



## REPORT TO CITY OF VISALIA PLANNING COMMISSION

**HEARING DATE:** May 26, 2015

**PROJECT PLANNER:** Brandon Smith, AICP, Senior Planner  
Phone No.: (559) 713-4636

**SUBJECT: Conditional Use Permit No. 2015-03:** A request by Raj Verma, Ayan Hospitality, LLC, to allow an amendment to Conditional Use Permit No. 2007-39 which adopted a master-planned development on 29 acres in the Business Research Park (BRP) zone, and to allow the development of a 95-room, 68,455 sq. ft. hotel on 2.66 acres in the BRP zone. The project site is located at the northwest corner of Plaza Drive and Crowley Street (APN: 081-160-002, 003).

### STAFF RECOMMENDATION

Staff recommends approval of Conditional Use Permit No. 2015-03, as conditioned, based upon the findings and conditions in Resolution No. 2015-10. Staff's recommendation is based on the conclusion that the request is consistent with the Plaza Business Park Planned Development Permit as amended, City General Plan and Zoning Ordinance.

### RECOMMENDED MOTION

I move to approve Conditional Use Permit No. 2015-03 based on the findings and conditions in Resolution No. 2015-10.

### PROJECT DESCRIPTION

The applicant is requesting approval of a conditional use permit amendment to allow an extended stay hotel in the Business Research Park (BRP) zone. The hotel will be located within a master-planned development approved in 2008 as the Plaza Business Park Planned Development Permit (i.e. Master Plan). The master-planned development conceptually included a hotel in the master site plan and table of uses but lacked a detailed site plan, floor plan, and elevations.

**Hotel.** The hotel is a 68,455 square foot four-story Residence Inn by Marriott Hotel (see Exhibit "A"). The 95-room hotel would be constructed on 2.66 acres of vacant property located between the existing Fresno Pacific University satellite campus and Plaza Drive. The primary entrance to the building will be on the south, facing toward Crowley Avenue, and secondary access will be on the north, facing toward the private street internal to the development. The hotel will provide outdoor accommodations including an outdoor patio area, swimming pool, and basketball court. Indoor accommodations available to guests will include a laundry room, fitness center, breakfast room, and one meeting room (See Floor Plans attached as Exhibit "B").

**Master Plan Amendment.** In addition to the request for a hotel, this CUP requests an amendment to the previously-approved Master Plan to change the location of the previously conceptual hotel location and revise the Design Guidelines to allow for flexibility in design characteristics, particularly associated with major chain branding standards. The applicant has submitted revised pages to the Plaza Business Park Planned Development Permit as part of the

application materials (all pages attached as Exhibit "J"), which would replace existing pages in the document. The amendments are summarized as follows:

*Rearrangement of hotel site and other uses on site master plan.* The hotel is proposed at the northwest corner of Plaza Drive and Crowley Avenue. The Master Plan's original approved site plan showed a hotel on the east side of Plaza Drive north of the existing Chevron gas station. In order to place the hotel at the location desired by the applicant, some of the remaining uses have been rearranged (see Exhibit "F") and a new site master plan has been developed (see Exhibit "G"). The changes have also resulted in a revised shared parking analysis (see Exhibit "H") and revisions to square footages of buildings.

*Revision of Architecture Design Guidelines to accommodate hotel.* The hotel's elevation plans submitted with the application are not fully consistent with the architecture design guidelines as currently written in the Master Plan. The applicant is therefore proposing an amendment to the Master Plan's architecture standards that would give flexibility to corporate tenants for cases where strict branding requirements cannot be met within the confines of the required design guidelines (see Exhibit "I").

*Minor technical changes not affecting content of document.* The applicant is proposing several minor changes to maintain internal consistency within the Master Plan document and to account for changes that have occurred within the master plan area since adoption of the Master Plan document. These changes have little bearing on the proposed hotel project.

## **BACKGROUND INFORMATION**

General Plan Land Use Designation:	Business Research Park
Zoning:	BRP (Business Research Park)
Surrounding Zoning and Land Use	North: BRP / Vacant land approved for future restaurant use South: BRP/ Crowley Avenue, vacant land approved for Arco gas station in The Square at Plaza East: BRP / Plaza Drive, Chevron gas station West: BRP / Fresno Pacific University satellite campus
Environmental Review:	Adopted Negative Declaration No. 2007-96
Special Districts:	Plaza Business Park Planned Development Permit
Site Plan:	2015-004

### **RELATED PLANS & POLICIES**

See separate Municipal Ordinance chapters pertaining to Conditional Use Permits.

### **RELATED PROJECTS**

The project site is within the Plaza Business Park master-planned development approved as **Conditional Use Permit No. 2007-39**. The CUP was a request by Mangano Company, Inc. for a master-planned development of a mix of office, educational, and highway service businesses totaling 327,828 sq. ft. of floor area on 29.4 acres in the BRP zone. The project site is located on the east and west sides of Plaza Drive between Crowley Avenue and Hurley Avenue, and includes the northeast corner of Plaza Drive and Hurley Avenue. The Planning Commission

approved the CUP on April 14, 2008, and this action was appealed to the City Council. The City Council subsequently denied the appeal and upheld the approval on May 19, 2008.

A Residence Inn by Marriott was previously approved on a site located two miles to the east as **Conditional Use Permit No. 2009-42**. The CUP was a request by M.S. Walker & Associates, Inc. to construct an 87,670 sq. ft. four-story hotel with 125 rooms on 3.6 acres located in the C-SO (Planned Shopping / Office Commercial) zone. The site is located on the south side of Cypress Avenue west of Akers Street. The Planning Commission approved the CUP on January 25, 2010, but the CUP lapsed without any action taken. In May 2015, a new CUP application was filed with the City for a Holiday Inn Express hotel on the same site.

## PROJECT EVALUATION

Staff supports the requested conditional use permit based on project consistency with the Plaza Business Park Planned Development Permit, General Plan, and Zoning Ordinance.

### Land Use Compatibility

Hotels are considered compatible uses in the BRP zone where potential impacts can be addressed through the CUP process. The site is located within the Plaza Business Park master-planned development which has been approved for a mix of office uses and highway commercial uses.

A hotel site was identified in Phase 1 of development in the master site plan for the Plaza Business Park. The project will relocate the hotel to another site within the Phase 1 area and will rearrange other land uses planned in the Phase 1 area. A sit-down restaurant is planned north of the hotel across the private street on the revised site plan, strategically placed to serve guests at the hotel.

Staff believes that the proposed hotel is and will be consistent in nature and character with the existing and approved uses surrounding the project site. In addition to the Plaza Business Park development, two other master-planned developments in the BRP zone have been approved to the south and southeast with each development planned to include a hotel and supporting uses.

### Revision to Master Plan Architecture Design Guidelines

The Plaza Business Park Planned Development Permit contains architectural design guidelines (Appendix G) to ensure that all buildings utilize a common architecture theme with similar building materials and features. All development in the BRP zone requires a master or specific plan that includes a cohesive architectural design to establish a campus-style setting consistent with the purpose of the zoning district. This requirement is set forth in Zoning Ordinance Section 17.24.050.B.

At the time of application filing, staff determined that the hotel's elevation drawings were not consistent with the design guidelines and could not be supported based on inconsistency with the Master CUP. Staff subsequently met with applicant's team to affirm the design requirements required for the master plan. The applicant subsequently re-submitted elevations (attached as Exhibits "C" and "D"). However, the revised elevations did not conform to all the Plaza Business Park's design requirements due to the branding requisites of the hotel chain.

In response to this the applicant requested an amendment to the master plan document's design guidelines required by CUP No. 2007-39, which adopted the master plan, to make accommodations for buildings with corporate identity requirements. The proposed amendment will add subsection (i) to the building design criteria that allows buildings constructed for

corporate tenants to deviate from some building design criteria if other required architectural elements are included.

Staff has included Condition No. 3 of the Conditions of Approval for the Conditional Use Permit requiring approval of the amendment of the design guidelines, and further recommends that the proposed language be modified to more clearly describe “corporate tenants” and “other architectural elements.” The recommended language is as follows with staff-proposed modifications in strikeout/underline:

i. Corporate tenants; Buildings constructed for ~~corporate tenants~~ franchises or chains with a shared brand and central management may deviate from some, but not all, of the conceptual building design elements listed in a. through g. above if the building design intends to convey a corporate architectural identity and if the building design incorporates features intended to promote the development’s underlying modern Frank Lloyd Wright theme. The Plaza Business Park Design Committee shall approve the level of conformance.

The recommendation is based on staff’s finding that the City’s General Plan and Zoning Ordinance are not explicit on the level of architecture detail that must be achieved in BRP zones, so long as there is architectural cohesiveness among all development within the development. The modification accommodates businesses that desire to locate in the master-planned development and face strict requirements of a corporation’s signature architecture design, provided that the cohesive architectural design is not compromised.



Concept elevation in Master Plan



Proposed elevation

### Evaluation of Building Architecture

Exhibits “C” and “D” provide building elevations proposed for the Marriott Residence Inn hotel. The elevations depict pitched roofs, stacked ledger stone, plastered walls and stone buttresses.

As described in the analysis above, the elevations do not conform to all of the building design criteria of the Plaza Business Park Master Plan. Following is a list of the design criteria required by the Appendix G of the master plan and staff’s evaluation of the proposed hotel elevations:

- A. Exterior Walls. Compatible; incorporates cement plaster finish, stacked ledger stone, and earth colors.
- B. Pedestrian Scale. Compatible; different materials, veneers, moldings, and colors used to divide the walls vertically.
- C. Stone buttresses. Compatible; stacked ledger stone incorporated at regular spacing.

- D. Windows. Not compatible. Uppermost floor shall have the appearance of continuous glazing. The elevations show individual windows without the appearance of contentious glazing.
- E. Tenant entries. Not applicable; retail buildings only.
- F. Roofs. Not compatible. The upper most floor shall have the appearance of a floating roof, and the main roof shall incorporate mansarded hipped sections with standing seam metal roofing. The entries shall have flat parapeted elements that are taller than the sloping roof. The elevations show a flat roof with main and corner entries utilizing sloping roofs, with no mansard hipped sections shown anywhere.
- G. Awning/vault. Not compatible. Canopies over the main entries shall be arch-topped with curved steel framing on multi-story buildings. The elevations show flat canopies over the main entry and sloping roofs over the side entries.
- H. Mechanical screening. Compatible; Roof mounted equipment is screened from view.

Based on the amendment to the design guidelines to accommodate corporate tenants, the elevations are consistent with the guidelines based on its incorporation of some of the required architectural elements and its attempt to adapt to the master plan's architectural theme. A representative from the Plaza Business Park Design Review Committee has also submitted correspondence in support of the CUP amendment (see Exhibit "K").

Staff has included Condition No. 2 of the Conditions of Approval for the Conditional Use Permit requiring that the building elevations be developed consistent with those provided in Exhibits "C" and "D".

### Parking

Hotels are required to provide one parking space for each guest room and one parking space for each two employees per shift regularly employed by the hotel. Based on the number of rooms, number of employees as stated in the site plan (see Exhibit "A"), and the meeting room, a total of 99 parking spaces are required. The hotel is providing 102 parking spaces on-site.

### Revision to Master Plan Shared Parking Analysis

The master-planned development was originally designed to utilize shared parking between uses through the use of shared parking easements and reciprocal parking agreements. The details of the shared parking plan are illustrated in the master site plan (areas denoted for shared parking) and explained in a shared parking analysis (Table 5.1.1 of the Master Plan).

The CUP request includes a revised shared parking analysis (see Exhibit "H") based on the proposed relocation of the hotel and other land uses in the development (see Exhibit "F"). The table concluded that upon full buildout, the development is able to meet the peak parking demand (1,068 spaces at 3:00 p.m.) with the parking provided (1,256 spaces). The revised shared analysis affirms that the hotel will be self-sufficient for parking and will be able to meet its full parking demand on-site.

It should be noted in the analysis that the adjacent Fresno Pacific University building may experience parking demands in excess of the parking provided during evening hours (6:00 p.m. and 9:00 p.m.). If this is the case, it would be dependent upon shared or reciprocal parking spaces belonging to nearby uses during evening hours. The hotel will be the first use constructed within 300 feet of Fresno Pacific University although it also experiences peak parking demand in the evening hours. When additional uses having non-evening peak times

are constructed in the development west of Plaza Drive, this would alleviate such parking demand in the evening hours through shared and reciprocal parking.

### Site Improvements and Access

Ingress and egress to the site will be from Crowley Avenue to the south and from the private internal street to the north. All site improvements consisting of curb, gutter, sidewalk, landscaping, and bioswales have been installed across all street frontages, and the project will utilize existing drive approaches on the two adjacent streets. There will be no direct access from Plaza Drive.

The hotel and the adjacent Fresno Pacific University (FPU) building will have cross access within the parking lot on the northwest side of the hotel site. The existing FPU parking lot improvements are proposed to be reconfigured to remove potential cross access on the southwest corner of the hotel site. This reconfiguration does not conflict with any standards in the Plaza Business Park Master Plan.

### Technical Changes to Master Plan Document

The following minor changes are being proposed to maintain internal consistency within the Master Plan document and to account for changes that have occurred within the master plan area since adoption of the Master Plan document. These changes have no bearing on the proposed hotel project. They are reflected in the revised pages attached as Exhibit "J".

- Cover Page and Table of Contents – Identify that this document has 2015 amendments;
- Appendix F – Relabeling Pad 3A to Pad 2 and 8 to be consistent with the site plan;
- Appendix G Table of Contents – Revising Table of Contents page numbers;
- Appendix G pages 1 through 6 – Addition of page numbers in top left corner of page;
- Appendix G page 4 – Replacement of "Manganò Company, Inc." with "current property owners" in subsection (a);
- Appendix G page 5 – Replacement of top picture with a picture of a more typical two-story building.

### Environmental Review

An Initial Study was prepared consistent with the California Environmental Quality Act (CEQA) for the entire 29-acre Plaza Business Park master-planned project that called out specific land uses, including a hotel.

The Initial Study, resulting in a Negative Declaration No. 2007-96 (attached to the staff report) disclosed that no significant, adverse environmental impacts would occur from development of the project.

The amended site master plan with the new hotel as proposed will have no new effects that could occur beyond those which were previously addressed within the scope of the approved Negative Declaration. The Negative Declaration prepared for the master-planned Business Research Park was approved by City Council Resolution No. 2008-28. No further environmental review is required.

## **RECOMMENDED FINDINGS**

1. That the proposed conditional use permit is consistent with the policies and intent of the Plaza Business Park Planned Development Permit as amended, City General Plan and Zoning Ordinance.

2. That the proposed conditional use permit is compatible with adjacent land uses.
3. That the project complies with the Design Guidelines for the Plaza Business Park document as amended, and is conditioned herein to meet the intent of the codified requirements and policies for development in the Business Research Park zone.
4. That the proposed location of the Conditional Use Permit and the conditions under which it would be built or maintained will not be detrimental to the public health, safety, or welfare nor materially injurious to properties or improvements in the vicinity.
5. That an Initial Study was prepared consistent with the California Environmental Quality Act (CEQA) for the entire 29-acre Plaza Business Park master-planned project that called out specific land uses including a hotel. The Initial Study, resulting in a Negative Declaration No. 2007-96 (attached to the staff report) disclosed that no significant, adverse environmental impacts would occur from development of the project. The amended site master plan with the new hotel as proposed will have no new effects that could occur beyond those which were previously addressed within the scope of the approved Negative Declaration. The Negative Declaration prepared for the master-planned Business Research Park was approved by City Council Resolution No. 2008-28. No further environmental review is required.

## **RECOMMENDED CONDITIONS OF APPROVAL**

1. That the project be developed consistent with the comments and conditions of the Site Plan Review No. 2015-004 incorporated herein by reference.
2. That the Conditional Use Permit be prepared in substantial compliance with the site plan shown in Exhibit "A", floor plans shown in Exhibit "B", and elevation plans shown in Exhibit "C" and "D".
3. That the master plan document approved under Conditional Use Permit No. 2007-39 be amended through the replacement of pages attached as Exhibit "J", with the exception that Appendix G, Page 2, subsection (i) be revised to read as follows:

Corporate tenants; Buildings constructed for franchises or chains with a shared brand and central management may deviate from some, but not all, of the conceptual building design elements listed in a. through g. above if the building design intends to convey a corporate architectural identity and if the building design incorporates features intended to promote the development's underlying modern Frank Lloyd Wright theme. The Plaza Business Park Design Committee shall approve the level of conformance.
4. That landscape and irrigation plans, prepared in accordance with the City of Visalia Model Water Efficient Landscape Ordinance (MWELo), shall be included in the construction document plans submitted for either grading or building construction permits. Prior to the project receiving final approved permits, a signed Certificate of Compliance stating that the project meets MWELo standards shall be submitted to the City.
5. Provide street trees per the City's Street Tree Ordinance.
6. That all of the conditions and responsibilities of Conditional Use Permit No. 2007-39 and Conditional Use Permit No. 2015-03 shall run with the land, and subsequent owners/operators shall also be subject to all of the conditions herein, unless amended or revoked.

7. That the applicant submit to the City of Visalia a signed receipt and acceptance of conditions from the applicant and property owner, stating that they understand and agree to all the conditions of Conditional Use Permit No. 2007-39 and Conditional Use Permit No. 2015-03, prior to the issuance of any building permit for this project.
8. That all applicable federal, state, regional, and city policies and ordinances be met.

## APPEAL INFORMATION

According to the City of Visalia Zoning Ordinance Section 17.02.145, an appeal to the City Council may be submitted within ten days following the date of a decision by the Planning Commission. An appeal with applicable fees shall be in writing and shall be filed with the City Clerk at 425 East Oak Avenue, Suite 301, Visalia, CA 93291. The appeal shall specify errors or abuses of discretion by the Planning Commission, or decisions not supported by the evidence in the record. The appeal form can be found on the city's website [www.ci.visalia.ca.us](http://www.ci.visalia.ca.us) or from the City Clerk.

### Attachments:

- Related Plans and Policies
- Resolution
- Exhibit "A" – Site Plan
- Exhibit "B" – Floor Plans
- Exhibit "C" – Elevation Plan
- Exhibit "D" – Perspective Drawings of Hotel
- Exhibit "E" – Operation Statement
- Exhibit "F" – Amended Planned Uses for Plaza Business Park
- Exhibit "G" – Amended Site Master Plan for Plaza Business Park (Page 1-3 of Master Plan)
- Exhibit "H" – Amended Shared Parking Analysis (Page 5-5 of Master Plan)
- Exhibit "I" – Amended Architectural Theme / Conceptual Building Design (Page G-2 of Master Plan)
- Exhibit "J" – All Amended Pages of Plaza Business Park Planned Development Permit
- Exhibit "K" – Correspondence from Tony Bruno
- Adopted Negative Declaration No. 2007-96
- Site Plan Review Comments
- General Plan Land Use Map
- Zoning Map
- Aerial Photo
- Location Map



## **Related Plans & Policies**

**General Plan and Zoning:** The following General Plan and Zoning Ordinance policies apply to the proposed project:

### **Zoning Ordinance Section for R-M Zone**

#### **Chapter 17.24**

#### **Planned Business Research Park (P-BRP) Zone**

##### **17.24.010 Purpose.**

A. This chapter is designed to achieve the following:

1. Provide for large-scale office developments in the community;
2. Accommodate large-scale business and research activities;
3. Protect residential and office areas from excessive noise, illumination, unsightliness, odor, smoke, and other objectionable influences;
4. Ensure compatibility with adjacent land uses.

B. The purpose and intent of the planned business research park zone district is to provide for business, scientific, educational and light industrial uses in a campus-type setting. Planned business research parks are to be planned and developed as integrated units via specific or master plans and are intended to accommodate large-scale office developments at locations which provide close-in employment opportunities; promote Visalia's community identity through special site development standards such as lot sizes, setbacks, landscaping, building scale, parking, open areas, etc.; and provide on-site ancillary uses including day care, food service, banks, recreation, etc., served by a variety of transportation modes to reduce vehicle trips. (Prior code § 7749)

#### **Chapter 17.38**

#### **Conditional Use Permits**

##### **17.38.010 Purposes and powers**

In certain zones conditional uses are permitted subject to the granting of a conditional use permit. Because of their unusual characteristics, conditional uses require special consideration so that they may be located properly with respect to the objectives of the zoning ordinance and with respect to their effects on surrounding properties. In order to achieve these purposes and thus give the zone use regulations the flexibility necessary to achieve the objectives of this title, the planning commission is empowered to grant or deny applications for conditional use permits and to impose reasonable conditions upon the granting of such permits. (Prior code § 7525)

##### **17.38.030 Lapse of conditional use permit.**

A conditional use permit shall lapse and shall become void twenty-four (24) months after the date on which it became effective, unless the conditions of the permit allowed a shorter or greater time limit, or unless prior to the expiration of twenty-four (24) months a building permit is issued by the city and construction is commenced and diligently pursued toward completion on the site which was the subject of the permit. A permit may be renewed for an additional period of one year; provided, that prior to the expiration of twenty-four (24) months from the date the permit originally became effective, an application for renewal is filed with the planning commission. The commission may grant or deny an application for renewal of a conditional use permit. In the case of a planned residential development, the recording of a final map and improvements thereto shall be deemed the same as a building permit in relation to this section. (Ord. 2001-13 § 4 (part), 2001: prior code § 7527)

##### **17.38.040 Revocation.**

Upon violation of any applicable provision of this title, or, if granted subject to a condition or conditions, upon failure to comply with the condition or conditions, a conditional use permit shall be suspended automatically. The planning commission shall hold a public hearing within sixty (60) days, in accordance with the procedure prescribed in

Section 17.38.080, and if not satisfied that the regulation, general provision or condition is being complied with, may revoke the permit or take such action as may be necessary to insure compliance with the regulation, general provision or condition. Appeals of the decision of the planning commission may be made to the city council as provided in Section 17.38.120. (Prior code § 7528)

**17.38.050 New application.**

Following the denial of a conditional use permit application or the revocation of a conditional use permit, no application for a conditional use permit for the same or substantially the same conditional use on the same or substantially the same site shall be filed within one year from the date of denial or revocation of the permit unless such denial was a denial without prejudice by the planning commission or city council. (Prior code § 7530)

**17.38.060 Conditional uses permit to run with the land.**

A conditional use permit granted pursuant to the provisions of this chapter shall run with the land and shall continue to be valid upon a change of ownership of the site or structure which was the subject of the permit application subject to the provisions of Section 17.38.065. (Prior code § 7531)

**17.38.065 Abandonment of conditional use permit.**

If the use for which a conditional use permit was approved is discontinued for a period of one hundred eighty (180) days, the use shall be considered abandoned and any future use of the site as a conditional use will require the approval of a new conditional use permit.

**17.38.110 Action by planning commission.**

- A. The planning commission may grant an application for a conditional use permit as requested or in modified form, if, on the basis of the application and the evidence submitted, the commission makes the following findings:
  1. That the proposed location of the conditional use is in accordance with the objectives of the zoning ordinance and the purposes of the zone in which the site is located;
  2. That the proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.
- B. A conditional use permit may be revocable, may be granted for a limited time period, or may be granted subject to such conditions as the commission may prescribe. The commission may grant conditional approval for a permit subject to the effective date of a change of zone or other ordinance amendment.
- C. The commission may deny an application for a conditional use permit. (Prior code § 7536)\

**17.38.120 Appeal to city council.**

The decision of the City planning commission on a conditional use permit shall be subject to the appeal provisions of Section 17.02.145. (Prior code § 7537) (Ord. 2006-18 § 6, 2007)

**17.38.130 Effective date of conditional use permit.**

A conditional use permit shall become effective immediately when granted or affirmed by the council, or upon the sixth working day following the granting of the conditional use permit by the planning commission if no appeal has been filed. (Prior code § 7539)

RESOLUTION NO. 2015-10

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF VISALIA APPROVING CONDITIONAL USE PERMIT NO. 2015-03, A REQUEST BY RAJ VERMA, AYAN HOSPITALITY, LLC, TO ALLOW AN AMENDMENT TO CONDITIONAL USE PERMIT NO. 2007-39 WHICH ADOPTED A MASTER-PLANNED DEVELOPMENT ON 29 ACRES IN THE BUSINESS RESEARCH PARK (BRP) ZONE, AND TO ALLOW THE DEVELOPMENT OF A 95-ROOM, 68,455 SQ. FT. HOTEL ON 2.66 ACRES IN THE BRP ZONE. THE PROJECT SITE IS LOCATED AT THE NORTHWEST CORNER OF PLAZA DRIVE AND CROWLEY STREET (APN: 081-160-002, 003).

**WHEREAS**, Conditional Use Permit No. 2015-03, is a request by Raj Verma, Ayan Hospitality, LLC, to allow an amendment to Conditional Use Permit No. 2007-39 which adopted a master-planned development on 29 acres in the Business Research Park (BRP) zone, and to allow the development of a 95-room, 68,455 sq. ft. hotel on 2.66 acres in the BRP zone. The project site is located at the northwest corner of Plaza Drive and Crowley Street (APN: 081-160-002, 003); and

**WHEREAS**, the Planning Commission of the City of Visalia, after duly published notice did hold a public hearing before said Commission on May 26, 2015; and

**WHEREAS**, the Planning Commission of the City of Visalia finds the Conditional Use Permit No. 2015-03, as conditioned by staff, to be in accordance with Chapter 17.38.110 of the Zoning Ordinance of the City of Visalia based on the evidence contained in the staff report and testimony presented at the public hearing; and

**WHEREAS**, an Initial Study was prepared, and adopted which disclosed that no significant environmental impacts would result from this project, and mitigation measures would not be required.

**NOW, THEREFORE, BE IT RESOLVED**, that Negative Declaration No. 2007-96 was prepared consistent with the California Environmental Quality Act and City of Visalia Environmental Guidelines.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** that the Planning Commission of the City of Visalia makes the following specific findings based on the evidence presented:

1. That the proposed conditional use permit is consistent with the policies and intent of the Plaza Business Park Planned Development Permit as amended, City General Plan and Zoning Ordinance.
2. That the proposed conditional use permit is compatible with adjacent land uses.
3. That the project complies with the Design Guidelines for the Plaza Business Park document as amended, and is conditioned herein to meet the intent of the codified requirements and policies for development in the Business Research Park zone.
4. That the proposed location of the Conditional Use Permit and the conditions under which it would be built or maintained will not be detrimental to the public health, safety, or welfare nor materially injurious to properties or improvements in the vicinity.
5. That an Initial Study was prepared consistent with the California Environmental Quality Act

(CEQA) for the entire 29-acre Plaza Business Park master-planned project that called out specific land uses including a hotel. The Initial Study, resulting in a Negative Declaration No. 2007-96 (attached to the staff report) disclosed that no significant, adverse environmental impacts would occur from development of the project. The amended site master plan with the new hotel as proposed will have no new effects that could occur beyond those which were previously addressed within the scope of the approved Negative Declaration. The Negative Declaration prepared for the master-planned Business Research Park was approved by City Council Resolution No. 2008-28. No further environmental review is required.

**BE IT FURTHER RESOLVED** that the Planning Commission hereby approves the Conditional Use Permit on the real property here described in accordance with the terms of this resolution under the provisions of Section 17.38.110 of the Ordinance Code of the City of Visalia, subject to the following conditions:

1. That the project be developed consistent with the comments and conditions of the Site Plan Review No. 2015-004 incorporated herein by reference.
2. That the Conditional Use Permit be prepared in substantial compliance with the site plan shown in Exhibit "A", floor plans shown in Exhibit "B", and elevation plans shown in Exhibit "C" and "D".
3. That the master plan document approved under Conditional Use Permit No. 2007-39 be amended through the replacement of pages attached as Exhibit "J", with the exception that Appendix G, Page 2, subsection (i) be revised to read as follows:

Corporate tenants; Buildings constructed for franchises or chains with a shared brand and central management may deviate from some, but not all, of the conceptual building design elements listed in a. through g. above if the building design intends to convey a corporate architectural identity and if the building design incorporates features intended to promote the development's underlying modern Frank Lloyd Wright theme. The Plaza Business Park Design Committee shall approve the level of conformance.

4. That landscape and irrigation plans, prepared in accordance with the City of Visalia Model Water Efficient Landscape Ordinance (MWELo), shall be included in the construction document plans submitted for either grading or building construction permits. Prior to the project receiving final approved permits, a signed Certificate of Compliance stating that the project meets MWELo standards shall be submitted to the City.
5. Provide street trees per the City's Street Tree Ordinance.
6. That all of the conditions and responsibilities of Conditional Use Permit No. 2007-39 and Conditional Use Permit No. 2015-03 shall run with the land, and subsequent owners/operators shall also be subject to all of the conditions herein, unless amended or revoked.
7. That the applicant submit to the City of Visalia a signed receipt and acceptance of conditions from the applicant and property owner, stating that they understand and agree to all the conditions of Conditional Use Permit No. 2007-39 and Conditional Use Permit No. 2015-03, prior to the issuance of any building permit for this project.
8. That all applicable federal, state, regional, and city policies and ordinances be met.

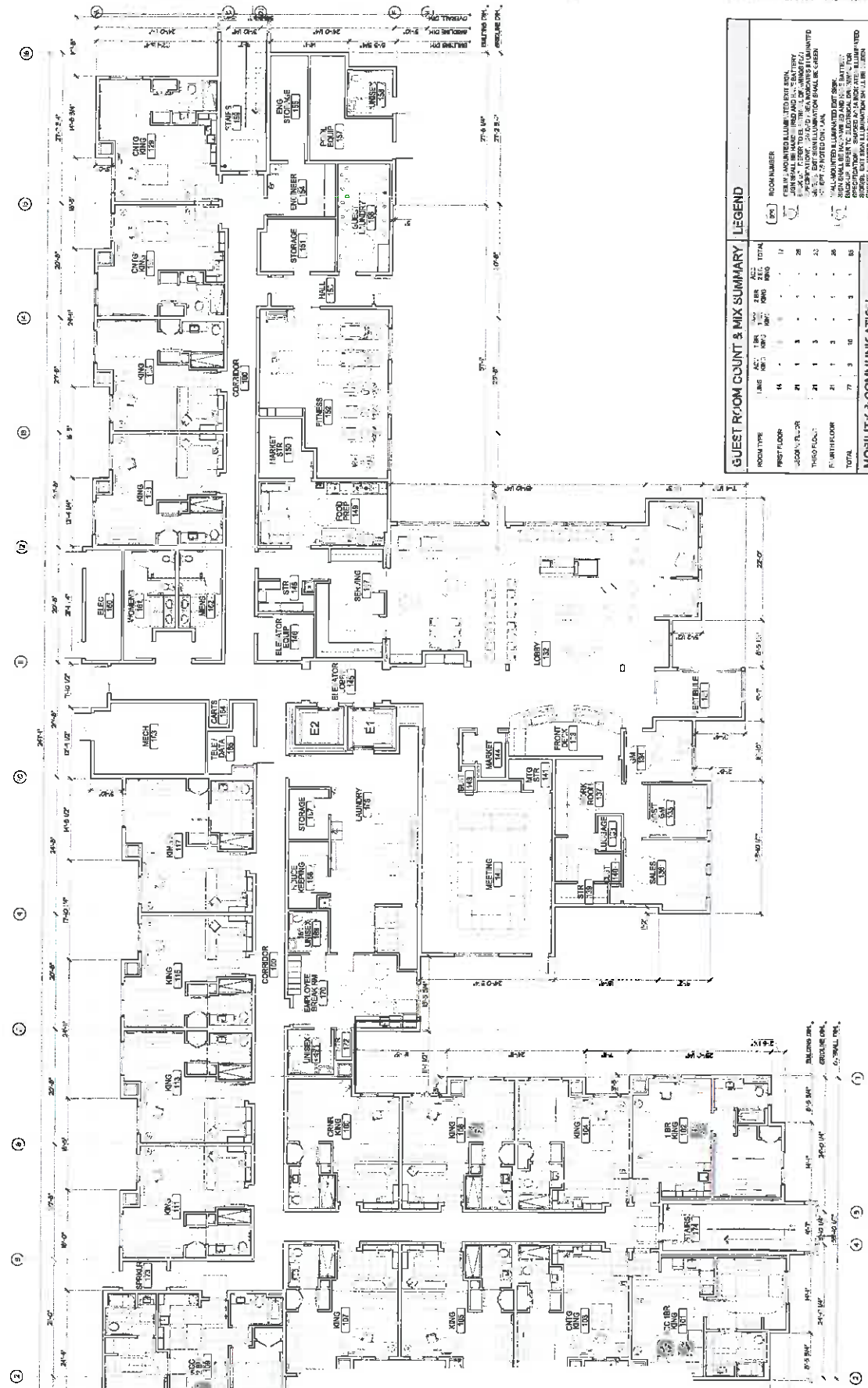




**RESIDENCE INN**  
 Corner of Plaza Drive & Crowley Avenue  
 Visalia, CA  
 Owner: Plaza Hospitality Services LLC

First Floor Plan

JOB NUMBER:  
 14 - 011  
 SHEET NUMBER:  
 A2.1



**Exhibit "B"**

GUEST ROOM COUNT & MIX SUMMARY				LEGEND	
ROOM TYPE	REQ.	ACT.	TOTAL	SYMBOL	DESCRIPTION
FIRST FLOOR	14	14	14	(S)	ROOM NUMBER
SECOND FLOOR	21	21	21	(S)	ROOM NUMBER
THIRD FLOOR	21	21	21	(S)	ROOM NUMBER
FOURTH FLOOR	21	21	21	(S)	ROOM NUMBER
TOTAL	77	77	77		

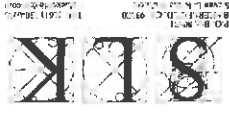
MOBILITY & COMMUNICATION FEATURE GUEST ROOMS			
DESCRIPTION	REQ.	ACT.	TOTAL
ADDITIONAL TELEPHONE	1	1	1
ADDITIONAL TV	1	1	1
ADDITIONAL BATH	2	2	2
ADDITIONAL KITCHEN	1	1	1
ADDITIONAL WALKER	1	1	1
ADDITIONAL WHEELCHAIR	1	1	1
ADDITIONAL VISUAL	1	1	1
ADDITIONAL HEARING	1	1	1
ADDITIONAL DEAF	1	1	1
ADDITIONAL BLIND	1	1	1
ADDITIONAL OTHER	1	1	1
TOTAL	14	14	14

**1 FIRST FLOOR PLAN**

FIRST FLOOR AREA = 20,308 S.F. / TOTAL BUILDING AREA = 68,450 S.F.

SPR 15004





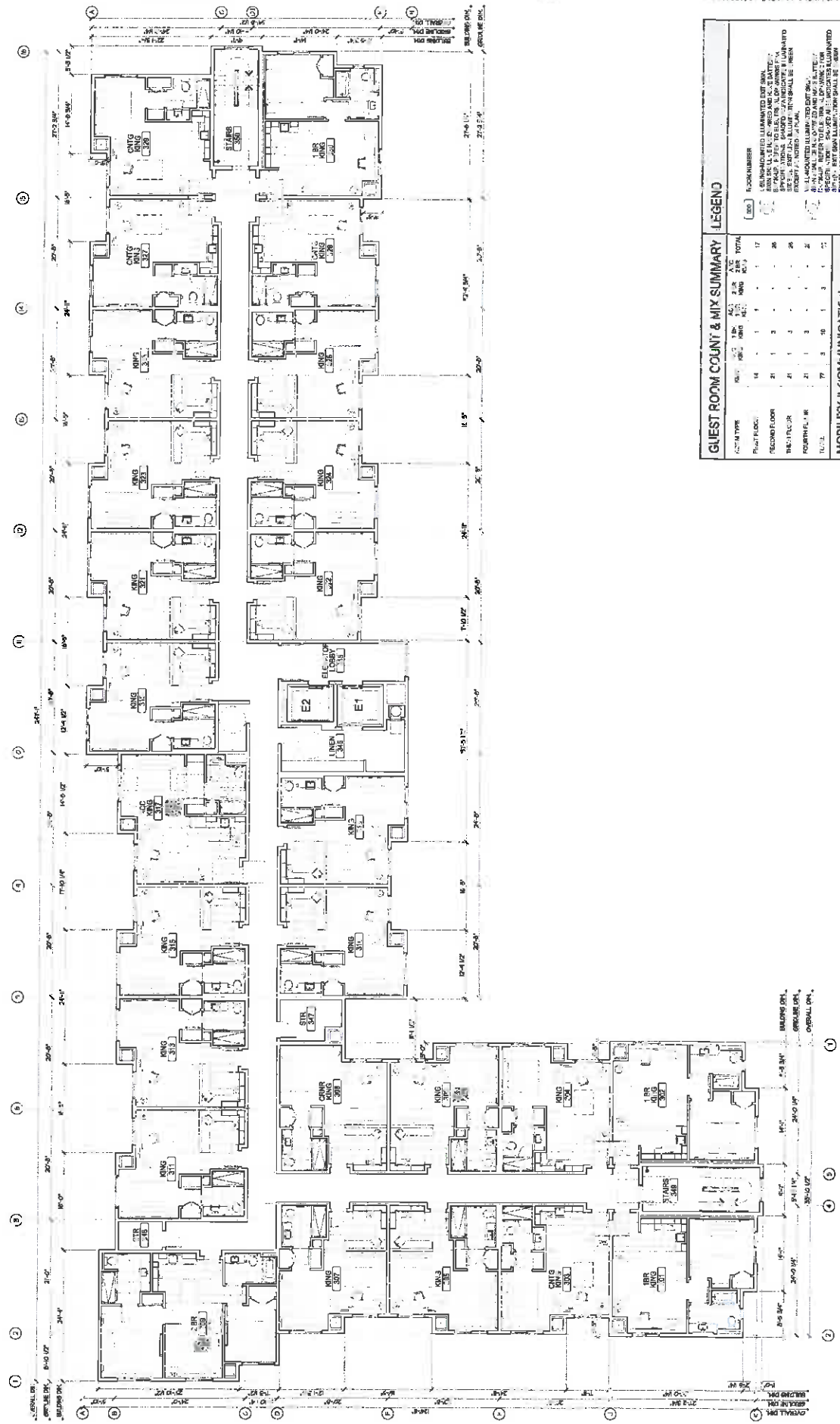
**RESIDENCE INN**  
 Corner of Plaza Drive & Crowley Avenue  
 Vista, CA  
 Owner: Prime Hospitality Services LLC

ISSUED FOR:  
 DATE:  
 DRAWN BY:

Third Floor Plan

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.  
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
 3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.  
 4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.  
 5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.  
 6. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.  
 7. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.  
 8. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.  
 9. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.  
 10. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

**JOB NUMBER:**  
 14 - 011  
**SHEET NUMBER:**  
 A2.3



GUEST ROOM COUNT & MIX SUMMARY				LEGEND	
FLOOR	NO.	NO.	NO.	NO.	NO.
SECOND FLOOR	14	1	1	1	17
THIRD FLOOR	21	3	1	1	26
FOURTH FLOOR	21	3	1	1	26
TOTAL	56	5	3	3	67

MOBILITY & COMMUNICATION FEATURE GUEST ROOMS			
DESCRIPTION	NO.	NO.	NO.
1 BR	1	1	1
2 BR	2	2	2
3 BR	3	3	3
4 BR	4	4	4
5 BR	5	5	5
6 BR	6	6	6
7 BR	7	7	7
8 BR	8	8	8
9 BR	9	9	9
10 BR	10	10	10
11 BR	11	11	11
12 BR	12	12	12
13 BR	13	13	13
14 BR	14	14	14
15 BR	15	15	15
16 BR	16	16	16
17 BR	17	17	17
18 BR	18	18	18
19 BR	19	19	19
20 BR	20	20	20
21 BR	21	21	21
22 BR	22	22	22
23 BR	23	23	23
24 BR	24	24	24
25 BR	25	25	25
26 BR	26	26	26
27 BR	27	27	27
28 BR	28	28	28
29 BR	29	29	29
30 BR	30	30	30
31 BR	31	31	31
32 BR	32	32	32
33 BR	33	33	33
34 BR	34	34	34
35 BR	35	35	35
36 BR	36	36	36
37 BR	37	37	37
38 BR	38	38	38
39 BR	39	39	39
40 BR	40	40	40
41 BR	41	41	41
42 BR	42	42	42
43 BR	43	43	43
44 BR	44	44	44
45 BR	45	45	45
46 BR	46	46	46
47 BR	47	47	47
48 BR	48	48	48
49 BR	49	49	49
50 BR	50	50	50
51 BR	51	51	51
52 BR	52	52	52
53 BR	53	53	53
54 BR	54	54	54
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56 BR	56	56	56
57 BR	57	57	57
58 BR	58	58	58
59 BR	59	59	59
60 BR	60	60	60
61 BR	61	61	61
62 BR	62	62	62
63 BR	63	63	63
64 BR	64	64	64
65 BR	65	65	65
66 BR	66	66	66
67 BR	67	67	67



**1 THIRD FLOOR PLAN**  
 THIRD FLOOR AREA = 15,015 SF / TOTAL BUILDING FLOOR AREA = 54,175 SF

SPR 15004







**RESIDENCE INN**  
 Center Prima Hospitality Service LLC  
 70001, CA  
 Corner of Plaza Drive & Crowley Avenue

REVISIONS

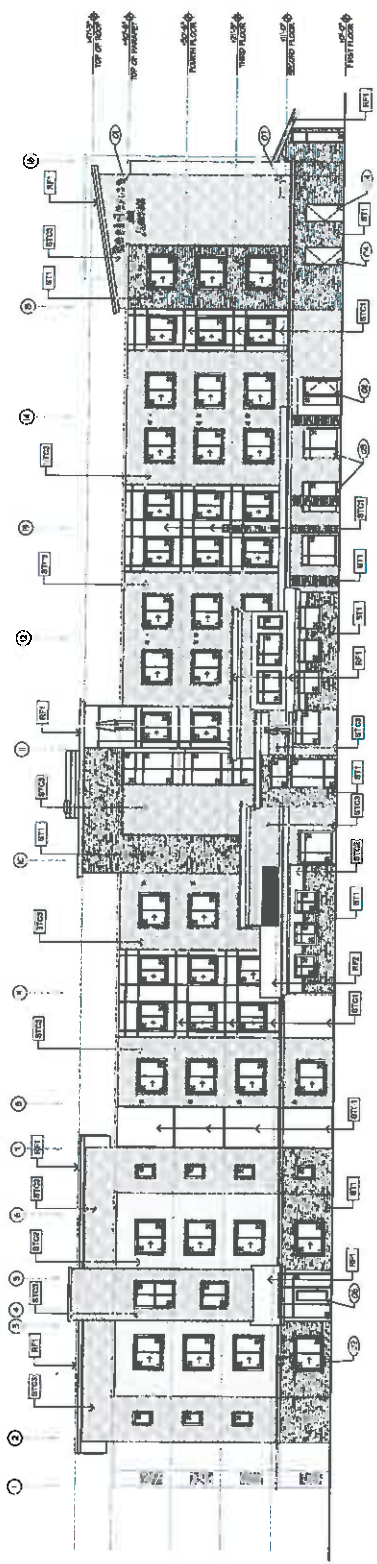
ISSUED FOR:  
 01/17/15  
 02/11/15  
 02/11/15

Exterior Elevations

These drawings were prepared by BlankenHorn Architects, Inc. under contract to the client named herein. The client is responsible for the accuracy of the information provided to the architect. The architect is not responsible for the accuracy of the information provided to the client. The architect is not responsible for the accuracy of the information provided to the client. The architect is not responsible for the accuracy of the information provided to the client.

JOB NUMBER:  
 14-011

SHEET NUMBER:  
 A3.1



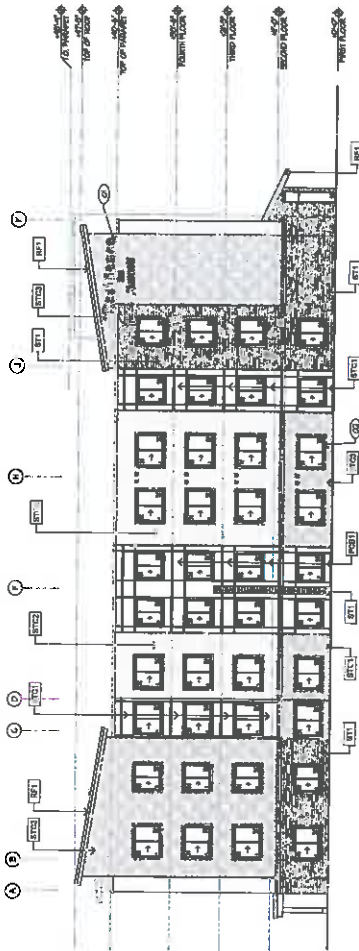
1 FRONT ELEVATION  
 3/32" = 1'-0"

ELEVATION LEGEND

- GULL SAND COLORED STONE
- 2-0001 1/2" X 2-0001 1/2" PINE 1/4" COLOR #1
- 2-0001 1/2" X 2-0001 1/2" PINE 1/4" COLOR #2
- 2-0001 1/2" X 2-0001 1/2" PINE 1/4" COLOR #3
- 2-0001 1/2" X 2-0001 1/2" PINE 1/4" COLOR #4
- STAINING BEAM METAL 1/2" X 1/2" X 1/2"

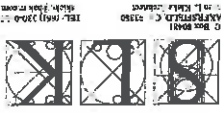
ELEVATION KEYNOTES

- KEYNOTES LISTED BELOW REFER TO THE PLANS ON THIS SHEET ONLY.
- NA. DESCRIPTION
- 1. 1/2" X 1/2" X 1/2" STAINING BEAM METAL 1/2" X 1/2" X 1/2"
- 2. 2" X 2" X 2" STAINING BEAM METAL 1/2" X 1/2" X 1/2"
- 3. 2" X 2" X 2" STAINING BEAM METAL 1/2" X 1/2" X 1/2"
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- 99. 2" X 2" X 2" STAINING BEAM METAL 1/2" X 1/2" X 1/2"
- 100. 2" X 2" X 2" STAINING BEAM METAL 1/2" X 1/2" X 1/2"



2 LEFT SIDE ELEVATION  
 3/32" = 1'-0"

Exhibit "C"



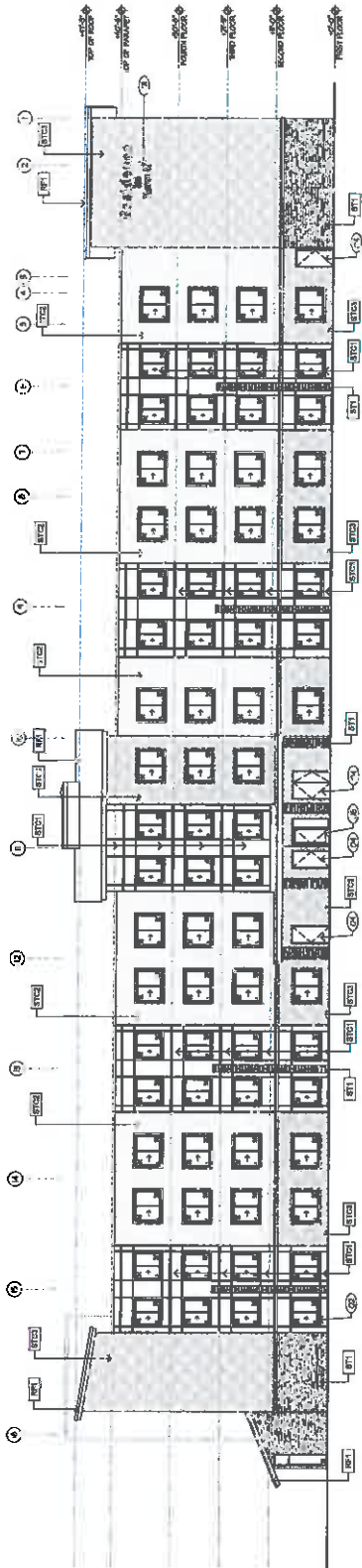
**RESIDENCE INN**  
 Corner of Plaza Drive & Crowley Avenue  
 Ukiah, CA  
 Owner: Prime Hospitality Services LLC  
 REF: 150004

DESIGNED FOR  
 DATE: 11/15/18  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 SCALE: 1/8" = 1'-0"

Exhibit Elevators

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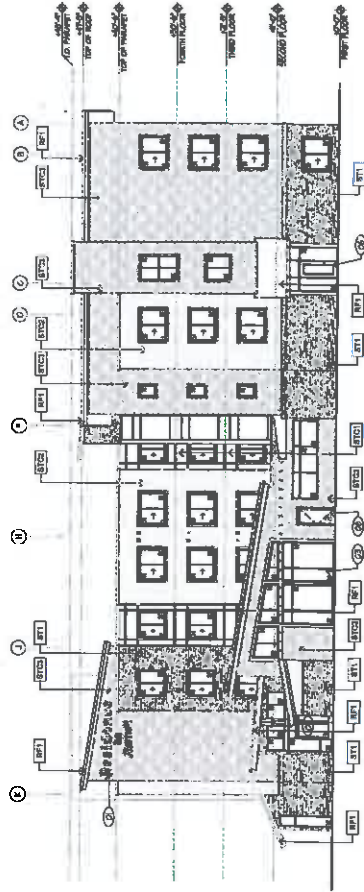
JOB NUMBER:  
**14-011**  
 SHEET NUMBER:  
**A3.2**



**1** REAR ELEVATION

- ELEVATION LEGEND**
- UNFINISHED LEADERLINE IS
  - BT1 3-COAT STUCCO SAND FINISH COLOR #1
  - BT2 3-COAT STUCCO SAND FINISH COLOR #2
  - BT3 3-COAT STUCCO SAND FINISH COLOR #3
  - BT4 STANDING SEAM METAL, COLOR #1

- ELEVATION KEYNOTES**
- KEYNOTES LISTED BELOW PERTAIN TO THIS PLAN. (1) THIS SHEET ONLY.
  - RECEPTION
  - (1) 1" HIGH ALUMINUM STYLISH FRAME GLAZING
  - (2) 1" HIGH ALUMINUM STYLISH FRAME GLAZING
  - (3) 1" HIGH ALUMINUM STYLISH FRAME GLAZING
  - (4) 1" HIGH ALUMINUM STYLISH FRAME GLAZING
  - (5) 1" HIGH ALUMINUM STYLISH FRAME GLAZING
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  - (79) 1" HIGH ALUMINUM STYLISH FRAME GLAZING
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  - (81) 1" HIGH ALUMINUM STYLISH FRAME GLAZING
  - (82) 1" HIGH ALUMINUM STYLISH FRAME GLAZING
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  - (97) 1" HIGH ALUMINUM STYLISH FRAME GLAZING
  - (98) 1" HIGH ALUMINUM STYLISH FRAME GLAZING
  - (99) 1" HIGH ALUMINUM STYLISH FRAME GLAZING
  - (100) 1" HIGH ALUMINUM STYLISH FRAME GLAZING



**2** RIGHT SIDE ELEVATION



Exhibit "D"





**Date:** January 29, 2015

**To:** Site Plan Review  
City of Visalia Planning Department  
315 E. Acequia Ave., Visalia CA 93291

**Project:** Proposed Residence Inn – Visalia SPR15004  
205 Plaza Drive, Visalia CA 93291

**Re:** Attachment to Planning Application – Project Operational Statement

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**PROJECT OPERATIONAL STATEMENT**

The applicant proposes to build a 4-Story 95-Key Residence Inn hotel by Marriott.

The proposed hotel will have 4 levels of Type V-A wood framing above grade construction, fully-sprinklered per NFPA 13, with a total building area of 66,007 SF. Hotel amenities include an outdoor heated pool, spa, outdoor seating, small meeting room, lobby/lounge, hearth room, buffet and breakfast area, business center, fitness room, vending area, market shop and guest laundry.

**OPERATIONS**

Hours for deliveries will be from 7am to 4pm, 2X a week. Buffet will be open daily for complimentary breakfast.

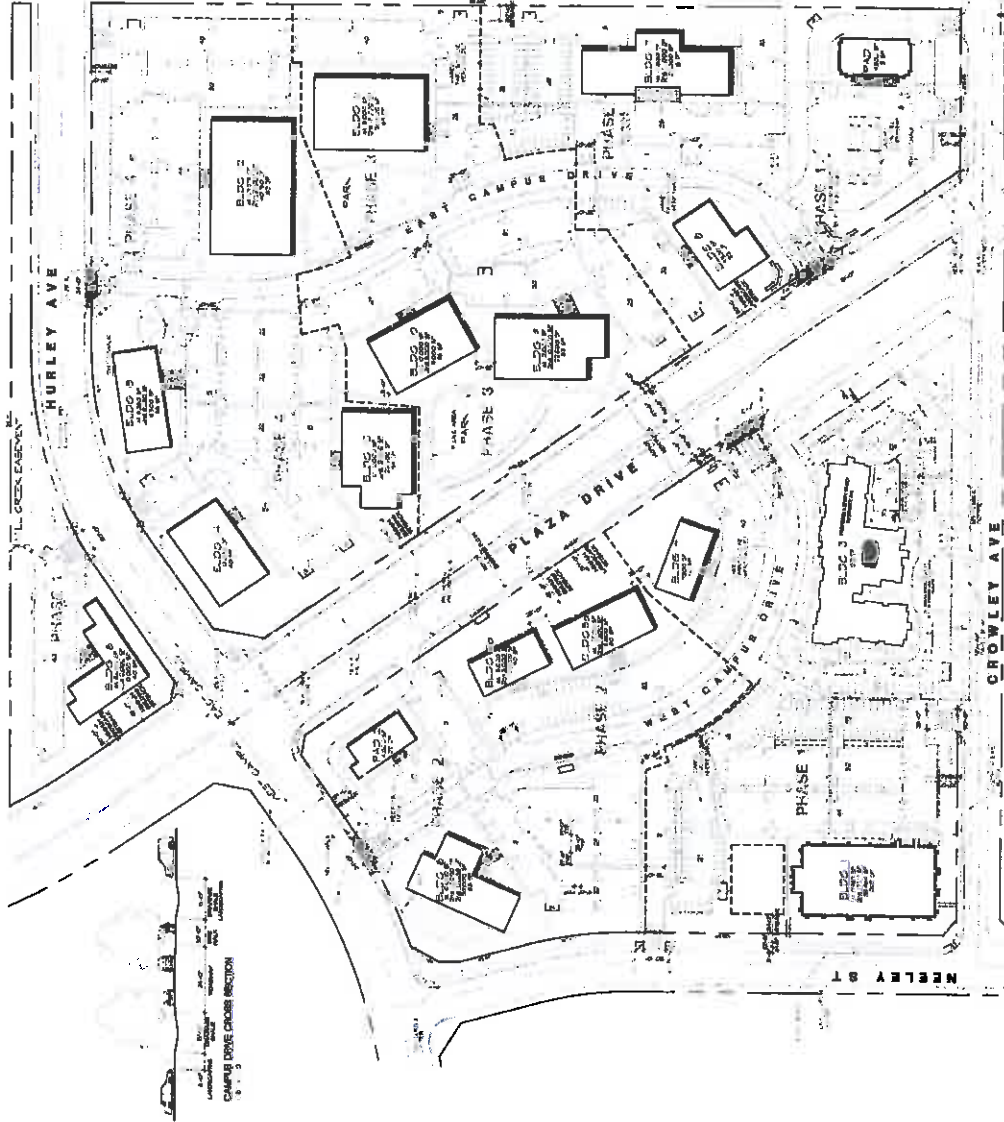


**PLAZA BUSINESS PARK MASTER PLAN**  
**PLANNED USES**

REVISED  
2015

# PLAZA BUSINESS PARK PLANNED DEVELOPMENT PERMIT

FIGURE 1.2-1 CONCEPTUAL SITE PLAN



SITE MASTER PLAN 1-2007 VICINITY MAP

WESTSIDE  
 APN: 001-001-001-001-001  
 EASTSIDE  
 APN: 001-001-001-001-001  
 NORTH SIDE  
 APN: 001-001-001-001-001  
 TOTAL  
 251.5 acres

Use	Area (sq. ft.)	Building Area (sq. ft.)	Parking Area (sq. ft.)
Phase 1 Westside Area	35,000	232	192
Phase 2 Westside Area	35,000	232	192
Phase 3 Westside Area	35,000	232	192
Phase 4 Westside Area	35,000	232	192
Phase 1 Eastside Area	40,000	40	35
Phase 2 Eastside Area	40,000	40	35
Phase 3 Eastside Area	40,000	40	35
Phase 4 Eastside Area	40,000	40	35
TOTAL WESTSIDE	140,000	936	751
TOTAL EASTSIDE	160,000	160	140
TOTAL	300,000	1,096	891

2015 Note: This conceptual site plan replaces the original conceptual site plan, as well as the site plans shown as backgrounds of Figures 3.2-8, 3.2-16, 3.2-18, 5.0-1, 5.1-1, 7.0-1, 8.2-1, and Appendices G and H.



# PLAZA BUSINESS PARK PLANNED DEVELOPMENT PERMIT

time equivalent daytime employees.

### 5.2.2 Shared Parking

The City of Visalia Zoning Code provides for shared parking through two means: 1) shared parking agreement, and 2) compatible parking design and reciprocal parking easements. Conditions for allowing shared parking are:

- A. The buildings and uses shall be within three hundred (300) feet of the nearest point by walking distance within a parking facility to said building or use;
- B. The applicant shall show there is no conflict in the principal operating hours of the buildings or uses;
- C. A shared parking agreement between the principal parties and the city shall be entered into which restricts the shared parking area to a parking use only.

The major benefit of shared parking is a reduction in the amount of land devoted to parking, especially in the amount of paved surface, which preserves more land for green space or development density.

The Plaza Business Park will utilize reciprocal parking easements. Because of the variety of uses proposed, the vacancy factor versus needed supply during different times of the day, and the different peak parking demands, a number of the buildings will utilize common parking lots. Reference the site plan in Appendix A for areas specifically utilizing shared parking (denoted by shading).

### 5.3 PUBLIC TRANSIT

The circulation system within the Project site is designed to accommodate public transit services. There are four bus stops planned, one on East Campus Drive, one on West Campus Drive, and one on both sides of Plaza Drive (reference Figure 5.1-1). All bus stops will have cutouts, and special design.

The Visalia City Coach (VCC) has two transit routes in the area, routes 6 and 10. Route 10 takes people from the airport and Greyhound bus depot to the downtown Visalia Transit Center. Route 6 goes through the center of the site on Plaza Drive with final west and east destinations of Goshen and the Visalia Transit Center respectively. There is also an extended evening schedule with stops at the airport and Greyhound bus terminal. It is anticipated that Route 6 will be the route that stops at both bus stops along Plaza Drive within the Project site. The bus stops on East and West Campus Drives are proposed for future shuttle service routes.

TABLE 5.1-1 SHARED PARKING ANALYSIS RESULTS

Use	Bldg Area (sq. ft.)	Peak Parking Demand	6:00am - 9:00am				9:00am - 12:00pm				12:00pm - 3:00pm				3:00pm - 6:00pm				
			Employee	Visitor	Other	Total	Employee	Visitor	Other	Total	Employee	Visitor	Other	Total	Employee	Visitor	Other	Total	
<b>Phase 1 Westside Area</b>																			
Education	25,000	375	100	100	100	300	100	100	100	300	100	100	100	300	100	100	100	300	100
Hotel	95,000	95	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Restaurant	75,000	75	40	0	0	40	40	40	40	40	40	40	40	40	40	40	40	40	40
<b>Subtotal Westside Phase 1</b>	<b>195,000</b>	<b>245</b>	<b>140</b>	<b>100</b>	<b>100</b>	<b>340</b>	<b>140</b>	<b>140</b>	<b>140</b>	<b>340</b>	<b>140</b>	<b>140</b>	<b>140</b>	<b>340</b>	<b>140</b>	<b>140</b>	<b>140</b>	<b>340</b>	<b>140</b>
<b>Phase 2 Westside Area</b>																			
Hotel	40,000	40	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Office	25,000	100	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Office	30,000	120	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
<b>Subtotal Westside Phase 2</b>	<b>95,000</b>	<b>260</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>TOTAL WESTSIDE</b>	<b>290,000</b>	<b>505</b>	<b>140</b>	<b>100</b>	<b>100</b>	<b>340</b>	<b>140</b>	<b>140</b>	<b>140</b>	<b>340</b>	<b>140</b>	<b>140</b>	<b>140</b>	<b>340</b>	<b>140</b>	<b>140</b>	<b>140</b>	<b>340</b>	<b>140</b>
<b>Phase 3 Eastside Area</b>																			
Office	4,000	15	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Office	27,700	48	118	0	0	118	118	118	118	118	118	118	118	118	118	118	118	118	118
<b>Subtotal Eastside Phase 3</b>	<b>31,700</b>	<b>63</b>	<b>118</b>	<b>0</b>	<b>0</b>	<b>118</b>	<b>118</b>	<b>118</b>	<b>118</b>	<b>118</b>	<b>118</b>	<b>118</b>	<b>118</b>	<b>118</b>	<b>118</b>	<b>118</b>	<b>118</b>	<b>118</b>	<b>118</b>
<b>Phase 4 Eastside Area</b>																			
Office	20,000	80	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Office	15,000	60	76	0	0	76	76	76	76	76	76	76	76	76	76	76	76	76	76
<b>Subtotal Eastside Phase 4</b>	<b>35,000</b>	<b>140</b>	<b>76</b>	<b>0</b>	<b>0</b>	<b>76</b>	<b>76</b>	<b>76</b>	<b>76</b>	<b>76</b>	<b>76</b>	<b>76</b>	<b>76</b>	<b>76</b>	<b>76</b>	<b>76</b>	<b>76</b>	<b>76</b>	<b>76</b>
<b>TOTAL EASTSIDE</b>	<b>66,700</b>	<b>203</b>	<b>194</b>	<b>0</b>	<b>0</b>	<b>194</b>	<b>194</b>	<b>194</b>	<b>194</b>	<b>194</b>	<b>194</b>	<b>194</b>	<b>194</b>	<b>194</b>	<b>194</b>	<b>194</b>	<b>194</b>	<b>194</b>	<b>194</b>
<b>Phase 5 Eastside Area</b>																			
Office	40,000	160	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Office	22,000	88	94	0	0	94	94	94	94	94	94	94	94	94	94	94	94	94	94
<b>Subtotal Eastside Phase 5</b>	<b>62,000</b>	<b>248</b>	<b>94</b>	<b>0</b>	<b>0</b>	<b>94</b>	<b>94</b>	<b>94</b>	<b>94</b>	<b>94</b>	<b>94</b>	<b>94</b>	<b>94</b>	<b>94</b>	<b>94</b>	<b>94</b>	<b>94</b>	<b>94</b>	<b>94</b>
<b>TOTAL EASTSIDE</b>	<b>128,700</b>	<b>451</b>	<b>290</b>	<b>0</b>	<b>0</b>	<b>290</b>	<b>290</b>	<b>290</b>	<b>290</b>	<b>290</b>	<b>290</b>	<b>290</b>	<b>290</b>	<b>290</b>	<b>290</b>	<b>290</b>	<b>290</b>	<b>290</b>	<b>290</b>
<b>TOTAL NORTHSIDE</b>	<b>424,700</b>	<b>708</b>	<b>534</b>	<b>100</b>	<b>100</b>	<b>734</b>	<b>734</b>	<b>734</b>	<b>734</b>	<b>734</b>	<b>734</b>	<b>734</b>	<b>734</b>	<b>734</b>	<b>734</b>	<b>734</b>	<b>734</b>	<b>734</b>	<b>734</b>
<b>TOTAL ALL</b>	<b>714,700</b>	<b>1,213</b>	<b>1,024</b>	<b>200</b>	<b>200</b>	<b>1,224</b>	<b>1,224</b>	<b>1,224</b>	<b>1,224</b>	<b>1,224</b>	<b>1,224</b>	<b>1,224</b>	<b>1,224</b>	<b>1,224</b>	<b>1,224</b>	<b>1,224</b>	<b>1,224</b>	<b>1,224</b>	<b>1,224</b>

# PLAZA BUSINESS PARK PLANNED DEVELOPMENT PERMIT



is to delineate the base of the building and reduce the scale of the large wall masses at the pedestrian areas.

- b. **Pedestrian Scale;** The building massing shall be broken down to the human scale. Walls shall not be just one plane or a flush surface, and should not have the appearance of a big box. Different materials, veneers, mouldings, expansion joints, and color shall be used to divide the walls vertically. Entrances and walkways with coverings such as wood trellises and canvas awnings. The use of large wall masses and oversized elements are inconsistent with the Campus concept and will not be allowed unless the first floor treatment at eye level has greater detail than those above.
- c. **Stone buttresses;** The building shall be divided horizontally with battered faced buttresses. They will be placed at a regular spacing with continuous glazed walls between. The buttresses shall be stone veneered with dry stacked ledger stone, with precast concrete caps
- d. **Windows;** The upper most floor shall have the appearance of continuous glazing, which may be interrupted by small plastered walls above the stone veneered buttresses, but with plaster color to match the glazing color, and different than the main building. Windows frames shall be made of dark bronze anodized aluminum with clear or lightly tinted glass. The Mullions of the storefront glazing shall have front-loaded glass, not centered.
- e. **Tenant entries;** At retail buildings with multiple tenants, the use of columns and different shaped entryways to differentiate the individual tenants is encouraged. Covered walkways, and exterior patios are also encouraged.
- f. **Roofs;** The upper most floor shall have the appearance of a floating roof. The main roof will be mansarded hipped roofs, with standing seam metal roofing. The interior of the building shall have low sloping roofs with parapets, to conceal the roof mounted mechanical equipment. The entries, will have flat parapeted elements that are taller than the sloping roof, with crown moulding and be zinc color as manufactured by ASC Pacific - Skyline Roofing system.
- g. **Awning/vault;** Buildings will have an arch-topped canopy over the main entries. These covered entries are created by curved steel framing, suspended by metal rods, and clad with ACM (aluminum composite material).
- h. **Mechanical screening;** Roof mounted equipment shall be screened from view of the public within the public right-of-way. Parapet walls or roof mounted screen walls shall be similar in material, color, and design of the exterior walls of the building.
- i. **Corporate tenants;** Buildings constructed corporate tenants may deviate from some of the building architectural corporate identity if other required architectural elements are included.

## ARCHITECTURAL THEME

The concept of the Plaza Business Park was influenced by Frank Lloyd Wright, and incorporates a modern theme. The roof will have the appearance of floating, with a continuous glass wall below. The lower floors will have the appearance of being supported by stone veneered buttresses. The main entry will be articulated with a gracefully arched pedestrian cover.

By the use of similar building materials such as plaster, trim, moulding, stone veneers, and a pedestrian urban streetscape there would be a consistency that would bind the complex together. Sample elevations are shown in the appendix 1 at the end of these guidelines.

## CONCEPTUAL BUILDING DESIGN

- a. **Exterior Walls;** Exterior walls are to be cement plastered with smooth steel trowel finish. The plaster color shall be an earth tone or natural colors, unless approved by the Plaza Business Park Committee. The top of the walls must be capped with a cornice moulding, made of foam and plastered, about 14" to 18" tall, similar to the moulding number 100, as manufactured by Bay Foam. The base of the wall shall have ceramic tile, carved stone or furred out plaster wainscot. The purpose

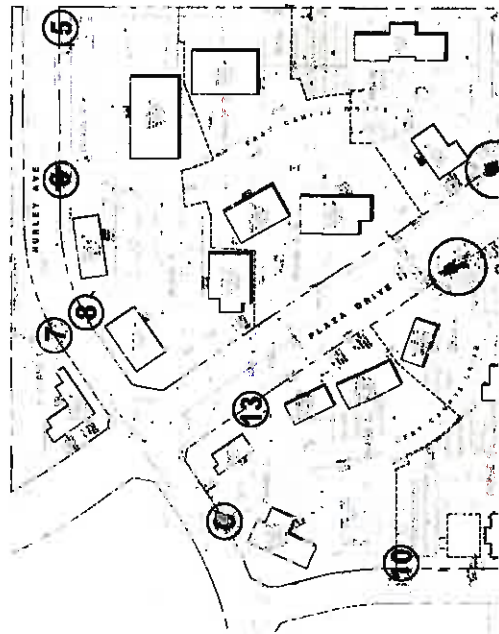


EXHIBIT I

# PLAZA BUSINESS PARK PLANNED DEVELOPMENT PERMIT

FIGURE 1.2-1 CONCEPTUAL SITE PLAN

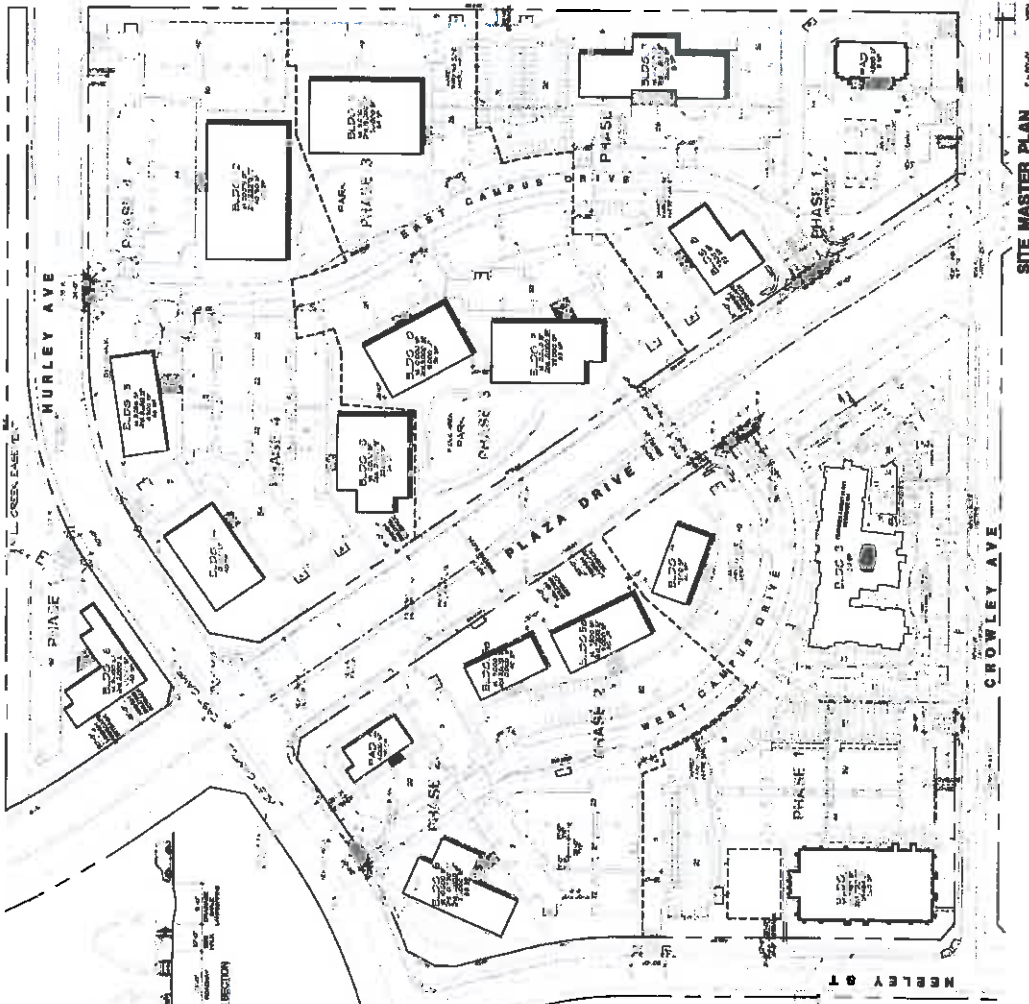


EXHIBIT J

2015 Note: This conceptual site plan replaces the original conceptual site plan, as well as the site plans shown as backgrounds of Figures 3.2-8, 3.2-16, 3.2-18, 5.0-1, 5.1-1, 7.0-1, 8.2-1, and Appendices G and H.

WESTSIDE	USE	Area	Blkg. Area	Parking Area	Pending
APPROX. 1/2 mi. S of Phase 1, D. and Hurley Ave.	Residential	35,000	232	192	
APPROX. 1/2 mi. S of Phase 1, D. and Hurley Ave.	Hotel	65 rooms	91	102	
APPROX. 1/2 mi. S of Phase 1, D. and Hurley Ave.	Restaurant	7,500	75	40	
APPROX. 1/2 mi. S of Phase 1, D. and Hurley Ave.	Subtotal Westside Phase 1	42,500	307	234	
APPROX. 1/2 mi. S of Phase 1, D. and Hurley Ave.	Phase 2 Westside Area				
APPROX. 1/2 mi. S of Phase 1, D. and Hurley Ave.	Rest of	4,000	40	35	
APPROX. 1/2 mi. S of Phase 1, D. and Hurley Ave.	Office	25,000	100	85	
APPROX. 1/2 mi. S of Phase 1, D. and Hurley Ave.	Other	30,000	260	205	
APPROX. 1/2 mi. S of Phase 1, D. and Hurley Ave.	Subtotal Westside Phase 2	59,000	400	325	
APPROX. 1/2 mi. S of Phase 1, D. and Hurley Ave.	TOTAL WESTSIDE	101,500	707	559	
EASTSIDE					
Phase 1 Eastside Area					
Sub/Manufact. Bldg. 1	Gov/Manufact	4,500	15	15	
Sub/Manufact. Bldg. 2	Other	22,000	88	116	
Sub/Manufact. Bldg. 3	Hotel/Hotel	7,500	45	32	
Sub/Manufact. Bldg. 4	Other	2,000	14	10	
Subtotal Eastside Phase 1		36,000	162	173	
Phase 2 Eastside Area					
Sub/Manufact. Bldg. 5	Office	32,000	88	83	
Sub/Manufact. Bldg. 6	Office	15,000	60	56	
Sub/Manufact. Bldg. 7	Office	30,000	120	69	
Subtotal Eastside Phase 2		77,000	268	208	
Phase 3 Eastside Area					
Sub/Manufact. Bldg. 8	Office	48,750	193	183	
Sub/Manufact. Bldg. 9	Office	22,000	55	54	
Sub/Manufact. Bldg. 10	Office	10,000	40	40	
Sub/Manufact. Bldg. 11	Office	16,500	66	66	
Subtotal Eastside Phase 3		97,250	354	343	
Phase 4 Eastside Area					
Sub/Manufact. Bldg. 12	Office	89,250	357	329	
Subtotal Eastside Phase 4		89,250	357	329	
TOTAL EASTSIDE		186,500	719	674	
NORTHWEST					
Phase 1 Northside Area					
Office	Office	10,000	40	40	
Office	Office	30,000	40	40	
TOTAL NORTHWEST		40,000	80	80	
TOTAL ALL		301,750	1,506	1,136	

VICINITY MAP

SITE MASTER PLAN

# PLAZA BUSINESS PARK PLANNED DEVELOPMENT PERMIT

## 3.2 DESIGN STANDARDS

Chapters 17.24 (Business Research Park) and 17.26 (Planned Development) as well as several policies of the Land Use Element require that this Project provide site design standards. The following standards both meet and exceed the requirements established by these guiding documents.

### 3.2.1 ARCHITECTURE

The architectural theme of the Plaza Business Park draws inspiration from the architectural style of Frank Lloyd Wright. Wright's style of architecture was beautifully simple with horizontal rooflines hanging over walls, many windows, use of unfinished materials, overhangs and terraces.

Architecture for all buildings within the Plaza Business Park shall be consistent in terms of roof materials, treatments, and exterior finish materials (e.g., glass, stucco, etc.) so as to provide an appearance of consistency. Table 3.2-1 shows material standards for building exterior finishes and site features. Buildings in both the West Campus area and buildings in the East Campus area shall be of a similar architectural theme. All buildings shall integrate building elements such as dry stack ledgerstone buttresses, stone veneer or similar materials to provide consistency. The architectural renderings in Figures 3.2-1 through 3.2-7 illustrate the intended architectural theme for the types of buildings in the Plaza Business Park. Buildings constructed corporate tenants may deviate from some of the building architectural corporate identity if other required architectural elements are included. The following design guidelines should be used for development within the Plaza Business Park. Detailed Architectural Design Guidelines for the Project are shown in Appendix G.

- A. Heights of structures should relate to the adjacent open spaces to allow maximum sunlight penetration and ventilation.
- B. The height and scale should be compatible with that of surrounding development.
- C. Large, box-like structures should be avoided. Large structures should have varied wall planes. Color arrangement of facades and materials may also be used to decrease the bulkiness of a building. Bland walls are not permitted, and all sides of a building shall be architecturally treated.
- D. The color palette chosen for each building should be light earth tones with pastel and darker colors used as accents on the different architectural elements.
- E. Mechanical equipment may be roof mounted, but shall be screened from public view through use of the roof structure or a special screen. Mechanical equipment should be located below the highest vertical element of the building.
- F. Metal awnings or open vaults are encouraged, and must have eight vertical feet of clearance to the sidewalk. Signs on awnings should be painted on, and be limited to the awning valance or end panels.

Plexiglas, and glossy vinyl awnings are prohibited. Canvases, fabric or seam metal roof awnings consistent with the Plaza Business Park theme may be allowed.

- G. Peripheral signage shall be limited to monument signs. Pole and pylon signs are not permitted. All signage should be in substantial conformance with the Sign Program in Section 3.2.3.
- H. Lighting should be used to provide security and safety for all areas such as parking, loading, shipping, receiving, pathways and working areas. All building entrances should be well lit and have architectural lighting treatment. Reference Section 3.2.4 for additional information on lighting.

### I. Desirable Elements of Project Design

- Richness of surface and texture
- Significant wall articulation (insets, canopies, wing walls, trellises, etc.
- Roof overhangs, arcades and awnings
- Regular or traditional window rhythm
- Articulated mass and bulk
- Significant landscape and hardscape treatments
- Prominent access gateways
- Landscaped and screened parking
- Comprehensive sign program

### J. Undesirable Elements

- Large, blank unarticulated wall surfaces
- Highly reflective surfaces
- Metal or plastic siding on the main facade
- Square "box-like" structures
- Mix of unrelated styles
- Large, out of scale signs with flashy colors
- Visible outdoor storage, loading and equipment areas
- Disjointed parking areas and confusing circulation patterns



# PLAZA BUSINESS PARK PLANNED DEVELOPMENT PERMIT

time equivalent daytime employees.

## 5.2.2 Shared Parking

The City of Visalia Zoning Code provides for shared parking through two means: 1) shared parking agreement, and 2) compatible parking design and reciprocal parking easements. Conditions for allowing shared parking are:

- The buildings and uses shall be within three hundred (300) feet of the nearest point by walking distance within a parking facility to said building or use;
- The applicant shall show there is no conflict in the principal operating hours of the buildings or uses;
- A shared parking agreement between the principal parties and the city shall be entered into which restricts the shared parking area to a parking use only.

The major benefit of shared parking is a reduction in the amount of land devoted to parking, especially in the amount of paved surface, which preserves more land for green space or development density.

The Plaza Business Park will utilize reciprocal parking easements. Because of the variety of uses proposed, the vacancy factor versus needed supply during different times of the day, and the different peak parking demands, a number of the buildings will utilize common parking lots. Reference the site plan in Appendix A for areas specifically utilizing shared parking (denoted by shading).

## 5.3 PUBLIC TRANSIT

The circulation system within the Project site is designed to accommodate public transit services. There are four bus stops planned, one on East Campus Drive, one on West Campus Drive, and one on both sides of Plaza Drive (reference Figure 5.1-1). All bus stops will have cutouts, and special design.

The Visalia City Coach (VCC) has two transit routes in the area, routes 6 and 10. Route 10 takes people from the airport and Greyhound bus depot to the downtown Visalia Transit Center. Route 6 goes through the center of the site on Plaza Drive with final west and east destinations of Goshen and the Visalia Transit Center respectively. There is also an extended evening schedule with stops at the airport and Greyhound bus terminal. It is anticipated that Route 6 will be the route that stops at both bus stops along Plaza Drive within the Project site. The bus stops on East and West Campus Drives are proposed for future shuttle service routes.

TABLE 5.1-1 SHARED PARKING ANALYSIS RESULTS

WYTHRICK	Use	Mid-Area (Incl.)	Building by zoning	Peak parking demand	8:00am - 9:00am		9:00am - 1:00pm		1:00pm - 5:00pm		5:00pm - 8:00pm	
					Employee	Visitor	Employee	Visitor	Employee	Visitor	Employee	Visitor
<b>PHASE 1 VISALIA AREA</b>												
Block 1.1	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Block 1.2	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Block 1.3	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Block 1.4	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Block 1.5	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Subtotal Visalia Phase 1		75,000	1,350	1,026	25,000	7,38	1,026.5	75,600	7,38	75,600	7,38	75,600
<b>PHASE 2 VISALIA AREA</b>												
Block 2.1	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Block 2.2	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Block 2.3	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Block 2.4	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Block 2.5	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Subtotal Visalia Phase 2		75,000	1,350	1,026	25,000	7,38	1,026.5	75,600	7,38	75,600	7,38	75,600
<b>PHASE 3 VISALIA AREA</b>												
Block 3.1	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Block 3.2	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Block 3.3	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Block 3.4	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Block 3.5	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Subtotal Visalia Phase 3		75,000	1,350	1,026	25,000	7,38	1,026.5	75,600	7,38	75,600	7,38	75,600
<b>PHASE 4 VISALIA AREA</b>												
Block 4.1	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Block 4.2	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Block 4.3	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Block 4.4	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Block 4.5	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Subtotal Visalia Phase 4		75,000	1,350	1,026	25,000	7,38	1,026.5	75,600	7,38	75,600	7,38	75,600
<b>TOTAL VISALIA AREA</b>												
Block 1.1-1.5		75,000	1,350	1,026	25,000	7,38	1,026.5	75,600	7,38	75,600	7,38	75,600
Block 2.1-2.5		75,000	1,350	1,026	25,000	7,38	1,026.5	75,600	7,38	75,600	7,38	75,600
Block 3.1-3.5		75,000	1,350	1,026	25,000	7,38	1,026.5	75,600	7,38	75,600	7,38	75,600
Block 4.1-4.5		75,000	1,350	1,026	25,000	7,38	1,026.5	75,600	7,38	75,600	7,38	75,600
Subtotal Visalia		300,000	5,400	4,104	100,000	29,52	4,104.5	302,400	29,52	302,400	29,52	302,400
<b>PHASE 5 VISALIA AREA</b>												
Block 5.1	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Block 5.2	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Block 5.3	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Block 5.4	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Block 5.5	Office	15,000	270	174	5,000	1,46	174.5	15,20	1,46	15,20	1,46	15,20
Subtotal Visalia Phase 5		75,000	1,350	1,026	25,000	7,38	1,026.5	75,600	7,38	75,600	7,38	75,600
<b>TOTAL VISALIA AREA</b>												
Block 1.1-1.5		75,000	1,350	1,026	25,000	7,38	1,026.5	75,600	7,38	75,600	7,38	75,600
Block 2.1-2.5		75,000	1,350	1,026	25,000	7,38	1,026.5	75,600	7,38	75,600	7,38	75,600
Block 3.1-3.5		75,000	1,350	1,026	25,000	7,38	1,026.5	75,600	7,38	75,600	7,38	75,600
Block 4.1-4.5		75,000	1,350	1,026	25,000	7,38	1,026.5	75,600	7,38	75,600	7,38	75,600
Block 5.1-5.5		75,000	1,350	1,026	25,000	7,38	1,026.5	75,600	7,38	75,600	7,38	75,600
Subtotal Visalia		300,000	5,400	4,104	100,000	29,52	4,104.5	302,400	29,52	302,400	29,52	302,400

**PLAZA BUSINESS PARK**  
Planned Development Permit

Visalia, CA

**MANGANO**  
COMPANY INC

**Appendix F**  
**Operational Statements**



# PLAZA BUSINESS PARK PLANNED DEVELOPMENT PERMIT

## **Pad 2 and Building 8 Fast Food – Operational Statement**

Pad 2 and Building 8 shall be for the operation of a quick service restaurant including drive-through facility, featuring the sale of hamburgers, chicken, and Mexican style food.

The restaurant may be open 7 days per week with minimum hours of operation being 6am-11pm Sunday – Thursday, and 6am-12m Friday and Saturday. Hours of operation may be extended to 24 hours at Tenant's option.

A typical Fast Food restaurant is approximately 1,500-3,000 square feet with kitchen and dining area split 50/50 depending on which prototypical layout is built. Depending on the store layout, between 75-90 seats may be incorporated into the dining area. The restaurant may employ 30 – 40 full-time and part-time employees.

## **Gas Station Operational Statement**

Pad 1, within Phase 1, shall be for the operation of a gas station, convenience market and small restaurant. The establishment will be open seven days a week from 4am-midnight depending on traffic flow. The number of employees will range from 12-16.

The building area is approximately 4,500 square feet and the site area is 1.4 acres. Fifteen parking spaces are required and 15 parking spaces will be provided.

## **Retail Project Operational Statement**

Typical hours of operation for said shop tenants may range from 6:00 a.m. to 9:00 p.m. Monday through Saturday, with reduced hours on Sunday. These shop tenants will have some discretion over their individual hours of operation, depending on their specific use. Shop tenants shall not be required to open on national holidays and they may close periodically for the purpose of taking inventory. Tenants shall be required to maintain within and upon their premises an adequate stock of merchandise and trade fixtures and have sufficient personnel to service and supply the usual and ordinary demands and requirements of its customers. The goal of the developer is to ensure that the shopping center is first-class in all respects.

**PLAZA BUSINESS PARK**  
Planned Development Permit

Visalia, CA

**MANGANO**  
COMPANY INC

**Appendix G**  
Architectural Design Guidelines





# PLAZA BUSINESS PARK PLANNED DEVELOPMENT PERMIT

Design Guidelines for:

## Plaza Business Park

North of Hwy 198 in Visalia, CA



A project of Mangano Company, Inc  
29 June 2007

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# PLAZA BUSINESS PARK PLANNED DEVELOPMENT PERMIT

## INTRODUCTION

Plaza Business Park is a mixed-use Business Research Park located on 25 acres at the intersection of Plaza Drive, between Hurley and Crowley Ave, north of State Highway 198, in Visalia, CA. The site master plan incorporates a variety of multi-story and mixed-uses buildings, including office and educational buildings, hotels, restaurants, retail shops and a service station, totaling approximately 328,000 SF of building area. The site has an internal collector street or Campus Drive, with a tree lined pedestrian path, and adjacent Bio-swale retention basin. The two (2) parcels will be developed as one project with four phases of construction.

The buildings will be linked with pedestrian pathways. The masterplan has been created to encourage walking between buildings within the Campus, with visual cues that help identify the walk and make motorists aware of the pedestrian. The East Campus, along Plaza Drive, incorporates a pedestrian park with screen walls, lush landscaping and trellis picnic areas.

The following architectural design standards have been created as a guideline for the development of the commercial shopping and to create continuity between each facet of the project as it is designed and constructed.

## SITE PLANNING CONCEPTS

a. **Building locations and open spaces;** Plaza Business Park is planned on two parcels of land, divided into the West Campus and the East Campus. Careful consideration was given to the appearance and site lines from Plaza Drive and the Campus Drive. Plaza Drive is a heavily traveled arterial circulation element.

A main feature of each campus is a tree lined boulevard. Each campus incorporates shaded pedestrian paths, with trees in grates, which will create a separation from the vehicles and pedestrians. Adjacent to each side, will be a bio-swale storm water retention basin, as a purification, and filtration process as it percolates through the sand and mulch filled basin. These swales, are sprinkled throughout the site, in most landscaped areas.

Another feature that was incorporated into the Campus design is a community gathering area, or a "Campus Park", in conjunction with the pedestrian circulation, with offer a place for meeting, waiting, and relaxation. It is linked into the network of pedestrian paths.

b. **Proposed uses;** The site plan has been designed to accommodate mixed uses, that work well together to enhance the Campus setting. The intent is to allow for buildings with office or educational users that have dining and service facilities within walking distances. The buildings will have unifying architectural styles. Proposed uses include but are not limited to restaurants, gas station with mini mart, retail, hotels, educational and office buildings.

## SPECIAL INTERSECTION CONSIDERATIONS

The vehicular entrances or gateway into Plaza Business Park are a very important aspect of the project. They are the first impression and announce the entrance to the Plaza Business Park. The gateways are bordered with poured-in-place garden walls with raised planters at the main entry points, at the north end of the Campus Drives. The raised planters with colorful year round landscaping, and a back drop of trees will flank each side. The roadway will have patterned and colored concrete paving surface between each center identification sign, at each thematic entry into the Campus.



# PLAZA BUSINESS PARK PLANNED DEVELOPMENT PERMIT

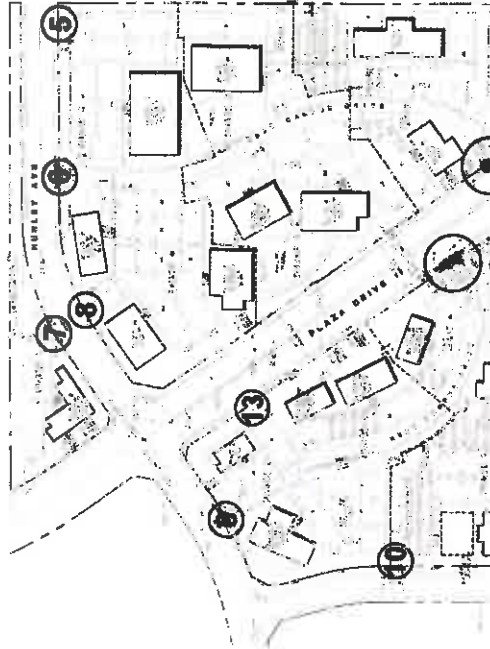
## ARCHITECTURAL THEME

The concept of the Plaza Business Park was influenced by Frank Lloyd Wright, and incorporates a modern theme. The roof will have the appearance of floating, with a continuous glass wall below. The lower floors will have the appearance of being supported by stone veneered buttresses. The main entry will be articulated with a gracefully arched pedestrian cover.

By the use of similar building materials such as plaster, trim, moulding, stone veneers, and a pedestrian urban streetscape there would be a consistency that would bind the complex together. Sample elevations are shown in the appendix 1 at the end of these guidelines.

## CONCEPTUAL BUILDING DESIGN

a. **Exterior Walls;** Exterior walls are to be cement plastered with smooth steel trowel finish. The plaster color shall be an earth tone or natural colors, unless approved by the Plaza Business Park Committee. The top of the walls must be capped with a cornice moulding, made of foam and plastered, about 14" to 18" tall, similar to the moulding number 100, as manufactured by Bay Foam. The base of the wall shall have ceramic tile, carved stone or furred out plaster wainscot. The purpose



is to delineate the base of the building and reduce the scale of the large wall masses at the pedestrian areas.

- b. **Pedestrian Scale;** The building massing shall be broken down to the human scale. Walls shall not be just one plane or a flush surface, and should not have the appearance of a big box. Different materials, veneers, mouldings, expansion joints, and color shall be used to divide the walls vertically. Entrances and walkways with coverings such as wood trellises and canvas awnings. The use of large wall masses and oversized elements are inconsistent with the Campus concept and will not be allowed unless the first floor treatment at eye level has greater detail than those above.
- c. **Stone buttresses;** The building shall be divided horizontally with battered faced buttresses. They will be placed at a regular spacing with continuous glazed walls between. The buttresses shall be stone veneered with dry stacked ledger stone, with precast concrete caps
- d. **Windows;** The upper most floor shall have the appearance of continuous glazing, which may be interrupted by small plastered walls above the stone veneered buttresses, but with plaster color to match the glazing color, and different than the main building. Windows frames shall be made of dark bronze anodized aluminum with clear or lightly tinted glass. The mullions of the storefront glazing shall have front-loaded glass, not centered.
- e. **Tenant entries;** At retail buildings with multiple tenants, the use of columns and different shaped entryways to differentiate the individual tenants is encouraged. Covered walkways, and exterior patios are also encouraged.
- f. **Roofs;** The upper most floor shall have the appearance of a floating roof. The main roof will be mansarded hipped roofs, with standing seam metal roofing. The interior of the building shall have low sloping roofs with parapets, to conceal the roof mounted mechanical equipment. The entries, will have flat parapeted elements that are taller than the sloping roof, with crown moulding and be zinc color as manufactured by ASC Pacific – Skyline Roofing system.
- g. **Awning/vault;** Buildings will have an arch-topped canopy over the main entries. These covered entries are created by curved steel framing, suspended by metal rods, and clad with ACM (aluminum composite material).
- h. **Mechanical screening;** Roof mounted equipment shall be screened from view of the public within the public right-of-way. Parapet walls or roof mounted screen walls shall be similar in material, color, and design of the exterior walls of the building.
- i. **Corporate tenants;** Buildings constructed for corporate tenants may deviate from some, but not all, of the conceptual building design elements listed in a. through g. above if the building design intends to convey a corporate architectural identity. The Plaza Business Park Design Committee shall approve the level of conformance.

# PLAZA BUSINESS PARK PLANNED DEVELOPMENT PERMIT

## PEDESTRIAN URBAN STREETScape

The concept for the Plaza Business Park is that of a "Campus" and therefore needs people places and spaces. This will be achieved through usage of pedestrian walkways through the parking lot. The use of repeating elements that create a pedestrian urban streetscape as defined below and illustrated in the appendix at the end of the guidelines:

- a. **Pedestrian Walkway;** Special paving, lampposts, seating areas, and planters will be used to define the walkways.
- b. **Building Entry Paving;** The entryway in front of the main entry shall be special and unique to the walkway. The entrances may be colored patterned concrete similar to the walkways, or Quarry Tile. The pattern should be unique and individual to the separate tenants within a building and different than the stand-alone buildings, but complement the adjacent materials. The pattern and color must be compatible with the texture of the walkway. Also, special consideration should be given to the adjacent courtyards and eating areas.
- c. **Lampposts;** Ornamental light fixtures and posts will be used at each of the buildings, as specified in Section 3 of the Master Plan. The idea is to use a recurring theme throughout the project and identify the entries of the buildings, different than the parking lot pole lights. Painted metal, see spec's in Master CUP document.
- d. **Wall Mounted lanterns and Sconces;** The use of wall mounted lanterns or sconces shall be encouraged to enhance the feeling of pedestrian scale. Placing them on the building adjacent to the outdoor seating areas will increase the feeling of intimacy versus being in a large-scale business park. The style of light fixture should be compatible with the pole-mounted lanterns.
- e. **Bollards;** Cast iron ornamental bollards with or without lights are encouraged to be used to control the flow of traffic within courtyard and pedestrian walkways adjacent to vehicular traffic. The bollards should match the Lamppost in color and style.
- f. **Tree Grates;** Cast Iron Tree Grates from the Neenah Foundry, Round / square shape 5'-0" wide , painted dark green to match the benches shall be used around the trees on the pedestrian path, and along the Campus Drive.
- g. **Benches;** There shall be a minimum of two per building. There should be an effort to group together the seating area with the planters, litter receptacles and other pedestrian urban streetscape elements.
- h. **Tables and Chairs;** Individual tenants are encouraged to create small clusters of seating along the pedestrian path and in courtyards and plazas that have been designed into the masterplan.
- i. **Planters;** Provide adjacent to main entries and outdoor patios.
- j. **Litter Receptacles and Ash Urns;** Painted metal, see spec's in Master CUP document

## SERVICE AREAS

Service areas, which include but are not limited to trash enclosures, loading docks, and delivery staging areas shall be screened from the view of the general public with doors, walls and landscaping. These walls should be constructed of concrete block, plastered, trimmed at the top with mouldings and colored to match the adjacent building.

The ground mounted mechanical equipment (i.e. condensers), and electrical equipment (i.e. transformers) shall be screened with solid walls and landscaping that is compatible with the building materials and design.

## DESIGN REVIEW AND SUBMITTAL PROCESS

A design review process has been established to ensure that all elements of the development within Village West retail center meet the requirements set forth in these design guidelines. The three separate steps of review are as follows:

- City of Visalia – Site Plan Review (SPR)
- Plaza Business Park Design Committee – Building design and site review
- Plaza Business Park Design Committee – Construction documents conformance review

# PLAZA BUSINESS PARK PLANNED DEVELOPMENT PERMIT

a. **Plaza Business Park Design Committee;** Will consist of the following members:

- Two (2) Developer representatives – approved by current property owners.
- One (1) Architectural representative - Canby Architecture Studio.
- One (1) Landscape Architectural representative – Quad Knopf, Inc.

b. **Conceptual Site Plan Review;** Submit three (3) copies of the conceptual site plan with the location of the building and all site improvements to the Design review committee for approval.

c. **City Site Planning Review;** City of Visalia standard site plan review process, which will review for conformance with these design guidelines as a condition of approval.

d. **Building Design Review;** Submit preliminary design documents to the Plaza Business Park design review committee for approval. Proposed exceptions to building design based on corporate identity requirements of the tenant may be considered during this review.

Submit three (3) sets of Schematic design including:

- Site plan and related site coverage data, including building locations, setbacks, vehicular access and circulation, parking layout, location of service yards and equipment, loading areas and hardscape elements.
- Architectural Floor plan, Exterior Elevations with materials, colors and finishes
- Exterior lighting, location and type of lighting on the building and site lighting within the parking or walks.
- Signage, locations of proposed signs with plans, elevation with color and materials called out for all building or site signage.
- Landscape Planting Plan, showing all landscape elements including trees, shrubs, ground cover and berming.

e. **Construction Document Review;** This review covers checking the final construction documents as submitted to the City Building Department. Provide two sets of construction documents (drawings and specifications) to review for conformance and consistency with the previously approved building design documents.

Architectural Design Standards  
**Plaza Business Park**  
 North of Hwy 198 in Visalia, CA

29 June 2007

## Appendix 1

Examples of building designs that comply with these guidelines



2-story building



1-story building

# PLAZA BUSINESS PARK PLANNED DEVELOPMENT PERMIT



Architectural Design Standards  
**Plaza Business Park**  
 North of Hwy 186 in Visalia, CA

29 June 2007



2-story building



Mini Mart & Gas Station

## Plaza Business Park

North of Hwy 198 in Visalia California

Parcel: \_\_\_\_\_ Date: \_\_\_\_\_  
 Tenant: \_\_\_\_\_  
 Applicant: \_\_\_\_\_

### Building Design Review

1. Submittal Package
  - Site plan – building locations, setbacks, vehicular access and circulation, parking layout, location of service yards and equipment, loading areas and landscape elements.
  - Architectural floor plan & Exterior elevations with materials, colors and finishes
  - Exterior lighting - Location and type of lighting on the building and site lighting within the parking or walks.
  - Signage - locations of proposed signs with plans, elevation with color and materials called out for all building or site signage.
  - Landscape planting plan - showing all landscape elements including trees, shrubs, ground cover and berms
  - Comments:
  
2. Site Planning
  - Building and landscape setbacks
  - Required parking
    - Required:
    - Provided:
  - Landscaping
    - Parking lot
    - Building perimeter

*Plaza Business Park Design Committee*

# PLAZA BUSINESS PARK PLANNED DEVELOPMENT PERMIT



Building Design Review  
**Plaza Business Park**  
North of Hwy 198 in Visalia California

Building Design Review  
**Plaza Business Park**  
North of Hwy 198 in Visalia California

### 3. Architectural Theme

- Exterior walls
- Pedestrian scale
- Colors and accent colors
- Windows
- Tenant entries
- Roofs
- Mechanical screening
- Comments:

### 5. Signage

- Multi-Tenant identification (freestanding) signs
- Building signs
- Vehicular and pedestrian on-site directional signs
- Comments

### 6. Lighting

- Parking lot lighting
- Pedestrian walkway lighting
- Accent lighting
- Building and signage lighting
- Comments

### 7. Suggestions

- 
- 

Reviewed by: \_\_\_\_\_ Date: \_\_\_\_\_

- Approved as submitted
- Revise as noted and proceed
- Resubmit with revisions

### 4. Pedestrian Urban Streetscape

- Walkways
- Building entry paving
- Lampposts
- Wall mounted lanterns and sconces
- Tree grates
- Benches
- Tables and chairs
- Planters
- Litter receptacles and ash urns
- Comments

*Plaza Business Park Design Committee*

*Plaza Business Park Design Committee*

*M&B Bruno Family, LP*

PO Box 1530, Turlock, CA 95381-1530  
Office (209) 667-6455 Fax (209) 216-0046

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May 14, 2015

Brandon Smith  
City of Visalia  
315 E Acequia Avenue  
Visalia, CA 93291

Dear Mr Smith.

As one of the property owners, I am a member of the Plaza Business Park Design Review Committee. On behalf of the Committee, I hereby state that the Committee has reviewed and fully supports the proposed CUP amendments that are being suggested for the Plaza Business Park, including the modifications to the architectural guidelines for corporate tenants and the actual conceptual architecture being proposed by Marriot. This letter of support is intended to fulfill the Design Review Committee's obligations in Appendix G of the planned development permit for the Plaza Business Park.

Thank you,



Tony Bruno  
Plaza Business Park Design Review Committee



CITY OF VISALIA  
315 E. ACEQUIA STREET  
VISALIA, CA 93291

**NOTICE OF A PROPOSED  
NEGATIVE DECLARATION**

Project Title: Conditional Use Permit No. 2007-39

Project Description: Conditional Use Permit No. 2007-39 is a request by Mangano Company, Inc., to allow construction of a phased master-planned development in the BRP (Business Research Park) zone. Approval of the master plan CUP project would approve the general layout and development conditions for the project; individual projects requiring supplemental review (such as a Conditional Use Permit) would be required to secure such permit in the future. Other projects would require site plan review to determine compliance with the master plan. The present application contains two site-specific applications, one for a set of retail buildings on the northwest corner of Crowley and Plaza which includes a drive through facility, and the second for a convenience store and gas station at the northeast corner of Hurley and Plaza. A use permit for an educational facility at the northeast corner of Crowley and Neeley was approved under a previous environmental document.

The project consists of a 29-acre mixed-use development with office, educational, and highway commercial businesses in compliance with Policy 3.6.3 of the Land Use Element of the Visalia General Plan. The development is generally comprised of 210,000 sq. ft. of floor area for office uses, 35,484 sq. sq. ft. of floor area for educational facilities (which were approved under a separate CUP and environmental document), and 82,344 sq. ft. of floor area for highway commercial uses. The project also includes off-site street and infrastructure improvements on portions of Plaza Drive, Hurley Avenue, Crowley Avenue, and Neeley Street inside the City limits. Although the Master Site Plan identifies the location of all future structures, parking stalls, landscaping, etc., it is anticipated that some changes will occur as each planned structure undergoes construction-level design. Therefore, each structure or pad will require City Site Plan Review prior to issuance of a building permit. This will allow the City to determine the structure's consistency with the Master Plan and other City-adopted policies and development standards. It will also allow the City to track the Project's progress against the adopted square footage and parking totals. This review will be performed by the Community Development Director, a designee, or the Site Plan Review Committee.

This Project will be the first master planned BRP development in Visalia to incorporate sustainable design features that will provide a basis for structures to be certified under the "Leadership in Energy and Environmental Design (LEED)" green building rating system. The Master Plan will include the following features prescribed in the LEED program: 1) avoidance of prime farmland, or key habitat areas; 2) location of the project within ¼ mile of bus stops, and integration of transit into the project design; 3) providing bicycle facilities, including on-site bicycle racks and an off-street Class I bike lane; 4) preferential parking for van pools, car pools and low emission vehicles; 5) implementing on-site bio-swale storm water management system to retain up to 90% (2-day, 24-hour storm) of stormwater; 6) performance standards for containing errant light; 7) use of trees and highly reflective materials to reduce heat buildup; 8) preferred use of local building materials; 9) shared parking; and, 10) reduction in on-site water consumption by 50 percent through the use selected plant materials and building features. The Master Plan's features provide 13 points towards eligibility for LEED certification of an individual building with 13 additional points needed from building features needed for basic LEED certification. The remaining points for certification will be based on each owner's and tenant's preferences and needs with regard to building systems, building types, special features, etc. that are most appropriate to the individual use.

As prescribed by the City's BRP regulations, the project will incorporate sites for larger scale office uses, highway

commercial uses, and business service and employee service uses, all in an integrated high-amenity campus environment. The word "campus" is intended to imply a highly landscaped area, with buildings defining open spaces and common activity areas, and with parking relegated to interior or back areas so that the primary streetscape (whether along Plaza Drive, Hurley, Crowley, Neeley, East Campus or West Campus Drives) is oriented to building activities and forms. These open spaces are to accommodate multiple uses; in the case of Plaza Business Park, they are used for active and passive open space, storm water retention and ground water recharge, ornamental landscaping, and to visually separate parking areas. Overall, the Plaza Business Park contains approximately 35 percent open space and landscaping. According to the Visalia General Plan, this BRP is to accommodate high quality, larger scale office uses, as well as highway commercial uses. Consequently, sites in the Plaza Business Park are designated for hotels, a service station, sit-down and fast food restaurants, a food court, a location for business and employee services (small package handling and shipping, copying, banking, and personal services), day care, and related uses. Architecture has been developed to provide thematic consistency throughout, with detailed, high quality "prairie" style architecture, with such details carried through to site planning accents and street furniture such as signage, pergolas, benches, bus shelters, and others. The intent is to provide the region with larger scale office and highway commercial structures that will exceed the appearance and design of anything now in the region.

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Project Location: The project site is located on the east and west sides of Plaza Drive between Crowley Avenue and Hurley Avenue, and includes the northeast corner of Plaza Drive and Hurley Avenue in the City of Visalia, County of Tulare, State of California. (APNs 081-020-067 & 081-020-070)

Contact Person: Brandon Smith, AICP, Senior Planner Phone: (559) 713-4636

Time and Place of Public Hearing: A public hearing will be held before the Planning Commission on November 27, 2007 at 7:00 p.m. in the City Hall Council Chambers located at 707 West Acequia Avenue, Visalia, California

Pursuant to City Ordinance No. 2388, the Environmental Coordinator of the City of Visalia has reviewed the proposed project described herein and has found that it will not result in any significant effect upon the environment because of the reasons listed below:

Reasons for Negative Declaration: Initial Study No. 2007-96 has not identified any significant, adverse environmental impacts that may occur because of the project that were not adequately described in a previous environmental document, and there are no impacts peculiar to the project that will increase the severity of impacts or create new impacts that were not covered in these documents. Copies of the initial study and other documents relating to the subject project may be examined by interested parties at the Planning Division in City Hall East, at 315 East Acequia Avenue, Visalia, California.

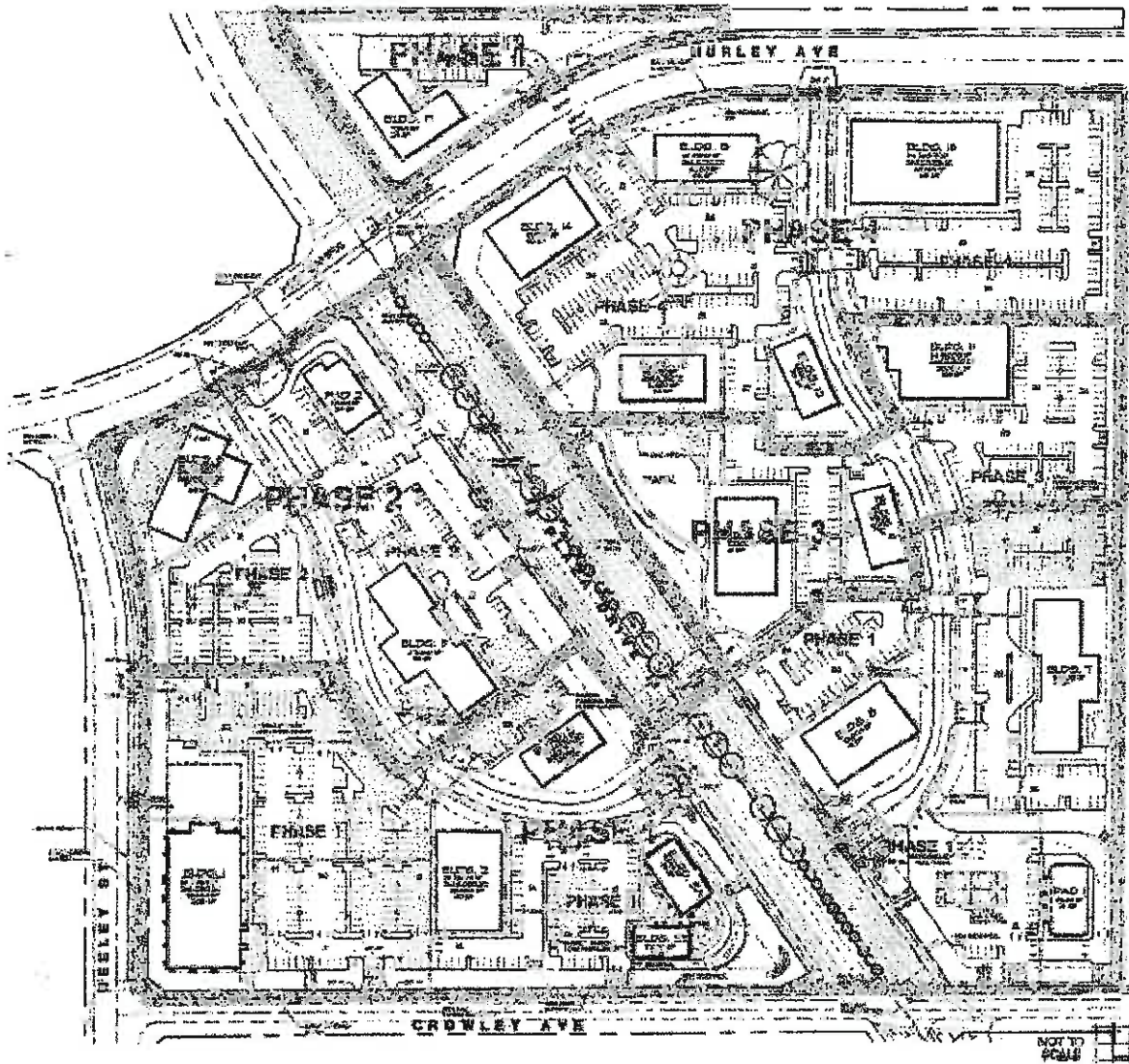


Figure 1

Comments on this proposed Negative Declaration will be accepted between October 26, 2007 and November 26, 2007.

Date: October 25, 2007

Signed: \_\_\_\_\_

*Paul Scheibel*  
Paul Scheibel, AICP  
Environmental Coordinator  
City of Visalia

## NEGATIVE DECLARATION

**Project Title:** Conditional Use Permit No. 2007-39

**Project Description:** Conditional Use Permit No. 2007-39 is a request by Mangano Company, Inc., to allow construction of a phased master-planned development in the BRP (Business Research Park) zone. Approval of the master plan CUP project would approve the general layout and development conditions for the project; individual projects requiring supplemental review (such as a Conditional Use Permit) would be required to secure such permit in the future. Other projects would require site plan review to determine compliance with the master plan. The present application contains two site-specific applications, one for a set of retail buildings on the northwest corner of Crowley and Plaza which includes a drive through facility, and the second for a convenience store and gas station at the northeast corner of Hurley and Plaza. A use permit for an educational facility at the northeast corner of Crowley and Neeley was approved under a previous environmental document.

The project consists of a 29-acre mixed-use development with office, educational, and highway commercial businesses in compliance with Policy 3.6.3 of the Land Use Element of the Visalia General Plan. The development is generally comprised of 210,000 sq. ft. of floor area for office uses, 35,484 sq. ft. of floor area for educational facilities (which were approved under a separate CUP and environmental document), and 82,344 sq. ft. of floor area for highway commercial uses. The project also includes off-site street and infrastructure improvements on portions of Plaza Drive, Hurley Avenue, Crowley Avenue, and Neeley Street inside the City limits. Although the Master Site Plan identifies the location of all future structures, parking stalls, landscaping, etc., it is anticipated that some changes will occur as each planned structure undergoes construction-level design. Therefore, each structure or pad will require City Site Plan Review prior to issuance of a building permit. This will allow the City to determine the structure's consistency with the Master Plan and other City-adopted policies and development standards. It will also allow the City to track the Project's progress against the adopted square footage and parking totals. This review will be performed by the Community Development Director, a designee, or the Site Plan Review Committee.

This Project will be the first master planned BRP development in Visalia to incorporate sustainable design features that will provide a basis for structures to be certified under the "Leadership in Energy and Environmental Design (LEED)" green building rating system. The Master Plan will include the following features prescribed in the LEED program: 1) avoidance of prime farmland, or key habitat areas; 2) location of the project within ¼ mile of bus stops, and integration of transit into the project design; 3) providing bicycle facilities, including on-site bicycle racks and an off-street Class I bike lane; 4) preferential parking for van pools, car pools and low emission vehicles; 5) implementing on-site bio-swale storm water management system to retain up to 90% (2-day, 24-hour storm) of stormwater; 6) performance standards for containing errant light; 7) use of trees and highly reflective materials to reduce heat buildup; 8) preferred use of local building materials; 9) shared parking; and, 10) reduction in on-site water consumption by 50 percent through the use selected plant materials and building features. The Master Plan's features provide 13 points towards eligibility for LEED certification of an individual building with 13 additional points needed from building features needed for basic LEED certification. The remaining points for certification will be based on each owner's and tenant's preferences and needs with regard to building systems, building types, special features, etc. that are most appropriate to the individual use.

As prescribed by the City's BRP regulations, the project will incorporate sites for larger scale office uses, highway commercial uses, and business service and employee service uses, all in an integrated high-amenity campus environment. The word "campus" is intended to imply a highly landscaped area, with buildings defining open spaces and common activity areas, and with parking relegated to interior or back areas so that the primary streetscape (whether along Plaza Drive, Hurley, Crowley, Neeley, East Campus or West Campus Drives) is oriented to building activities and forms. These open spaces are to accommodate multiple uses; in the case of Plaza Business Park, they are used for active and passive open space, storm water retention and ground water recharge, ornamental landscaping, and to visually separate parking areas. Overall, the Plaza Business Park contains approximately 35 percent open space and landscaping. According to the Visalia General Plan, this BRP is to accommodate high quality, larger scale office uses, as well as highway commercial uses. Consequently, sites in the Plaza Business Park are designated for hotels, a service station, sit-down and fast food restaurants, a food court, a location for business and employee services (small package handling and

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**Project Facts:** Refer to Initial Study for project facts, plans and policies, discussion of environmental effects and mitigation measures, and determination of significant effect.

**Attachments:**

Initial Study	(X)
Environmental Checklist	(X)
Maps	(X)
Mitigation Measures	( )
Letters	( )

**DECLARATION OF NO SIGNIFICANT EFFECT:**

This project will not have a significant effect on the environment for the following reasons:

- (a) The project does not have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.
- (b) The project does not have the potential to achieve short-term environmental goals to the disadvantage of long-term environmental goals.
- (c) The project does not have environmental effects which are individually limited but cumulatively considerable. Cumulatively considerable means that the incremental effects of an individual project are considerable when viewed in connection with the effects of past projects, the effects of other current

projects, and the effects of probable future projects.

- (d) The environmental effects of the project will not cause substantial adverse effects on human beings, either directly or indirectly.

The proposed project may have one or more "potentially significant impact" or "potentially significant unless mitigated" or "significant cumulative impact" on the environment, but these effects have been adequately analyzed in the Visalia Land Use Element Update EIR (SCH 2001060) pursuant to applicable legal standards, and the applicable mitigations in that EIR have been included in the project to eliminate or reduce in severity, to the maximum degree feasible. An additional Statement of Overriding Considerations will be made (as Provided by the ruling in the *Communities for a Better Environment v. California Resources Agency* (2002) 103 Cal. App 5th 98), to acknowledge the cumulative air quality and agricultural conversion impacts reported in SCH 2001060.

This Negative Declaration has been prepared by the City of Visalia Planning Division in accordance with the California Environmental Quality Act of 1970, as amended and local CEQA Guidelines. Determinations have been made as to adequacy by City staff, as required by Section 15204 of CEQA. A copy of the referenced attachments, local CEQA Guidelines and state CEQA Guidelines and statutes may be obtained from the City of Visalia Planning Division Staff during normal business hours.

APPROVED

By:   
Paul Scheibel, AICP  
Environmental Coordinator

Date Approved: October 25, 2007

Review Period: 32 days

(October 26, 2007 to November 26, 2007)

## INITIAL STUDY

### I. GENERAL

**A. Description of the Project:** Conditional Use Permit No. 2007-39 is a request by Mangano Company, Inc., to allow construction of a phased master-planned development in the BRP (Business Research Park) zone. The project consists of a 29-acre mixed-use development with office, educational, and highway commercial businesses in compliance with Policy 3.6.3 of the Land Use Element of the Visalia General Plan. The development is generally comprised of 210,000 sq. ft. of floor area for office uses, 35,484 sq. ft. of floor area for educational facilities, and 82,344 sq. ft. of floor area for highway commercial uses. The project also includes off-site street and infrastructure improvements on portions of Plaza Drive, Hurley Avenue, Crowley Avenue, and Neeley Street inside the City limits.

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This Project will be the first master planned BRP development in Visalia to incorporate sustainable design features that will provide a basis for structures to be certified under the "Leadership in Energy and Environmental Design (LEED)" green building rating system. The Master Plan will include the following features prescribed in the LEED program: 1) avoidance of prime farmland, or key habitat areas; 2) location of the project within ¼ mile of bus stops, and integration of transit into the project design; 3) providing bicycle facilities, including on-site bicycle racks and an off-street Class I bike lane; 4) preferential parking for van pools, car pools and low emission vehicles; 5) implementing on-site bio-swale storm water management system to retain up to 90% (2-day, 24-hour storm) of stormwater; 6) performance standards for containing errant light; 7) use of trees and highly reflective materials to reduce heat buildup; 8) preferred use of local building materials; 9) shared parking; and, 10) reduction in on-site water consumption by 50 percent through the use selected plant materials and building features. The Master Plan's features provide 13 points towards eligibility for LEED certification of an individual building with 13 additional points needed from building features needed for basic LEED certification. The remaining points for certification will be based on each owner's and tenant's preferences and needs with regard to building systems, building types, special features, etc. that are most appropriate to the individual use.

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**B. Identification of the Environmental Setting:** The site contains fallow vacant land and existing streets. There are no structures or improvements on the site. Physical features which bound the site include Neeley Street to the west, Crowley Avenue to the south, Hurley Avenue west of Plaza Drive to the north, and Mill Creek east of Plaza Drive to the North. Plaza Drive, a two-lane arterial status road, splits the project site between the west and east sides. A single oak tree is located in the northeast vicinity of the site.

The surrounding zoning and land uses are as follows:

- North: I-L (Light Industrial) – Hurley Avenue, Mill Creek, warehouse and distribution centers
- South: BRP (Business Research Park) – Crowley Avenue, vacant land, single-family residences
- East: BRP (Business Research Park) – Vacant land
- West: C-S (Service Commercial) – Neeley Street, automobile dealerships, vacant land designated for use of automobile dealerships.

Fire and police protection services, street maintenance of public streets, refuse collection, and wastewater treatment will be provided by the City of Visalia upon development of the area.

**C. Plans and Policies:** Policies applicable to the project are contained in the General Plan's Land Use Element (LUE) and Circulation Element (CE), Airport Master Plan, West Visalia Specific Plan, and County Airport Land Use Compatibility Plan. The Land Use Element designates the site as Business Research Park with the intent to develop it for larger scale offices and high quality Highway Commercial Uses. The site is zoned BRP (Business Research Park).

## **II. ENVIRONMENTAL IMPACTS**

No Significant environmental impacts have been identified for this project which have not been adequately analyzed in previous environmental documents. Air Quality and Farmland conversion were identified as



significant cumulative impacts in the 1991 Visalia Land Use Element Update EIR (SCH 2001060). Since adoption of the 1991 Visalia Land Use Element Update EIR, the City and other agencies have adopted additional regulation to address community development, including development fees to ensure police, fire and other public facilities, groundwater mitigation, and others. The San Joaquin Valley APCD has adopted the Indirect Source Rule 9510 to levy fees for mitigation of indirect pollution sources (primarily vehicles), and the project includes the implementation of both required and optional PM10 control measures to further mitigate air quality impacts. The project complies with these rules. These new rules will decrease the severity of air quality effects identified in the Land Use Element EIR. Agricultural impacts continue to be reduced in severity through the City's growth phasing policies in Section 6.2 of the Land Use Element. The City of Visalia Land Use Element and Zoning Ordinance contain additional land use mitigation measures that are designed to reduce/eliminate impacts to a level of non-significance.

### **III. MITIGATION MEASURES**

There are no mitigation measures required specifically to this project. The Project Design Features of the Plaza Business Park Master Plan and existing policies and regulations mitigate impacts to the greatest degree feasible.

City Council Resolution 91-105 adopted and certified the Visalia Land Use Element Update EIR and contained mitigation measures to eliminate or substantially lessen the impacts of growth in the community. Those mitigation measures are included herein by reference. In addition, the Visalia Zoning Ordinance contains guidelines, criteria, and requirements for the mitigation of potential impacts related to light/glare, visibility screening, noise, and traffic/parking to eliminate and/or reduce potential impacts to a level of non-significance. The City's impact fee programs for public safety, public services, groundwater preservation, stormwater management, and others, adequately mitigate public service and infrastructure impacts of the proposed project.

With specific regard to traffic, Measure R, the City's traffic impact fee and the State STIP program are funding comprehensive improvements to Plaza Drive between State Route 198 and Goshen Avenue, with final design occurring in 2007/08 and construction occurring in 2008/09. The project, as proposed, will install portions of Plaza Drive, Crowley, Hurley and Neeley. The proposed improvements and project improvements meet the mitigation requirements under the Visalia Land Use Element and the Land Use Element EIR. As required by Land Use Element Update EIR Mitigation Measure 4.3-10 (and Policies 7.2.18 and 5.6.16), capacity either exists now, or are funded and programmed. This also provides compliance with Circulation Element Policy 5.1.4 which indicates that "financing for required offsite improvements" needs to be available if there is a possibility that road congestion will exceeds LOS D.

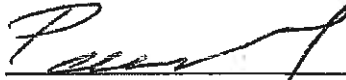
### **IV. PROJECT COMPATIBILITY WITH EXISTING ZONES AND PLANS**

The project is compatible with the General Plan and Zoning Ordinance as the project relates to surrounding properties, airport compatibility criteria adopted by the City and Tulare County, and the Visalia General Plan.

**V. NAME OF PERSON WHO PREPARED INITIAL STUDY**



Brandon Smith, AICP  
Project Planner



Paul Scheibel, AICP  
Environmental Coordinator

**INITIAL STUDY  
 ENVIRONMENTAL CHECKLIST**

<b>Name of Proposal</b>	Conditional Use Permi. No. 2007-39	
<b>NAME OF PROPONENT:</b>	Mangano Company, Inc	<b>NAME OF AGENT:</b> N/A
<b>Address of Proponent:</b>	1005 W. Demaree Street	<b>Address of Agent:</b>
	Visalia, CA 93291	
<b>Telephone Number:</b>	(559) 732-2200	<b>Telephone Number:</b>
<b>Date of Review</b>	October 18, 2007	<b>Lead Agency:</b> City of Visalia

The following checklist is used to determine if the proposed project could potentially have a significant effect on the environment. Explanations and information regarding each question follow the checklist.

- 1 = No Impact                      2 = Less Than Significant Impact  
 3 = Less Than Significant Impact with Mitigation Incorporated      4 = Potentially Significant Impact

**I. AESTHETICS**

Would the project:

- 1 a) Have a substantial adverse effect on a scenic vista?
- 1 b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?
- 2 c) Substantially degrade the existing visual character or quality of the site and its surroundings?
- 2 d) Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?

**II. AGRICULTURAL RESOURCES**

Would the project:

- 2 a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency to non-agricultural use?
- 1 b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?
- 1 c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to nonagricultural use?

**III. AIR QUALITY**

Would the project:

- 2 a) Conflict with or obstruct implementation of the applicable air quality plan?
- 2 b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?
- 2 c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?
- 1 d) Expose sensitive receptors to substantial pollutant concentrations?
- 1 e) Create objectionable odors affecting a substantial number of people?

**IV. BIOLOGICAL RESOURCES**

Would the project:

- 1 a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?
- 2 b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?
- 1 c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?
- 1 d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?
- 2 e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?
- 1 f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?

**V. CULTURAL RESOURCES**

Would the project:

- 1 a) Cause a substantial adverse change in the significance of a historical resource as defined in Public Resources Code Section 15064.5?
- 1 b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Public Resources Code Section 15064.5?
- 1 c) Directly or indirectly destroy a unique paleontological

resource or site, or unique geologic feature?

- 1 d) Disturb any human remains, including those interred outside of formal cemeteries?

**VI. GEOLOGY AND SOILS**

Would the project:

- a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:
- 1 i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?
- 1 ii) Strong seismic ground shaking?
- 1 iii) Seismic-related ground failure, including liquefaction?
- 1 iv) Landslides?
- 2 b) Result in substantial soil erosion or loss of topsoil?
- 1 c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?
- 1 d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?

**VII. HAZARDOUS AND HAZARDOUS MATERIALS**

Would the project:

- 2 a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?
- 1 b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?
- 1 c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?
- 1 d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?
- 2 e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?
- 1 f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?
- 1 g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?
- 1 h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

**VIII. HYDROLOGY AND WATER QUALITY**

Would the project:

- 2 a) Violate any water quality standards of waste discharge requirements?
- 1 b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?
- 1 c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?
- 1 d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?
- 2 e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?
- 1 f) Otherwise substantially degrade water quality?
- 1 g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?
- 1 h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?
- 1 i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?
- 1 j) Inundation by seiche, tsunami, or mudflow?

**IX. LAND USE AND PLANNING**

Would the project:

- 1 a) Physically divide an established community?
- 2 b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?
- 1 c) Conflict with any applicable habitat conservation plan or natural community conservation plan?

**X. MINERAL RESOURCES**

Would the project:

- 1 a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?
- 1 b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?

**XI. NOISE**

Would the project:

- 2 a) Cause exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?
- 1 b) Cause exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?

- 2 c) Cause a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?
- 2 d) Cause a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?
- 1 e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?
- 1 f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

**XII. POPULATION AND HOUSING**

Would the project:

- 1 a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?
- 1 b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?
- 1 c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?

**XIII. PUBLIC SERVICES**

Would the project:

- 1 a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:
  - 1 i) Fire protection?
  - 1 ii) Police protection?
  - 1 iii) Schools?
  - 1 iv) Parks?
  - 1 v) Other public facilities?

**XIV. RECREATION**

Would the project:

- 1 a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?
- 1 b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

**XV. TRANSPORTATION / TRAFFIC**

Would the project:

- 2 a) Cause an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system (i.e., result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)?
- 2 b) Exceed, either individually or cumulatively, a level of service

standard established by the county congestion management agency for designated roads or highways?

- 1 c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?
- 1 d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?
- 1 e) Result in inadequate emergency access?
- 1 f) Result in inadequate parking capacity?

**XVI. UTILITIES AND SERVICE SYSTEMS**

Would the project:

- 1 a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?
- 2 b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?
- 2 c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?
- 2 d) Have sufficient water supplies available to service the project from existing entitlements and resources, or are new or expanded entitlements needed?
- 1 e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?
- 1 f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?
- 1 g) Comply with federal, state, and local statutes and regulations related to solid waste?

**XVII. MANDATORY FINDINGS OF SIGNIFICANCE**

Would the project:

- 2 a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?
- 2 b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?
- 2 c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly.
- 2 d) Does the project have the potential to achieve short-term environmental goals to the disadvantage of long-term environmental goals?

## DISCUSSION OF ENVIRONMENTAL EVALUATION

### I. AESTHETICS

- a. The Sierra Nevada mountain range is a scenic vista that can be seen from Visalia on clear days. The buildings heights for the Master Plan range from 1 story to 3-4 stories. Photosimulations contained in the Master Plan submittals indicate that scenic vistas will not be lost because of the project. The project therefore does not adversely affect the view of this vista.
- b. The project is not located within the vicinity of a scenic state highway that is designated or might be designed by the State Department of Transportation. There is one oak tree on the project site that will be protected during construction and preserved in accordance with the City's adopted Oak Tree Preservation Ordinance (Visalia Municipal Code Chapter 12.24), and the City's *Standard Specifications for Building Around Valley Oaks*.
- c. The proposed project proposes a high degree of visual character through the use of a high quality, consistent architectural theme, landscaping, building facades, signage, and other amenities. The project elements will be integrated into a interconnected unit
- d. The City's development standards and project design standards limit on-site lighting and the amount of errant lighting at individual property lines and public rights of way for any new sources of light to 0.25 lumens. This standard shall be demonstrated on building permit applications submitted in association with the development.

### II. AGRICULTURAL RESOURCES

- a. The site is not currently zoned for agriculture use and has not been under agricultural production in the past five years. The Farmland Mapping and Monitoring Program of the California Resources Agency has designated farmland in and around Visalia as Irrigated Farmland on the map of Important Farmlands of Tulare County. The predominant soil types (Tagus loam with some Grangeville sandy loam) have a land capability classification of Class I as irrigated land and Class IV(c) as non-irrigated land. The site size and configuration, adjacent land uses, and other factors severely limit the site's usefulness for commercial agriculture.

The site is approximately 30 acres in total, but is bisected by Plaza Drive into an 18- and a 12-acre parcel, with limited ability to combine these properties with other adjacent agricultural properties for form an economically farmable unit. Both of these properties are below the minimum parcel size for consideration as Prime Agricultural land under the Williamson Act. Further, there is no direct access to surface irrigation supplies or onsite groundwater irrigation wells, further limiting the potential for agricultural production.

This site was evaluated in the EIR for the City of Visalia Land Use Element Update for conversion to urban use,

and the City has already adopted urban development boundaries as mitigation measures for conversion of prime agricultural land.

- b. The subject site does not conflict with existing zoning for agricultural use or a Williamson Act contract, and the site is not eligible for inclusion under its current configuration and planned land use.
- c. The project will not involve other changes in the existing environment which due to their location or nature, could result in conversion of Farmland to nonagricultural use. The site is currently fallow and is not in "agricultural use," and is not considered to be economically viable farmland.

### III. AIR QUALITY

- a. The project in itself does not disrupt implementation of the San Joaquin Valley Air Pollution Control District's (SJVAPCD) air quality plan.

Development of the project will be subject to the SJVAPCD Indirect Source Review (Rule 9510) procedures that became effective on March 1, 2006. The applicant will be required to obtain permits demonstrating compliance with Rule 9510, or payment of mitigation fees to the SJVAPCD.

- b. The project could result in short-term air quality impacts related to dust generation due to grading activities. The project is required to adhere to requirements administered by the SJVAPCD to reduce emissions to a level of compliance consistent with the District's grading regulations. The project includes Leadership in Energy and Environmental Design (LEED) features that will reduce energy consumption, and required and optional PM10 control measures.

The short and long-term impacts on ozone precursors and PM10 were completed as part of the applicant's SJVAPCD Indirect Source Review (Rule 9510) compliance application. According to the application, the project will produce less than 10 tons per year of NOx, and less than 4.5 tons per year of PM10 with the projects design features and performance standards. Both of these levels are below project-level significance thresholds established by SJVAPCD. To further mitigate these impacts the applicant will be required to obtain permits demonstrating compliance with Rule 9510, and payment of mitigation fees to the SJVAPCD.

- c. The San Joaquin Valley is a region that is already at non-attainment for PM10 and Ozone. This site was evaluated in the EIR for the City of Visalia Land Use Element Update for conversion into urban development. The project could result in a short-term air quality impact due to construction and will adhere to the standard and optional PM10 control measures specified by the SJVAPCD to reduce emissions to a level of compliance consistent with the District's regulations. The applicant will also have to pay mitigation fees for construction and road construction impacts.

Development of the project will be subject to the SJVAPCD Indirect Source Review (Rule 9510) procedures that became effective on March 1, 2006. The applicant will be required to obtain permits demonstrating compliance with Rule 9510, or payment of mitigation fees to the SJVAPCD.

- d. The project does not propose any land uses or will not directly accommodate for any known land uses that generate substantial pollutant concentrations. There is also no potential for CO hotspots in the vicinity of the project since the proposed street improvements will ensure a level of service at intersections, and individual lane movements that will be below the thresholds set by SJVAPCD for consideration of CO impacts.
- e. The project does not propose any land uses that generate objectionable odors nor will it directly accommodate any known land uses that generate objectionable odors.

#### IV. BIOLOGICAL RESOURCES

- a. The site has no known species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service. City-wide biological resources were evaluated in the EIR for the City of Visalia Land Use Element Update for conversion to urban use. A site inspection conducted by Planning Division Staff on September 26, 2007, and a professional biologist from Quad Knopf, Inc. confirmed this conclusion.
- b. The project area is adjacent to a portion of Mill Creek, a riparian habitat area. The City adopted a Conservation, Open Space, Parks, and Recreation Element of the General Plan that contains standards that preserve and enhance the Mill Creek corridor.
- c. The project is not located within or adjacent to federally protected wetlands as defined by Section 404 of the Clean Water Act.
- d. The project will facilitate the development of a mixed-use business park. This development would not act as a barrier to animal movement since there are no known species east or west of the project site. Mill Creek is a man-made and man-maintained irrigation ditch to the north of the project site which provides the only east west open space through the general vicinity. This corridor will not be affected by the project, and east-west migration will not be hindered. This site was evaluated in the General Plan EIR for the City of Visalia Land Use Element Update for conversion to urban use. Review of the site plan and an on-site inspection conducted by Planning Division staff on September 26, 2007 confirmed this conclusion.
- e. There is one oak tree on the project site that will be protected during construction and preserved in accordance with Chapter 12.24 of the City's Municipal Code (VMC) regarding Oak Tree Presentation and its Standard Specifications for Building Around Valley Oaks.
- e. There are no local or regional habitat conservation plans for the area.

#### V. CULTURAL RESOURCES

- a. There are no known historical resources located within the project area. According to City mitigation measures, if some potentially historical or cultural resource is unearthed during development all work should cease within 50 feet of the find until a qualified professional archaeologist can evaluate the finding and make necessary mitigation recommendations.
- b. There are no known archaeological resources located within the project area. If some archaeological resource is unearthed during development all work should cease within 50 feet of the find until a qualified professional archaeologist can evaluate the finding and make necessary mitigation recommendations.
- c. There are no known unique paleontological resources or geologic features located within the project area.
- d. There are no known human remains buried in the project vicinity. If human remains are unearthed during development all work should cease within 50 feet of the find until the proper authorities are notified and a qualified professional archaeologist can evaluate the finding and make any necessary mitigation recommendations.

#### VI. GEOLOGY AND SOILS

- a. The State Geologist has not issued an Alquist-Priolo Earthquake Fault Map for Tulare County. According to the *Geotechnical Engineering Investigation for the Plaza Drive Project* prepared by Central Valley Testing, Inc., structures on the site are not at risk from strong ground shaking or seismic hazards if designed in accordance with standard engineering, building code requirements, and the site development recommendations contained in the geotech study. The project area is not located on or near any known earthquake fault lines. Therefore, the project will not expose people or structures to potential substantial adverse impacts involving earthquakes.
- b. The development of this site will require movement of topsoil, both for drainage and to comply with structural design requirements. Compliance with standard City grading recommendations and preparation of a SWPP will mitigate any impacts.
- c. The project area is relatively flat and the underlying soil is not known to be unstable. Soils in the Visalia area have few limitations with regard to development. Due to low clay content and limited topographic relief, soils in the Visalia area generally have low expansion characteristics. Compliance with design recommendations in the *Geotechnical Engineering Investigation for the Plaza Drive Project* prepared by Central Valley Testing, Inc will mitigate any impacts.
- d. Due to low clay content, soils in the Visalia area have an expansion index of 0-20, which is defined as very low potential expansion. Such soils are characterized as "non-expansive sandy silts" and are not included in Table 18-1-B of the UBC.

**VII. HAZARDS AND HAZARDOUS MATERIALS**

- a. The gasoline station/convenience store will require regular deliveries from gasoline suppliers. Such activities are strictly regulated by the Department of Toxic Substances Control and the SJVAPCD to limit impacts to adjoining land uses. Compliance with these regulations will address any impacts. This will not create a significant hazard.
- b. A *Phase 1 Environmental Site Assessment* was prepared for the project by Central Valley Testing, Inc. which concluded that there are no obvious conditions that would indicate that any disposal or production of any hazardous materials on or around the subject site. There was also not evidence of continued pesticide use, oil and gas production or storage, or other issues. The Geotech study concluded that no further study was necessary to make a determination that there is no reasonably foreseeable condition or incident involving the project that could result in release of hazardous materials into the environment.
- c. The project does not involve the handling of hazardous materials.
- d. The project area does not include any sites listed as hazardous materials sites pursuant to Government Code Section 65692.5.
- e. The City's adopted Airport Master Plan shows the project area located in Zone C, known as the Common Traffic Pattern. This plan contains safety policies which guide future development for sites located within this zone. There are no restrictions for the proposed type of development within Zone C. The County Airport Land Use Compatibility Plan places the project in Zone H. The project complies with the requirements of Zone H.  

The project area is located within 2 miles of a public airport, but will not result in a safety hazard for people residing or working in the project area if developed under the policies referenced above.
- f. The project area is not within the vicinity of any private airstrip.
- g. The project will not interfere with the implementation of any adopted emergency response plan or evacuation plan.
- h. There are no wildlands within or near the project area.

**VIII. HYDROLOGY AND WATER QUALITY**

- a. The project will not violate any water quality standards. A Master Plan has been prepared for the project which addresses storm drainage by identifying additions and improvements to storm drain lines required to accommodate the proposed on-site improvements. The storm drain line will feed into an off-site storm water retention basin located west of the project site. These improvements will be consistent with the adopted City Storm Drain Master Plan. In addition to storm drain lines, bio swales will be integrated into the landscaping on the site and will serve as locations for detention, disposal, and purification of storm water.
- b. The project will not substantially deplete groundwater

supplies in the project vicinity. The project is within Cal Water's jurisdiction and is within their current Urban Water Management Plan. The primary source of water is groundwater. Existing water mains in the vicinity will be extended to serve the subject site. Building sites will be served by water laterals for domestic, irrigation, and fire protection use. The project will also be required to pay a groundwater impact fee for the purpose of funding upstream and downstream ground water recharge basins, and for importing surface water supplies as feasible.

- c. The project will not result in substantial erosion on- or off-site.
- d. The project will not substantially alter the existing drainage pattern of the site or area, alter the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site.
- e. Planned improvements to the site include additions of storm drain lines and the creation of bio swales. The bio swales will contain storm water up to a 2-day, 24-hour intensity; storm water in addition to that will be conveyed to a storm drainage basin to the west. The basin will be expanded in accordance with the approved Master Plan for Storm Drainage prepared for the project and the immediate vicinity. Therefore, the project will not create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff.
- f. There are no reasonably foreseeable reasons why the project would result in the degradation of water quality.
- g. The project area is located within Zone X500. Sites designated as being within Zone X500 are areas outside of 100-year floods.
- h. The project area is located within Zone X500. Sites designated as being within Zone X500 are areas outside of 100-year floods. The proposed project would not impede or redirect flood flows.
- i. The project would not expose people or structures to risks from failure of levee or dam. The project is located downstream from the Terminus Dam; in the case of dam failure, there will be 4 hours of warning to evacuate the site.
- j. Seiche and tsunami impacts do not occur in the Visalia area. The site is relatively flat, so there will be no impacts related to mudflow.

**IX. LAND USE AND PLANNING**

- a. The project will not physically divide an established community.
- b. The site is within the current Urban Development Boundaries of the City of Visalia. The City of Visalia designates the area for urban development. This site was evaluated in the EIR for the City of Visalia Land Use Element Update for conversion to urban use. The project analysis contained in the Master Plan demonstrates compliance with applicable city policies and regulations.,



Chapter 17.24 of the Visalia Zoning Ordinance provides the purpose and intent of the zone along with development standards, and requires that all development within the zone be part of an approved master plan. A Master Plan document has been prepared for the proposed project in order to fulfill this requirement. The proposed project is consistent with all other elements of the General Plan.

- c. There are no conservation plans in the city of Visalia.

**X. MINERAL RESOURCES**

- a. No mineral areas of regional or statewide importance exist within the Visalia area.
- b. There are no mineral resource recovery sites delineated in the Visalia area.

**XI. NOISE**

- a. The project will result in noise generation typical of urban development. There will be noise generated by traffic along designated arterial and collector streets. The City's standards for setbacks and/or construction of walls along major streets will reduce noise levels to a level that is less than significant.

Traffic and related noise impacts from the proposed project will occur along Neeley Street north of Crowley Avenue, Crowley Avenue east of Neeley Street, Hurley Avenue east of Neeley Street, and Plaza Drive south and north of Crowley Avenue. The nearest residential units are at Neeley and Camp Drive. No project traffic is expected to impact Neeley south of Crowley, and none of the streets impacted by increased traffic contain noise sensitive land uses as defined by the Noise Element of the General Plan, and there will therefore not be any significant noise or ground borne vibration impacts from the project.

- b. The project will not result in ground-borne vibration or ground-borne noise levels. There are no existing uses near the project area that create ground-borne vibration or ground-borne noise levels.

Traffic and related noise impacts from the proposed project will occur along Neeley Street north of Crowley Avenue, Crowley Avenue east of Neeley Street, Hurley Avenue east of Neeley Street, and Plaza Drive south and north of Crowley Avenue. None of these streets contain noise sensitive land uses as defined by the Noise Element of the General Plan, and there will therefore not be any significant noise or ground borne vibration impacts from the project.

- c. Noise levels will increase beyond current levels as a result of the project. These levels will be typical of noise levels associated with urban development. Therefore, the increase is less than significant.

Traffic and related noise impacts from the proposed project will occur along Neeley Street north of Crowley Avenue, Crowley Avenue east of Neeley Street, Hurley Avenue east of Neeley Street, and Plaza Drive south and north of Crowley Avenue. None of these streets contain

noise sensitive land uses as defined by the Noise Element of the General Plan, and there will therefore not be any significant noise or ground borne vibration impacts from the project.

- d. Noise levels will increase during the construction of the project but shall remain within the limits defined by the City Noise Ordinance.

Traffic and related noise impacts from the proposed project will occur along Neeley Street north of Crowley Avenue, Crowley Avenue east of Neeley Street, Hurley Avenue east of Neeley Street, and Plaza Drive south and north of Crowley Avenue. None of these streets contain noise sensitive land uses as defined by the Noise Element of the General Plan, and there will therefore not be any significant noise or ground borne vibration impacts from the project.

- e. The project area is within 2 miles of a public airport. The study for the Draft Visalia Municipal Airport Master Plan has developed noise contours for areas surrounding the airport which represent standard noise levels as defined by the City Noise Element. The California State Aeronautics Law establishes a CNEL of 65 dB as the maximum acceptable noise exposure for residential or other noise sensitive land uses. The project area is outside of any airport noise contour area. Although this project is located in Zone C, the location of the site is far enough away so that aircraft will be at a substantial altitude while traversing the property. The project will not expose people residing or working in the project area to excessive noise levels.

- f. There is no private airstrip near the project area.

**XII. POPULATION AND HOUSING**

- a. The project will not directly induce substantial population growth that is in excess of that planned in the General Plan.
- b. Development of the site will not displace any housing on the site.
- c. Development of the site will not displace any people on the site.

**XIII. PUBLIC SERVICES**

- a.
  - i. Current fire protection facilities are located at the Visalia Airport and can adequately serve the site without a need for alteration. Impact fees will be paid to mitigate the project's proportionate impact on these facilities.
  - ii. Current police protection facilities can adequately serve the site without a need for alteration. Impact fees will be paid to mitigate the project's proportionate impact on these facilities.
  - iii. The project will not directly generate new students. In order to address indirect impacts, the project will be required to pay non-residential impact fees. These fees are considered to be conclusive mitigation for indirect impacts. Current school facilities can adequately serve

the site without a need for alteration.

- iv. The project does not include any residential units that will create a need for additional park facilities. Current park and recreation facilities can adequately serve the site without a need for alteration.
- v. Other public facilities can adequately serve the site without a need for alteration.

#### XIV. RECREATION

- a. The project will not directly generate new residents and will therefore not directly increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated. Residential developments indirectly associated with on-site employment will pay impact fees to mitigate impacts.
- b. The proposed project does not include recreational facilities or require the construction or expansion of recreational facilities within the area that might have an adverse physical effect on the environment.

#### XV. TRANSPORTATION AND TRAFFIC

- a. Both the Land Use Element Program EIR and the Circulation Element EIR identify the planned buildout of roadways in the project vicinity as adequate to meet the circulation needs for the respective land use designation identified in the area. The Master Plan document prepared for the project has identified improvements to streets inside and surrounding of the project area which, upon buildout to the standards identified in the Master Plan, will bring the portions of these roadways in compliance with the improvements identified in the Circulation Element for this area. In addition, implementation of the Circulation Element's policies and payment of appropriate impact fees will mitigate impacts that may occur.

A traffic impact study has been prepared to assess traffic impacts associated with the project (ref. Traffic Impact Study, Plaza Business Park. TPG Consulting, August 2007). The study concludes that with the proposed project and the improvements proposed therein, intersections are projected to operate at or above the City of Visalia and/or Caltrans' adopted level of service standard. Improvements consisting of the signalization of the Plaza Drive / Crowley Avenue intersection, buildout of streets to standards identified by the Circulation Element, and the restriping and widening of turn lanes for streets have been identified for the project site, and will be implemented as part of the project, or by the City as part of an adopted CIP. These improvements are consistent with the improvements identified in the City of Visalia Circulation Element.

Ultimately, the project will cause average annual daily traffic levels to increase in the vicinity, though not beyond levels identified in the Circulation Element Update, or in excess of that which can be handled by existing or planned circulation facilities. Therefore, the increase in

traffic spurred by the project will be less than significant.

- b. The project plans for the development of this site are in accordance with the City's, County's and TCAG's plans for Plaza Drive.
- c. The project will not result in nor require a need to change air traffic patterns.
- d. Upon development of the site, roads will be designed and constructed to City standards so that there will be no increased hazards.
- e. Upon development of the site, roads will be constructed to City standards that will provide adequate emergency access.
- f. The project will be required to meet the City's parking requirements for development as required in the City's Zoning Ordinance. A parking analysis provided with the project indicated that the amount of parking provided will meet City standards.

#### XVI. UTILITIES AND SERVICE SYSTEMS

- a. Wastewater treatment capacity is 22.00 MGD. Current usage is 13.00 MGD or 59% of capacity. Project effluent generation is estimated to be 0.003 MGD, which will not significantly affect the capacity of the treatment plant.
- b. The project will require extensions to sanitary sewer lines in Crowley Avenue and Hurley Avenue and the extension of sanitary sewer mains. Usage of existing lines in the project vicinity and the extension of service from other lines in the project vicinity are consistent with the City Sewer Master Plan. Visalia's wastewater treatment plant has more than sufficient capacity to accommodate impacts associated with the proposed project. These improvements will not cause significant environmental impacts.
- c. The project will facilitate development which will include the construction of storm drain lines in the project vicinity which will deliver storm water run-off to an off-site basin. The construction of these lines are consistent with the City Storm Drain Master Plan. These improvements will be in existing roadways and not cause significant environmental impacts.
- d. The project is contained within California Water Service Company's territory for its local Urban Water Management Plan, and the water demand quantities are in conformance with that plan. Consequently, it has determined that there are sufficient short and long-term water supplies to support the site, and that services can be extended to the site.
- e. The City has determined that there is adequate capacity existing to serve the site's projected wastewater treatment demands at the City wastewater treatment plant.
- f. Current solid waste disposal facilities can adequately serve the site without a need for alteration.
- g. The project should be able to meet the applicable regulations for solid waste.

**XVII. MANDATORY FINDINGS OF SIGNIFICANCE**

- a. This site was evaluated in the EIR for the City of Visalia Land Use Element Update for conversion to urban use. The City adopted mitigation measures for conversion to urban development. Where effects were still determined to be significant a statement of overriding considerations was made.

While the project will mitigate impacts to the greatest degree feasible, there are still cumulative, significant impacts that cannot be mitigated, as found in the LUE Update EIR, for air quality and agricultural preservation. As required by the ruling in *Communities for a Better Environment v. California Resources Agency* (2002) 103 Cal.App.4th 98), an additional Statement of Overriding Considerations will be made for the subject project to acknowledge the cumulative impacts contained in the SCH 2001060, as they relate to the project.

- b. This site was evaluated in the EIR for the City of Visalia Land Use Element Update for conversion to urban use. The City adopted mitigation measures for conversion to urban development. Where effects were still determined to be significant a statement of overriding considerations was made.

While the project will mitigate impacts to the greatest degree feasible, there are still cumulative, significant impacts that cannot be mitigated, as found in the LUE Update EIR, for air quality and agricultural preservation. As required by the ruling in *Communities for a Better Environment v. California Resources Agency* (2002) 103 Cal.App.4th 98), an additional Statement of Overriding Considerations will be made for the subject project to acknowledge the cumulative impacts contained in the SCH 2001060, as they relate to the project.

- c. This site was evaluated in the EIR for the City of Visalia Land Use Element Update for conversion to urban use. The City adopted mitigation measures for conversion to urban development. Where effects were still determined to be significant a statement of overriding considerations was made.

While the project will mitigate impacts to the greatest degree feasible, there are still cumulative, significant impacts that cannot be mitigated, as found in the LUE Update EIR, for air quality and agricultural preservation. As required by the ruling in *Communities for a Better Environment v. California Resources Agency* (2002) 103 Cal.App.4th 98), an additional Statement of Overriding Considerations will be made for the subject project to acknowledge the cumulative impacts contained in the SCH 2001060, as they relate to the project.

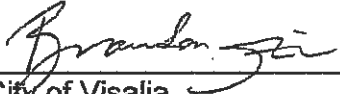
- d. This site was evaluated in the EIR for the City of Visalia Land Use Element Update for conversion to urban use. The City adopted mitigation measures for conversion to urban development. Since the project is in complete conformance with the General Plan and zoning, it will support long term community goals and objectives.

While the project will mitigate impacts to the greatest degree feasible, there are still cumulative, significant impacts that cannot be mitigated, as found in the LUE Update EIR, for air quality and agricultural preservation. As required by the ruling in *Communities for a Better Environment v. California Resources Agency* (2002) 103 Cal.App.4th 98), an additional Statement of Overriding Considerations will be made for the subject project to acknowledge the cumulative impacts contained in the SCH 2001060, as they relate to the project.

## DETERMINATION OF REQUIRED ENVIRONMENTAL DOCUMENT

On the basis of this initial evaluation:

- I find that the proposed project **COULD NOT** have a significant effect on the environment. A **NEGATIVE DECLARATION WILL BE PREPARED**.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described on the attached sheet have been added to the project. A **MITIGATED NEGATIVE DECLARATION WILL BE PREPARED**.
- I find the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required
- I find that as a result of the proposed project no new effects could occur, or new mitigation measures would be required that have not been addressed within the scope of the Program Environmental Impact Report (SCH No. 90020160). The Environmental Impact Report prepared for the City of Visalia Land Use Element (Amendment No. 90-04) was certified by Resolution NO. 91-105 adopted on September 3, 1991 and the Program Environmental Impact Report will be utilized. A supplemental Statement of Overriding Considerations will be adopted.

  
\_\_\_\_\_  
City of Visalia

October 25, 2007  
\_\_\_\_\_  
Date

### References Cited Available at City Hall:

1. Plaza Business Park Master Plan. Mangano Company. September 2007.
2. Plaza Business Park ISR Application and Urbemis Calculations. Quad Knopf. September 2007.
3. Standard Specifications for Building Around Valley Oaks. City of Visalia. August 2007.
4. Geotechnical Engineering Investigation. Central Valley Testing. August 2007.
5. Phase 1 Environmental Site Assessment. Central Valley Testing. August 2007.
6. Optional and Required PM10 Regulations. SJVAPCD. 2007.
7. Tulare County Airport Land Use Compatibility Plan. Tulare County.
8. Visalia Airport Master Plan. City of Visalia. 2005.
9. Visalia Land Use Element. City of Visalia. 1991.
10. Visalia Circulation Element. City of Visalia. 2001.
11. West Visalia Specific Plan. City of Visalia. 1987.
12. Traffic Impact Study, Plaza Business Park. TPG Consulting, August 2007
13. City of Visalia Capital Improvement Plan. City of Visalia. July 2007.
14. California Environmental Quality Act
15. California Environmental Quality Act Guidelines
16. City of Visalia CEQA Guidelines



MEETING DATE February 4, 2015  
SITE PLAN NO. 15-004  
PARCEL MAP NO.  
SUBDIVISION  
LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

**RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.

During site plan design/policy concerns were identified, schedule a meeting with  
 Planning  Engineering prior to resubmittal plans for Site Plan Review.

Solid Waste  Parks and Recreation  Fire Dept.

**REVISE AND PROCEED** (see below)

A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.

Submit plans for a building permit between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday.

Your plans must be reviewed by:

CITY COUNCIL

REDEVELOPMENT

PLANNING COMMISSION

PARK/RECREATION

HISTORIC PRESERVATION

OTHER \_\_\_\_\_

**ADDITIONAL COMMENTS** \_\_\_\_\_

If you have any questions or comments, please call Jason Huckleberry at (559) 713-4259.

**BUILDING/DEVELOPMENT PLAN  
REQUIREMENTS  
ENGINEERING DIVISION**

- Jason Huckleberry 713-4259
- Adrian Rubalcaba 713-4271

ITEM NO: 4    DATE: FEBRUARY 4, 2015

SITE PLAN NO.: 15-004 RESUBMITTAL  
 PROJECT TITLE: RESIDENCE INN  
 DESCRIPTION: NEW 4-STORY 96-KEY RESIDENCE INN ON 2.63 ACRES (BRP ZONED) (AEX) (DISTRICT G)

APPLICANT: KEIKE STEVE  
 PROP OWNER: M & B BRUNO FAMILY LP  
 LOCATION: 205 N PLAZA DR  
 APN: 081-160-003

**SITE PLAN REVIEW COMMENTS**

- REQUIREMENTS (indicated by checked boxes)
  - Install curb return with ramp, with \_\_\_\_\_ radius;
  - install curb;     gutter
  - Drive approach size:     Use radius return;
  - Sidewalk \_\_\_\_\_ width;  parkway width at \_\_\_\_\_
  - Repair and/or replace any sidewalk across the public street frontage(s) of the subject site that has become uneven, cracked or damaged and may constitute a tripping hazard.
  - Replace any curb and gutter across the public street frontage(s) of the subject site that has become uneven and has created areas where water can stand.
  - Right-of-way dedication required. A title report is required for verification of ownership.
  - Deed required prior to issuing building permit;
  - City Encroachment Permit Required.
- Insurance certificate with general & auto liability (\$1 million each) and workers compensation (\$1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit. Contact Encroachment Tech. at 713-4414.
- CalTrans Encroachment Permit required     CalTrans comments required prior to issuing building permit. Contacts: David Deel (Planning) 488-4088;
  - Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map.
  - Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.
  - Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades.  Prepared by registered civil engineer or project architect.  All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a)  directed to the City's existing storm drainage system; b)  directed to a permanent on-site basin; or c)  directed to a temporary on-site basin is required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: \_\_\_\_\_ : \_\_\_\_\_ maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance.
  - Grading permit is required for clearing and earthwork performed prior to issuance of the building permit.
  - Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter = .020%, V-gutter = 0.25%)
  - Show adjacent property grade elevations. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.
  - All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications.
  - Traffic indexes per city standards.

- Install street striping as required by the City Engineer.
- Install landscape curbing (typical at parking lot planters).
- Minimum paving section for parking: 2" asphalt concrete paving over 4" Class 2 Agg. Base, or 4" concrete pavement over 2" sand.
- Design Paving section to traffic index of 5.0 min. for solid waste truck travel path.
- Provide "R" value tests: each at
- Written comments required from ditch company      Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditch; Jerry Hill 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
- Access required on ditch bank, 15' minimum     Provide      wide riparian dedication from top of bank.
- Show Oak trees with drip lines and adjacent grade elevations.     Protect Oak trees during construction in accordance with City requirements.
- A permit is required to remove oak trees. Contact Joel Hooyer at 713-4295 for an Oak tree evaluation or permit to remove.     A pre-construction conference is required.
- Relocate existing utility poles and/or facilities.
- Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- Subject to existing Reimbursement Agreement to reimburse prior developer.
- Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
- If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
- If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.
- Comply with prior comments.     Resubmit with additional information.     Redesign required.

**Additional Comments:**

***REFER TO PREVIOUS SITE PLAN COMMENTS, IN ADDITION TO THE FOLLOWING:***

***1. The site plan does not depict correct property line along Plaza Dr. The City owns right-of-way 10' from face of curb, consisting (in this area) of a 4' parkway and 6' sidewalk. The site plan design indicates a setback from an arbitrary line, further from existing property line, which is advantageous to overall parking lot layout; redesign is not necessary.***

**SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES**

Site Plan No: **15-004 RESUBMITTAL**

Date: **2/4/2015**

**Summary of applicable Development Impact Fees to be collected at the time of building permit:  
(Preliminary estimate only! Final fees will be based on the development fee schedule in effect at the time of building permit issuance.)**

(Fee Schedule Date: **8/15/2014**)  
(Project type for fee rates: **HOTEL**)

Existing uses may qualify for credits on Development Impact Fees.

<u>FEE ITEM</u>	<u>FEE RATE</u>
<input type="checkbox"/> Groundwater Overdraft Mitigation Fee	
<input type="checkbox"/> Transportation Impact Fee	
<input type="checkbox"/> Trunk Line Capacity Fee	
<input type="checkbox"/> Sewer Front Foot Fee	
<input type="checkbox"/> Storm Drain Acq/Dev Fee	
<input type="checkbox"/> Park Acq/Dev Fee	
<input type="checkbox"/> Northeast Specific Plan Fees	
<input type="checkbox"/> Waterways Acquisition Fee	
<input type="checkbox"/> Public Safety Impact Fee: Police	
<input type="checkbox"/> Public Safety Impact Fee: Fire	
<input type="checkbox"/> Public Facility Impact Fee	
<input type="checkbox"/> Parking In-Lieu	

**Reimbursement:**

- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.



**Adrian Rubalcaba**







**Site Plan Review Comments For:**  
Visalia Fire Department  
Kurtis A. Brown,  
Fire Marshal  
707 W Acequia  
Visalia, CA 93291  
559-713-4261 office  
559-713-4808 fax

ITEM NO: 4      DATE: February 04, 2015  
SITE PLAN NO:      SPR15004  
PROJECT TITLE:      RESIDENCE INN  
DESCRIPTION:      NEW 4-STORY 96-KEY RESIDENCE INN ON 2.63  
ACRES (BRP ZONED) (AE/X) (DISTRICT G)  
APPLICANT:      K'EKE STEVE  
PROP OWNER:      M & B BRJNO FAMILY LP  
LOCATION:      205 N PLAZA DR  
APN(S):      081-160-003

**The following comments are applicable when checked:**

- The Site Plan Review comments are issued as general overview of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2013 California Fire Code (CFC), 2013 California Building Codes (CBC) and City of Visalia Municipal Codes.
- All fire detection, alarm, and extinguishing systems in existing buildings shall be maintained in an operative condition at all times and shall be replaced or repaired where defective. If building has been vacant for a significant amount of time, the fire detection, alarm, and or extinguishing systems may need to be evaluated by a licensed professional. *2013 CFC 901.6*
- No fire protection items required for parcel map or lot line adjustment; however, any future projects will be subject to fire & life safety requirements including fire protection.
- More information is needed before a Site Plan Review can be conducted. Please submit plans with more detail. Please include information on

**General:**

- Address numbers must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least four inches (4") high and shall be of a color to contrast with their background. If multiple addresses served are by a common driveway, the range of numbers shall be posted at the roadway/driveway. *2013 CFC 505.1*
- A Knox Box key lock system is required. Where access to or within a structure or an area is restricted because of secured openings (doors and/or gates) or for fire-fighting purposes, a key box is to be installed in an approved location. (Note: Knox boxes shall be ordered using an approved application that can be found at Fire Administration Office located at 707 W. Acequia Ave. Please allow adequate time for shipping and installation.) *2013 CFC 506.1*
- All hardware on exit doors shall comply with Chapter 10 of the 2013 California Fire Code. This includes all locks, latches, bolt locks, and panic and fire exit hardware.
- Provide Illuminated exit signs and emergency lighting through-out building. *2013 CFC 1011*
- When portion of the building are built upon a property line or in close proximity to another structure the exterior wall shall be constructed as to comply *2013 California Building Code Table 508.4 and Table 602.*

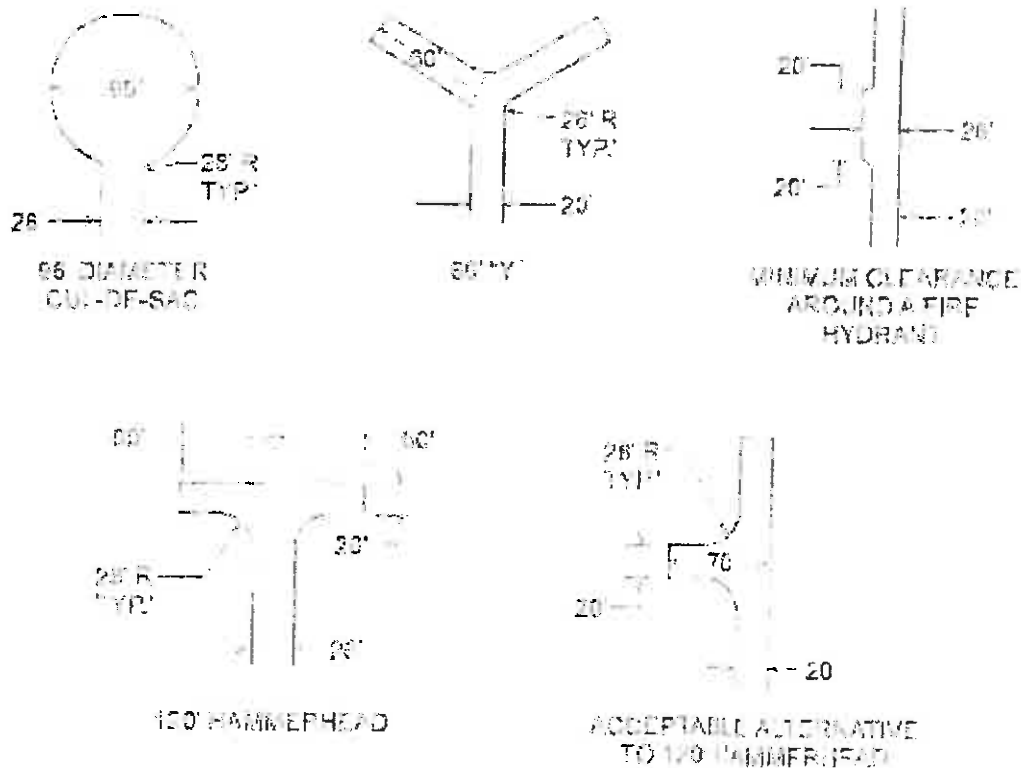
- Commercial dumpsters with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system. *2013 CFC 304 3.3*
- If your business handles hazardous material in amounts that exceed the Maximum Allowable Quantities listed on *Table 5003.1.1(1), 5003.1.1(2), 5003.1.1(3) and 5003.1.1(4) of the 2013 California Fire Code*, you are required to submit an emergency response plan to the Tulare County Health Department. Also you shall indicate the quantities on your building plans and prior to the building final inspection a copy of your emergency response plan and Safety Data Sheets shall be submitted to the Visalia Fire Department.

Water Supply:

- Construction and demolition sites shall have an approved water supply for fire protection, either temporary or permanent, and shall be made available as soon as combustible material arrives on the site. *2013 CFC 3312*
- No additional fire hydrants are required for this project; however, additional fire hydrants may be required for any future development.
- There is/are fire hydrants required for this project. (See marked plans for fire hydrant locations.)
- Fire hydrant spacing shall comply with the following requirements:  
 The exact location of fire hydrants and final decision as to the number of fire hydrants shall be at the discretion of the fire marshal, fire chief and/or their designee. *Visalia Municipal Code 16.36.120 & 16.36.120(8)*
  - Single-family residential developments shall be provided with fire hydrants every six hundred (600) lineal feet of residential frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
  - Multi-family, zero lot line clearance, mobile home park or condominium developments shall be provided with fire hydrants every four hundred (400) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
  - Multi-family or condominium developments with one hundred (100) percent coverage fire sprinkler systems shall be provided with fire hydrants every six (600) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
  - Commercial or industrial developments shall be provided with fire hydrants every three hundred (300) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
  - Commercial or industrial developments with one hundred (100) percent coverage fire sprinkler systems shall be provided with fire hydrants every five hundred (500) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.
- When any portion of a building is in excess of one hundred fifty (150) feet from a water supply on a public street there shall be provided on site fire hydrants and water mains capable of supplying the required fire flow. *Visalia Municipal Code 16.36.120(6)*

**Emergency Access:**

- A construction access road is required and shall be a minimum of 20 feet wide. The road shall be an all-weather driving surface accessible prior to and during construction. The access road shall be capable of holding 75,000 pound piece of fire apparatus, and shall provide access to within 100 feet of temporary or permanent fire department connections. *2013 CFC 3310*
- Buildings or portions of buildings or facilities with a vertical distance between the grade plans and the highest roof surface exceed 30 feet shall provide an approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders. Access routes shall be located within a minimum of 15 feet and maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building. *2013 CFC D105*
- A fire apparatus access roads shall be provide and must comply with the CFC and extend to within 150 of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Minimum turning radius for emergency fire apparatus shall be 20 feet inside radius and 43 feet outside radius. *2013 CFC 503.1.1*
- Fire apparatus access roads in excess of 150 feet and dead end shall be provided with a turnaround. Length 151-500 feet shall be a minimum of 26 feet in width and have a 120 foot Hammerhead, 60-foot "Y" or 96-Foot diameter Cul-de-sac in accordance with Figure D103.1 of the 2013 CFC. Length 501-750 feet shall be 26 feet in width and have a 120 foot Hammerhead, 60-foot "Y" or 96-Foot diameter Cul-de-sac in accordance with Figure D103.1 of the 2013 CFC.



**FIGURE D103.1  
DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUND**

- Gates on access roads shall be a minimum width of 20 feet and shall comply with the following:  
*2013 CFC D103.5*
- Typical chain and lock shall be the type that can be cut with a common bolt cutter, or the developer may opt to provide a Knox Box key lock system.
  - Gates shall be of the swinging or sliding type.
  - Gates shall allow manual operation by one person. (power outages)
  - Gates shall be maintained in an operative condition at all times.
  - Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. (Note: Knox boxes shall be ordered using an approved application that can be found at Fire Administration Office located at 707 W. Acequia Ave. Please allow adequate time for shipping and installation.)


- In any and all new One- or two-family dwellings residential developments regardless of the number of units, street width shall be a minimum of 36 feet from curb to curb to allow fire department access and to permit parking on both sides of the street. A minimum of 20 feet shall be provided for developments that don't allow parking on the streets. *2013 CFC D107.2*

Fire Protection Systems:

- An automatic fire sprinkler system will be required for this building. Also a fire hydrant is required within 50 feet of the Fire Department Connection (FDC). *2013 CFC 903 and Visalia Municipal Code 16.36.120(7)*
- Commercial cooking appliances and domestic cooking appliances used for commercial purposes that produces grease laden vapors shall be provided with a Type 1 Hood, in accordance with the California Mechanical Code, and an automatic fire extinguishing system. *2013 CFC 904.11 & 609.2*

Special Comments:



  
\_\_\_\_\_  
Maribel Vasquez  
Fire Inspector

**City of Visalia**  
**Building: Site Plan**  
**Review Comments**

ITEM NO: 4                      DATE: February 04, 2015  
 SITE PLAN NO:                SPR15004  
 PROJECT TITLE:              RESIDENCE INN  
 DESCRIPTION:                NEW 4-STORY 96-KEY RESIDENCE INN ON 2.63  
                                          ACRES (BRP ZONED) (AE/X) (DISTRICT G)  
 APPLICANT:                    KIEKE STEVE  
 PROP OWNER:                 M & B BRUNO FAMILY LP  
 LOCATION:                    205 N PLAZA DR.  
 APN(S):                        031-160-003

NOTE: These are general comments and DO NOT constitute a complete plan check for your specific project. Please refer to the applicable California Code & local ordinance for additional requirements.

- A building permit will be required. *For information call (559) 713-4444*
- Submit 5 sets of professionally prepared plans and 2 sets of calculations. (Small Tenant Improvements)
- Submit 5 sets of plans prepared by an architect or engineer. Must comply with 2013 California Building Code Sec. 2308 for conventional light-frame construction or submit 2 sets of engineered calculations.
- Indicate abandoned wells, septic systems and excavations on construction plans.
- You are responsible to ensure compliance with the following checked items:**
- Meet State and Federal requirements for accessibility for persons with disabilities.
- A path of travel, parking and common area must comply with requirements for access for persons with disabilities.
- All accessible units required to be adaptable for persons with disabilities.
- Maintain sound transmission control between units minimum of 50 STC.
- Maintain fire-resistive requirements at property lines.
- A demolition permit & deposit is required. *For information call (559) 713-4444*
- Obtain required permits from San Joaquin Valley Air Pollution Board. *For information call (559) 230-6000*
- Plans must be approved by the Tulare County Health Department. *For information call (559) 624-8011*
- Project is located in flood zone \_\_\_\_\_ \*  Hazardous materials report.
- Arrange for an on-site inspection. (fee for inspection \$146.40) *For information call (559) 713-4444*
- School Development fees. Commercial \$0.47 per square foot. Residential \$2.97 per square foot.
- Park Development fee \$ \_\_\_\_\_ per unit collected with building permit.
- Existing address must be changed to be consistent with proposed address. *For information call (559) 713-4320*
- Acceptable as submitted.
- No comments at this time.

Additional comments: SEE Previous Comments

G. Ferrero  
 Signature

CITY OF VISALIA  
SOLID WASTE DIVISION  
336 N. BEN MADDOX  
VISALIA CA. 93291  
713 - 4500

COMMERCIAL BIN SERVICE

ITEM NO: 4      DATE: February 04, 2015  
SITE PLAN NO:      SPR15004  
PROJECT TITLE:      RESIDENCE INN  
DESCRIPTION:      NEW 4-STORY 96-KEY RESIDENCE INN ON 2.63  
ACRES (BRP ZONED) (AE/X) (DISTRICT G)  
APPLICANT:      KIEKE STEVE  
PROP OWNER:      M & B BRUNO FAMILY LP  
LOCATION:      205 N PLAZA DR  
APN(S):      081-160-003

- No comments.
- Same comments as as
- Revisions required prior to submitting final plans. See comments below.
- Resubmittal required. See comments below.
- Customer responsible for all cardboard and other bulky recyclables to be broken down before disposing of in recycle containers.
- ALL refuse enclosures must be R-3 or R-4
- Customer must provide combination or keys for access to locked gates/bins
- Type of refuse service not indicated.
- Location of bin enclosure not acceptable. See comments below.
- Bin enclosure not to city standards double.
- Inadequate number of bins to provide sufficient service. See comments below.
- Drive approach too narrow for refuse trucks access. See comments below.
- Area not adequate for allowing refuse truck turning radius of :  
Commercial ( X ) 50 ft. outside 30 ft. inside; Residential ( ) 35 ft. outside, 20 ft. inside.
- Faved areas should be engineered to withstand a 55,000 lb. refuse truck.
- Bin enclosure gates are required
- Hammerhead turnaround must be built per city standards.
- Cul - de - sac must be built per city standards.
- Bin enclosures are for city refuse containers only. Grease drums or any other items are not allowed to be stored inside bin enclosures.
- Area in front of refuse enclosure must be marked off indicating no parking
- Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS)
- Customer will be required to roll container out to curb for service.
- Must be a concrete slab in front of enclosure as per city standards

The width of the enclosure by ten(10) feet, minimum of six(6) inches in depth.

Roll off compactor's must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow the truck enough room to provide service.

Bin enclosure gates must open 180 degrees and also hinges must be mounted in front of post see page 2 for instructions

PROJECT IS GOOD TO GO WITH NO CHANGES.

Javier Hernandez, Solid Waste Front Load Supervisor 713-4338



CITY OF VISALIA  
SOLID WASTE DIVISION  
336 N. BEN MADDOX  
VISALIA CA. 93291  
713 - 4500

ITEM NO: 4      DATE: February 04, 2015  
SITE PLAN NO:      SPR15004  
PROJECT TITLE:      RESIDENCE INN  
DESCRIPTION:      NEW 4-STORY 66-KEY RESIDENCE INN ON 2.63  
ACRES (BRP ZONED) (AE/X) (D STRICT G)  
APPLICANT:      KIEKE STEVE  
PROP OWNER:      M & B BRUNO FAMILY LP  
LOCATION:      205 N PLAZA DR  
APN(S):      081-160-003

**COMMERCIAL BIN SERVICE**

- No comments.
- Same comments as as
- Revisions required prior to submitting final plans. See comments below.
- Resubmittal required. See comments below.
- Customer responsible for all cardboard and other bulky recyclables to be broken down before disposing of in recycle containers.
- ALL refuse enclosures must be R-3 or R-4
- Customer must provide combination or keys for access to locked gates/bins
- Type of refuse service not indicated.
- Location of bin enclosure not acceptable. See comments below.
- Bin enclosure not to city standards double.
- Inadequate number of bins to provide sufficient service. See comments below.
- Drive approach too narrow for refuse trucks access. See comments below.
- Area not adequate for allowing refuse truck turning radius of :  
Commercial: ( X ) 50 ft. outside 36 ft. inside; Residential: ( ) 35 ft. outside, 20 ft. inside.
- Paved areas should be engineered to withstand a 55,000 lb. refuse truck.
- Bin enclosure gates are required
- Hammerhead turnaround must be built per city standards.
- Cul - de - sac must be built per city standards.
- Bin enclosures are for city refuse containers only. Grease drums or any other items are not allowed to be stored inside bin enclosures.
- Area in front of refuse enclosure must be marked off indicating no parking
- Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS)
- Customer will be required to roll container out to curb for service.
- Must be a concrete slab in front of enclosure as per city standards

The width of the enclosure by ten(10) feet, minimum of six(6) inches in depth.

Roll off compactor's must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow the truck enough room to provide service.

Bin enclosure gates must open 180 degrees and also hinges must be mounted in front of post see page 2 for instructions

PROJECT IS GOOD TO GO WITH NO CHANGES

Javier Hernandez, Solid Waste Front Load Supervisor 713-4338

# SITE PLAN REVIEW COMMENTS

Paul Bernal, Planning Division (559) 713-4025

Date: February 4, 2015

SITE PLAN NO: 2015-004 RESUBMITTAL  
PROJECT TITLE: RESIDENCE INN  
DESCRIPTION: NEW 4-STORY 96-KEY RESIDENCE INN ON 2.63 ACRES (BRP ZONED)  
APPLICANT: KIEKE STEVE  
PROP. OWNER: M & B BRUNO FAMILY LP  
LOCATION TITLE: 205 N PLAZA DR  
APN TITLE: 081-160-003  
GENERAL PLAN: BRP (BUSINESS RESEARCH PARK)  
EXISTING ZONING: BRP (BUSINESS RESEARCH PARK)

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## Planning Division Recommendation:

- Revise and Proceed  
 Resubmit

## Project Requirements

- Conditional Use Permit (CUP)
- Detailed Parking Analysis
- Lot Line Adjustment
- Architectural Compliance with Plaza Business Park Master Plan
- Building Permit
- Detailed site plan
- Additional Information as needed

## **PROJECT SPECIFIC INFORMATION: 02/03/2015**

1. Comply with all requirements of the Plaza Business Park Master Plan document.
2. Evenly distribute "Compact" parking stalls.
3. Provide architectural elevations with the CUP submittal.
4. Comply with the sign requirements of the Plaza Business Park Master Plan document.
5. Lot Line Adjustments are processed administratively. The Lot Line Adjustment shall be approved and recorded prior to a building final.
6. Comply with previous comments.

## **Previous Comments**

### **PROJECT SPECIFIC INFORMATION: 01/14/2015**

1. A CUP is required for the proposed four-story hotel. The Master Site Plan for the Plaza Business Park identified the hotel east of Plaza Drive. The Master CUP described and analyzed the impact of the hotel but at the time of the Master CUP approval, a hotel tenant was not identified.
2. The hotel shall comply with the architectural façade requirements as detailed in the Plaza Business Park Master Plan Document. This master plan document was approved by the City Council and requires all buildings to comply with the requirements as stated in the document.
3. A Lot Line Adjustment is required.
4. Staff is requesting that a Parking Analysis be completed for this project. The parking analysis shall be stamped and signed by a licensed engineer.
5. Provide a detailed parking analysis that illustrates information regarding actual parking needs based on the daily use of the hotel operation and Fresno Pacific University. The parking analysis shall demonstrate and/or identify the actual parking needs for Fresno Pacific University based on the number of classrooms provided in the building, number of

employees/instructors onsite during class times, average number of enrolled students onsite during the week, etc.

6. ~~The parking analysis shall identify that the building is within 300 ft. of the nearest point by walking distance within the parking facility to said building or use, the applicant shall show there is no conflict in the principal operating hours of the buildings or uses. The shared parking agreement between the principal parties and the City shall be entered into which restrict the shared parking area to a parking use only.~~
7. Pursuant to Section 17.34.050 the Planning Commission and City Council may grant an exception to the total number of parking spaces required when the joint users of a parking facility have divergent needs with respect to daytime verses nighttime uses, or weekdays vs. Saturdays or Sundays.
8. Comply with the Fire Departments comments.
9. Signage is subject to the Sign Standards identified in the Plaza Business Park's Master Plan Document. Staff will not support deviations to these requirements.

**CITY GENERAL PLAN CONSISTENCY**

Staff initial finding is that the proposed site plan IS CONSISTENT with the City General Plan. Because this project requires discretionary approval by the City Council and/or Planning Commission the final determination of consistency will be made by the Planning Commission and/or City Council.

---

**Design District: "G" (See Chapter 17.24 For BRP Zoned Sites) [17.30.220]**

**Maximum Building Height:** 75 Feet

**Minimum Setbacks:**

	<b>Building</b>	<b>Landscaping</b>
➤ Front (Plaza Drive)	45 Feet	30 Feet
➤ Front (Hurley, Crowley, Neeley, Kelsey)	25 Feet	25 Feet
➤ Front with SR 198 frontage	45 Feet	45 Feet
➤ Side	20 Feet	20 Feet
➤ Street side on corner lot	20 Feet	20 Feet
➤ Rear	30 Feet	20 Feet

\*(Except where building is on property line)

**Minimum Site Area:** 5 acre minimum (divisions under 5 acres may be approved in conjunction with an adopted master plan for the site)

**Parking:** As prescribed in Chapter 17.34

**Note: Development within the BRP is subject to approval of a conditional use permit (CUP) for a Master Plan which is to provide a cohesive architectural design to create a campus style setting, including shared vehicular and pedestrian access, shared parking within the individual Master Plan area, common open space and related amenities. A comprehensive sign program is also required as a component of the CUP process forth Master Plan.**

**Signage:** [see Zoning Ordinance Section 17.48]

1. All signs require a building permit.

**Parking:**

1. Motels, hotels. One parking space for each guest room. (see Zoning Ordinance Section 17.34.020). Further, there shall be one parking space for each two employees per shift regularly employed by the motel, or any independent business located within the motel structure. If the motel provides an area for the consumption of food or beverages or provides meeting or assembly halls the following requirements must be met.:  

76 or more	One parking space for each 400 square feet of area set aside for the consumption of food or beverages and one parking space for each 300 square feet of meeting or assembly hall area
------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------
2. 30% of the required parking stalls may be compact and shall be evenly distributed in the lot (Zoning Ordinance Section 17.34.030.I).
3. Provide handicapped space(s) (see Zoning Ordinance Section 17.34.030.H).
4. An 80 sq. ft. minimum landscape well is required every 10 contiguous parking stalls (Zoning Ordinance Section 17.34.040.D & 17.30.130.C).
5. It is highly recommended that bicycle rack(s) be provided on site plan.
6. No parking shall be permitted in a required front/rear/side yard (Zoning Ordinance Section 17.34.030.F).
7. Parking lot to be screened from view by a 3-foot tall solid wall or shrubs when located adjacent to a public street.
8. Provide shared parking/access agreements. Said agreements/ easements to be approved and recorded prior to issuance of building permits (Zoning Ordinance Section 17.34.050).
9. Provide off-street loading facility (Zoning Ordinance Section 17.34.070 & 17.34.080).

**Fencing and Screening:**

1. Provide screening for roof mounted equipment (Zoning Ordinance Section 17.30.130.F).
2. Provide screened trash enclosure with solid screening gates (Zoning Ordinance Section 17.30.130.F).
3. Provide solid screening of all outdoor storage areas. Outdoor storage to be screened from public view with solid material (Zoning Ordinance Section 17.30.130.F).
4. Outdoor retail sales prohibited.
5. Cross Sections need to be provided for site Plan Review if there is greater than an 18-inch difference between the elevation of the subject site and the adjacent properties, and the sections would be required for the public hearing process also.
6. All outdoor storage areas are to be identified on the site plan and they are to be shown with screening (fencing). No materials may be stored above the storage area fence heights (Zoning Ordinance Section 17.30.130.F).
7. If there is an anticipated grade difference of more than 12-inches between this site and the adjacent sites, a cross section of the difference and the walls must be provided as a part of the Subdivision and/or CUP application package.
8. NOTE: The maximum height of block walls and fences is 7-feet in the appropriate areas; this height is measured on the tallest side of the fence. If the height difference is such that the fence on the inside of the project site is not of sufficient height, the fence height should be discussed with Planning Staff prior to the filing of applications to determine if an Exception to fence/wall height should also be submitted.

**Landscaping:**

1. The City has adopted the State Water Efficient Landscape Ordinance. The ordinance applies to projects installing 2,500 square feet or more of landscaping. It requires that landscaping and irrigation plans be certified by a qualified entity (i.e., Landscape Architect) as meeting the State water conservation requirements. The City's implementation of this new State law will be accomplished by self-certification of the final landscape and irrigation plans by a California licensed landscape architect or other qualified entity with sections signed by appropriately

licensed or certified persons as required by the ordinance. **NOTE: Prior to a final for the project, a signed Certificate of Compliance for the MWELO standards is required indicating that the landscaping has been installed to MWELO standards.**

2. Provide street trees at an average of 20-feet on center along street frontages. All trees to be 15-gallon minimum size (Zoning Ordinance Section 17.30.130.C).
3. All landscape areas to be protected with 6-inch concrete curbs (Zoning Ordinance Section 17.30.130.F).
4. All parking lots to be designed to provide a tree canopy to provide shade in the hot seasons and sunlight in the winter months.
5. Provide a detailed landscape and irrigation plan as a part of the building permit package (Zoning Ordinance Section 17.34.040).
6. An 80 sq. ft. minimum landscape well is required every 10 contiguous parking stalls (Zoning Ordinance Section 17.30.130.C).
7. Provide a detailed landscape and irrigation plan for review prior to issuance of building permits. Please review Zoning Ordinance section 17.30.130-C for current landscaping and irrigation requirements.
8. Locate existing oak trees on site and provide protection for all oak trees greater than 2" diameter (see Oak Tree Preservation Ordinance).

Maintenance of landscaped areas. - A landscaped area provided in compliance with the regulations prescribed in this title or as a condition of a use permit or variance shall be planted with materials suitable for screening or ornamenting the site, whichever is appropriate, and plant materials shall be maintained and replaced as needed, to screen or ornament the site. (Prior code § 7484)

#### **Lighting:**

1. All lighting is to be designed and installed so as to prevent any significant direct or indirect light or glare from falling upon any adjacent residential property. This will need to be demonstrated in the building plans and prior to final on the site.
2. Parking lot and drive aisle lighting adjacent to residential units or designated property should consider the use of 15-foot high light poles, with the light element to be completely recessed into the can. A reduction in the height of the light pole will assist in the reduction/elimination of direct and indirect light and glare which may adversely impact adjacent residential areas.
3. Building and security lights need to be shielded so that the light element is not visible from the adjacent residential properties, if any new lights are added or existing lights relocated.
4. NOTE: Failure to meet these lighting standards in the field will result in no occupancy for the building until the standards are met.
5. In no case shall more than 0.5 lumens be exceeded at any property line, and in cases where the adjacent residential unit is very close to the property line, 0.5 lumens may not be acceptable.

#### **San Joaquin Valley Air Pollution Control District (SJVAPCD)**

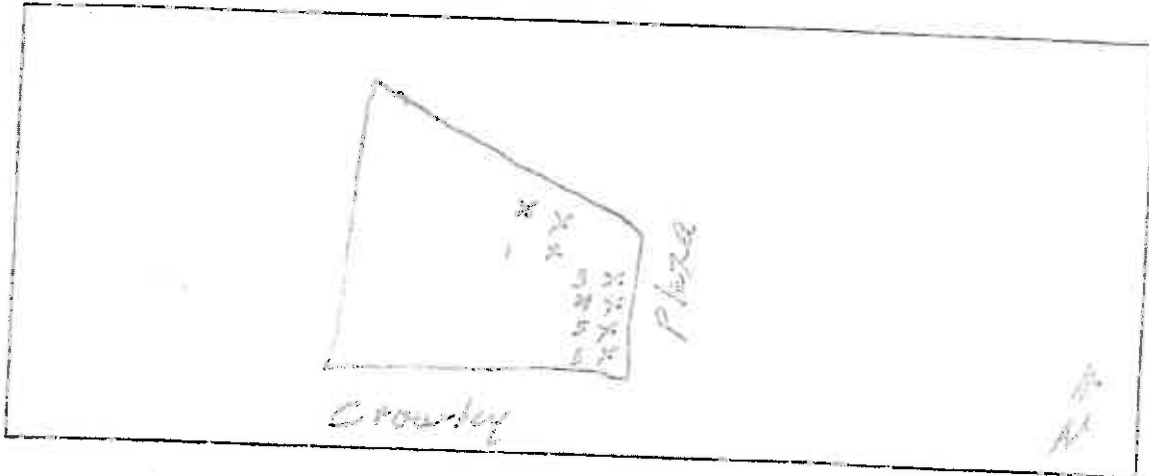
1. Please note that the project may be subject to SJVAPCD Rule 9510. The applicant is encouraged to do early indirect source modeling consultation with the Air District (please see [http://www.aqmd.gov/rules/proposed/2301/sjvapcd\\_rule9510.pdf](http://www.aqmd.gov/rules/proposed/2301/sjvapcd_rule9510.pdf)).

The comments found on this document pertain to the site plan submitted for review on the above referenced date. Any changes made to the plan submitted must be submitted for additional review.

**NOTE: Staff recommendations contained in this document are not to be considered support for a particular action or project unless otherwise stated in the comments.**

Signature \_\_\_\_\_

SITE PLAN REVIEW COMMENTS



COMMENTS: See Below  None

- Please plot and protect all Valley Oak Trees.
- Landscape along parkway to be planted by developer and maintained by a maintenance district.
- All drainage from curb and gutter along streets to be connected to storm drain system.
- All trees planted in street right-of-way to be approved by the Public Works Superintendent of Parks.
- Tie-ins to existing infrastructure may require a bore. Check with the Public Works Department prior to any street cut.

Other Comments: 1) 5" Valley Oak  
 2) 6" Valley Oak  
 3) 7" Valley Oak  
 4) 4" Valley Oak  
 5) 5" Valley Oak  
 6) 5" Valley Oak

Joel Hooyer  
 Parks and Urban Forestry Supervisor  
 559 713-4295 Fax 559 713-4818

Email: jhooyer@ci.visalia.ca.us

# SITE PLAN REVIEW COMMENTS

CITY OF VISALIA TRAFFIC SAFETY DIVISION

February 4, 2015

ITEM NO.	DESCRIPTION
01	RESUBMIT
SITE PLAN NO.	SP15004
PROJECT TITLE	RESIDENCE INN
DESCRIPTION	NEW HISTORY BAKERY RESIDENCE INN ON CALIFORNIA HWY CONTROL AREA DISTRICT 12
APPLICANT	KING STEVE
PROP. OWNER	M & B BRAND FAMILY LP
LOCATION	2014 PLAZA DR
APN(S)	001-140-003

**THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY**

- No Comments
- See Previous Site Plan Comments
- Install Street Light(s) per City Standards.
- Install Street Name Biades at           Locations.
- Install Stop Signs at           Locations.
- Construct parking per City Standards PK-1 through PK-4.
- Construct drive approach per City Standards.
- Traffic Impact Analysis required.

**Additional Comments:**

  
\_\_\_\_\_  
Leslie Blair





MEETING DATE 1/14/2015  
SITE PLAN NO. 15-004  
PARCEL MAP NO.  
SUBDIVISION  
LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

- RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.
- During site plan design/policy concerns were identified, schedule a meeting with
- Planning  Engineering prior to resubmittal plans for Site Plan Review.
- Solid Waste  Parks and Recreation  Fire Dept.

- REVISE AND PROCEED** (see below)
- A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.
- Submit plans for a building permit between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday.
- Your plans must be reviewed by:
- CITY COUNCIL  REDEVELOPMENT  
 PLANNING COMMISSION  PARK/RECREATION  
 HISTORIC PRESERVATION  OTHER \_\_\_\_\_

**ADDITIONAL COMMENTS** \_\_\_\_\_

If you have any questions or comments, please call Jason Huckleberry at (559) 713-4259.



MEETING DATE JAN. 14, 2015  
SITE PLAN NO. 15-004  
PARCEL MAP NO.  
SUBDIVISION  
LOT LINE ADJUSTMENT NO.

Enclosed for your review are the comments and decisions of the Site Plan Review committee. Please review all comments since they may impact your project.

**RESUBMIT** Major changes to your plans are required. Prior to accepting construction drawings for building permit, your project must return to the Site Plan Review Committee for review of the revised plans.

During site plan design/policy concerns were identified, schedule a meeting with

Planning       Engineering prior to resubmittal plans for Site Plan Review.

Solid Waste       Parks and Recreation       Fire Dept.

---

**REVISE AND PROCEED** (see below)

A revised plan addressing the Committee comments and revisions must be submitted for Off-Agenda Review and approval prior to submitting for building permits or discretionary actions.

Submit plans for a building permit between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday.

Your plans must be reviewed by:

CITY COUNCIL       REDEVELOPMENT  
 PLANNING COMMISSION       PARK/RECREATION  
 HISTORIC PRESERVATION       OTHER \_\_\_\_\_

---

**ADDITIONAL COMMENTS** \_\_\_\_\_

If you have any questions or comments, please call Jason Huckleberry at (559) 713-4259.

*Site Plan Review Committee*

**City of Visalia**  
**Building: Site Plan**  
**Review Comments**

ITEM NO: 4                      DATE: January 14, 2015  
SITE PLAN NO:                SPR15004  
PROJECT TITLE:                RESIDENCE INN  
DESCRIPTION:                 NEW 4-STORY 96-KEY RESIDENCE INN ON 2.63  
                                         ACRES (BRP ZONED)  
APPLICANT:                    KIEKE STEVE  
PROP OWNER:                 M & B BRUNO FAMILY LP  
LOCATION:                      205 N PLAZA DR  
APN(S):                        081-160-003

NOTE: These are general comments and DO NOT constitute a complete plan check for your specific project  
Please refer to the applicable California Code & local ordinance for additional requirements.

- A building permit will be required. *For information call (559) 713-4444*
- Submit 5 sets of professionally prepared plans and 2 sets of calculations. (Small Tenant Improvements)
- Submit 5 sets of plans prepared by an architect or engineer. Must comply with 2013 California Building Cod Sec. 2308 for conventional light-frame construction or submit 2 sets of engineered calculations.
- Indicate abandoned wells, septic systems and excavations on construction plans.
- You are responsible to ensure compliance with the following checked items:

 Meet State and Federal requirements for accessibility for persons with disabilities.
- A path of travel, parking and common area must comply with requirements for access for persons with disabilities.
- All accessible units required to be adaptable for persons with disabilities.
- Maintain sound transmission control between units minimum of 50 STC.
- Maintain fire-resistive requirements at property lines.
- A demolition permit & deposit is required. *For information call (559) 713-4444*
- Obtain required permits from San Joaquin Valley Air Pollution Board. *For information call (559) 230-6000*
- Plans must be approved by the Tulare County Health Department. *For information call (559) 624-8011*
- Project is located in flood zone \_\_\_\_\_ \*  Hazardous materials report.
- Arrange for an on-site inspection. (Fee for inspection \$146.40) *For information call (559) 713-4444*
- School Development fees. Commercial \$0.<sup>54</sup> per square foot. Residential \$<sup>3.36</sup> per square foot.
- Park Development fee \$ \_\_\_\_\_, per unit collected with building permits.
- Existing address must be changed to be consistent with city address. *For information call (559) 713-4320*
- Acceptable as submitted
- No comments at this time

Additional comments: \_\_\_\_\_

*Chuck Clark*

Signature

ITEM NO: 4

DATE: January 14, 2015

SITE PLAN NO: SPR15004  
PROJECT TITLE: RESIDENCE INN  
DESCRIPTION: NEW 4-STORY 96-KEY RESIDENCE INN ON 2.63 ACRES (BRP ZONED)  
APPLICANT: KIEKE STEVE  
PROP OWNER: M & B BRUNO FAMILY LP  
LOCATION: 205 N PLAZA DR  
APN(S): 081-160-003



**Site Plan Review Comments For:**

Visalia Fire Department  
Kurtis A. Brown,  
Fire Marshal  
707 W Acequia  
Visalia, CA 93291  
559-713-4261 office  
559-713-4808 fax

**The following comments are applicable when checked:**

- The Site Plan Review comments are issued as general overview of your project. With further details, additional requirements will be enforced at the Plan Review stage. Please refer to the 2013 California Fire Code (CFC), 2013 California Building Codes (CBC) and City of Visalia Municipal Codes.
- All fire detection, alarm, and extinguishing systems in existing buildings shall be maintained in an operative condition at all times and shall be replaced or repaired where defective. If building has been vacant for a significant amount of time, the fire detection, alarm, and or extinguishing systems may need to be evaluated by a licensed professional. *2013 CFC 901.6*
- No fire protection items required for parcel map or lot line adjustment; however, any future projects will be subject to fire & life safety requirements including fire protection.
- More information is needed before a Site Plan Review can be conducted. Please submit plans with more detail. Please include information on

**General:**

- Address numbers must be placed on the exterior of the building in such a position as to be clearly and plainly visible from the street. Numbers will be at least four inches (4") high and shall be of a color to contrast with their background. If multiple addresses served are by a common driveway, the range of numbers shall be posted at the roadway/driveway. *2013 CFC 505.1*
- A Knox Box key lock system is required. Where access to or within a structure or an area is restricted because of secured openings (doors and/or gates) or for fire-fighting purposes, a key box is to be installed in an approved location. (Note: Knox boxes shall be ordered using an approved application that can be found at Fire Administration Office located at 707 W. Acequia Ave. Please allow adequate time for shipping and installation.) *2013 CFC 506.1*
- All hardware on exit doors shall comply with Chapter 10 of the 2013 California Fire Code. This includes all locks, latches, dolt locks, and panic and fire exit hardware.
- Provide Illuminated exit signs and emergency lighting through-out building. *2013 CFC 1011*
- When portion of the building are built upon a property line or in close proximity to another structure the exterior wall shall be constructed as to comply *2013 California Building Code Table 508.4 and Table 602.*

Commercial dumpsters with 1.5 cubic yards or more shall not be stored or placed within 5 feet of combustible walls, openings, or a combustible roof eave line except when protected by a fire sprinkler system. *2013 CFC 304.3.3*

If your business handles hazardous material in amounts that exceed the Maximum Allowable Quantities listed on *Table 5003.1.1(1), 5003.1.1(2), 5003.1.1(3) and 5003.1.1(4) of the 2013 California Fire Code*, you are required to submit an emergency response plan to the Tulare County Health Department. Also you shall indicate the quantities on your building plans and prior to the building final inspection a copy of your emergency response plan and Safety Data Sheets shall be submitted to the Visalia Fire Department.

#### Water Supply:

Construction and demolition sites shall have an approved water supply for fire protection, either temporary or permanent, and shall be made available as soon as combustible material arrives on the site. *2013 CFC 3312*

No additional fire hydrants are required for this project; however, additional fire hydrants may be required for any future development.

There is/are fire hydrants required for this project. (See marked plans for fire hydrant locations.)

Fire hydrant spacing shall comply with the following requirements:

The exact location of fire hydrants and final decision as to the number of fire hydrants shall be at the discretion of the fire marshal, fire chief and/or their designee. *Visalia Municipal Code 16.36.120 & 16.36.120(8)*

Single-family residential developments shall be provided with fire hydrants every six hundred (600) lineal feet of residential frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.

Multi-family, zero lot line clearance, mobile home park or condominium developments shall be provided with fire hydrants every four hundred (400) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.

Multi-family or condominium developments with one hundred (100) percent coverage fire sprinkler systems shall be provided with fire hydrants every six (600) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.

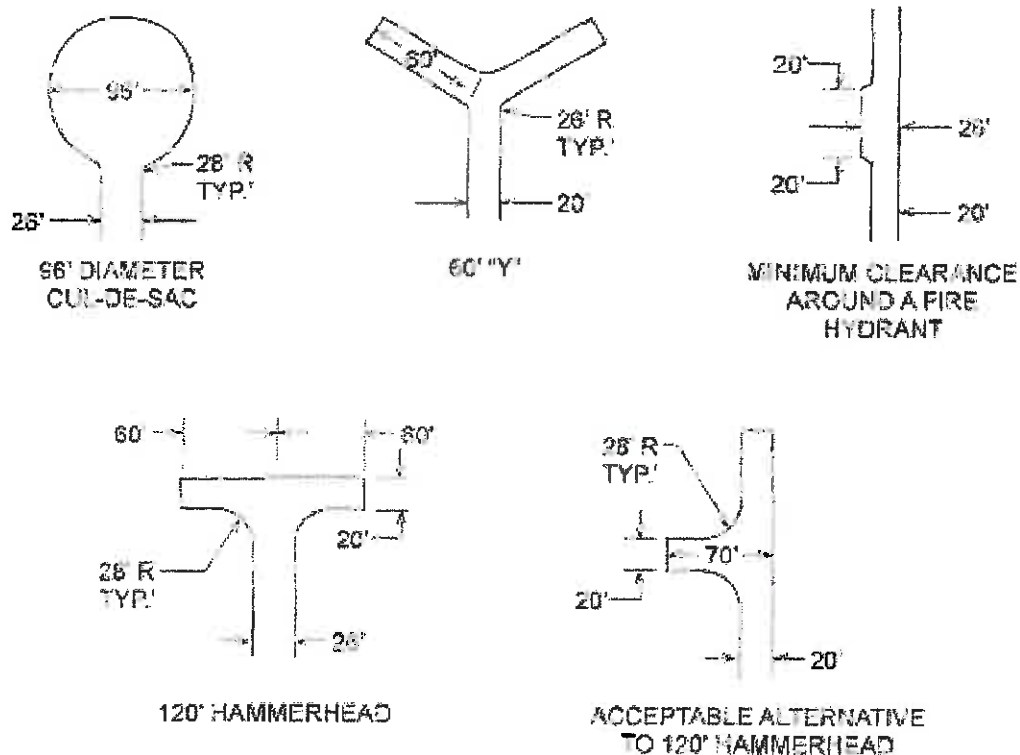
Commercial or industrial developments shall be provided with fire hydrants every three hundred (300) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.

Commercial or industrial developments with one hundred (100) percent coverage fire sprinkler systems shall be provided with fire hydrants every five hundred (500) lineal feet of frontage. In isolated developments, no less than two (2) fire hydrants shall be provided.

When any portion of a building is in excess of one hundred fifty (150) feet from a water supply on a public street there shall be provided on site fire hydrants and water mains capable of supplying the required fire flow. *Visalia Municipal Code 16.36.120(6)*

**Emergency Access:**

- A construction access road is required and shall be a minimum of 20 feet wide. The road shall be an all-weather driving surface accessible prior to and during construction. The access road shall be capable of holding 75,000 pound piece of fire apparatus, and shall provide access to within 100 feet of temporary or permanent fire department connections. *2013 CFC 3310*
- Buildings or portions of buildings or facilities with a vertical distance between the grade plans and the highest roof surface exceed 30 feet shall provide an approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders. Access routes shall be located within a minimum of 15 feet and maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building. *2013 CFC D105*
- A fire apparatus access roads shall be provide and must comply with the CFC and extend to within 150 of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Minimum turning radius for emergency fire apparatus shall be 20 feet inside radius and 43 feet outside radius. *2013 CFC 503.1.1*
- Fire apparatus access roads in excess of 150 feet and dead end shall be provided with a turnaround. Length 151-500 feet shall be a minimum of 20 feet in width and have a 120 foot Hammerhead, 60-foot "Y" or 96-Foot diameter Cul-de-sac in accordance with Figure D103.1 of the 2013 CFC. Length 501-750 feet shall be 26 feet in width and have a 120 foot Hammerhead, 60-foot "Y" or 96-Foot diameter Cul-de-sac in accordance with Figure D103.1 of the 2013 CFC.



**FIGURE D103.1**  
**DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUND**

Gates on access roads shall be a minimum width of 20 feet and shall comply with the following:  
*2013 CFC D103.5*

- Typical chain and lock shall be the type that can be cut with a common bolt cutter, or the developer may opt to provide a Knox Box key lock system.
- Gates shall be of the swinging or sliding type.
- Gates shall allow manual operation by one person. (power outages)
- Gates shall be maintained in an operative condition at all times.
- Electric gates shall be equipped with a means of opening the gate by fire department personnel for emergency access. (Note: Knox boxes shall be ordered using an approved application that can be found at Fire Administration Office located at 707 W. Acequia Ave. Please allow adequate time for shipping and installation.)

In any and all new One- or two-family dwellings residential developments regardless of the number of units, street width shall be a minimum of 36 feet from curb to curb to allow fire department access and to permit parking on both sides of the street. A minimum of 20 feet shall be provided for developments that don't allow parking on the streets. *2013 CFC D107.2*

**Fire Protection Systems:**

An automatic fire sprinkler system will be required for this building. Also a fire hydrant is required within 50 feet of the Fire Department Connection (FDC). *2013 CFC 903 and Visalia Municipal Code 16.36.120(7)*

Commercial cooking appliances and domestic cooking appliances used for commercial purposes that produces grease laden vapors shall be provided with a Type 1 Hood, in accordance with the California Mechanical Code, and an automatic fire extinguishing system. *2013 CFC 904.11 & 609.2*

**Special Comments:**

  
Kurtis A. Brown  
Assistant Fire Marshal





# SITE PLAN REVIEW COMMENTS

CITY OF VISALIA TRAFFIC SAFETY DIVISION

January 14, 2015

ITBA NO:	4
SITE PLAN NO:	SPR10004
PROJECT TITLE:	RESIDENCE INN
DESCRIPTION:	NEW 4-STORY SINGLE RESIDENCE INN ON 2.63 ACRES (DRP ZONED)
APPLICANT:	KIEKE STEVE
PROP. OWNER:	M & R BRUND FAMILY LP
LOCATION:	205 N PLAZA DR
APN(S):	031-150-008

**THE TRAFFIC DIVISION WILL PROHIBIT ON-STREET PARKING AS DEEMED NECESSARY**

- No Comments
- See Previous Site Plan Comments
- Install Street Light(s) per City Standards.
- Install Street Name Blades at            Locations.
- Install Stop Signs at            Locations.
- Construct parking per City Standards PK-1 through PK-4.
- Construct drive approach per City Standards.
- Traffic Impact Analysis required.

**Additional Comments:**

  
\_\_\_\_\_  
**Leslie Blair**

**BUILDING/DEVELOPMENT PLAN  
REQUIREMENTS  
ENGINEERING DIVISION**

Jason Huckleberry 713-4259  
 Adrian Rubalcaba 713-4271

**ITEM NO: 4 DATE: JANUARY 14, 2015**

SITE PLAN NO.: 15-004  
PROJECT TITLE: RESIDENCE INN  
DESCRIPTION: NEW 4-STORY 96-KEY RESIDENCE INN ON 2.63  
ACRES (BRP ZONED)  
APPLICANT: KIEKE STEVE  
PROP OWNER: M & B BRUNO FAMILY LP  
LOCATION: 205 N PLAZA DR  
APN: 081-160-003

**SITE PLAN REVIEW COMMENTS**

**REQUIREMENTS** (indicated by checked boxes)

Install curb return with ramp, with radius;

Install curb;  gutter

Drive approach size:  Use radius return;

Sidewalk: width;  parkway width at

Repair and/or replace any sidewalk across the public street frontage(s) of the subject site that has become uneven, cracked or damaged and may constitute a tripping hazard.

Replace any curb and gutter across the public street frontage(s) of the subject site that has become uneven and has created areas where water can stand.

Right-of-way dedication required. A title report is required for verification of ownership.

Deed required prior to issuing building permit;

**City Encroachment Permit Required. FOR ANY WORK IN PUBLIC RIGHT-OF-WAY**

Insurance certificate with general & auto liability (\$1 million each) and workers compensation (\$1 million), valid business license, and appropriate contractor's license must be on file with the City, and valid Underground Service Alert # provided prior to issuing the permit. Contact Encroachment Tech. at 713-4414.

CalTrans Encroachment Permit required.  CalTrans comments required prior to issuing building permit. Contacts: David Deel (Planning) 488-4088;

Landscape & Lighting District/Home Owners Association required prior to approval of Final Map. Landscape & Lighting District will maintain common area landscaping, street lights, street trees and local streets as applicable. Submit completed Landscape and Lighting District application and filing fee a min. of 75 days before approval of Final Map.

Landscape & irrigation improvement plans to be submitted for each phase. Landscape plans will need to comply with the City's street tree ordinance. The locations of street trees near intersections will need to comply with Plate SD-1 of the City improvement standards. A street tree and landscape master plan for all phases of the subdivision will need to be submitted with the initial phase to assist City staff in the formation of the landscape and lighting assessment district.

Grading & Drainage plan required. If the project is phased, then a master plan is required for the entire project area that shall include pipe network sizing and grades and street grades.  Prepared by registered civil engineer or project architect.  All elevations shall be based on the City's benchmark network. Storm run-off from the project shall be handled as follows: a)  directed to the City's existing storm drainage system; b)  directed to a permanent on-site basin; or c)  directed to a temporary on-site basin required until a connection with adequate capacity is available to the City's storm drainage system. On-site basin: : maximum side slopes, perimeter fencing required, provide access ramp to bottom for maintenance.

Grading permit is required for clearing and earthwork performed prior to issuance of the building permit.

Show finish elevations. (Minimum slopes: A.C. pavement = 1%, Concrete pavement = 0.25%. Curb & Gutter = .020%, V-gutter = 0.25%)

Show adjacent property grade elevations. A retaining wall will be required for grade differences greater than 0.5 feet at the property line.

All public streets within the project limits and across the project frontage shall be improved to their full width, subject to available right of way, in accordance with City policies, standards and specifications.

Traffic indexes per city standards:

- Install street striping as required by the City Engineer.
- Install landscape curbing (typical at parking lot planters).
- Minimum paving section for parking: 2" asphalt concrete paving over 4" Class 2 Agg. Base, or 4" concrete pavement over 2" sand.
- Design Paving section to traffic index of 5.0 min. for solid waste truck travel path.
- Provide "R" value tests: each at
- Written comments required from ditch company                      Contacts: James Silva 747-1177 for Modoc, Persian, Watson, Oakes, Flemming, Evans Ditch and Peoples Ditch; Jerry Hill 686-3425 for Tulare Irrigation Canal, Packwood and Cameron Creeks; Bruce George 747-5601 for Mill Creek and St. John's River.
- Access required on ditch bank, 15' minimum     Provide                      wide riparian dedication from top of bank.
- Show Oak trees with drip lines and adjacent grade elevations.     Protect Oak trees during construction in accordance with City requirements.
- A permit is required to remove oak trees. Contact Joel Hooyer at 713-4295 for an Oak tree evaluation or permit to remove.     A pre-construction conference is required.
- Relocate existing utility poles and/or facilities.
- Underground all existing overhead utilities within the project limits. Existing overhead electrical lines over 50kV shall be exempt from undergrounding.
- Subject to existing Reimbursement Agreement to reimburse prior developer:
- Fugitive dust will be controlled in accordance with the applicable rules of San Joaquin Valley Air District's Regulation VIII. Copies of any required permits will be provided to the City.
- If the project requires discretionary approval from the City, it may be subject to the San Joaquin Valley Air District's Rule 9510 Indirect Source Review per the rule's applicability criteria. A copy of the approved AIA application will be provided to the City.
- If the project meets the one acre of disturbance criteria of the State's Storm Water Program, then coverage under General Permit Order 2009-0009-DWQ is required and a Storm Water Pollution Prevention Plan (SWPPP) is needed. A copy of the approved permit and the SWPPP will be provided to the City.
- Comply with prior comments.     Resubmit with additional information.     Redesign required.

**Additional Comments:**

- 1. Comply with ADA regulations onsite and install an accessible route from the public sidewalk to the building entrance.**
- 2. A 24' refuse enclosure with gates and concrete apron is required; refer to City standards. The proposed location of refuse enclosure is adequate.**
- 3. Comply with City parking standards.**
- 4. A redesign of the west and south parking lot area is required due to Fire Dept. access restrictions. It is recommended the stalls be oriented facing the building with the drive aisles adjacent to landscape setback areas.**
- 5. Proposed development encompasses Parcels 2 & 3 of the underlying Parcel Map No. 4954. Impact fees were deferred until time of development per the map conditions. Refer to page 3 for full impact fee assessment.**
- 6. The existing site improvements contain bioswales specific to the Plaza Business Park storm drainage design. Any redesign, removal, or relocation shall be further coordinated with the City Engineer; new storm drain calc's would be required.**
- 7. Standard building permit plan check and inspection fees apply.**
- 8. A Lot Line Adjustment is required to remove existing parcel line intersecting proposed building. Refer to City website and/or Planning Division personnel for procedure and submittal requirements.**

**SUMMARY OF APPLICABLE DEVELOPMENT IMPACT FEES**

Site Plan No: 15-004  
Date: 1/14/2015

**Summary of applicable Development Impact Fees to be collected at the time of building permit:**  
**(Preliminary estimate only! Final fees will be based on the development fee schedule in effect at the time of building permit issuance.)**


(Fee Schedule Date:8/15/2014)  
(Project type for fee rates:HOTEL)

Existing uses may qualify for credits on Development Impact Fees.

<u>FEE ITEM</u>	<u>FEE RATE</u>
<input type="checkbox"/> Groundwater Overdraft Mitigation Fee	
<input checked="" type="checkbox"/> Transportation Impact Fee	\$2,105/RM X 96 = \$202,080
<input checked="" type="checkbox"/> Trunk Line Capacity Fee	\$66/RM X 96 = \$6,336, TREATMENT PLANT FEE: \$382/RM X 96 = \$36,672
<input type="checkbox"/> Sewer Front Foot Fee	
<input checked="" type="checkbox"/> Storm Drain Acq/Dev Fee	\$514/AC X 3.25AC = \$1,670.50
<input type="checkbox"/> Park Acq/Dev Fee	
<input type="checkbox"/> Northeast Specific Plan Fees	
<input type="checkbox"/> Waterways Acquisition Fee	
<input checked="" type="checkbox"/> Public Safety Impact Fee: Police	\$3,186/AC X 3.25 = \$10,354.50
<input checked="" type="checkbox"/> Public Safety Impact Fee: Fire	\$1,713/AC X 3.25 = \$5,567.25
<input checked="" type="checkbox"/> Public Facility Impact Fee	\$476/1000SF X 66 = \$31,416
<input type="checkbox"/> Parking In-Lieu	

**Reimbursement:**

- 1.) No reimbursement shall be made except as provided in a written reimbursement agreement between the City and the developer entered into prior to commencement of construction of the subject facilities.
- 2.) Reimbursement is available for the development of arterial/collector streets as shown in the City's Circulation Element and funded in the City's transportation impact fee program. The developer will be reimbursed for construction costs and right of way dedications as outlined in Municipal Code Section 16.44. Reimbursement unit costs will be subject to those unit costs utilized as the basis for the transportation impact fee.
- 3.) Reimbursement is available for the construction of storm drain trunk lines and sanitary sewer trunk lines shown in the City's Storm Water Master Plan and Sanitary Sewer System Master Plan. The developer will be reimbursed for construction costs associated with the installation of these trunk lines.

  
\_\_\_\_\_  
Adrian Rubalcaba

# SITE PLAN REVIEW COMMENTS

Paul Bernal, Planning Division (559) 713-4025

Date: January 14, 2015

SITE PLAN NO: 2015-004  
PROJECT TITLE: RESIDENCE INN  
DESCRIPTION: NEW 4-STORY 96-KEY RESIDENCE INN ON 2.63 ACRES (BRP ZONED)  
APPLICANT: KIEKE STEVE  
PROP. OWNER: M & B BRUNO FAMILY LP  
LOCATION TITLE: 205 N PLAZA DR  
APN TITLE: 081-160-003  
GENERAL PLAN: BRP (BUSINESS RESEARCH PARK)  
EXISTING ZONING: BRP (BUSINESS RESEARCH PARK)

## Planning Division Recommendation:

- Revise and Proceed  
 Resubmit

## Project Requirements

- Conditional Use Permit (CUP)
- Detailed Parking Analysis
- Lot Line Adjustment
- Architectural Compliance with Plaza Business Park Master Plan
- Building Permit
- Detailed site plan
- Additional Information as needed

## **PROJECT SPECIFIC INFORMATION: 01/14/2015**

1. A CUP is required for the proposed four-story hotel. The Master Site Plan for the Plaza Business Park identified the hotel east of Plaza Drive. The Master CUP described and analyzed the impact of the hotel but at the time of the Master CUP approval, a hotel tenant was not identified.
2. The hotel shall comply with the architectural façade requirements as detailed in the Plaza Business Park Master Plan Document. This master plan document was approved by the City Council and requires all buildings to comply with the requirements as stated in the document.
3. A Lot Line Adjustment is required.
4. Staff is requesting that a Parking Analysis be completed for this project. The parking analysis shall be stamped and signed by a licensed engineer.
5. Provide a detailed parking analysis that illustrates information regarding actual parking needs based on the daily use of the hotel operation and Fresno Pacific University. The parking analysis shall demonstrate and/or identify the actual parking needs for Fresno Pacific University based on the number of classrooms provided in the building, number of employees/instructors onsite during class times, average number of enrolled students onsite during the week, etc.
6. The parking analysis shall identify that the building is within 300 ft. of the nearest point by walking distance within the parking facility to said building or use, the applicant shall show there is no conflict in the principal operating hours of the buildings or uses. The shared parking agreement between the principal parties and the City shall be entered into which restrict the shared parking area to a parking use only.
7. Pursuant to Section 17.34.050 the Planning Commission and City Council may grant an exception to the total number of parking spaces required when the joint users of a parking

facility have divergent needs with respect to daytime versus nighttime uses, or weekdays vs. Saturdays or Sundays.

8. Comply with the Fire Departments comments.
9. Signage is subject to the Sign Standards identified in the Plaza Business Park's Master Plan Document. Staff will not support deviations to these requirements.

### **CITY GENERAL PLAN CONSISTENCY**

Staff initial finding is that the proposed site plan IS CONSISTENT with the City General Plan. Because this project requires discretionary approval by the City Council and/or Planning Commission the final determination of consistency will be made by the Planning Commission and/or City Council.

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### **Design District: "G" (See Chapter 17.24 For BRP Zoned Sites) [17.30.220]**

#### **Maximum Building Height: 75 Feet**

#### **Minimum Setbacks:**

	<b>Building</b>	<b>Landscaping</b>
➤ Front (Plaza Drive)	45 Feet	30 Feet
➤ Front (Hurley, Crowley, Neeley, Kelsey)	25 Feet	25 Feet
➤ Front with SR 198 frontage	45 Feet	45 Feet
➤ Side	20 Feet	20 Feet
➤ Street side on corner lot	20 Feet	20 Feet
➤ Rear	30 Feet	20 Feet

\*(Except where building is on property line)

**Minimum Site Area:** 5 acre minimum (divisions under 5 acres may be approved in conjunction with an adopted master plan for the site)

**Parking:** As prescribed in Chapter 17.34

**Note: Development within the BRP is subject to approval of a conditional use permit (CUP) for a Master Plan which is to provide a cohesive architectural design to create a campus style setting, including shared vehicular and pedestrian access, shared parking within the individual Master Plan area, common open space and related amenities. A comprehensive sign program is also required as a component of the CUP process forth Master Plan.**

**Signage:** [see Zoning Ordinance Section 17.48]

1. All signs require a building permit.

#### **Parking:**

1. Motels, hotels. One parking space for each guest room. (see Zoning Ordinance Section 17.34.020). Further, there shall be one parking space for each two employees per shift regularly employed by the motel, or any independent business located within the motel structure. If the motel provides an area for the consumption of food or beverages or provides meeting or assembly halls the following requirements must be met.:

76 or more      One parking space for each 400 square feet of area set aside for the consumption of food or beverages and one parking space for each 300 square feet of meeting or assembly hall area

2. 30% of the required parking stalls may be compact and shall be evenly distributed in the lot (Zoning Ordinance Section 17.34.030.I).
3. Provide handicapped space(s) (see Zoning Ordinance Section 17.34.030.H).

4. An 80 sq. ft. minimum landscape well is required every 10 contiguous parking stalls (Zoning Ordinance Section 17.34.040.D & 17.30.130.C).
5. It is highly recommended that bicycle rack(s) be provided on site plan.
6. No parking shall be permitted in a required front/rear/side yard (Zoning Ordinance Section 17.34.030.F).
7. Parking lot to be screened from view by a 3-foot tall solid wall or shrubs when located adjacent to a public street.
8. Provide shared parking/access agreements. Said agreements/ easements to be approved and recorded prior to issuance of building permits (Zoning Ordinance Section 17.34.050).
9. Provide off-street loading facility (Zoning Ordinance Section 17.34.070 & 17.34.080).

#### **Fencing and Screening:**

1. Provide screening for roof mounted equipment (Zoning Ordinance Section 17.30.130.F).
2. Provide screened trash enclosure with solid screening gates (Zoning Ordinance Section 17.30.130.F).
3. Provide solid screening of all outdoor storage areas. Outdoor storage to be screened from public view with solid material (Zoning Ordinance Section 17.30.130.F).
4. Outdoor retail sales prohibited.
5. Cross Sections need to be provided for site Plan Review if there is greater than an 18-inch difference between the elevation of the subject site and the adjacent properties, and the sections would be required for the public hearing process also.
6. All outdoor storage areas are to be identified on the site plan and they are to be shown with screening (fencing). No materials may be stored above the storage area fence heights (Zoning Ordinance Section 17.30.130.F).
7. If there is an anticipated grade difference of more than 12-inches between this site and the adjacent sites, a cross section of the difference and the walls must be provided as a part of the Subdivision and/or CUP application package.
8. NOTE: The maximum height of block walls and fences is 7-feet in the appropriate areas; this height is measured on the tallest side of the fence. If the height difference is such that the fence on the inside of the project site is not of sufficient height, the fence height should be discussed with Planning Staff prior to the filing of applications to determine if an Exception to fence/wall height should also be submitted.

#### **Landscaping:**

1. The City has adopted the State Water Efficient Landscape Ordinance. The ordinance applies to projects installing 2,500 square feet or more of landscaping. It requires that landscaping and irrigation plans be certified by a qualified entity (i.e., Landscape Architect) as meeting the State water conservation requirements. The City's implementation of this new State law will be accomplished by self-certification of the final landscape and irrigation plans by a California licensed landscape architect or other qualified entity with sections signed by appropriately licensed or certified persons as required by the ordinance. **NOTE: Prior to a final for the project, a signed Certificate of Compliance for the MWELo standards is required indicating that the landscaping has been installed to MWELo standards.**
2. Provide street trees at an average of 20-feet on center along street frontages. All trees to be 15-gallon minimum size (Zoning Ordinance Section 17.30.130.C).
3. All landscape areas to be protected with 6-inch concrete curbs (Zoning Ordinance Section 17.30.130.F).
4. All parking lots to be designed to provide a tree canopy to provide shade in the hot seasons and sunlight in the winter months.
5. Provide a detailed landscape and irrigation plan as a part of the building permit package (Zoning Ordinance Section 17.34.040).
6. An 80 sq. ft. minimum landscape well is required every 10 contiguous parking stalls (Zoning Ordinance Section 17.30.130.C).

7. Provide a detailed landscape and irrigation plan for review prior to issuance of building permits. Please review Zoning Ordinance section 17.30.130-C for current landscaping and irrigation requirements.
8. Locate existing oak trees on site and provide protection for all oak trees greater than 2" diameter (see Oak Tree Preservation Ordinance).

Maintenance of landscaped areas. - A landscaped area provided in compliance with the regulations prescribed in this title or as a condition of a use permit or variance shall be planted with materials suitable for screening or ornamenting the site, whichever is appropriate, and plant materials shall be maintained and replaced as needed, to screen or ornament the site. (Prior code § 7484)

**Lighting:**

1. All lighting is to be designed and installed so as to prevent any significant direct or indirect light or glare from falling upon any adjacent residential property. This will need to be demonstrated in the building plans and prior to final on the site.
2. Parking lot and drive aisle lighting adjacent to residential units or designated property should consider the use of 15-foot high light poles, with the light element to be completely recessed into the can. A reduction in the height of the light pole will assist in the reduction/elimination of direct and indirect light and glare which may adversely impact adjacent residential areas.
3. Building and security lights need to be shielded so that the light element is not visible from the adjacent residential properties, if any new lights are added or existing lights relocated.
4. NOTE: Failure to meet these lighting standards in the field will result in no occupancy for the building until the standards are met.
5. In no case shall more than 0.5 lumens be exceeded at any property line, and in cases where the adjacent residential unit is very close to the property line, 0.5 lumens may not be acceptable.

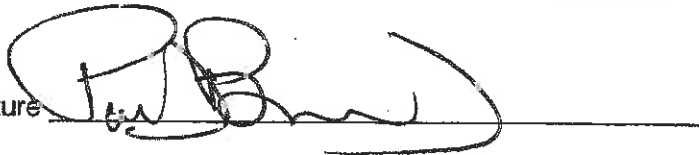
**San Joaquin Valley Air Pollution Control District (SJVAPCD)**

1. Please note that the project may be subject to SJVAPCD Rule 9510. The applicant is encouraged to do early indirect source modeling consultation with the Air District (please see [http://www.aqmd.gov/rules/proposed/2301/sjvapcd\\_rule9510.pdf](http://www.aqmd.gov/rules/proposed/2301/sjvapcd_rule9510.pdf)).

The comments found on this document pertain to the site plan submitted for review on the above referenced date. Any changes made to the plan submitted must be submitted for additional review.

**NOTE: Staff recommendations contained in this document are not to be considered support for a particular action or project unless otherwise stated in the comments.**

Signature \_\_\_\_\_

A handwritten signature in black ink, appearing to be 'J. B.', written over a horizontal line. The signature is stylized and somewhat cursive.



CITY OF VISALIA  
SOLID WASTE DIVISION  
336 N. BEN MADDOX  
VISALIA CA. 93291  
713 - 4500

**COMMERCIAL BIN SERVICE**

SITE PLAN NO: SPR15004  
PROJECT TITLE: RESIDENCE INN  
DESCRIPTION: NEW 4-STORY 96-KEY RESIDENCE INN ON 2.63  
ACRES (BRP ZONED)  
APPLICANT: KIEKE STEVE  
PROP OWNER: M & B BRUNO FAMILY LP  
LOCATION: 205 N PLAZA DR  
APN(S): 081-160-003

- No comments.
- Same comments as as
- Revisions required prior to submitting final plans. See comments below.
- Resubmittal required. See comments below.
- Customer responsible for all cardboard and other bulky recyclables to be broken down  
be fore disposing of in recycle containers.
- ALL refuse enclosures must be R-3 or R-4
- Customer must provide combination or keys for access to locked gates/bins
- Type of refuse service not indicated.
- Location of bin enclosure not acceptable. See comments below.
- Bin enclosure not to city standards double.
- Inadequate number of bins to provide sufficient service. See comments below.
- Drive approach too narrow for refuse trucks access. See comments below.
- Area not adequate for allowing refuse truck turning radius of :  
Commercial ( X ) 50 ft. outside 36 ft. inside; Residential ( ) 35 ft. outside, 20 ft. inside.
- Paved areas should be engineered to withstand a 55,000 lb. refuse truck.
- Bin enclosure gates are required
- Hammerhead turnaround must be built per city standards.
- Cul - de - sac must be built per city standards.
- Bin enclosures are for city refuse containers only. Grease drums or any other  
items are not allowed to be stored inside bin enclosures.
- Area in front of refuse enclosure must be marked off indicating no parking
- Enclosure will have to be designed and located for a STAB service (DIRECT ACCESS)
- Customer will be required to roll container out to curb for service.
- Must be a concrete slab in front of enclosure as per city standards

The width of the enclosure by ten(10) feet, minimum of six(6) inches in depth.

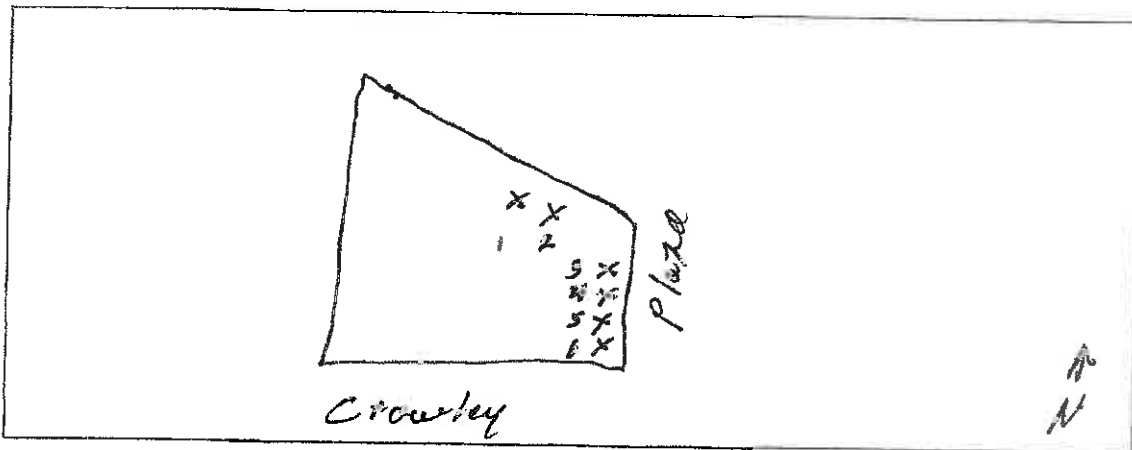
Roll off compactor's must have a clearance of 3 feet from any wall on both sides and there must be a minimum of 53 feet clearance in front of the compactor to allow the truck enough room to provide service.

Bin enclosure gates must open 180 degrees and also hinges must be mounted in front of post see page 2 for instructions

PROJECT LOOKS GOOD TO GO WITH ANY FUTURE CHANGES, SOLID WASTE WILL NEED TO BE NOTIFIED.

Javier Hernandez, Solid Waste Front Load Supervisor 713-4338

SITE PLAN REVIEW COMMENTS



COMMENTS: See Below  None

Please plot and protect all Valley Oak Trees.

Landscape along parkway to be planted by developer and maintained by a maintenance district.

All drainage from curb and gutter along streets to be connected to storm drain system.

All trees planted in street right-of-way to be approved by the Public Works Superintendent of Parks.

Tie-ins to existing infrastructure may require a bore. Check with the Public Works Department prior to any street cut.

Other Comments: 1) 5" Valley Oak  
2) 6" Valley Oak  
3) 7" Valley Oak  
4) 4" Valley Oak  
5) 5" Valley Oak  
6) 5" Valley Oak

*Joel Hooyer*  
Joel Hooyer

Parks and Urban Forestry Supervisor  
559 713-4295 Fax 559 713-4818

Email: jhooyer@ci.visalia.ca.us

QUALITY ASSURANCE DIVISION  
SITE PLAN REVIEW COMMENTS

ITEM NO: 4                      DATE: January 14, 2015  
SITE PLAN NO:                  SPR15004  
PROJECT TITLE:                RESIDENCE INN  
DESCRIPTION:                  NEW 4-STORY 96-KEY RESIDENCE INN ON 2.63  
                                         ACRES (BRP ZONED)  
APPLICANT:                    KIEKE STEVE  
PROP OWNER:                  M & B BRUNO FAMILY LP  
LOCATION:                        205 N PLAZA DR  
APN(S):                         081-160-003

YOU ARE REQUIRED TO COMPLY WITH THE CITY OF VISALIA WASTEWATER ORDINANCE 13.08 RELATIVE TO CONNECTION TO THE SEWER, PAYMENT OF CONNECTION FEES AND MONTHLY SEWER USER CHARGES. THE ORDINANCE ALSO RESTRICTS THE DISCHARGE OF CERTAIN NON-DOMESTIC WASTES INTO THE SANITARY SEWER SYSTEM.

YOUR PROJECT IS ALSO SUBJECT TO THE FOLLOWING REQUIREMENTS:

- WASTEWATER DISCHARGE PERMIT APPLICATION
- SAND AND GREASE INTERCEPTOR - 3 COMPARTMENT \_\_\_\_\_
- GREASE INTERCEPTOR min. 1000 GAL
- GARBAGE GRINDER - 3/4 HP. MAXIMUM \_\_\_\_\_
- SUBMISSION OF A DRY PROCESS DECLARATION \_\_\_\_\_
- NO SINGLE PASS COOLING WATER IS PERMITTED \_\_\_\_\_
- OTHER \_\_\_\_\_
- SITE PLAN REVIEWED - NO COMMENTS

CALL THE QUALITY ASSURANCE DIVISION AT (559) 713-4529 IF YOU HAVE ANY QUESTIONS.

CITY OF VISALIA  
PUBLIC WORKS DEPARTMENT  
QUALITY ASSURANCE DIVISION  
7579 AVENUE 288  
VISALIA, CA 93277

*Don Quinn*

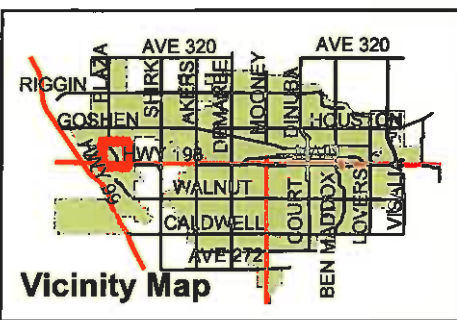
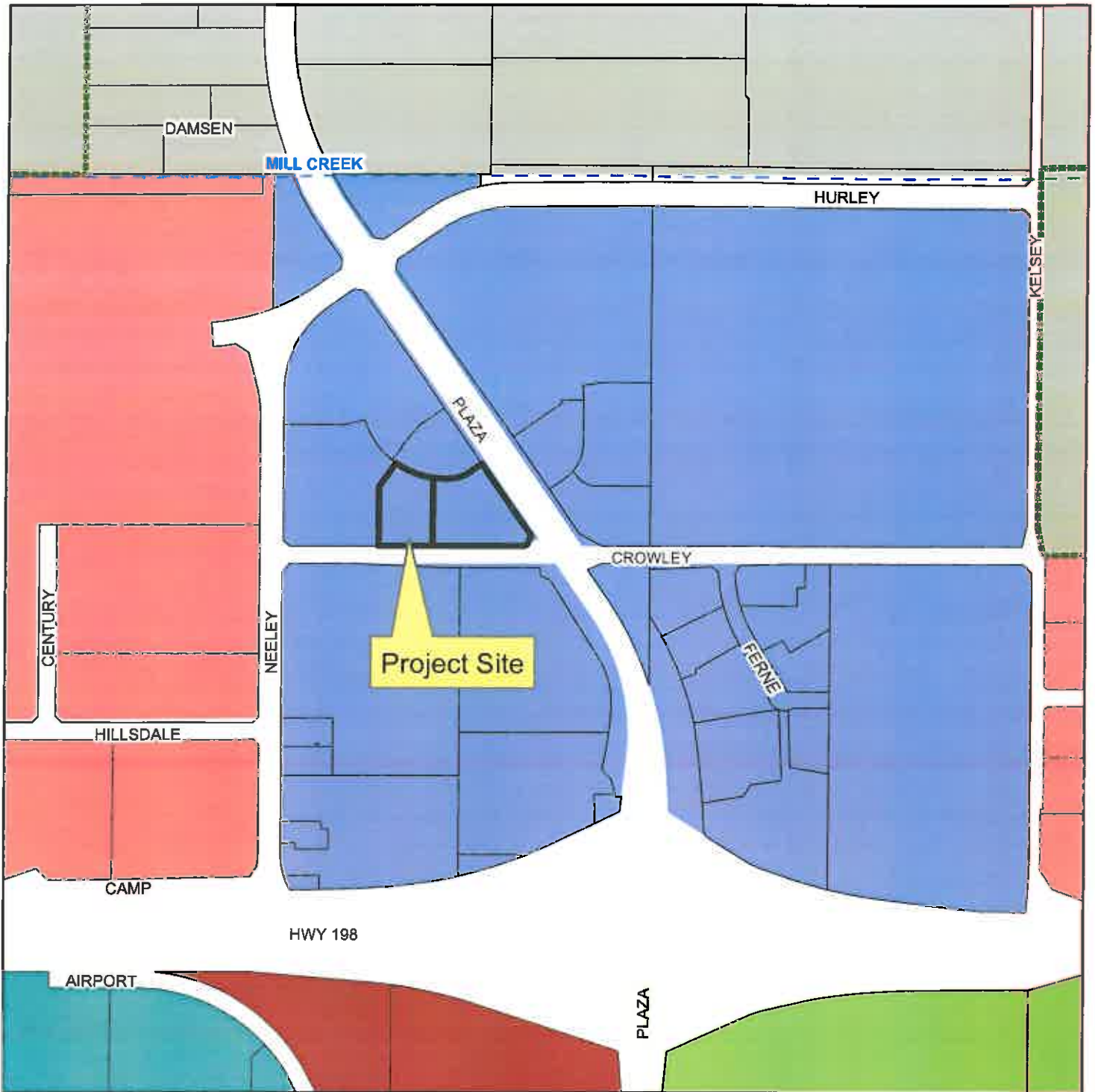
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AUTHORIZED SIGNATURE

1-12-15

\_\_\_\_\_  
DATE

# Conditional Use Permit No. 2015-03

The project site is located at the northwest corner of Plaza Drive and Crowley Street (APN: 081-160-002, 003).



## General Plan Land Use Map

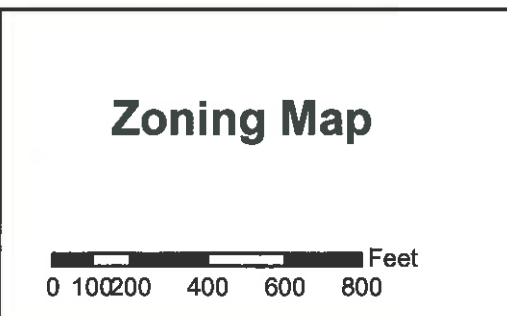
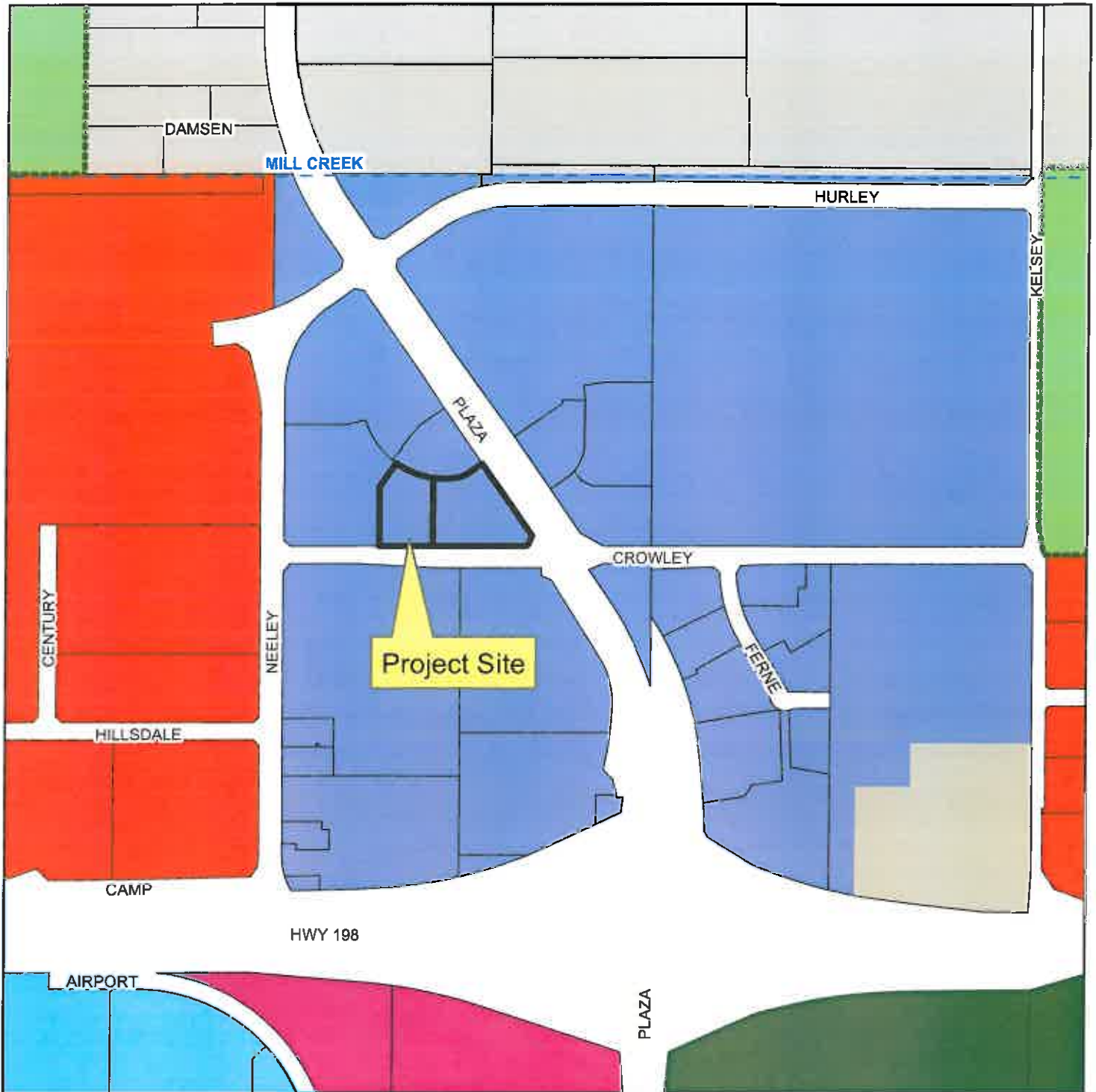


- Regional Commercial
- Service Commercial
- Business Research Park
- Industrial
- Public/Institutional
- Parks/Recreation



# Conditional Use Permit No. 2015-03

The project site is located at the northwest corner of Plaza Drive and Crowley Street (APN: 081-160-002, 003).



# Conditional Use Permit No. 2015-03

The project site is located at the northwest corner of Plaza Drive and Crowley Street (APN: 081-160-002, 003).



Project Site



Vicinity Map

## Aerial Photo

Photo Taken March 2014



# Conditional Use Permit No. 2015-03

