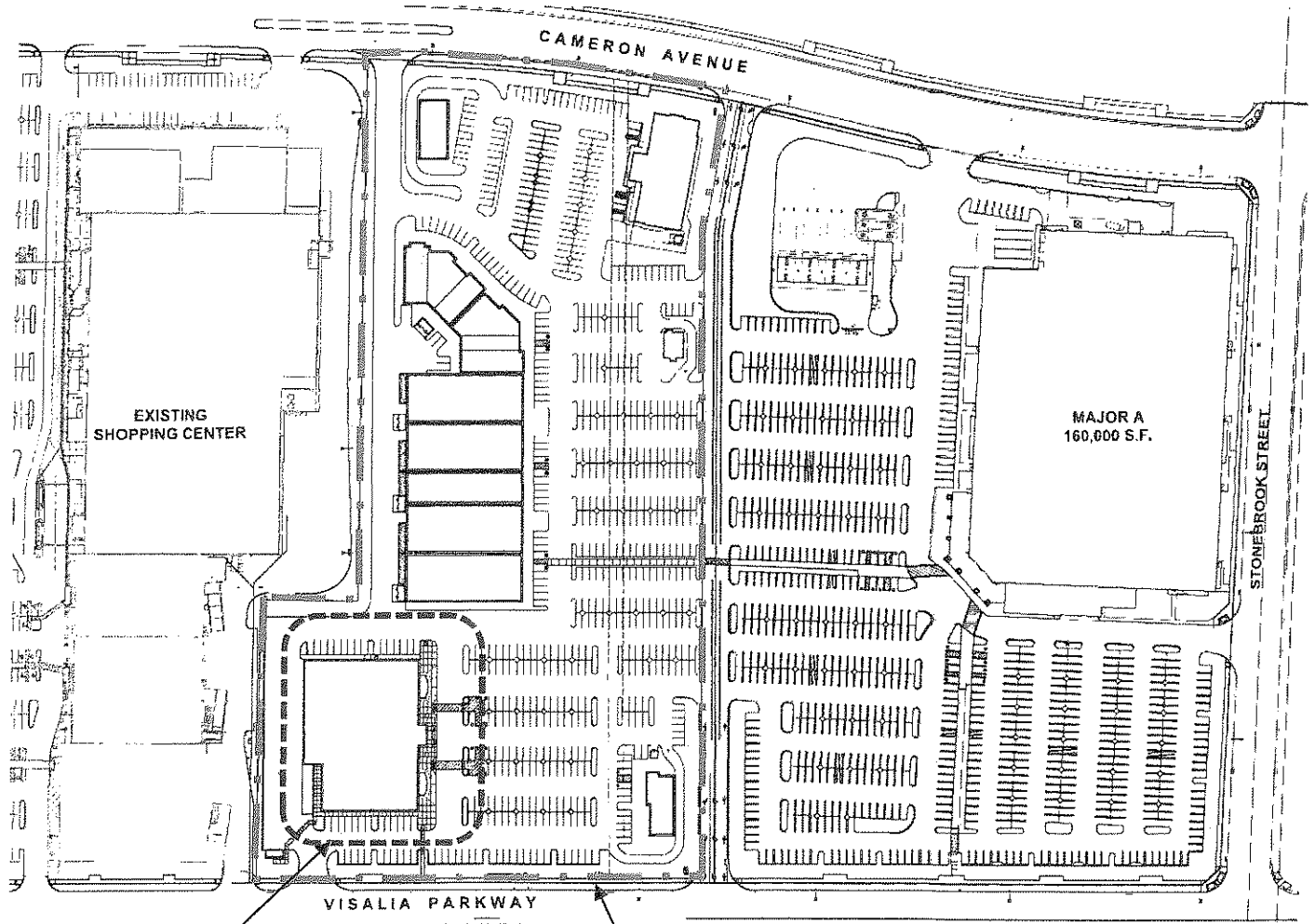


Exhibit 'B' – Proposed Site Plan (Site Plan Review No. 16-070) for a Finding of Consistency:



Area of minor modification

Project boundary

# OROSCO

October 13, 2016

Josh McDonnell, AICP, Director / City Planner  
City of Visalia  
Community Development Department / Planning Division  
315 E. Acequia Ave.  
Visalia, CA 93291  
Tel: (559) 713-4025  
Email: [josh.mcdonnell@visalia.city](mailto:josh.mcdonnell@visalia.city)

Re: DBO Development No. 33 Packwood Phase II (The Grove – South)  
New 30,000 s.f. Single Occupant Retail Tenant  
Letter of Request for Finding of Consistency

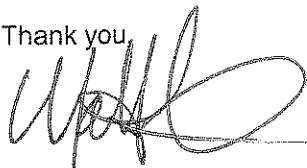
Dear Josh,

Pursuant to Site Plan Review No. 16-070 from the May 18, 2016 meeting date associated to our Packwood Phase II (The Grove – South) new 30,000 s.f. single occupant retail tenant building project, please accept this letter and corresponding processing fee check as our application request for a Finding of Consistency with our prior CUP No. 2007-12 approval.

Our request for a Finding of Consistency consists of combining two adjoining 15,000 s.f. retail pads and deleting and adjacent 6,000 s.f. retail pad at the southwest corner of the Packwood Phase II (The Grove – South) site as previously approved per CUP No. 2007-12 and shown for reference in Exhibit 'A' (Approved CUP No. 2007-12 Site Plan) to create one single 30,000 s.f. retail tenant in the same location per approved Site Plan Review No. 16-070 and shown for reference in Exhibit 'B' (Proposed Site Plan - Site Plan Review No. 16-070).

Please let me know if any additional information is required to process our request for a Finding of Consistency and the date our request will be placed on the City of Visalia Planning Commission's Consent Agenda for approval.

Thank you



Matt Nohr  
Director of Development  
Orosco Group

Cc: Paul Bernal, Principal Planner City of Visalia, [paul.bernal@visalia.city](mailto:paul.bernal@visalia.city)

RESOLUTION NO 2007-27

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO 2007-12, A REQUEST TO AMEND AN APPROVED CONDITIONAL USE PERMIT (CUP 2005-29) FOR A PLANNED COMMERCIAL DEVELOPMENT WITH SHARED ACCESS AND A GASOLINE SERVICE STATION IN THE REGIONAL RETAIL COMMERCIAL ZONE. THE SITE IS LOCATED ON THE WEST SIDE OF STONEBROOK STREET BETWEEN CALDWELL AVENUE AND VISALIA PARKWAY.

**WHEREAS**, Conditional Use Permit No. 2007-12: a request by DBO Development Co. to amend an approved Conditional Use Permit (CUP No. 2005-29) for a planned commercial development with shared access and a gasoline service station in the Regional Retail Commercial zone. The site is located on the west side of Stonebrook Street between Caldwell Avenue and Visalia Parkway. (APN: 126-062-069, 126-730-013, 126-730-015); and

**WHEREAS**, the Planning Commission of the City of Visalia, after duly published notice did hold a public hearing before said Commission on May 14, 2007; and

**WHEREAS**, the Planning Commission of the City of Visalia finds the conditional use permit to be in accordance with Section 17.38.110 of the Zoning Ordinance of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and

**WHEREAS**, the Planning Commission has reviewed and considered the Final Environmental Impact Report for South Packwood Creek Specific Plan and Phase I Regional Retail Development; and

**NOW, THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Visalia approves the proposed conditional use permit based on the following specific findings and based on the evidence presented:

1. That the site is located within Phase II of the South Packwood Creek Specific Plan, and is consistent with the goals and policies of the South Packwood Creek Specific Plan.
2. That the proposed Conditional Use Permit is consistent with the policies and intent of the General Plan and Zoning Ordinance.
3. That the proposed Conditional Use Permit is compatible with adjacent land uses.
4. That the proposed Conditional Use Permit is not detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.

5. That the Environmental Impact Report prepared and certified for the South Packwood Creek Specific Plan and Phase I Regional Retail Development (SCH#2000121005) includes the proposed conditional use permit in its project description.
6. That no new information has arisen since certification of the Environmental Impact Report that alter its analysis of impacts or conclusions as to affects and required mitigation. Therefore, the EIR adequately addresses the environmental issues. This finding is further supported by technical studies which have prepared for the proposed project as it related to the fields of economics and market impact, traffic, biology, geologic and geotechnical engineering, noise, and air quality
7. That an Initial Study with environmental checklist was prepared for the requested Conditional Use Permit, and disclosed that the buildout of Phase II would have no adverse impacts further than those discussed in the approved Environmental Impact Report.

BE IT FURTHER RESOLVED that the Planning Commission approves the conditional use permit on the real property herein above described in accordance with the terms of this resolution under the provisions of Section 17.38 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the project be developed in substantial compliance and be consistent with the conditions of the Site Plan No. 2007-13, unless otherwise indicated herein.
2. That the site be developed in substantial compliance with the approved site plan shown in Exhibits "A" and "C".
3. That the locations of buildings on the site be confined to the limits shown on Exhibit "C".
4. That the project's landscaping, design, and architecture be developed in substantial compliance with the goals and policies contained in the South Packwood Creek Specific Plan. Specifically, the building elevations shall conform to the architectural references for the Phase II Development (Exhibit "G") and shall be consistent with the representative building elevations for the Phase II Development (Exhibits "D" & "E") and conceptual landscaping plan (Exhibit "F").
5. That with the exception of the gasoline service station on Parcel 1, all land uses which are allowed as a conditional use in the Regional Retail Commercial (C-R) zone shall require approval of Conditional Use Permit(s) prior to locating on any portion of the Phase II area.
6. That signage shall comply with the policies and design criteria found in the South Packwood Creek Specific Plan.



7. That any signage standards and/or criteria that call for a greater sign copy area on the site than that which is permitted by the adopted version of the South Packwood Creek Specific Plan require approval of a Specific Plan Amendment.
8. That screening shall be provided for roof mounted equipment. Any outdoor storage shall be screened from public view using a solid material.
9. That the road improvements shall be constructed as identified in Table 2-3 of the South Packwood Creek Specific Plan, unless otherwise indicated herein.
10. That new development within the project area shall include transit facilities, including bus turn-outs, and bus stop amenities such as shelters, benches, and route information signs, based on adopted transit policies, as deemed necessary by the local transit authority. Project developers shall work with the local transit authority to determine the preferred location(s) and design of transit facilities.
11. That a detailed landscape and irrigation plan, consistent with City code requirements, shall be provided for review by the City prior to the issuance of building permits.
12. That landscape screening such as a 3-foot high solid hedge shall be installed where parking areas or drive-thru lanes and landscape setbacks meet.
13. That enclosures for trash containers and commercial recycling bins shall be provided as specified by the City Solid Waste Department. Such enclosures shall be screened from view from adjacent structures and roadways and shall be provided with solid gates.
14. That recessed under canopy lights be utilized for the gas station to preclude direct light glare beyond the fuel islands.
15. That all other City codes and ordinances shall be met, unless modified by the Specific Plan.
16. That the mitigation measures found within the Mitigation Monitoring Plan for the South Packwood Creek Specific Plan and Phase I Regional Retail Development are hereby incorporated as conditions of this conditional use permit.

Commissioner Logan offered the motion to this resolution. Commissioner Perez seconded the motion and it carried by the following vote:

AYES: Commissioners Logan, Perez Peck, Salinas

NOES:

ABSTAINED:

ABSENT: Commissioner Segrue

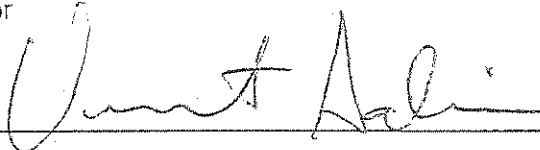
STATE OF CALIFORNIA)  
 COUNTY OF TULARE ) ss  
 CITY OF VISALIA )

ATTEST: Fred Brusuelas, AICP  
Community Development Assistant Director

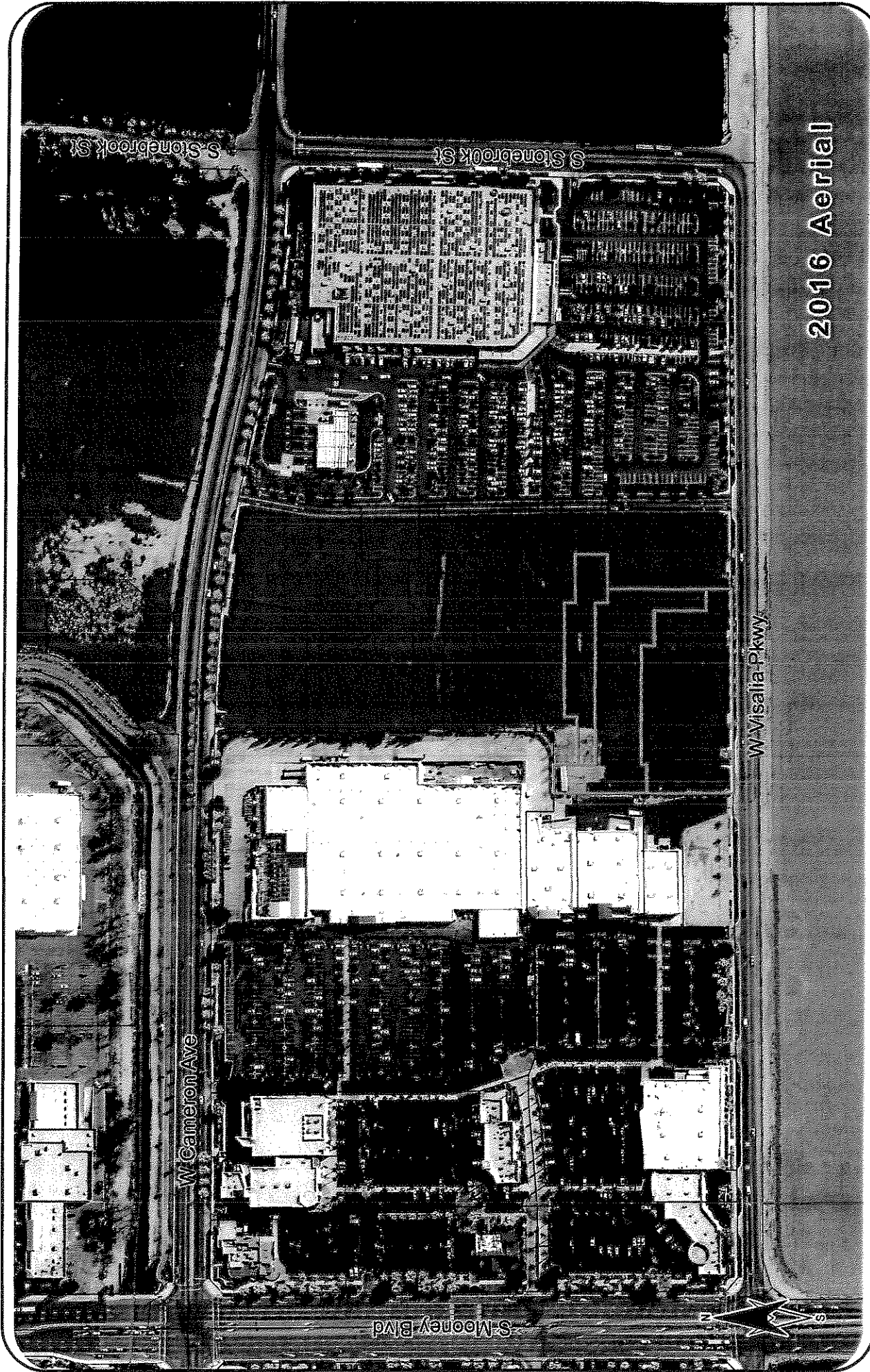
I, Fred Brusuelas, Secretary of the Visalia Planning Commission, certify the foregoing is the full and true Resolution No. 2007-27 passed and adopted by the Planning Commission of the City of Visalia at a regular meeting held on May 14, 2007.



\_\_\_\_\_  
Fred Brusuelas, AICP  
Community Development Assistant Director



\_\_\_\_\_  
Vincent Salinas, Chairperson



2016 Aerial



# REPORT TO CITY OF VISALIA PLANNING COMMISSION



**HEARING DATE:** October 24, 2016

**PROJECT PLANNER:** Paul Scheibel, AICP, Principal Planner  
713-4369

**SUBJECT: Conditional Use Permit No. 2016-04:** A request by Jasco Consulting Inc., to construct a gas station development on 2.45 acres of a 3.85-acre site; and, consisting of a 7,700 square foot commercial building, 4,408 square foot fuel canopy and a 1,000 square foot automated carwash building. The 7,700 square foot commercial building will be divided into three tenant spaces comprised of a 3,000 square foot convenience store, 2,000 square foot fast food tenant space with a drive-thru lane, 2,700 square foot retail tenant space. The site is zoned C-SO (Shopping / Office Commercial), and is located on the southeast corner of East Houston Avenue and North McAuliff Street (APN: 103-120-081).

## STAFF RECOMMENDATION

Staff recommends approval of Conditional Use Permit No. 2014-04, based on the findings and conditions in Resolution No. 2016-10.

## RECOMMENDED MOTION

I move to adopt Resolution No. 2016-10, approving Conditional Use Permit No. 2014-04.

## PROJECT DESCRIPTION

The applicant is requesting approval of a Conditional Use Permit (CUP) that will entitle the development of the northern 2.45 acres of the 3.84-acre parcel. The remaining 1.39-acre portion of the site is not proposed for development at this time. The City is currently processing an instrument to create a separate legal lot that comprises the remainder portion.

The commercial development will consist of a 7,700 square foot (sq.ft.) tenant building located on the east side of the site. The building will house three uses, including a 3,000 sq.ft. convenience store, a 2,000 sq.ft. fast food restaurant (with a drive-thru), and a 2,700 sq.ft. retail space. The project will also include a 1,000 sq.ft. drive thru car wash located on the west side of the site, along McAuliff Street. The site will have a seven-foot high block wall along the east property line to separate it from the residentially designated property to the east.

Access to the site will be from one access point on McAuliff Street, and one access point on Houston Avenue, a designated State Highway. There is a proposed on-site driveway to provide access to future commercial development on the southern portion of the parcel. Condition No. 1.A. requires the project proponent to record a reciprocal access agreement to ensure this connection is available to future commercial development to the south.

The site includes 42 parking spaces, in addition to the 16 spaces available at the eight fueling stations. The fueling stations will be under a single canopy structure. Landscaping is distributed throughout the site, and complies with the 15-foot landscape front setback requirements of Design District B. Overall, the site contains 12% lot coverage for buildings, 36% lot coverage for landscaping, and 62% lot coverage for pavement.

## BACKGROUND INFORMATION

General Plan Land Use Designation:	Shopping/Office Commercial
Zoning:	C/SO (Shopping/Office Commercial)
Surrounding Zoning and Land Use:	North: R-1. (Developed with a single-family residential subdivision. South: C/SO. Undeveloped, residential care facility and associated offices and classrooms beyond. East: AE-20 (Tulare County zoning) Vacant. West: R-1-4.5 (Developed with a single-family residential subdivision.
Environmental Review:	Categorical Exemption No. 2016-49
Special Districts:	Design District B
Site Plan:	2016-021

### RELATED PROJECTS

There are no previous development projects proposed for the site. Recent gasoline service station projects that were approved by CUPs include:

- Conditional Use Permit No. 2015-06: A request by the Chandi Group to construct a new ARCO fueling station with a 6,000 square foot convenience store with a drive-thru lane within the Square at Plaza Drive master-planned development located on the southwest corner of North Plaza Drive and West Crowley Avenue. The project was approved as conditioned on April 13, 2015, by a vote of 4-0 (Vice chair Taylor absent).
- Conditional Use Permit No. 2014-11 and Tentative Parcel Map N. 2014-03: A request to allow the phased development of a shopping center, consisting of six commercial parcels to be developed in four phases with a total of approximately 106,400 square feet of building space, including a gasoline service station, fast food with drive-thru, four-story hotel, drug store with drive-thru, and general retail space on 12 acres. The parcel Map is to divide four lots totaling 12 acres into six commercial parcels. The project is located on east side of Lovers Lane, approximately 310 feet south of Noble Avenue. The project was approved as conditioned on June 9, 2014, by a vote of 5-0.

The project site was the subject of General Plan Amendment No. GPA 2015-10 and Change of Zone No. 2015-11. GPA 2015-10 to amend the Land Use Map from a mix of CC (Convenience Commercial) and PI (Public Institution) to CMU (Commercial Mixed Use) on 3.84 acres. CofZ 2015-11 to amend the Zoning Map from a mix of CC (Convenience Commercial and QP (Quasi Public) to CSO (Planned Shopping/Office Commercial) on 3.84 acres.

On February 8, 2016, the amendments were recommended for approval by the Planning Commission by a vote of 5-0. On April 18, 2016, the amendments were approved by the City Council by a vote of 4-0 (Councilmember Link absent). In its deliberations, the City Council noted its concern that the entire 3.84-acre site be developed in such a way that provides for a

unified development pattern. Consequently, the applicant revised their original CUP site plan to facilitate a shared access point with the undeveloped CSO-zoned property to the south.

## PROJECT EVALUATION

Staff recommends approval of the CUP 2016-04 based upon the findings and conditions in the attached resolution. Specific aspects of the proposed project and justifications for special conditions of approval are analyzed in the sections below.

### ***Conditional Uses / Gas Station, Drive-Thru (Including Fast food Restaurant) and Hotel***

The proposal includes a 3,000 square foot, 8-gas island gasoline service station. The Operational Statement in Exhibit "F" indicates that the fuel island, convenience store, and fast food outlet would operate 24 hours a day. There are no prohibitions to operating 24 hours a day as long as Community Noise Standards are maintained, as specified in Chapter 8.36 of the Visalia Municipal Code. The fast food restaurant also proposed for Phase 1 does not specify hours of operation. However, there is no codified restriction to it operating on a 24-hour basis. Potential restrictions on operating the drive-thru portion are discussed in the Noise Analysis section of this report.

### ***Consistency with the General Plan and Zoning Ordinance***

The project components meet the standards and requirements contained in the City's development policies and Code documents. The General Plan Land Use Map designates the project site as Shopping Office/Commercial. The General Plan Land Use Element discusses the C S/O land use designation as shown in Land Use Policy 3.5.7:

3.5.7 Shopping/Office Centers for a range of neighborhood and community-level commercial and office uses. Consists of areas previously designated for local retail (C-2.5), neighborhood, community and regional commercial uses. Generally characterized as strip or linear in nature and serving a non-regional market area. General locations are:

The proposed uses identified in CUP 2016-04 generally correspond to the range of uses described in the General Plan, and to uses existing in other C S/O developments throughout the City. The Zoning Ordinance identifies gasoline service stations, and uses with drive-thru facilities as conditionally allowed.

### ***Architectural Theme and Details***

An architecture theme, including color and material palette, has been developed for use with the entire building. The visual details shown on the plans will be incorporated into the project's final construction.

### ***Offsite Traffic, Onsite Circulation, Drive-thru Lane***

Offsite Traffic: A Traffic Impact Study has been prepared to examine the project's impacts on adjacent roadways and intersections. The Study concluded the project will contribute to traffic volumes at the intersection of McCauliff Street and Houston Ave. (State HWY 216). However, the project will not individually or cumulatively affect traffic levels of service (LOS) or vehicle miles traveled (VMT) standards to a significant degree. The project is required to complete street improvements along both road frontages. However, full street improvements are not required for the southern portion of the parcel that is proposed to remain undeveloped at this time. It is anticipated that full street improvements of McCauliff St., along the southern portion of the site, will be accomplished with the future development of the separate parcel.

Onsite Circulation: Staff recommends Condition No. 1. Requiring a Reciprocal Access Agreement to the not-a-part portion. The southernmost 65,340 sq.ft. portion of the parcel is not proposed for development by the project proponent. Consequently, that portion of the site will remain vacant at this time. However, the City Council provided specific direction, and the City's development practices encourage on-site access between adjacent non-residential sites.

The applicant has revised their site plan to accommodate future access to the vacant portion. The Condition requiring a reciprocal access agreement is to ensure that the intended access capability is perfected at the time a future development project is proposed on the remainder parcel. This condition has been placed on previous projects with similar circumstances where the easements facilitate efficient onsite access among separate parcel developments, with the additional benefit of potentially eliminating a street access point. In addition, Condition No. 1.B. to provide vehicle barriers on undeveloped lots, included to preclude vehicle travel and parking on the portions of the project site that are not proposed for immediate development. This condition is also recommended to preclude the potential for vehicle travel that generates dust, and encourages parking to display cars for sale. The typically employed barrier consists of low metal poles with wire cable.

Drive-Thru Lane: The drive-thru lane meets most of the performance standards of the recently adopted Ordinance pertaining to permitting drive-thru lane uses. These performance standards include minimum vehicle stacking, orientation of order boards, and speaker volumes.

The proposed drive-thru lane does not meet the minimum required separation of 250 feet from residentially zoned properties. The residences to the north are approximately 220 feet from the proposed pick up window. Further, the property adjacent to the east is designated RLD (Residential Low Density) on the City's General Plan Land Use Map. Consequently, the drive-thru lane is subject to the Planning Commission's discretionary approval, and is subject to special conditions of approval. Staff recommends that approval of the proposed drive-thru be conditioned as discussed in the Noise Analysis section of this report.

### **Noise Analysis**

An Environmental Noise Assessment (Noise Assessment) was completed for the project on October 4, 2016 (please see Exhibit E). The Noise Assessment analyzed the effects of the project on adjacent and nearby residential uses. The analysis included the drive-thru, the carwash, and the building's cooling equipment. The Noise Assessment anticipated the drive-thru would generate noise levels between 52dB and 58dB, which meets the acceptable daytime exterior noise levels, per the City's Noise Ordinance. However, the noise levels would slightly exceed the maximum allowable nighttime threshold of 50 dB. Consequently, Condition No. 8.A. would require the drive-thru operator to limit the hours of operation to between 7:00am and 10:00pm daily, unless a subsequent noise analysis is conducted that demonstrates actual noise emissions will meet the acceptable noise level standards of the Noise Ordinance.

In addition, Condition 8.B. requires that the building parapets be raised at least two feet above the top of roof-mounted equipment. Finally, Condition No. 8.C. precludes exterior vacuum cleaners associated with the project. There are none shown on the project site plan, nor does the applicant propose to include them in the project. If the applicant subsequently proposes to add vacuums, they will first be required to demonstrate to City staff that they will not impact onsite circulation, nor exceed noise impact standards.

### **Illuminated Signage & Gas Station Canopy – Impacts to Residential Areas**

The project site is adjacent to existing residential development to the south and east. Staff has determined that the plans demonstrate compliance with the City's standards wherein no more than 0.5 lumens are exceeded beyond the boundaries of the commercial center. The



development would be further required to shield or prevent significant light or glare from falling upon adjacent residential properties.

Staff recommends Condition No. 2 related to site lighting and signage to reduce light impacts to the adjacent residential properties. CUP Condition No. 2. requires that the fuel island canopy lighting be recessed into the canopy and shielded to prevent any significant light or glare from falling upon the adjacent residential properties.

In addition, CUP Condition No. 2 requires that there shall be no internally illuminated signage on the exterior fascia of the canopy including any type of light strips or LED/neon banding. This elimination of canopy lighting is due to the fact that the canopy signage is approximately 16 to 18 feet in height, and could be clearly visible from nearby residences.

To reduce the potential glare from high intensity light sources such as neon and LED lights, CUP Condition No.2.B. also prohibits their use as accent lighting on the buildings.

### **Environmental Review**

The project qualifies for a Categorical Exemption under the California Environmental Quality Act (CEQA), section 15332 (In-fill Development Projects). Therefore, staff recommends that Categorical Exemption No. 2016-49 be filed for this project.

## **RECOMMENDED FINDINGS**

### **Conditional Use Permit No. 2016-04**

1. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance.
2. That the proposed conditional use permit would be compatible with adjacent land uses.
3. The project qualifies for a Categorical Exemption under the California Environmental Quality Act (CEQA), section 15332 (In-fill Development Projects). Therefore, Categorical Exemption No. 2016-49 may be filed for the project.
4. That the conditional use permit is consistent with the intent of the General Plan, and Zoning Ordinance, and is not detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity.

## **RECOMMENDED CONDITIONS**

### **Conditional Use Permit No. 2016-04**

1. That the project shall be developed and maintained in substantial compliance with the site plans in Exhibits "A", "C", and "D", except for specific revisions as follows:
  - A. Access easement to adjacent parcel: The applicant shall record an access easement in favor of the undeveloped portion to the immediate south of the development project. Such easement shall become effective upon development of said parcel to commercial use standards required by the P-C S/O Zone District and Design District B, or similar Design District.
  - B. The applicant shall install and maintain vehicle barriers on undeveloped lots. Such barriers shall be installed to preclude vehicle travel and parking on the portions of the project site that are not proposed for immediate development. The typically employed barrier consists of low metal poles with wire cable.

2. That the project shall be developed and maintained in substantial compliance with the elevation plans in Exhibit "B", except for specific revisions as follows:
  - A. Gas Island Canopy Lighting and Signage: Lighting for the fuel island canopy shall be recessed into the canopy and shielded to prevent any significant light or glare from falling upon the adjacent properties or the public right of way. There shall be no fascia illumination on the gas island canopy, including any type of light strips or LED/neon banding. An internally illuminated logo sign is allowed.
  - B. No high intensity light sources such as neon and LED lights shall be allowed as accent lighting on buildings.
  - C. The gas island canopy shall be limited to a peak height of 18 feet or less, and shall be constructed of materials and finish colors conforming with those of the main building.
3. That the project and site landscaping and lighting shall be developed and maintained in substantial compliance with Exhibit "D" unless otherwise specified in the conditions of approval. Detailed landscaping plans shall be submitted with building permits for each individual component of the project allowed by CUP 2016-04.
4. That the project be developed in substantial compliance with Site Plan Review No. 2016-021.
5. That a separate Conditional Use Permit shall be obtained for any substantial revision to the conditionally approved uses for CUP 2016-04, or for any conditionally-allowed uses that subsequently locate on the project site.
6. That all applicable federal, state, regional, and city policies and ordinances be met.
7. That all of the conditions and responsibilities of Conditional Use Permit No. 2016-04 shall run with the land and subsequent owners/operators shall also be subject to all of the conditions herein, unless amended or revoked.
8. The project shall comply with the conclusions and mitigation recommendations of the Environmental Noise Assessment, dated October 4, 2016, prepared for the project, including but not limited to:
  - A. The drive-thru operation shall have limited hours of operation of between 7:00am and 10:00pm daily, unless a subsequent noise analysis is conducted that demonstrates actual noise emissions will meet the acceptable noise level standards of the Noise Ordinance.
  - B. The building parapets shall be at least two feet above the top of roof-mounted equipment.
  - C. There shall be no exterior commercial vacuum cleaners on the project site. In the event the applicant proposes to include them in the project. If the applicant subsequently proposes to add vacuums, there shall first be a noise assessment that demonstrates to City staff that the vacuums will not impact onsite circulation, nor exceed noise impact standards.
9. That the applicant submit to the City of Visalia a signed receipt and acceptance of conditions, stating that they understand and agree to all the conditions of Conditional Use Permit No. 2016-04.
10. That illuminated building signage shall be placed so as to not allow direct or indirect light or glare from falling upon the adjacent residential properties.

## APPEAL INFORMATION

According to the City of Visalia Zoning Ordinance Section 17.02.145, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal with applicable fees shall be in writing and shall be filed with the City Clerk at 425 East Oak Avenue, Suite 301, Visalia, CA 93291. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website [www.ci.visalia.ca.us](http://www.ci.visalia.ca.us) or from the City Clerk.

### Attachments:

- Related Plans and Policies
- Resolution No. PC 2016-10 for CUP 2016-04
- Exhibit "A" – CUP Site Plan
- Exhibit "B" – CUP Elevations
- Exhibit "C" – Preliminary Grading Plan
- Exhibit "D" – Landscape Plan
- Exhibit "E" – Environmental Noise Analysis, dated October 4, 2016
- Exhibit "F" – Operational Statement
- Notice of Exemption No. 2016-49
- Site Plan Review Comments
- General Plan Land Use Map; Zoning Map; Aerial Map; Location Sketch

## RELATED PLANS AND POLICIES

### LAND USE ELEMENT OF THE GENERAL PLAN

#### 3.5 COMMERCIAL LAND DEVELOPMENT AND LAND USE

##### Objectives

- A. Maintain Visalia's role as the regional retailing center for Tulare and Kings Counties.
- B. Ensure the continued viability of Visalia's existing commercial areas.
- C. Promote comprehensively planned, concentric commercial areas to meet the needs of Visalia residents and its market area.
- D. Create and maintain a commercial land use classification system (including location and development criteria) which is responsive to the needs of shoppers, maximizing accessibility and minimizing trip length.
- E. Designate appropriate and sufficient commercial land for Visalia's needs to the year 2020 with appropriate phasing.

##### Implementing Policies

- 3.5.1 Ensure that future commercial development is concentrated in shopping districts and nodes to discourage expansion of new strip commercial development.
- 3.5.2 Ensure that commercial development in residential areas serves the needs of the area and includes site development standards which minimize negative impacts on abutting properties.
- 3.5.7 Shopping/Office Centers for a range of neighborhood and community-level commercial and office uses. Consists of areas previously designated for local retail (C-2.5), neighborhood, community and regional commercial uses. Generally characterized as strip or linear in nature and serving a non-regional market area. General locations are:
  - 1. Dinuba Highway, between Ferguson and Houston.
  - 2. East side of Ben Maddox Way, between Main Street and Houston.
  - 3. Murray Street corridor between Divisadero to Conyer.
  - 4. Houston corridor, between Divisadero and Turner.
  - 5. Noble Avenue corridor between Ben Maddox and Pinkham. Also, land locked or infill parcels may be added to this designation when they are merged with adjacent properties to obtain Noble Avenue frontage.
  - 6. Mineral King Plaza (south of SH 198 between Linwood and Chinowth).

7. Cain Street and Goshen Avenue.
8. Other locations that may be found to be appropriate by the City Council and in conformity with the intent of the Land Use District.

3.5.14 In order to provide for integration of convenience level and neighborhood level commercial uses into neighborhoods, require design measures which encourage pedestrian traffic, and de-emphasize use of walls as buffers which create barriers to pedestrian access and which are not visually pleasing.

## VISALIA MUNICIPAL CODE

### Chapter 17.18: PLANNED COMMERCIAL ZONES

#### Section 17.18.010 Purposes.

A. The several types of commercial zones included in this chapter are designed to achieve the following:

1. Provide appropriate areas for various types of retail stores, offices, service establishments and wholesale businesses to be concentrated for the convenience of the public; and to be located and grouped on sites that are in logical proximity to the respective geographical areas and respective categories of patrons which they serve in a manner consistent with the general plan;
2. Maintain the central business district (CBD - Conyer Street to Tipton and Murray Street to Mineral King Avenue including the Court-Locust corridor to the Lincoln Oval area) as Visalia's traditional, medical, professional, retail, government and cultural center;
3. Maintain Visalia's role as the regional commercial center for Tulare, Kings and southern Fresno counties;
4. Maintain and improve Visalia's retail base to serve the needs of local residents and encourage shoppers from outside the community;
5. Accommodate a variety of commercial activities to encourage new and existing business that will employ residents of the city and those of adjacent communities;
6. Maintain Visalia's role as the regional retailing center for Tulare and Kings Counties and ensure the continued viability of the existing commercial areas;
7. Maintain commercial land uses which are responsive to the needs of shoppers, maximizing accessibility and minimizing trip length;
8. Ensure compatibility with adjacent land uses.

B. The purpose of the individual commercial land use zones are as follows:

3. Planned Shopping/Office Zone--(P-C-SO). The purpose and intent of the planned shopping/ office zone district is to provide areas for a wide range of neighborhood and community level retail commercial and office uses. This district is intended to provide for the transition from service and heavy commercial uses where they exist in this district to retail and office and to provide areas for neighborhood goods and services where shopping centers may not be available.

#### Design District: "B" [17.30.180]

Maximum Building Height: 50 Feet

Minimum Setbacks:	Building	Landscaping
<input type="checkbox"/> Front	15 Feet	15 Feet
<input type="checkbox"/> Side	0 Feet	5 Feet*
<input type="checkbox"/> Street side on corner lot	15 Feet	10 Feet
<input type="checkbox"/> Side abutting residential zone	15 Feet	5 Feet
<input type="checkbox"/> Rear	0 Feet	5 Feet*

□ Rear abutting residential zone                      10 Feet                      5 Feet

\*(Except where building is on property line)

Minimum Site Area: 5 acres

Parking: As prescribed in Chapter 17.34

### **Chapter 17.38: CONDITIONAL USE PERMITS**

#### **Section 17.38.110 Action by planning commission.**

A. The planning commission may grant an application for a conditional use permit as requested or in modified form, if, on the basis of the application and the evidence submitted, the commission makes the following findings:

1. That the proposed location of the conditional use is in accordance with the objectives of the zoning ordinance and the purposes of the zone in which the site is located;
2. That the proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.

B. A conditional use permit may be revocable, may be granted for a limited time period, or may be granted subject to such conditions as the commission may prescribe. The commission may grant conditional approval for a permit subject to the effective date of a change of zone or other ordinance amendment.

C. The commission may deny an application for a conditional use permit. (Prior code § 7536)

Within the time limit designated in Section 16.28.090 and upon the accomplishment of all dedications by certification on the map and required construction of all public improvements, or the execution of an agreement and provision of surety providing therefore, and the payment of all applicable fees and charges, the applicant may file a final parcel map with the city engineer and community development director, who shall approve the final parcel map if it substantially conforms to the approved tentative parcel map and all applicable provisions of the Subdivision Map Act and this chapter. The appropriate certificates, as provided by the applicant in accordance with the provisions of the Subdivision Map Act, shall be signed by the city engineer and community development director upon the parcel map, and the final parcel map shall be transmitted by the city clerk to the clerk of the county board of supervisors for ultimate transmittal to the county recorder. (Ord. 9605 § 32 (part), 1996; prior code § 9265)

RESOLUTION NO 2016-10

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2016-04, A REQUEST BY JASCO CONSULTING, INC. A REQUEST TO CONSTRUCT A GAS STATION DEVELOPMENT ON 2.45 ACRES OF A 3.84-ACRE SITE; AND, CONSISTING OF A 7,700 SQUARE FOOT COMMERCIAL BUILDING, 4,408 SQUARE FOOT FUEL CANOPY AND A 1,000 SQUARE FOOT AUTOMATED CARWASH BUILDING. THE 7,700 SQUARE FOOT COMMERCIAL BUILDING WILL BE DIVIDED INTO THREE TENANT SPACES COMPRISED OF A 3,000 SQUARE FOOT CONVENIENCE STORE, 2,000 SQUARE FOOT FAST FOOD TENANT SPACE WITH A DRIVE-THRU LANE, 2,700 SQUARE FOOT RETAIL TENANT SPACE. THE SITE IS ZONED C-SO (SHOPPING / OFFICE COMMERCIAL), AND IS LOCATED ON THE SOUTHEAST CORNER OF EAST HOUSTON AVENUE AND NORTH MCAULIFF STREET (APN: 103-120-081).

**WHEREAS**, Conditional Use Permit No. 2016-04 is a request to construct a gas station development on 2.45 acres of a 3.84-acre site; and, consisting of a 7,700 square foot commercial building, 4,408 square foot fuel canopy and a 1,000 square foot automated carwash building. The 7,700 square foot commercial building will be divided into three tenant spaces comprised of a 3,000 square foot convenience store, 2,000 square foot fast food tenant space with a drive-thru lane, 2,700 square foot retail tenant space, and;

**WHEREAS**, The Planning Commission of the City of Visalia held a duly published and noticed public hearing on October 24, 2016, and;

**WHEREAS**, the Planning Commission of the City of Visalia finds the conditional use permit to be in accordance with Section 17.38.110 of the Zoning Ordinance of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing, and;

**WHEREAS**, the project is Categorical Exempt pursuant to the California Environmental Quality Act (CEQA), section 15332 (In-fill Development Projects). Therefore, Categorical Exemption No. 2016-49 be filed for this project.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** that the Planning Commission of the City of Visalia approves the proposed conditional use permit based on the following specific findings and based on the evidence presented:

1. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance.

2. That the proposed conditional use permit would be compatible with adjacent land uses.
3. The project qualifies for a Categorical Exemption under the California Environmental Quality Act (CEQA), section 15332 (In-fill Development Projects). Therefore, Categorical Exemption No. 2016-49 may be filed for the project.
4. That the conditional use permit is consistent with the intent of the General Plan, and Zoning Ordinance, and is not detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity.

**BE IT FURTHER RESOLVED** that the Planning Commission approves the conditional use permit on the real property herein described in accordance with the terms of this resolution under the provisions of Chapter 17.38 of the Ordinance Code of the City of Visalia, subject to the following conditions:

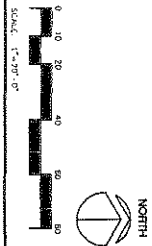
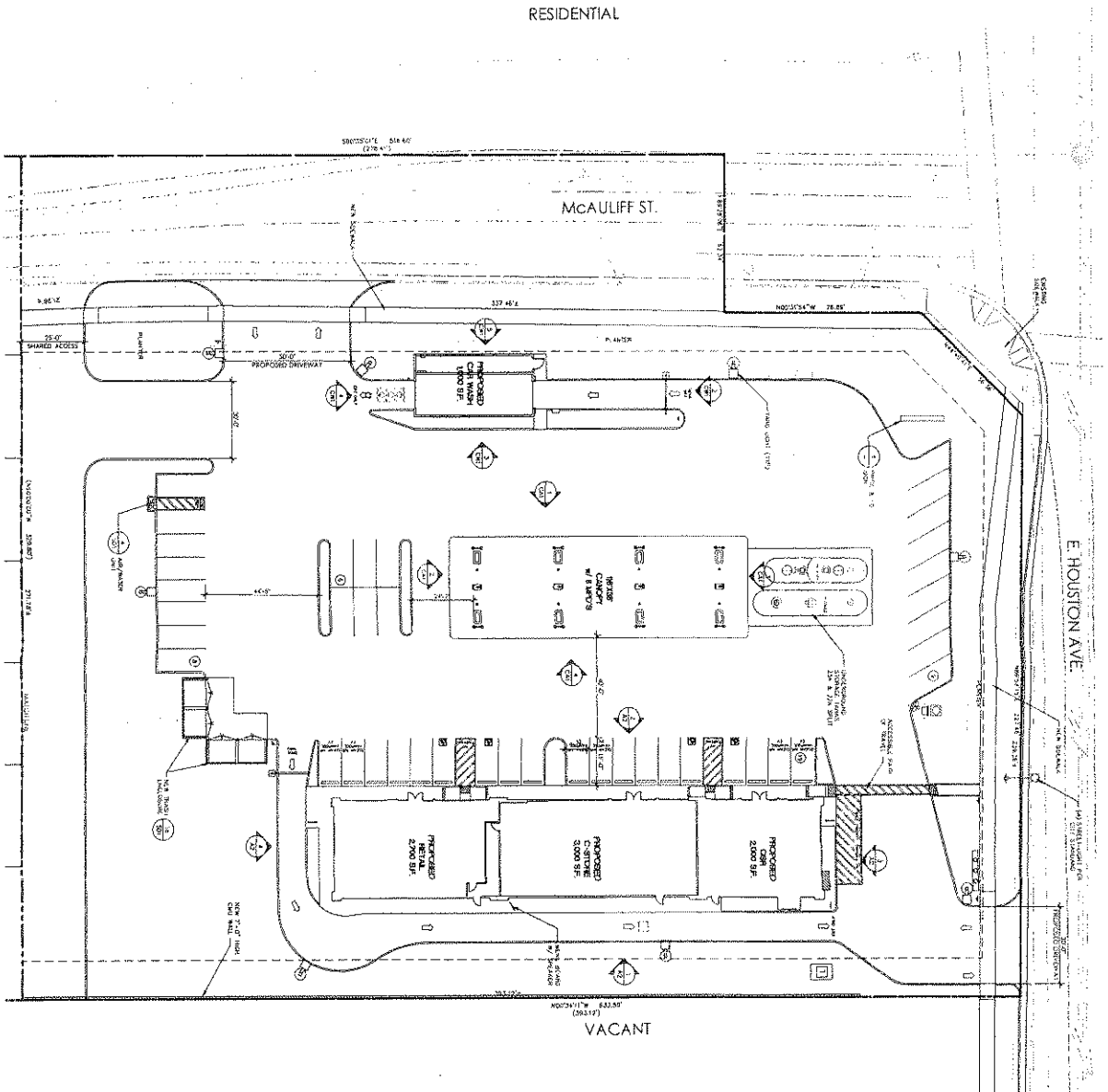
1. That the project shall be developed and maintained in substantial compliance with the site plans in Exhibits "A", "C", and "D", except for specific revisions as follows:
  - A. Access easement to adjacent parcel: The applicant shall record an access easement in favor of the undeveloped portion to the immediate south of the development project. Such easement shall become effective upon development of said parcel to commercial use standards required by the P-C S/O Zone District and Design District B, or similar Design District.
  - B. The applicant shall install and maintain vehicle barriers on undeveloped lots. Such barriers shall be installed to preclude vehicle travel and parking on the portions of the project site that are not proposed for immediate development. The typically employed barrier consists of low metal poles with wire cable.
2. That the project shall be developed and maintained in substantial compliance with the elevation plans in Exhibit "B", except for specific revisions as follows:
  - A. Gas Island Canopy Lighting and Signage: Lighting for the fuel island canopy shall be recessed into the canopy and shielded to prevent any significant light or glare from falling upon the adjacent properties or the public right of way. There shall be no fascia illumination on the gas island canopy, including any type of light strips or LED/neon banding. An internally illuminated logo sign is allowed.
  - B. No high intensity light sources such as neon and LED lights shall be allowed as accent lighting on buildings.



- C. The gas island canopy shall be limited to a peak height of 18 feet or less, and shall be constructed of materials and finish colors conforming with those of the main building.
3. That the project and site landscaping and lighting shall be developed and maintained in substantial compliance with Exhibit "D" unless otherwise specified in the conditions of approval. Detailed landscaping plans shall be submitted with building permits for each individual component of the project allowed by CUP 2016-04.
4. That the project be developed in substantial compliance with Site Plan Review No. 2016-021.
5. That a separate Conditional Use Permit shall be obtained for any substantial revision to the conditionally approved uses for CUP 2016-04, or for any conditionally-allowed uses that subsequently locate on the project site.
6. That all applicable federal, state, regional, and city policies and ordinances be met.
7. That all of the conditions and responsibilities of Conditional Use Permit No. 2016-04 shall run with the land and subsequent owners/operators shall also be subject to all of the conditions herein, unless amended or revoked.
8. The project shall comply with the conclusions and mitigation recommendations of the Environmental Noise Assessment, dated October 4, 2016, prepared for the project, including but not limited to:
  - A. The drive-thru operation shall have limited hours of operation of between 7:00am and 10:00pm daily, unless a subsequent noise analysis is conducted that demonstrates actual noise emissions will meet the acceptable noise level standards of the Noise Ordinance.
  - B. The building parapets shall be at least two feet above the top of roof-mounted equipment.
  - C. There shall be no exterior commercial vacuum cleaners on the project site. In the event the applicant proposes to include them in the project. If the applicant subsequently proposes to add vacuums, there shall first be a noise assessment that demonstrates to City staff that the vacuums will not impact onsite circulation, nor exceed noise impact standards.
9. That the applicant submit to the City of Visalia a signed receipt and acceptance of conditions, stating that they understand and agree to all the conditions of Conditional Use Permit No. 2016-04.

10. That illuminated building signage shall be placed so as to not allow direct or indirect light or glare from falling upon the adjacent residential properties.

1 PROPOSED SITE PLAN



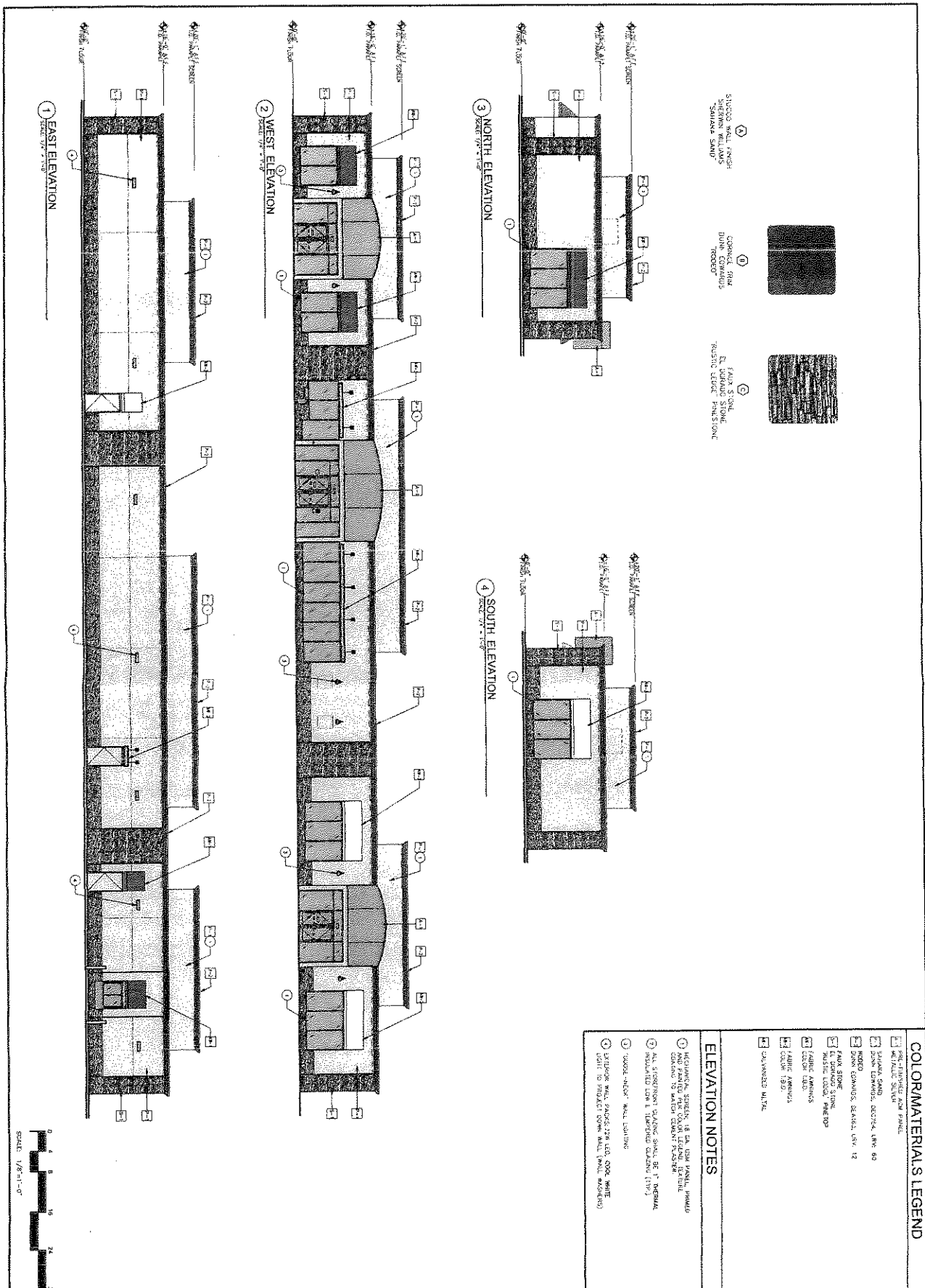
NORTH  
 PROPOSED SITE PLAN  
 SP1

**VALERO DEVELOPMENTSITE**  
 SITE DEVELOPMENT  
 SEC OF HOUSTON AVE. AND McAULIFF ST.  
 VISALIA, CA.

MARK	DATE	REVISION
▲	2/9/16	PLANNING SUBMITTAL
▲	5/28/16	PLANNING REVISIONS
▲		
▲		
▲		



**P DESIGN**  
 2411 Portland Avenue, Suite 200  
 Visalia, CA 93277  
 Tel: (559) 735-1177  
 Fax: (559) 735-1178  
 www.pdesign.com



**VALERO DEVELOPMENT SITE**  
SITE DEVELOPMENT  
SEC OF HOUSTON AVE. AND McAULIFF ST.  
VISALIA, CA.

Project Number: JCC16001.0

Scale: 1/8" = 1'-0"

Sheet Number: A2

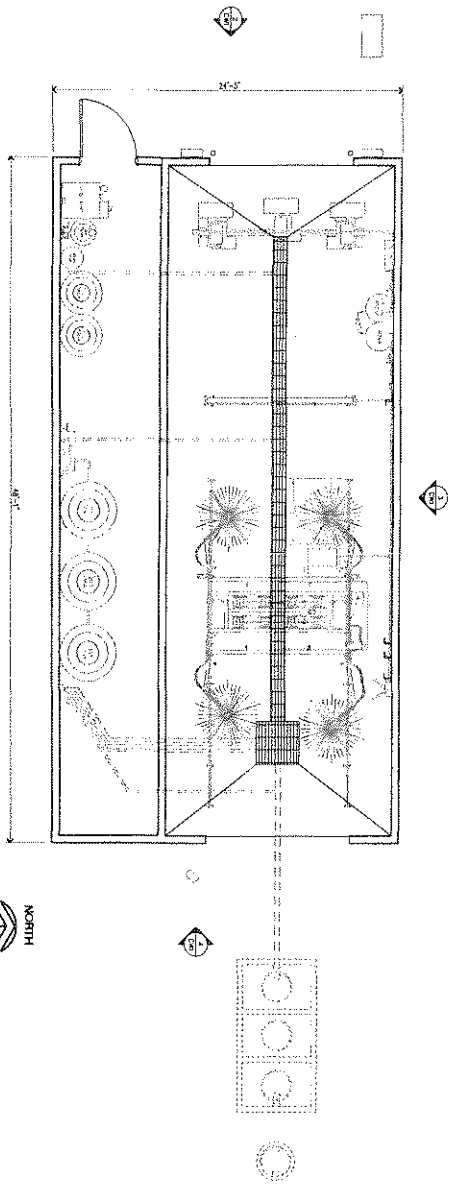
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DATE: 2/25/16

PLANNING SUBMITTAL  
PLANNING REVISIONS

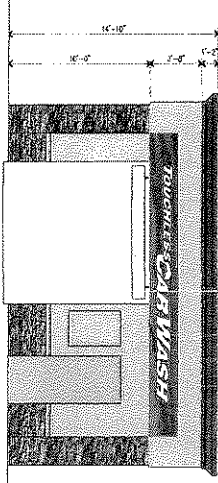
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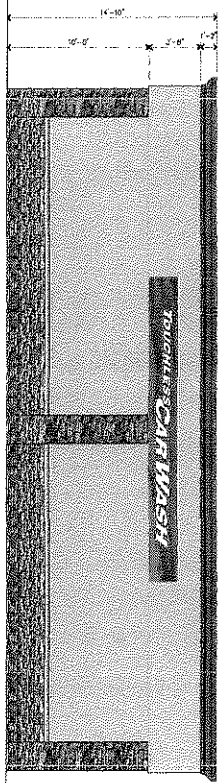
**EXHIBIT B**



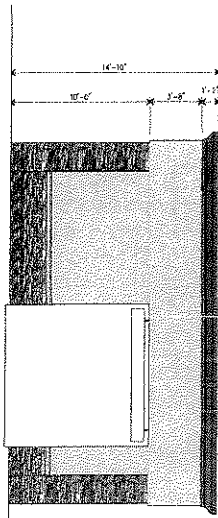
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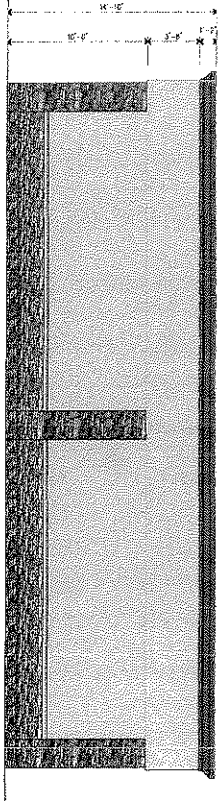
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3 FRONT ELEVATION  
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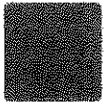
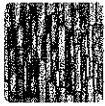
4 EXIT ELEVATION  
SCALE: 1/8" = 1'-0"



5 REAR ELEVATION  
SCALE: 1/8" = 1'-0"



- 1 STUCCO WALL FINISH  
SANDWICH SAND
- 2 CORNICE TRIM  
DARK EDWARDS  
ROULET
- 3 FAIRFAX STONE  
EL. CORNER STONE  
RUSTIC LEDGE FINISH STONE



NO.	DATE	REVISION
1	2/9/16	PLANNING SUBMITTAL

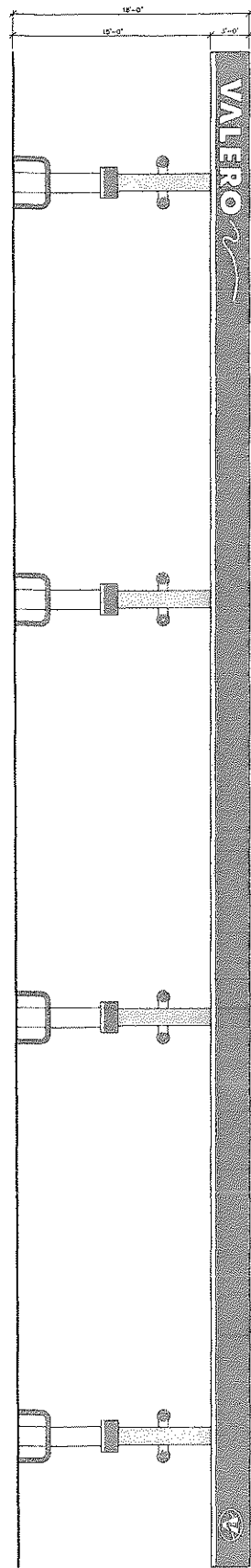
VALERO DEVELOPMENTS SITE  
SITE DEVELOPMENT  
SEC OF HOUSTON AVE. AND McCAULIFF ST.  
VISALIA, CA.

JCC-16001.0

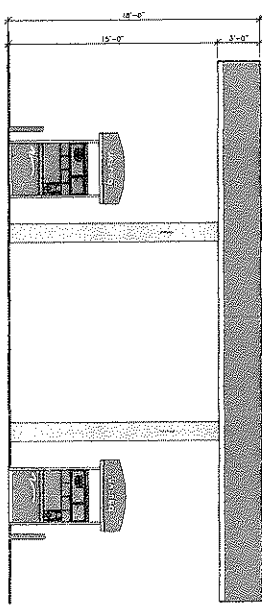
CAR WASH ELEVATIONS  
CW1



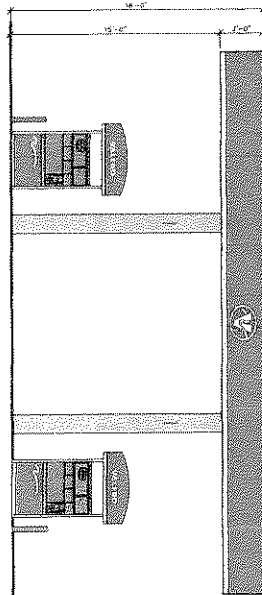
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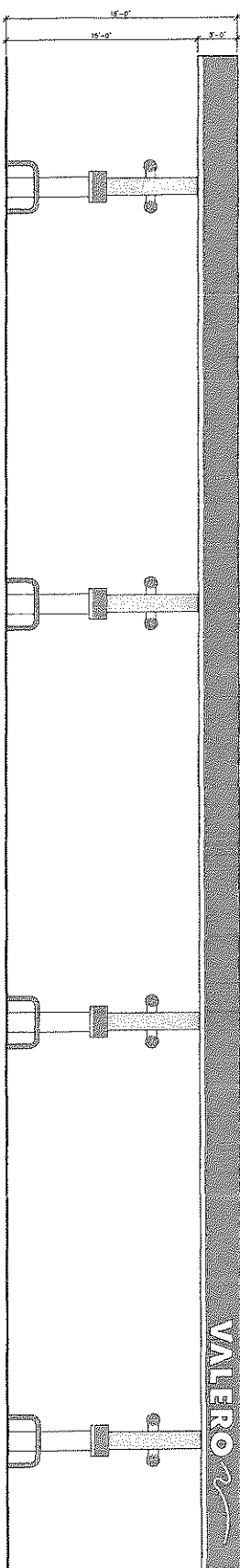
1 FRONT ELEVATION



2 SIDE ELEVATION



3 SIDE ELEVATION



4 REAR ELEVATION



**PDM**  
DESIGN  
ARCHITECTURE  
INTERIOR DESIGN  
LANDSCAPE ARCHITECTURE  
3400 N. GARDEN ST. #202  
SANTA ANA, CA 92705  
TEL: 714.952.0000  
WWW.PDMDESIGN.COM

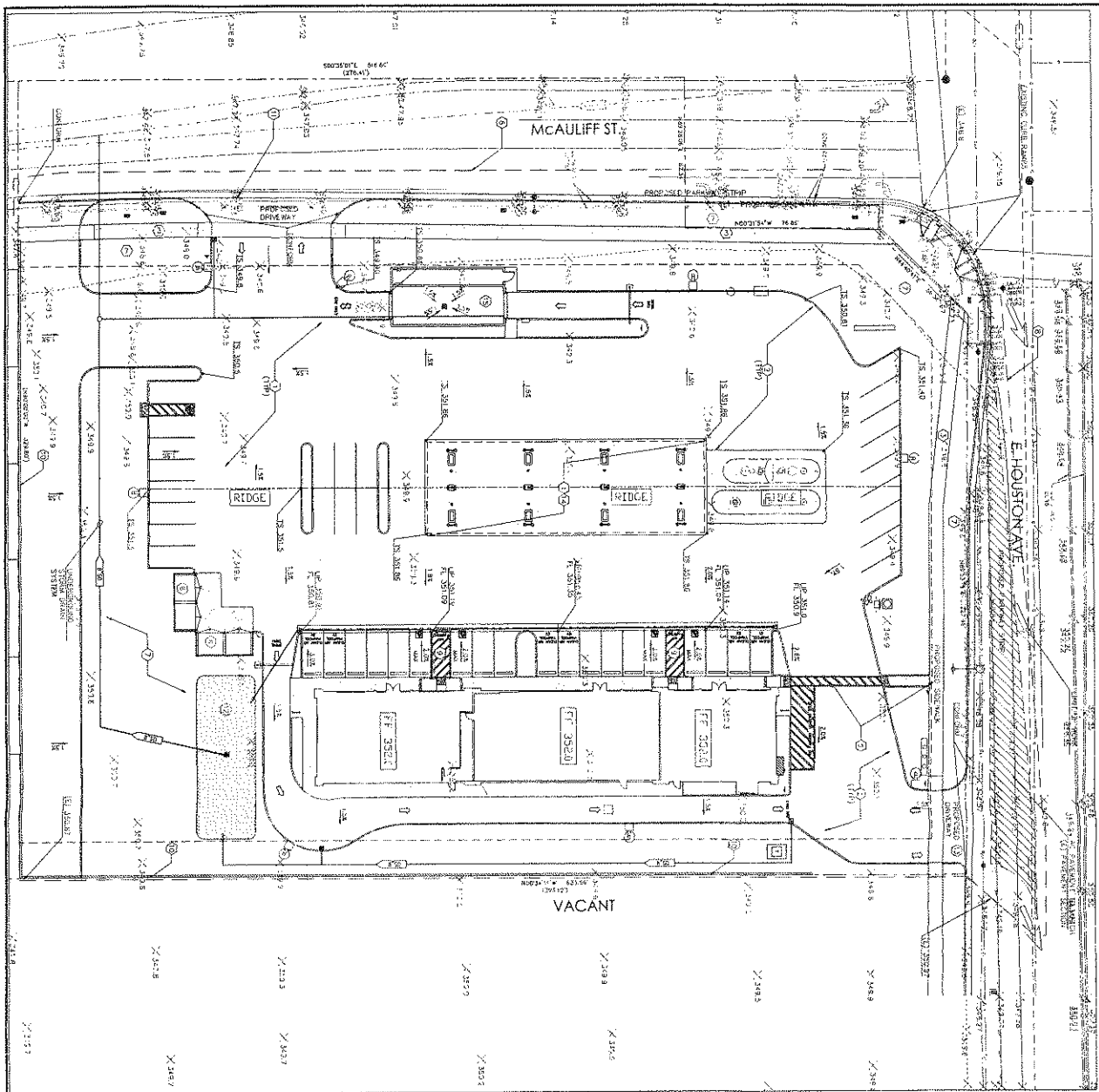
NO.	DATE	REVISION
1	2/9/16	PLANNING SUBMITTAL

**VALERO DEVELOPMENTS**  
SITE DEVELOPMENT  
SEC OF HOUSTON AVE. AND MCAULIFF ST.  
VISALIA, CA.

PROJECT NUMBER  
JCC16001.0  
SHEET NUMBER  
CANOPY  
ELEVATIONS

PROJECT NUMBER  
CA 1

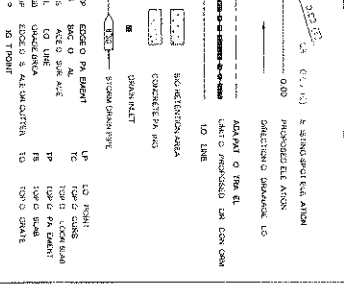
B



**FLOOD ZONE NOTE**

THIS PROJECT IS IN FLOOD ZONE D - AREAS IN WHICH FLOOD PROTECTION AND DRAINAGE ARE REQUIRED. FLOOD PROTECTION SHALL BE PROVIDED BY THE LOCAL GOVERNMENT. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT.

**GRADING LEGEND:**



**KEY NOTES:**

ITEM	DESCRIPTION
1	SEE SHOWN CONCRETE AREA
2	SEE SHOWN CONCRETE AREA
3	SEE SHOWN CONCRETE AREA
4	SEE SHOWN CONCRETE AREA
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27	SEE SHOWN CONCRETE AREA
28	SEE SHOWN CONCRETE AREA
29	SEE SHOWN CONCRETE AREA
30	SEE SHOWN CONCRETE AREA

**VALERO DEVELOPMENT SITE DEVELOPMENT**  
SEC OF HOUSTON AVE. AND MCCAULLIFF ST.  
VISALIA, CA.

PROJECT NUMBER: JCC16001.0

DATE: 2/29/16

REVISION: PLANNING SUBMITTAL

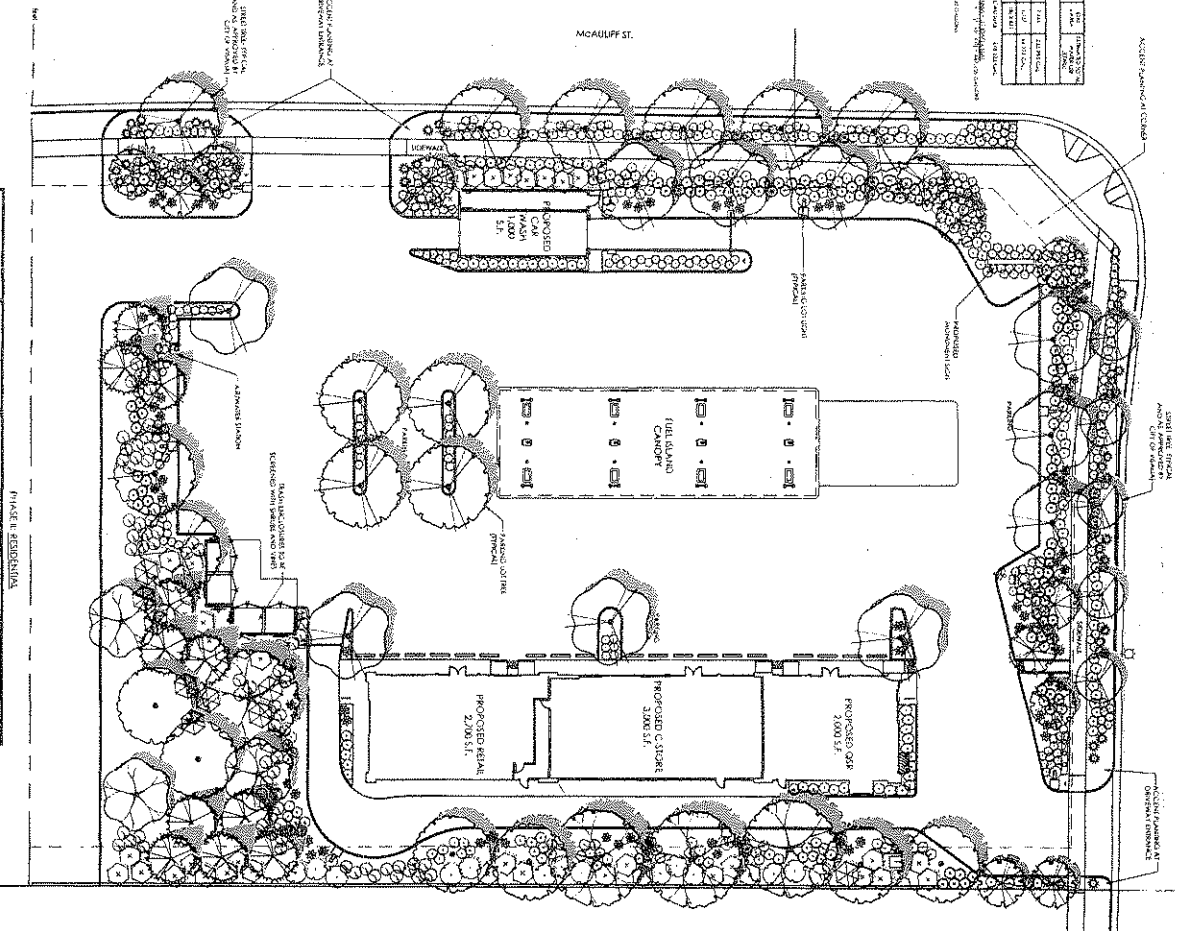
PC1

### PLANT SCHEDULE

ID	RECOMMENDED NAME	COMMON NAME	SPECIES	SIZE
11	Celastrus scandens	Waxleaf Climber	15 gal	Low
5	Cercis canadensis	Eastern Redbud	15 gal	Low
12	Ligustrum vulpina 'Red Rocket'	China Stone	15 gal	Low
14	Rubus Chamaemorus	Orange Floricane	15 gal	Medium
4	Quercus spicata	Coast Live Oak	15 gal	Low
2	Quercus laevis	White Oak	15 gal	Low
4	Quercus laevis	White Oak	15 gal	Low
14	Betula nigra	Black Birch	15 gal	Low
10	Cornus occidentalis 'Royal Flush'	Royal Flush Spiceberry	5 gal	Low
14	Campanula 'Tulalip Star'	California Bell	5 gal	Low
10	Cornus occidentalis 'Royal Flush'	Royal Flush Spiceberry	5 gal	Low
43	Malva canadensis 'Maiden'	Red-Rose Mallow	5 gal	Low
72	Fremontia flexilis 'Autumn Spectator'	Wine Tasting Tree	2 gal	Low
99	Fremontia flexilis 'Autumn Spectator'	Wine Tasting Tree	5 gal	Low
24	Malva canadensis 'Maiden'	Red-Rose Mallow	5 gal	Low
120	Platanus racemosa 'Spring Sentimental'	Spring Sentimental Platanus	5 gal	Low

### GENERAL NOTES

- All quantities listed are approximate and subject to change.
- As shown, plants are to be installed in accordance with the planting schedule. The contractor shall be responsible for the proper installation and maintenance of all plants.
- Plant material shall be delivered to the site in good health and of the specified size and quantity.



**VALERO DEVELOPMENT SITE**  
 SITE DEVELOPMENT  
 SEC OF HOUSTON AVE. AND McAUULIFF ST.  
 VISALIA, CA.

NO. 42245  
 PROJECT NO.  
 PLAN NO.  
 DATE: 9/28/16  
 REGION: PLANNING SUBMITTAL

EXHIBIT D



## **Valero Development Site**

### **Visalia, California**

#### **Environmental Noise Assessment**

4 October 2016

*Prepared for:*

**Westgate Construction and Development, Inc.**

Samer Sabbah  
5101 West Merlot Court  
Visalia, CA 93291  
Phone: 559.805.5936  
Email: westgatedevelopmentinc@gmail.com

*Prepared by:*

**Charles M. Salter Associates, Inc.**

Joshua M. Roper, PE, LEED® AP  
100 W. San Fernando, Suite 430  
San Jose, CA 95113  
Phone: 408.295.4944  
Email: josh.roper@cmsalter.com

CSA Project Number: 16-0395

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Charles M. **Salter**

# **EXHIBIT E**

## INTRODUCTION

This report summarizes our environmental noise assessment for the Valero Development Site project located in the southeast corner of the intersection of East Houston Avenue and McAuliff Street in Visalia, California. The intent of this assessment is to quantify the noise environment, and noise levels from the proposed operations, and compare them with applicable City goals for noise generation. Readers less familiar with the fundamental concepts of environmental acoustics should refer to Appendix A, attached. Following is a summary of our findings:

1. Estimated traffic noise associated with the project is expected to increase environmental noise (DNL) in the community by 1 dB or less, which is less than significant.
2. Estimated noise from planned activities associated with the drive through car wash, fast food restaurant drive-through, and rooftop mechanical equipment is consistent with the City's goals.
3. Operational noise associated with the project is not expected to significantly increase DNL at the existing developed sites nearest the project (i.e., existing residences, daycare, and ministries sites).

## DESCRIPTION

The project will consist of a gas station with 16 fueling positions, a drive through car wash, and a commercial building that includes a fast food restaurant drive-through. The building will be divided into a 3,000 square foot convenience store, a 2,000 square foot fast food restaurant, and a 2,700 square foot retail space. The site will also include surface parking and landscaped areas. Access to the site will be provided via driveways along both East Houston Avenue and McAuliff Street.

The site is currently vacant, and surrounded by vacant land to the east and south, by East Houston Avenue to the north, and McAuliff Street to the west (see Figure 1, attached). The nearest adjacent existing residences are located across roadways to the north and west, and past the vacant land to the east and southeast. A school is located kitty-corner to the northwest, a daycare is located across the roadway to the north, and the Restoration Ministries site is located past vacant land to the south. We understand the vacant sites to the east and south are zoned for multi-family residential and commercial, respectively.

## ACOUSTICAL CRITERIA

The Visalia General Plan and the Visalia Municipal Code include the following criteria for acceptable noise levels in the City.

### *Visalia General Plan*

The Safety and Noise chapter of the Visalia General Plan identifies the following relationships for understanding how changes in noise and noise exposure are perceived:

- *Except under special conditions, a change in sound level of 1 dB cannot be perceived;*
- *A 3 dB change is considered a just noticeable difference;*
- *A 5 dB change is required before any noticeable change in community response would be expected. A 5 dB increase is often considered a significant impact;*
- *A 10 dB increase is subjectively heard as an approximate doubling in loudness and almost always causes an adverse community response.*

Table 8-3 of the General Plan identifies the target outdoor noise levels for noise-sensitive land uses including residences, churches, and schools. We understand the City of Visalia does not consider

commercial uses to be noise-sensitive. In summary it identifies DNL 65 dB as the outdoor target level for residences and Leq(h)<sup>1</sup> 45 dB as the indoor target level for schools, and churches.

Table 8-4 of the General Plan provides noise limits for stationary noise sources as follow:

	Daytime (7:00 AM to 10:00 PM)	Nighttime (10:00 PM to 7:00 AM)
Hourly Equivalent Sound Level (Leq)	50 dB	45 dB
Maximum Sound Level (Lmax)	70 dB	65 dB

\* As determined at the property line of the receiving noise-sensitive use

Policy N-P-4 of the General Plan states the following: *Where new development of industrial, commercial or other noise generating land uses (including roadways, railroads, and airports) may result in noise levels that exceed the noise level exposure criteria established by Tables 8-2 and 8-3, require a noise study to determine impacts, and require developers to mitigate these impacts in conformance with Tables 8-2 and 8-3 as a condition of permit approval through appropriate means. Noise mitigation may include but are not limited to:*

- *Screen and control noise source, such as parking and loading facilities, outdoor activities, and mechanical equipment;*
- *Increase setbacks for noise sources from adjacent dwellings;*
- *Retain fences, walls, and landscaping that serve as noise buffers;*
- *Use soundproofing materials and double-glazed windows;*
- *Use open space, building orientation and design, landscaping and running water to mask sounds; and*
- *Control hours of operation, including deliveries and trash pickup, to minimize noise impacts.*

**Visalia Municipal Code**

Section 8.36.040 of the Visalia Municipal Code includes exterior noise standards which are based on the cumulative duration of noise as follows:

- A. *It is unlawful for any person at any location within the city to create any noise, or to allow the creation of any noise, on property owned, leased, occupied or otherwise controlled by such person which causes the exterior noise level, when measured at the property line of any affected noise sensitive land use, to exceed any of the categorical noise level standards as set forth in the following table:*

Noise Level Standards, dB<sup>2</sup>

Category	Cumulative Number of minutes in any one-hour time period	Evening and Daytime 6:00 AM to 7:00 PM	Nighttime 7:00 PM to 6:00 AM
1	30	50	45
2	15	55	50
3	5	60	55
4	1	65	60
5	0	70	65

- B. *In the event the measured ambient noise level without the alleged offensive source in operation exceeds an applicable noise level standard in any category above, the applicable standard or standards shall be adjusted so as to equal the ambient noise level.*
- C. *Each of the noise level standards specified above shall be reduced by five dB for pure tone noises, noises consisting primarily of speech or music, or for recurring impulsive noises.*

<sup>1</sup> Leq – The equivalent steady-state A-weighted sound level that, in a stated period of time, would contain the same acoustic energy as the time-varying sound level during the same period.

<sup>2</sup> We understand the City of Visalia does not consider the commercial use planned for the site to the south to be noise-sensitive.

**EXISTING NOISE ENVIRONMENT**

To quantify existing noise levels at the site, two monitors measured noise levels for a multi-day period between 8 and 10 August 2016. The monitors were located along East Houston Avenue and McAuliff Street, and the noise environment was dominated by roadway traffic. Table 1, below, summarizes the existing noise levels in terms of Day/Night Average Sound Level (DNL), and hourly average sound levels (Leq(h)) during the daytime hours between 7:00 AM and 10:00 PM. Since noise is dominated by the roadway sources, this assessment considers these levels to represent roadway noise contours. Figure 1, attached, shows the approximate measurement locations.

Table 1: Existing Noise Environment – 8 to 10 August 2016

Site	Location	DNL	Leq(h)
L1	East Houston Avenue Monitor Approx. 90' from roadway centerline, 12' above grade	66 dB	59 to 69 dB
L2	McAuliff Street Monitor Approx. 65' from roadway centerline, 5' above grade	65 dB	59 to 64 dB

**ANALYSIS AND FINDINGS**

This assessment analyses noise from traffic associated with the project, rooftop mechanical equipment, the planned car wash, and the fast food restaurant drive-through, based on the noise standards outlined in the Visalia General Plan and Municipal Code as summarized above.

***Traffic Associated with the Project***

The Traffic Impact Analysis report, dated 30 August 2016, prepared by Peters Engineering Group for the project includes existing and project generated peak-hour traffic volumes for five intersections in the project vicinity. In summary, the project will increase traffic volumes by 1 to 31 percent, which corresponds with approximately 0 to 1 dB increase in DNL along these roadways. This is considered less than significant, and would generally not be perceptible.

***On-Site Operational Noise***

Sources of noise associated with the project include five rooftop air conditioning units on the commercial building, the drive through car wash, and a fast food restaurant drive-through. Operational information and assumptions for these noise generators, used in this analysis, are summarized as follows:

- The hours of operation for the gas station and commercial building will be daily from 4:30 AM to 12:00 AM
- A 7-foot tall noise barrier will be located along the eastern property line
- The five rooftop air conditioning units on the commercial building will be Carrier 48TC packaged units as follows:
  - All units will operate simultaneously for the duration of business hours
  - Units will include the manufacturer’s optional compressor blankets which will reduce overall noise by 3 dB
  - Solid parapet walls will be at least 2 feet higher than the units
- The car wash will be a Model 360 Plus Laser Wash with Model Max 4 Producer Dryer, inner building walls will be lined with fiberglass insulation, and the car wash tunnel will include the manufacturer’s sound reducing roll-up doors
  - The hours of operation for the car wash will be daily from 8:00 AM to 9:00 PM, however car wash operational noise will only occur for 29 minutes or less in a given hour

- Manufacturer’s sound data for this unit indicate that car wash operational noise is dominated by blower noise that generates 59 to 60 dB at 30 feet from the building entrance and exit with doors closed<sup>3</sup>
- The car wash will serve 80 to 100 vehicle cycles per day, with 15 to 19 vehicles during peak hours
- Car wash blowers will operate for 90 seconds per vehicle cycle; therefore, they will operate a maximum of 29 cumulative minutes per hour
- Fast food restaurant drive-through
  - The hours of operation from the fast food restaurant drive-through are not yet known, therefore this assessment assumes they will be limited to daytime hours
  - As indicated above, a 7-foot tall noise barrier will be located along the eastern property line
  - To assess noise associated with the fast food restaurant drive-through noise, we have used data previously measured at a fast food drive through in San Jose, California; estimated levels are as follow:
    - Typical average noise levels from vehicles in the drive-through and the intercom speaker were in the range of 52 to 58 dB, at a 50-foot distance, during a continuous flow of vehicles
    - This assessment assumes the drive-through will generate an average sound level of 55 dB, operating continuously for the duration of business hours

The nearest existing sensitive receivers to the site include a residence approximately 350 feet to the east, a daycare and residences across East Houston Avenue to the north, residences across McAuliff Street to the west, and the Restoration Ministries to the south. Additionally, the currently vacant site adjacent to the east is zoned multi-family residential. As indicated above, we understand the City does not consider the commercial site to the south to be noise sensitive. Table 2, below, compares estimated noise levels with the Municipal Code criteria and General Plan goals outlined in Table 8-4 for daytime and nighttime operation. The receiver is understood to be a person standing at-grade at the nearest property line.

Table 2: Estimated Operational Noise

Source	Cumulative Duration per hour	Nearest Receiver	Municipal Code Limit (Day/Night)	General Plan Goal (Day/Night)	Estimated Instantaneous Sound Level	Meets City Criteria?
Car Wash	29	Existing (Residences, Daycare, Ministry)	55/50 dB	70/65 dB	37 to 47 dB	Yes
		Zoned Future (East Property Line)			45 dB	Yes
Drive-Through	60	Existing (Residences, Daycare, Ministry)	55/50 dB		35 to 47 dB	Yes (day)
		Zoned Future (East Property Line)			54 dB	Yes (day)
Rooftop Mechanical	60	Existing (Residences, Daycare, Ministry)	50/45 dB		33 to 38 dB	Yes
		Zoned Future (East Property Line)			45 dB	Yes

As shown in the Table 2 above, estimated operational noise is consistent with the City’s instantaneous noise level criteria at the nearest developed sites, and at the planned multi-family residential site to the east, when operating as planned.

In addition to the instantaneous noise level criteria included in the Municipal Code and part of Table 8-4 of the General Plan, Table 8-4 of the General Plan identifies limits on cumulative hourly average sound levels (Leq(h)) at noise sensitive receivers (50 dB during daytime hours and 45 dB at night). The General Plan considers nighttime hours to be from 7:00 AM to 10:00 PM, during which the only equipment

<sup>3</sup> Note the building design has not been reviewed. The architect and/or car wash manufacturer should confirm the building will be of similar construction and size, with similar sized openings, as the test condition.

expected to operate would be the rooftop mechanical equipment. Average hourly sound levels for constantly operating equipment are the same as the levels shown in Table 2 above, therefore estimated levels from HVAC units meet the day and nighttime criteria outlined in this section of the General Plan. The City's General Plan provides guidelines for assessing the impact of a project in terms of an increase in Day/Night Average Sound Levels (DNL). Table 4, below, estimates project-generated DNL attributable to on-site operational noise, existing noise levels, and the expected future increase at existing receivers. As shown, the estimated increase is 0 dB, which is insignificant.

Table 4: Estimated Operational Noise due to On-Site Activity (DNL)

Receiving Location	Estimated project generated DNL	Existing DNL	Estimated future DNL	Increase due to project
Residence to East	41 dB	65 dB	65 dB	0 dB
Daycare to North	45 dB	67 dB	67 dB	0 dB
Residences to West	42 dB	64 dB	64 dB	0 dB
Restoration Ministries to South	40 dB	65 dB	65 dB	0 dB

\* \* \*

## **APPENDIX A**

### ***Fundamental Concepts of Environmental Noise***

This section provides background information to aid in understanding the technical aspects of this report.

Three dimensions of environmental noise are important in determining subjective response. These are:

- The intensity or level of the sound
- The frequency spectrum of the sound
- The time-varying character of the sound

Airborne sound is a rapid fluctuation of air pressure above and below atmospheric pressure. Sound levels are usually measured and expressed in decibels (dB), with 0 dB corresponding roughly to the threshold of hearing.

The "frequency" of a sound refers to the number of complete pressure fluctuations per second in the sound. The unit of measurement is the cycle per second (cps) or hertz (Hz). Most of the sounds, which we hear in the environment, do not consist of a single frequency, but of a broad band of frequencies, differing in level. The name of the frequency and level content of a sound is its sound spectrum. A sound spectrum for engineering purposes is typically described in terms of octave bands, which separate the audible frequency range (for human beings, from about 20 to 20,000 Hz) into ten segments.

Many rating methods have been devised to permit comparisons of sounds having quite different spectra. Surprisingly, the simplest method correlates with human response practically as well as the more complex methods. This method consists of evaluating all of the frequencies of a sound in accordance with a weighting that progressively de-emphasizes the importance of frequency components below 1000 Hz and above 5000 Hz. This frequency weighting reflects the fact that human hearing is less sensitive at low frequencies and at extreme high frequencies relative to the mid-range.

The weighting system described above is called "A-weighting", and the level so measured is called the "A-weighted sound level" or "A-weighted noise level." The unit of A-weighted sound level is sometimes abbreviated "dBA." In practice, the sound level is conveniently measured using a sound level meter that includes an electrical filter corresponding to the A-weighting characteristic. All noise levels included in this report are A-weighted. All U.S. and international standard sound level meters include such a filter. Typical sound levels found in the environment and in industry are shown in Figure A1.

Although a single sound level value may adequately describe environmental noise at any instant in time, community noise levels vary continuously. Most environmental noise is a conglomeration of distant noise sources, which results in a relatively steady background noise having no identifiable source. These distant sources may include traffic, wind in trees, industrial activities, etc. and are relatively constant from moment to moment. As natural forces change or as human activity follows its daily cycle, the sound level may vary slowly from hour to hour. Superimposed on this slowly varying background is a succession of identifiable noisy events of brief duration. These may include nearby activities such as single vehicle pass-bys, aircraft flyovers, etc. which cause the environmental noise level to vary from instant to instant.

To describe the time-varying character of environmental noise, statistical noise descriptors were developed. "L10" is the A-weighted sound level equaled or exceeded during 10 percent of a stated time period. The L10 is considered a good measure of the maximum sound levels caused by discrete noise events. "L50" is the A-weighted sound level that is equaled or exceeded 50 percent of a stated time

period; it represents the median sound level. The "L90" is the A-weighted sound level equaled or exceeded during 90 percent of a stated time period and is used to describe the background noise.

As it is often cumbersome to quantify the noise environment with a set of statistical descriptors, a single number called the average sound level or "L<sub>eq</sub>" is now widely used. The term "L<sub>eq</sub>" originated from the concept of a so-called equivalent sound level which contains the same acoustical energy as a varying sound level during the same time period. In simple but accurate technical language, the L<sub>eq</sub> is the average A-weighted sound level in a stated time period. The L<sub>eq</sub> is particularly useful in describing the subjective change in an environment where the source of noise remains the same but there is change in the level of activity. Widening roads and/or increasing traffic are examples of this kind of situation.

In determining the daily measure of environmental noise, it is important to account for the different response of people to daytime and nighttime noise. During the nighttime, exterior background noise levels are generally lower than in the daytime; however, most household noise also decreases at night, thus exterior noise intrusions again become noticeable. Further, most people trying to sleep at night are more sensitive to noise. To account for human sensitivity to nighttime noise levels, a special descriptor was developed. The descriptor is called the DNL or L<sub>dn</sub> (Day-Night Average Sound Level), which represents the 24-hour average sound level with a penalty for noise occurring at night. The L<sub>dn</sub> computation divides the 24-hour day into two periods: daytime (7:00 am to 10:00 pm); and nighttime (10:00 pm to 7:00 am). The nighttime sound levels are assigned a 10 dB penalty prior to averaging with daytime hourly sound levels.

For highway noise environments, the average noise level during the peak hour traffic volume is approximately equal to the DNL.

The effects of noise on people can be listed in three general categories:

- Subjective effects of annoyance, nuisance, dissatisfaction
- Interference with activities such as speech, sleep, and learning
- Physiological effects such as startle, hearing loss

The sound levels associated with environmental noise usually produce effects only in the first two categories. Unfortunately, there has never been a completely predictable measure for the subjective effects of noise nor of the corresponding reactions of annoyance and dissatisfaction. This is primarily because of the wide variation in individual thresholds of annoyance and habituation to noise over time.

Thus, an important factor in assessing a person's subjective reaction is to compare the new noise environment to the existing noise environment. In general, the more a new noise exceeds the existing, the less acceptable the new noise will be judged.

With regard to increases in noise level, knowledge of the following relationships will be helpful in understanding the quantitative sections of this report:

Except in carefully controlled laboratory experiments, a change of only 1 dB in sound level cannot be perceived. Outside of the laboratory, a 3 dB change is considered a just-noticeable difference. A change in level of at least 5 dB is required before any noticeable change in community response would be expected. A 10 dB change is subjectively heard as approximately a doubling in loudness, and would almost certainly cause an adverse community response.



A-WEIGHTED  
SOUND PRESSURE LEVEL,  
IN DECIBELS

	140	}	THRESHOLD OF PAIN
	130		
CIVIL DEFENSE SIREN (100') JET TAKEOFF (200')	120		
RIVETING MACHINE	110		ROCK MUSIC BAND
DIESEL BUS (15')	100		PILED RIVER (50') AMBULANCE SIREN (100')
BAY AREA RAPID TRANSIT TRAIN PASSBY (10')	90		BOILER ROOM
OFF HIGHWAY VEHICLE (50') PNEUMATIC DRILL (50')	80		PRINTING PRESS PLANT GARBAGE DISPOSAL IN THE HOME
SF MUNI LIGHT-RAIL VEHICLE (35') FREIGHT CARS (100')	70		INSIDE SPORTS CAR, 50 MPH
VACUUM CLEANER (10') SPEECH (1')	60		DATA PROCESSING CENTER DEPARTMENT STORE
LARGE TRANSFORMER (200') AVERAGE RESIDENCE	50		PRIVATE BUSINESS OFFICE LIGHT TRAFFIC (100')
	40		TYPICAL MINIMUM NIGHTTIME LEVELS—RESIDENTIAL AREAS
SOFT WHISPER (5')	30		
RUSTLING LEAVES	20		RECORDING STUDIO
THRESHOLD OF HEARING	10	}	MOSQUITO (3')
	0		

(100') = DISTANCE IN FEET  
BETWEEN SOURCE  
AND LISTENER

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TYPICAL SOUND LEVELS  
MEASURED IN THE  
ENVIRONMENT AND INDUSTRY

FIGURE A1

1107

C  
11.25.03



● INDICATES APPROXIMATE NOISE MEASUREMENT LOCATION  
 NOTE: DRAWING PROVIDED BY OTHERS; NO SCALE

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# VALERO DEVELOPMENT SITE ENVIRONMENTAL NOISE ASSESSMENT

## FIGURE 1

SALTER PROJECT NO. 16-0395  
 6 SEPTEMBER 2016  
 JMR



PM Design Group, Inc.  
2455 Bennett Valley Rd., Ste C-102  
Santa Rosa, CA 95404  
P. 707.703.5618  
F. 707.361.4715

Dec. 4, 2015

RE: New Development

E. Houston Ave. @ McAuliff St.  
Visalia, CA 93291

### OPERATIONAL STATEMENT

1. Nature of the project
  - New retail development to include three tenant spaces:
    - Valero gas station with c-store, self-serve car wash, canopy & fuel dispensers.
    - QSR with drive-thru (2,000 sq. ft., tenant to be determined)
    - Retail or QSR (2,700 sq. ft., tenant to be determined)
2. What products will be sold
  - Valero: gasoline, car washes; the c-store will sell typical convenience items, including beverages, snack items, beer & wine, hot food, ice cream, etc.
  - QSR: products sold, TBD
  - Retail: products sold, TBD
3. What is the existing use of the site
  - The site is an undeveloped piece of property
4. Hours and days of operation
  - Valero: gasoline sales: 24 hours; c-store: 4:30 am – midnight; car wash: 8:00 am – 9:00 pm; all will be 7 days a week
  - QSR: hours, TBD
  - Retail: hours, TBD
5. If seasonal, list the months of operation
  - N/A, not seasonal
6. Anticipated number of customers at one given time (peak times)
  - Valero: gasoline sales: 12-15 cars; c-store: 10-12 people; car wash: 3-4 cars
  - QSR: 12-15 people (estimate)
  - Retail: 10-12 people (estimate)

#### Office Locations

Sacramento • Portland • Phoenix • Dallas • San Francisco • Denver • Los Angeles • Seattle

[www.pmdginc.com](http://www.pmdginc.com)

# EXHIBIT F

7. Number of employees (peak times)
  - Valero: 2-3 employees
  - QSR: 3-5 employees (estimate)
  - Retail: 2-3 employees (estimate)
  
8. Will any of the employees live on the site
  - No
  
9. Number and type of delivery vehicles
  - Valero: gasoline – 60' long truck; c-store – 55' long truck
  - QSR: 55' long truck (estimate)
  - Retail: TBD

All deliveries made during non-peak hours
  
10. What equipment is used
  - Valero: gasoline sales: fuel dispensers; car wash: wash & dry equipment; c-store: coolers & freezers, ovens, soda dispensers, coffee machines, etc.
  - QSR: ovens, coolers, soda dispensers, etc. (estimate)
  - Retail: TBD
  
11. Will hazardous materials or waste be produced
  - None will be produced. The petroleum fuel being sold is classified as a hazardous material
  
12. Other information
  - This development is similar to and modeled after the Shannon Villages project built recently at W. Riggan Ave. & N. Mooney Blvd. The architecture blends stone veneer with earth tone colors. The fuel canopy will have Valero corporate colors & signage. The unknown QSR and retail spaces may also incorporate some corporate colors & signage. Landscaping will be added to the frontages per City standards. Overall, this development will complement the surrounding neighborhood while providing valuable services to the area.

#2

MEETING DATE FEBRUARY 17, 2016

SITE PLAN NO. 16-021

PARCEL MAP NO.

SUBDIVISION

LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

**RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.

During site plan design/policy concerns were identified, schedule a meeting with  
 Planning  Engineering prior to resubmittal plans for Site Plan Review.

Solid Waste  Parks and Recreation  Fire Dept.

**REVISE AND PROCEED** (see below)

A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.

Submit plans for a building permit between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday.

Your plans must be reviewed by:

CITY COUNCIL

REDEVELOPMENT

PLANNING COMMISSION CUP

PARK/RECREATION

HISTORIC PRESERVATION

OTHER \_\_\_\_\_

**ADDITIONAL COMMENTS** \_\_\_\_\_

If you have any questions or comments, please call Jason Huckleberry at (559) 713-4259.

Site Plan Review Committee

**DEPARTMENT OF TRANSPORTATION****DISTRICT 6**

1352 WEST OLIVE AVENUE

P.O. BOX 12616

FRESNO, CA 93778-2616

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March 11, 2016

06-TUL-216-2.48  
2135-IGR/CEQA  
SPR 16021  
VALERO GAS STATION  
AGENDA 02/17/2016

Ms. Susan Currier, Planning Assistant  
City of Visalia – Community Development – Site Plan Review  
315 East Acequia Avenue  
Visalia, CA 93291

Dear Ms. Currier:

Thank you for the opportunity to review Site Plan Review (SPR) 16021, proposing to construct a 7,700 square foot retail building for a quick service restaurant with drive-thru lane and 2 retail stores, a fuel island with 8 pumps (16 dispensers), and 1,000 square foot car wash and 62 parking spaces on a 2.45-acre portion of a 3.84-acre parcel. This proposed development is related to SPR 15176 which proposed to rezone the City of Visalia owned property from the Q-P to the C-C zone. The project is located at 3709 E. Houston Avenue on the southeast corner of State Route (SR) 216 (Houston Avenue) and McAuliff Street. Caltrans has the following comments:

1. Caltrans previously reviewed development of this site under SPR 15167 which was configured slightly different from the site plan under SPR 16021. However the comments for SPR 15167 dated 12/21/2015 (enclosed), remain valid for the current SPR 16021 and are reiterated below:
  - a. Based on the size, the land use, and the location of the development, it is anticipated that this would impact SR 216.
  - b. Based on the 40 mph posted speed limit on SR 216 at the project location, the recommended access spacing between driveways is 298 feet, and the minimum corner clearance for the proposed driveway on SR 216 from the intersection at McAuliff Street is 259 feet.
  - c. The parcel's frontage along SR 216 measures 227.6 feet which does not meet the required corner clearance spacing distance for the proposed driveway accessing SR 216. Caltrans in its effort to minimize traffic conflicts attempts to limit the number of access points to the main line. Caltrans will require the driveway to be a shared driveway for any future development on the property to the east of the subject parcel.

- d. If a driveway is to be shared by two or more property owners, an access easement (or an agreement acceptable to the State) needs to be executed between the parties and submitted to the Encroachment Permit office before a permit is issued for any work in the State right of way.
- e. The throat depth of the driveway needs to be constructed to at least 30 feet to provide stacking area for vehicles entering the project site.
- f. According to our Transportation Concept Report (TCR), this segment of SR 216 in the vicinity of the proposed project is planned for a 4-lane conventional highway. An irrevocable offer of dedication for right-of-way of 12 feet along SR 216 frontage should be made to Caltrans to accommodate this future configuration.
- g. The project proponent is required to construct highway frontage improvements including curb and gutter, and a minimum 6-foot (10-foot preferred) sidewalk when contiguous to a curb or 5 feet when separated by a planting strip.
- h. A wider shoulder should be provided for eastbound SR 216 traffic slowing to make right turns into the proposed driveway so as to give motorist as much area as possible to get out of the through lane.
- i. An encroachment permit must be obtained for all proposed activities for placement of encroachments within, under or over the State highway rights-of-way. Activity and work planned in the State right-of-way shall be performed to State standards and specifications, at no cost to the State. Engineering plans, calculations, specifications, and reports (documents) shall be stamped and signed by a licensed Engineer or Architect. Engineering documents for encroachment permit activity and work in the State right-of-way may be submitted using English Units. The Permit Department and the Environmental Planning Branch will review and approve the activity and work in the State right-of-way before an encroachment permit is issued. Encroachment permits will be issued in accordance with Streets and Highway Codes, Section 671.5, "Time Limitations." Encroachment permits do not run with the land. A change of ownership requires a new permit application. Only the legal property owner or his/her authorized agent can pursue obtaining an encroachment permit. Please call the Caltrans Encroachment Permit Office - District 6: 1352 W. Olive, Fresno, CA 93778, at (559) 488-4058.
- j. All proposed curb, gutter and sidewalk, and curb ramps will need to meet current ADA standards or other applicable State or Federal accessibility and safety requirements.
- k. Dust control measures shall be implemented on the site in a manner to prevent dust from entering the State right-of-way.
- l. No water from the proposed project shall flow into the State right-of-way without approval from the District Hydraulic Engineer.

- m. All proposed landscaping plans shall meet current standards as determined by the District Landscape Architect. Proposed landscaping needs to be low growing, less than two feet in height, due to sight distance concerns. All features of landscaping shall be evaluated for type, location and site visibility conflicts during the encroachment review process. All permits for landscaping in conventional highway right-of-way must be accompanied by a "District 6" approved maintenance agreement obligating a local agency or the permittee to maintaining the landscaping. Said maintenance agreement must accompany and be approved prior to issuance of the landscape permit. Proposed landscape projects in access control rights-of-way require an exception process, and approval is subject to the Headquarters Departmental approval process.
- n. The development for the remainder (1.66-acre) of the parcel is not available for review. Plans should be submitted for review when the remainder parcel is proposed to be developed.

If you have any other questions, please call David Deel at (559) 488-7396.

Sincerely,



MICHAEL NAVARRO, Chief  
Planning North Branch

Enclosure



# SITE PLAN REVIEW COMMENTS

CITY OF VISALIA TRAFFIC SAFETY DIVISION

February 17, 2016

ITEM NO: 2  
SITE PLAN NO: SPR-13021  
PROJECT TITLE: VALERO DEVELOPMENT  
DESCRIPTION: NEW 3,000 SF GAS STORE, 2,000 SF GAS W/DRIVE-THRU, 3,700 SF RETAIL SPACE, FUELING CANOPY/DISPENSERS, CAR WASH, LANDSCAPING & IRRIGATION  
APPLICANT: PM DESIGN GROUP  
PROP. OWNER: VISALIA CITY OF  
LOCATION: 3709 E HOUSTON AVE  
APN(S): 103-120-001

**THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY**

- No Comments
- See Previous Site Plan Comments
- Install Street Light(s) per City Standards.
- Install Street Name Blades at           Locations.
- Install Stop Signs at           Locations.
- Construct parking per City Standards PK-1 through PK-4.
- Construct drive approach per City Standards.
- Traffic Impact Analysis required.

**Additional Comments:**

- Driveway onto Houston is SR and requires Caltrans approval.
- Access drive on McAuliff shall be right in, right out only.

  
\_\_\_\_\_  
Leslie Blair

**BUILDING/DEVELOPMENT PLAN  
REQUIREMENTS  
ENGINEERING DIVISION**

- Jason Huckleberry 713-4259
- Adrian Rubalcaba 713-4271

ITEM NO: 2 DATE: FEBRUARY 17, 2016

SITE PLAN NO.: 16-021  
PROJECT TITLE: VALERO DEVELOPMENT  
DESCRIPTION: NEW 3,000 SF C-STORE, 2,000 QSR W/ DRIVE-THRU, 2,700 SF RETAIL SPACE, FUELING CANOPY/DISPENSERS, CAR WASH, LANDSCAPING & IRRIGATION  
APPLICANT: PM DESIGN GROUP  
PROP OWNER: VISALIA CITY OF  
LOCATION: 3709 E HOUSTON AVE  
APN: 103-120-081

**SITE PLAN REVIEW COMMENTS**

- REQUIREMENTS (indicated by checked boxes)
  - Install curb return with ramp, with \_\_\_\_\_ radius;
  - Install curb;  gutter **HOUSTON**
  - Drive approach size: **36' MIN**  Use radius return; **REFER TO CITY COMMERCIAL STDS**
  - Sidewalk: **6'** width;  **10'** parkway width at **HOUSTON & MC AULIFF**
  - Repair and/or replace any sidewalk across the public street frontage(s) of the subject site that has become uneven, cracked or damaged and may constitute a tripping hazard.
  - Replace any curb and gutter across the public street frontage(s) of the subject site that has become uneven and has created areas where water can stand.
  - Right-of-way dedication required. A title report is required for verification of ownership.
  - Deed required prior to issuing building permit; **EASEMENTS FOR SIDEWALK, SEE ADDL COMMENTS**
  - City Encroachment Permit Required. ALL WORK NECESSARY IN THE PUBLIC RIGHT-OF-WAY**  
Insurance certificate with general & auto liability (\$1 million each) and workers compensation (\$1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit. Contact Encroachment Tech. at 713-4414.
  - CalTrans Encroachment Permit required.  CalTrans comments required prior to issuing building permit.  
Contacts: David Deel (Planning) 488-4088; **HOUSTON AVE**
  - Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map.
  - Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.
  - Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades.  Prepared by registered civil engineer or project architect.  All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a)  directed to the City's existing storm drainage system; b)  directed to a permanent on-site basin; or c)  directed to a temporary on-site basin is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: \_\_\_\_\_ : \_\_\_\_\_ maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance. **SEE ADDL COMMENTS**
  - Grading permit is required for clearing and earthwork performed prior to issuance of the building permit.
  - Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter = .020%, V-gutter = 0.25%)
  - Show adjacent property grade elevations. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
  - All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications. **HOUSTON**

- Traffic indexes per city standards: **HOUSTON (ARTERIAL) = 11.0**
- Install street striping as required by the City Engineer.
- Install landscape curbing (typical at parking lot planters).
- Minimum paving section for parking: 2" asphalt concrete paving over 4" Class 2 Agg. Base, or 4" concrete pavement over 2" sand.
- Design Paving section to traffic index of 5.0 min. for solid waste truck travel path.
- Provide "R" value tests: **1** each at **300' INTERVALS**
- Written comments required from ditch company                      Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditch; Jerry Hill 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
- Access required on ditch bank, 15' minimum     Provide                      wide riparian dedication from top of bank.
- Show Oak trees with drip lines and adjacent grade elevations.     Protect Oak trees during construction in accordance with City requirements.
- A permit is required to remove oak trees. Contact Joel Hooyer at 713-4295 for an Oak tree evaluation or permit to remove.     A pre-construction conference is required.
- Relocate existing utility poles and/or facilities.
- Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- Subject to existing Reimbursement Agreement to reimburse prior developer:
- Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
- If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
- If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.
- Comply with prior comments.     Resubmit with additional information.     Redesign required.

**Additional Comments:**

- 1. Refer to City "Major Commercial" drive approach standards. There are existing street lights on McAuliff not shown on Site Plan, adjustment of drive approach may be necessary.**
- 2. Proposed refuse enclosures do not meet City standards. Refer to City "24' Refuse Enclosure" standards. Concrete apron and gates are required.**
- 3. A 10' parkway and 6' sidewalk is required along Houston and McAuliff street frontages. A Grant of Easement will be required for the sidewalk width on private property. Refer to the City website for standard procedures and document formats. Grant of Easement shall be approved by the City Engineer prior to building permit issuance.**
- 4. Curb, gutter, sidewalk, parkway landscaping, paving, and a street light are required on Houston Ave. Houston is Caltrans right-of-way and further subjected to additional requirements and permit approval; refer to Caltrans comments.**
- 5. Refer to City street tree policy and specifications.**
- 6. Refer to City "Arterial Street Light" standards. A separate electrical plan shall be submitted.**
- 7. Comply with City parking lot and accessibility standards.**
- 8. Site plan indicates onsite storm water retention. Storm drainage calculations shall be submitted with design. Basin fencing may be required dependant on side slope and depth design.**

9. City records indicate a sanitary sewer main is located on north side of Houston Ave. No sewer service mains exist in McAuliff. Connection to City sewer is required. Per standards, any service laterals under and across an arterial or collector status streets shall be bored.

10. Any required commercial and domestic backflow preventers shall be installed on private property and not within public right-of-way.

11. Comply with City parking lot and accessibility standards.

12. Site Plan does not show future parcel development to the south or proposed lot line adjustment or parcel mapping.

13. Site development will incur impact fees. Refer to Page 4 for fee summary. Additional sewer impact fees will be assessed for future fast food and restaurant tenants. Acreage of proposed parcel development will only be assessed at this time. Acreage fees for vacant parcel area to the south will be assessed at time of development.

**SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES**

Site Plan No: 16-021

Date: 2/17/2016

**Summary of applicable Development Impact Fees to be collected at the time of building permit:**  
**(Preliminary estimate only! Final fees will be based on the development fee schedule in effect at the time of building permit issuance.)**


(Fee Schedule Date:9/4/2015)  
(Project type for fee rates:RETAIL + FUEL STATION)

Existing uses may qualify for credits on Development Impact Fees.

<u>FEE ITEM</u>	<u>FEE RATE</u>
<input checked="" type="checkbox"/> Groundwater Overdraft Mitigation Fee	\$1,196/AC X 2.9 = \$3,468.40
<input checked="" type="checkbox"/> Transportation Impact Fee	\$13,481/1000SF X 8.7 = \$117,284.70 16 FUEL POSITIONS = \$280,904
<input checked="" type="checkbox"/> Trunk Line Capacity Fee	RETAIL @ \$22/1000SF X 8.7 = \$191.40, CARWASH = \$18,126/EACH.  TREATMENT PLANT FEE: \$52/1000SF X 8.7 = \$452.40, CARWASH = \$19,736/EACH
<input checked="" type="checkbox"/> Sewer Front Foot Fee	\$40/LF X 267 (HOUSTON) = \$10,680
<input checked="" type="checkbox"/> Storm Drain Acq/Dev Fee	\$7,144/AC X 2.9 = \$20,717.60
<input type="checkbox"/> Park Acq/Dev Fee	
<input checked="" type="checkbox"/> Northeast Specific Plan Fees	TBD
<input checked="" type="checkbox"/> Waterways Acquisition Fee	\$5,243/AC X 2.9 = \$15,204.70
<input checked="" type="checkbox"/> Public Safety Impact Fee: Police	\$8,019/AC X 2.9 = \$23,255.10
<input checked="" type="checkbox"/> Public Safety Impact Fee: Fire	\$1,754/AC X 2.9 = \$5,086.60
<input checked="" type="checkbox"/> Public Facility Impact Fee	\$514/1000SF X 8.7 = \$4,471.80
<input type="checkbox"/> Parking In-Lieu	

**Reimbursement:**

- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.




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Adrian Rubalcaba

City of Visalia  
**Building: Site Plan**  
**Review Comments**

SITE PLAN NO: SPK16021  
 PROJECT TITLE: VALERO DEVELOPMENT  
 DESCRIPTION: NEW 3,00 SF C-STORE, 2,000 SF QSR W/DRIVE-TRU, 2,700 SF RETAIL SPACE, FUELING CANOPY/DISPENSERS, CAR WASH, LANSCAPING & IRRIGATION  
 APPLICANT: PM DESIGN GROUP  
 PROP OWNER: VISALIA CITY OF  
 LOCATION: 3709 E HOUSTON AVE  
 APN(S): 103-120-081

NOTE: These are general comments and DO NOT constitute a complete plan check for your specific project  
 Please refer to the applicable California Codes & local ordinance for additional requirements.

- Business Tax Certification is required. *For information call (559) 713-4326*
- A building permit will be required. *For information call (559) 713-4444*
- Submit 4 sets of professionally prepared plans and 2 sets of calculations. (Small Tenant Improvements)
- Submit 4 sets of plans prepared by an architect or engineer. Must comply with 2013 California Building Cod Sec. 2308 for conventional light-frame construction or submit 2 sets of engineered calculations.
- Indicate abandoned wells, septic systems and excavations on construction plans.
- You are responsible to ensure compliance with the following checked items:**
- Meet State and Federal requirements for accessibility for persons with disabilities.
- A path of travel, parking, common area and public right of way must comply with requirements for access for persons with disabilities.
- Multi family units shall be accessible or adaptable for persons with disabilities.
- Maintain sound transmission control between units minimum of 50 STC.
- Maintain fire-resistive requirements at property lines.
- A demolition permit & deposit is required. *For information call (559) 713-4444*
- Obtain required clearance from San Joaquin Valley Air Pollution Board. Prior to am demolition work  
*For information call (661) 392-5500*
- Location of cashier must provide clear view of gas pump island
- Plans must be approved by the Tulare County Health Department. *For information call (559) 624-7400*
- Project is located in flood zone AE \*  Hazardous materials report.
- Arrange for an on-site inspection. (Fee for inspection \$151.90) *For information call (559) 713-4444*
- School Development fees. Commercial \$0.54 per square foot. Residential \$3.48 per square foot.
- Existing address must be changed to be consistent with city address. *For information call (559) 713-4320*
- Acceptable as submitted
- No comments
- See previous comments dated: \_\_\_\_\_

Special comments: ALL EXITS SHALL PROVIDE ACCESS TO THE PUBLIC WAY.

 Date: 2/10/10  
 Signature

QUALITY ASSURANCE DIVISION

SITE PLAN REVIEW COMMENTS

ITEM NO: 2                      DATE: February 17, 2016

SITE PLAN NO:                SPR16021

PROJECT TITLE:              VALERO DEVELOPMENT

DESCRIPTION:                NEW 3,00 SF C-STORE, 2,000 SF QSR W/DRIVE-TRU,  
2,700 SF RETAIL SPACE, FUELING  
CANOPY/DISPENSERS, CAR WASH, LANSCAPING &  
IRRIGATION

APPLICANT:                  PM DESIGN GROUP

PROP OWNER:                VISALIA CITY OF

LOCATION:                      3709 E HOUSTON AVE

APN(S):                        103-120-081

YOU ARE REQUIRED TO COMPLY WITH THE CITY OF VISALIA WASTEWATER ORDINANCE 13.08 RELATIVE TO CONNECTION TO THE SEWER, PAYMENT OF CONNECTION FEES AND MONTHLY SEWER USER CHARGES. THE ORDINANCE ALSO RESTRICTS THE DISCHARGE OF CERTAIN NON-DOMESTIC WASTES INTO THE SANITARY SEWER SYSTEM.

YOUR PROJECT IS ALSO SUBJECT TO THE FOLLOWING REQUIREMENTS:

- WASTEWATER DISCHARGE PERMIT APPLICATION
- SAND AND GREASE INTERCEPTOR – 3 COMPARTMENT \_\_\_\_\_
- GREASE INTERCEPTOR min. 1000 GAL. for car wash
- GARBAGE GRINDER – ¾ HP. MAXIMUM \_\_\_\_\_
- SUBMISSION OF A DRY PROCESS DECLARATION \_\_\_\_\_
- NO SINGLE PASS COOLING WATER IS PERMITTED \_\_\_\_\_
- OTHER \_\_\_\_\_
- SITE PLAN REVIEWED – NO COMMENTS

CALL THE QUALITY ASSURANCE DIVISION AT (559) 713-4529 IF YOU HAVE ANY QUESTIONS.

CITY OF VISALIA  
PUBLIC WORKS DEPARTMENT  
QUALITY ASSURANCE DIVISION  
7579 AVENUE 288  
VISALIA, CA 93277

*J. N. Kim*

\_\_\_\_\_  
AUTHORIZED SIGNATURE

2-12-16

\_\_\_\_\_  
DATE



### CITY OF VISALIA NONSIGNIFICANT WASTEWATER DISCHARGE PERMIT APPLICATION

Agency Use:
Permit No: _____
Code No: _____
Data Entry By: _____

**PLEASE PRINT OR TYPE**

APPLICANT BUSINESS NAME: \_\_\_\_\_ PHONE: \_\_\_\_\_

BUSINESS ADDRESS: \_\_\_\_\_ CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

BUSINESS OWNER: \_\_\_\_\_ PHONE: \_\_\_\_\_

MAILING ADDRESS: \_\_\_\_\_ CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

CONTACT PERSON: \_\_\_\_\_ TITLE: \_\_\_\_\_

NATURE OF BUSINESS: (auto repair, car wash, machine shop, painting, battery dealer, etc.)

- |   |     |    |
|---|-----|----|
| Does your facility have a grease, oil or grit trap installed before discharge to sewer?   | YES | NO |
| Does your facility conduct automotive servicing operations that involve the exchange or replacement of fluids (e.g. oil, transmission or brake fluid, radiator coolant etc.)? | YES | NO |
| Does your facility have any floor drains?   | YES | NO |
| Does your facility have a steam cleaner?  | YES | NO |
| Does your facility wash vehicles on site?   | YES | NO |

**If generated, how do you dispose of the following:**

Grease, oil and sand interceptor contents \_\_\_\_\_

I hereby affirm that all information furnished is true and correct  
to the best of my knowledge.

\_\_\_\_\_  
Signature Date

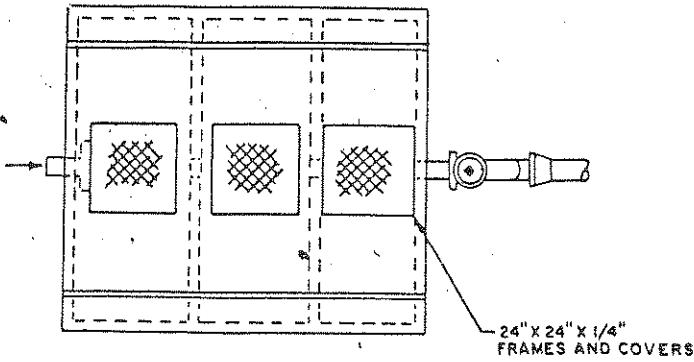
Public Works Department  
Quality Assurance Division  
7579 Ave. 288  
Visalia CA 93277  
(559) 713-4487



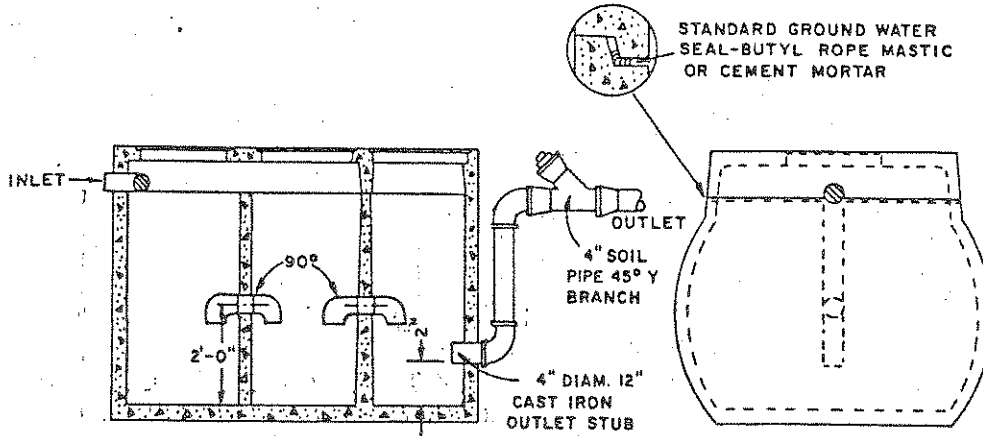
TYPICAL PRECAST 1000 GAL.

NO SCALE

(SEE DETAIL S-9A FOR NOTES)



PLAN VIEW



LONGITUDINAL SECTION

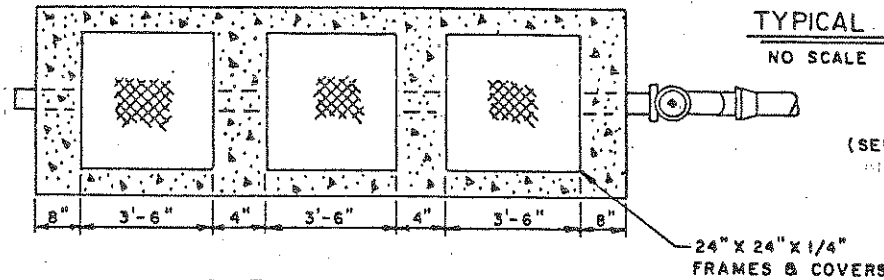
END VIEW

TYPICAL POUR-IN-PLACE

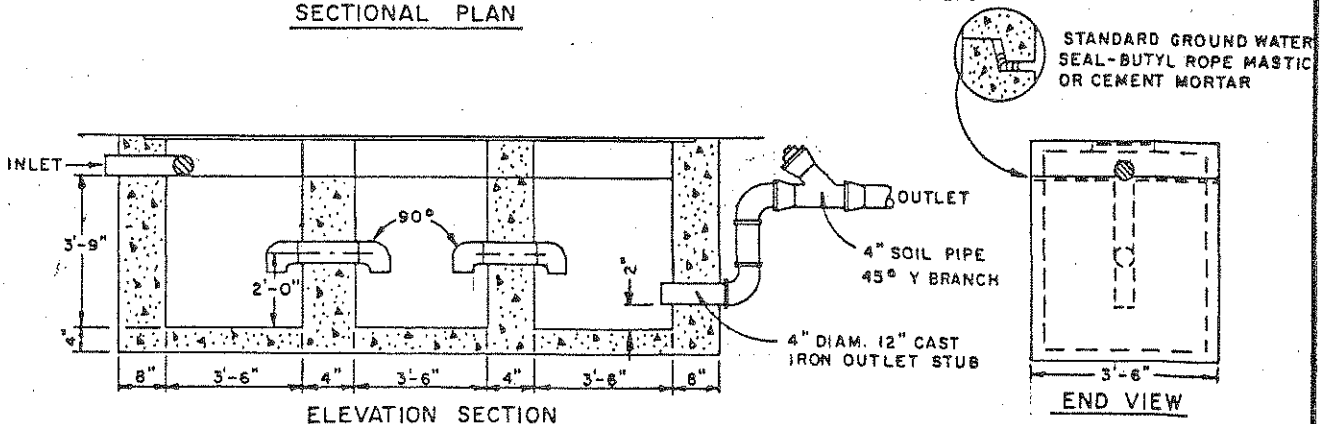
NO SCALE

1000 GAL.

(SEE DETAIL S-9A FOR NOTES)



SECTIONAL PLAN



ELEVATION SECTION

END VIEW

Approved by Visalia City Council on \_\_\_\_\_ DATE

**City of Visalia  
Improvement Standards**

**Standard Outside Industrial Sand,  
Grease & Oil Interceptor**

REVISIONS

**S-9**

**CITY OF VISALIA**  
**ORDINANCE 13.08**

**13.08.570 Traps required.**

Grease, oil and sand traps shall be provided when, in the opinion of the City, they are necessary for the protection of the sewerage system from liquid wastes containing grease in excessive amounts, or any flammable wastes, sand and other harmful ingredients; except that such traps shall not be required for buildings used solely for residential purposes. Such traps shall be required for example, on discharges from all service stations, automotive repair garages, car washes, restaurants, eating establishments and food preparation establishments, and such other commercial or industrial establishments as the city may designate. (Prior code § 4254)

**13.08.580 Construction of traps.**

All traps shall be of a type and capacity approved by the city, and shall be so located as to be readily and easily accessible for cleaning and inspection. Restaurant traps shall be gas-tight, of a type approved for restaurant use by the division of building safety. Traps for all other facilities, including service stations and garages, shall be in accordance with the adopted plan of the city for such traps or shall be the approved equal thereof as determined by the director. (Prior code § 4255)

**13.08.590 Maintenance of traps.**

When installed, all grease, oil and sand traps shall be maintained by the owner, at owner's expense, in continuously efficient operation at all times. (Prior code § 4256)



### Site Plan Review Comments For

City of Visalia  
Fire Department  
707 W Acequia  
Visalia, CA 93291  
559-713-4261 office  
559-713-4808 fax

ITEM NO: 2

DATE: February 17, 2016

SITE PLAN NO:

SPR16021

PROJECT TITLE:

VALERO DEVELOPMENT

DESCRIPTION:

NEW 3,00 SF C-STORE, 2,000 SF QSR W/DRIVE-TRU,  
2,700 SF RETAIL SPACE, FUELING  
CANOPY/DISPENSERS, CAR WASH, LANSCAPING &  
IRRIGATION

APPLICANT:

PM DESIGN GROUP

PROP OWNER:

VISALIA CITY OF

LOCATION:

3709 E HOUSTON AVE

APN(S):

103-120-081

#### The following comments are applicable when checked:

- The Site Plan Review comments are issued as general overview of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2013 California Fire Code (CFC), 2013 California Building Codes (CBC) and City of Visalia Municipal Codes.
- All fire detection, alarm, and extinguishing systems in existing buildings shall be maintained in an operative condition at all times and shall be replaced or repaired where defective. If building has been vacant for a significant amount of time, the fire detection, alarm, and or extinguishing systems may need to be evaluated by a licensed professional. *2013 CFC 901.6*
- No fire protection items required for parcel map or lot line adjustment; however, any future projects will be subject to fire & life safety requirements including fire protection.
- More information is needed before a Site Plan Review can be conducted. Please submit plans with more detail. Please include information on

#### General:

- Address numbers must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least four inches (4") high and shall be of a color to contrast with their background. If multiple addresses are served by a common driveway, the range of numbers shall be posted at the roadway/driveway. *2013 CFC 505.1*
- A Knox Box key lock system is required. Where access to or within a structure or an area is restricted because of secured openings (doors and/or gates) or for fire-fighting purposes, a key box is to be installed in an approved location. (Note: Knox boxes shall be ordered using an approved application that can be found at Fire Administration Office located at 707 W. Acequia Ave. Please allow adequate time for shipping and installation.) *2013 CFC 506.1*
- All hardware on exit doors shall comply with Chapter 10 of the 2013 California Fire Code. This includes all locks, latches, bolt locks, and panic and fire exit hardware.
- Provide illuminated exit signs and emergency lighting through-out building. *2013 CFC 1011*
- When portion of the building are built upon a property line or in close proximity to another structure the exterior wall shall be constructed as to comply *2013 California Building Code Table 508.4 and Table 602.*

- Commercial dumpsters with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system. *2013 CFC 304.3.3*
- If your business handles hazardous material in amounts that exceed the Maximum Allowable Quantities listed on *Table 5003.1.1(1), 5003.1.1(2), 5003.1.1(3) and 5003.1.1(4) of the 2013 California Fire Code*, you are required to submit an emergency response plan to the Tulare County Health Department. Also you shall indicate the quantities on your building plans and prior to the building final inspection a copy of your emergency response plan and Safety Data Sheets shall be submitted to the Visalia Fire Department.

**Water Supply:**

- Construction and demolition sites shall have an approved water supply for fire protection, either temporary or permanent, and shall be made available as soon as combustible material arrives on the site. *2013 CFC 3312*
- No additional fire hydrants are required for this project; however, additional fire hydrants may be required for any future development.
- There is/are fire hydrants required for this project. (See marked plans for fire hydrant locations.)
- Fire hydrant spacing shall comply with the following requirements:  
 The exact location of fire hydrants and final decision as to the number of fire hydrants shall be at the discretion of the fire marshal, fire chief and/or their designee. *Visalia Municipal Code 16.36.120 & 16.36.120(8)*
  - Single-family residential developments shall be provided with fire hydrants every six hundred (600) lineal feet of residential frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
  - Multi-family, zero lot line clearance, mobile home park or condominium developments shall be provided with fire hydrants every four hundred (400) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
  - Multi-family or condominium developments with one hundred (100) percent coverage fire sprinkler systems shall be provided with fire hydrants every six (600) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
  - Commercial or industrial developments shall be provided with fire hydrants every three hundred (300) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
  - Commercial or industrial developments with one hundred (100) percent coverage fire sprinkler systems shall be provided with fire hydrants every five hundred (500) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
- When any portion of a building is in excess of one hundred fifty (150) feet from a water supply on a public street there shall be provided on site fire hydrants and water mains capable of supplying the required fire flow. *Visalia Municipal Code 16.36.120(6)*

**Emergency Access:**

- ☒ A construction access road is required and shall be a minimum of 20 feet wide. The road shall be an all-weather driving surface accessible prior to and during construction. The access road shall be capable of holding 75,000 pound piece of fire apparatus, and shall provide access to within 100 feet of temporary or permanent fire department connections. *2013 CFC 3310*
  
- ☐ Buildings or portions of buildings or facilities with a vertical distance between the grade plans and the highest roof surface exceed 30 feet shall provide an approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders. Access routes shall be located within a minimum of 15 feet and maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building. *2013 CFC D105*
  
- ☒ A fire apparatus access roads shall be provide and must comply with the CFC and extend to within 150 of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Minimum turning radius for emergency fire apparatus shall be 20 feet inside radius and 43 feet outside radius. *2013 CFC 503.1.1*
  
- ☐ Fire apparatus access roads in excess of 150 feet and dead end shall be provided with a turnaround. Length 151-500 feet shall be a minimum of 20 feet in width and have a 120 foot Hammerhead, 60-foot "Y" or 96-Foot diameter Cul-de-sac in accordance with Figure D103.1 of the 2013 CFC. Length 501-750 feet shall be 26 feet in width and have a 120 foot Hammerhead, 60-foot "Y" or 96-Foot diameter Cul-de-sac in accordance with Figure D103.1 of the 2013 CFC.

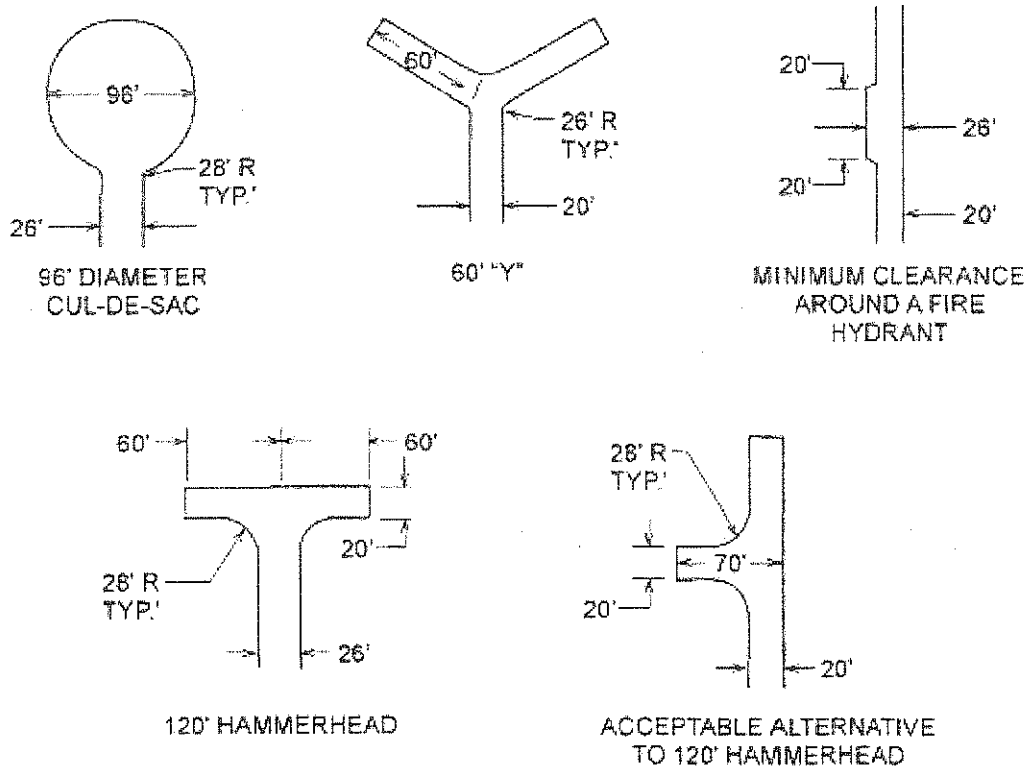


FIGURE D103.1  
DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUND

Gates on access roads shall be a minimum width of 20 feet and shall comply with the following:  
*2013 CFC D103.5*

- Typical chain and lock shall be the type that can be cut with a common bolt cutter, or the developer may opt to provide a Knox Box key lock system.
- Gates shall be of the swinging or sliding type.
- Gates shall allow manual operation by one person. (power outages)
- Gates shall be maintained in an operative condition at all times.
- Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. (Note: Knox boxes shall be ordered using an approved application that can be found at Fire Administration Office located at 707 W. Acequia Ave. Please allow adequate time for shipping and installation.)

In any and all new One- or two-family dwellings residential developments regardless of the number of units, street width shall be a minimum of 36 feet from curb to curb to allow fire department access and to permit parking on both sides of the street. A minimum of 20 feet shall be provided for developments that don't allow parking on the streets. *2013 CFC D107.2*

**Fire Protection Systems:**

An automatic fire sprinkler system will be required for this building. Also a fire hydrant is required within 50 feet of the Fire Department Connection (FDC). *2013 CFC 903 and Visalia Municipal Code 16.36.120(7)*

Commercial cooking appliances and domestic cooking appliances used for commercial purposes that produces grease laden vapors shall be provided with a Type 1 Hood, in accordance with the California Mechanical Code, and an automatic fire extinguishing system. *2013 CFC 904.11 & 609.2*

**Special Comments:**



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Maribel Vasquez  
Fire Inspector

ITEM NO: 2      DATE: February 17, 2016  
 SITE PLAN NO: SPR16021  
 PROJECT TITLE: VALERO DEVELOPMENT  
 DESCRIPTION: NEW 3,00 SF C-STORE, 2,000 SF QSR W/DRIVE-TRU,  
 2,700 SF RETAIL SPACE, FUELING  
 CANOPY/DISPENSERS, CAR WASH, LANSCAPING &  
 IRRIGATION  
 APPLICANT: PM DESIGN GROUP  
 PROP OWNER: VISALIA CITY OF  
 LOCATION: 3709 E HOUSTON AVE  
 APN(S): 103-120-081

**City of Visalia**  
**Police Department**  
 303 S. Johnson St.  
 Visalia, Ca. 93292  
 (559) 713-4370

### Site Plan Review Comments

- No Comment at this time.
- Request opportunity to comment or make recommendations as to safety issues as plans are developed.
- Public Safety Impact fee:  
 Ordinance No. 2001-11 Chapter 16.48 of Title 16 of the Visalia Municipal Code  
 Effective date - August 17, 2001

Impact fees shall be imposed by the City pursuant to this Ordinance as a condition of or in conjunction with the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land, upon which no like building, structure of improvement previously existed. \*Refer to Engineering Site Plan comments for fee estimation.

- Not enough information provided. Please provide additional information pertaining to:  
 \_\_\_\_\_
- Territorial Reinforcement: Define property lines (private/public space).  
 \_\_\_\_\_
- Access Controlled / Restricted etc:  
 \_\_\_\_\_
- Lighting Concerns:  
 \_\_\_\_\_
- Landscaping Concerns:  
 \_\_\_\_\_
- Traffic Concerns:  
 \_\_\_\_\_
- Surveillance Issues:  
 \_\_\_\_\_
- Line of Sight Issues:  
 \_\_\_\_\_
- Other Concerns:  
 \_\_\_\_\_

Visalia Police Department

# SITE PLAN REVIEW COMMENTS

Paul Bernal, Planning Division (559) 713-4025

Date: February 17, 2016

SITE PLAN NO: 2016-021  
PROJECT TITLE: VALERO DEVELOPMENT  
DESCRIPTION: NEW 3,000 SF C-STORE, 2,000 SF QSR W/DRIVE-TRU, 2,700 SF  
RETAIL SPACE, FUELING CANOPY/DISPENSERS, CAR WASH,  
LANDSCAPING & IRRIGATION  
APPLICANT: PM DESIGN GROUP  
PROP. OWNER: CITY OF VISALIA  
LOCATION TITLE: 3709 E HOUSTON AVE  
APN TITLE: 103-120-081  
GENERAL PLAN: Commercial Mixed Use  
EXISTING ZONING: C-C & Q-P – Convenience Commercial & Quasi-Public  
PROPOSED  
ZONING: C-SO – Shopping / Office Commercial

## Planning Division Recommendation:

- Revise and Proceed  
 Resubmit

## Project Requirements

- Conditional Use Permit
- Noise Study
- Photometric Study
- Building Permits
- Additional Information as Needed

## **PROJECT SPECIFIC INFORMATION: 02/17/2016**

1. A Conditional Use Permit is required for the service station, drive-thru and automated carwash.
2. The following technical studies are required with the submittal of this CUP: Noise Study for the carwash, and Photometric Study.
3. Block Wall is required along the east and south property lines.
4. Any proposed gas island canopy lights must be recessed in the canopy to preclude direct visibility of the lamp elements.
5. Staff recommends depicting the entire parcel. How is the remaining balance of the site to be developed.
6. Cross-access between the gas station site and the remaining balance of the site should be considered.
7. No structures are permitted within 15-ft. of the east property line. Depict setback distance of the proposed solid waste enclosure.
8. A separate building permit is required for any proposed signage. Signage shall comply with Design District B standards.

- Staff initial finding is that the proposed site plan IS CONSISTENT with the City General Plan. Because this project requires discretionary approval by the City Council and/or Planning Commission the final determination of consistency will be made by the Planning Commission and/or City Council.



**Design District: "B" [17.30.170]**

**Maximum Building Height: 50 Feet**

**Minimum Setbacks:**

	<b>Building</b>	<b>Landscaping</b>
➤ Front	15 Feet	15 Feet
➤ Side	0 Feet	5 Feet*
➤ Street side on corner lot	10 Feet	10 Feet
➤ Side abutting residential zone	15 Feet	5 Feet
➤ Rear	0 Feet	5 Feet*
➤ Rear abutting residential zone	20 Feet	5 Feet

\*(Except where building is on property line)

**Minimum Site Area: 5 acres**

**Parking: As prescribed in Chapter 17.34**

**Parking:**

1. General retail stores, except as otherwise specified: one parking space for each three hundred (300) square feet of floor area (see Zoning Ordinance Section 17.34.020).
2. Restaurants, cafes, soda fountains and similar establishments: one parking space for each one hundred (100) square feet of floor area (see Zoning Ordinance Section 17.34.020).
3. 30% of the required parking stalls may be compact and shall be evenly distributed in the lot (Zoning Ordinance Section 17.34.030.I).
4. Provide handicapped space(s) (see Zoning Ordinance Section 17.34.030.H).
5. An 80 sq. ft. minimum landscape well is required every 10 contiguous parking stalls (Zoning Ordinance Section 17.34.040.D & 17.30.130.C).
6. No repair work or vehicle servicing allowed in a parking area (Zoning Ordinance Section 17.34.030.L).
7. It is highly recommended that bicycle rack(s) be provided on site plan.
8. No parking shall be permitted in a required front/rear/side yard (Zoning Ordinance Section 17.34.030.F).
9. Design/locate parking lot lighting to deflect any glare away from abutting residential areas, calculations to be shown on construction documents (Zoning Ordinance Section 17.34.030.J).
10. Parking lot to be screened from view by a 3-foot tall solid wall or shrubs when located adjacent to a public street.
11. Provide off-street loading facility(Zoning Ordinance Section 17.34.070 & 17.34.080).

**Fencing and Screening:**

1. Provide screening for roof mounted equipment (Zoning Ordinance Section 17.30.130.F).
2. Provide screened trash enclosure with solid screening gates (Zoning Ordinance Section 17.30.130.F).
3. Provide solid screening of all outdoor storage areas. Outdoor storage to be screened from public view with solid material (Zoning Ordinance Section 17.30.130.F).
4. Outdoor retail sales prohibited.
5. Cross Sections need to be provided for site Plan Review if there is greater than an 18-inch difference between the elevation of the subject site and the adjacent properties, and the sections would be required for the public hearing process also.
6. All outdoor storage areas are to be identified on the site plan and they are to be shown with screening (fencing). No materials may be stored above the storage area fence heights (Zoning Ordinance Section 17.30.130.F).
7. Provide minimum of 7-foot high concrete block wall or masonry wall along/around the following: East and South property lines

8. If there is an anticipated grade difference of more than 12-inches between this site and the adjacent sites, a cross section of the difference and the walls must be provided as a part of the Subdivision and/or CUP application package.
9. NOTE: The maximum height of block walls and fences is 7-feet in the appropriate areas; this height is measured on the tallest side of the fence. If the height difference is such that the fence on the inside of the project site is not of sufficient height, the fence height should be discussed with Planning Staff prior to the filing of applications to determine if an Exception to fence/wall height should also be submitted.


#### Landscaping:

1. The City has adopted the State Water Efficient Landscape Ordinance. The ordinance applies to projects installing 2,500 square feet or more of landscaping. It requires that landscaping and irrigation plans be certified by a qualified entity (i.e., Landscape Architect) as meeting the State water conservation requirements. The City's implementation of this new State law will be accomplished by self-certification of the final landscape and irrigation plans by a California licensed landscape architect or other qualified entity with sections signed by appropriately licensed or certified persons as required by the ordinance. **NOTE: Prior to a final for the project, a signed Certificate of Compliance for the MWELO standards is required indicating that the landscaping has been installed to MWELO standards.**
2. Provide street trees at an average of 20-feet on center along street frontages. All trees to be 15-gallon minimum size (Zoning Ordinance Section 17.30.130.C).
3. All landscape areas to be protected with 6-inch concrete curbs (Zoning Ordinance Section 17.30.130.F).
4. All parking lots to be designed to provide a tree canopy to provide shade in the hot seasons and sunlight in the winter months.
5. Provide a detailed landscape and irrigation plan as a part of the building permit package (Zoning Ordinance Section 17.34.040).
6. An 80 sq. ft. minimum landscape well is required every 10 contiguous parking stalls (Zoning Ordinance Section 17.30.130.C).
7. Locate existing oak trees on site and provide protection for all oak trees greater than 2" diameter (see Oak Tree Preservation Ordinance).
8. Maintenance of landscaped areas. - A landscaped area provided in compliance with the regulations prescribed in this title or as a condition of a use permit or variance shall be planted with materials suitable for screening or ornamenting the site, whichever is appropriate, and plant materials shall be maintained and replaced as needed, to screen or ornament the site. (Prior code § 7484)

#### Lighting:

1. All lighting is to be designed and installed so as to prevent any significant direct or indirect light or glare from falling upon any adjacent residential property. This will need to be demonstrated in the building plans and prior to final on the site.
2. Parking lot and drive aisle lighting adjacent to residential units or designated property should consider the use of 15-foot high light poles, with the light element to be completely recessed into the can. A reduction in the height of the light pole will assist in the reduction/elimination of direct and indirect light and glare which may adversely impact adjacent residential areas.
3. Building and security lights need to be shielded so that the light element is not visible from the adjacent residential properties, if any new lights are added or existing lights relocated.
4. NOTE: Failure to meet these lighting standards in the field will result in no occupancy for the building until the standards are met.
5. In no case shall more than 0.5 lumens be exceeded at any property line, and in cases where the adjacent residential unit is very close to the property line, 0.5 lumens may not be acceptable.

NOTE: Staff recommendations contained in this document are not to be considered support for a particular action or project unless otherwise stated in the comments. The comments found on this document pertain to the site plan submitted for review on the above referenced date. Any changes made to the plan submitted must be submitted for additional review.

Signature 

SOLID WASTE DIVISION  
336 N. BEN MADDOX  
VISALIA CA. 93291  
713 - 4500

COMMERCIAL BIN SERVICE

SITE PLAN NO: SPR16021  
PROJECT TITLE: VALERO DEVELOPMENT  
DESCRIPTION: NEW 3,00 SF C-STORE, 2,000 SF QSR W/DRIVE-TRU,  
2,700 SF RETAIL SPACE, FUELING  
CANOPY/DISPENSERS, CAR WASH, LANSCAPING &  
IRRIGATION  
APPLICANT: PM DESIGN GROUP  
PROP OWNER: VISALIA CITY OF  
LOCATION: 3709 E HOUSTON AVE  
APN(S): 103-120-081

No comments.

Same comments as as

Revisions required prior to submitting final plans. See comments below.

Resubmittal required. See comments below.

Customer responsible for all cardboard and other bulky recyclables to be broken down  
be fore disposing of in recycle containers.

ALL refuse enclosures must be R-3 or R-4

Customer must provide combination or keys for access to locked gates/bins

Type of refuse service not indicated.

Location of bin enclosure not acceptable. See comments below.

Bin enclosure not to city standards double.

Inadequate number of bins to provide sufficient service. See comments below.

Drive approach too narrow for refuse trucks access. See comments below.

Area not adequate for allowing refuse truck turning radius of :  
Commercial ( X ) 50 ft. outside 36 ft. inside; Residential ( ) 35 ft. outside, 20 ft. inside.

Paved areas should be engineered to withstand a 55,000 lb. refuse truck.

Bin enclosure gates are required

Hammerhead turnaround must be built per city standards.

Cul - de - sac must be built per city standards.


Bin enclosures are for city refuse containers only. Grease drums or any other  
items are not allowed to be stored inside bin enclosures.

Area in front of refuse enclosure must be marked off indicating no parking



Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS)

Customer will be required to roll container out to curb for service.

Must be a concrete slab in front of enclosure as per city standards

 Roll off compactor's must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow the truck enough room to provide service.

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 Bin enclosure gates must open 180 degrees and also hinges must be mounted in front of post  
see page 2 for instructions

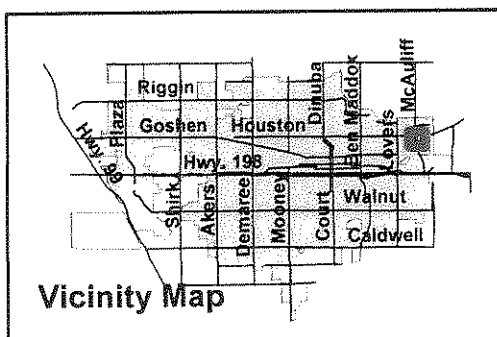
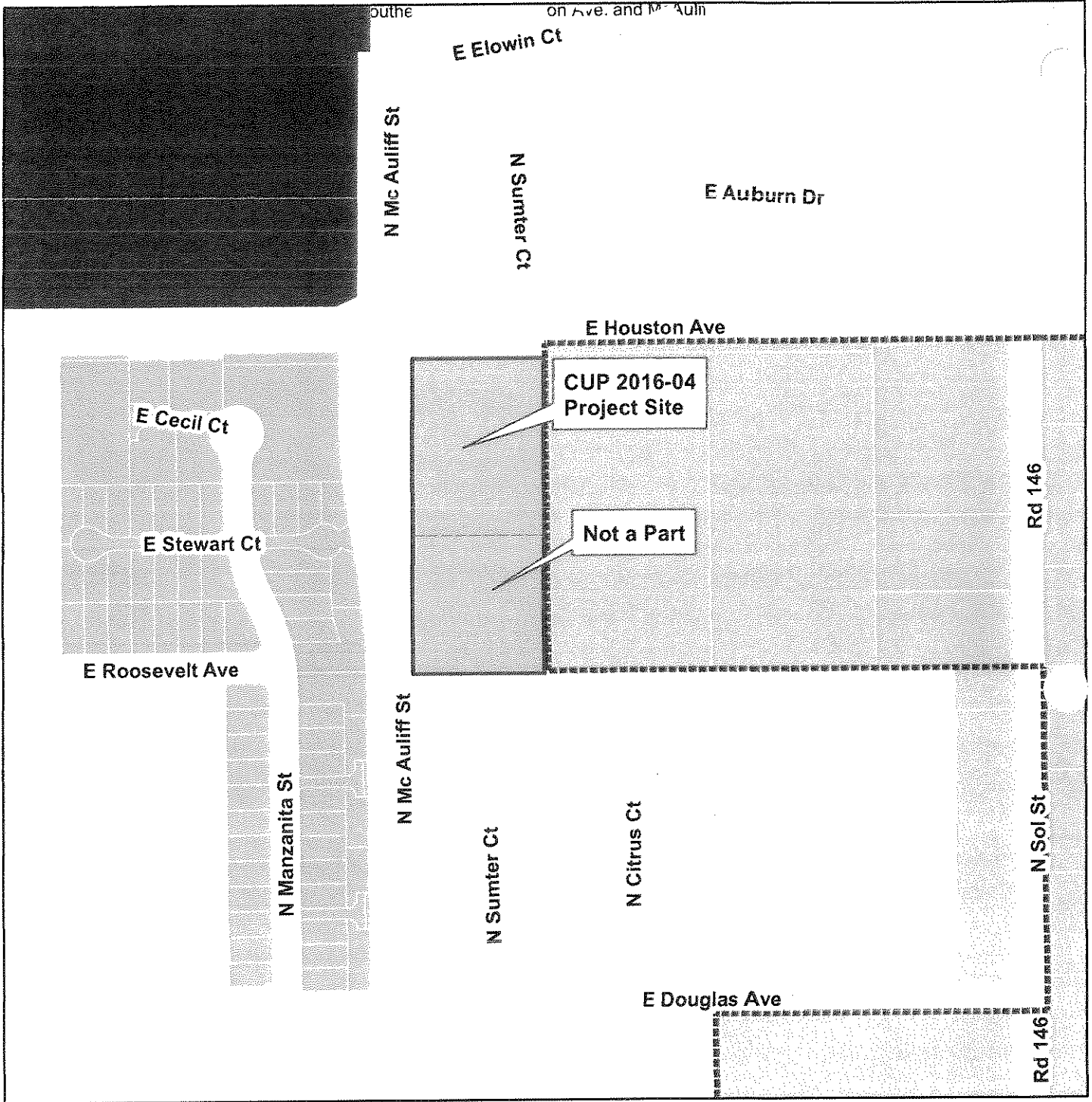
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 PROJECT LOOKS GOOD WITH ANY FUTURE CHANGES SOLID WASTE WILL NEED TO BE NOTIFIED.

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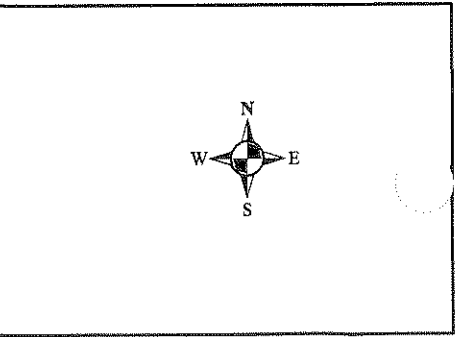
 Javier Hernandez, Solid Waste Front Load Supervisor 713-4338

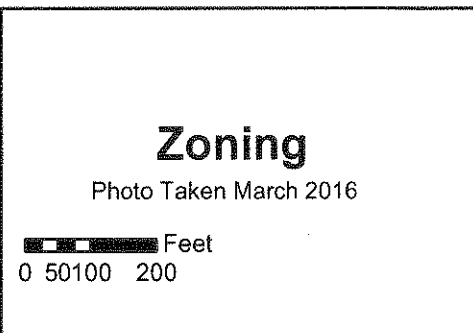
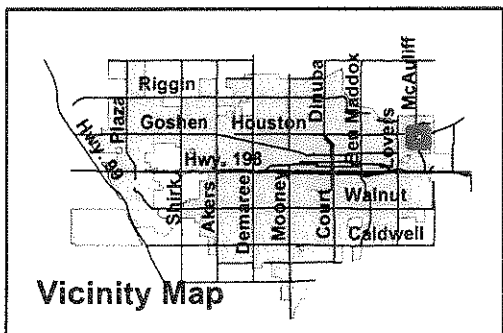
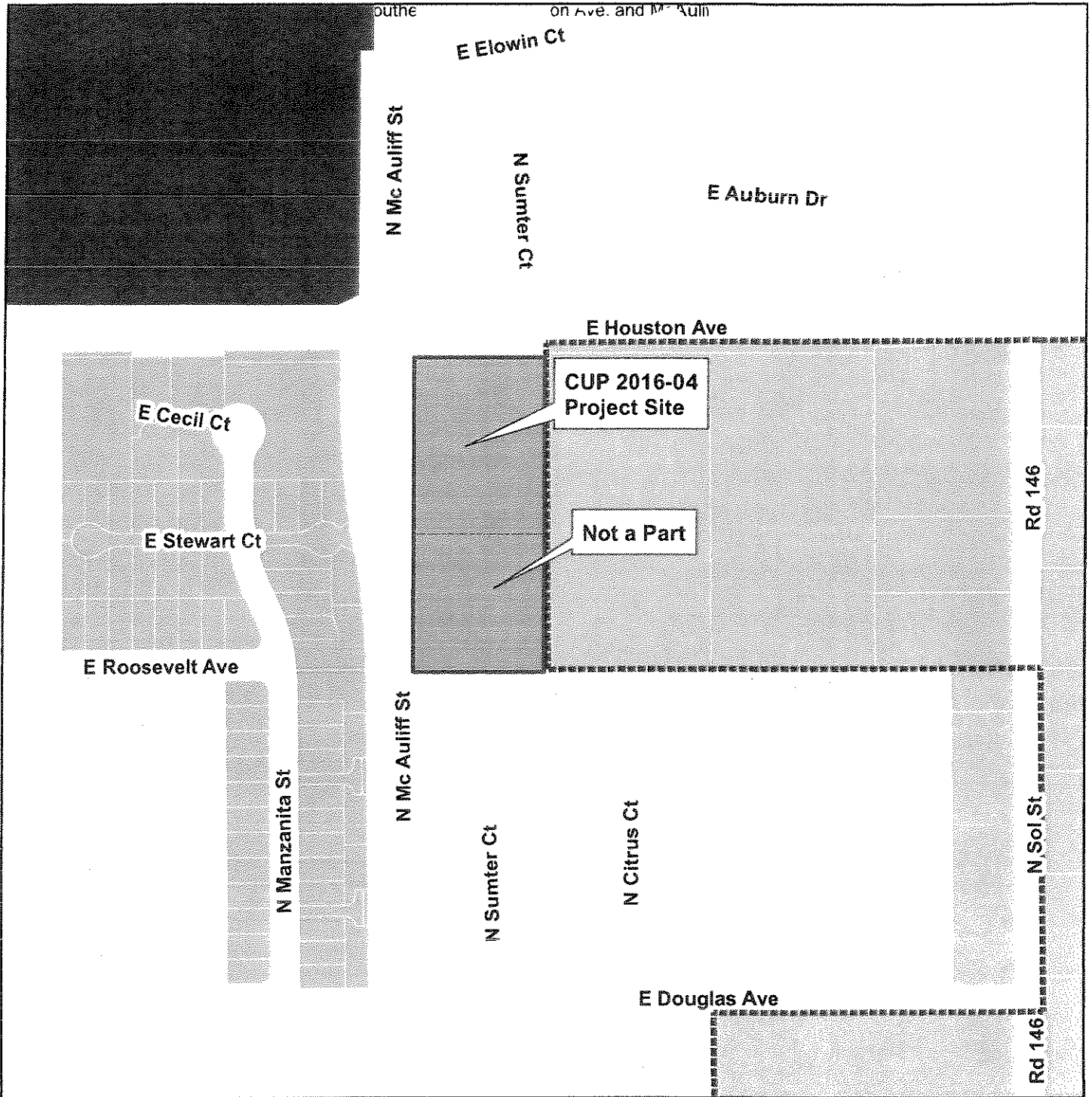


**General Plan  
CMU  
(Commercial Mixed Use)**

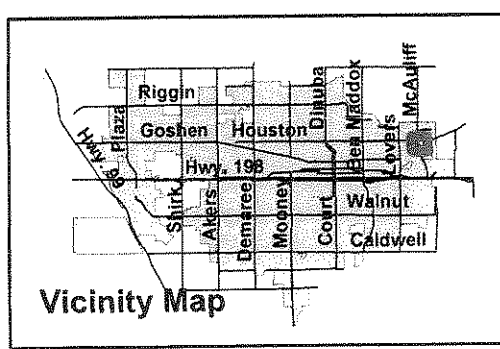
Photo Taken March 2016

Feet  
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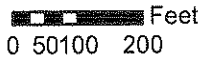
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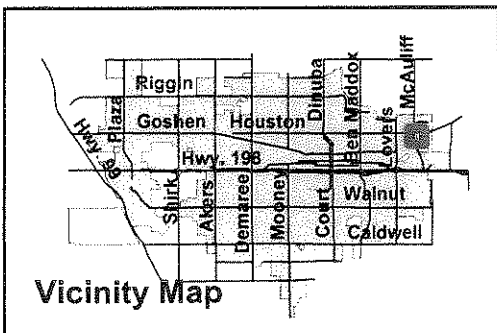
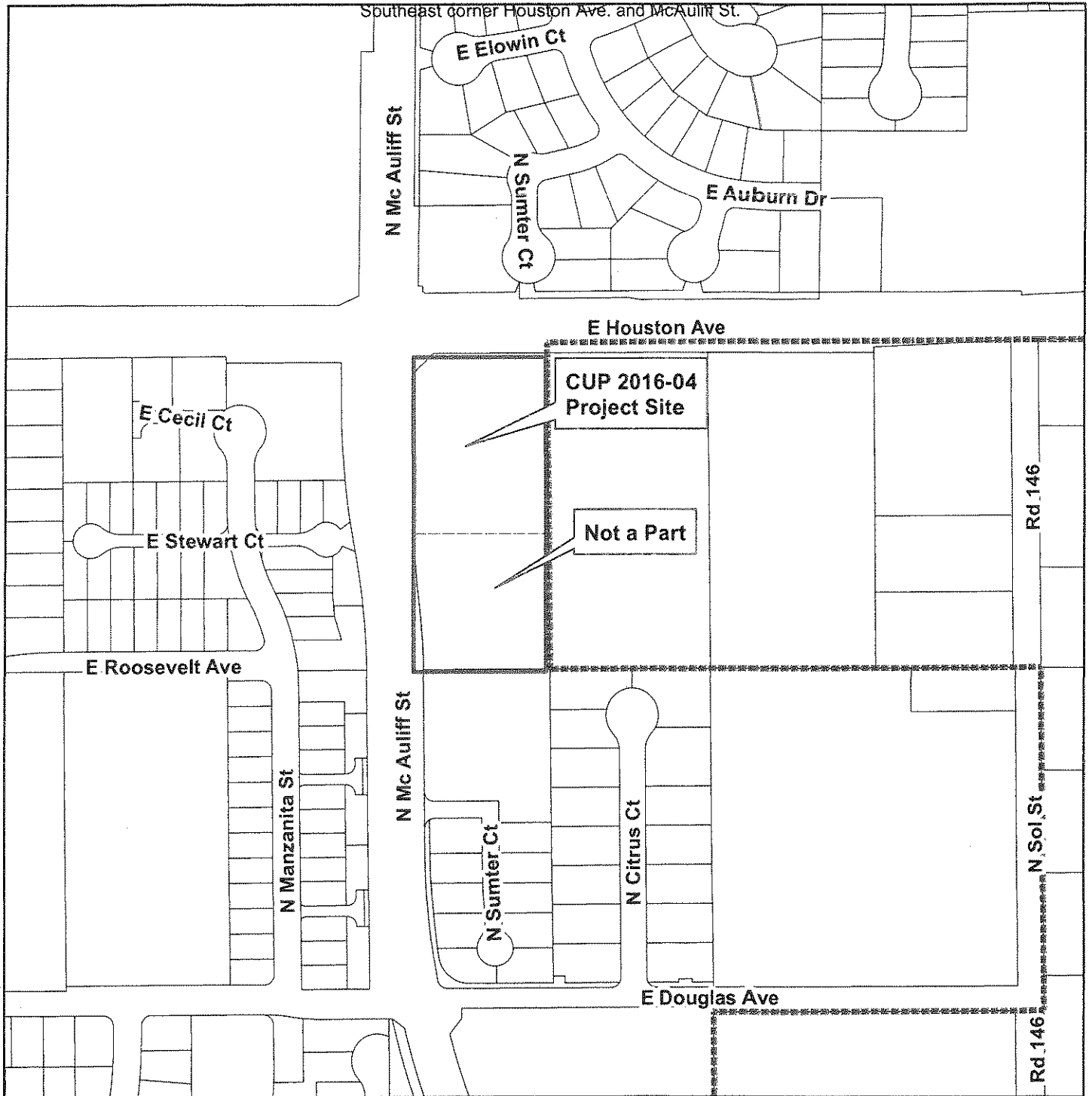
Vicinity Map

### Aerial Photo

Photo Taken March 2016







**Vicinity Map**  
Photo Taken March 2016

