

# PLANNING COMMISSION AGENDA

CHAIRPERSON:

Adam Peck



VICE CHAIRPERSON:

Brett Taylor

COMMISSIONERS: Adam Peck, Brett Taylor, Liz Wynn, Lawrence Segrue, Chris Gomez

MONDAY, MAY 23, 2016; 5:30 PM WORKSESSION, 7 PM REGULAR MEETING,  
COUNCIL CHAMBERS, 707 W. ACEQUIA, VISALIA CA

1. **WORK SESSION –Consultant**  
Subdivision & Zoning Ordinance Update
2. **BREAK –**
3. **THE PLEDGE OF ALLEGIANCE –**
4. **CITIZEN'S COMMENTS –** This is the time for citizens to comment on subject matters that are not on the agenda but are within the jurisdiction of the Visalia Planning Commission. The Commission requests that a 5-minute time limit be observed for comments. Please begin your comments by stating and spelling your name and providing your street name and city. Please note that issues raised under Citizen's Comments are informational only and the Commission will not take action at this time.
5. **CHANGES OR COMMENTS TO THE AGENDA–**
6. **CONSENT CALENDAR -** All items under the consent calendar are to be considered routine and will be enacted by one motion. For any discussion of an item on the consent calendar, it will be removed at the request of the Commission and made a part of the regular agenda.
  - No Items on Consent Calendar
7. **PUBLIC HEARING – Brandon Smith**  
Conditional Use Permit No. 2016-05: A request by Gateway Church, to amend the master plan associated with Conditional Use Permit Nos. 197 and 1123 by replacing 8,844 square feet of building with 13,838 square feet of building utilized for classrooms and a gathering space and by adding a driveway and drive approach to an existing church in the QP (Quasi-Public) zone. The project site is located at 1100 S. Sowell Street, on the northeast corner of Tulare Avenue and Sowell Street. (APN: 096-093-016) The project is Categorical Exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332, Categorical Exemption No. 2016-07
8. **PUBLIC HEARING – Andy Chamberlain**
  - General Plan Amendment No. 2016-02: A request by Kaweah Delta Health Care District and CRS Farming to change the land use designation from Medium Density Residential to Professional Administrative Office on 1.01 acres. The project site is located at the northeast corner of Demaree Street and Flagstaff Avenue (APN: 078-210-021) An Initial Study was prepared for this project, consistent with CEQA, which disclosed that environmental impacts are determined to be not significant with mitigation and that Negative Declaration No. 2013-087 was adopted.

- Change of Zone No. 2016-01: A request by Kaweah Delta Health Care District and CRS Farming to change the zoning from R-M-2 (Medium Density Residential) to PA (Professional Administrative Office) on 1.01 acres. The project site is located at the northeast corner of Demaree Street and Flagstaff Avenue (APN: 078-210-021) An Initial Study was prepared for this project, consistent with CEQA, which disclosed that environmental impacts are determined to be not significant with mitigation and that Negative Declaration No. 2013-087 was adopted.
- Specific Plan Amendment No. 2016-03: A request by Kaweah Delta Health Care District and CRS Farming to amend the Village at Willow Creek Specific Plan to allow 1.01 acres of Professional Administrative Office. The project site is located at the northeast corner of Demaree Street and Flagstaff Avenue (APN: 078-210-021) An Initial Study was prepared for this project, consistent with CEQA, which disclosed that environmental impacts are determined to be not significant with mitigation and that Negative Declaration No. 2013-087 was adopted.
- Tentative Parcel Map No. 2016-02: A request by Kaweah Delta Health Care District and CRS Farming to divide 4.66 acres into 2 parcels of 1.01 acres, and 3.65 acres, in the R-M-2 (Medium Density Residential) zone. The project site is located at the northeast corner of Demaree Street and Flagstaff Avenue (APN: 078-210-021) An Initial Study was prepared for this project, consistent with CEQA, which disclosed that environmental impacts are determined to be not significant with mitigation and that Negative Declaration No. 2013-087 was adopted.
- Conditional Use Permit No. 2016-02: A request by Kaweah Delta Health Care District and CRS Farming to establish a 6,100 sq. ft. urgent care medical clinic on 1.01 acres in the PA (Professional Administrative Office) zone. The project site is located at the northeast corner of Demaree Street and Flagstaff Avenue (APN: 078-210-021) An Initial Study was prepared for this project, consistent with CEQA, which disclosed that environmental impacts are determined to be not significant with mitigation and that Negative Declaration No. 2013-087 was adopted.

9. PUBLIC HEARING – Brandon Smith

Conditional Use Permit No. 2016-06: A request by Visalia Unified School District to allow construction of a new elementary school on 12.96 acres in the R-1-6 (Single-family Residential, 6,000 square foot minimum lot size) Zone. The project site is located on the northwest corner of Giddings Street and Shannon Parkway. (APN: 078-120-038) Mitigated Negative Declaration adopted by VUSD Board of Education (VUSD acting as Lead Agency)

10. REGULAR ITEM – Paul Scheibel

Planning Division Fee Amendments: Consideration of revisions to the Planning Division fees as contained in the City of Visalia Fee Resolution.

11. DIRECTOR'S REPORT/ PLANNING COMMISSION DISCUSSION-

The Planning Commission meeting may end no later than 11:00 P.M. Any unfinished business may be continued to a future date and time to be determined by the Commission at this meeting. The Planning Commission routinely visits the project sites listed on the agenda.

For the hearing impaired, if signing is desired, please call (559) 713-4359 twenty-four (24) hours in advance of the scheduled meeting time to request these services. For the visually impaired, if enlarged print or Braille copy is desired, please call (559) 713-4359 for this assistance in advance of the meeting and such services will be provided as soon as possible following the meeting.

Any written materials relating to an item on this agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the City Office, 315 E. Acequia Visalia, CA 93291, during normal business hours.

**APPEAL PROCEDURE**

**THE LAST DAY TO FILE AN APPEAL IS THURSDAY, JUNE 2, 2016 BEFORE 5 PM**

According to the City of Visalia Zoning Ordinance Section 17.02.145 and Subdivision Ordinance Section 16.04.040, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal form with applicable fees shall be filed with the City Clerk at 220 N. Santa Fe, Visalia, CA 93292. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website [www.visalia.city](http://www.visalia.city) or from the City Clerk.

**THE NEXT REGULAR MEETING WILL BE HELD ON MONDAY, JUNE 13, 2016**



# REPORT TO CITY OF VISALIA PLANNING COMMISSION

**HEARING DATE:** May 23, 2016

**PROJECT PLANNER:** Brandon Smith, Senior Planner  
(559) 713-4636; [brandon.smith@visalia.city](mailto:brandon.smith@visalia.city)

**SUBJECT:** Conditional Use Permit No. 2016-05: A request by Gateway Church, to amend the master plan associated with Conditional Use Permit Nos. 197 and 1123 by replacing 8,844 square feet of building with 13,838 square feet of building utilized for classrooms and a gathering space and by adding a driveway and drive approach to an existing church in the QP (Quasi-Public) zone. The project site is located at 1100 S. Sowell Street, on the northeast corner of Tulare Avenue and Sowell Street. (APN: 096-093-016)

## STAFF RECOMMENDATION

Staff recommends approval of Conditional Use Permit No. 2016-05, as conditioned, based upon the findings and conditions in Resolution No. 2016-13. Staff's recommendation is based on the conclusion that the request is consistent with the Visalia General Plan and Zoning Ordinance.

## RECOMMENDED MOTION

I move to approve Conditional Use Permit No. 2016-05, based on the findings and conditions in Resolution No. 2016-13.

## PROJECT DESCRIPTION

Conditional Use Permit No. 2016-05 is a request to amend Conditional Use Permit Nos. 197 and 1123 to replace a portion of existing church buildings and improvements with a new building addition and improvements totaling 13,838 square feet of building area as depicted on Exhibit "A". The remaining developed portion of the church campus, including the 33,000 square foot sanctuary, several classroom and office buildings, and parking lots, will remain unchanged.

The building addition will consist of a new children's center (nursery rooms and classrooms for up to age 5) and an indoor gathering area located adjacent to the existing sanctuary. The building addition will be attached to existing buildings on the north east, and south. Buildings being removed to accommodate the addition are a 6,918 square foot classroom building, a 1,318 square foot room attached to the chapel, and a mechanical room, altogether totaling 8,844 square feet. Thus the net increase in enclosed building space will be 4,994 square feet. Outside of the building addition, on the northeast side of the building, there will be a new concrete courtyard.

The expansion also includes extension of the drive isle adjacent to Sowell Street. The drive isle will be extended immediately north of the existing drive approach in order to create a one-way drop-off and pick-up area and a second (exit-only) drive approach on Sowell Street. There will be no gain or loss of parking as a result of the expansion.

The applicant has submitted operation statements attached as Exhibits "D" and "E" pertaining to the use of the addition. The applicant states that the building's primary use will be during regularly scheduled church services occurring Thursday evenings and Sunday mornings as well as for small group studies and seasonal performances. Also as stated in the operation statement, there are no current or future plans to operate a day care in the building addition or in other church facilities. If changes to the church operations were to occur that differ from the

explanation in the operation statement, such changes will require review by the Site Plan Review committee and may require an amendment to the Conditional Use Permit prior to said changes.

## BACKGROUND INFORMATION

General Plan Land Use Designation:	Public Institutional
Zoning:	QP (Quasi-Public)
Surrounding Land Use and Zoning	North: QP (Quasi-Public) / Conyer Elementary School South: R-M-2 (Multi-family Residential) / Single & multi-family residences East: QP (Quasi-Public) / Grace Lutheran Church West: R-1-6 (Single-family Residential) & R-M-2 (Multi-family Residential) / Single & multi-family residences
Environmental Review:	Categorical Exemption No. 2016-07 (Class 32)
Special Districts:	None
Site Plan	2014-178

### **RELATED PROJECTS**

The following is a permit history for Gateway Church, formerly First Baptist Church:

- CUP 197 (1972) – Church addition; added existing Sunday school, Jr. High & café buildings
- CUP 1034 & Variance 487 (1986) – Church addition. Entitlements lapsed & superseded by CUP & Variance approved in 1988.
- CUP 1123 & Variance 562 (1988) – Church addition; added sanctuary building & parking lot reconfiguration. Variance to building height, parking & landscaping requirements.
- CUP 93-17 – New parking lot in R-M-2 zone on NW corner of Tulare & Sowell – DENIED.
- CUP 94-17 – Parking lot addition (49 stalls) for VUSD and First Baptist Church, located northeast of church facing Conyer Street.
- CUP 99-36 – To amend CUP 197, to allow construction of a 270 sq. ft. room addition for a walk-in freezer.

## PROJECT EVALUATION

Staff recommends approval of Conditional Use Permit No. 2016-05, as conditioned, based on the project's consistency with the General Plan and the Zoning Ordinance.

### **Land Use Compatibility**

Churches and other religious institutions are a conditional use in the QP (Quasi-Public) zone. The proposed project is surrounded by residential development and other quasi-public uses (elementary school and church).

The proposed modifications to the church will not conflict with adjacent land uses because the changes do not increase the seating capacity of the principal sanctuary area. Although another drive approach is being added to the Sowell Street frontage, this should not impact vehicle trips because there is no parking being added or removed.

Staff's review of the existing and proposed floor plans (see Exhibits "B" and "G") confirm that, although the building addition will result in a net increase of 4,994 square feet in building area,



there would not be any new types of activities occurring in the building that aren't already occurring on-site. The addition will facilitate existing programs and is not intended to be used to expand programs or start new programs, though the operation statement explains that the increase in congregation size has resulted in additional staff in specific areas of ministry. The operation statement also confirms that the church has no plans to utilize their building addition or any portion of the church campus as a day care.

The building addition will only be visible from the Sowell Street public right-of-way. The front façade will be set back approximately 30 feet from property line and will be recessed a few feet behind the adjacent chapel (high school) building. The minimum building setback applicable to the street side is 10 feet.

### Elevations

The applicant has submitted elevations depicting the new facades of the building addition together with the adjacent building's existing elevations. The new facade incorporates metal roofing together with two new building entryways with exposed framing and gables and columns with rock veneer finish (see Exhibit "C"). The building height will remain single-story like the existing buildings. Based on the elevations provided, staff has included Condition No. 3 requiring that the building elevations be developed in a manner that is consistent with those provided in Exhibit "C".

### Parking

Parking requirements are calculated based on sanctuary seating given that this is typically the highest parking generator. The previous CUPs for the church established these parking requirements. The building addition consisting of the nursery, classrooms, and gathering area, does not require additional parking spaces to be assessed based on the Zoning Ordinance parking requirements for churches.

According to the City's staff report for approved Conditional Use Permit No. 94-17, the church has a parking requirement of 398 spaces based on ordinance requirements that are still valid today. The church received a variance to parking in 1988, in conjunction with their sanctuary expansion, to allow a shortfall of 194 spaces. This shortfall was mitigated through a shared parking agreement to use the 191 space parking lot on the Mt. Whitney High School campus, and later in 1994 through the addition of a 50 space parking lot for joint use of the church and the adjacent schools.

### Environmental Review

The requested action is considered Categorically Exempt under Section 15332 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA) (Categorical Exemption No. 2016-07).

## **RECOMMENDED FINDINGS**

1. That the proposed project will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
  - The proposed location of the conditional use permit is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located. The proposed use is compatible subject to compliance with the conditions of project approval of this conditional use permit.

- The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
3. That the project is considered Categorically Exempt under Section 15332 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA) for infill development (Categorical Exemption No. 2016-07).

### **RECOMMENDED CONDITIONS OF APPROVAL**

1. That the site be developed in substantial compliance with the comments and conditions of the Site Plan Review Committee as set forth under Site Plan Review No. 2014-178.
2. That the use be operated in compliance with the site plan depicted in Exhibit "A", floor plan depicted in Exhibit "B", and the operational statements shown in Exhibit "D" and "E. Substantial changes to the site plan, and/or operational statement will require Site Plan Review and a potential amendment to the Conditional Use Permit, prior to said changes.
3. That the site be developed in substantial compliance with the elevations shown in Exhibit "C".
4. That building signage shall be obtained under a separate permit.
5. That all applicable federal, state and city codes and ordinances be met.
6. That the applicant submit to the City of Visalia a signed receipt and acceptance of conditions from the applicant and property owner, stating that they understand and agree to all the conditions of Conditional Use Permit No. 2016-05.

### **APPEAL INFORMATION**

According to the City of Visalia Zoning Ordinance Section 17.02.145, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal with applicable fees shall be in writing and shall be filed with the City Clerk at 220 N. Santa Fe Street, Visalia, CA 93292. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website [www.visalia.city](http://www.visalia.city) or from the City Clerk.

#### Attachments:

- Related Plans and Policies
- Resolution No. 2016-13
- Exhibit "A" – Proposed Site Plan
- Exhibit "B" – Proposed Floor Plan
- Exhibit "C" – Proposed Exterior Elevations
- Exhibit "D" – Operating Statement, February 19, 2016
- Exhibit "E" – Supplemental Operating Statement
- Exhibit "F" – Existing Site Plan
- Exhibit "G" – Existing Floor Plan
- Site Plan Review No. 2014-178
- General Plan Land Use Map
- Zoning Map
- Aerial Photo
- Location Map

## **Related Plans & Policies**

### **Conditional Use Permits**

#### **17.38.010 Purposes and powers**

In certain zones conditional uses are permitted subject to the granting of a conditional use permit. Because of their unusual characteristics, conditional uses require special consideration so that they may be located properly with respect to the objectives of the zoning ordinance and with respect to their effects on surrounding properties. In order to achieve these purposes and thus give the zone use regulations the flexibility necessary to achieve the objectives of this title, the planning commission is empowered to grant or deny applications for conditional use permits and to impose reasonable conditions upon the granting of such permits. (Prior code § 7525)

#### **17.38.030 Lapse of conditional use permit**

A conditional use permit shall lapse and shall become void twenty-four (24) months after the date on which it became effective, unless the conditions of the permit allowed a shorter or greater time limit, or unless prior to the expiration of twenty-four (24) months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site which was the subject of the permit. A permit may be renewed for an additional period of one year; provided, that prior to the expiration of twenty-four (24) months from the date the permit originally became effective, an application for renewal is filed with the planning commission. The commission may grant or deny an application for renewal of a conditional use permit. In the case of a planned residential development, the recording of a final map and improvements thereto shall be deemed the same as a building permit in relation to this section. (Ord. 2001-13 § 4 (part), 2001: prior code § 7527)

#### **17.38.040 Revocation**

Upon violation of any applicable provision of this title, or, if granted subject to a condition or conditions, upon failure to comply with the condition or conditions, a conditional use permit shall be suspended automatically. The planning commission shall hold a public hearing within sixty (60) days, in accordance with the procedure prescribed in Section 17.38.080, and if not satisfied that the regulation, general provision or condition is being complied with, may revoke the permit or take such action as may be necessary to insure compliance with the regulation, general provision or condition. Appeals of the decision of the planning commission may be made to the city council as provided in Section 17.38.120. (Prior code § 7528)

#### **17.38.050 New application**

Following the denial of a conditional use permit application or the revocation of a conditional use permit, no application for a conditional use permit for the same or substantially the same conditional use on the same or substantially the same site shall be filed within one year from the date of denial or revocation of the permit unless such denial was a denial without prejudice by the planning commission or city council. (Prior code § 7530)

#### **17.38.060 Conditional use permit to run with the land**

A conditional use permit granted pursuant to the provisions of this chapter shall run with the land and shall continue to be valid upon a change of ownership of the site or structure which was the subject of the permit application subject to the provisions of Section 17.38.065. (Prior code § 7531)

#### **17.38.065 Abandonment of conditional use permit**

If the use for which a conditional use permit was approved is discontinued for a period of one hundred eighty (180) days, the use shall be considered abandoned and any future use of the site as a conditional use will require the approval of a new conditional use permit.

#### **17.38.080 Public hearing--Notice**

- A. The planning commission shall hold at least one public hearing on each application for a conditional use permit.



- B. Notice of the public hearing shall be given not less than ten days nor more than thirty (30) days prior to the date of the hearing by mailing a notice of the time and place of the hearing to property owners within three hundred (300) feet of the boundaries of the area occupied or to be occupied by the use which is the subject of the hearing, and by publication in a newspaper of general circulation within the city. (Prior code § 7533)

**17.38.090 Investigation and report**

The planning staff shall make an investigation of the application and shall prepare a report thereon which shall be submitted to the planning commission. (Prior code § 7534)

**17.38.100 Public hearing--Procedure**

At the public hearing the planning commission shall review the application and the statement and drawing submitted therewith and shall receive pertinent evidence concerning the proposed use and the proposed conditions under which it would be operated or maintained, particularly with respect to the findings prescribed in Section 17.38.110. The planning commission may continue a public hearing from time to time as it deems necessary. (Prior code § 7535)

**17.38.110 Action by planning commission**

- A. The planning commission may grant an application for a conditional use permit as requested or in modified form, if, on the basis of the application and the evidence submitted, the commission makes the following findings:
1. That the proposed location of the conditional use is in accordance with the objectives of the zoning ordinance and the purposes of the zone in which the site is located;
  2. That the proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.
- B. A conditional use permit may be revocable, may be granted for a limited time period, or may be granted subject to such conditions as the commission may prescribe. The commission may grant conditional approval for a permit subject to the effective date of a change of zone or other ordinance amendment.
- C. The commission may deny an application for a conditional use permit. (Prior code § 7536)

**17.38.120 Appeal to city council**

The decision of the City planning commission on a conditional use permit shall be subject to the appeal provisions of Section 17.02.145. (Prior code § 7537) (Ord. 2006-18 § 6, 2007)

**17.38.130 Effective date of conditional use permit**

A conditional use permit shall become effective immediately when granted or affirmed by the council, or upon the sixth working day following the granting of the conditional use permit by the planning commission if no appeal has been filed. (Prior code § 7539)

RESOLUTION NO. 2016-13

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2016-05: A REQUEST BY GATEWAY CHURCH, TO AMEND THE MASTER PLAN ASSOCIATED WITH CONDITIONAL USE PERMIT NOS. 197 AND 1123 BY REPLACING 8,844 SQUARE FEET OF BUILDING WITH 13,838 SQUARE FEET OF BUILDING UTILIZED FOR CLASSROOMS AND A GATHERING SPACE AND BY ADDING A DRIVEWAY AND DRIVE APPROACH TO AN EXISTING CHURCH IN THE QP (QUASI-PUBLIC) ZONE. THE PROJECT SITE IS LOCATED AT 1100 S. SOWELL STREET, ON THE NORTHEAST CORNER OF TULARE AVENUE AND SOWELL STREET. (APN: 096-093-016)

**WHEREAS**, Conditional Use Permit No. 2016-05 is a request by Gateway Church, to amend the master plan associated with Conditional Use Permit Nos. 197 and 1123 by replacing 8,844 square feet of building with 13,838 square feet of building utilized for classrooms and a gathering space and by adding a driveway and drive approach to an existing church in the QP (Quasi-Public) zone. The project site is located at 1100 S. Sowell Street, on the northeast corner of Tulare Avenue and Sowell Street. (APN: 096-093-016); and

**WHEREAS**, the Planning Commission of the City of Visalia, after duly published notice did hold a public hearing before said Commission on May 23, 2016; and

**WHEREAS**, the Planning Commission of the City of Visalia finds Conditional Use Permit No. 2016-05, as conditioned by staff, to be in accordance with Chapter 17.38.110 of the Zoning Ordinance of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and

**WHEREAS**, the Planning Commission finds the project to be Categorically Exempt consistent with the California Environmental Quality Act (CEQA) and City of Visalia Environmental Guidelines.

**NOW, THEREFORE, BE IT RESOLVED** that the project is exempt from further environmental review pursuant to CEQA Section 15332.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** that the Planning Commission of the City of Visalia makes the following specific findings based on the evidence presented:

1. That the proposed project will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
2. That the proposed conditional use permit is consistent with the policies and intent of the General Plan and Zoning Ordinance. Specifically, the project is consistent with the required findings of Zoning Ordinance Section 17.38.110:
  - The proposed location of the conditional use permit is in accordance with the objectives of the Zoning Ordinance and the purposes of the zone in which the site is located. The proposed use is compatible subject to compliance with the conditions of project approval of this conditional use permit.
  - The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health,

safety, or welfare, or materially injurious to properties or improvements in the vicinity.

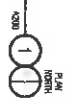
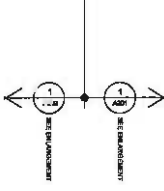
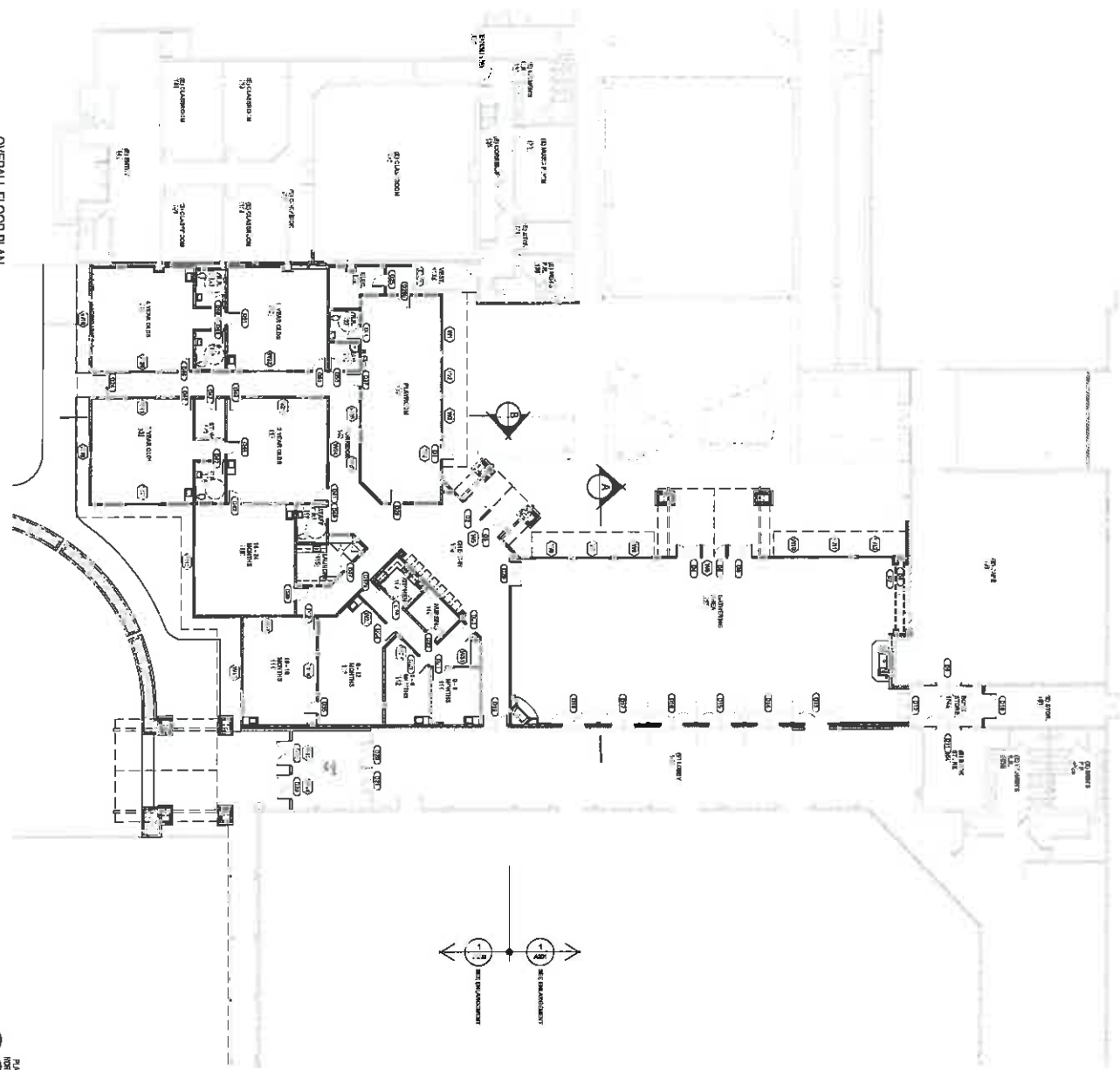
3. That the project is considered Categorical Exempt under Section 15332 of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA) for infill development (Categorical Exemption No. 2016-07).

**BE IT FURTHER RESOLVED** that the Planning Commission hereby approves the Conditional Use Permit on the real property here described in accordance with the terms of this resolution under the provisions of Section 17.38.110 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the site be developed in substantial compliance with the comments and conditions of the Site Plan Review Committee as set forth under Site Plan Review No. 2014-178.
2. That the use be operated in compliance with the site plan depicted in Exhibit "A", floor plan depicted in Exhibit "B", and the operational statements shown in Exhibit "D" and "E. Substantial changes to the site plan, and/or operational statement will require Site Plan Review and a potential amendment to the Conditional Use Permit, prior to said changes.
3. That the site be developed in substantial compliance with the elevations shown in Exhibit "C".
4. That building signage shall be obtained under a separate permit.
5. That all applicable federal, state and city codes and ordinances be met.
6. That the applicant submit to the City of Visalia a signed receipt and acceptance of conditions from the applicant and property owner, stating that they understand and agree to all the conditions of Conditional Use Permit No. 2016-05.



**OVERALL FLOOR PLAN**



<b>A200</b>	PROJECT	A New Addition For: <b>GATEWAY CHURCH</b> 1100 S. Sewell St Visalia, California		
	DATE	11/18/18	BY	JRM
	DESIGNER	JRM	CHECKED BY	JRM
	SCALE	AS SHOWN	DATE	11/18/18
	PROJECT NO.	18-0000	PROJECT TITLE	OVERALL FLOOR PLAN

**Exhibit "B"**









February 19, 2016

City of Visalia

Re: Gateway Church: Standard Operating Procedures


Dear Sir or Madam,

Gateway Church has been honored to serve the community of Visalia for numerous years at our location of 1100 S Sowell St. Our normal office hours are from 8:00 am to 5:00 pm Monday through Thursday and 8:00 am to 12:00 pm on Friday. Our services are held on Thursday evenings at 6:45 pm and Sunday's at 8:30 am and 10:45 am. Other church related activities are scheduled throughout the calendar year as needed.

As our congregation has grown, it has prompted us to add staff members in specific areas of ministry. We currently have 31 paid staff members which include Lead Pastors, Executive Pastors, Ministry leaders and office staff workers. This number does not include the interns that we are working with who feel the need to serve in the ministry. We are very blessed to have an establishment that, young men and women, who feel a calling to the ministry, would choose as a place to fulfil that need.

The last day of operations for the day care was June 8<sup>th</sup> of 2007. Gateway Church does not provide child care as a business entity as of that date.

Sincerely,

  
Patrick Kreger  
Administration Director  
Gateway Church

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1100 S. Sowell St., Visalia, 93277, 559-732-4787, fax: 559-7324805 [www.gatewayvisalia.com](http://www.gatewayvisalia.com)

**Ed Kemp**  
Senior Pastor

**Brian Burman**  
Senior Associate Pastor

**Mike Lorah**  
Worship Arts Pastor

**Pat Kreger**  
Administration Director

**Brad Gouwens**  
Student Ministries Pastor

**Jennifer Fulks**  
Children's Pastor

**Guy Guthrie**  
Classic Worship Pastor

Exhibit "D"



## GateWay Church Operating Statement

The new 13,848 square foot children's center and gathering area will be replacing the existing 6,918 square foot children's Sunday school building and the 1,318 square foot Sunday school room adjacent to the existing high school building. The new building's primary use will be during regularly scheduled church services occurring Thursday evenings at 6:45 p.m. and Sundays at 8:30 and 10:45 a.m. The Sunday school rooms will be used during church service hours for newborns through 5 years old. The gathering center will be a space for the church congregation to meet following regularly schedule services. Other church activities may be scheduled in these spaces throughout the year as needed such as small group bible studies, meetings, and special performances during Easter and Christmas etc.

There are no current or future plans to operate a Day Care Facility in the new building structure or any other structures on the Church property.

The Church office hours are 8:00 a.m. – 5:00 p.m. Monday through Thursday and 8:00 a.m. – 12:00 p.m. on Fridays.

The "Sunday School and Kids" buildings are used as Sunday school classrooms for 1<sup>st</sup> grade to 6<sup>th</sup> grade children.

Sincerely,

Patrick Kreger  
Administration Director

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1100 S. Sowell St., Visalia, 93277, 559-732-4787, fax: 559-7324805 [www.gatewayvisalia.com](http://www.gatewayvisalia.com)

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**Pat Kreger**  
Administration Director

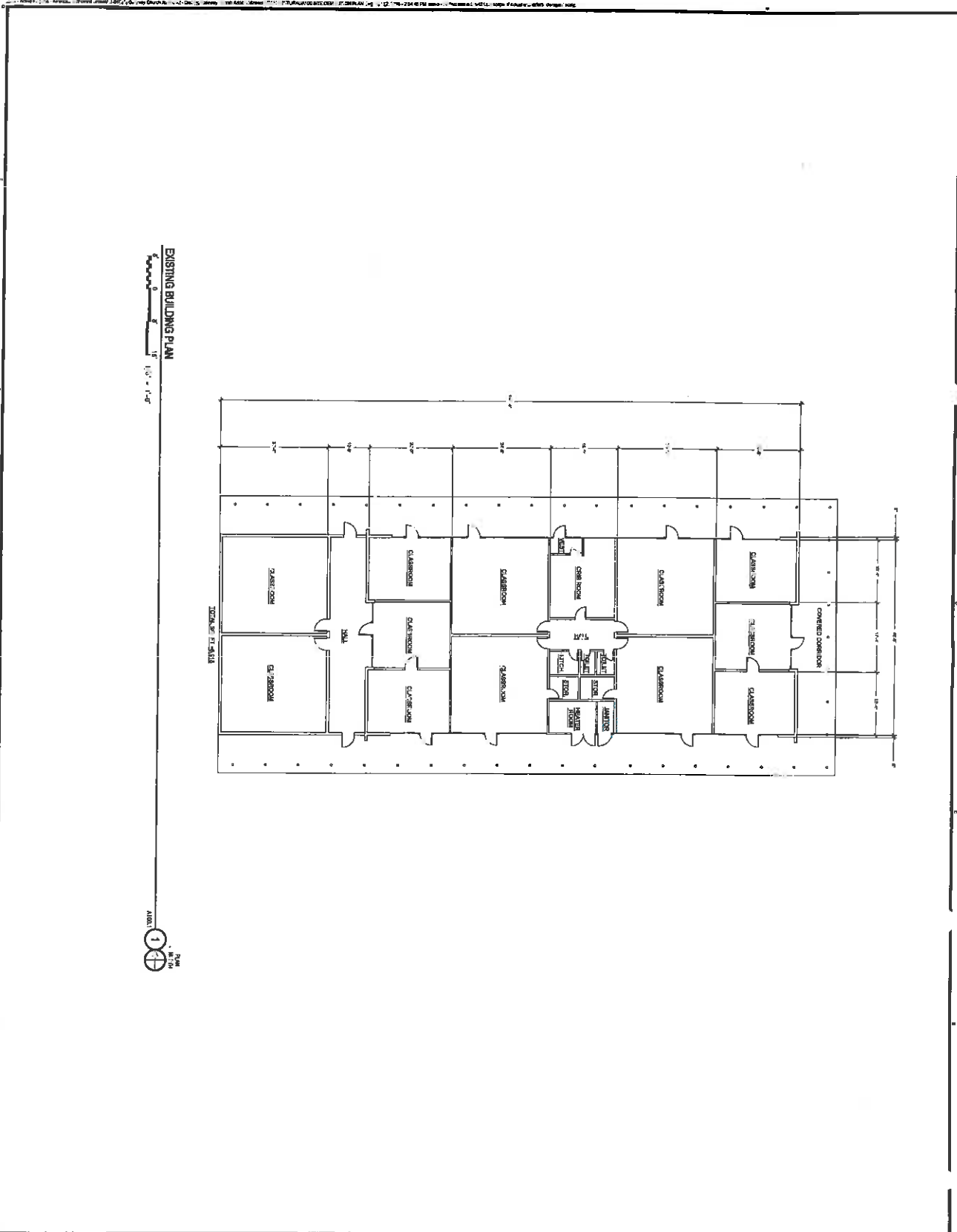
**Brad Gouwens**  
Student Ministries Pastor

**Jennifer Fulks**  
Children's Pastor

**Guy Guthrie**  
Classic Worship Pastor

Exhibit "E"

s



A New Addition For :  
**GATEWAY CHURCH**  
 1100 S. Sewall St.  
 Visalia, Calif.

PROJECT NO. 1100  
 SHEET NO. 1  
 DATE 11/11/11

**A100.1**

NO.	DATE	BY	DESCRIPTION
1	11/11/11	J.P.	PRELIMINARY
2	11/11/11	J.P.	FINAL



EXHIBIT F







MEETING DATE 11/26/2014  
SITE PLAN NO. 14-178  
PARCEL MAP NO.  
SUBDIVISION  
LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

- RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.
- During site plan design/policy concerns were identified, schedule a meeting with
- Planning  Engineering prior to resubmittal plans for Site Plan Review.
- Solid Waste  Parks and Recreation  Fire Dept.

- REVISE AND PROCEED** (see below)
- A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.
- Submit plans for a building permit between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday.
- Your plans must be reviewed by:
- |   |  |
|---|--|
| <input type="checkbox"/> CITY COUNCIL                   | <input type="checkbox"/> REDEVELOPMENT   |
| <input checked="" type="checkbox"/> PLANNING COMMISSION | <input type="checkbox"/> PARK/RECREATION |
| <input type="checkbox"/> HISTORIC PRESERVATION          | <input type="checkbox"/> OTHER _____     |

**ADDITIONAL COMMENTS** This project requires a Conditional Use Permit

If you have any questions or comments, please call Jason Huckleberry at (559) 713-4259.

#6  
 MEETING DATE NOVEMBER 26, 2014  
 SITE PLAN NO. 14-178  
 PARCEL MAP NO.  
 SUBDIVISION  
 LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

- RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.
- During site plan design/policy concerns were identified, schedule a meeting with
- Planning       Engineering prior to resubmittal plans for Site Plan Review.
- Solid Waste       Parks and Recreation       Fire Dept.

- REVISE AND PROCEED** (see below)
- A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.
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- Your plans must be reviewed by:
- CITY COUNCIL       REDEVELOPMENT
- PLANNING COMMISSION *cup*       PARK/RECREATION
- HISTORIC PRESERVATION       OTHER \_\_\_\_\_

**ADDITIONAL COMMENTS** \_\_\_\_\_

If you have any questions or comments, please call Jason Huckleberry at (559) 713-4259.

*Site Plan Review Committee*

City of Visalia  
Building: Site Plan  
Review Comments

ITEM NO: 6      DATE: September 26, 2014  
SITE PLAN NO: SPR14178  
PROJECT TITLE: GATEWAY CHURCH VISALIA  
DESCRIPTION: CONSTRUCT NEW CHILD CARE FACILITY AND ASSEMBLY BUILDING (12,938 NEW), DEMO EXISTING 9,132 SF BLDG ON 4.46 ACRES (QP ZONED) (X/AE)  
APPLICANT: PASTOR ED KEMP  
PROP OWNER: CH-FIRST BAPTIST OF VISALIA INC  
LOCATION: 1100 S SOWELL ST  
APN(S): 096-093-016

NOTE: These are general comments and DO NOT constitute a complete plan check for your specific project  
Please refer to the applicable California Code & local ordinance for additional requirements.

- A building permit will be required. *For information call (559) 713-4444*
- Submit 5 sets of professionally prepared plans and 2 sets of calculations. (Small Tenant Improvements)
- Submit 5 sets of plans prepared by an architect or engineer. Must comply with 2013 California Building Cod Sec. 2308 for conventional light-frame construction or submit 2 sets of engineered calculations.
- Indicate abandoned wells, septic systems and excavations on construction plans.
- You are responsible to ensure compliance with the following checked items:**
- Meet State and Federal requirements for accessibility for persons with disabilities.
- A path of travel, parking and common area must comply with requirements for access for persons with disabilities.
- All accessible units required to be adaptable for persons with disabilities.
- Maintain sound transmission control between units minimum of 50 STC.
- Maintain fire-resistive requirements at property lines.
- A demolition permit & deposit is required. *For information call (559) 713-4444*
- Obtain required permits from San Joaquin Valley Air Pollution Board. *For information call (559) 230-6000*
- Plans must be approved by the Tulare County Health Department. *For information call (559) 624-8011*
- Project is located in flood zone X/AE \*  Hazardous materials report.
- Arrange for an on-site inspection. (Fee for inspection \$146.40) *For information call (559) 713-4444*
- School Development fees. Commercial \$0.<sup>54</sup>~~57~~ per square foot. Residential \$2.97 per square foot. **(CREDIT FOR EXISTING)**
- Park Development fee \$ \_\_\_\_\_, per unit collected with building permits.
- Existing address must be changed to be consistent with city address. *For information call (559) 713-4320*
- Acceptable as submitted
- No comments at this time

Additional comments: ALLOWABLE AREA ?

G. FERRER  
Signature

SITE PLAN NO: SPR14178  
 PROJECT TITLE: GATEWAY CHURCH VISALIA  
 DESCRIPTION: CONSTRUCT NEW CHILD CARE FACILITY AND ASSEMBLY BUILDING (12,938 NEW), DEMO EXISTING 9,132 SF BLDG ON 4.46 ACRES (QP ZONED) (X/AE)  
 APPLICANT: PASTOR ED KEMP  
 PROP OWNER: CH-FIRST BAPTIST OF VISALIA INC  
 LOCATION: 1100 S SOWELL ST  
 APN(S): 096-093-016



**Site Plan Review Comments For:**  
 Visalia Fire Department  
 Kurtis A. Brown,  
 Assistant Fire Marshal  
 707 W Acequia  
 Visalia, CA 93291  
 559-713-4261 office  
 559-713-4808 fax

**The following comments are applicable when checked:**

- The Site Plan Review comments are issued as general overview of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2013 California Fire Code (CFC), 2013 California Building Codes (CBC) and City of Visalia Municipal Codes.
- All fire detection, alarm, and extinguishing systems in existing buildings shall be maintained in an operative condition at all times and shall be replaced or repaired where defective. If building has been vacant for a significant amount of time, the fire detection, alarm, and or extinguishing systems may need to be evaluated by a licensed professional. *2013 CFC 901.6*
- No fire protection items required for parcel map or lot line adjustment; however, any future projects will be subject to fire & life safety requirements including fire protection.
- More information is needed before a Site Plan Review can be conducted. Please submit plans with more detail. Please include information on **EXISTING BUILDING FIRE SPRINKLER SYSTEM IF ANY, WATER SUPPLY & EMERGENCY ACCESS.**

**General:**

- Address numbers must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least four inches (4") high and shall be of a color to contrast with their background. If multiple addresses served are by a common driveway, the range of numbers shall be posted at the roadway/driveway. *2013 CFC 505.1*
- A Knox Box key lock system is required. Where access to or within a structure or an area is restricted because of secured openings (doors and/or gates) or for fire-fighting purposes, a key box is to be installed in an approved location. (Note: Knox boxes shall be ordered using an approved application that can be found at Fire Administration Office located at 707 W. Acequia Ave. Please allow adequate time for shipping and installation.) *2013 CFC 506.1*
- All hardware on exit doors shall comply with Chapter 10 of the 2013 California Fire Code. This includes all locks, latches, dolt locks, and panic and fire exit hardware.
- Provide Illuminated exit signs and emergency lighting through-out building. *2013 CFC 1011*
- When portion of the building are built upon a property line or in close proximity to another structure the exterior wall shall be constructed as to comply *2013 California Building Code Table 508.4 and Table 602.*

- Commercial dumpsters with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system. *2013 CFC 304.3.3*
- If your business handles hazardous material in amounts that exceed the Maximum Allowable Quantities listed on *Table 5003.1.1(1), 5003.1.1(2), 5003.1.1(3) and 5003.1.1(4) of the 2013 California Fire Code*, you are required to submit an emergency response plan to the Tulare County Health Department. Also you shall indicate the quantities on your building plans and prior to the building final inspection a copy of your emergency response plan and Safety Data Sheets shall be submitted to the Visalia Fire Department.

**Water Supply:**

- Construction and demolition sites shall have an approved water supply for fire protection, either temporary or permanent, and shall be made available as soon as combustible material arrives on the site. *2013 CFC 3312*
- No additional fire hydrants are required for this project; however, additional fire hydrants may be required for any future development.
- There is/are fire hydrants required for this project. (See marked plans for fire hydrant locations.)
- Fire hydrant spacing shall comply with the following requirements:  
The exact location of fire hydrants and final decision as to the number of fire hydrants shall be at the discretion of the fire marshal, fire chief and/or their designee. *Visalia Municipal Code 16.36.120 & 16.36.120(8)*
  - Single-family residential developments shall be provided with fire hydrants every six hundred (600) lineal feet of residential frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
  - Multi-family, zero lot line clearance, mobile home park or condominium developments shall be provided with fire hydrants every four hundred (400) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
  - Multi-family or condominium developments with one hundred (100) percent coverage fire sprinkler systems shall be provided with fire hydrants every six (600) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
  - Commercial or industrial developments shall be provided with fire hydrants every three hundred (300) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
  - Commercial or industrial developments with one hundred (100) percent coverage fire sprinkler systems shall be provided with fire hydrants every five hundred (500) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
- When any portion of a building is in excess of one hundred fifty (150) feet from a water supply on a public street there shall be provided on site fire hydrants and water mains capable of supplying the required fire flow. *Visalia Municipal Code 16.36.120(6)*



**Emergency Access:**

- A construction access road is required and shall be a minimum of 20 feet wide. The road shall be an all-weather driving surface accessible prior to and during construction. The access road shall be capable of holding 75,000 pound piece of fire apparatus, and shall provide access to within 100 feet of temporary or permanent fire department connections. *2013 CFC 3310*
  
- Buildings or portions of buildings or facilities with a vertical distance between the grade plans and the highest roof surface exceed 30 feet shall provide an approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders. Access routes shall be located within a minimum of 15 feet and maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building. *2013 CFC D105*
  
- A fire apparatus access roads shall be provide and must comply with the CFC and extend to within 150 of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Minimum turning radius for emergency fire apparatus shall be 20 feet inside radius and 43 feet outside radius. *2013 CFC 503.1.1*
  
- Fire apparatus access roads in excess of 150 feet and dead end shall be provided with a turnaround. Length 151-500 feet shall be a minimum of 20 feet in width and have a 120 foot Hammerhead, 60-foot "Y" or 96-Foot diameter Cul-de-sac in accordance with Figure D103.1 of the 2013 CFC. Length 501-750 feet shall be 26 feet in width and have a 120 foot Hammerhead, 60-foot "Y" or 96-Foot diameter Cul-de-sac in accordance with Figure D103.1 of the 2013 CFC.

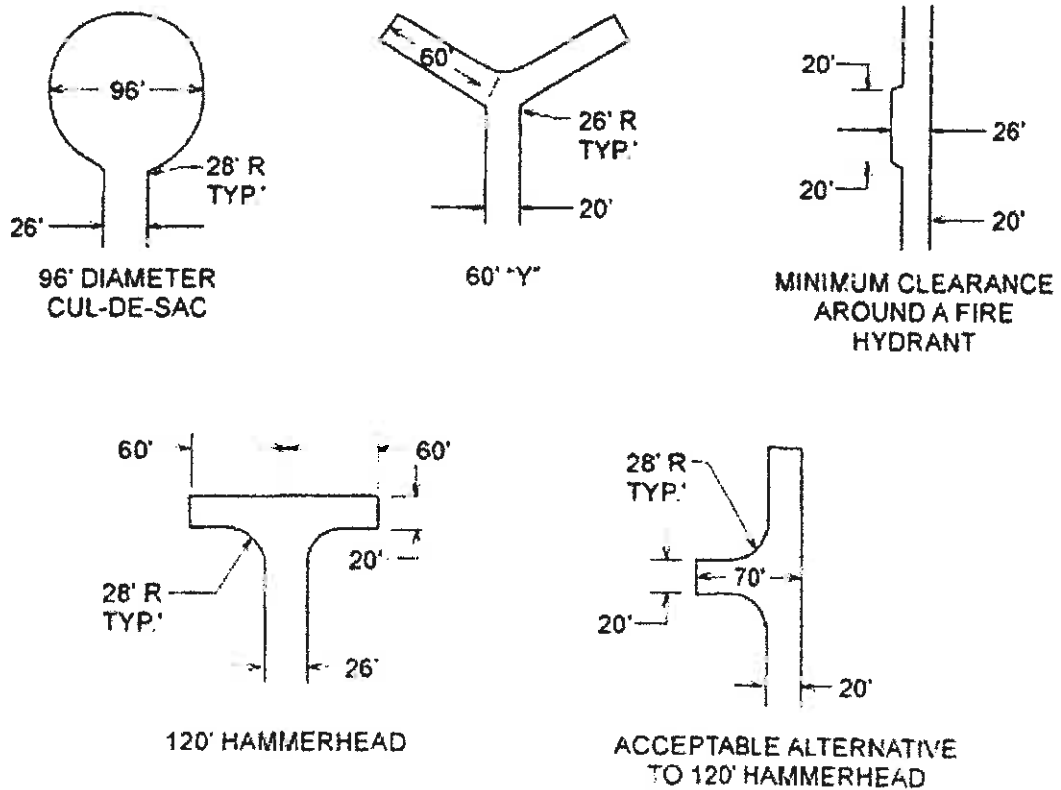


FIGURE D103.1  
DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUND

- Gates on access roads shall be a minimum width of 20 feet and shall comply with the following:  
*2013 CFC D103.5*
- Typical chain and lock shall be the type that can be cut with a common bolt cutter, or the developer may opt to provide a Knox Box key lock system.
  - Gates shall be of the swinging or sliding type.
  - Gates shall allow manual operation by one person. (power outages)
  - Gates shall be maintained in an operative condition at all times.
  - Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. (Note: Knox boxes shall be ordered using an approved application that can be found at Fire Administration Office located at 707 W. Acequia Ave. Please allow adequate time for shipping and installation.)
- In any and all new One- or two-family dwellings residential developments regardless of the number of units, street width shall be a minimum of 36 feet form curb to curb to allow fire department access and to permit parking on both sides of the street. A minimum of 20 feet shall be provided for developments that don't allow parking on the streets. *2013 CFC D107.2*

**Fire Protection Systems:**

- An automatic fire sprinkler system will be required for this building. Also a fire hydrant is required within 50 feet of the Fire Department Connection (FDC). *2013 CFC 903 and Visalia Municipal Code 16.36.120(7)*
- Commercial cooking appliances and domestic cooking appliances used for commercial purposes that produces grease laden vapors shall be provided with a Type 1 Hood, in accordance with the California Mechanical Code, and an automatic fire extinguishing system. *2013 CFC 904.11& 609.2*

**Special Comments:**

  
\_\_\_\_\_  
Maribel Vasquez  
Fire Inspector

**SOLID WASTE DIVISIO**  
**336 N. BEN MADDOX**  
**VISALIA CA. 93291**  
**713 - 4500**

SITE PLAN NO: SPR14178  
PROJECT TITLE: GATEWAY CHURCH VISALIA  
DESCRIPTION: CONSTRUCT NEW CHILD CARE FACILITY AND ASSEMBLY BUILDING (12,938 NEW), DEMO EXISTING 9,132 SF BLDG ON 4.46 ACRES (QP ZONED) (X/AE)  
APPLICANT: PASTOR ED KEMP  
PROP OWNER: CH-FIRST BAPTIST OF VISALIA INC  
LOCATION: 1100 S SOWELL ST  
APN(S): 096-093-016

**COMMERCIAL BIN SERVICE**

**No comments.**

**Same comments as as**

**Revisions required prior to submitting final plans. See comments below.**

**Resubmittal required. See comments below.**

**Customer responsible for all cardboard and other bulky recyclables to be broken down before disposing of in recycle containers.**

**ALL refuse enclosures must be R-3 or R-4**

**Customer must provide combination or keys for access to locked gates/bins**

**Type of refuse service not indicated.**

**Location of bin enclosure not acceptable. See comments below.**

**Bin enclosure not to city standards double.**

**Inadequate number of bins to provide sufficient service. See comments below.**

**Drive approach too narrow for refuse trucks access. See comments below.**

**Area not adequate for allowing refuse truck turning radius of :  
Commercial ( X ) 50 ft. outside 36 ft. inside; Residential ( ) 35 ft. outside, 20 ft. inside.**

**Paved areas should be engineered to withstand a 55,000 lb. refuse truck.**

**Bin enclosure gates are required**

**Hammerhead turnaround must be built per city standards.**

**Cul - de - sac must be built per city standards.**

**Bin enclosures are for city refuse containers only. Grease drums or any other items are not allowed to be stored inside bin enclosures.**

**Area in front of refuse enclosure must be marked off indicating no parking**

**Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS)**

**Customer will be required to roll container out to curb for service.**

**Must be a concrete slab in front of enclosure as per city standards**

The width of the enclosure by ten(10) feet, minimum of six(6) inches in depth.

Roll off compactor's must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow the truck enough room to provide service.

X

Bin enclosure gates must open 180 degrees and also hinges must be mounted in front of post see page 2 for instructions

EXISTING REFUSE SERVICE OK.

Javier Hernandez, Solid Waste Front Load Supervisor 713-4338

# SITE PLAN REVIEW COMMENTS

CITY OF VISALIA TRAFFIC SAFETY DIVISION

November 26, 2014

ITEM NO: 6  
SITE PLAN NO: SPR14178  
PROJECT TITLE: GATEWAY CHURCH VISALIA  
DESCRIPTION: CONSTRUCT NEW CHILD CARE FACILITY AND ASSEMBLY BUILDING (12,838 NEW), DEMO EXISTING 9,132 SF BLDG ON 4.46 ACRES (QP ZONED) (X/AE)  
APPLICANT: PASTOR ED KEMP  
PROP. OWNER: CH-FIRST BAPTIST OF VISALIA INC  
LOCATION: 1100 S SOWELL ST  
APN(S): 096-093-016

**THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY**

- No Comments
- See Previous Site Plan Comments
- Install Street Light(s) per City Standards.
- Install Street Name Blades at Locations.
- Install Stop Signs at Locations.
- Construct parking per City Standards PK-1 through PK-4.
- Construct drive approach per City Standards.
- Traffic Impact Analysis required.

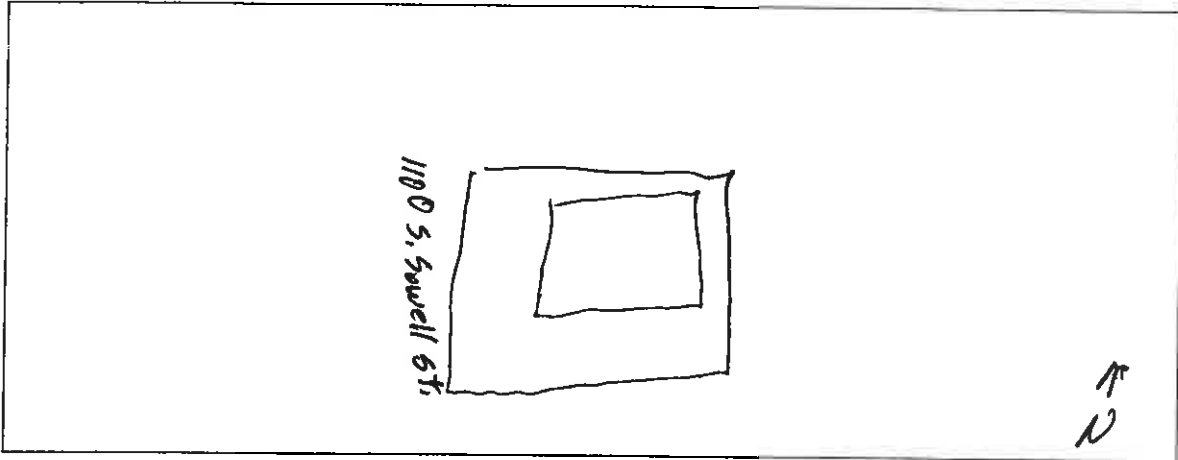
**Additional Comments:**

•

  
\_\_\_\_\_  
Leslie Blair



SITE PLAN REVIEW COMMENTS



COMMENTS:      See Below       None

- Please plot and protect all Valley Oak Trees.
- Landscape along parkway to be planted by developer and maintained by a maintenance district.
- All drainage from curb and gutter along streets to be connected to storm drain system.
- All trees planted in street right-of-way to be approved by the Public Works Superintendent of Parks.
- Tie-ins to existing infrastructure may require a bore. Check with the Public Works Department prior to any street cut.

Other Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

  
\_\_\_\_\_  
Joel Hooyer

Parks and Urban Forestry Supervisor  
559 713-4295      Fax 559 713-4818

Email: jhooyer@ci.visalia.ca.us

**City of Visalia**  
**Police Department**  
303 S. Johnson St.  
Visalia, Ca. 93292  
(559) 713-4370

ITEM NO: **6**      DATE: **November 26, 2014**  
SITE PLAN NO:      SPR14178  
PROJECT TITLE:      GATEWAY CHURCH VISALIA  
DESCRIPTION:      CONSTRUCT NEW CHILD CARE FACILITY AND  
ASSEMBLY BUILDING (12,938 NEW), DEMO  
EXISTING 9,132 SF BLDG ON 4.46 ACRES (QP  
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APPLICANT:      PASTOR ED KEMP  
PROP OWNER:      CH-FIRST BAPTIST OF VISALIA INC  
LOCATION:      1100 S SOWELL ST  
APN(S):      096-093-016

### Site Plan Review Comments

- No Comment at this time.
- Request opportunity to comment or make recommendations as to safety issues as plans are developed.
- Public Safety Impact fee:  
Ordinance No. 2001-11 Chapter 16.48 of Title 16 of the Visalia Municipal Code  
Effective date - August 17, 2001  

Impact fees shall be imposed by the City pursuant to this Ordinance as a condition of or in conjunction with the approval of a development project. "New Development or Development Project" means any new building, structure or improvement of any parcels of land, upon which no like building, structure of improvement previously existed. \*Refer to Engineering Site Plan comments for fee estimation.
- Not enough information provided. Please provide additional information pertaining to:  
\_\_\_\_\_
- Territorial Reinforcement: Define property lines (private/public space).  
\_\_\_\_\_
- Access Controlled / Restricted etc:  
\_\_\_\_\_
- Lighting Concerns:  
\_\_\_\_\_
- Landscaping Concerns:  
\_\_\_\_\_
- Traffic Concerns:  
\_\_\_\_\_
- Surveillance Issues:  
\_\_\_\_\_
- Line of Sight Issues:  
\_\_\_\_\_
- Other Concerns:  
                    *BWINTER LSP*

**BUILDING/DEVELOPMENT PLAN  
REQUIREMENTS  
ENGINEERING DIVISION**

- Jason Huckleberry 713-4259
- Adrian Rubalcaba 713-4271

ITEM NO: 6	DATE: NOVEMBER 26, 2014
SITE PLAN NO.:	14-178
PROJECT TITLE:	GATEWAY CHURCH VISALIA
DESCRIPTION:	CONSTRUCT NEW CHILD CARE FACILITY AND ASSEMBLY BUILDING (12,938 NEW) DEMO EXISTING 9,132 SF BLDG ON 4.46 ACRES (QP ZONED) (X/AE)
APPLICANT:	PASTOR ED KEMP
PROP OWNER:	CH-FIRST BAPTIST OF VISALIA INC
LOCATION:	1100 S SOWELL ST
APN:	096-093-016

**SITE PLAN REVIEW COMMENTS**

REQUIREMENTS (indicated by checked boxes)

- Install curb return with ramp, with \_\_\_\_\_ radius;
- Install curb;  gutter
- Drive approach size: **18' min.**  Use radius return;
- Sidewalk: **4' width**;  parkway width at **Accessible pathway across existing approach**
- Repair and/or replace any sidewalk across the public street frontage(s) of the subject site that has become uneven, cracked or damaged and may constitute a tripping hazard.
- Replace any curb and gutter across the public street frontage(s) of the subject site that has become uneven and has created areas where water can stand.
- Right-of-way dedication required. A title report is required for verification of ownership.
- Deed required prior to issuing building permit;
- City Encroachment Permit Required. For work in public right-of-way**  
Insurance certificate with general & auto liability (\$1 million each) and workers compensation (\$1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit. Contact Rafael Magallan, 713-4414.
- CalTrans Encroachment Permit required.  CalTrans comments required prior to issuing building permit.  
Contacts: David Deal (Planning) 488-4088;
- Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map.
- Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.
- Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades.  Prepared by registered civil engineer or project architect.  All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a)  directed to the City's existing storm drainage system; b)  directed to a permanent on-site basin; or c)  directed to a temporary on-site basin is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: \_\_\_\_\_ : \_\_\_\_\_ maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance.
- Grading permit is required for clearing and earthwork performed prior to issuance of the building permit.
- Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter = .020%, V-gutter = 0.25%)
- Show adjacent property grade elevations. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
- All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications.

- Traffic indexes per city standards.
- Install street striping as required by the City Engineer.
- Install landscape curbing (typical at parking lot planters).
- Minimum paving section for parking: 2" asphalt concrete paving over 4" Class 2 Agg. Base, or 4" concrete pavement over 2" sand.
- Design Paving section to traffic index of 5.0 min. for solid waste truck travel path.
- Provide "R" value tests:            each at
- Written comments required from ditch company            Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditch; Jerry Hill 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
- Access required on ditch bank, 15' minimum     Provide            wide riparian dedication from top of bank.
- Show Oak trees with drip lines and adjacent grade elevations.     Protect Oak trees during construction in accordance with City requirements.
- A permit is required to remove oak trees. Contact Joel Hooyer at 713-4295 for an Oak tree evaluation or permit to remove.     A pre-construction conference is required.
- Relocate existing utility poles and/or facilities.
- Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- Subject to existing Reimbursement Agreement to reimburse prior developer:
- Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
- If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
- If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.
- Comply with prior comments.     Resubmit with additional information.     Redesign required.

**Additional Comments:**

- 1. Proposed drive approach on Sowell shall meet minimum 18' wide standard. One-way traffic markings and signage is required. "Do Not Enter" signs shall also be installed.**
- 2. The new buildings are subject to full accessibility compliance. The existing accessible stalls will be required to comply with current ADA regulations; construction and/or modification required.**
- 3. The existing drive approach on Sowell is required to meet current accessibility standards. A 4' minimum sidewalk (path of travel) shall be installed across existing approach, refer to Commercial Drive Approach City standards for design specifications.**
- 4. The additional square footage of proposed new buildings will incur impact fees. Refer to page 3 for fee summary.**
- 5. Building permit plan check and inspection fees apply.**

**SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES**

Site Plan No: 14-178

Date: 11/26/2014

**Summary of applicable Development Impact Fees to be collected at the time of building permit:**

**(Preliminary estimate only! Final fees will be based on the development fee schedule in effect at the time of building permit issuance.)**

(Fee Schedule Date:8/15/2014)

(Project type for fee rates:CHURCH)

Existing uses may qualify for credits on Development Impact Fees. DEMO

<b>FEE ITEM</b>	<b>FEE RATE</b>
<input type="checkbox"/> Groundwater Overdraft Mitigation Fee	
<input checked="" type="checkbox"/> Transportation Impact Fee	\$2.727/1000SF X 3.81 = \$10,389.87
<input checked="" type="checkbox"/> Trunk Line Capacity Fee	\$16/CHILD, \$8/SEAT (ASSEMBLY) ;TREATMENT PLANT FEE \$27/CHILD, \$35/SEAT ASSEMBLY
<input type="checkbox"/> Sewer Front Foot Fee	
<input type="checkbox"/> Storm Drain Acq/Dev Fee	
<input type="checkbox"/> Park Acq/Dev Fee	
<input type="checkbox"/> Northeast Specific Plan Fees	
<input type="checkbox"/> Waterways Acquisition Fee	
<input type="checkbox"/> Public Safety Impact Fee: Police	
<input type="checkbox"/> Public Safety Impact Fee: Fire	
<input checked="" type="checkbox"/> Public Facility Impact Fee	\$502/1000SF X 3.81 = \$1,912.62
<input type="checkbox"/> Parking In-Lieu	

**Reimbursement:**

- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.

  
\_\_\_\_\_  
**Adrian Rubalcaba**

**QUALITY ASSURANCE DIVISION  
SITE PLAN REVIEW COMMENTS**

ITEM NO: 6                      DATE: November 26, 2014  
SITE PLAN NO:                SPR14178  
PROJECT TITLE:                GATEWAY CHURCH VISALIA  
DESCRIPTION:                 CONSTRUCT NEW CHILD CARE FACILITY AND  
   ASSEMBLY BUILDING (12,938 NEW), DEMO  
   EXISTING 9,132 SF BLDG ON 4.46 ACRES (QP  
   ZONED) (X/AE)  
APPLICANT:                    PASTOR ED KEMP  
PROP OWNER:                 CH-FIRST BAPTIST OF VISALIA INC  
LOCATION:                      1100 S SOWELL ST  
APN(S):                      096-093-016

YOU ARE REQUIRED TO COMPLY WITH THE CITY OF VISALIA WASTEWATER ORDINANCE 13.08 RELATIVE TO CONNECTION TO THE SEWER, PAYMENT OF CONNECTION FEES AND MONTHLY SEWER USER CHARGES. THE ORDINANCE ALSO RESTRICTS THE DISCHARGE OF CERTAIN NON-DOMESTIC WASTES INTO THE SANITARY SEWER SYSTEM.

YOUR PROJECT IS ALSO SUBJECT TO THE FOLLOWING REQUIREMENTS:

- WASTEWATER DISCHARGE PERMIT APPLICATION
- SAND AND GREASE INTERCEPTOR – 3 COMPARTMENT \_\_\_\_\_
- GREASE INTERCEPTOR \_\_\_\_\_ min. 1000 GAL
- GARBAGE GRINDER – ¾ HP. MAXIMUM \_\_\_\_\_
- SUBMISSION OF A DRY PROCESS DECLARATION \_\_\_\_\_
- NO SINGLE PASS COOLING WATER IS PERMITTED \_\_\_\_\_
- OTHER \_\_\_\_\_
- SITE PLAN REVIEWED – NO COMMENTS

CALL THE QUALITY ASSURANCE DIVISION AT (559) 713-4529 IF YOU HAVE ANY QUESTIONS.

CITY OF VISALIA  
PUBLIC WORKS DEPARTMENT  
QUALITY ASSURANCE DIVISION  
7579 AVENUE 288  
VISALIA, CA 93277

*Ed Kemp*

\_\_\_\_\_  
AUTHORIZED SIGNATURE

11-21-14

\_\_\_\_\_  
DATE



# SITE PLAN REVIEW COMMENTS

Paul Bernal, Planning Division (559) 713-4025

Date: November 26, 2014

SITE PLAN NO: 2014-178  
PROJECT TITLE: GATEWAY CHURCH VISALIA  
DESCRIPTION: CONSTRUCT NEW CHILD CARE FACILITY AND ASSEMBLY BUILDING (12,938 NEW), DEMO EXISTING 9,132 SF BLDG ON 4.46 ACRES (QP ZONED) (X/AE)  
APPLICANT: PASTOR ED KEMP  
PROP. OWNER: CH-FIRST BAPTIST OF VISALIA INC  
LOCATION TITLE: 1100 S SOWELL ST VISA  
APN TITLE: 096-093-016  
GENERAL PLAN: P-I (PUBLIC INSTITUTIONAL)  
EXISTING ZONING: Q-P (QUASI-PUBLIC)

## Planning Division Recommendation:

- Revise and Proceed  
 Resubmit

## Project Requirements

- Amendment to Conditional Use Permit (CUP) for the Gateway Church
- Detailed site plan
- Detailed Operational Statement
- Additional Information as needed

## **PROJECT SPECIFIC INFORMATION: 11/26/2014**

1. Provide a detailed site plan that depicts and identifies the square footage of each building being removed and replaced. Staff is aware that some of the building square footage comprises of covered walkways and is not considered conditioned building space.
2. The operational statement identifies the uses proposed in the new building additions are uses already provided by Gateway Church.
3. The new driveway and drop-off zone shall be signed and striped for "Exit-Only" vehicular movements.
4. Provide building elevations with the CUP application submittal for the new building additions.

## **CITY GENERAL PLAN CONSISTENCY**

Staff initial finding is that the proposed site plan IS CONSISTENT with the City General Plan. Because this project requires discretionary approval by the City Council and/or Planning Commission the final determination of consistency will be made by the Planning Commission and/or City Council.

## **Signage: [see Zoning Ordinance Section 17.48]**

1. All signs require a building permit.

## **Parking:**

1. Kindergarten and nursery schools: one parking space for each employee plus one parking space for each ten children (see Zoning Ordinance Section 17.34.020).
2. 30% of the required parking stalls may be compact and shall be evenly distributed in the lot (Zoning Ordinance Section 17.34.030.I).
3. Provide handicapped space(s) (see Zoning Ordinance Section 17.34.030.H).

4. An 80 sq. ft. minimum landscape well is required every 10 contiguous parking stalls (Zoning Ordinance Section 17.34.040.D & 17.30.130.C).
5. It is highly recommended that bicycle rack(s) be provided on site plan.
6. No parking shall be permitted in a required front/rear/side yard (Zoning Ordinance Section 17.34.030.F).
7. Design/locate parking lot lighting to deflect any glare away from abutting residential areas, calculations to be shown on construction documents (Zoning Ordinance Section 17.34.030.J).
8. Provide off-street loading facility (Zoning Ordinance Section 17.34.070 & 17.34.080).

**Fencing and Screening:**

1. Provide screening for roof mounted equipment (Zoning Ordinance Section 17.30.130.F).

**Landscaping:**

1. As of January 1, 2010, the State Water Efficient Landscape Ordinance became effective by adoption of a City urgency ordinance on December 21, 2009. The ordinance applies to projects installing 2,500 square feet or more of landscaping. It requires that landscaping and irrigation plans be certified by a qualified entity (i.e., Landscape Architect) as meeting the State water conservation requirements. The City's implementation of this new State law will be accomplished by self-certification of the final landscape and irrigation plans by a California licensed landscape architect or other qualified entity with sections signed by appropriately licensed or certified persons as required by the ordinance. **NOTE: Prior to a final for the project, a signed Certificate of Compliance for the MWELO standards is required indicating that the landscaping has been installed to MWELO standards.**
2. Provide street trees at an average of 20-feet on center along street frontages. All trees to be 15-gallon minimum size (Zoning Ordinance Section 17.30.130.C).
3. All landscape areas to be protected with 6-inch concrete curbs (Zoning Ordinance Section 17.30.130.F).
4. Provide a detailed landscape and irrigation plan as a part of the building permit package (Zoning Ordinance Section 17.34.040).
5. An 80 sq. ft. minimum landscape well is required every 10 contiguous parking stalls (Zoning Ordinance Section 17.30.130.C).
6. Provide a conceptual landscape plan for resubmittal or planning commission review.
7. Locate existing oak trees on site and provide protection for all oak trees greater than 2" diameter (see Oak Tree Preservation Ordinance).

Maintenance of landscaped areas. - A landscaped area provided in compliance with the regulations prescribed in this title or as a condition of a use permit or variance shall be planted with materials suitable for screening or ornamenting the site, whichever is appropriate, and plant materials shall be maintained and replaced as needed, to screen or ornament the site. (Prior code § 7484)

**Lighting:**

1. All lighting is to be designed and installed so as to prevent any significant direct or indirect light or glare from falling upon any adjacent residential property. This will need to be demonstrated in the building plans and prior to final on the site.
2. Parking lot and drive aisle lighting adjacent to residential units or designated property should consider the use of 15-foot high light poles, with the light element to be completely recessed into the can. A reduction in the height of the light pole will assist in the reduction/elimination of direct and indirect light and glare which may adversely impact adjacent residential areas.
3. Building and security lights need to be shielded so that the light element is not visible from the adjacent residential properties, if any new lights are added or existing lights relocated.
4. NOTE: Failure to meet these lighting standards in the field will result in no occupancy for the building until the standards are met.

5. In no case shall more than 0.5 lumens be exceeded at any property line, and in cases where the adjacent residential unit is very close to the property line, 0.5 lumens may not be acceptable.

The comments found on this document pertain to the site plan submitted for review on the above referenced date. Any changes made to the plan submitted must be submitted for additional review.

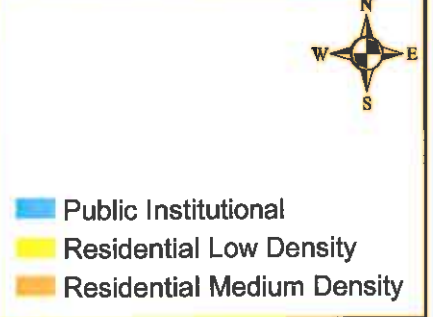
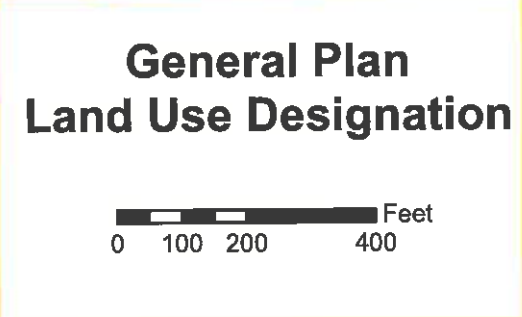
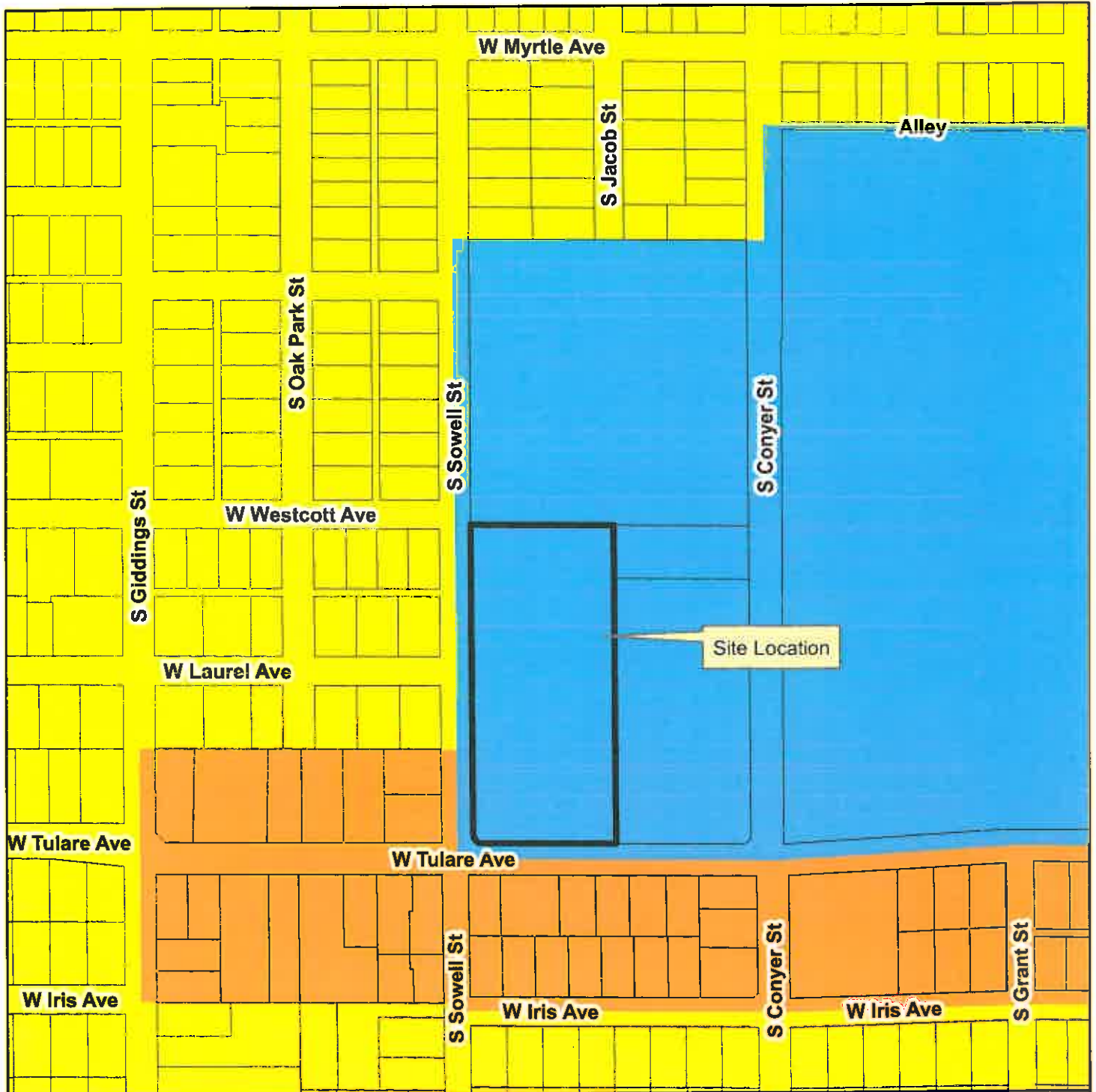
**NOTE: Staff recommendations contained in this document are not to be considered support for a particular action or project unless otherwise stated in the comments.**

Signature

A handwritten signature in black ink, appearing to read "Paul Brown", is written over a horizontal line. The signature is stylized and cursive.

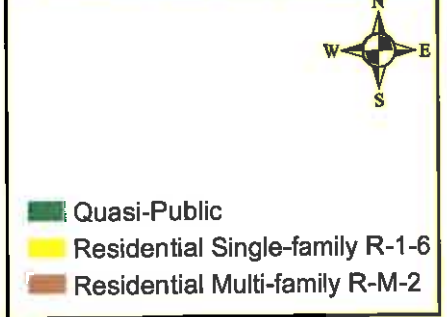
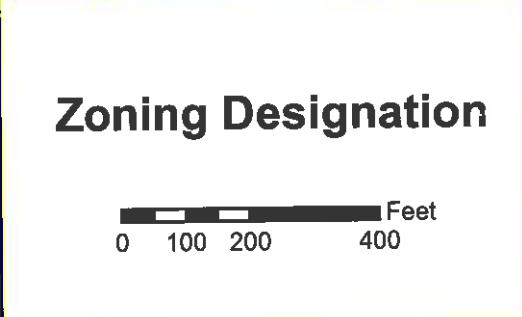
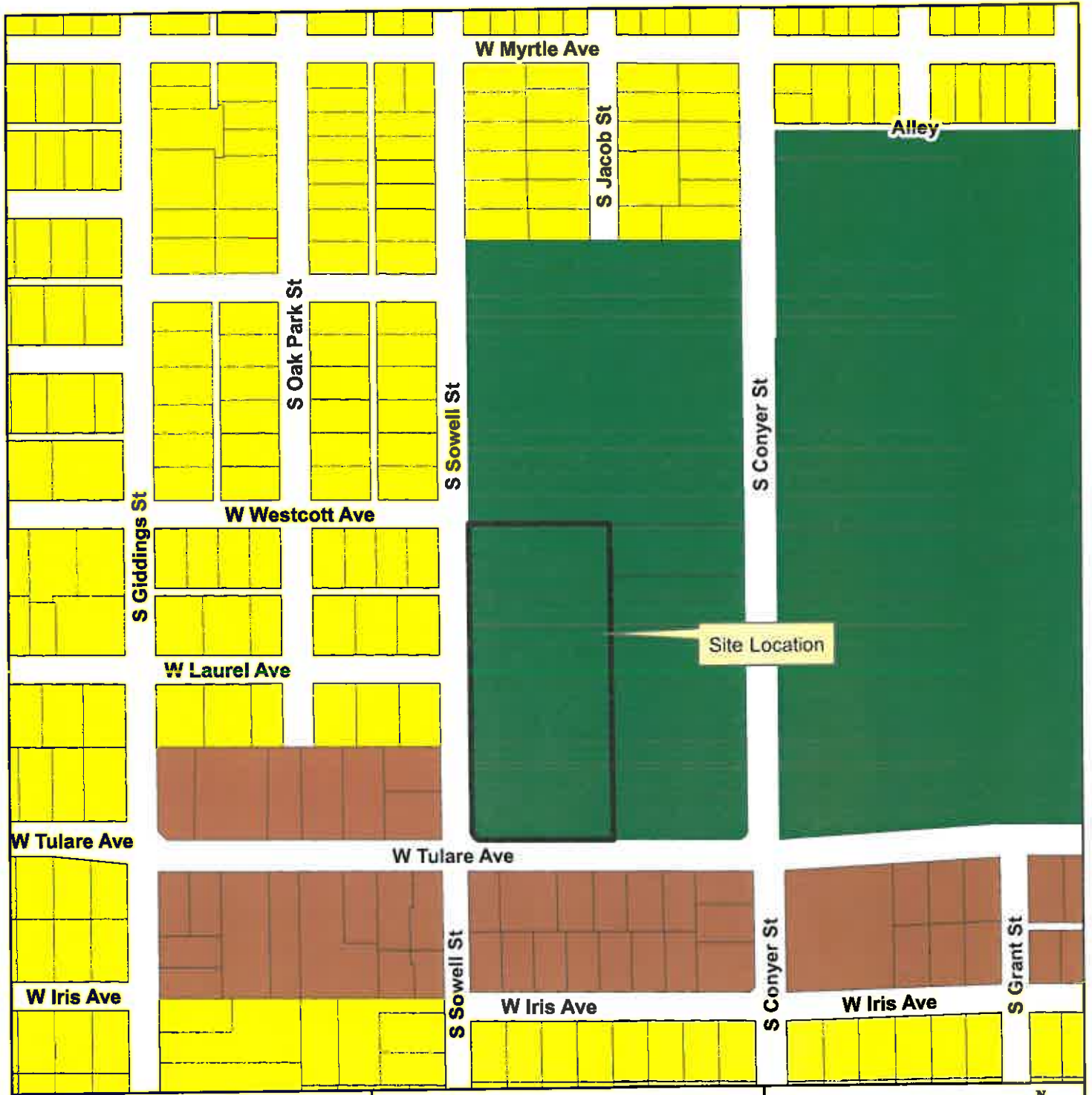
# Conditional Use Permit No. 2016-05

The project site is located at 1100 S. Sowell Street, on the northeast corner of Tulare Avenue and Sowell Street.  
(APN: 096-093-016)



# Conditional Use Permit No. 2016-05

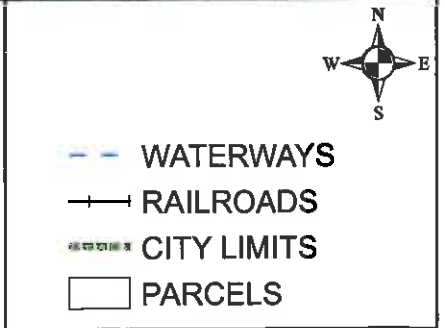
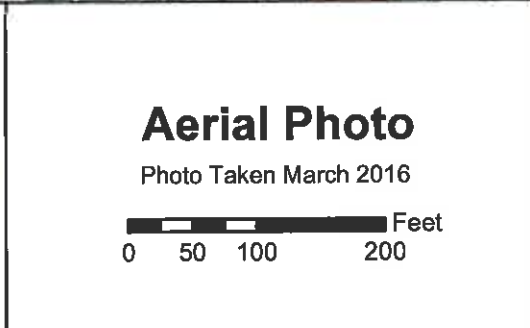
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